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10' GROUND



APR 14, 2022

AREA CHART
ON PAGE 9

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC	Wellington Jno-Baptiste 25591
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	name registration information BCIN
5	10' GROUND FLOOR	JUL 07-21	KL	VA3 Design Inc. 42658
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REV EL B ROOF TRUSS	JAN 23-19	RC	
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	1
BASEMENT PLAN ELEV. 'A'					

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10' GROUND

SEE DETAIL S4
FOR 9'-0"
BASEMENT COND



APR 14, 2022

NOTE W1:
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING. PROVIDE 3" CLEAR COVER FROM SOIL SIDE.

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Wellington Jno-Baptiste 25591
name
signature
registration information
VA3 Design Inc. 42658

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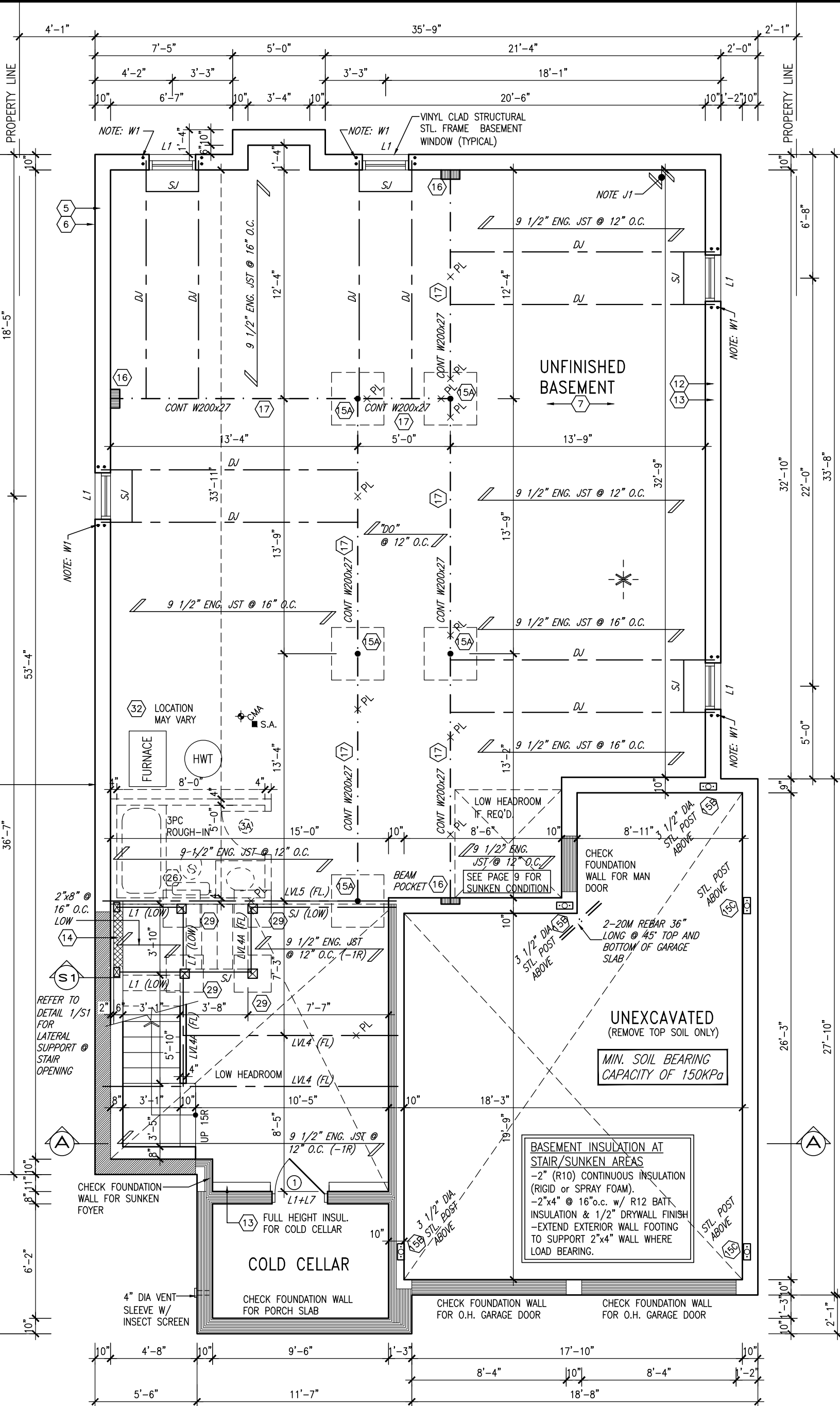
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drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	1A
BASEMENT PLAN ELEV. 'A'					

BASEMENT PLAN 'A' (9'-0" BASEMENT)



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10' GROUND



APR 14, 2022

DOOR HEIGHTS		
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10'0"	8'0" (96")	
9'0"	8'0" (96")	
8'0" or lower	6'8" (80")	
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER		

HSS 3 1/2" x 3 1/2" x 1/4" C/W 4"x4"x1/4" TOP AND BOTTOM PLATES PROVIDE BASE PLATE 4 1/2"x10"x1/2" W/ (2) 1/2" DIA x12"x2" HOOK ANCHORS FIELD WELD COL TO BASE PLATE

NOTE R1: ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

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OUTDOOR AIR INTAKE SEPARATION ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES FIRE RATED WALL ASSEMBLY

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Wellington Jno-Baptiste 25591

name signature BCIN

registration information VA3 Design Inc. 42658

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255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY, 2017

GROUND FLOOR PLAN ELEV. 'A'

drawing no.

drawn by WT checked by RC scale 3/16" = 1'-0"

file name 16023-S42-6-10GRND

2

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APR 14, 2022

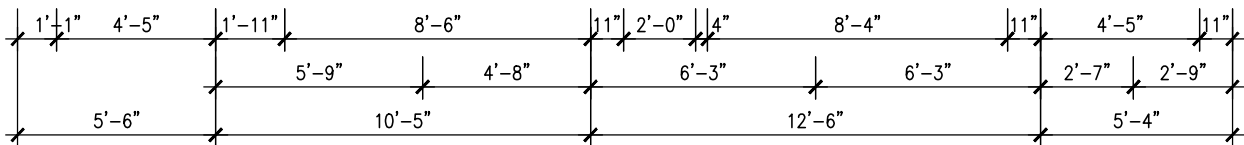
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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

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S42-6
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date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	3
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S42-6
RIDEAU 6

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project no. 16023

date FEBRUARY, 2017 OPT. SECOND FLOOR PLAN ELEV. 'A'

drawing no.

drawn by WT checked by RC scale 3/16" = 1'-0" file name 16023-S42-6-10GRND

4

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KIT-EX-NOTE-2020.dwg

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

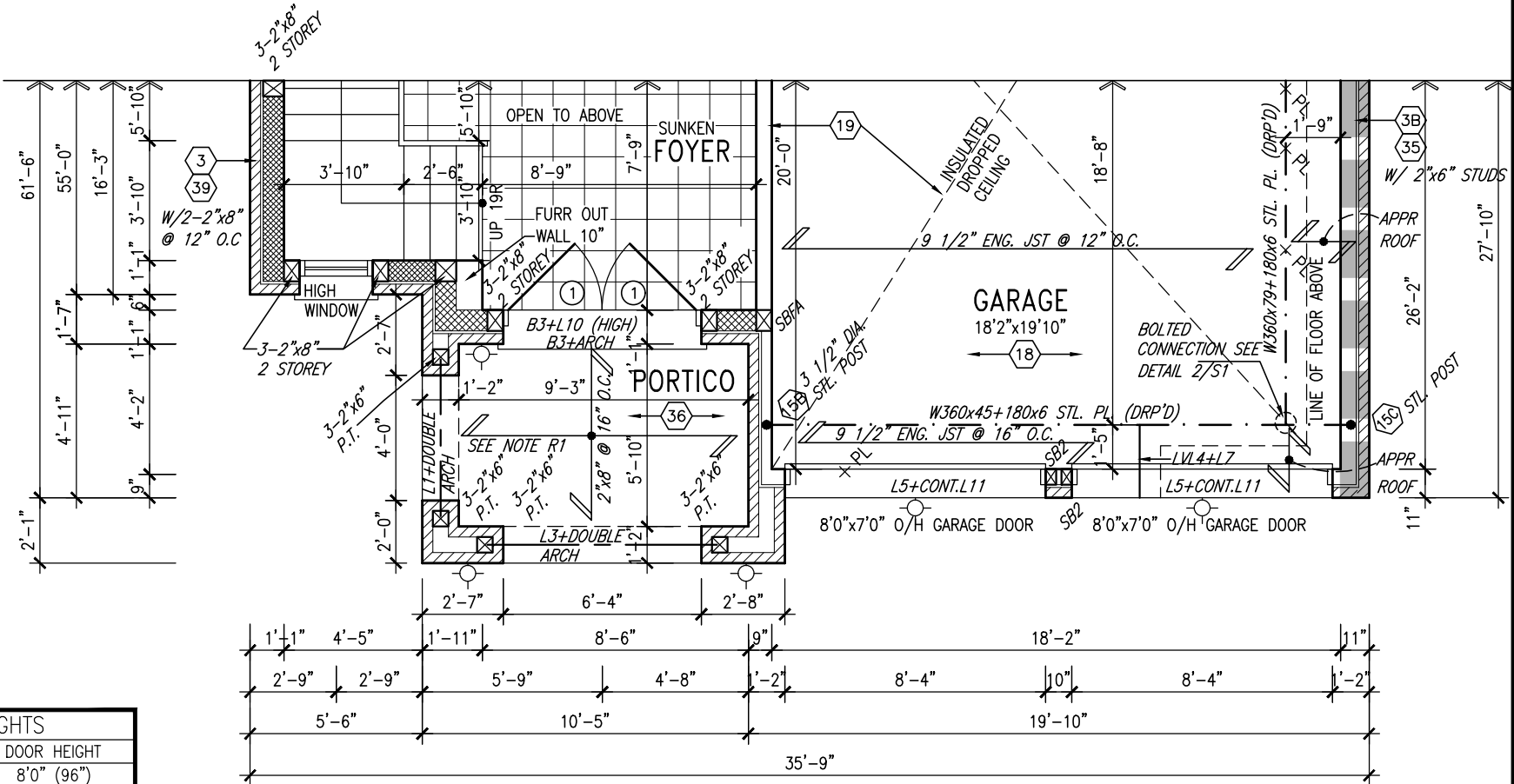
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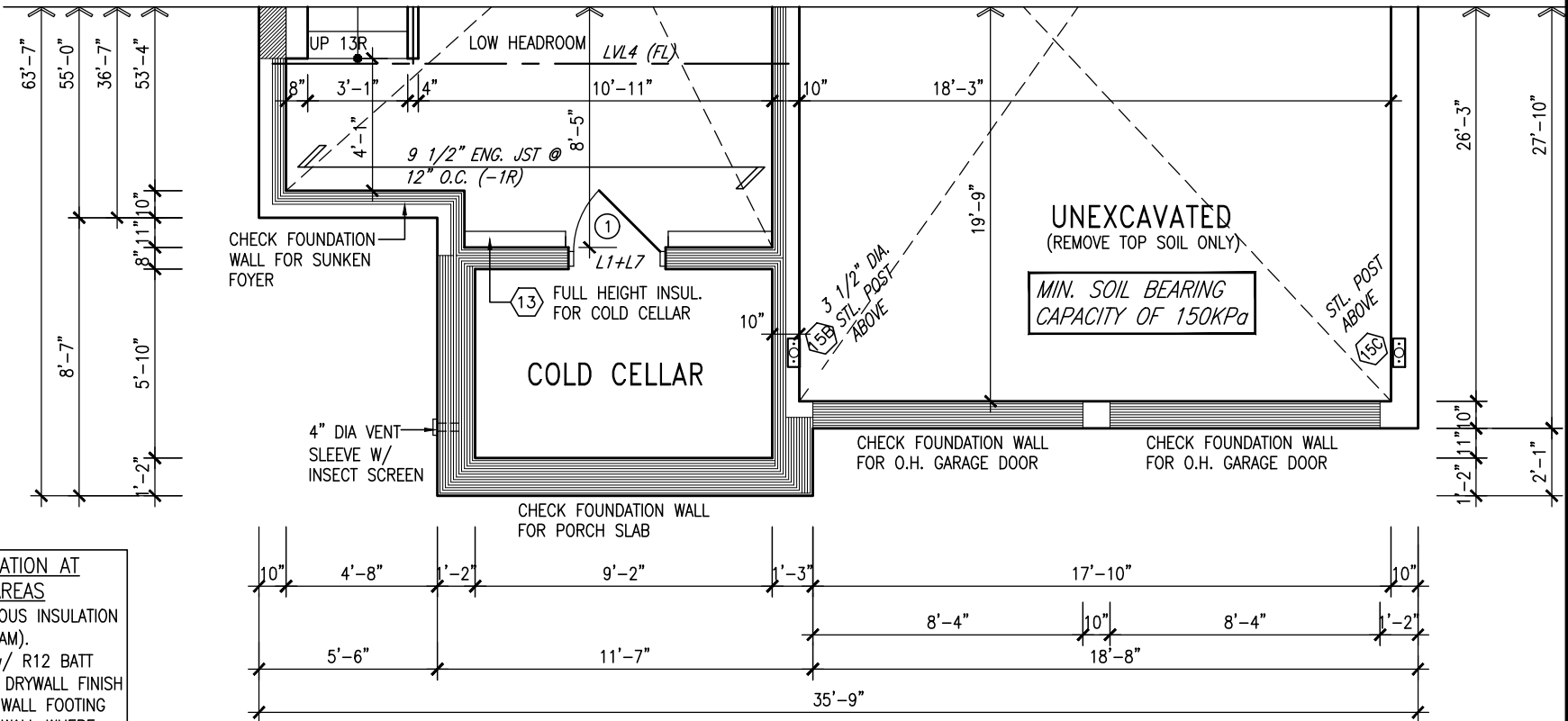
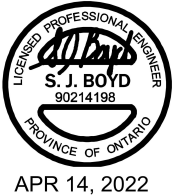
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

