



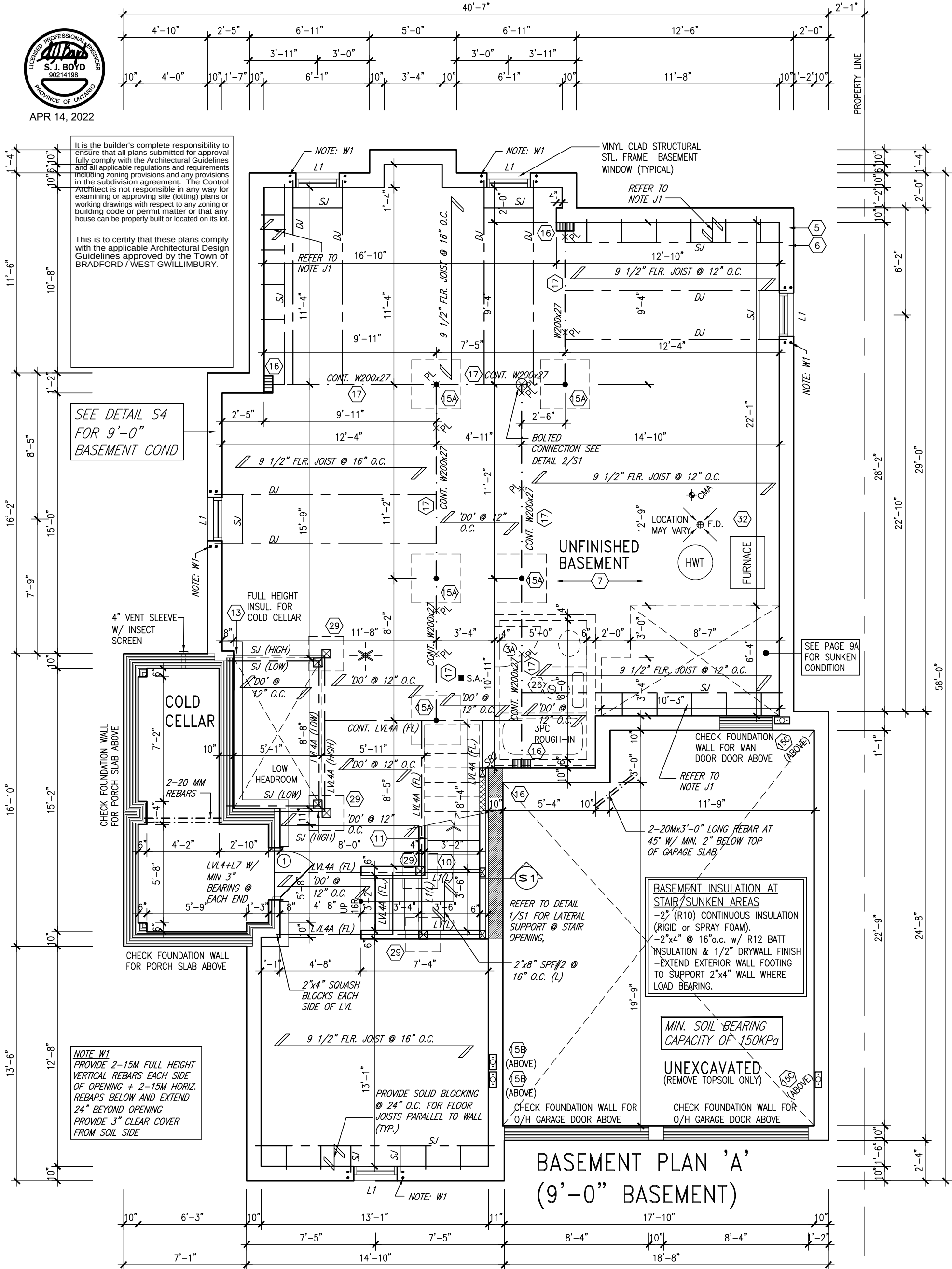
APR 14, 2022

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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

NOTE W1: PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING. PROVIDE 3" CLEAR COVER FROM SOIL SIDE.



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
BASEMENT PLAN ELEV. 'A'				file name	16023-S42-7C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM				drawing no.	1AA



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ROOF NOTE R1:
2"x4" @ 12" O.C.
DIAGONALLY CUT
CROSS PURLINS W/
5/8" EXTERIOR GRADE
SHEATHING W/ SINGLE
PLY ROOF MEMBRANE

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO 16"x16"
MASONRY PIER.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

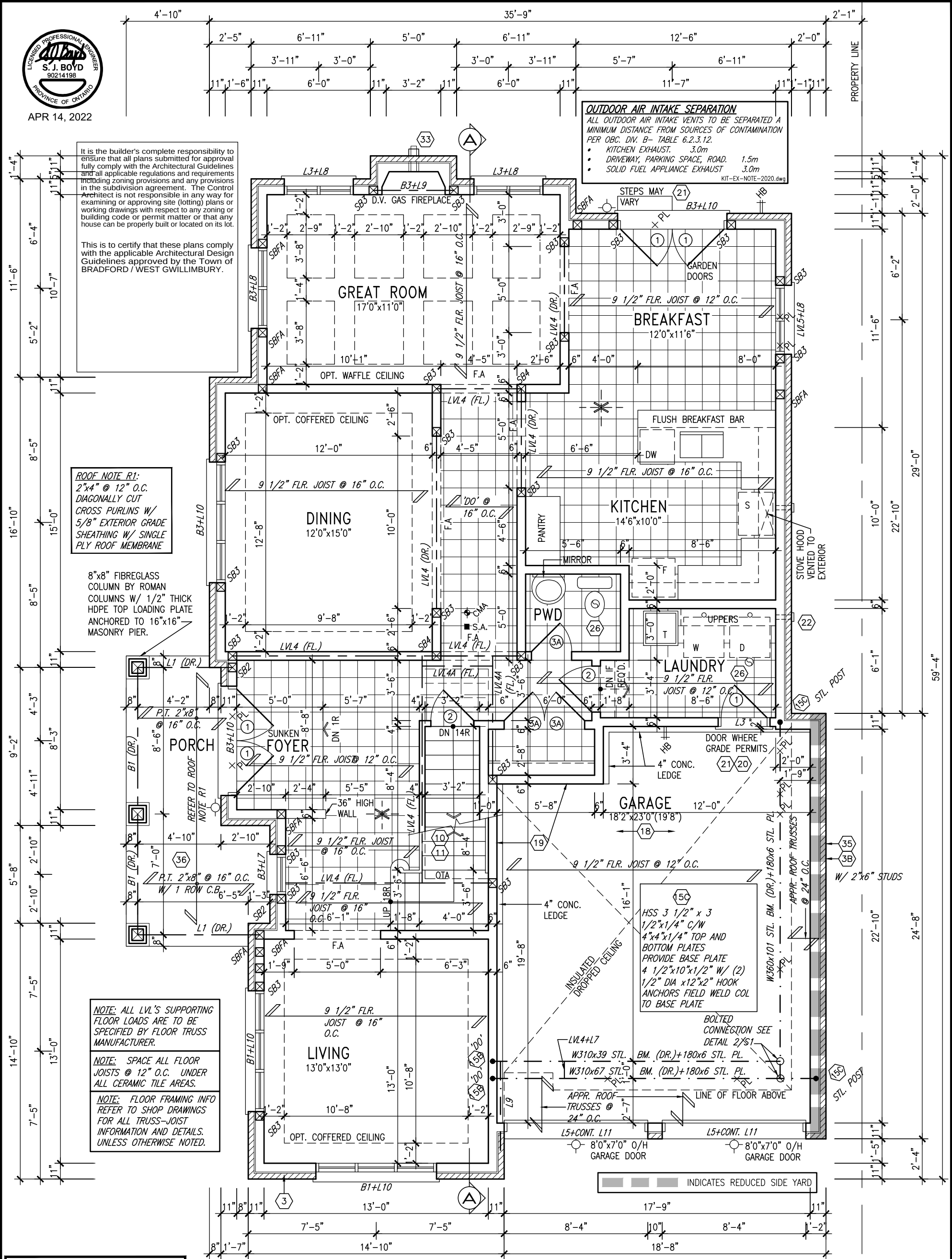
NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST. 3.0m

KIT-EX-NOTE-2020.dwg



DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
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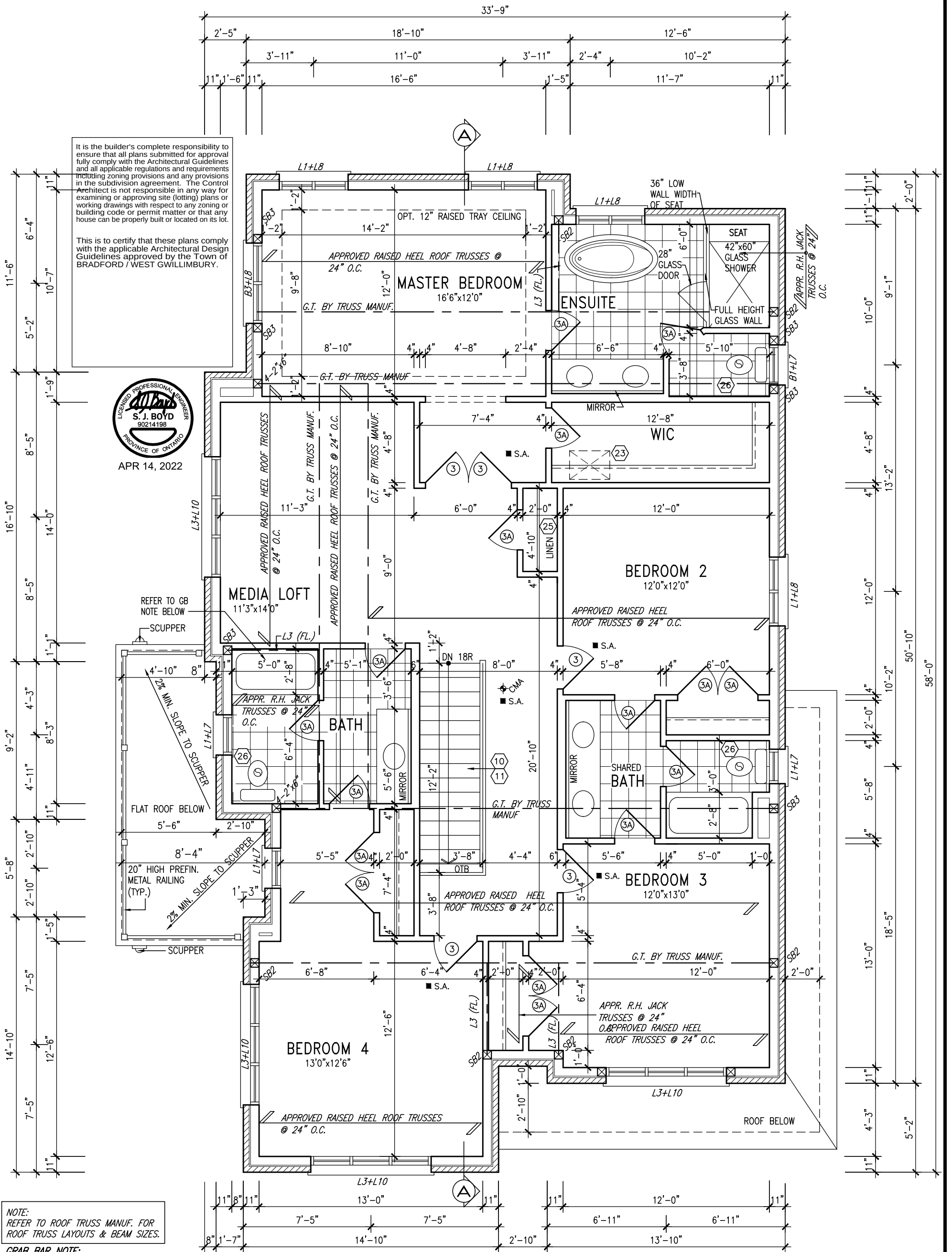
BAYVIEW WELLINGTON		S42-7C	
RIDEAU 7		project no.	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.
date		project no.	16023
drawn by	NC	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-7C-10GRND
GROUND FLOOR PLAN ELEV. 'A'		drawing no.	2A
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM			

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APR 14, 2022



NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'A' 4 BEDROOM + MEDIA LOFT

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name	registration information	42658	
VA3 Design Inc.			
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BAYVIEW WELLINGTON

S42-7C RIDEAU 7

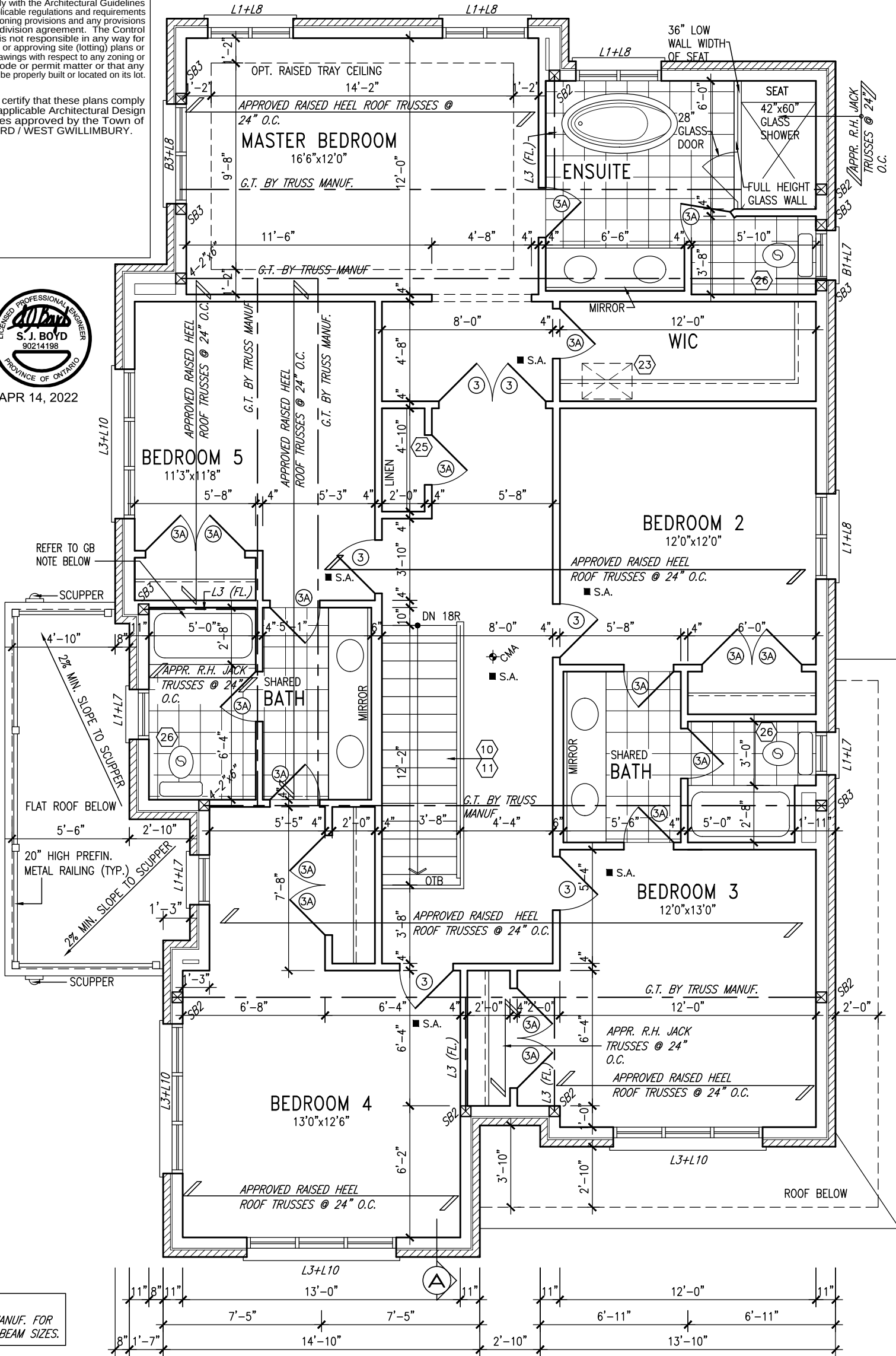
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
SECOND FLOOR PLAN ELEV. 'A' (4 BR)				file name	16023-S42-7C-10GRND
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APR 14, 2022



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SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
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qualification information			
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registration information		42658	
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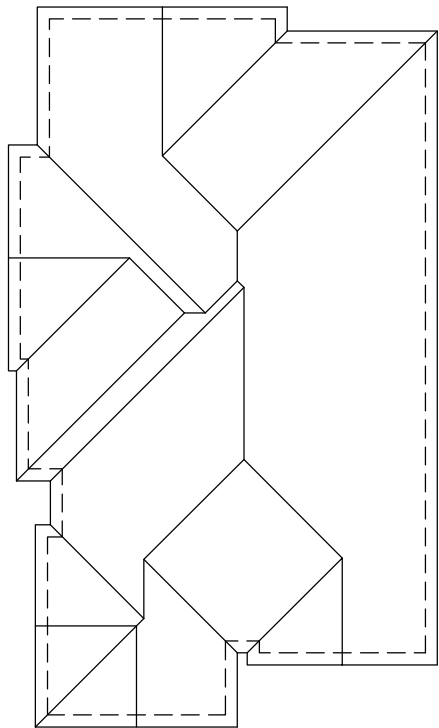
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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
OPT. SECOND FLOOR PLAN ELEV.'A' (5 BR)				file name	16023-S42-7C-10GRND
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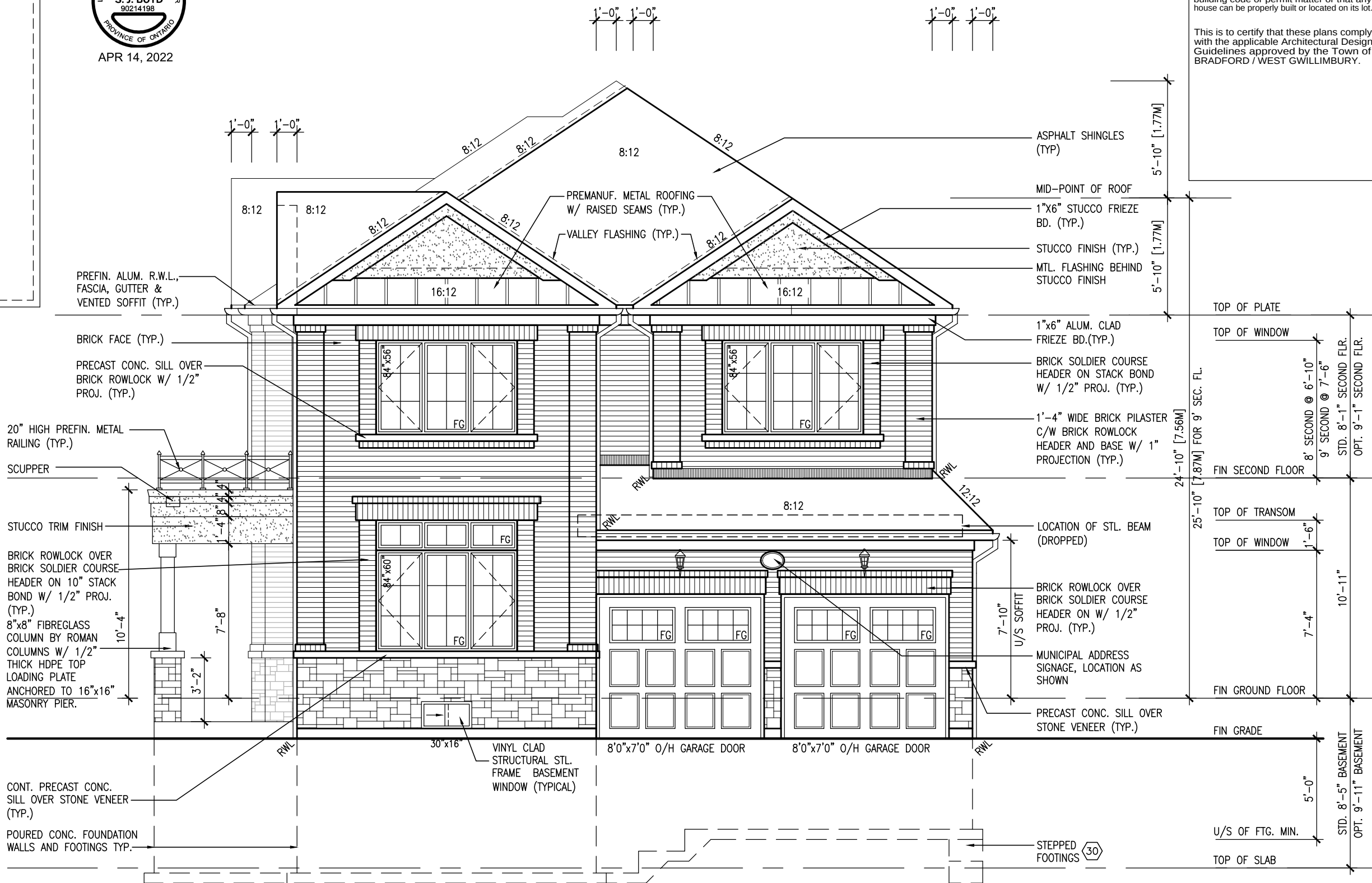
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ROOF PLAN 'A'

AREA CALCULATIONS

	ELEV. A
GROUND FLOOR AREA	1425.5 SF
SECOND FLOOR AREA	1756.4 SF
SUBTOTAL	3181.9 SF
DEDUCT ALL OPENINGS	1.8 SF
TOTAL NET AREA	3180 SF
	295.4 m ²
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3180 SF
W/ FIN BSMT	295.4 m²
COVERAGE W/O PORCH	1862.5 SF
	173.0 m ²
COVERAGE W/PORCH	1972.8 SF
	183.3 m ²



FRONT ELEVATION 'A'

10' GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON

S42-7C

RIDEAU 7

GREEN VALLEY ESTATES

BRADFORD, ON.

project name

project no.

16023

drawing no.

5A

file name

16023-S42-7C-10GRND

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM



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qualification information

Wellington Jno-Baptiste 25591 BCIN

name registration information

VAS Design Inc. 42658

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9 .

8 .

7 .

6 REVISED AS PER ENG'S COMMENTS

APR 14-22 RC

5 REVISED AS PER FLOOR LAYOUTS

APR 05-22 RC

4 10' GROUND FLOOR

JUN 24-21 KL

3 ADDED OPT. 9' BASEMENT

JUN 24-21 KL

2 REVISED AS PER ENG'S COMMENTS

FEB 01-18 RC

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date

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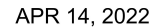
date

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project no.	16023
-------------	-------

project name	municipality
GREEN VALLEY ESTATES	BRADFORD, ON.