PART. GROUND FLOOR PLAN 'B'
(10'-0" GROUND)



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTIAL BASEMENT PLAN 'B'

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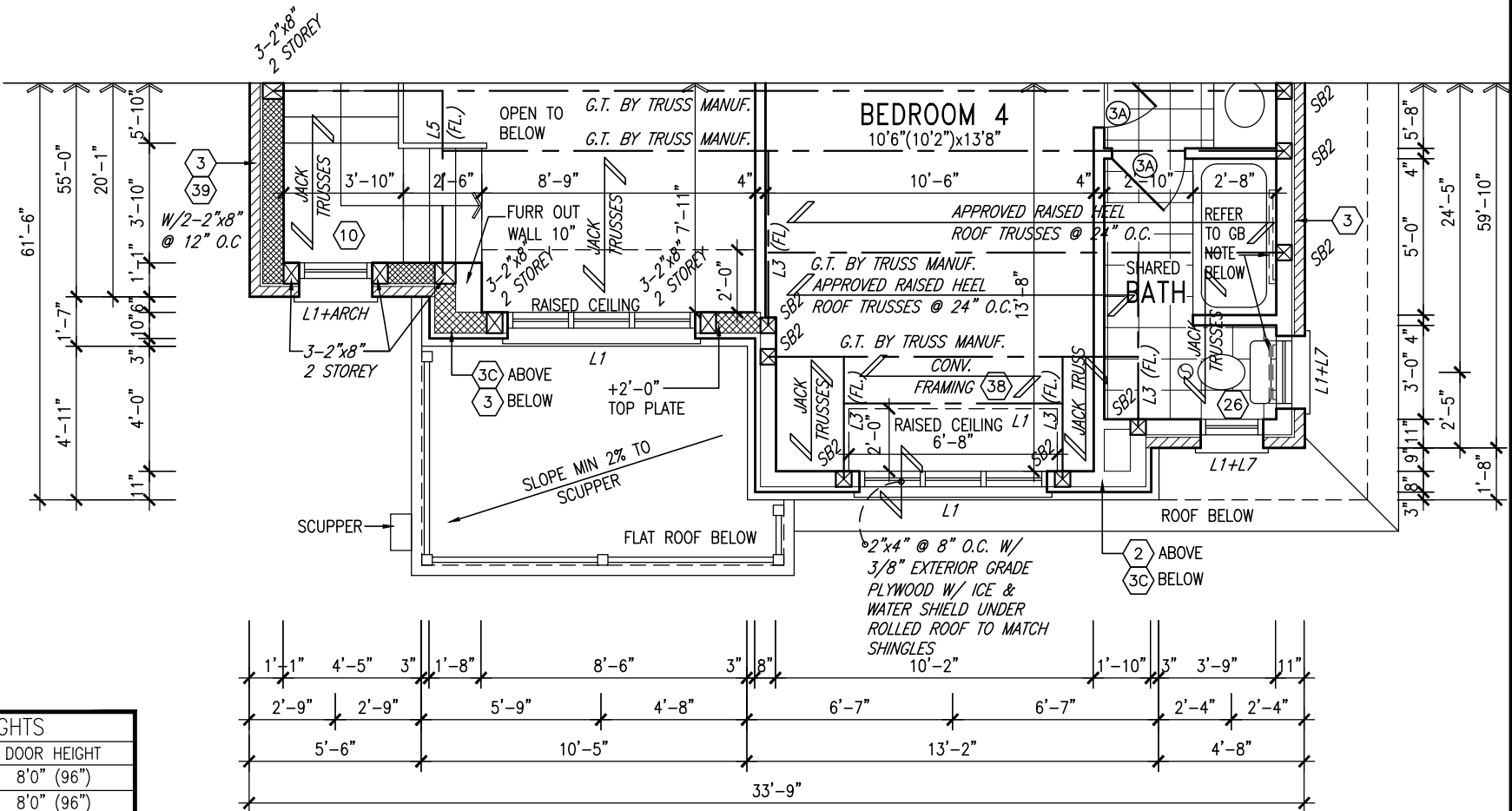
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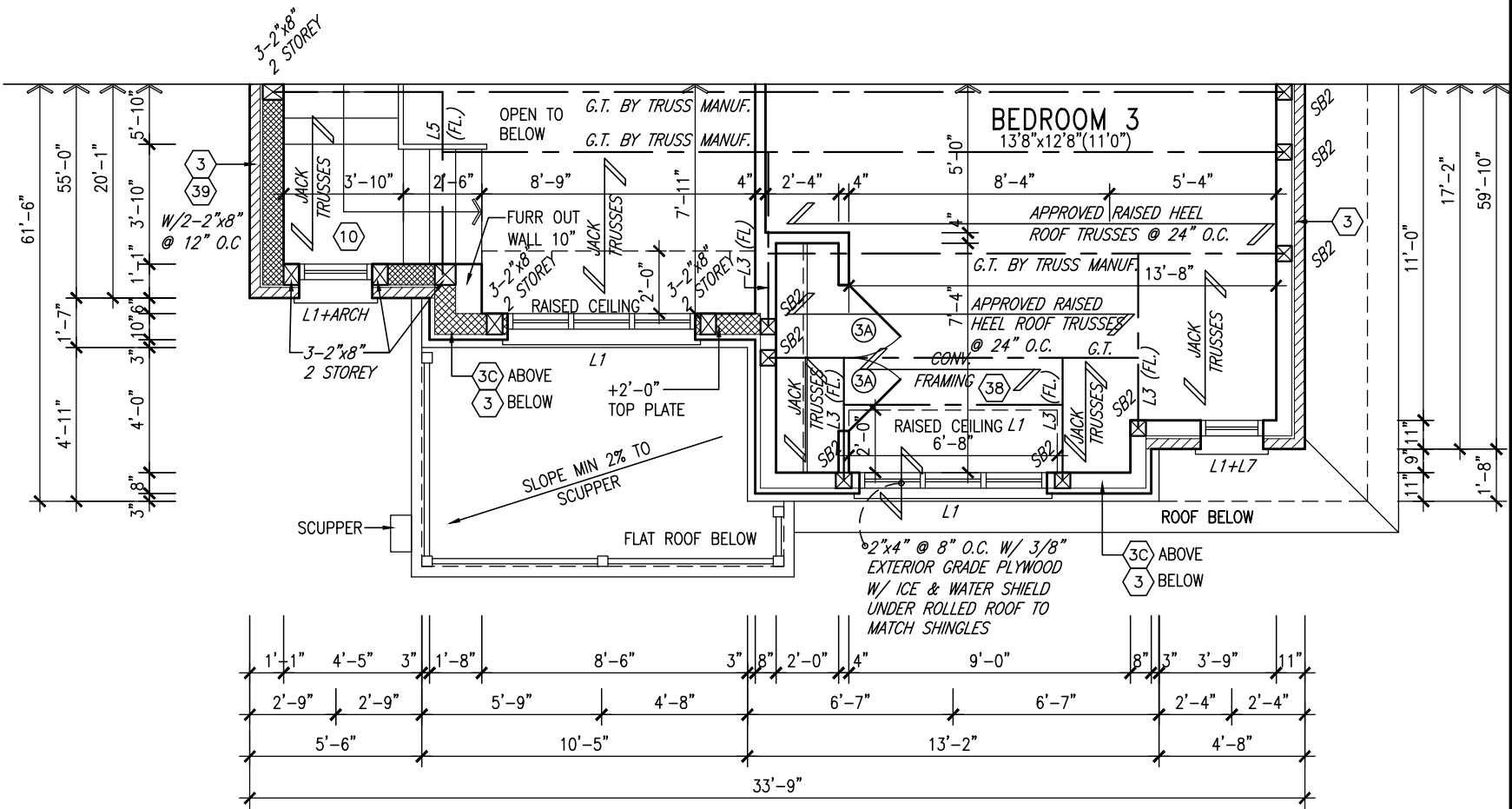
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT

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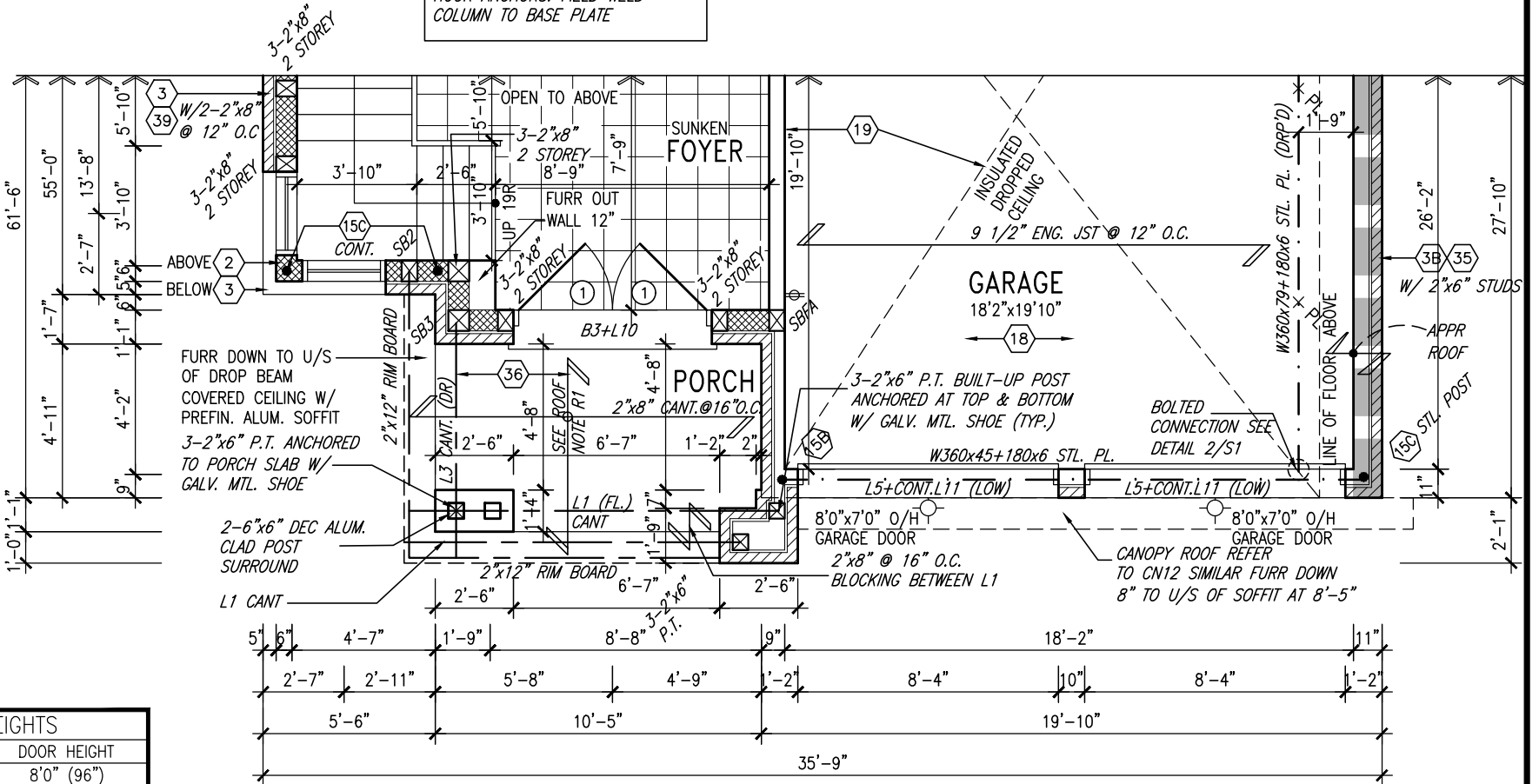
NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

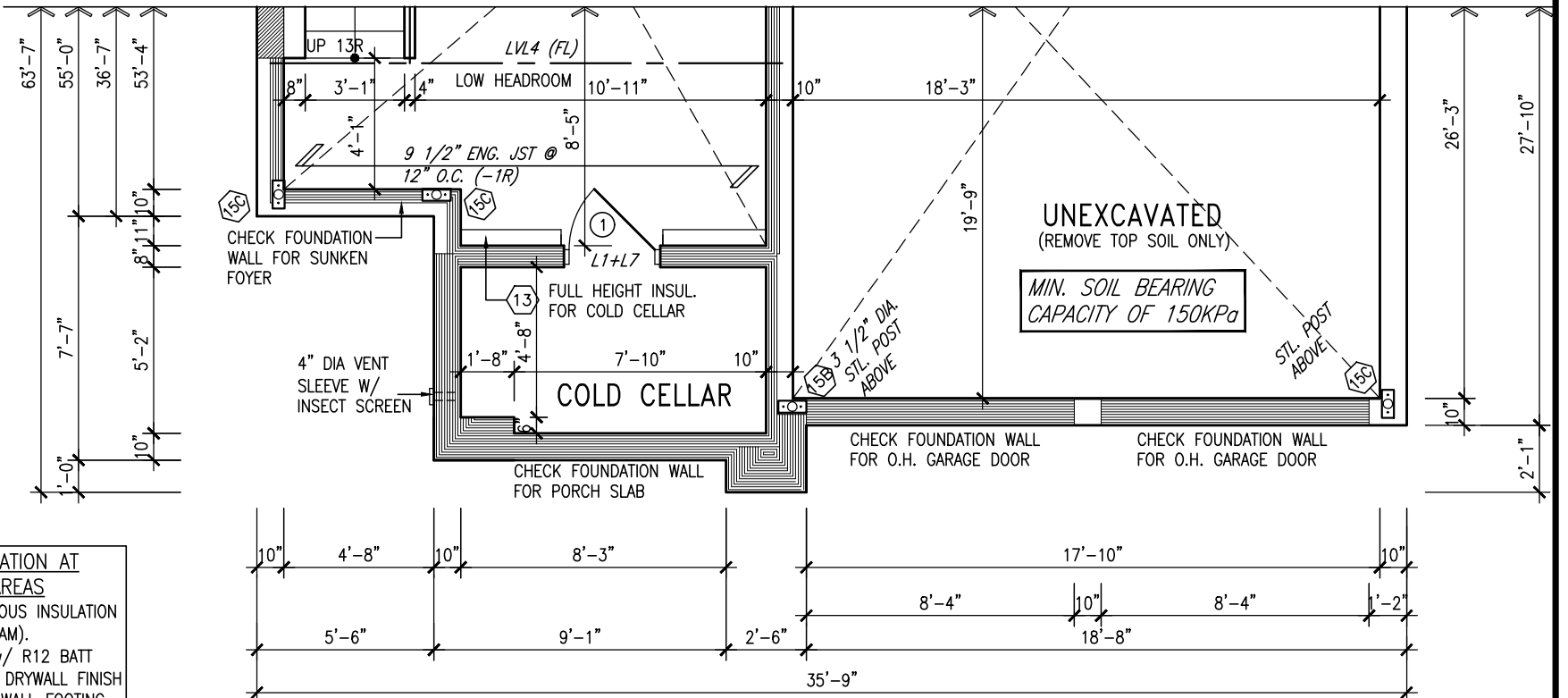
15C =
3 1/2"x3 1/2"x 1/4" SQUARE H.S.S. 6x6x3/8" TOP AND BOTTOM PL. BASE PLATE 4 1/2"x10 1/2"x 1/2" WITH 2- 1/2"x12"x2" HOOK ANCHORS. FIELD WELD COLUMN TO BASE PLATE



DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

PART. GROUND FLOOR PLAN 'C'
(10'-0" GROUND)



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTIAL BASEMENT PLAN 'C'

9.	.	.
8.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22 RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22 RC
5	10' GROUND FLOOR	JUL 07-21 KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21 KL
3	REV EL B ROOF TRUSS	JAN 23-19 RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18 RC
1	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	7
PART. FLOOR PLANS ELEV. 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM					

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APR 14, 2022

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYND. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
O.C. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12

15C =
3 1/2"x3 1/2"x 1/4" SQUARE
H.S.S. 6x6x3/8" TOP AND BOTTOM
PL. BASE PLATE 4 1/2"x10 1/2"x
1/2" WITH 2- 1/2"x12"x2"
HOOK ANCHORS. FIELD WELD
COLUMN TO BASE PLATE

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

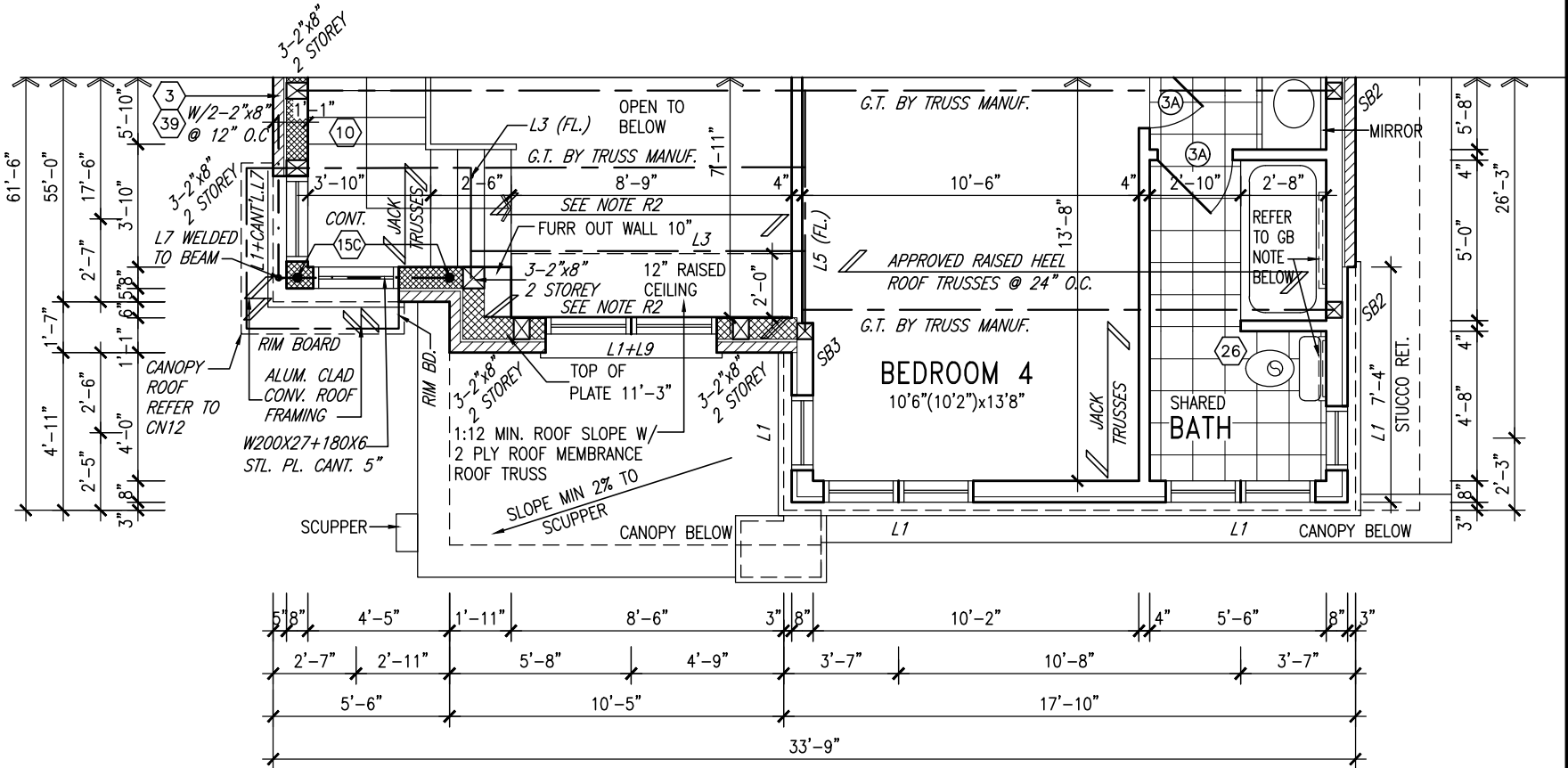
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

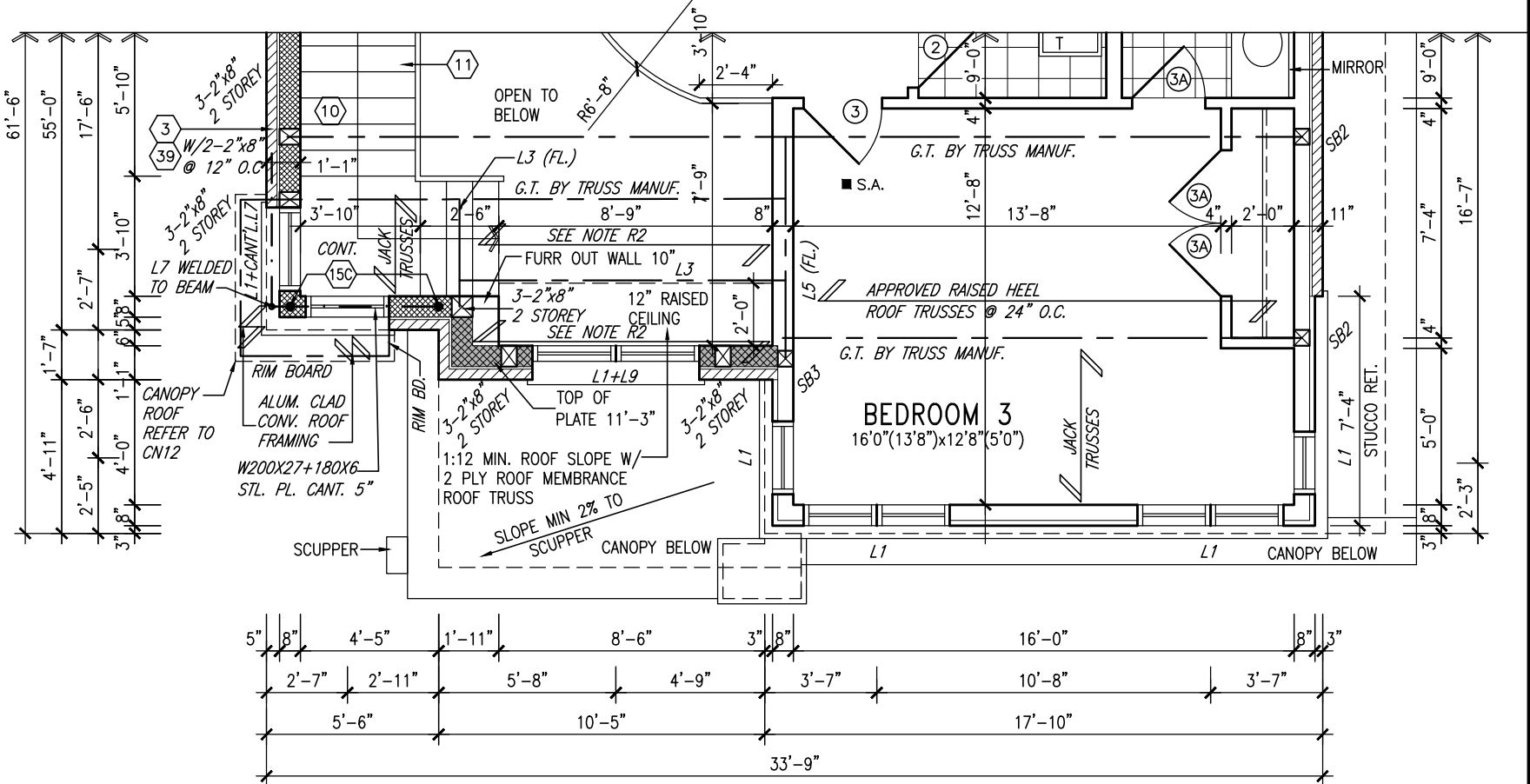
NOTE: ROOF FRAMING
INFORMATION

ALL LAMINATED VENEER
LUMBER (LVL) BEAMS,
BUILT-UP BEAMS, GIRDER
TRUSSES AND METAL HANGER
CONNECTIONS SUPPORTING
ROOF FRAMING TO BE
DESIGNED AND CERTIFIED BY
ROOF TRUSS MANUFACTURER.
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED ON
ARCHITECTURAL DRAWINGS.

10' GROUND



PARTIAL OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'C'
4 BEDROOM + MEDIA LOFT

9.	.	.
8.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22 RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22 RC
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3	REV EL B ROOF TRUSS	JAN 23-19 RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18 RC
1	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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qualification information		
Wellington Jno-Baptiste	25591	
name	BCIN	
registration information	42658	
VA3 Design Inc.		
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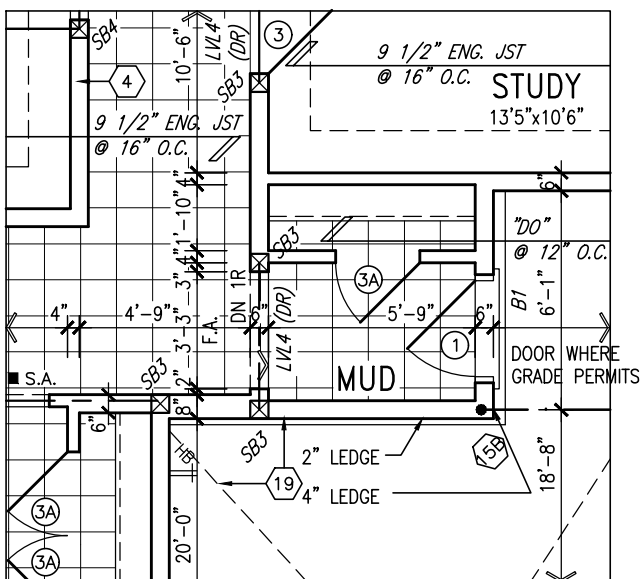
BAYVIEW WELLINGTON

S42-6
RIDEAU 6

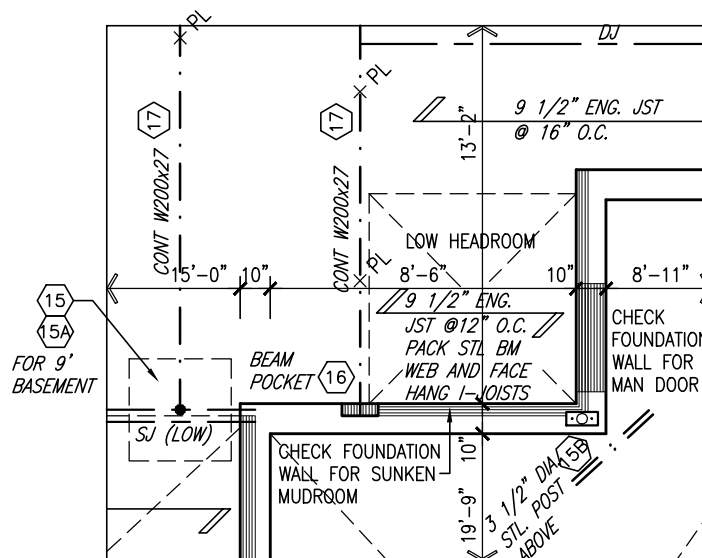
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	8
PART. FLOOR PLANS ELEV. 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM					