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weilington jiao-baptiste	signature	BCIN Z339
name registration information VAT Registration		40655

VAS Design Inc. ☒ **4260**

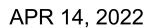
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FLANKAGE ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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A

Case	Year	Age	Sex	Location	Outcome
1	1998	45	Male	USA	Survived
2	2001	32	Female	USA	Survived
3	2003	58	Male	USA	Survived
4	2005	21	Female	USA	Survived
5	2007	65	Male	USA	Survived
6	2009	40	Female	USA	Survived
7	2011	72	Male	USA	Survived
8	2013	28	Female	USA	Survived
9	2015	55	Male	USA	Survived
10	2017	38	Female	USA	Survived
11	2019	61	Male	USA	Survived
12	2021	43	Female	USA	Survived
13	2023	50	Male	USA	Survived
14	2025	35	Female	USA	Survived
15	2027	68	Male	USA	Survived
16	2029	25	Female	USA	Survived
17	2031	52	Male	USA	Survived
18	2033	41	Female	USA	Survived
19	2035	70	Male	USA	Survived
20	2037	30	Female	USA	Survived
21	2039	57	Male	USA	Survived
22	2041	46	Female	USA	Survived
23	2043	63	Male	USA	Survived
24	2045	33	Female	USA	Survived
25	2047	60	Male	USA	Survived
26	2049	44	Female	USA	Survived
27	2051	71	Male	USA	Survived
28	2053	29	Female	USA	Survived
29	2055	56	Male	USA	Survived
30	2057	47	Female	USA	Survived
31	2059	64	Male	USA	Survived
32	2061	34	Female	USA	Survived
33	2063	62	Male	USA	Survived
34	2065	42	Female	USA	Survived
35	2067	69	Male	USA	Survived
36	2069	31	Female	USA	Survived
37	2071	59	Male	USA	Survived
38	2073	48	Female	USA	Survived
39	2075	66	Male	USA	Survived
40	2077	36	Female	USA	Survived
41	2079	67	Male	USA	Survived
42	2081	45	Female	USA	Survived
43	2083	73	Male	USA	Survived
44	2085	37	Female	USA	Survived
45	2087	65	Male	USA	Survived
46	2089	49	Female	USA	Survived
47	2091	74	Male	USA	Survived
48	2093	39	Female	USA	Survived
49	2095	76	Male	USA	Survived
50	2097	51	Female	USA	Survived
51	2099	78	Male	USA	Survived
52	2101	53	Female	USA	Survived
53	2103	80	Male	USA	Survived
54	2105	54	Female	USA	Survived
55	2107	81	Male	USA	Survived
56	2109	55	Female	USA	Survived
57	2111	82	Male	USA	Survived
58	2113	56	Female	USA	Survived
59	2115	83	Male	USA	Survived
60	2117	57	Female	USA	Survived
61	2119	84	Male	USA	Survived
62	2121	58	Female	USA	Survived
63	2123	85	Male	USA	Survived
64	2125	59	Female	USA	Survived
65	2127	86	Male	USA	Survived
66	2129	60	Female	USA	Survived
67	2131	87	Male	USA	Survived
68	2133	61	Female	USA	Survived
69	2135	88	Male	USA	Survived
70	2137	62	Female	USA	Survived
71	2139	89	Male	USA	Survived
72	2141	63	Female	USA	Survived
73	2143	90	Male	USA	Survived
74	2145	64			

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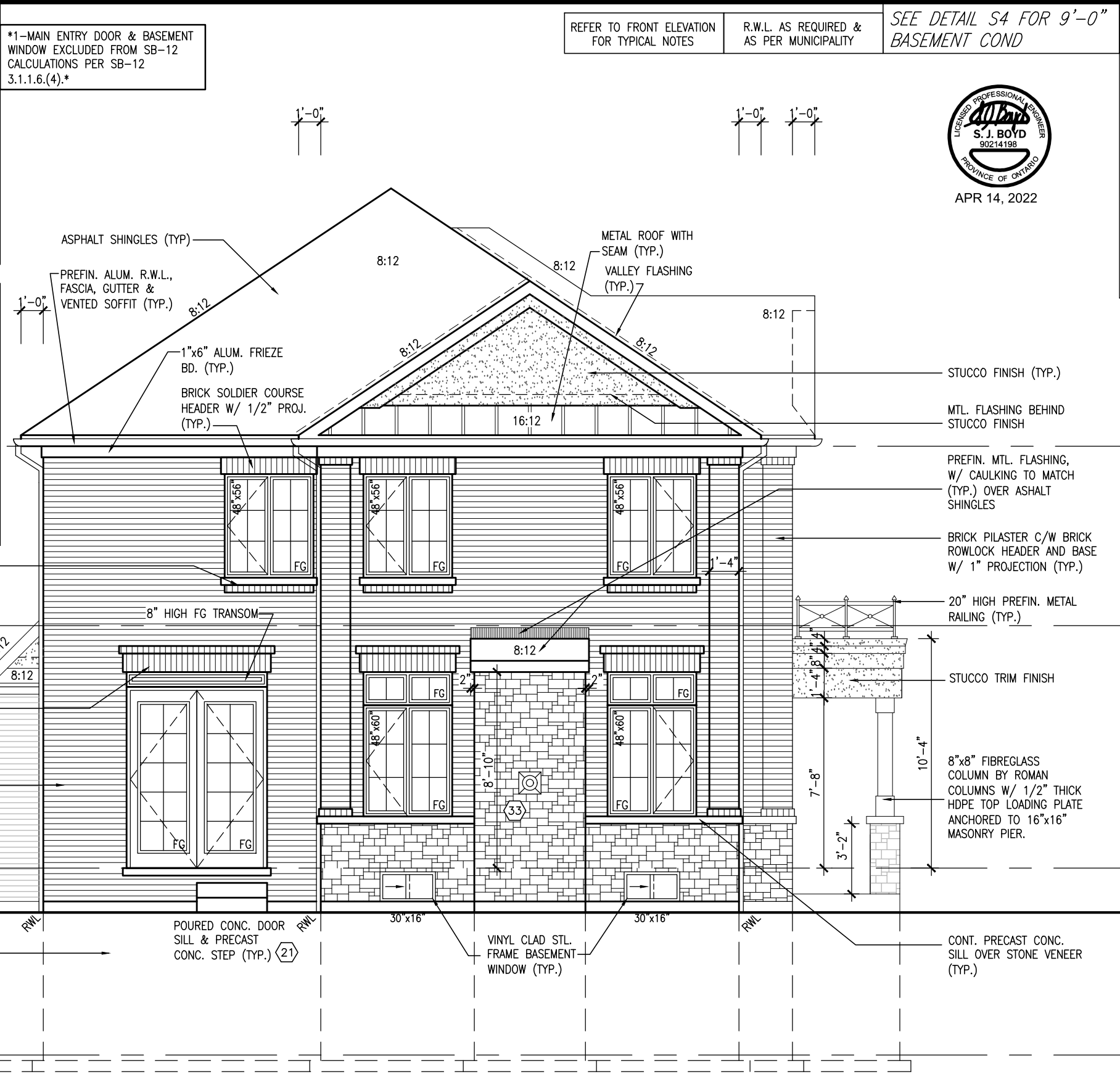


10⁹ GROUND

9	.	.	.	APR 14-22	RC	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>[Signature]</i> 25591 name registration information BCIN VAS Design Inc. <i>[Signature]</i> 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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1	ISSUED FOR CLIENT REVIEW					
no.	description		date		by	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C ELA W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.75 S.F.	135.32 S.F.	19.09 %
LEFT SIDE	1218.00 S.F.	274.49 S.F.	22.54 %
RIGHT SIDE	1218.00 S.F.	60.85 S.F.	5.00 %
REAR	708.75 S.F.	170.61 S.F.	24.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3853.50 S.F.	641.27 S.F.	16.64 %
TOTAL SQ. M.	358.00 S.M.	59.58 S.M.	16.64 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C ELA W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	135.32 S.F.	18.22 %
LEFT SIDE	1276.00 S.F.	274.49 S.F.	21.51 %
RIGHT SIDE	1276.00 S.F.	60.85 S.F.	4.77 %
REAR	742.50 S.F.	170.61 S.F.	22.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4037.00 S.F.	641.27 S.F.	15.88 %
TOTAL SQ. M.	375.05 S.M.	59.58 S.M.	15.88 %



10' GROUND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON.

project no.
16023

project name
S42-7C-10GRND

scale
3/16" = 1'-0"

checked by
RC

drawn by
NC

date
APR 14 2022

drawing no.
8A

file name
16023-S42-7C-10GRND.dwg

date
Thu - Apr 14 2022 - 9:17 AM

no.

description

date

by

9.

8.

7.

6.

REVISED AS PER ENG'S COMMENTS

APR 14-22

RC

5.

REVISED AS PER FLOOR LAYOUTS

APR 05-22

RC

4.

10' GROUND FLOOR

JUN 24-21

KL

3.

ADDED OPT. 9' BASEMENT

JUN 24-21

KL

2.

REVISED AS PER ENG'S COMMENTS

FEB 01-18

RC

1.

ISSUED FOR CLIENT REVIEW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

VA3 Design Inc. 42658

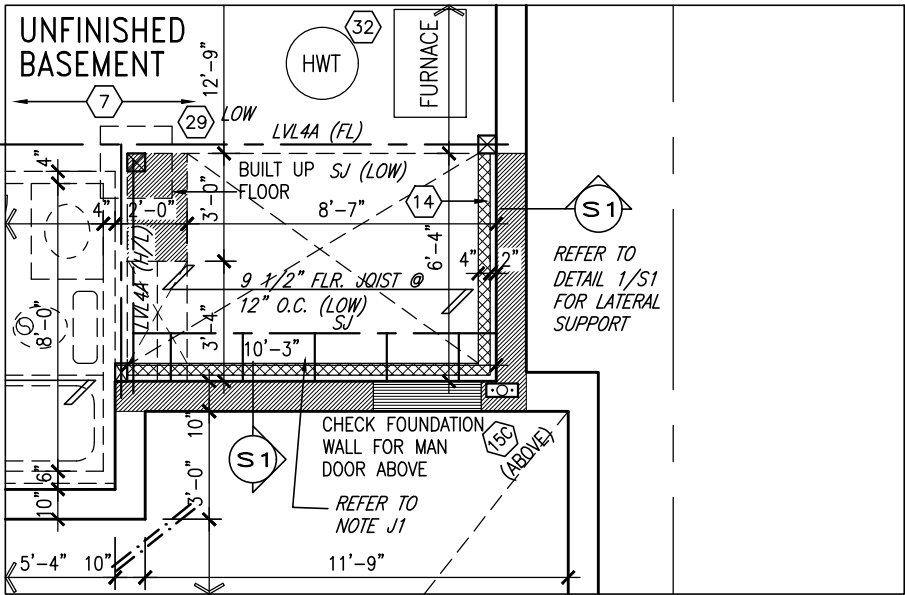
registration information

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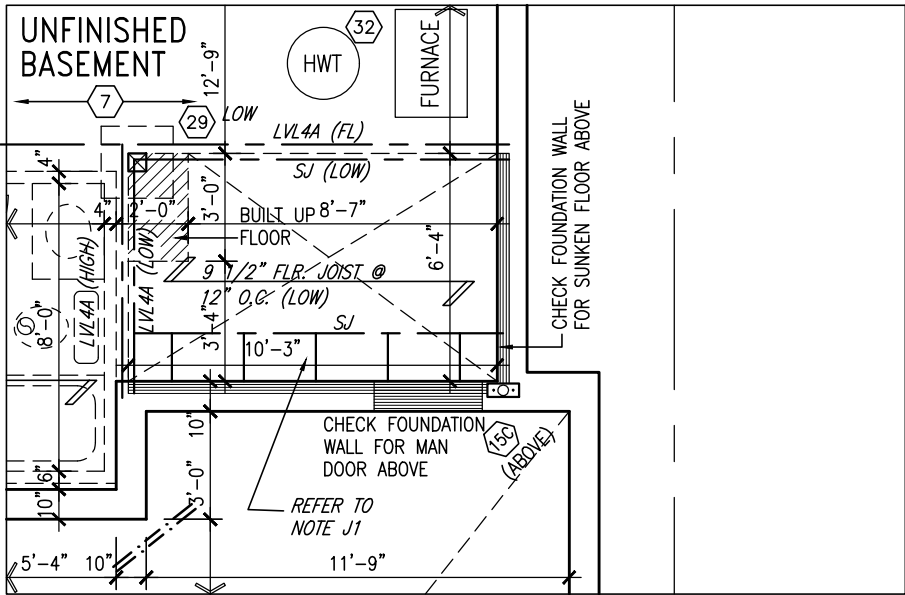
signature

signature

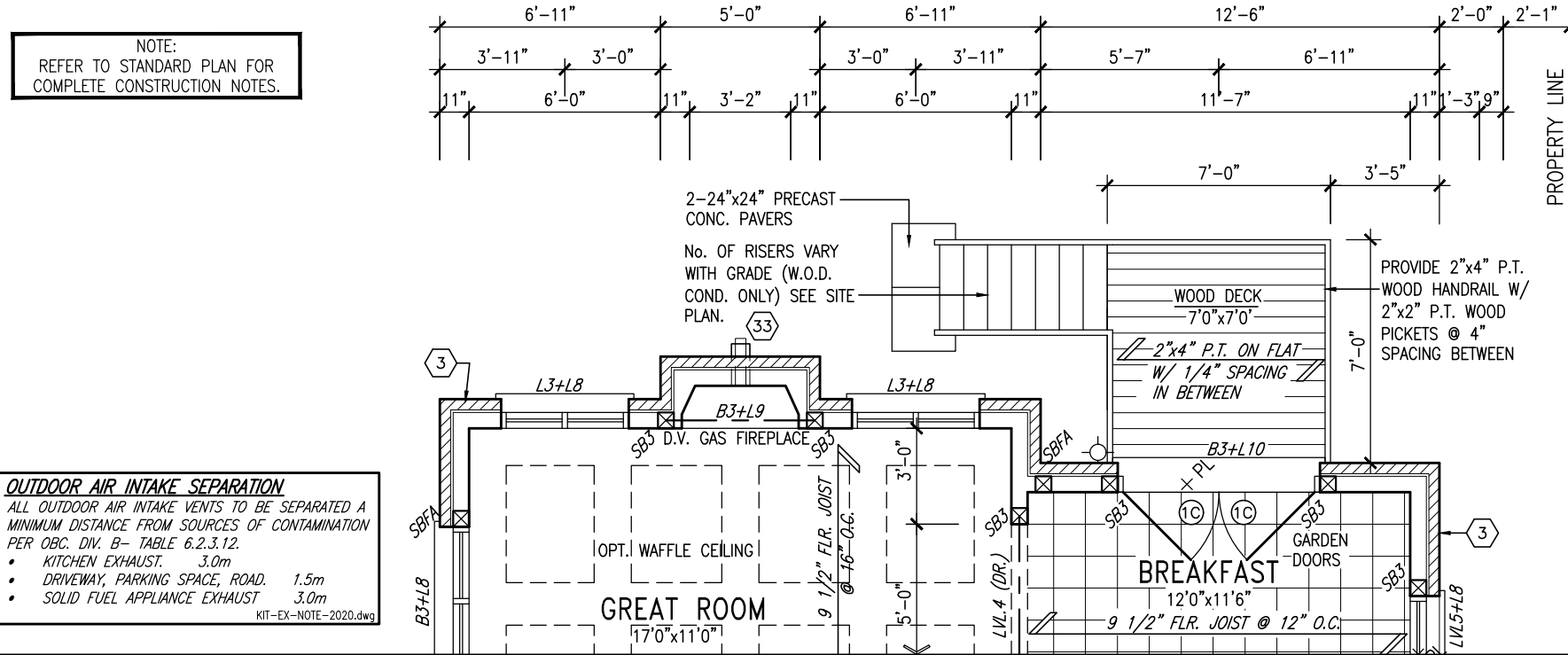
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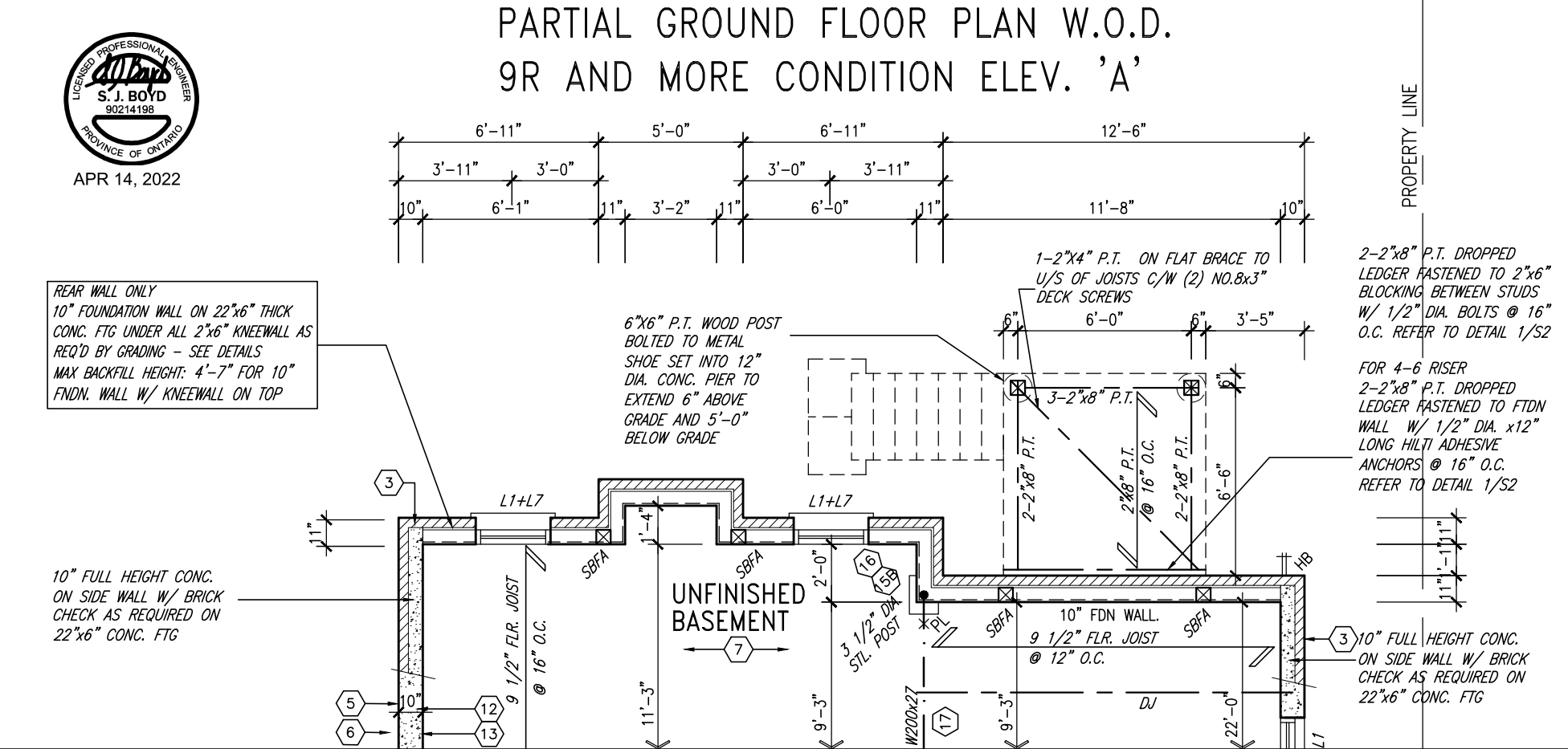
PART. BASEMENT PLAN FOR OPT. SUNKEN LAUNDRY 2R OR MORE COND



PART. BASEMENT PLAN FOR OPT. SUNKEN LAUNDRY 1R COND



PARTIAL GROUND FLOOR PLAN W.O.D. 9R AND MORE CONDITION ELEV. 'A'



PARTIAL BASEMENT PLAN W.O.D. 9R AND MORE CONDITION ELEV. 'A'

10' GROUND

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658

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va3design.com

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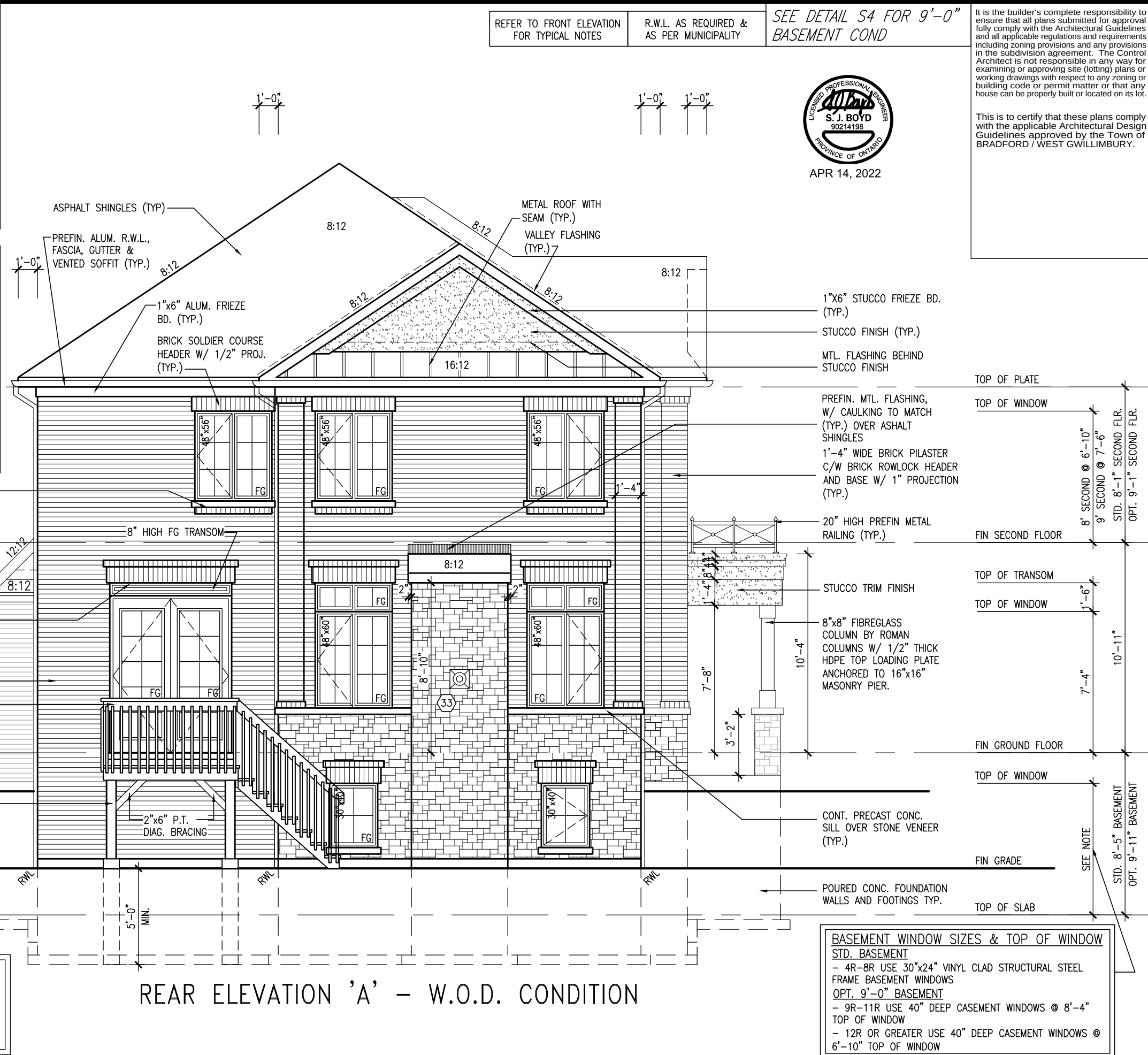
S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES municipality BRADFORD, ON. project no. 16023
date PART. PLANS ELEV. 'A'-W.O.D. COND. drawing no. 9A
drawn by NC checked by RC scale 3/16" = 1'-0" file name 16023-S42-7C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C ELA WOD W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.75 S.F.	135.32 S.F.	19.09 %
LEFT SIDE	1218.00 S.F.	274.49 S.F.	22.54 %
RIGHT SIDE	1218.00 S.F.	60.85 S.F.	5.00 %
REAR	834.08 S.F.	180.61 S.F.	21.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3978.83 S.F.	651.27 S.F.	16.37 %
TOTAL SQ. M.	369.64 S.M.	60.50 S.M.	16.37 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	135.32 S.F.	18.22 %
LEFT SIDE	1276.00 S.F.	274.49 S.F.	21.51 %
RIGHT SIDE	1276.00 S.F.	60.85 S.F.	4.77 %
REAR	867.83 S.F.	180.61 S.F.	20.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4162.33 S.F.	651.27 S.F.	15.65 %
TOTAL SQ. M.	386.69 S.M.	60.50 S.M.	15.65 %

10' GROUND



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BAYVIEW WELLINGTON		S42-7C	
GREEN VALLEY ESTATES		RIDEAU 7	
BRADFORD, ON.		BRADFORD, ON.	
REAR ELEV. - W.O.D. COND.		10A	
project name		project no.	
BRADFORD, ON.		16023	
municipality		drawing no.	
BRADFORD, ON.		10A	
date		file name	
APR 14, 2022		16023-S42-7C-10GRND	
checked by		scale	
RC		3/16" = 1'-0"	
drawn by		date	
NC		APR 14, 2022	
signature		signature	
J. J. J. J.		J. J. J. J.	
25591		42658	
BCIN		BCIN	
WELLINGTON JRO-BAPTISTE		WELLINGTON JRO-BAPTISTE	
APR 14-22		APR 05-22	
RC		RC	
REVISED AS PER ENG'S COMMENTS		REVISED AS PER FLOOR LAYOUTS	
4		4	
10' GROUND FLOOR		10' GROUND FLOOR	
JUN 24-21		JUN 24-21	
KL		KL	
3		3	
ADDED OPT. 9' BASEMENT		ADDED OPT. 9' BASEMENT	
JUN 24-21		JUN 24-21	
KL		KL	
2		2	
REVISED AS PER ENG'S COMMENTS		REVISED AS PER ENG'S COMMENTS	
FEB 01-18		FEB 01-18	
RC		RC	
1		1	
ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW	
no.		no.	
description		description	

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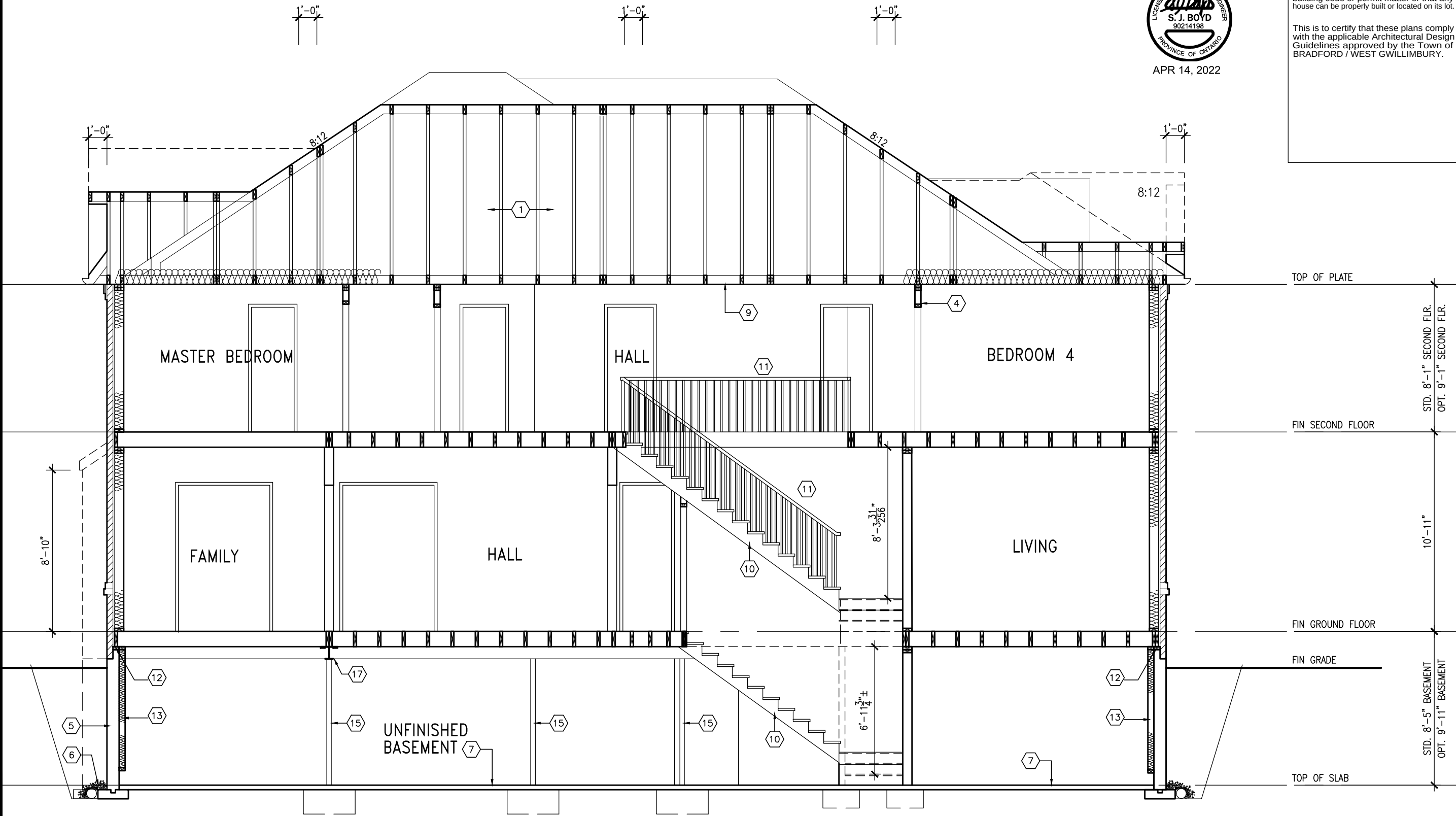
SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 14, 2022

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CROSS SECTION A-A

10' GROUND

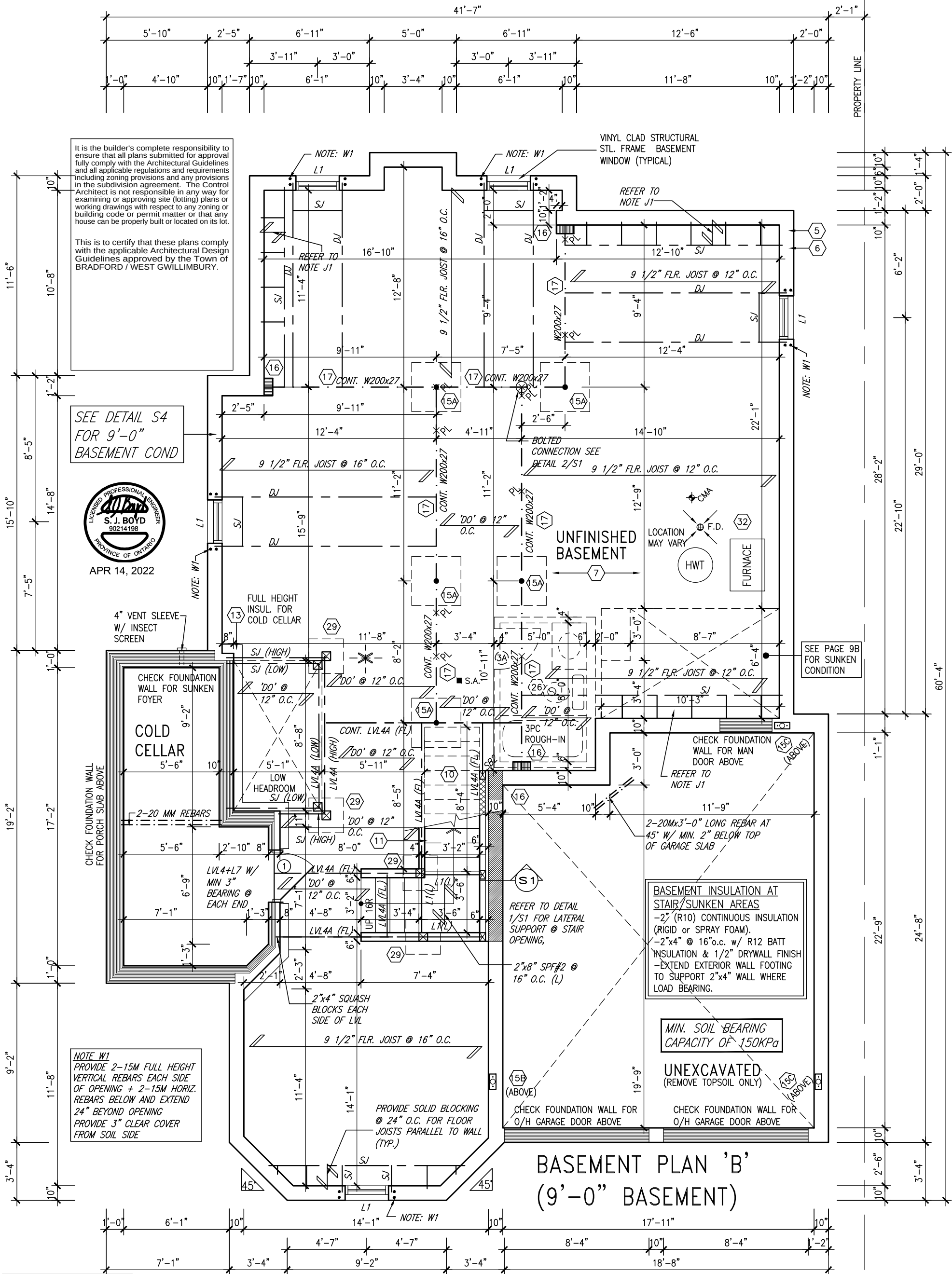
BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
GREEN VALLEY ESTATES		BRADFORD, ON.	
CROSS SECTION A-A		11A	
project name		project no.	
GREEN VALLEY ESTATES		16023	
municipality		drawing no.	
BRADFORD, ON.		11A	
checked by		file name	
RC		16023-S42-7C-10GRND	
scale		date	
3/16" = 1'-0"		16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM	
drawn by		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM	
NC		RICHARD	

DESIGN

255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591 BCN	
signature		42658	
name		V3 Design Inc.	
registration information		JUN 24-21 KL	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		FEB 01-18 RC	
no.		description	
9	.	date	by
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22 RC	.
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22 RC	.
4	10' GROUND FLOOR	JUN 24-21 KL	.
3	ADDED OPT. 9' BASEMENT	JUN 24-21 KL	.
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18 RC	.
1	ISSUED FOR CLIENT REVIEW	.	.

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9.

8.

7.

6. REVISED AS PER ENG'S COMMENTS APR 14-22 RC

5. REVISED AS PER FLOOR LAYOUTS APR 05-22 RC

4. 10' GROUND FLOOR JUN 24-21 KL

3. ADDED OPT. 9' BASEMENT JUN 24-21 KL

2. REVISED AS PER ENG'S COMMENTS FEB 01-18 RC

1. ISSUED FOR CLIENT REVIEW

no. description date by

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qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. 42658

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VA3

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BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

date

drawn by
NC

municipality
BRADFORD, ON.

checked by
-

scale
3/16" = 1'-0"

project no.
16023

project name
BASEMENT PLAN 'B'

file name
16023-S42-7C-10GRND

drawing no.
1BB



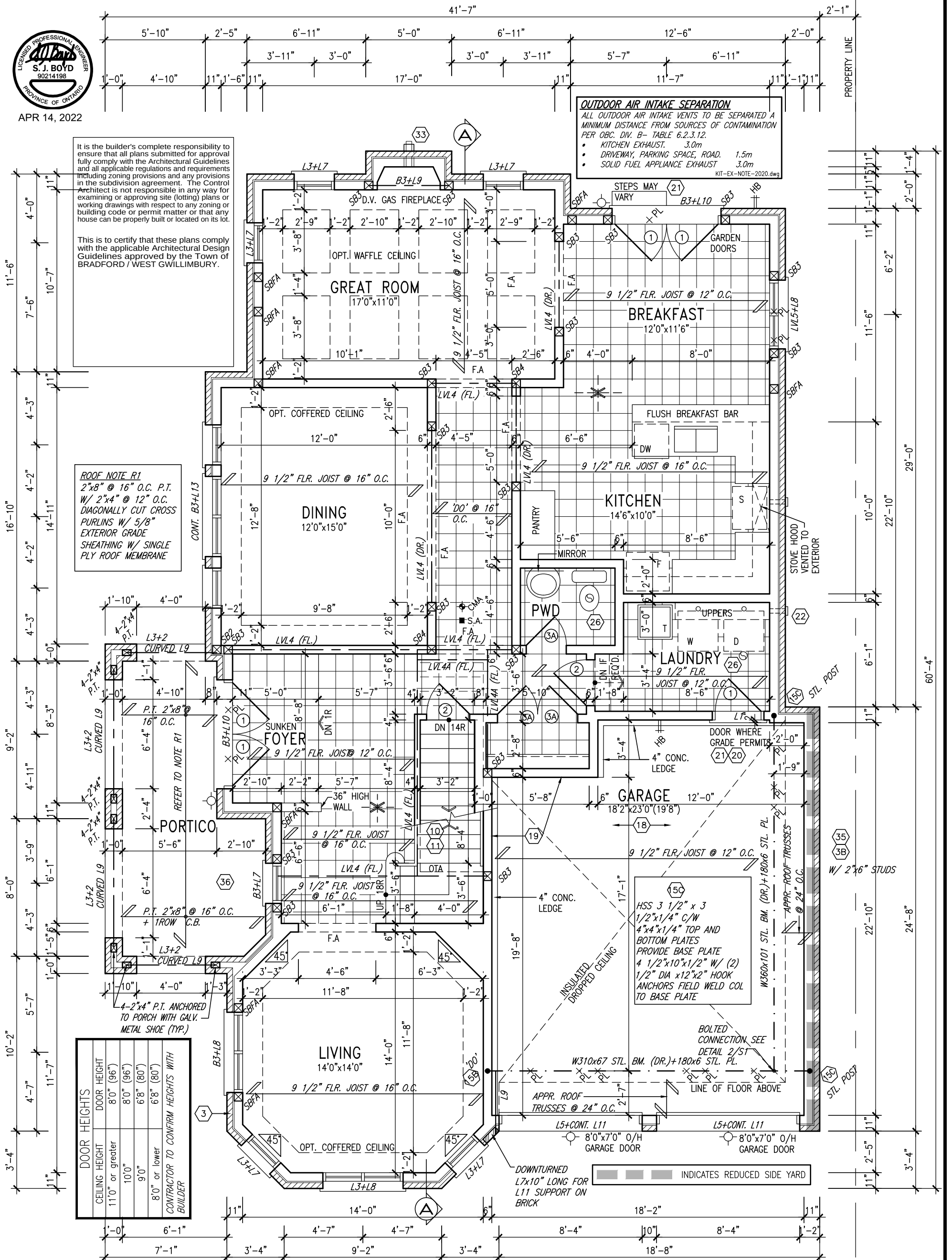
APR 14, 2022

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ROOF NOTE R1
2"x8" @ 16" O.C. P.T.
W/ 2"x4" @ 12" O.C.
DIAGONALLY CUT CROSS
PURLINS W/ 5/8"
EXTERIOR GRADE
SHEATHING W/ SINGLE
PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'B' (10'-0" GROUND)

10' GROUND

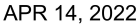
9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
BCIN
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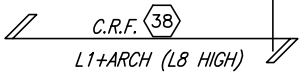
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023	
date		GROUND FLOOR PLAN 'B'	drawing no. 2B
drawn by NC	checked by 3/16" = 1'-0"	scale 16023-S42-7C-10GRND	file name
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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT

10⁹ GROUND

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC	Wellington Jno-Baptiste 25591
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	name signature BCIN
4	10' GROUND FLOOR	JUN 24-21	KL	registration information YA3 Design Inc. 42658
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by	



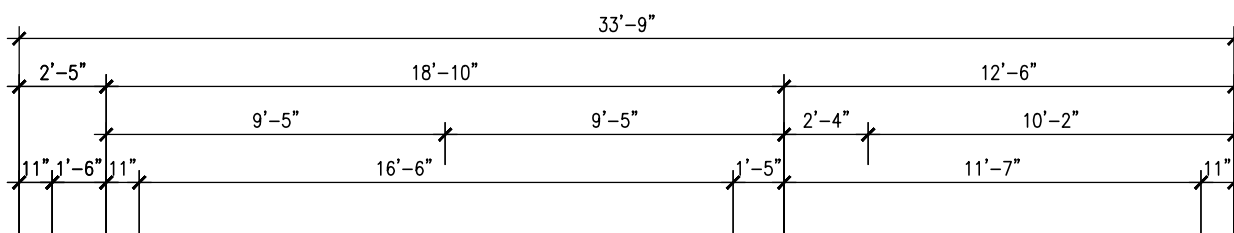
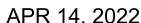
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t 416.630.2255 f 416.630.4782
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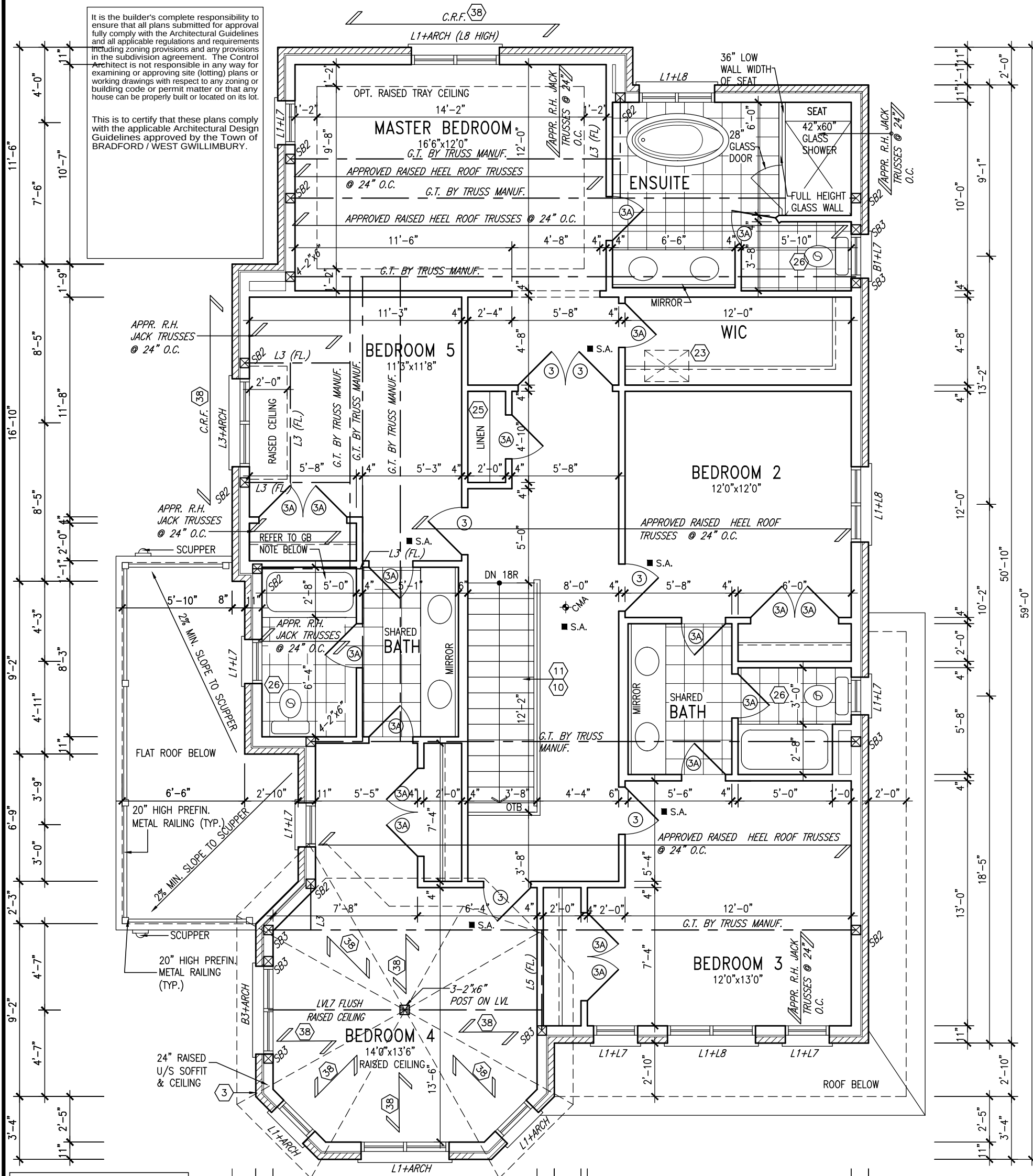
S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.		project no. 16023	
date		SECOND FLOOR PLAN ELEV.'B' (4 BR)			
drawing no. NC		checked by -		scale 3/16" = 1'-0"	
file name 16023-S42-7C-10GRND		3B			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM					

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REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM

10⁹ GROUND

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC	Wellington Jno-Baptiste  25591
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	name registration information BCIN
4	10' GROUND FLOOR	JUN 24-21	KL	VA3 Design Inc. 42658
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by	



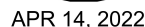
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va3design.com

BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.	project no. 16023
date OPT. SECOND FLOOR PLAN ELEV. 'B' (5 BR)			drawing no.
drawn by NC	checked by -	scale $3/16'' = 1'-0''$	file name 16023-S42-7C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu Apr 14 2022 - 9:17 AM			

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-7C
RIDEAU 7

project no.
16023

drawing no. 6B

'B'	file name	LOGRND	9:17 AM
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BAYVIEW WELLINGTON

	municipality	BRADFORD, ON.
--	--------------	---------------

project name **GREEN VALLEY ESTATES**

date

toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

s specifications, related documents and de

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

name	signature	BCIN
Wellington Jno-Baptiste	<i>[Signature]</i>	25591

WA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All

Drawings are not to be scaled.

All drawing

9	*			*
8	*			*

[illegible]

6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
4	10' CROUNDED FLOOR	JUN 24-21	KL

4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		

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10⁹ GROUND

FLANKAGE ELEVATION 'B'



APR 14, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES
BRADFORD, ON.

VA3
DESIGN

Wellington Jno-Baptiste
25591
BCIN
42658

6 REVISED AS PER ENG'S COMMENTS
APR 14-22 RC
5 REVISED AS PER FLOOR LAYOUTS
APR 05-22 RC
4 10' GROUND FLOOR
JUN 24-21 KL
3 ADDED OPT. 9' BASEMENT
JUN 24-21 KL
2 REVISED AS PER ENG'S COMMENTS
FEB 01-18 RC
1 ISSUED FOR CLIENT REVIEW
FEB 01-18 RC

project no. 16023
drawing no. 7B
checked by RC
scale 3/16" = 1'-0"
date 16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM
drawn by NC
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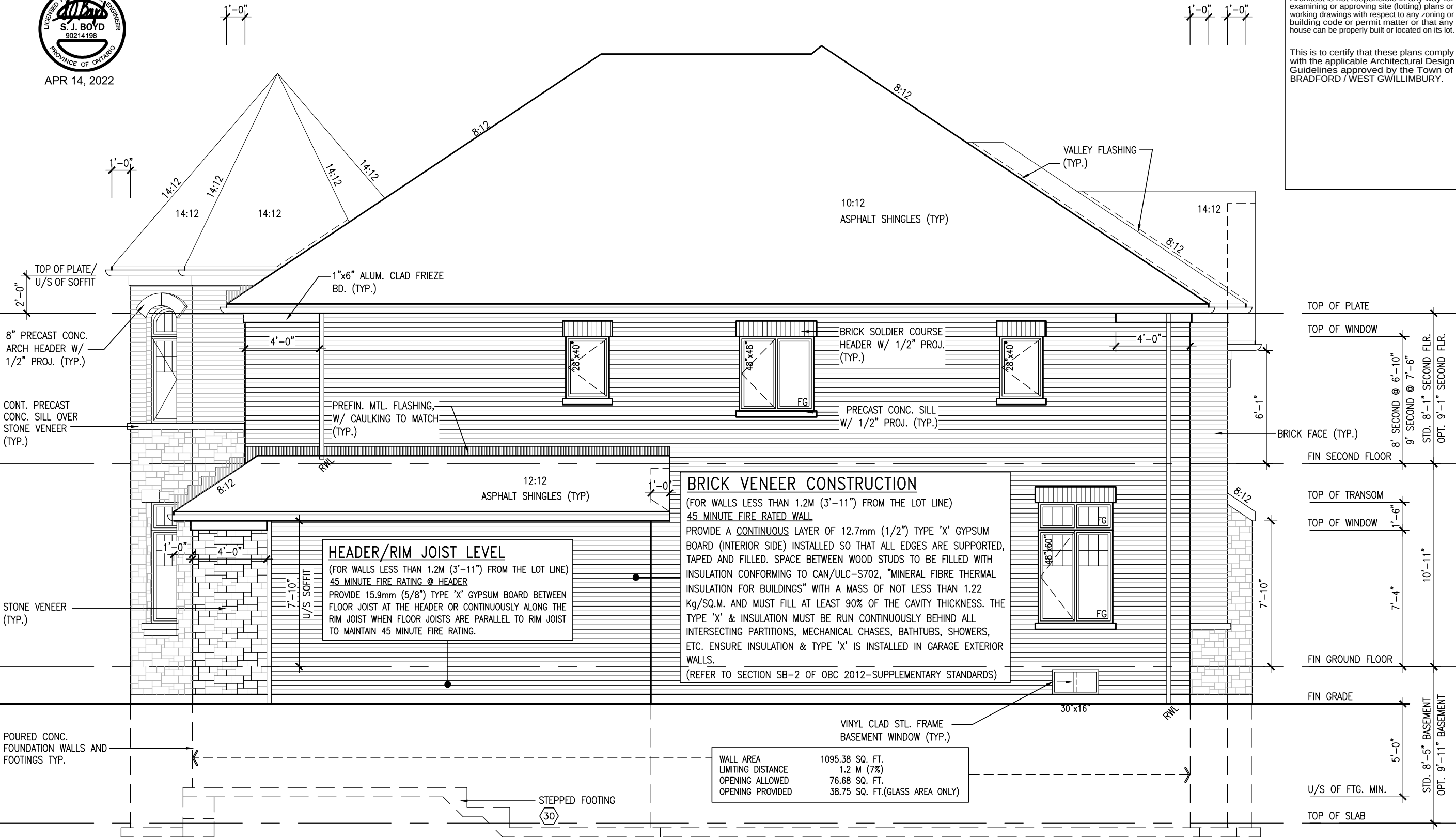
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no. description
date by

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10' GROUND

RIGHT SIDE ELEVATION 'B'



BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA 1095.38 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 76.68 SQ. FT.
OPENING PROVIDED 38.75 SQ. FT.(GLASS AREA ONLY)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

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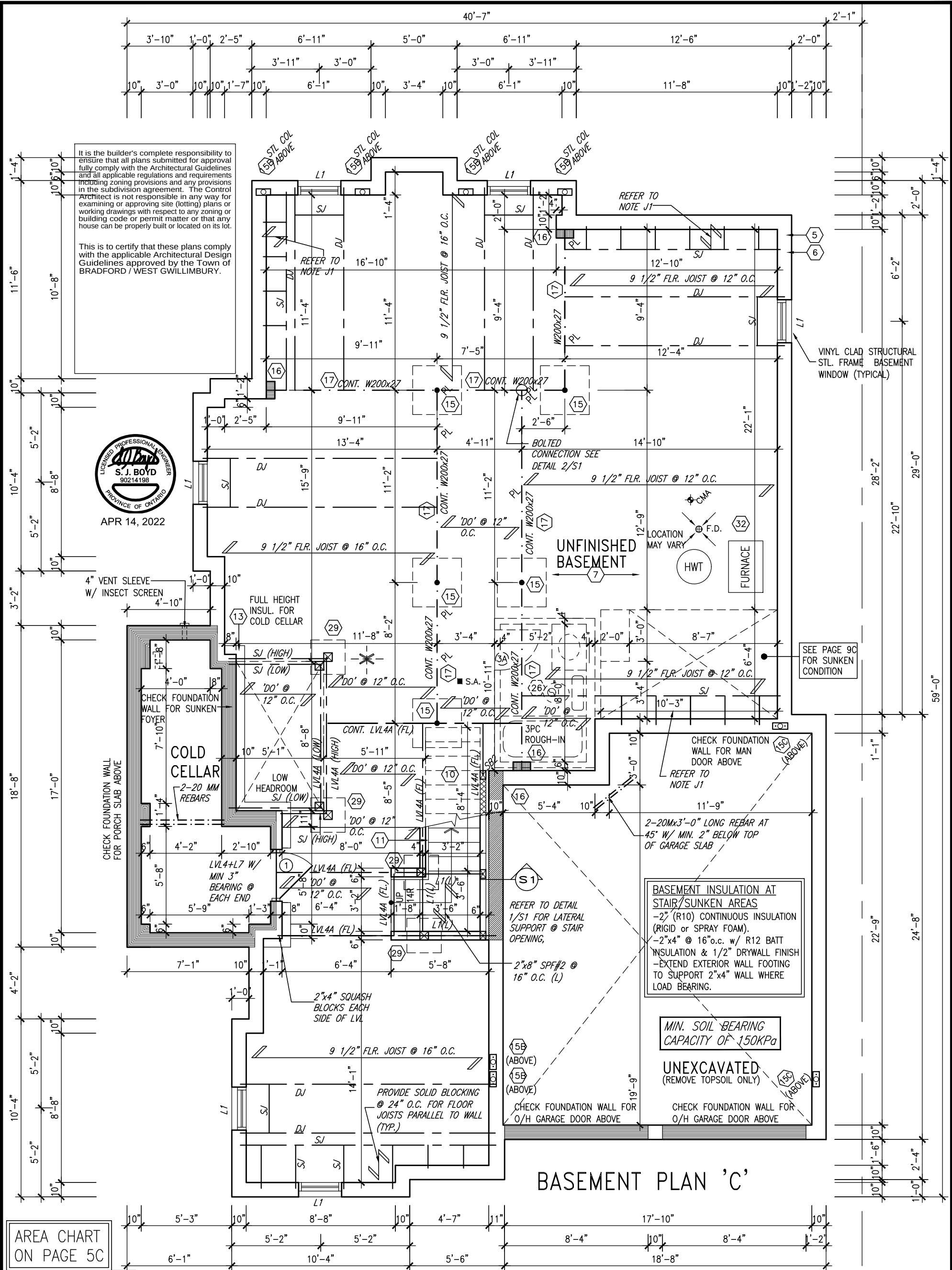


STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

TOP OF SLAB

[illegible]

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AREA CHART
ON PAGE 5C

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name  BCIN registration information YA3 Design Inc. 42658
8	.	.	.	
7	.	.	.	
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC	
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
4	10' GROUND FLOOR	JUN 24-21	KL	
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	



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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	municipality		project no.
GREEN VALLEY ESTATES	BRADFORD, ON.		16023
date			drawing no.
BASEMENT PLAN ELEV. 'C'			1C
drawn by	checked by	scale	file name
NC	RC	3/16" = 1'-0"	16023-S42-7C-10GRND
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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

4" VENT SLEEVE W/ INSECT SCREEN 4'-10"

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

COLD CELLAR

NOTE W1: PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658
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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name
GREEN VALLEY ESTATES
municipality
BRADFORD, ON.
project no.
16023
date
BASEMENT PLAN ELEV. 'C'
drawing no.
100
drawn by
NC
checked by
RC
scale
3/16" = 1'-0"
file name
16023-S42-7C-10GRND
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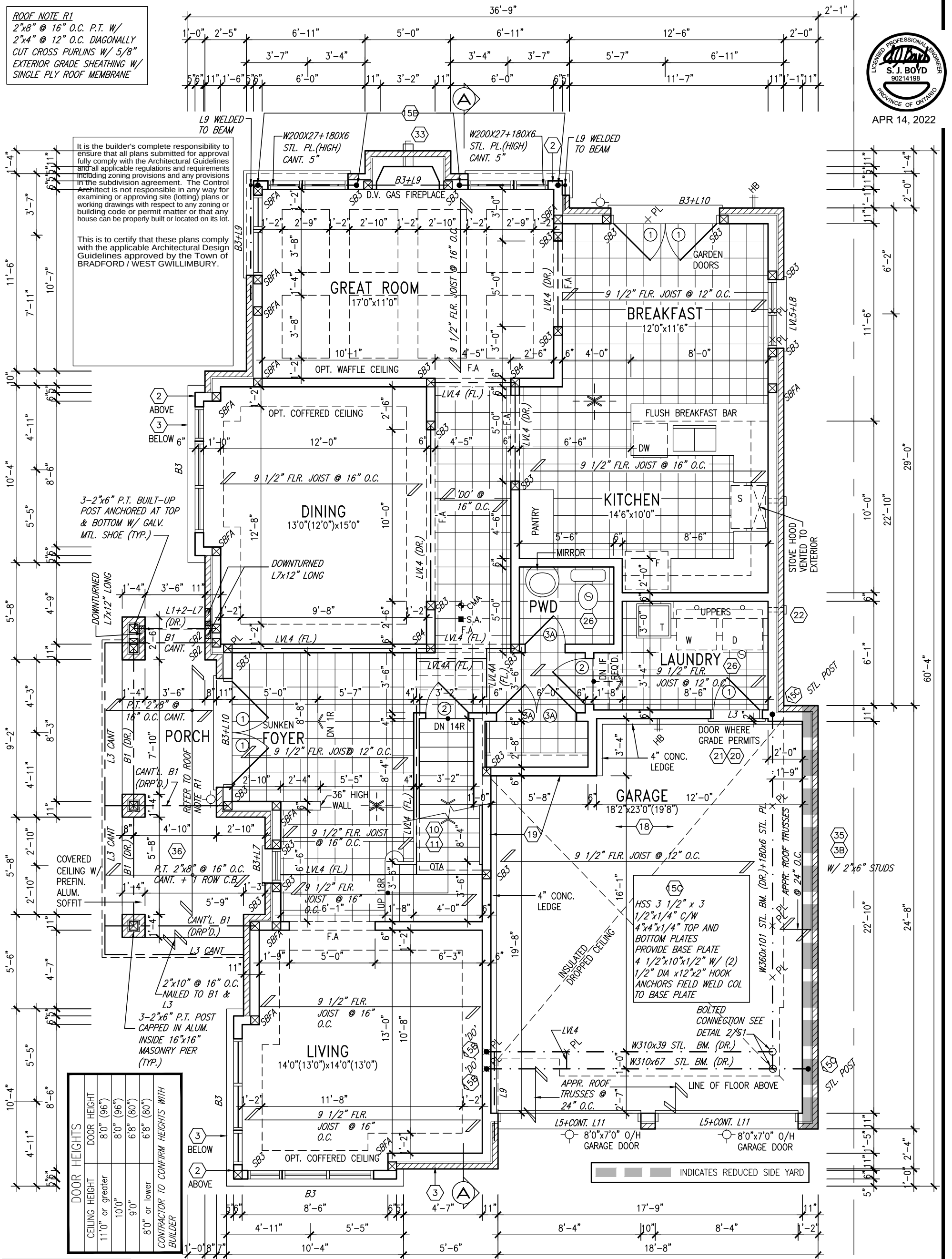
ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



APR 14, 2022

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NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'C'
(10'-0" GROUND)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
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no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
signature
BCIN

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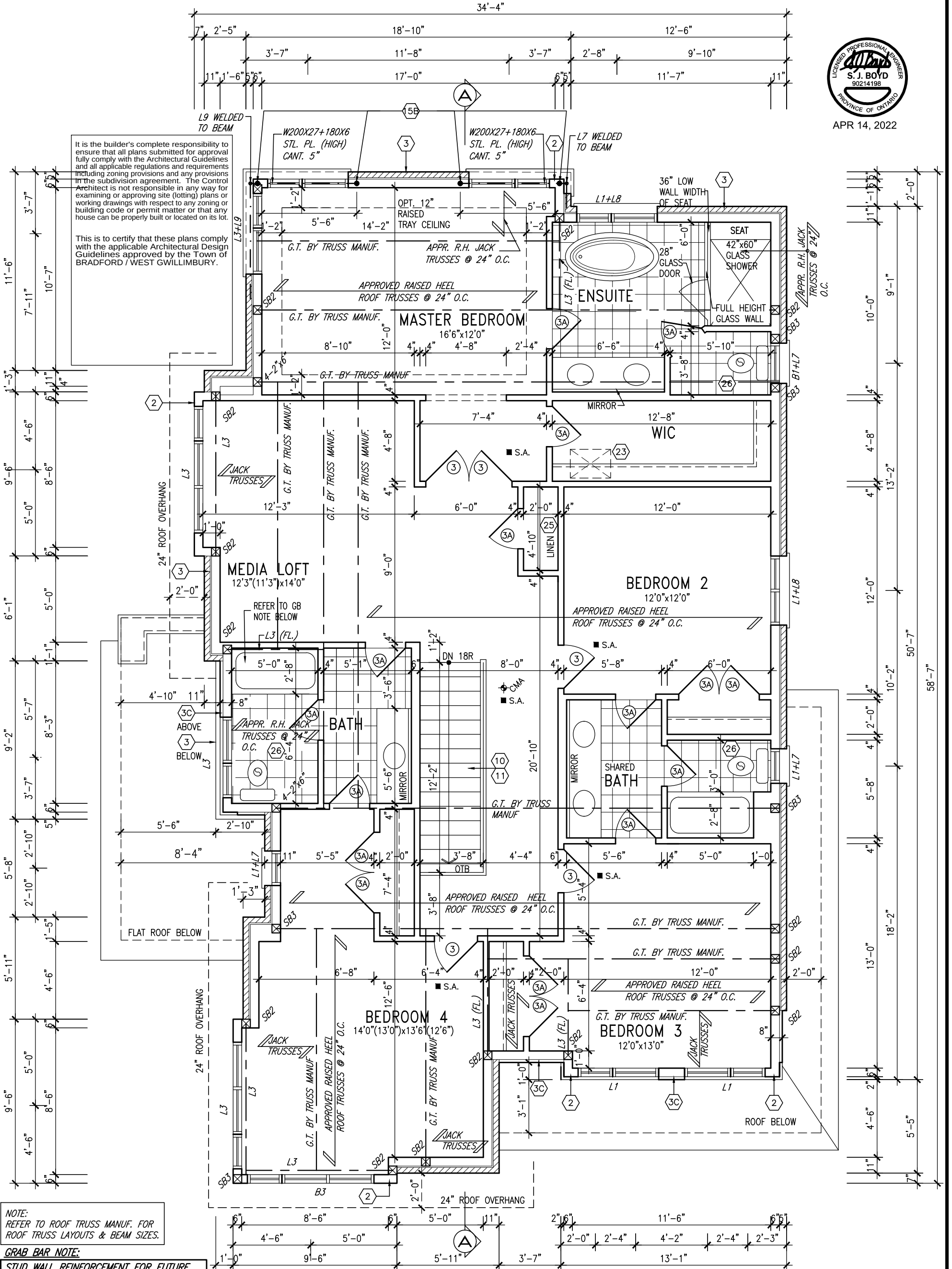
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va3design.com

BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023	
date	GROUND FLOOR PLAN 'C'		
drawn by NC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-7C-10GRND
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NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'C' 4 BEDROOM + MEDIA LOFT

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
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name
registration information BCIN
VA3 Design Inc. 42658

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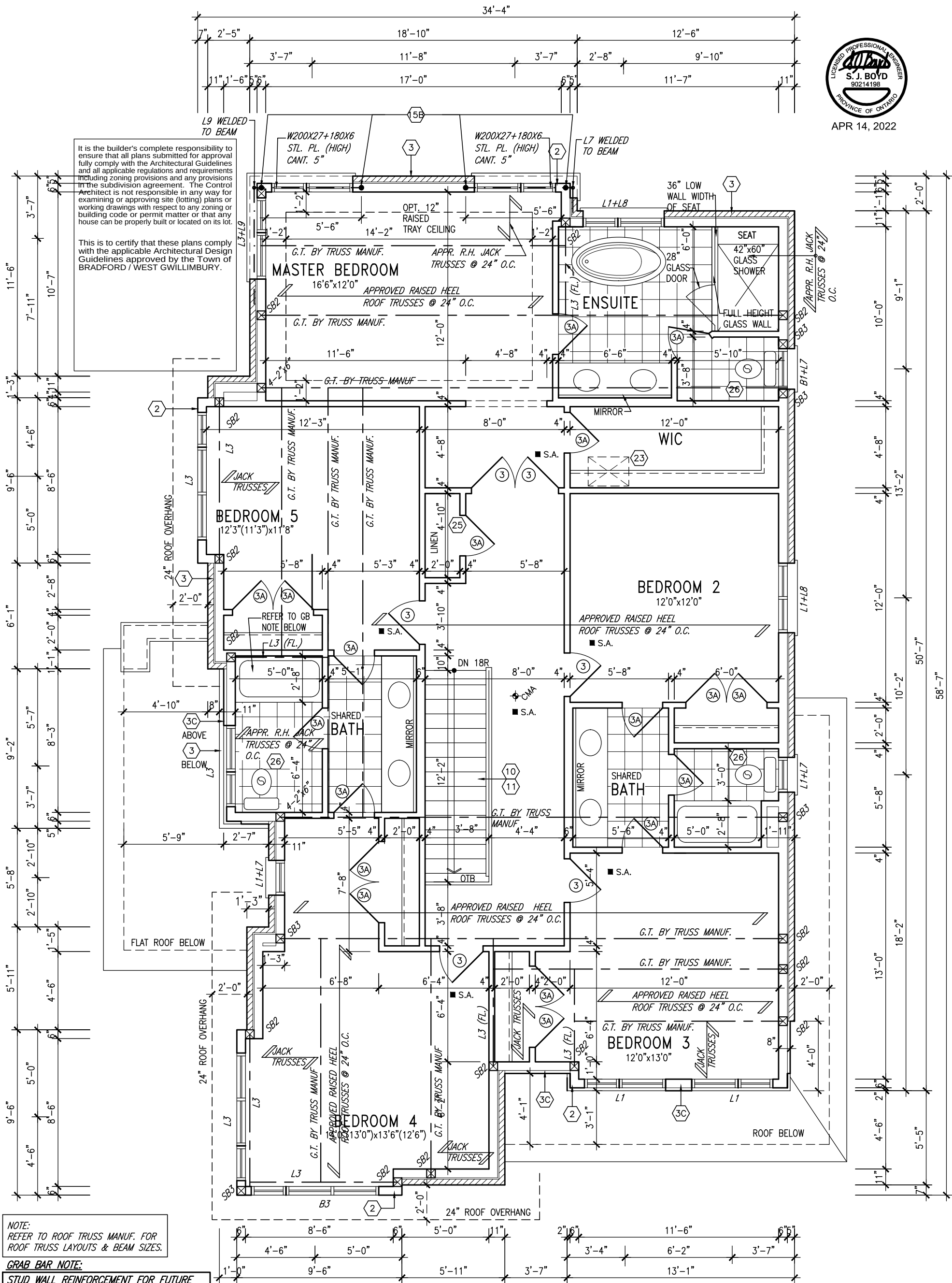
BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023	drawing no. 3C
date	SECOND FLOOR PLAN ELEV. 'C' (4BR)		
drawn by NC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-7C-10GRND
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OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
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name registration information BCIN

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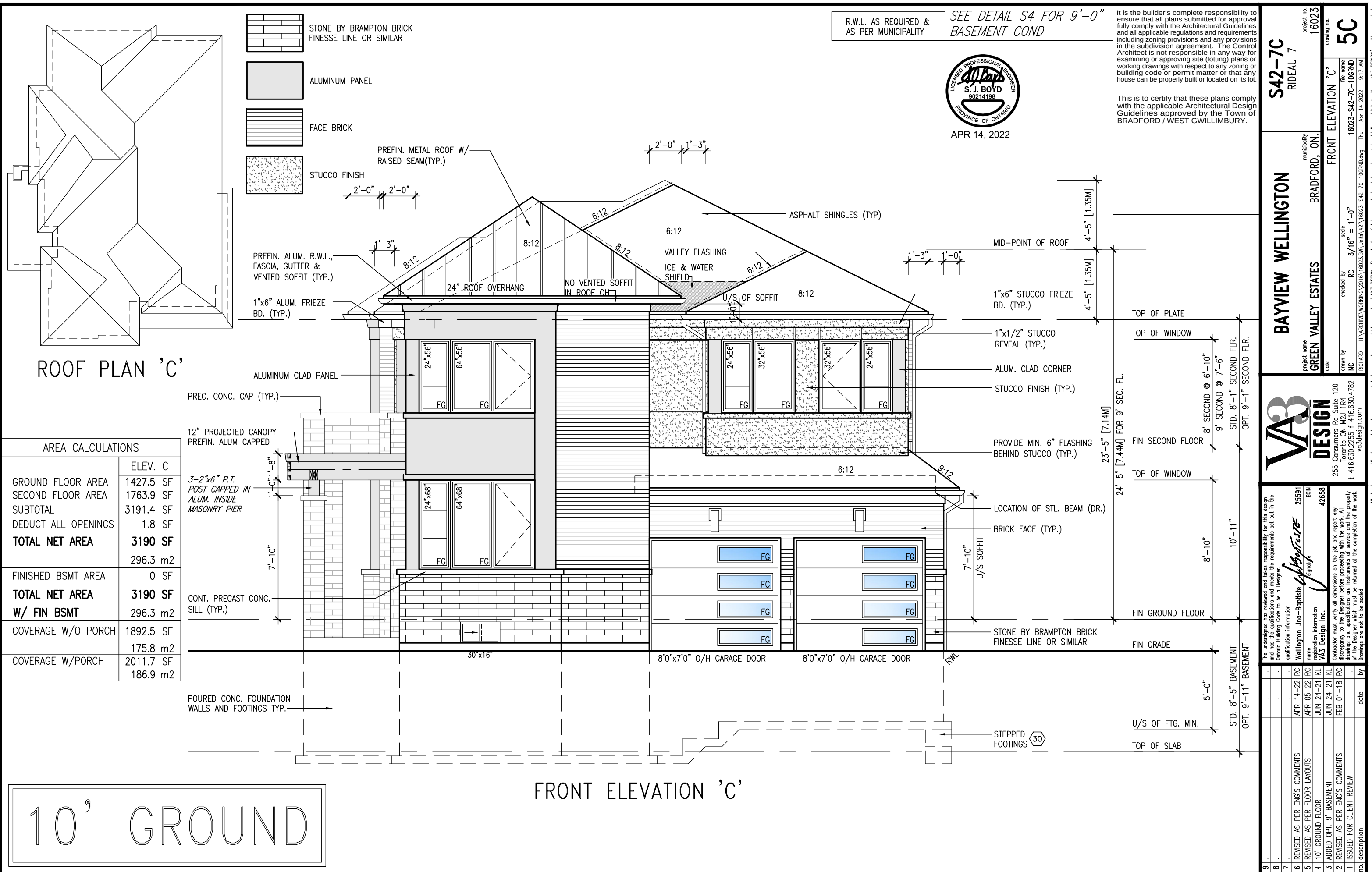
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vo3design.com

BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date	OPT. SECOND FLOOR PLAN ELEV. 'C' (5 BR)				drawing no.
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



APR 14, 2022

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FLANKAGE ELEVATION 'C'

10' GROUND

S42-7C
RIDEAU 7

BAYVIEW WELLINGTON



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qualification information
Wellington Jno-Baptiste 25591 BCN
name
registration information
VA3 Design Inc. 42658
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no.	description	date	by
9			
8			
7			
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1	ISSUED FOR CLIENT REVIEW		

project no. 16023
project name GREEN VALLEY ESTATES
municipality BRADFORD, ON.

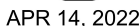
drawing no. 6C
FLANKAGE ELEVATION ELEV. 'C'

scale 3/16" = 1'-0"
checked by RC
drawn by NC
date RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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S42-7C
RIDEAU 7

project no.	16023
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ing no.

BAYVIEW WELLINGTON

BRADFORD, ON. municipality

ing no.

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Date _____

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A3 Design Inc. 42658

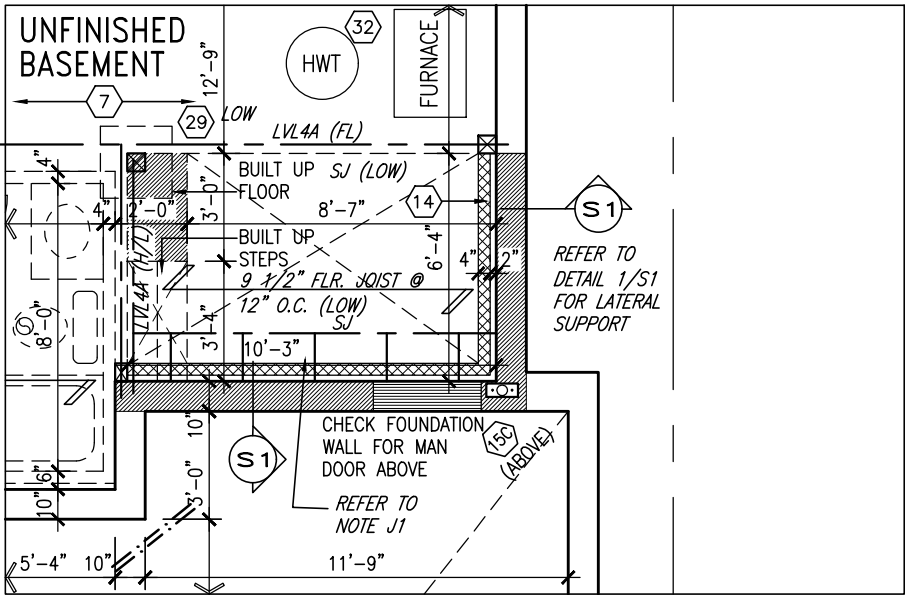
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3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC

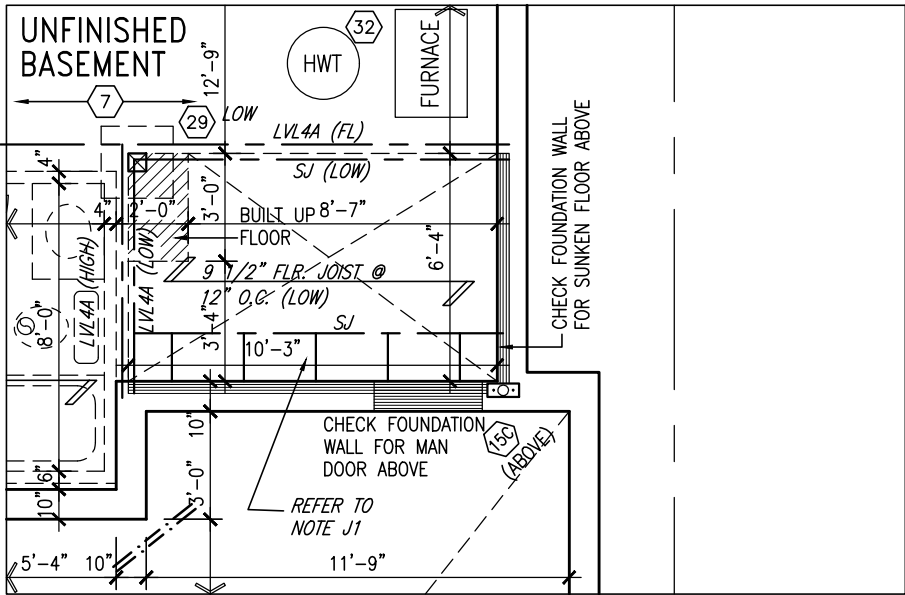
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10⁹ GROUND



PART. BASEMENT PLAN FOR OPT.
SUNKEN LAUNDRY 2R OR MORE COND

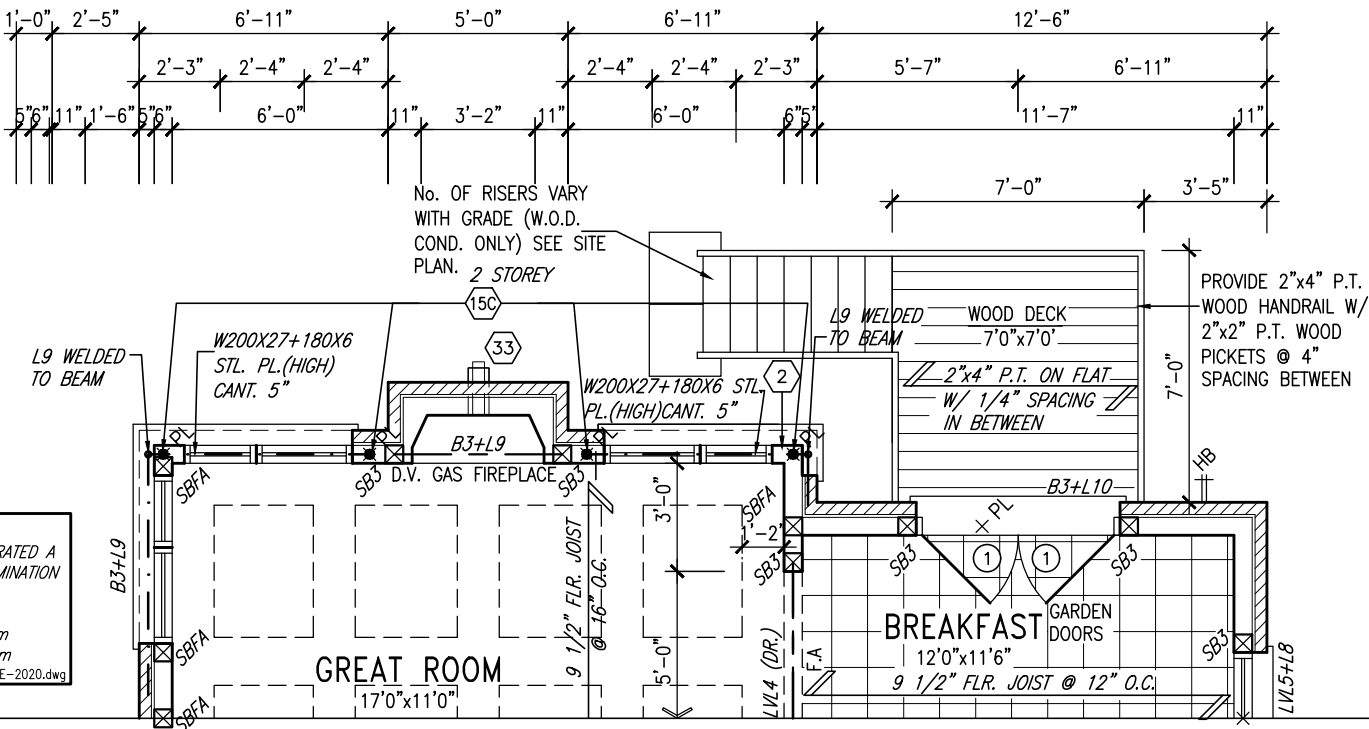


PART. BASEMENT PLAN FOR OPT.
SUNKEN LAUNDRY 1R COND

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

50
HSS 3 1/2" x 3
1/2"x1/4" C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

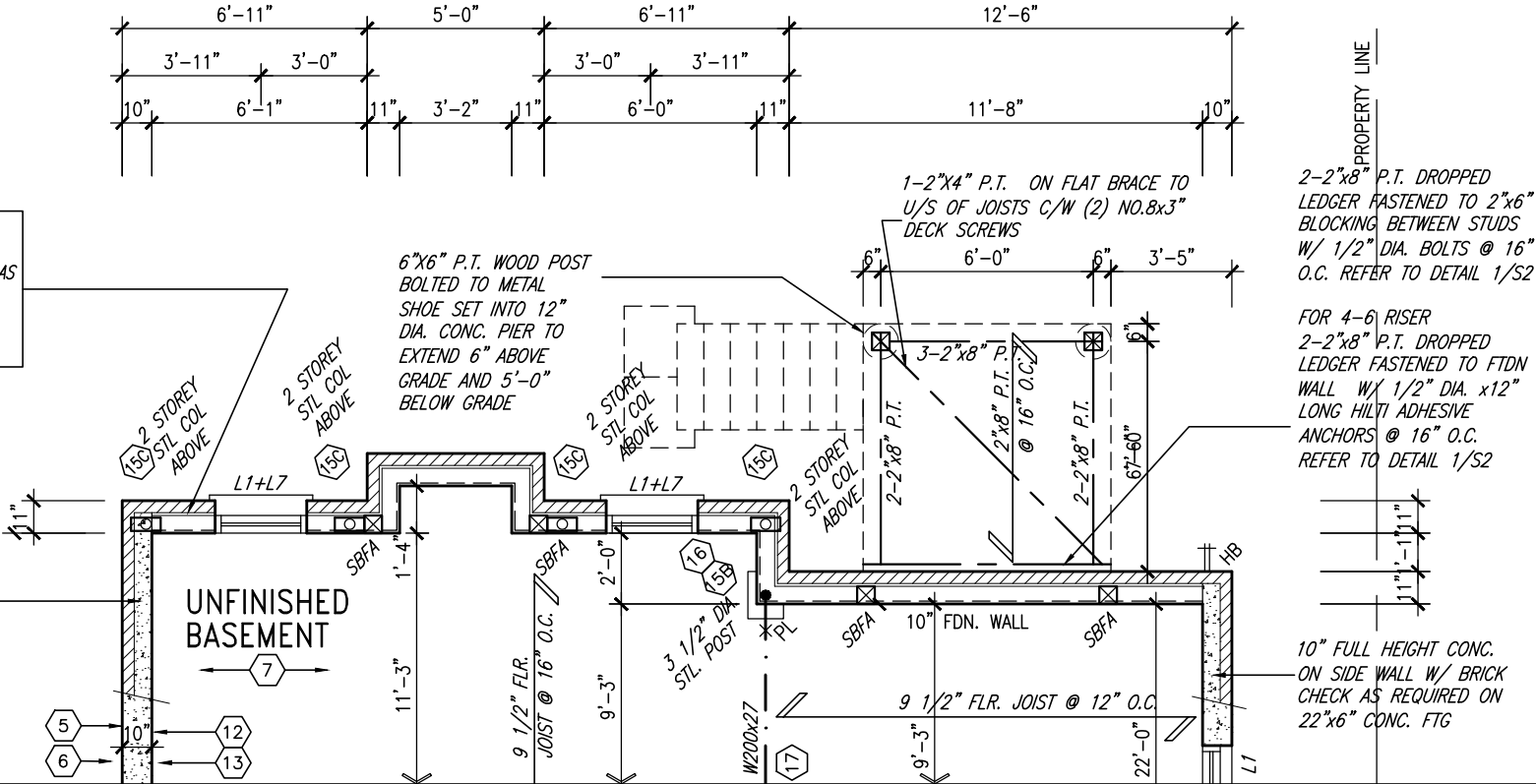


APR 14, 2022

PARTIAL GROUND FLOOR PLAN W.O.D.
9R OR MORE CONDITION ELEV. 'C'