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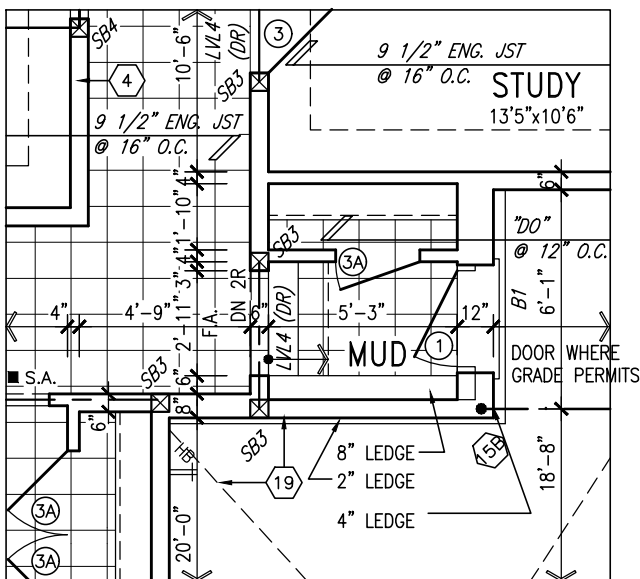
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



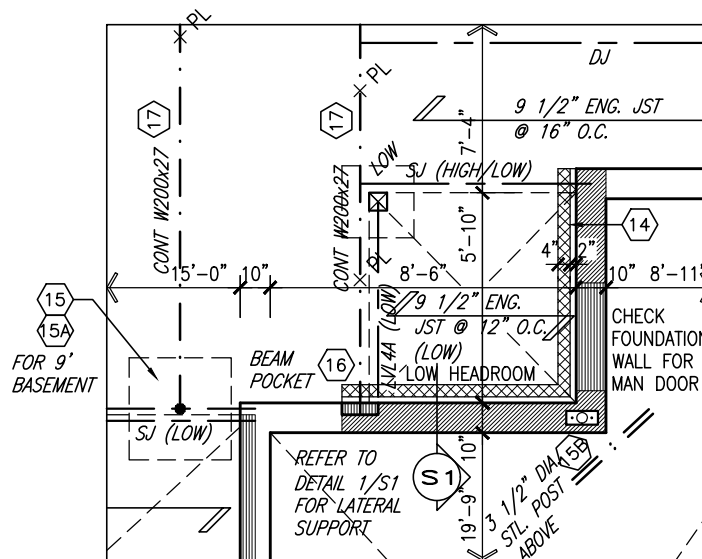
PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED,

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

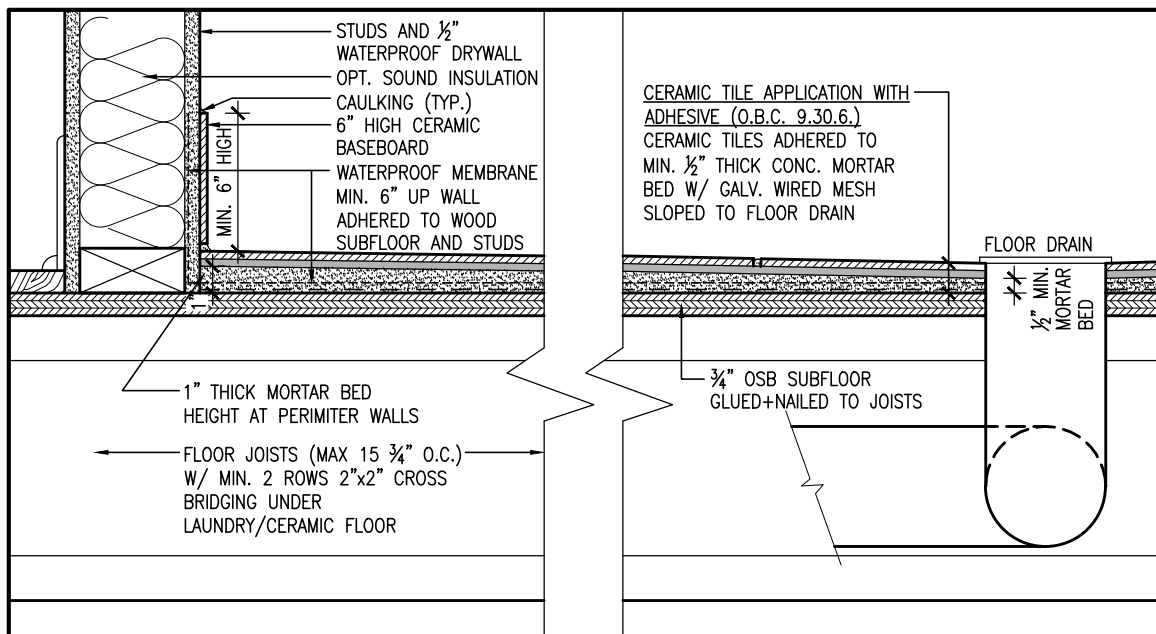
OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1586.0 SF	1586.0 SF	1586.0 SF
SECOND FLOOR AREA	1979.8 SF	1980.9 SF	1988.7 SF
SUBTOTAL	3565.7 SF	3566.8 SF	3574.6 SF
DEDUCT ALL OPENINGS	97.6 SF	97.6 SF	97.6 SF
TOTAL NET AREA	3468 SF	3469 SF	3477 SF
	322.2 m2	322.3 m2	323.0 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	3468 SF	3469 SF	3477 SF
W/ FIN BSMT	322.2 m2	322.3 m2	323.0 m2
COVERAGE W/O PORCH	2051.0 SF	2051.0 SF	2051.0 SF
	190.5 m2	190.5 m2	190.5 m2
COVERAGE W/PORCH	2126.3 SF	2126.3 SF	2126.3 SF
	197.5 m2	197.5 m2	197.5 m2



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

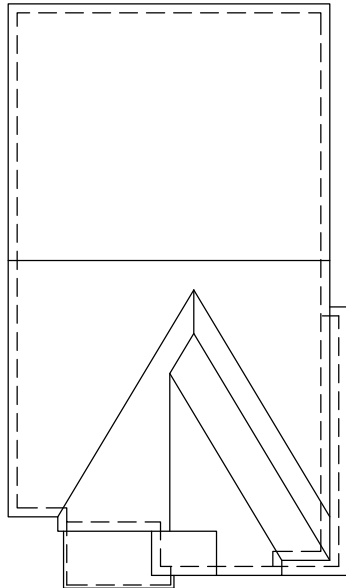
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6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	Wellington Jno-Baptiste 25591
5	10' GROUND FLOOR	JUL 07-21	KL	name
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	signature
3	REV EL B ROOF TRUSS	JAN 23-19	RC	registration information
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC	VA3 Design Inc. 42658
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



VA3
DESIGN

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Toronto ON M2J 1R4
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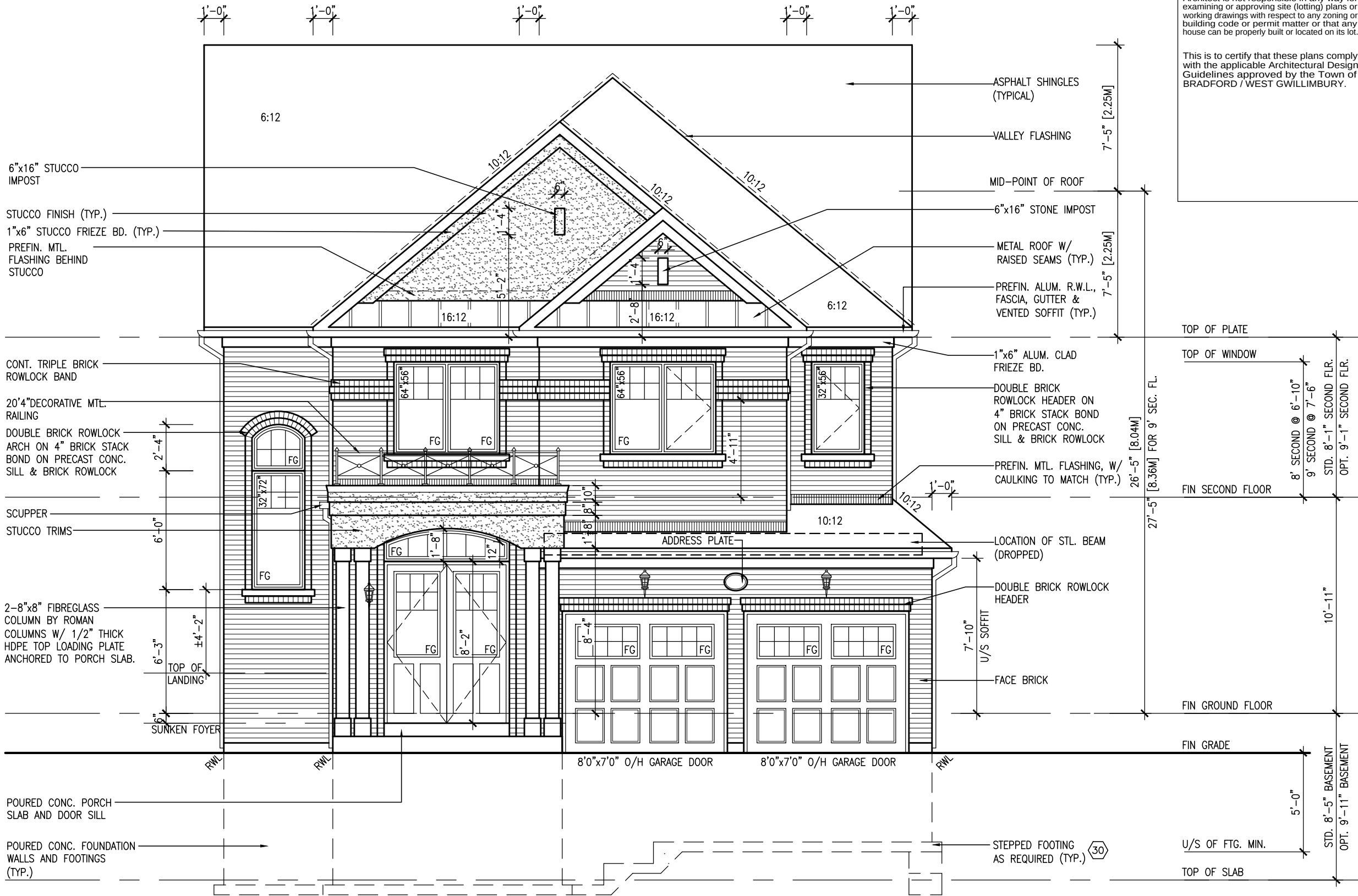
BAYVIEW WELLINGTON		S42-6 RIDEAU 6
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
date FEBRUARY, 2017		drawing no. 9
PART. PLANS FOR SUNKEN MUD ROOM CONDITION		
drawn by WT	checked by RC	scale 3/16" = 1'-0"
file name 16023-S42-6-10GRND		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM		



ROOF 'A'



APR 14, 2022



FRONT ELEVATION 'A'

10' GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name	project no.	16023	drawing no.
date	checked by	RC	10
drawn by	scale	3/16" = 1'-0"	file name
WT	16023-S42-6-10GRND		
FRONT ELEVATION 'A'			
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM			
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Wellington Jno-Baptiste		BCIN	
name		42658	
registration information		VAS Design Inc.	
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9			
8			
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

1'-0"

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



APR 14, 2022

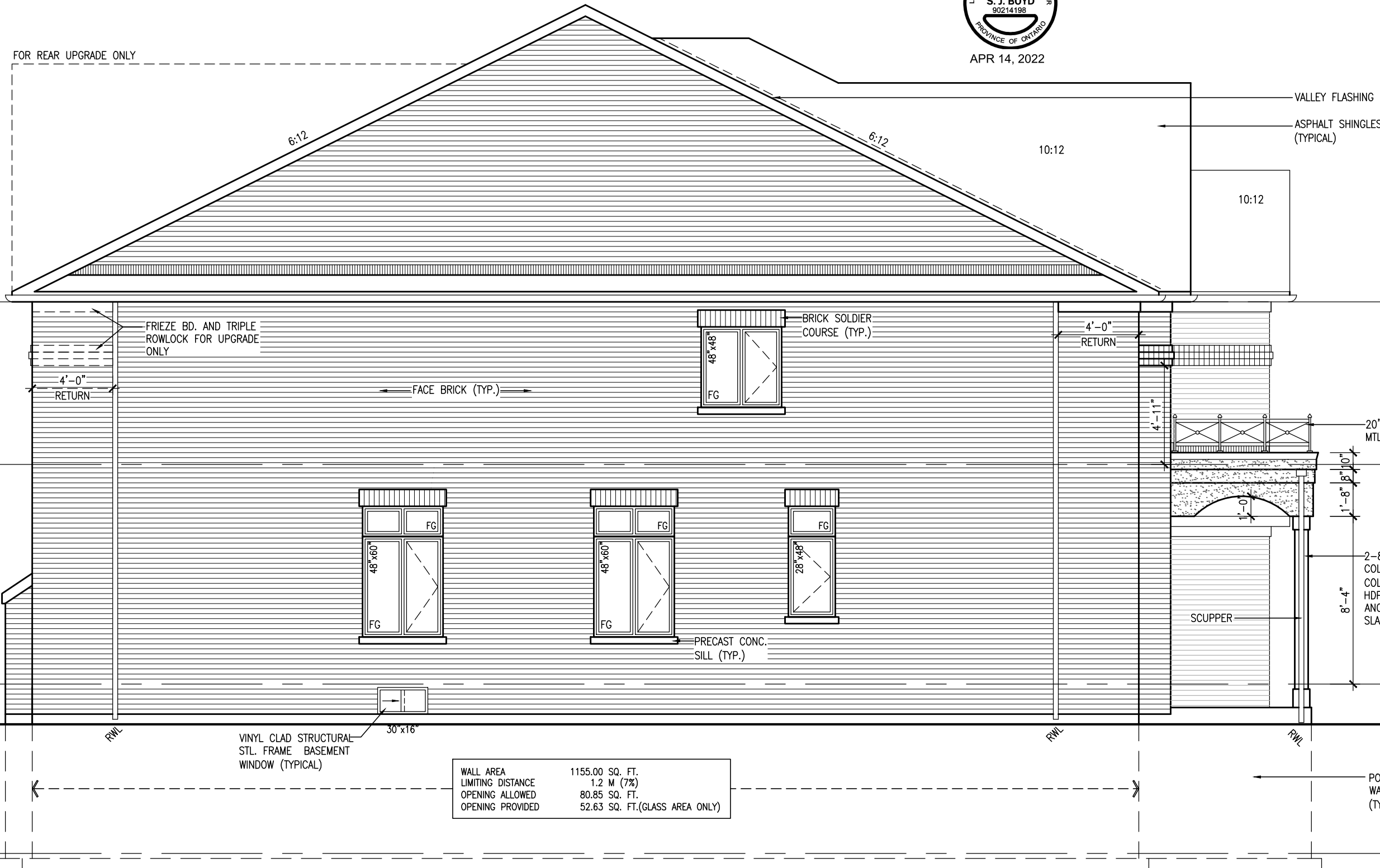
1'-0"

1'-0"

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FOR REAR UPGRADE ONLY



VALLEY FLASHING

ASPHALT SHINGLES
(TYPICAL)

10:12

10:12

6:12

6:12

BRICK SOLDIER
COURSE (TYP.)