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG



NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**

-2" (R10) CONTINUOUS INSULATION (RIGID
OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION
& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

PARTIAL BASEMENT PLAN W.O.D.
9R OR MORE CONDITION ELEV. 'C'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 14-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
registration information BCIN
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

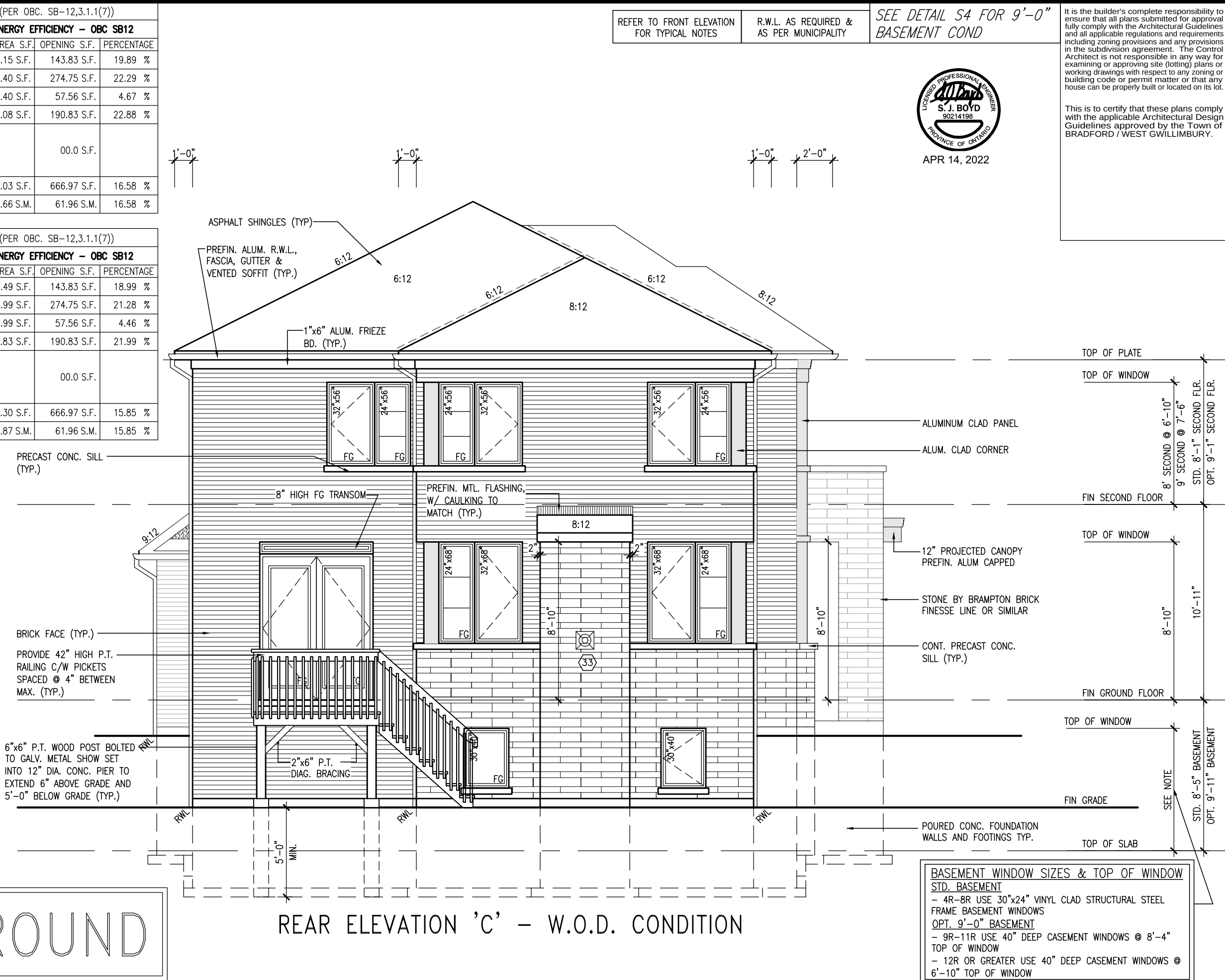
BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023
date	PART. PLANS-W.O.D. COND.	
drawn by NC	checked by RC-	scale 3/16" = 1'-0"
file name 16023-S42-7C-10GRND		drawing no. 9C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM		

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C E.L.C W/ WOD 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	723.15 S.F.	143.83 S.F.	19.89 %
LEFT SIDE	1232.40 S.F.	274.75 S.F.	22.29 %
RIGHT SIDE	1232.40 S.F.	57.56 S.F.	4.67 %
REAR	834.08 S.F.	190.83 S.F.	22.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4022.03 S.F.	666.97 S.F.	16.58 %
TOTAL SQ. M.	373.66 S.M.	61.96 S.M.	16.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C E.L.C W/ WOD 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.49 S.F.	143.83 S.F.	18.99 %
LEFT SIDE	1290.99 S.F.	274.75 S.F.	21.28 %
RIGHT SIDE	1290.99 S.F.	57.56 S.F.	4.46 %
REAR	867.83 S.F.	190.83 S.F.	21.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.30 S.F.	666.97 S.F.	15.85 %
TOTAL SQ. M.	390.87 S.M.	61.96 S.M.	15.85 %



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

APR 14, 2022

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON.

project no. 16023

municipality

drawn by NC

checked by RC

scale 3/16" = 1'-0"

date 16023-S42-7C-10GRND.dwg - Thu - Apr 14 2022 - 9:17 AM

10C

REAR ELEVATION 'C' - W.O.D. COND.



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

9 .

8 .

7 .

6 REVISED AS PER ENG'S COMMENTS APR 14-22 RC

5 REVISED AS PER FLOOR LAYOUTS APR 05-22 RC

4 10' GROUND FLOOR JUN 24-21 KL

3 ADDED OPT. 9' BASEMENT JUN 24-21 KL

2 REVISED AS PER ENG'S COMMENTS FEB 01-18 RC

1 ISSUED FOR CLIENT REVIEW .

no. description

date

by

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

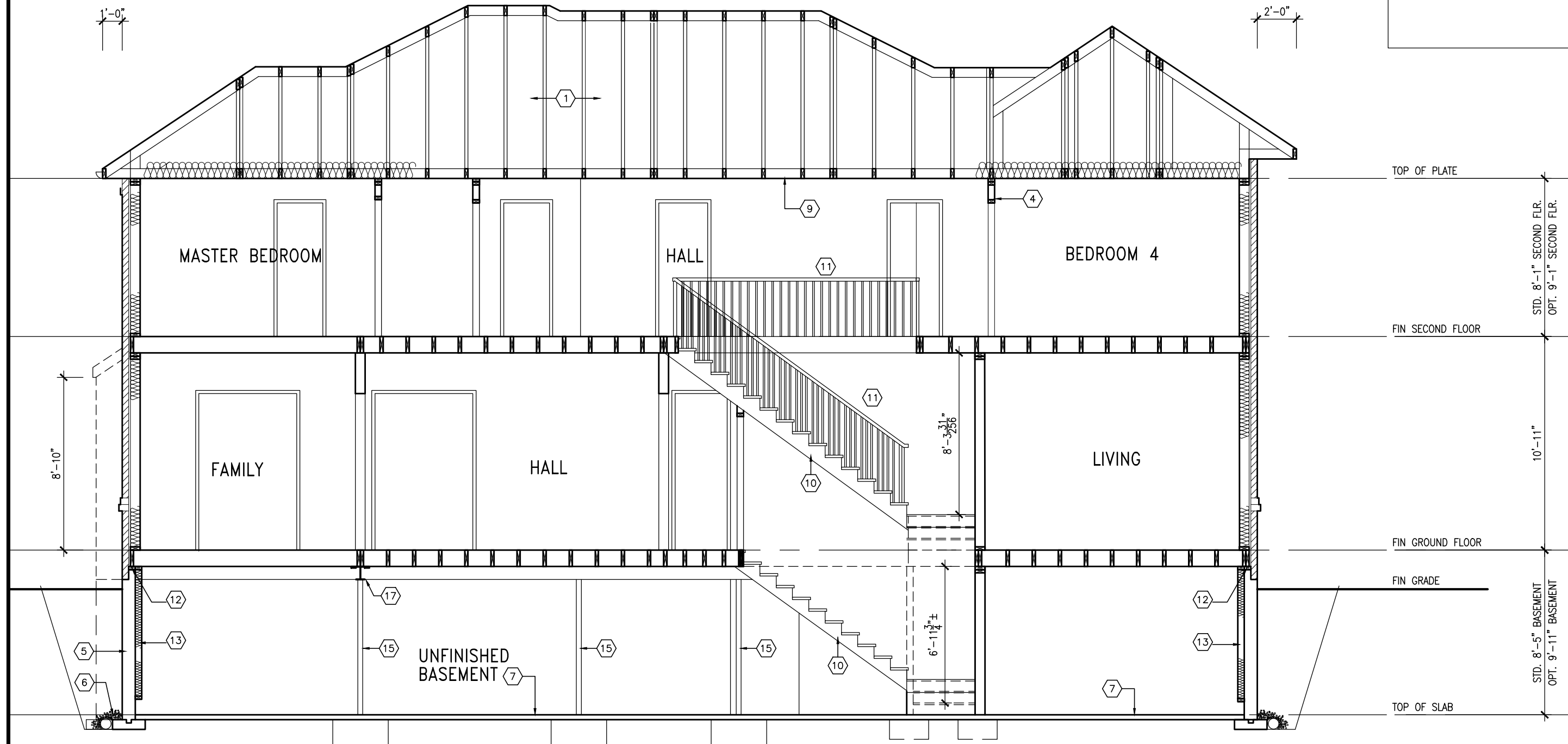
BAYVIEW WELLINGTON	S42-7C RIDEAU 7
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.
drawn by NC	scale 3"/16" = 1'-0"
date	checked by RC
	STD, SECTION A-A ELEV. 'A', 'B', 'C'
	file name 16023-S42-7C-10GRND
	drawing no. 11C
	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units 42\16023-S42-7C-10GRND.dwg - Thu Apr 14 2022 - 9:18 AM

V3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

The undersigned has reviewed and takes responsibility for this design. The undersigned is a duly Licensed Professional Engineer and the design meets all applicable Code and regulatory requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste name registration information VA33 Design Inc. signature 	255911 BCIN 42658
---	--

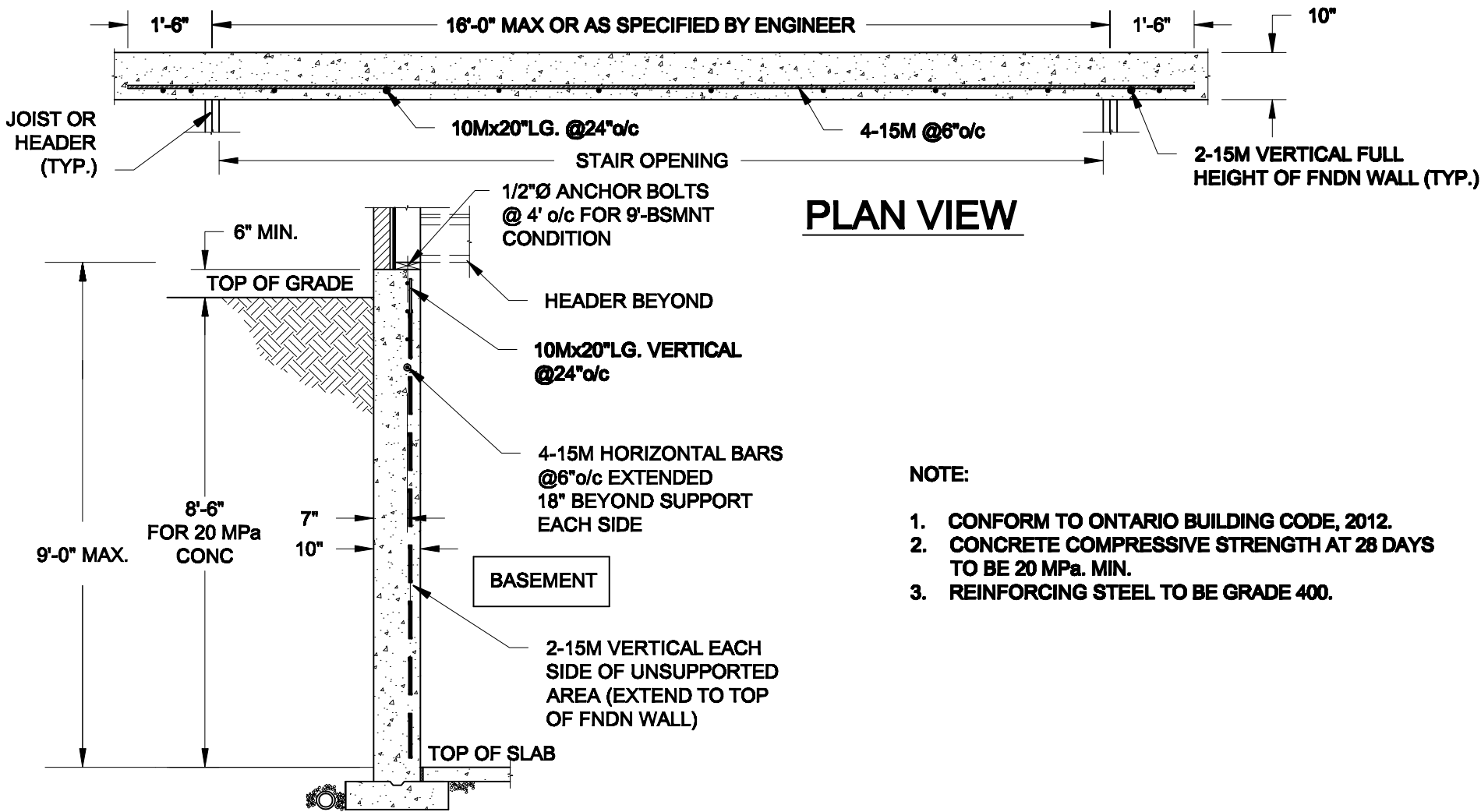
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. The property of the Designer which must be returned at the completion of the work. Drawings are not to be soiled.

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CROSS SECTION A-A

10⁹ GROUND

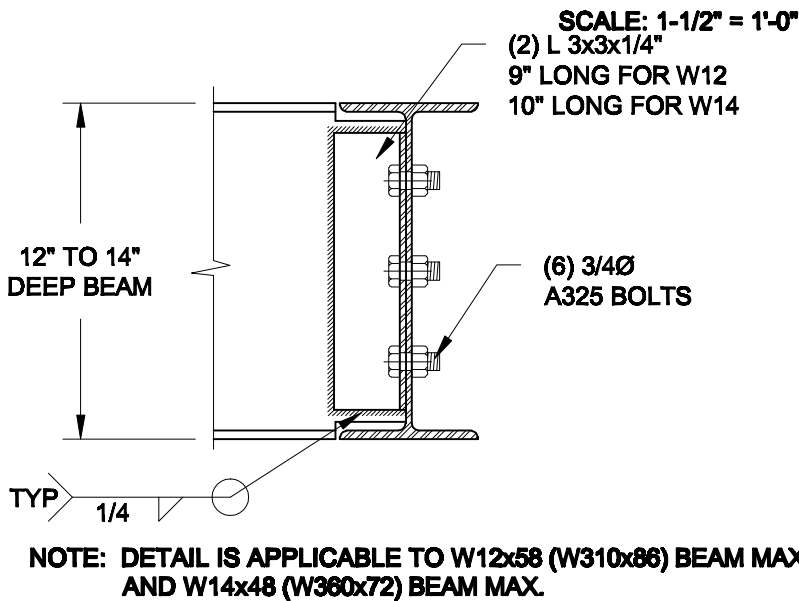
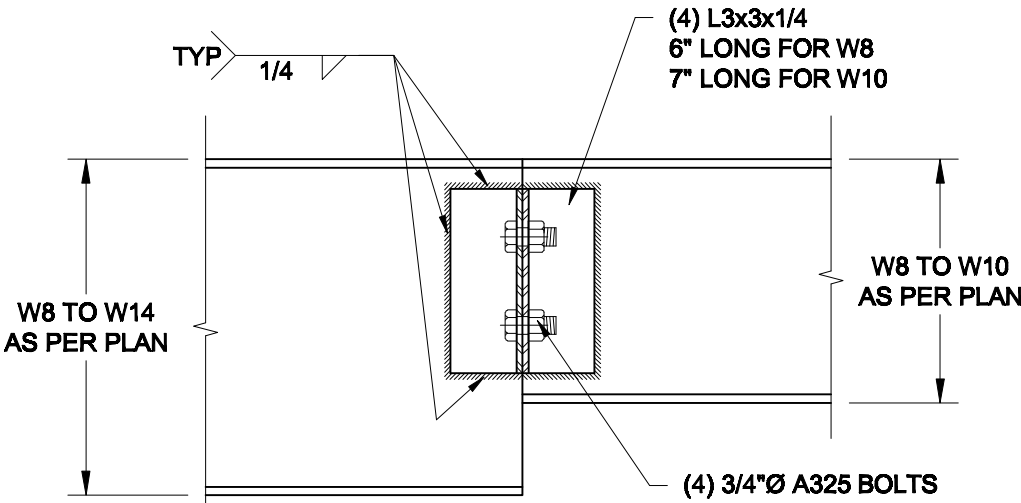
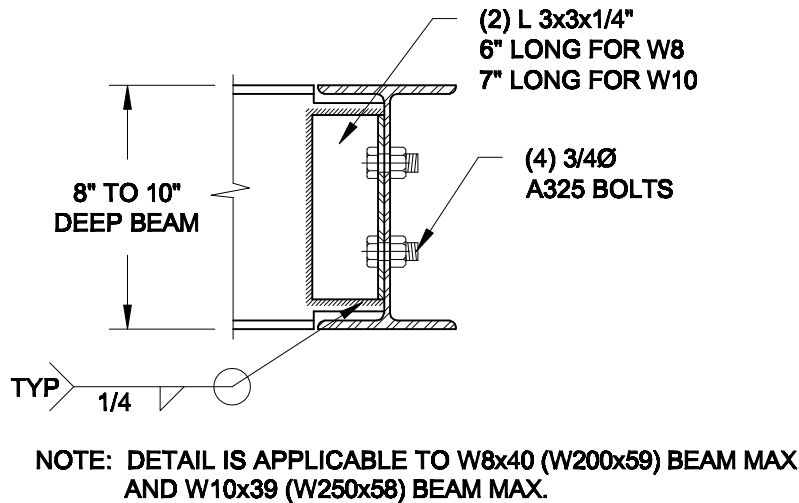


PLAN VIEW

- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
 3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2 STEEL BEAM CONNECTION DETAILS

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.

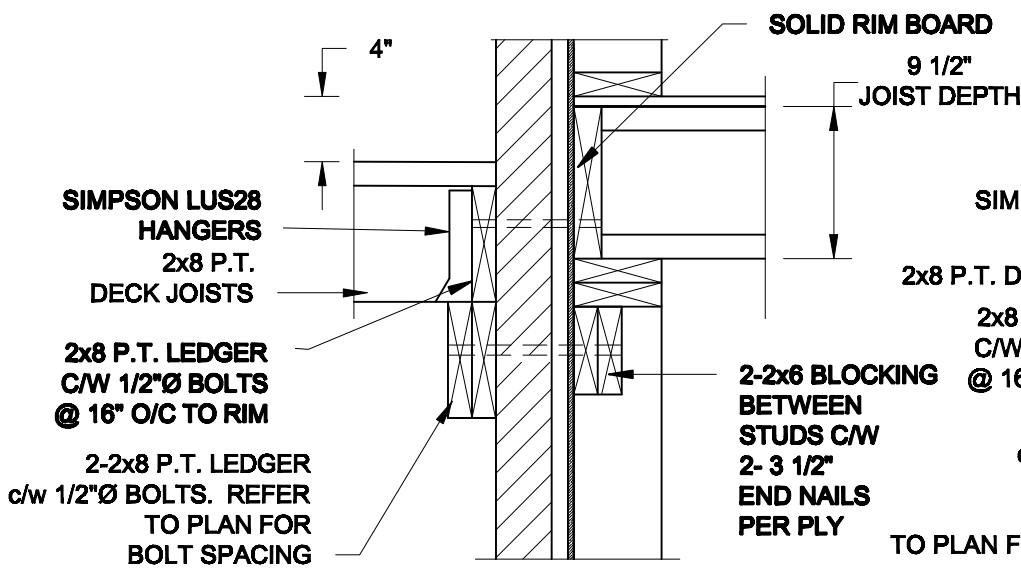


38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
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E: quaile.eng@rogers.com

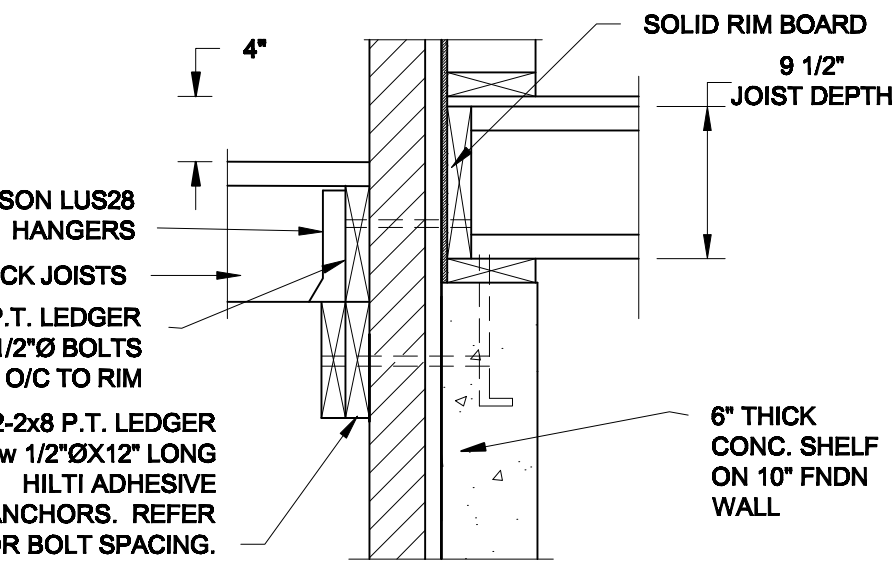


Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
TYPICAL STRUCTURAL DETAILS	
Project No.: 21-038	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