48"x48"

FG

4'-0"

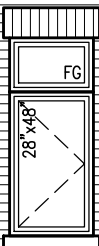
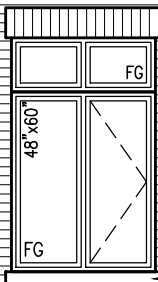
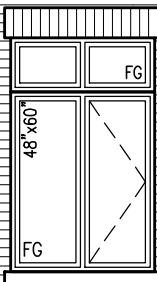
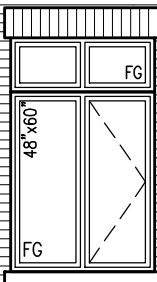
RETURN

FACE BRICK (TYP.)

4'-0"

RETURN

FRIEZE BD. AND TRIPLE
ROWLOCK FOR UPGRADE
ONLY



PRECAST CONC.
SILL (TYP.)



VINYL CLAD STRUCTURAL
STL. FRAME BASEMENT
WINDOW (TYPICAL)

30"x16"

SCUPPER

20" DECORATIVE
MTL. RAILING

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

TOP OF SLAB

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

STD. 8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

1'-8" 8"10"

1'-6"

7'-4"

10'-11"

STD. 8'-5" BASEMENT

OPT. 9'-11" BASEMENT

10' GROUND

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date FEBRUARY, 2017
checked by RC
drawn by WT

LEFT SIDE ELEVATION 'A'
scale 3/16" = 1'-0"

drawing no. 11
file name 16023-S42-6-10GRND



255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
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qualification information
Wellington Jno-Baptiste 25591 BCIN

name Jno-Baptiste 25591 BCIN

registration information
VAS Design Inc. 42658

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no. description

9 .

8 .

7 REVISED AS PER ENG'S COMMENTS

6 REVISED AS PER FLOOR LAYOUTS

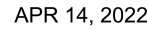
5 10' GROUND FLOOR

4 ADDED OPT. 9' BASEMENT

3 REV EL B ROOF TRUSS

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW



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10.	description	by	date
1	ISSUED FOR CLIENT REVIEW	.	.
2	REVISED AS PER ENG'S COMMENTS	RC	JAN 25-18
3	REV EL B ROOF TRUSS	RC	JAN 23-19

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APR 14, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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REAR ELEVATION 'A', 'B' & 'C'

10' GROUND

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date FEBRUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

drawing no. 13
file name 16023-S42-6-10GRND.dwg
date 16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM



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qualification information
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name
V3 Design Inc. 42658

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9

8

7 REVISED AS PER ENG'S COMMENTS APR 12-22 RC

6 REVISED AS PER FLOOR LAYOUTS APR 05-22 RC

5 10' GROUND FLOOR JUL 07-21 KL

4 ADDED OPT. 9' BASEMENT JUL 07-21 KL

3 REV EL B ROOF TRUSS JAN 23-19 RC

2 REVISED AS PER ENG'S COMMENTS JAN 25-18 RC

1 ISSUED FOR CLIENT REVIEW

no. description
date by

ROOF 'B'



APR 14, 2022

10⁹ GROUND

FRONT ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
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BAYVIEW WELLINGTON

VA3

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Qualification information

Wellington Jno-Baptiste 25591

name	signature	BCIN
------	-----------	------

registration information

47638
/A3 Design Inc. ✓

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Drawings and specifications are instruments of service and the property

drawings are not to be scaled if the Designer which must be returned at the completion of the work.

...and not to be accused.

ALL DRAWING

1'-0"



APR 14, 2022

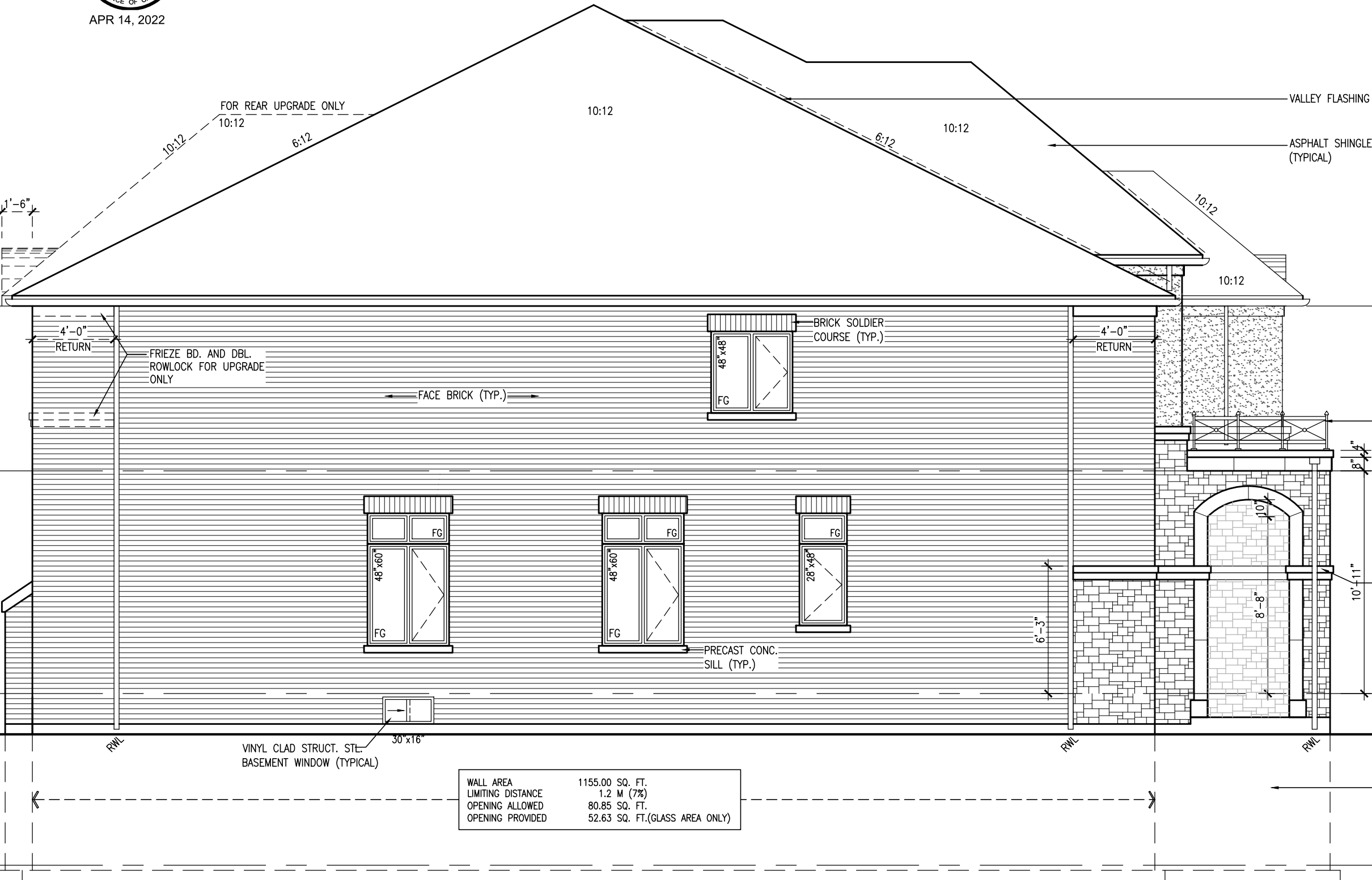
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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WALL AREA	1155.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.85 SQ. FT.
OPENING PROVIDED	52.63 SQ. FT.(GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date FEBRUARY, 2017
checked by RC
drawn by WT

LEFT SIDE ELEVATION 'B'
file name 16023-S42-6-10CRND
scale 3/16" = 1'-0"
drawing no. 15



255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCIN

name Jno-Baptiste
registration information VAS Design Inc.
BCIN 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

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APR 14, 2022

1'-0" 1'-0"

1'-0"

VALLEY FLASHING

ASPHALT SHINGLES
(TYPICAL)

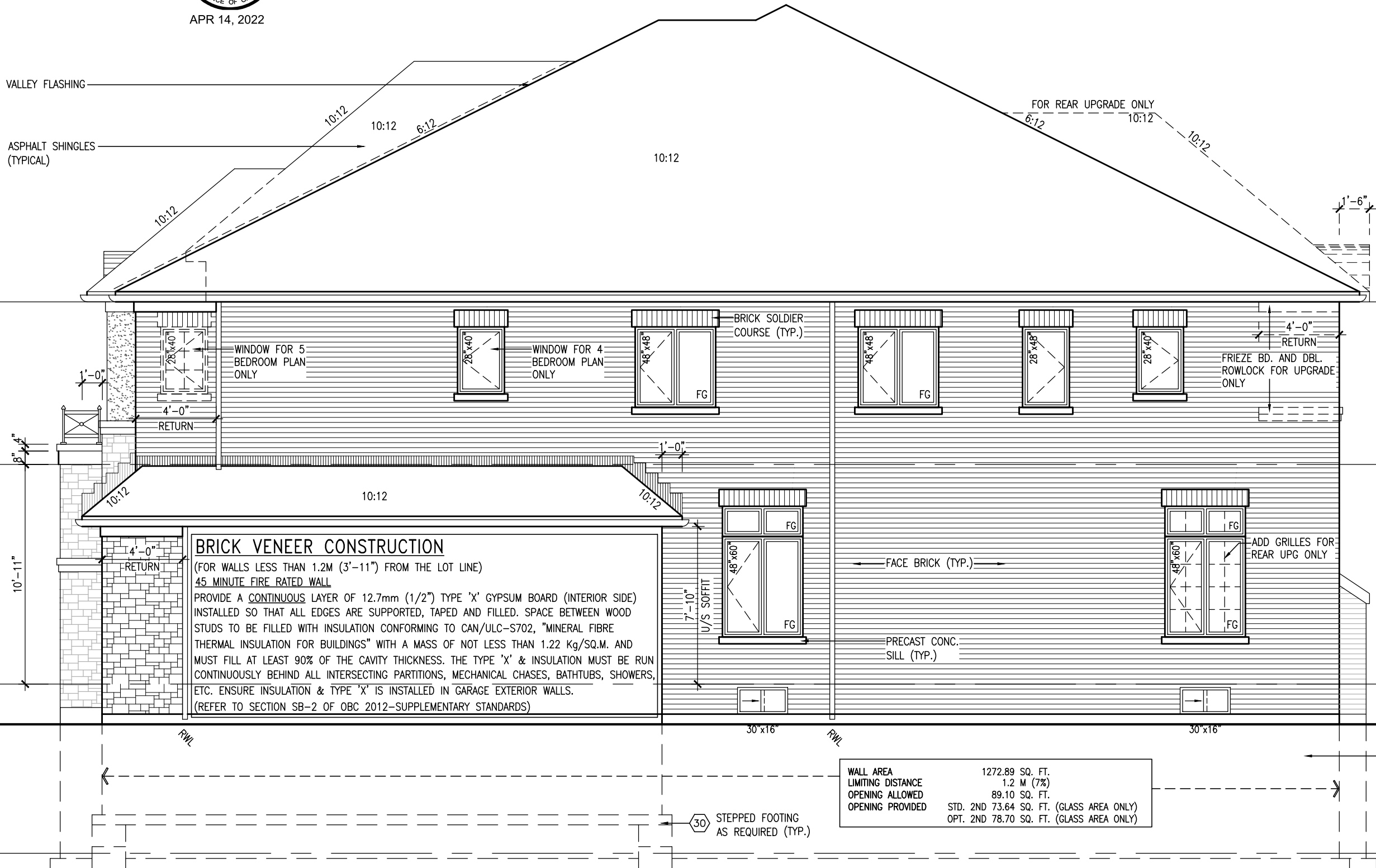
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10' GROUND

RIGHT SIDE ELEVATION 'B'

WALL AREA	1272.89 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	89.10 SQ. FT.
OPENING PROVIDED	STD. 2ND 73.64 SQ. FT. (GLASS AREA ONLY)
	OPT. 2ND 78.70 SQ. FT. (GLASS AREA ONLY)

TOP OF PLATE	
TOP OF WINDOW	
FIN SECOND FLOOR	8' SECOND @ 6'-10"
	9' SECOND @ 7'-6"
	STD. 8'-1" SECOND FLR.
	OPT. 9'-1" SECOND FLR.
TOP OF TRANSOM	
TOP OF WINDOW	1'-6"
FIN GROUND FLOOR	7'-4"
FIN GRADE	10'-11"
POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.	
U/S OF FTG. MIN.	
TOP OF SLAB	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name	GREEN VALLEY EAST	project no.	16023
date	FEBRUARY, 2017	drawing no.	16
checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10CRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10CRND.dwg - Thu - Apr 14 2022 - 9:19 AM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
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no.	description	date	by
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4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		



R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FRONT ELEVATION 'C'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

GREEN VALLEY EAST	BRADFORD, ONT.	project no.	16023
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date	FRONT ELEVATION 'C'	drawing no.
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drawn by	checked by	scale	file name
FRONT ELEVATION C			

WT	RC	$3/16" = 1'-0"$	16023-S42-6-10GRND
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VA3

DESIGN

Consumers Rd Suite 120
Toronto ON M2J 1R4

630.2255 f 416.630.4782
vazdecian.com

vcdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

Ontario Building Code to be a Designer.