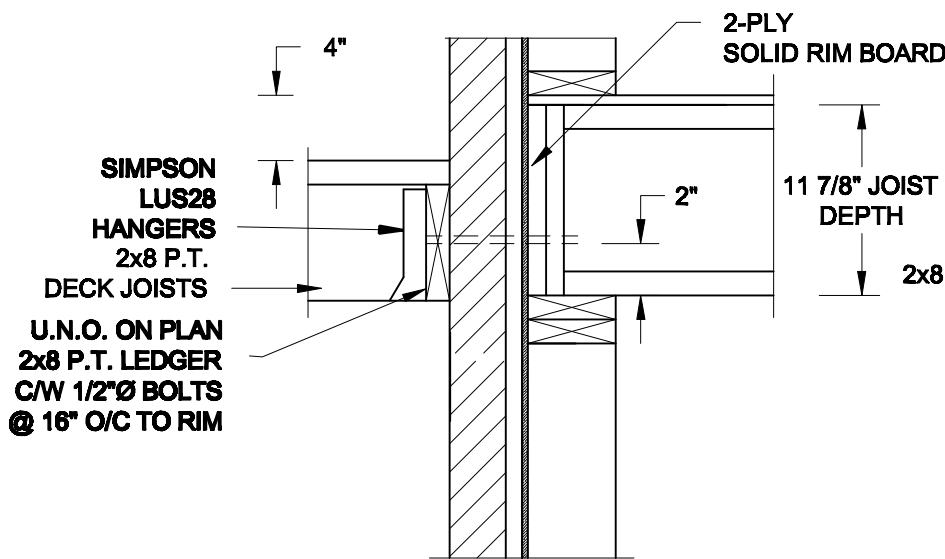


1A
S2 DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

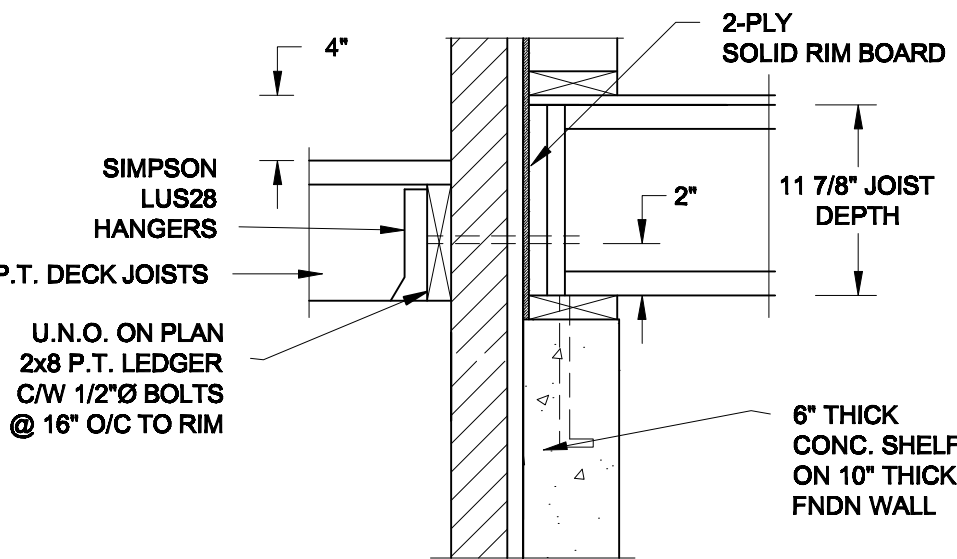


1B
S2 DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



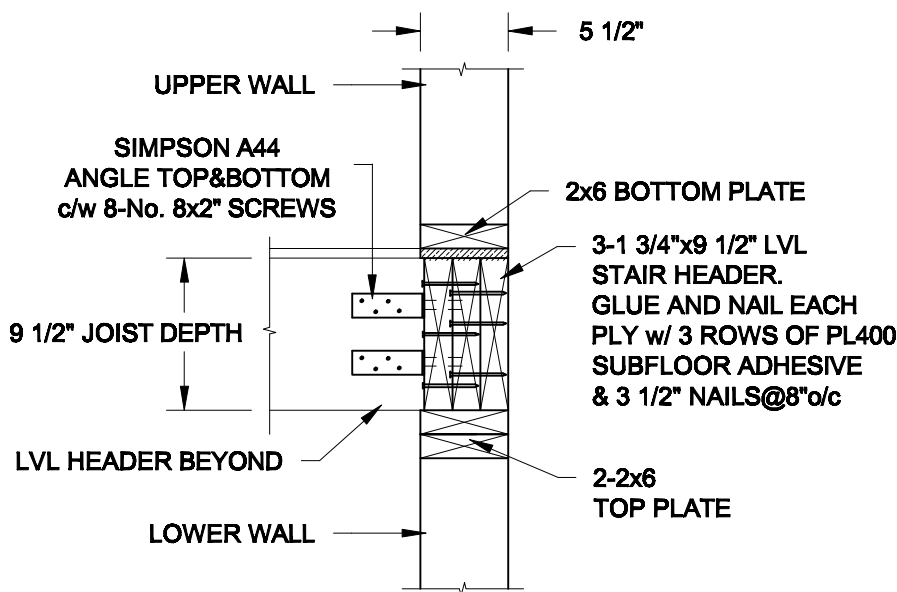
1C
S2 DECK FASTENING DETAIL
SCALE: 1" = 1'-0"



1D
S2 DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

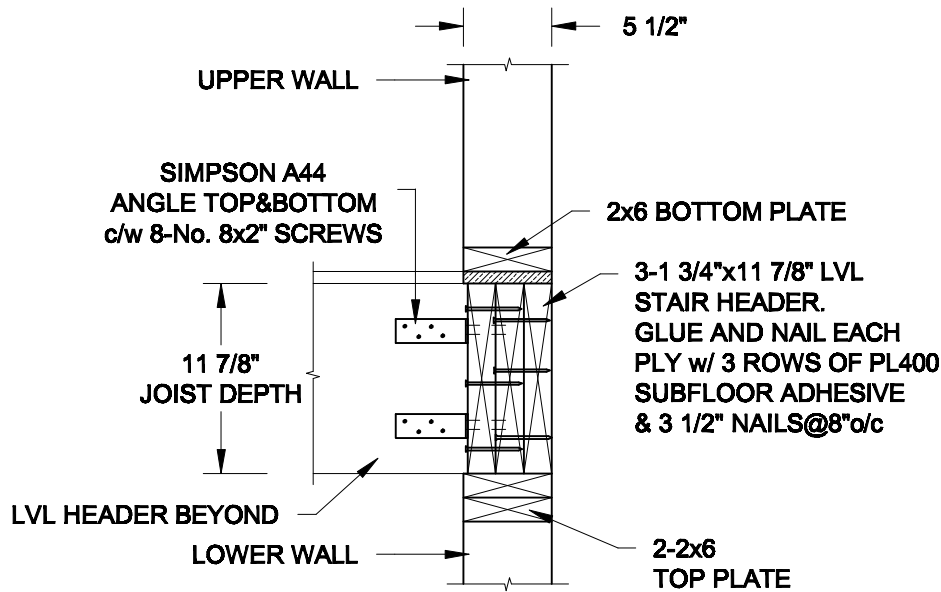
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A
S2 STAIR HEADER
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2 STAIR HEADER
SCALE: 1" = 1'-0"

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

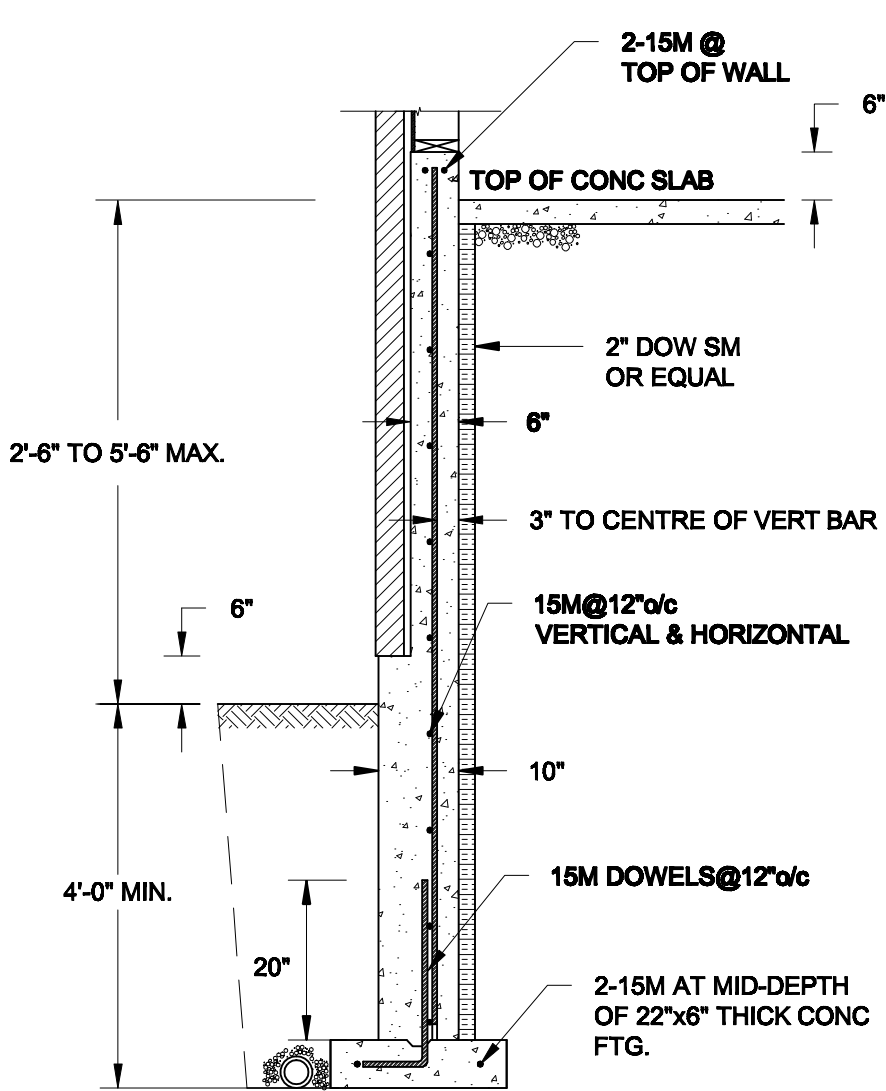
TYPICAL STRUCTURAL DETAILS

Project No.:

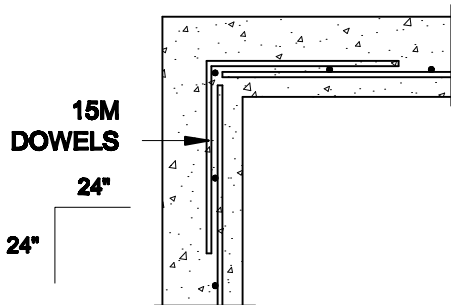
21-038

Drawing No.:

S2



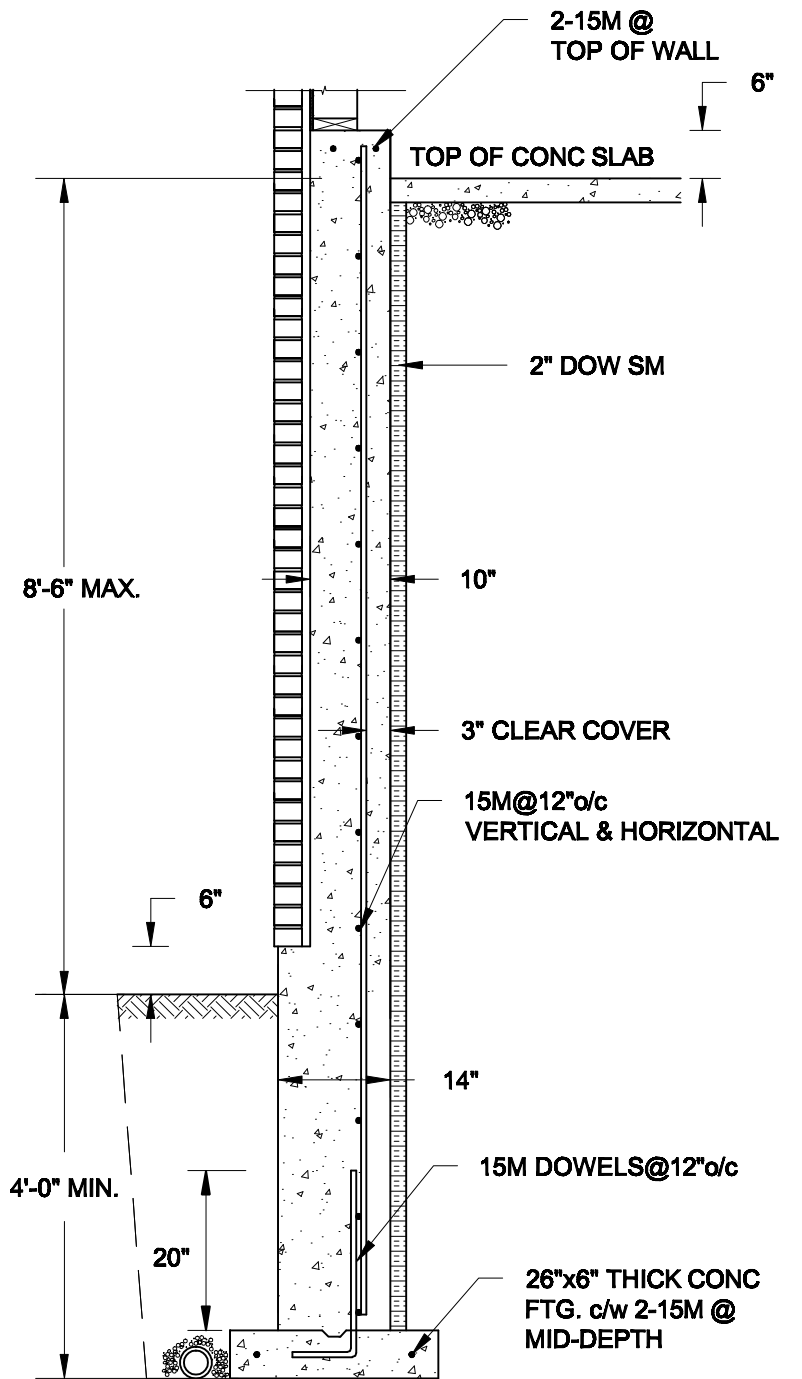
1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



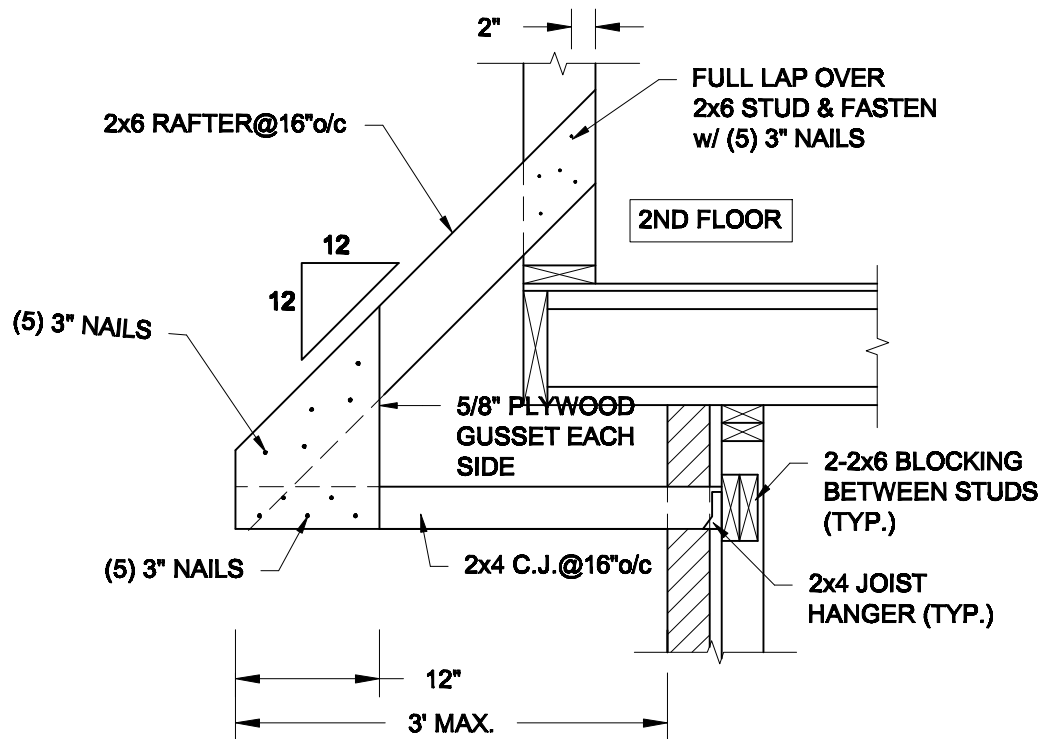
1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
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Engineer's Seal



FEB 24, 2022

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

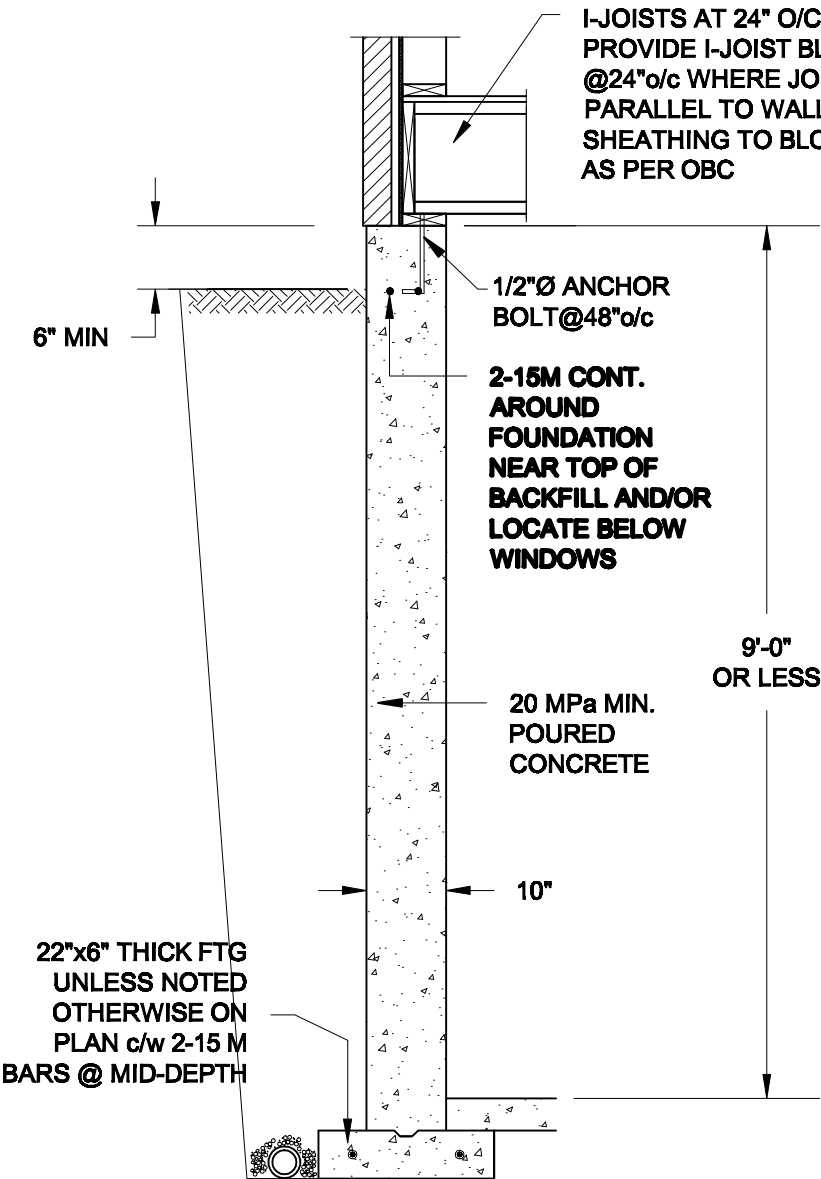
TYPICAL STRUCTURAL DETAILS

Project No.:

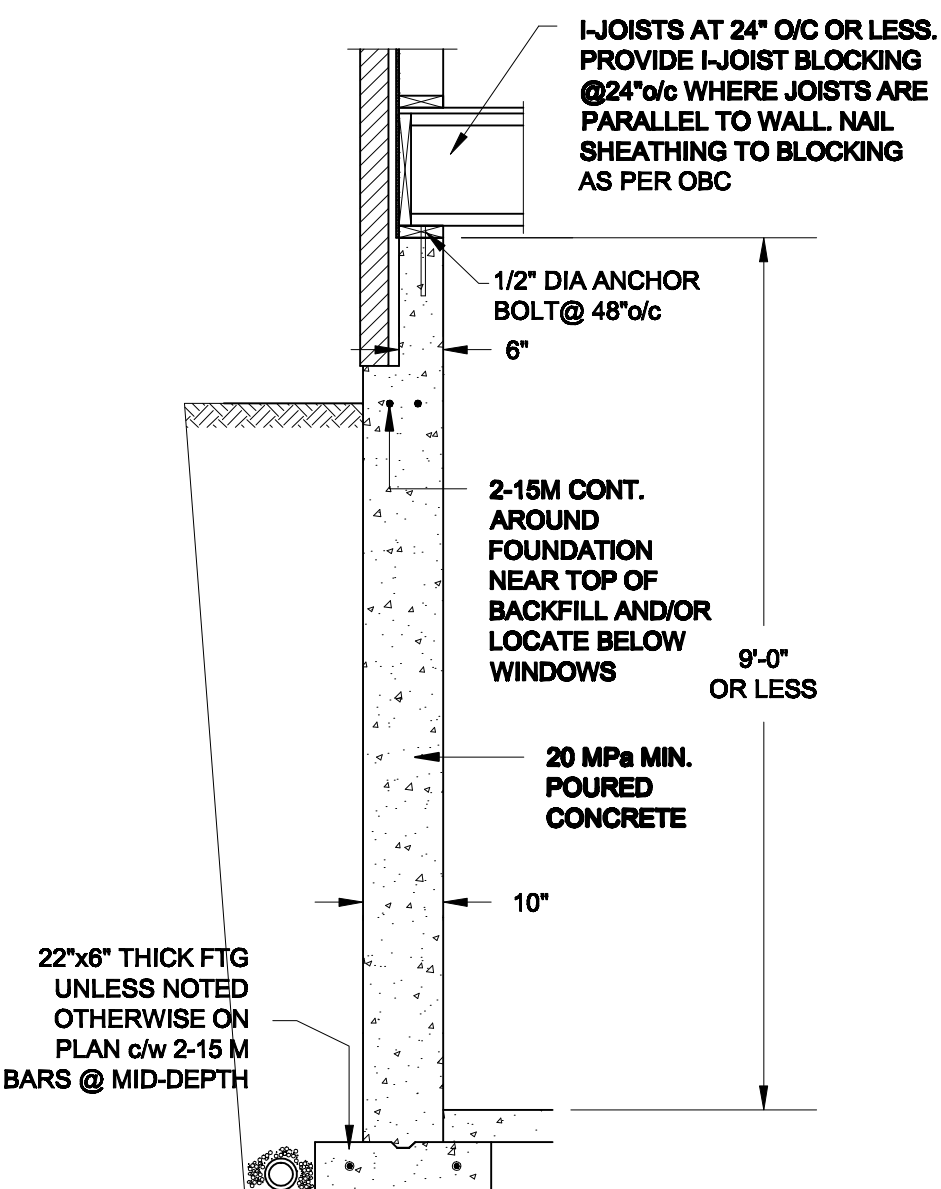
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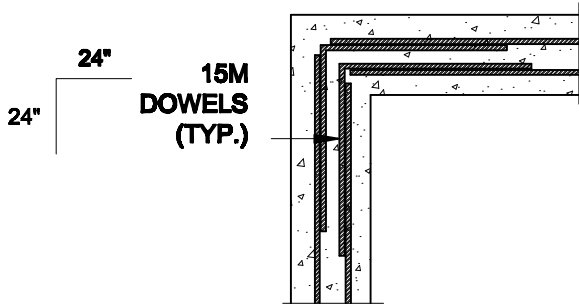
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"



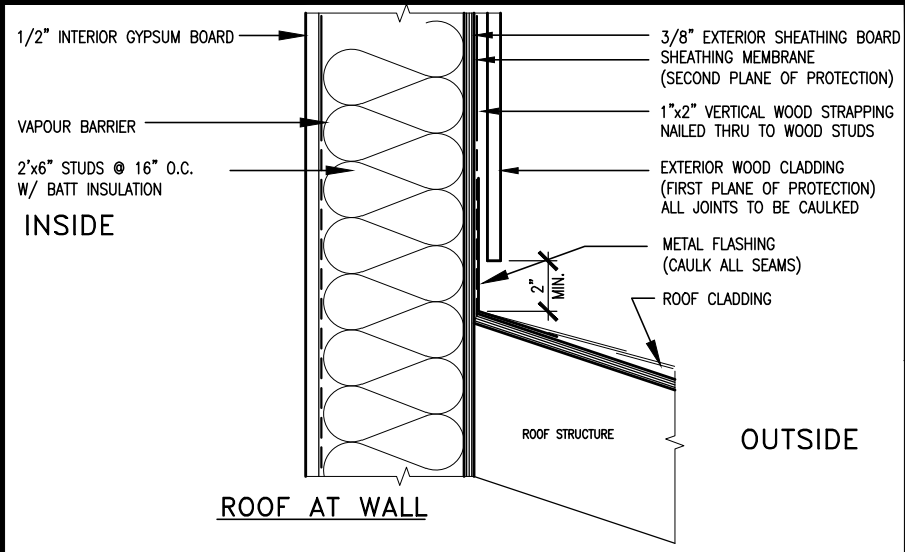
1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