Qualification information
William L. Koster
25591

signature	signature	BCIN
-----------	-----------	------

Registration information
A3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

All drawings

6	.			.	.
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7	REVISED AS PER ENO'S COMMENTS	ADD 12 23	.	DC
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7	REVISED AS PER ENG S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC

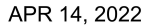
5	10' GROUND FLOOR	JUL 07-21	KL
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4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
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3	REV EL B ROOF TRUSS	JAN 23-19	RC
4	REV EL B ROOF TRUSS	JAN 23-19	RC

2	REVISED AS PER ENG'S COMMENT	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
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1' - 0''

1'-0'

$$1' - 3$$

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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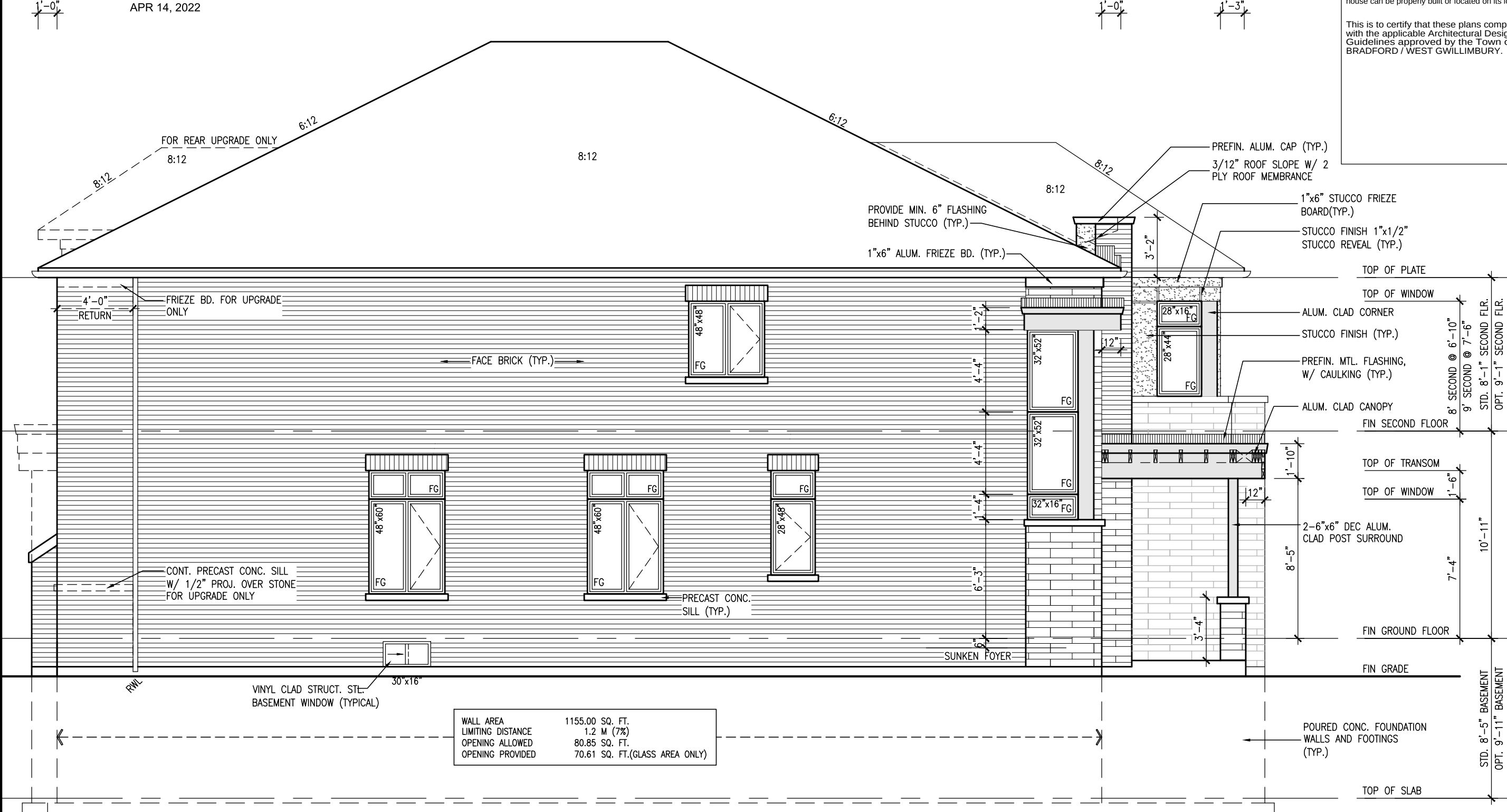
18

RICHARD -- H:\ARCHIVE\WORKING\2016

www.vuqudesign.com

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RICHARD — H:\ARCHIVE_WORKING\2016\ 6023.BW\Units_42\ 6023-S42-6-10GRND.dwg — Thu — Apr 14 2022 — 9:19 AM
 vjadesign@gmail.com



10⁹ GROUND

LEFT SIDE ELEVATION 'C'

WALL AREA	1155.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.85 SQ. FT.
OPENING PROVIDED	70.61 SQ. FT.(GLASS AREA ONLY)

9.		.	.		The undersigned has reviewed and takes responsibility for this design
8.		.	.		and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
7.	REVISED AS PER ENG'S COMMENTS	APR 12--22	RC		wellington jno-Baptiste
6.	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC		name registration information WAS Design Inc.
5.	10' GROUND FLOOR	JUL 07-21	KL		signature <i>[Signature]</i>
4.	ADDED OPT. 9' BASEMENT	JUL 07-21	KL		BORN 2559
3.	REV EL B ROOF TRUSS	JAN 23-19	RC		426555
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
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APR 14, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

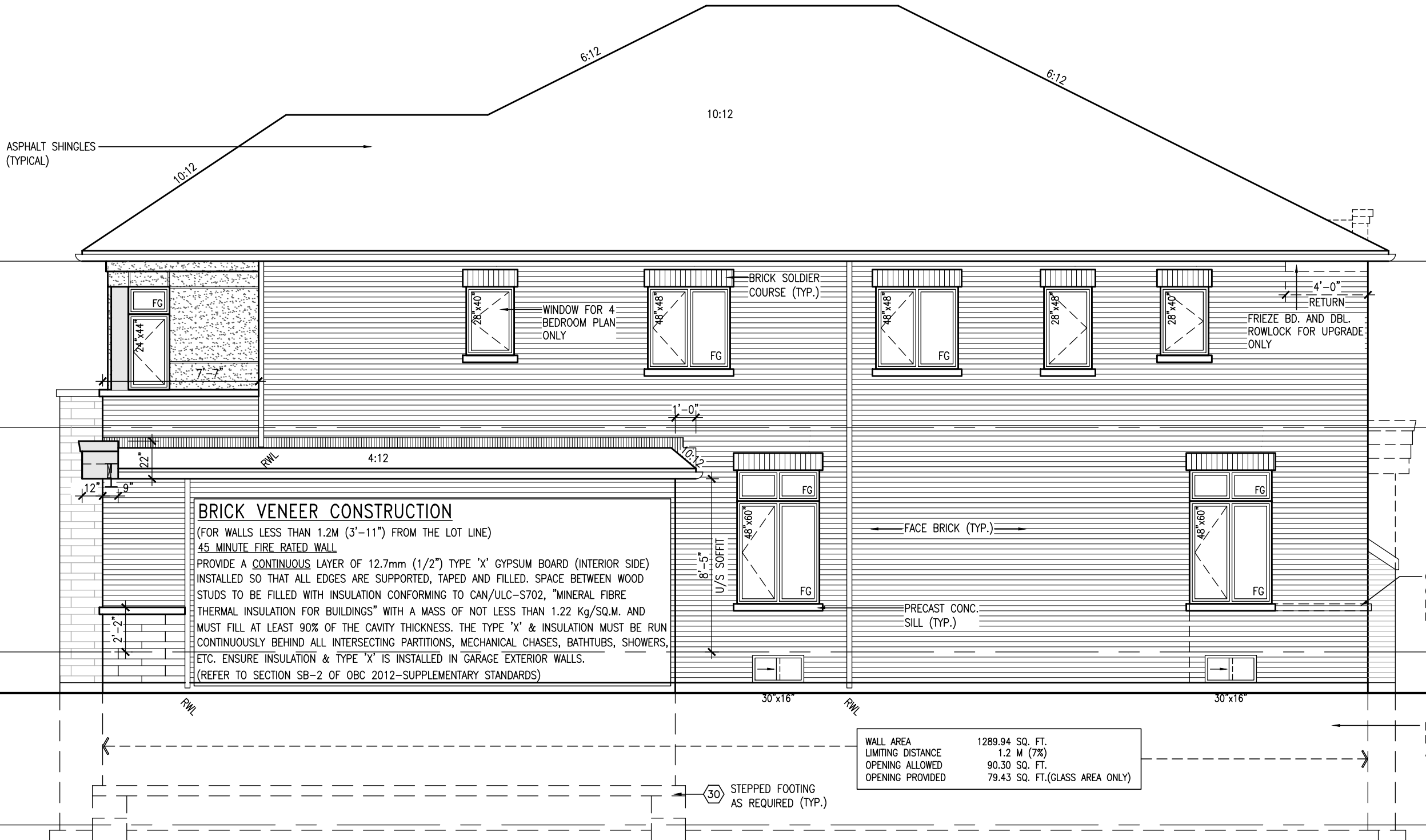
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1'-3"

1'-0"

ASPHALT SHINGLES
(TYPICAL)



WALL AREA	1289.94 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	90.30 SQ. FT.
OPENING PROVIDED	79.43 SQ. FT.(GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'C'

10' GROUND

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.
U/S OF FTG. MIN.
TOP OF SLAB

8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

1'-0"
1'-6"
10'-11"
7'-4"
5'-0"

STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
19

VAS
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name
VAS Design Inc. 42658

registration information

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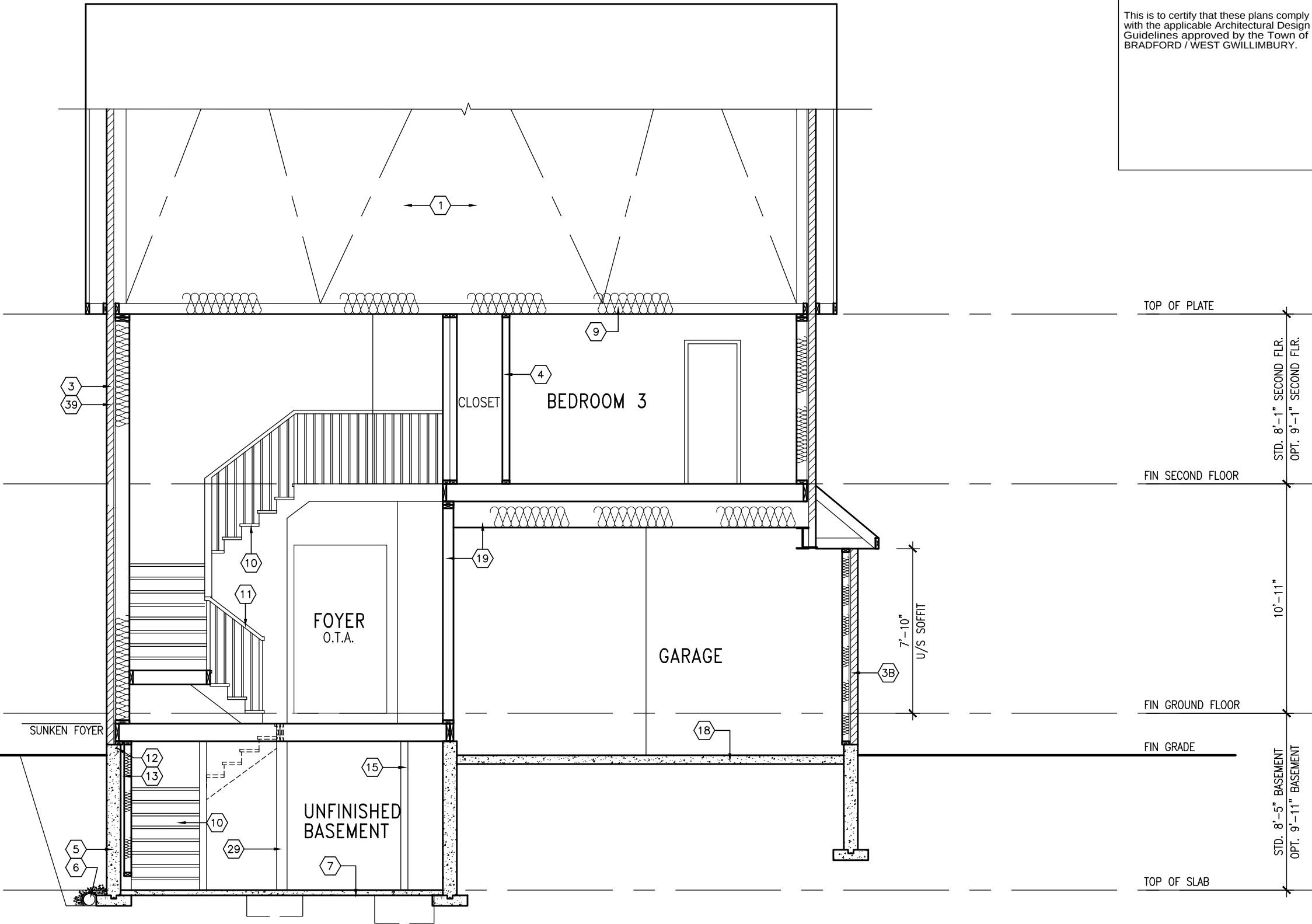


APR 14, 2022

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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CROSS SECTION A-A

10' GROUND

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VAS Design Inc.		42658	
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
Wellington Jno-Baptiste		BCIN	
VAS Design Inc.		42658	
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4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

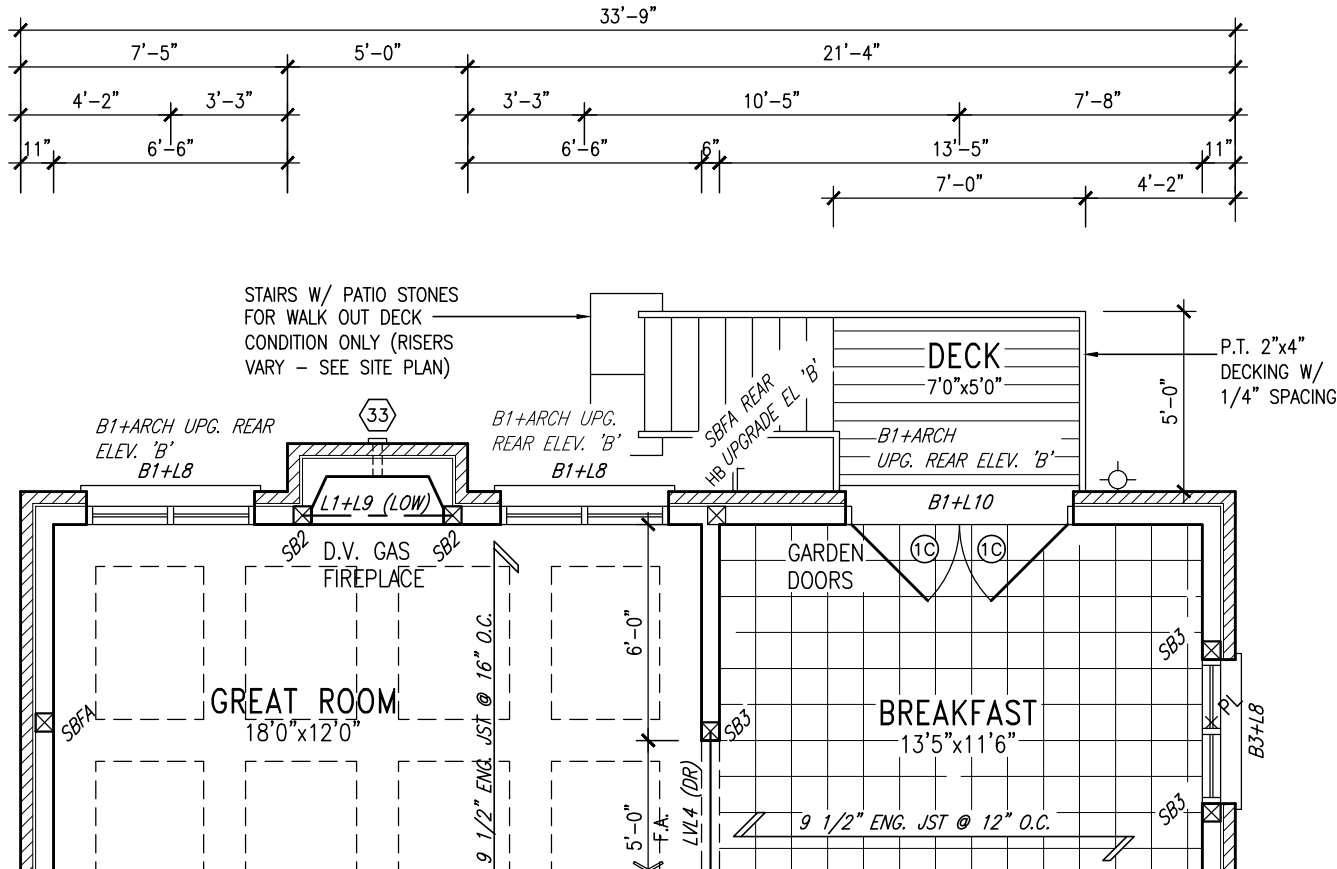
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

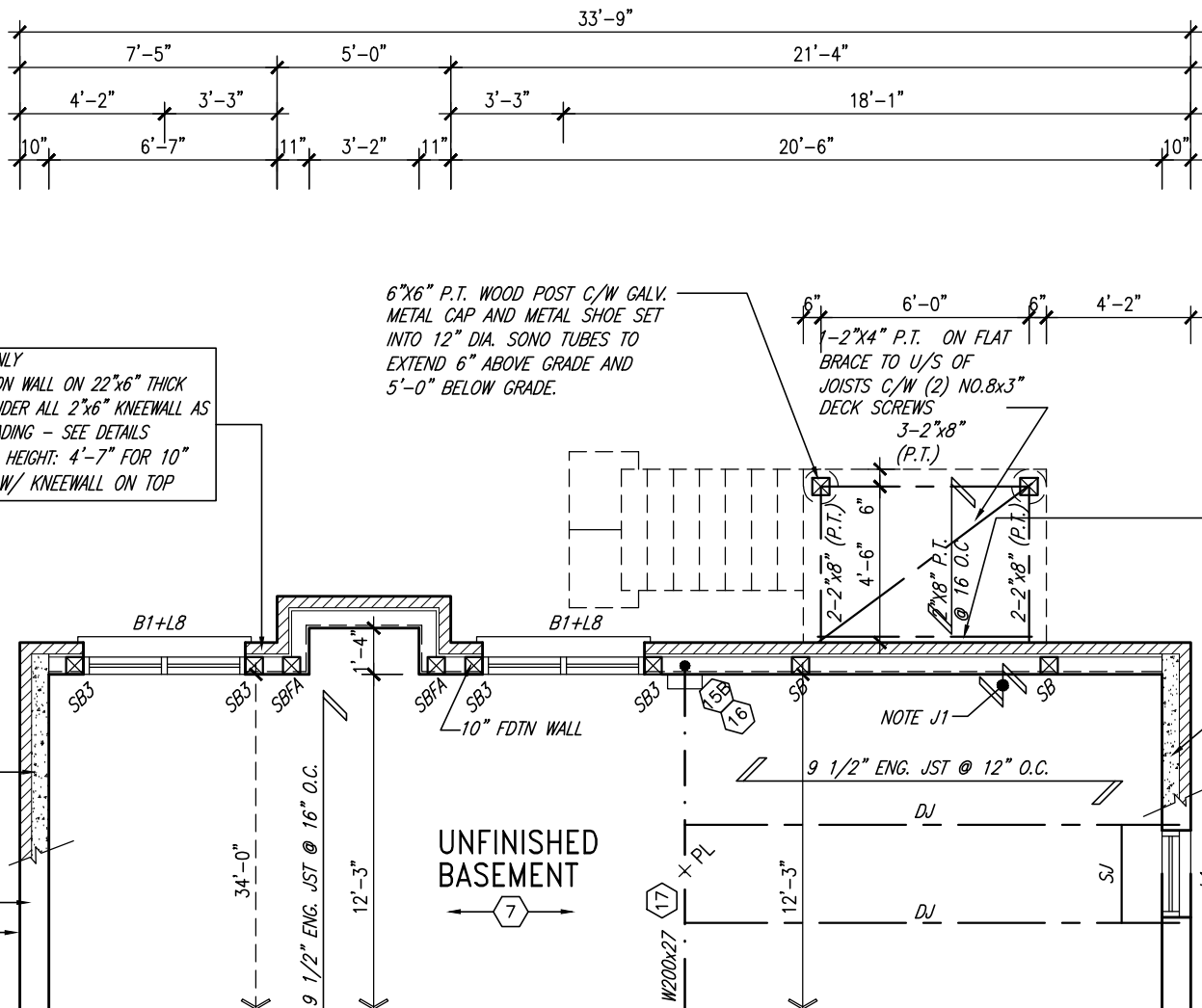
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN 'A','B','C'
WOD 9R AND MORE COND.

9.	.	.
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qualification information		
Wellington Jno-Baptiste	25591	BCIN
name registration information		
VA3 Design Inc.	42658	
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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-6 RIDEAU 6
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
date FEBRUARY,2017	checked by RC	scale 3/16" = 1'-0"
drawn by WT	file name 16023-S42-6-10GRND	drawing no. 21
PART. FLOOR PLANS- W.O.D. COND.		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM		



APR 14, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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REAR ELEVATION 'A', 'B', 'C' W/ W.O.D. CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

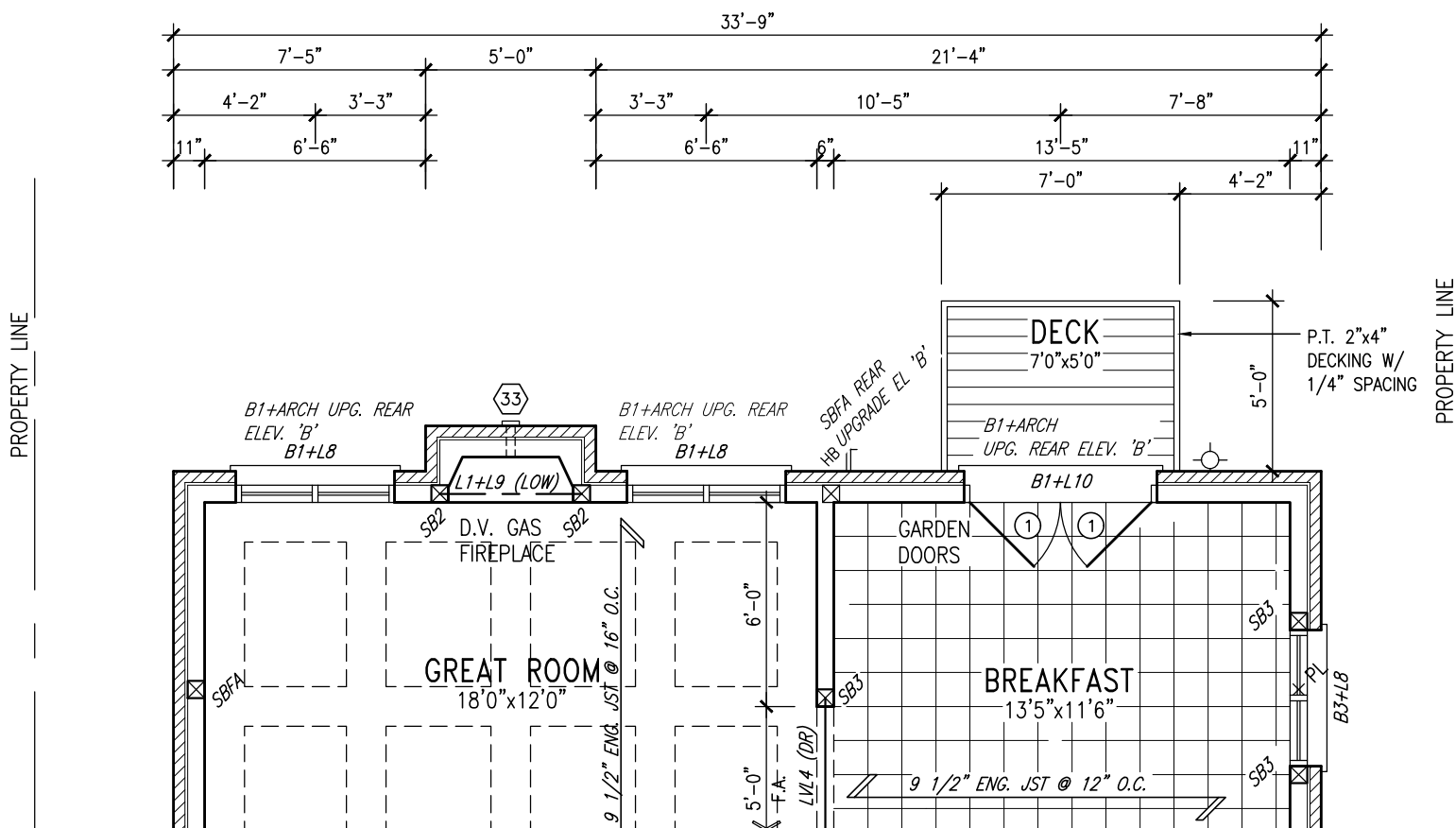
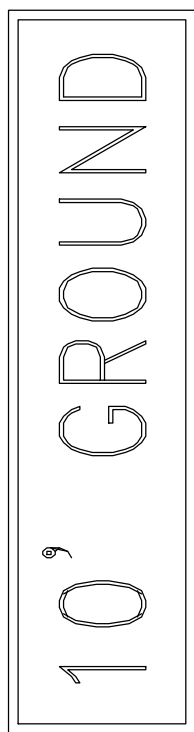
BAYVIEW WELLINGTON		S42-6	RIDEAU 6
GREEN VALLEY EAST		BRADFORD, ONT.	16023
REAR ELEVATION 'A' - W.O.D. COND.		3/16" = 1'-0"	22
FEBRUARY, 2017		RC	WT
255 Consumers Rd, Suite 120		416.630.2255	416.630.4782
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Wellington Jno-Baptiste		BCIN	KL
V3S Design Inc.		KL	RC
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APR 12-22		RC	RC
APR 05-22		RC	RC
JUL 07-21		KL	KL
JUL 07-21		KL	KL
JAN 23-19		RC	RC
JAN 25-18		RC	RC
1 ISSUED FOR CLIENT REVIEW			
no. description		date	by