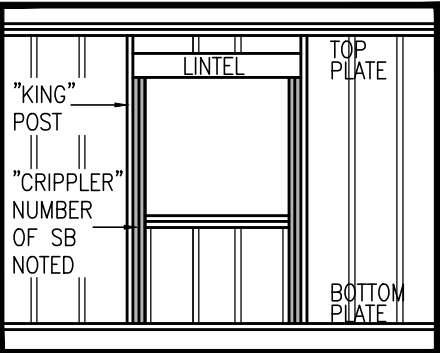
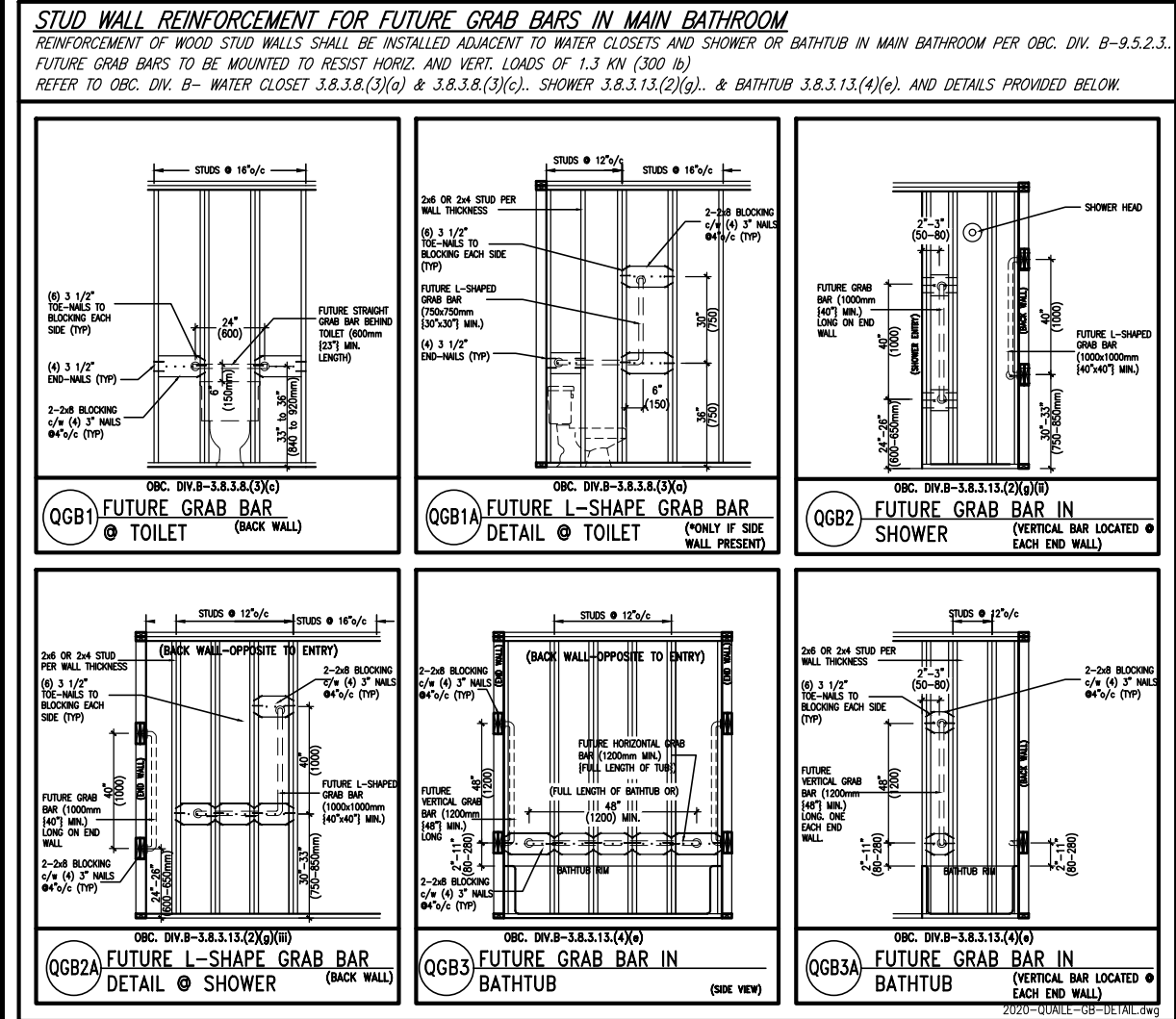
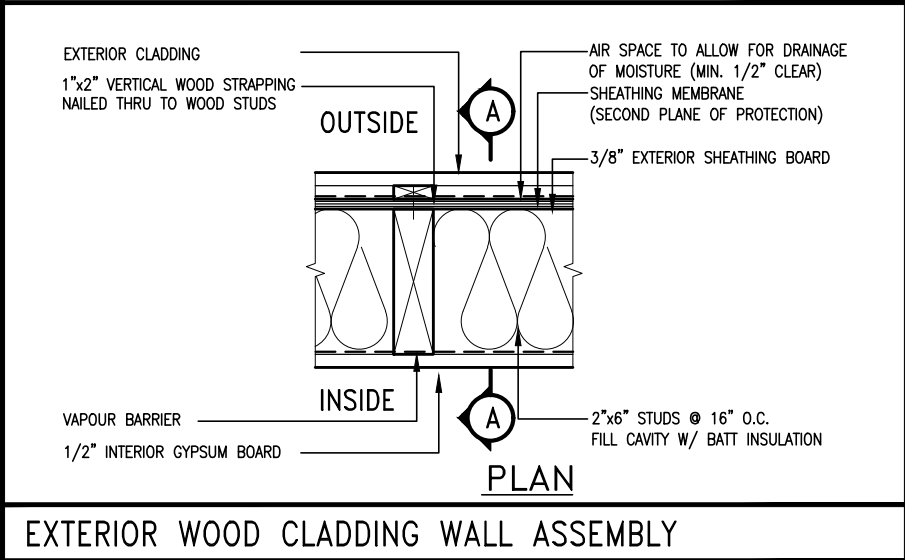
NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



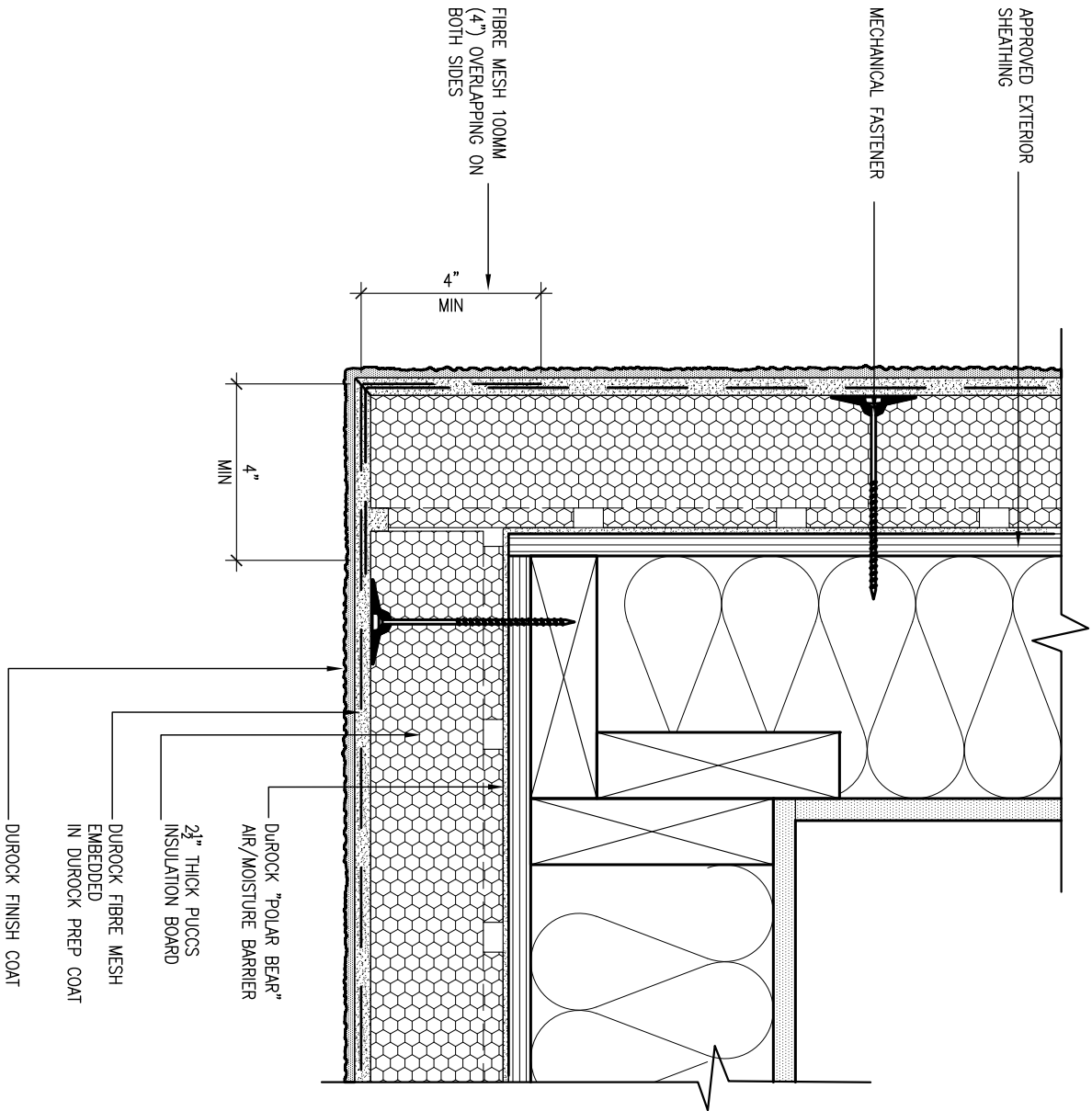
"CRIPPLE" DETAIL

S. J. BOYD
LICENSED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 26, 2022

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		drawing no.	
16023-CN-2022-A1		CN2	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM			

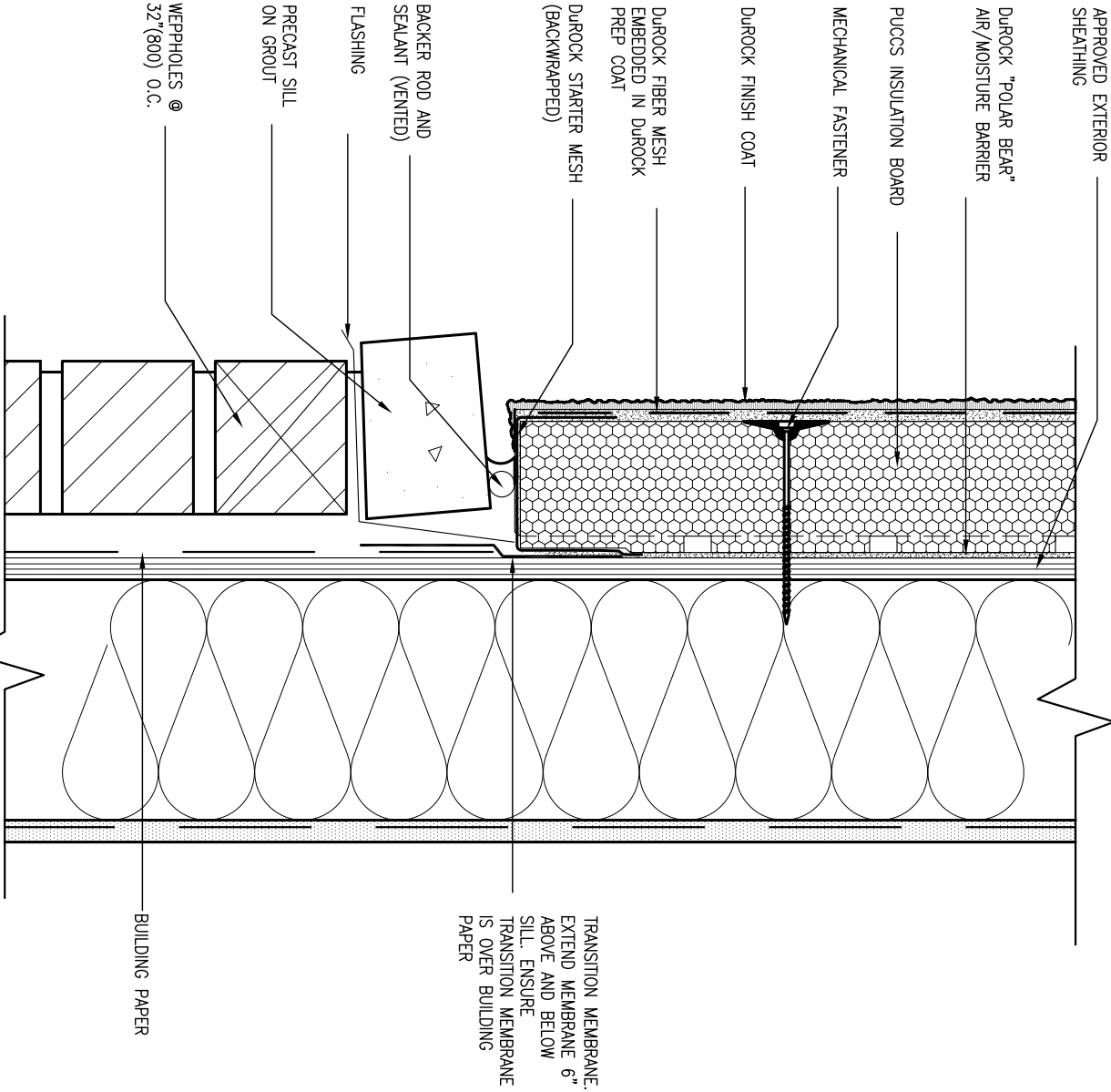


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

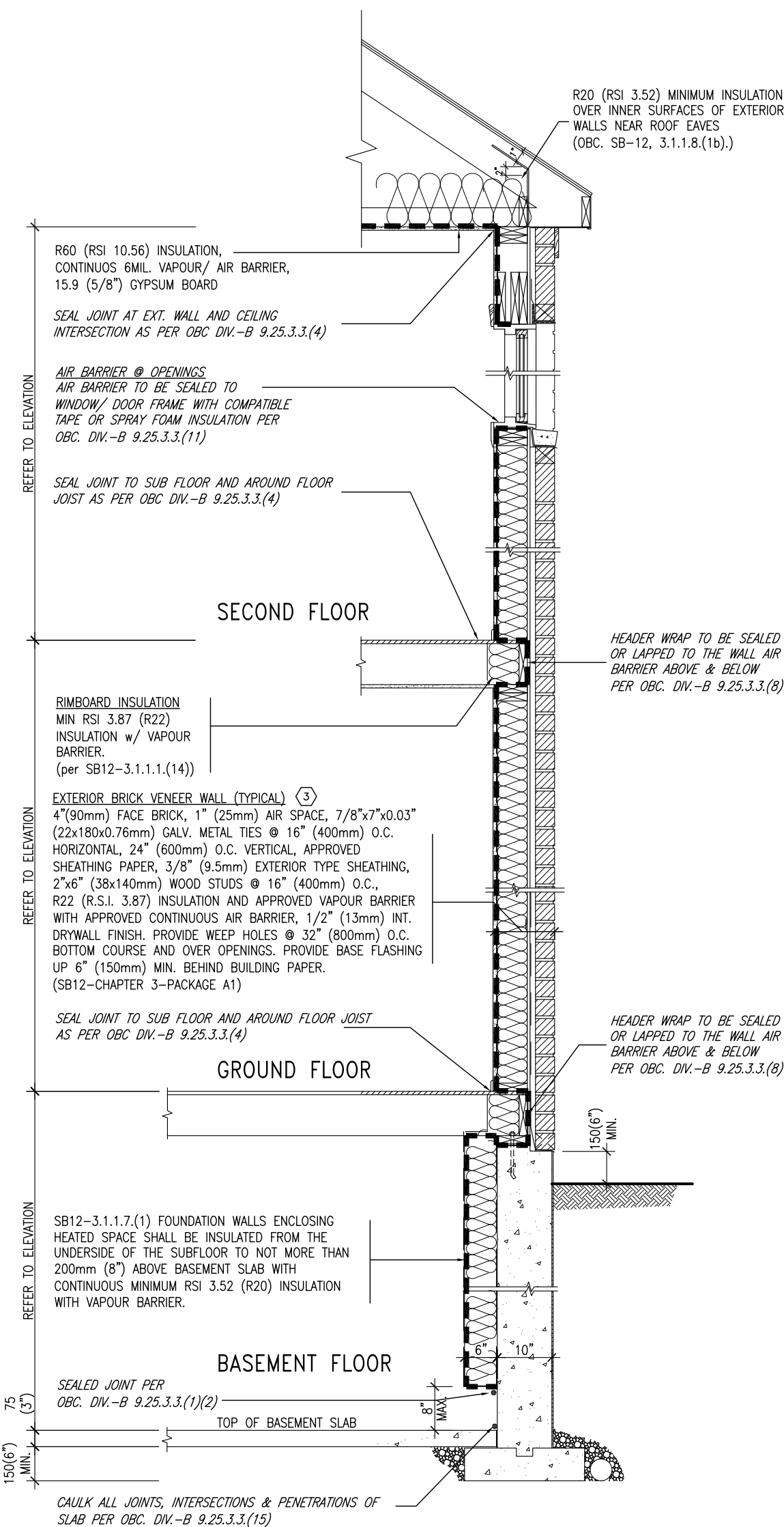


6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 signature BCIN VA3 Design Inc. 42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON GREEN VALLEY EAST	municipality BRADFORD	CONST NOTE -	project no. 16023
8	.	.	.						
7	.	.	.						
6	.	.	.						
5	.	.	.						
4	UPDATE TO 2022	JAN 11-22	RC	name registration information	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	CONSTRUCTION NOTES 16023-CN-2022-A1	drawing no. CN5		
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.					
2	UPDATE TO 2018	JAN 11-18	RC						
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC, DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

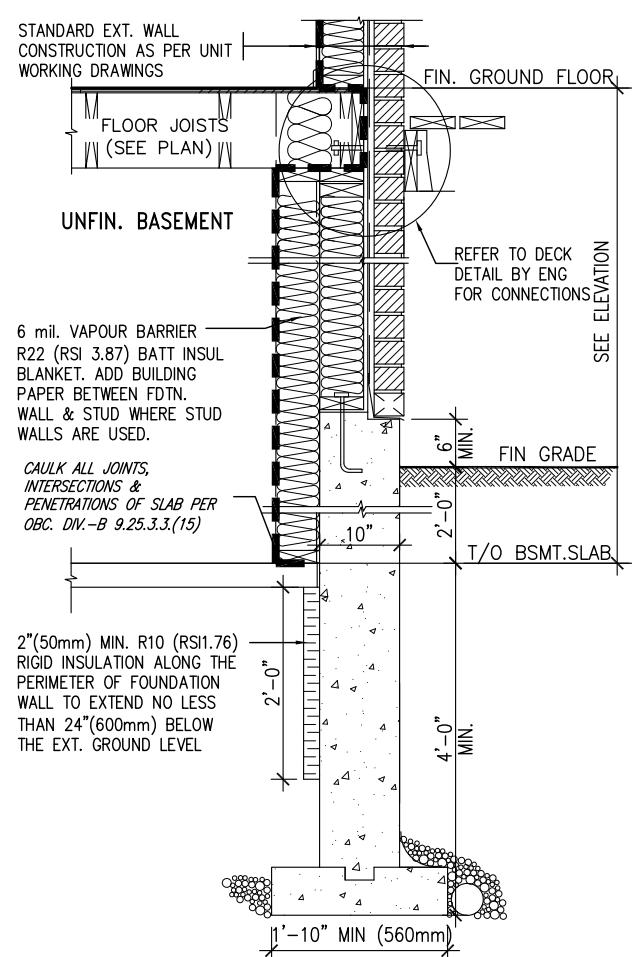
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



JAN 26, 2022



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name signature BCIN
8	.	.	.	
7	.	.	.	
6	.	.	.	
5	.	.	.	
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	



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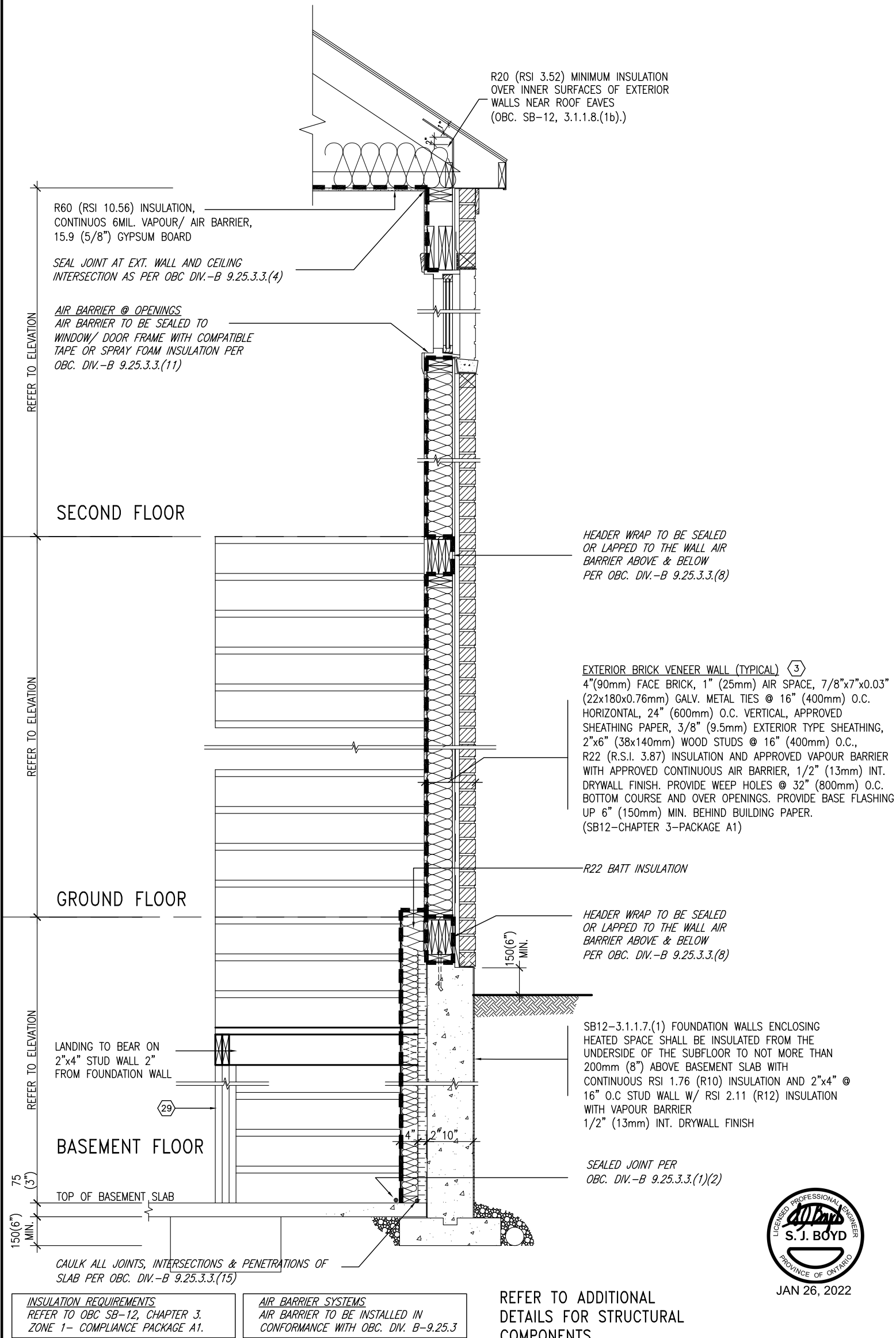
BAYVIEW WELLINGTON

CONST NOTE

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MAY 2016		CONSTRUCTION NOTES			drawing no. CN6
drawn by RC		checked by -		scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
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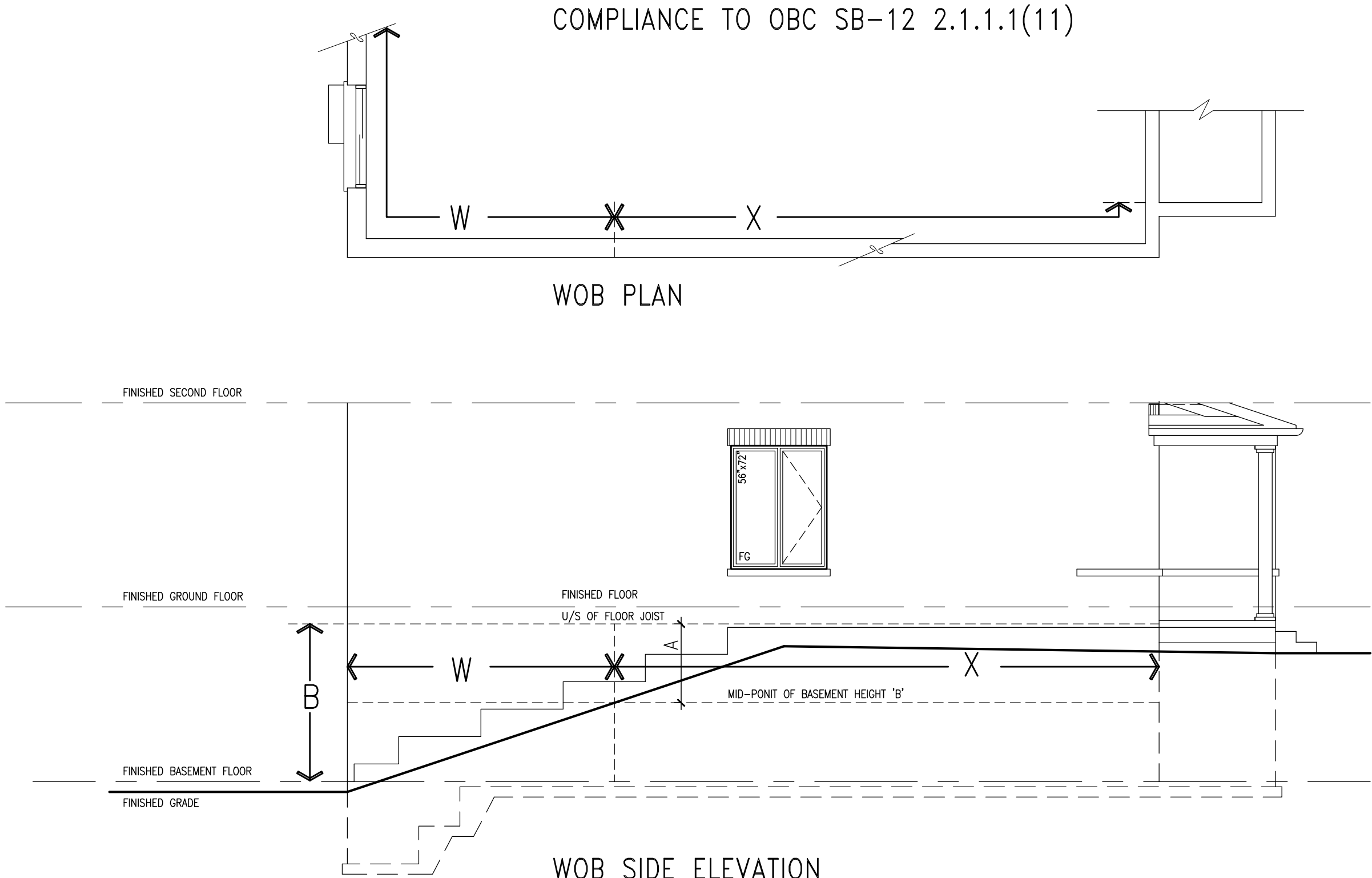
SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 signature BCIN registration information VA3 Design Inc. 42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST NOTE	
8	.	.	.					
7	.	.	.					
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4	UPDATE TO 2022	JAN 11-22	RC			project name GREEN VALLEY EAST project no. 16023	municipality BRADFORD	drawing no. CN7
3	UPDATE TO 2020	FEB 24-20	RC					
2	UPDATE TO 2018	JAN 11-18	RC					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by					

date MAY 2016			CONSTRUCTION NOTES			file name 16023-CN-2022-A1
drawn by RC	checked by -	scale 3/16" = 1'-0"				
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WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

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no.	description	date	by
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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
BAYVIEW WELLINGTON	BRADFORD	16023	CN8
date	drawn by	checked by	scale
MAY 2016	RC	-	3/16" = 1'-0"
CONSTRUCTION NOTES	file name	date	time
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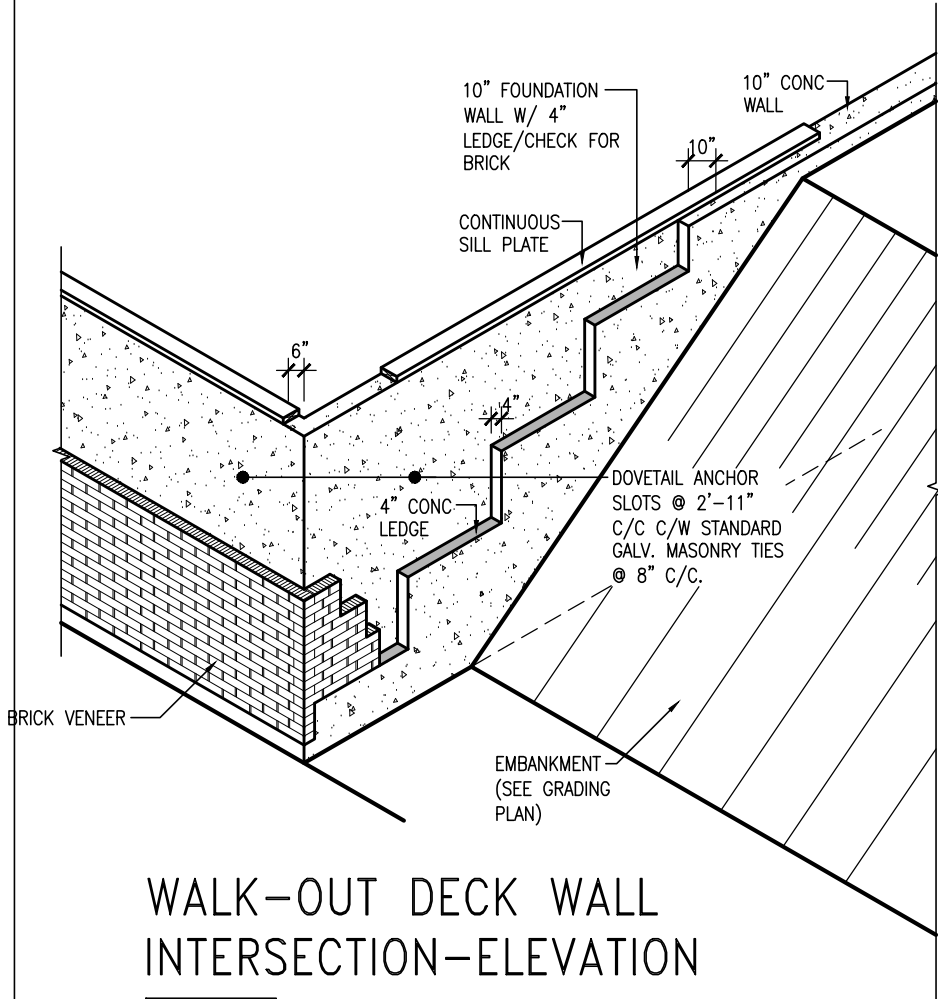
CONST NOTE

BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023
date	CONSTRUCTION NOTES	drawing no.

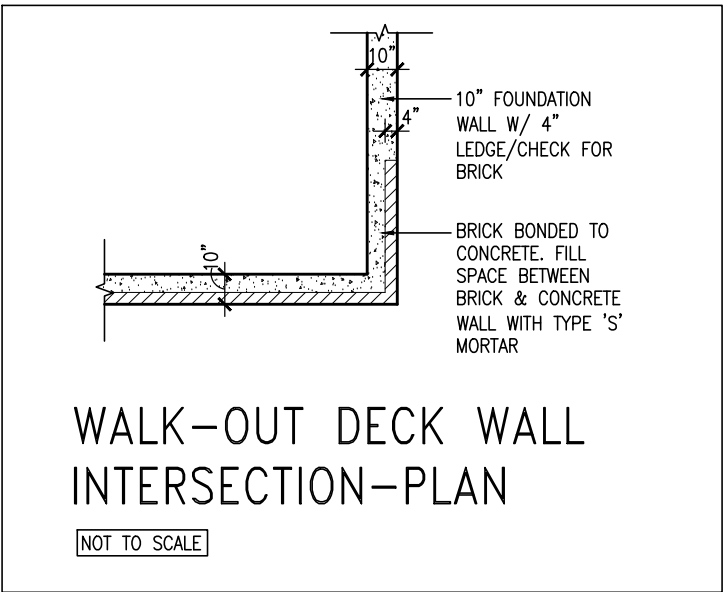
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WALK-OUT DECK WALL
INTERSECTION-ELEVATION

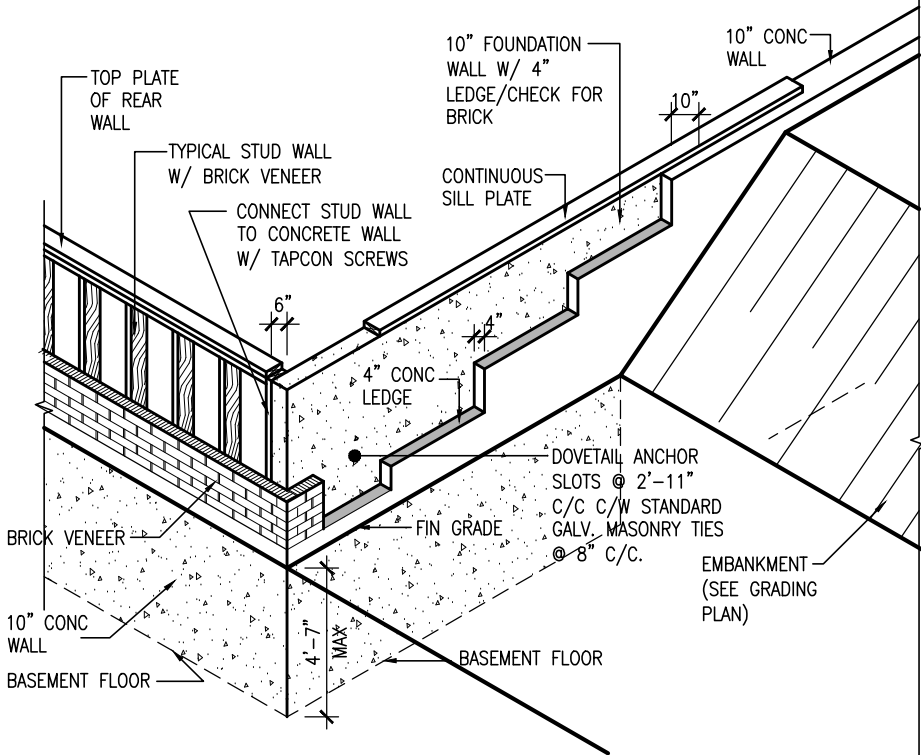
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

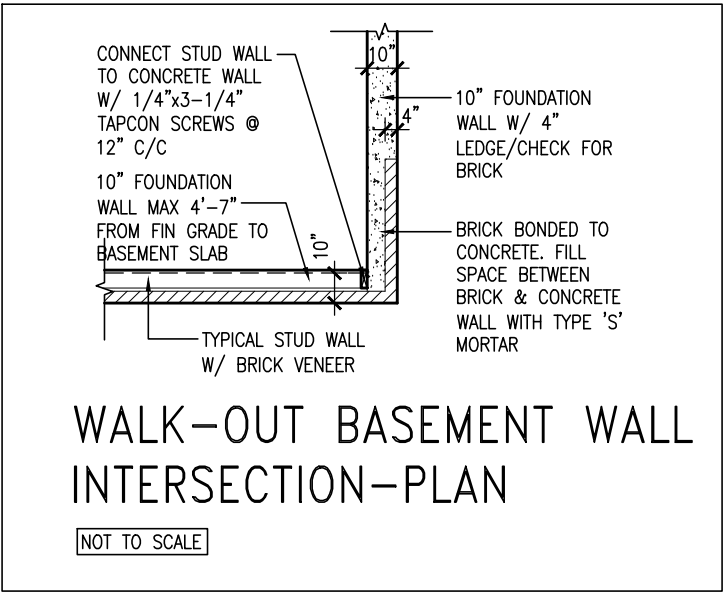
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	registration information
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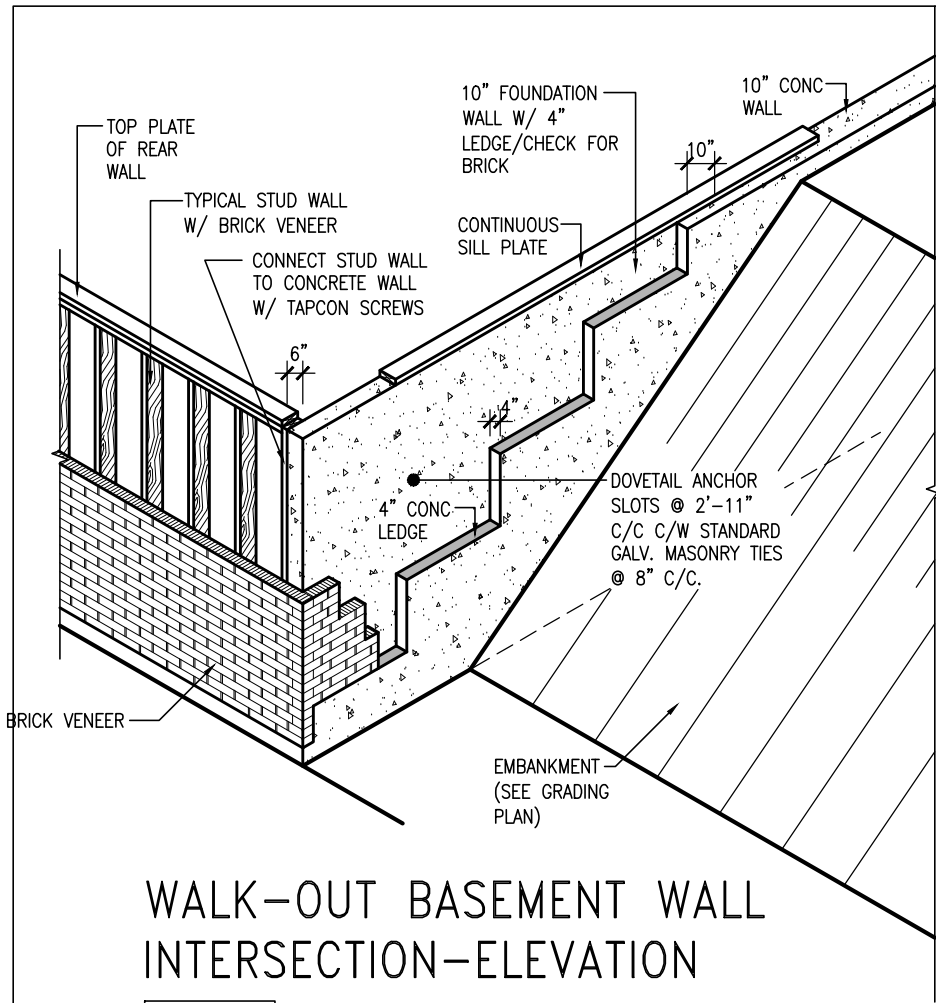


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BAYVIEW WELLINGTON

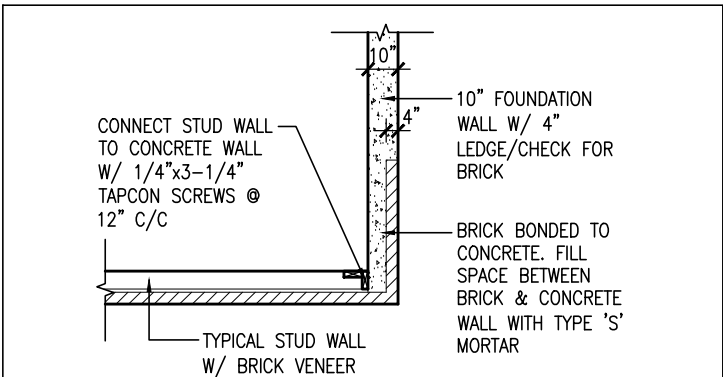
CONST NOTE

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date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	file name
drawn by	RC		3/16" = 1'-0"	16023-CN-2022-A1	CN10
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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

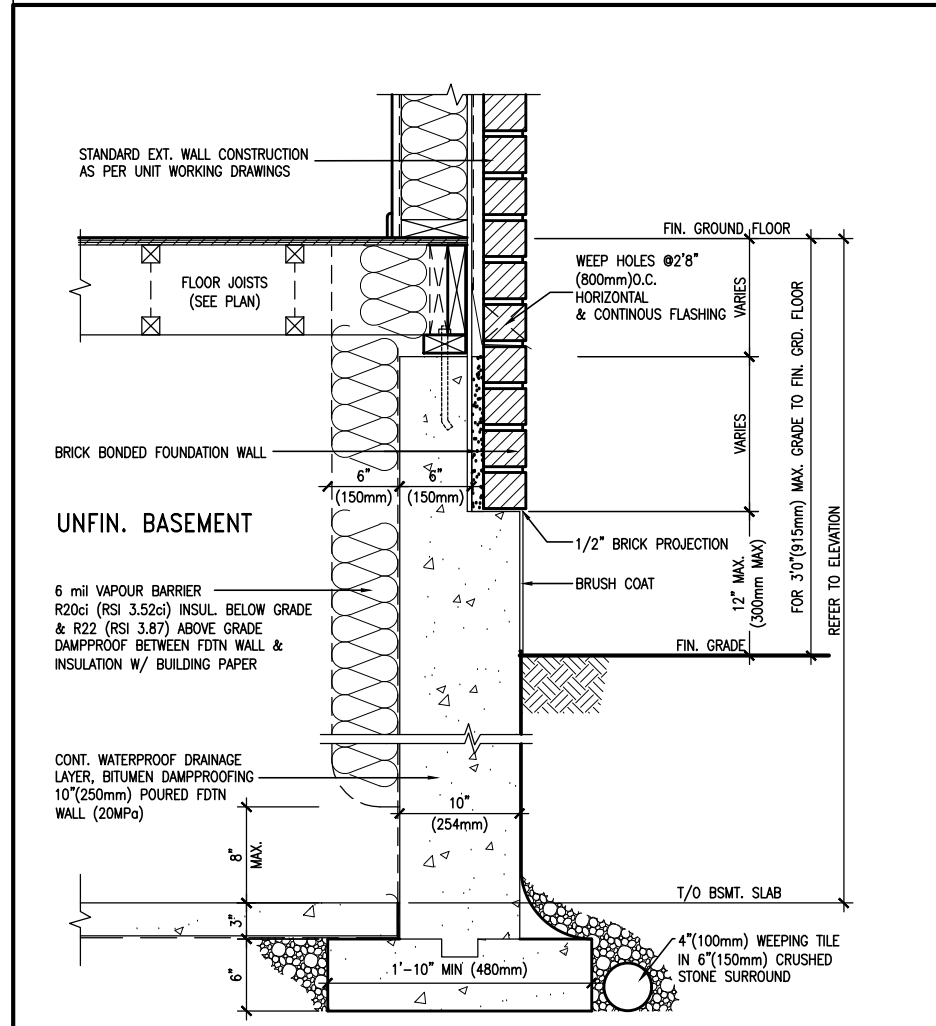
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

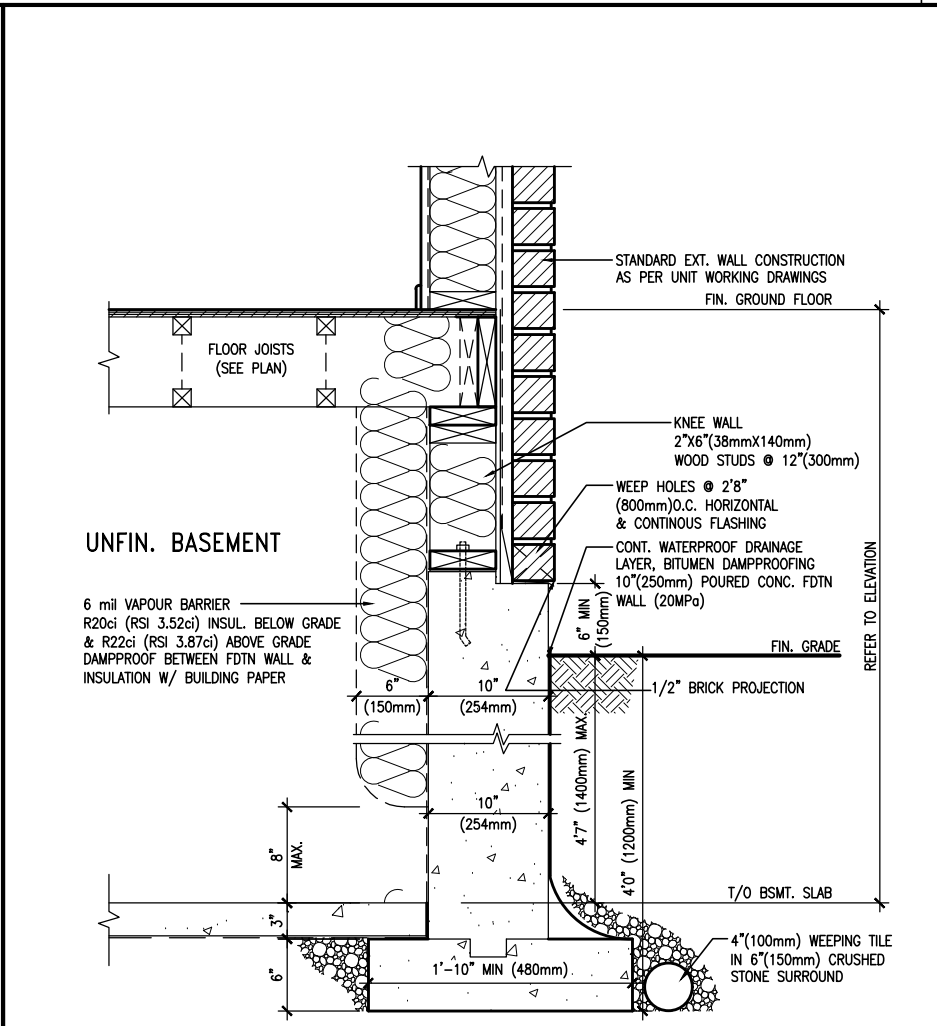
(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

EW3.06x
PKG A1

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

EW3.07x
PKG A1

SCALE: N.T.S.



JAN 26, 2022

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6	.	.	.	signature BCIN
5	.	.	.	registration information
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project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
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CN11

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

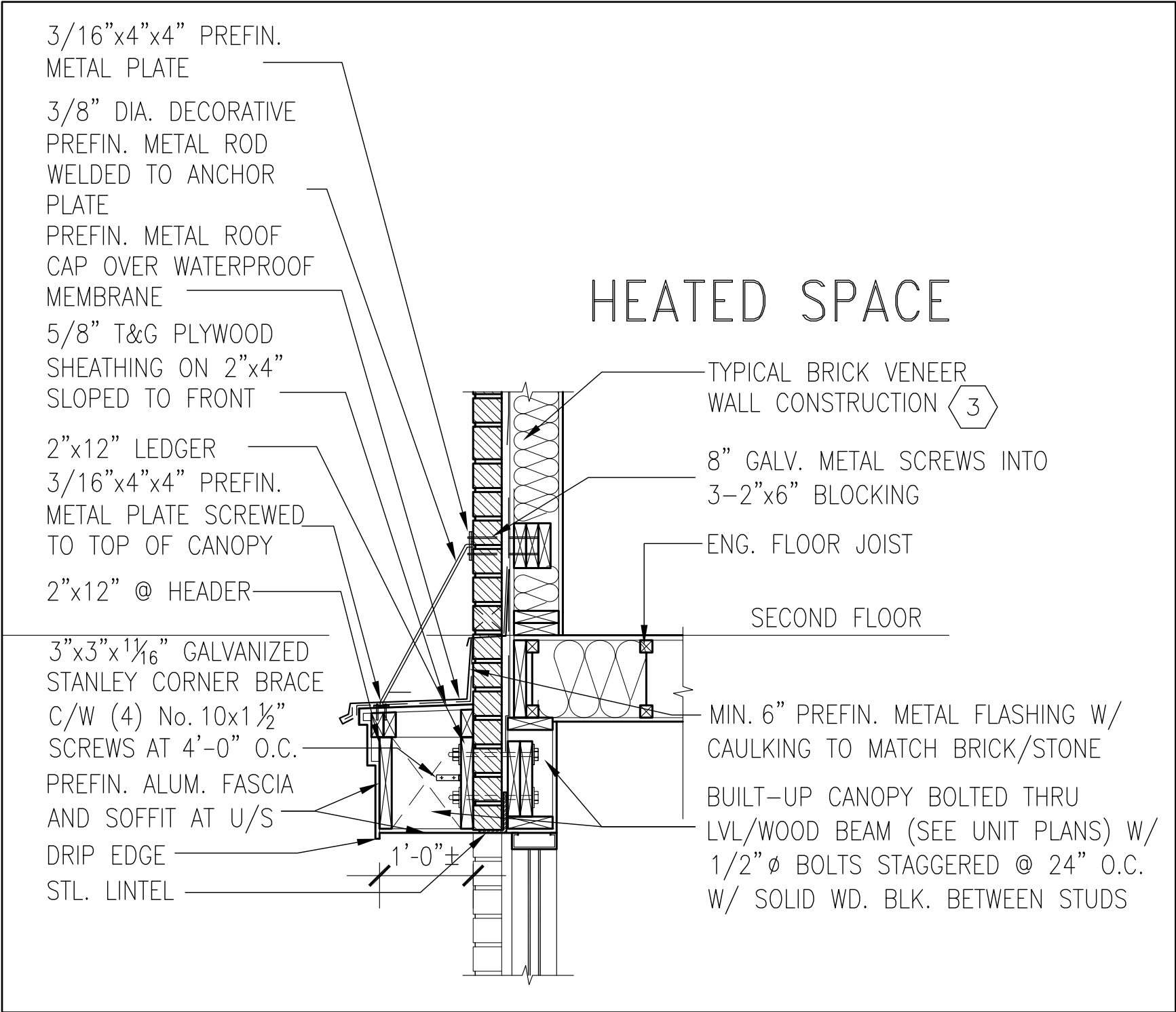
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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8	-	-	-	qualification information		project name	municipality	project no.	
7	-	-	-	Wellington Jno-Baptiste		GREEN VALLEY EAST	BRADFORD	16023	
6	-	-	-	name registration information VA3 Design Inc.		date	CONSTRUCTION NOTES		
5	-	-	-	signature		MAY 2016	drawing no.		
4	UPDATE TO 2022	JAN 11-22	RC	42658	drawn by	checked by	scale	file name	CN12
3	UPDATE TO 2020	FEB 24-20	RC		RC	-	3/16" = 1'-0"	16023-CN-2022-A1	
2	UPDATE TO 2018	JAN 11-18	RC		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				
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1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



JAN 26, 2022

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8	-	-	-	qualification information		project name		project no.		
7	-	-	-	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023		
6	-	-	-	signature		municipality		BRADFORD		
5	-	-	-	BCIN		date		MAY 2016		
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2	UPDATE TO 2018	JAN 11-18	RC			file name				
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no.	description		date	by						

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



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5	.	.	.	name registration information					
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no.	description		date	by					