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NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

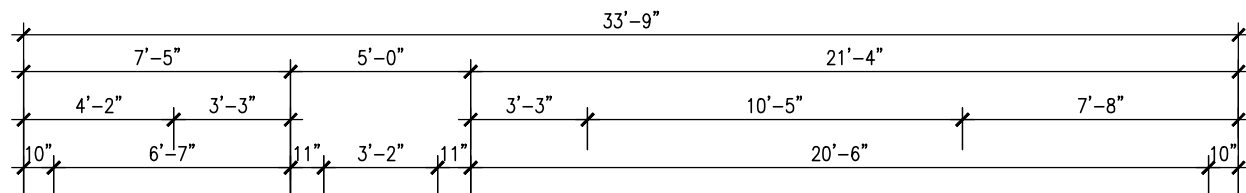
NOTE J1: PROVIDE SOLID BLOCKING
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PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



APR 14, 2022

PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOB CONDITION



REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP

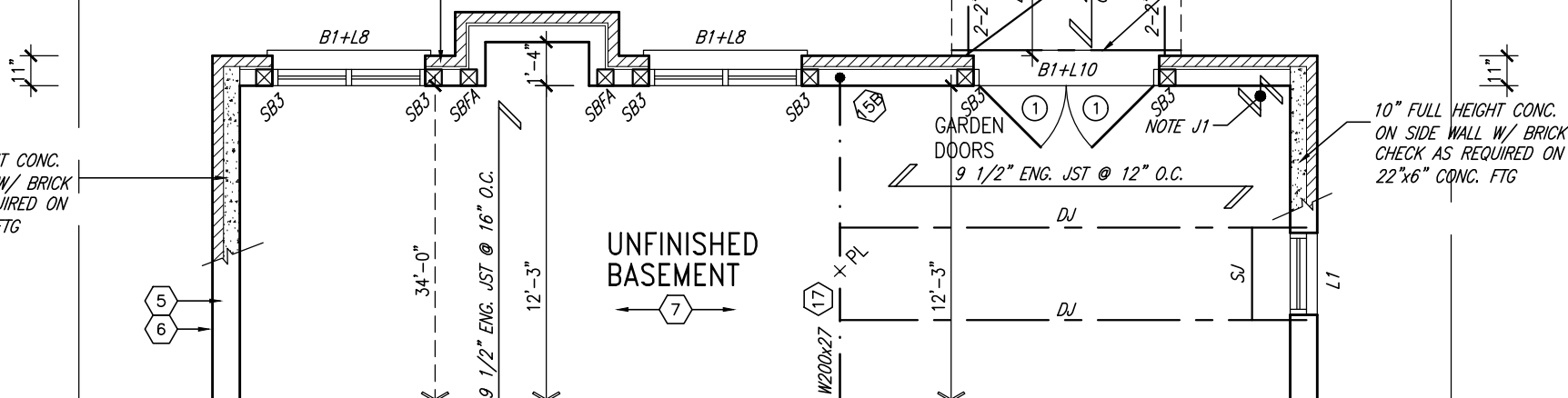
6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT—
BRACE TO U/S OF
JOISTS C/W (2) NO.8x3"
DECK SCREWS

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO 2"x6"
BLOCKING BETWEEN STUDS
W/ 1/2" DIA. BOLTS @ 16"
O.C. REFER TO DETAIL 1/S2

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG



PARTIAL BASEMENT PLAN 'A','B','C'
WOB CONDITION

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6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	Wellington Jno-Baptiste	25591
5	10' GROUND FLOOR	JUL 07-21	KL	name	BCIN
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	registration information	
3	REV EL B ROOF TRUSS	JAN 23-19	KL	VA3 Design Inc.	42658
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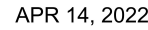
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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

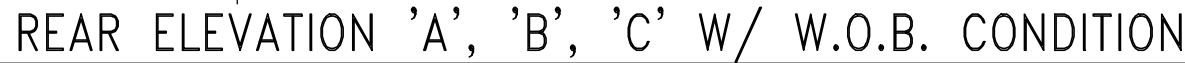
project name	municipality		project no.
GREEN VALLEY EAST	BRADFORD, ONT.		16023
date FEBRUARY, 2017			drawing no.
PART. FLOOR PLAN – W.O.B. COND.			23
drawn by	checked by	scale	
WT	RC	3/16" = 1'-0"	
file name			
16023-S42-6-10GRND			
RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:19 AM			

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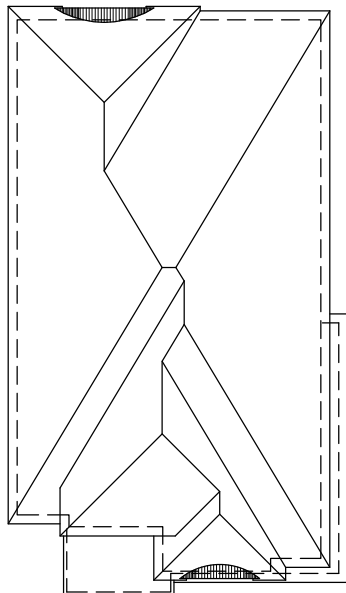


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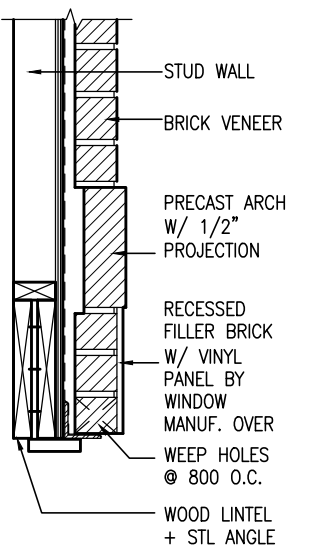
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10⁹ GROUND



ROOF 'B'
(UPGRADE REAR)



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



APR 14, 2022



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

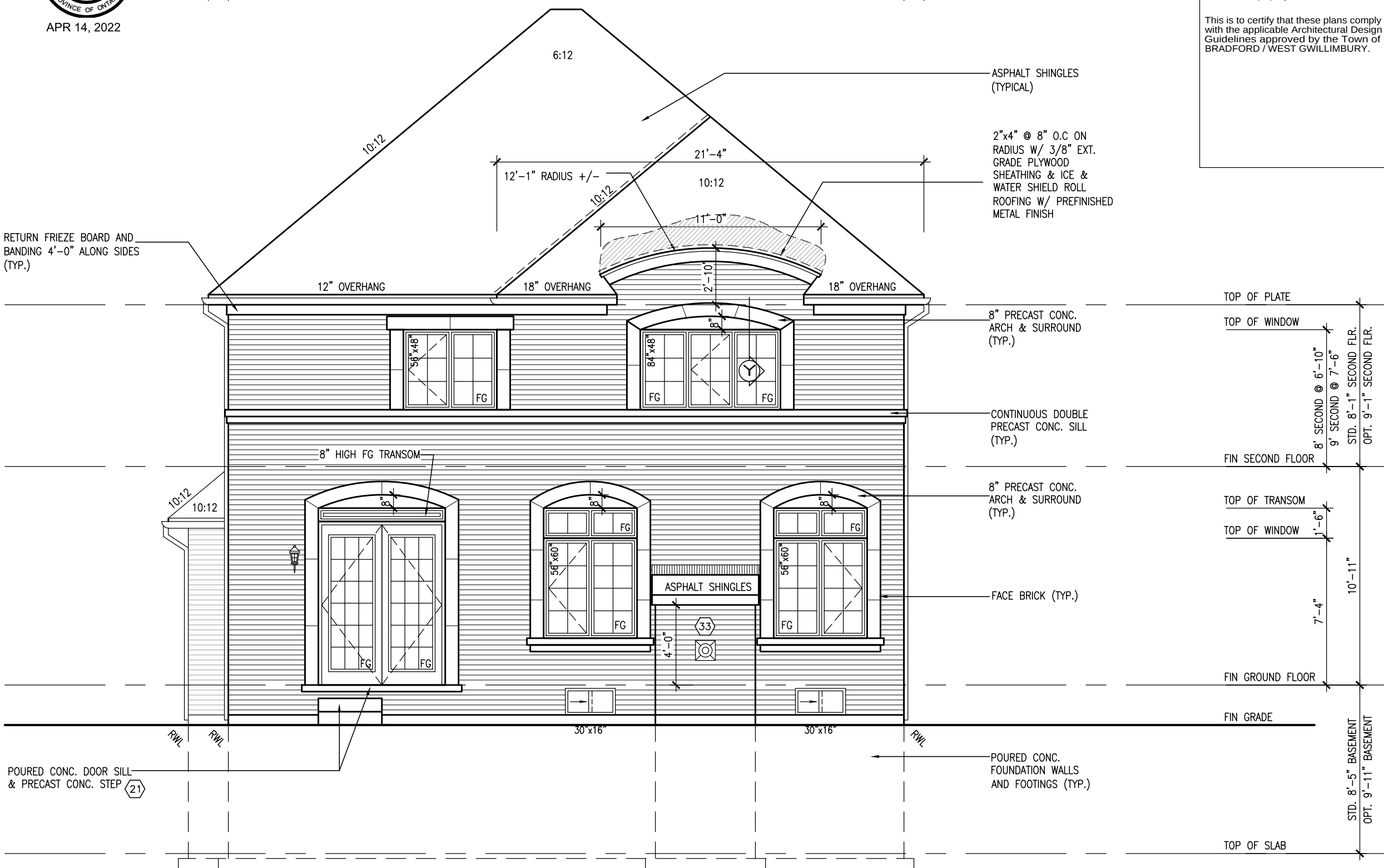
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BASEMENT COND

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RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)



UPGRADED REAR ELEVATION 'B'

10' GROUND

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY EAST

project no.
16023

project no.
16023

project no.
16023

project no.
16023

project no.
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project no.
16023



DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

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qualification information

Wellington Jno-Baptiste 25591 BCN

name

42658

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6 REVISED AS PER FLOOR LAYOUTS

5 10' GROUND FLOOR

4 ADDED OPT. 9' BASEMENT

3 REV EL B ROOF TRUSS

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no.

description

date

by

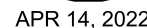
date

by

date

by

date



ADD ICE+ WATER SHIELD ON TOP AND
INSIDE WALLS OF PARAPET WALLS

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-6
RIDEAU 6

1000

ON 'A'	dr
--------	----

file name
6-10GRND

9:19 AM

BAYVIEW WELLINGTON

VALLEY EAST
BRADFORD

2017 UPGRADE

checked by	scale
RC	$3/16'' = 1'-0''$

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VA3

DESIGN

5 Consumers Rd Suite
Toronto ON M2J 1R4
416 630 2255 f 416 630

va3design.com

specifications, related documents

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591

name	signature	BCIN
registration information		42658
WAZ Design Inc		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

All draw:

6	.	.	.
8	.	.	.

7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC

5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL

3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC

1	ISSUED FOR CLIENT REVIEW	.	.
o.	description	date	by

UPGRADED REAR ELEVATION 'C'

10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

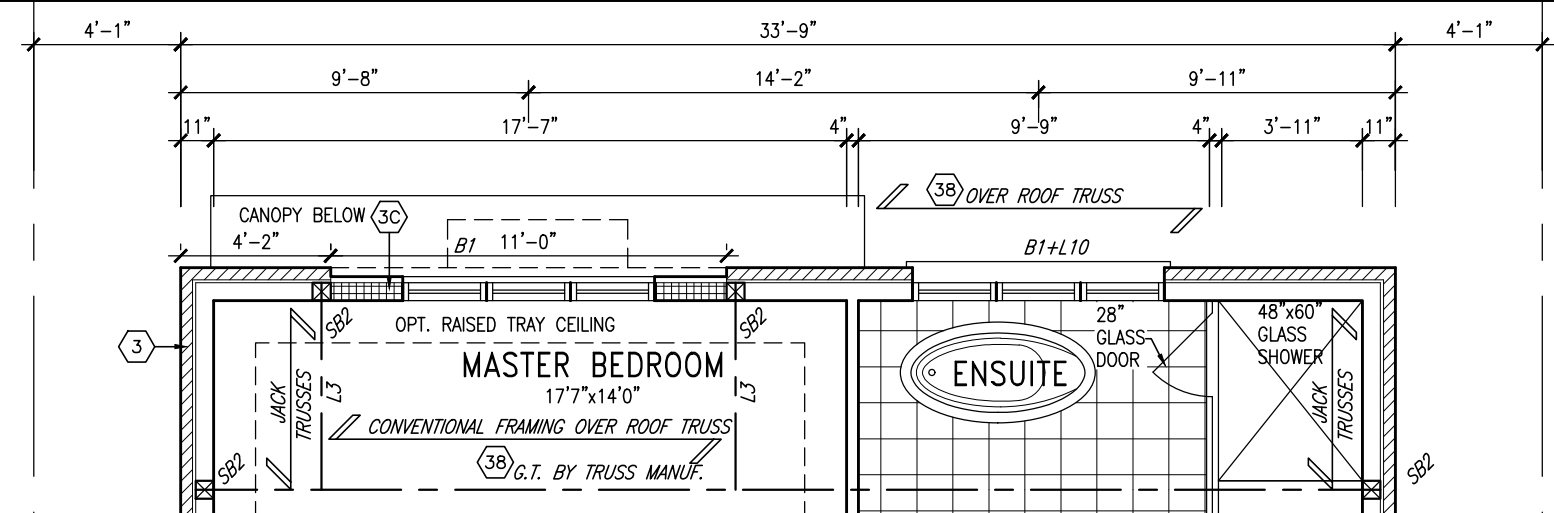


APR 14, 2022

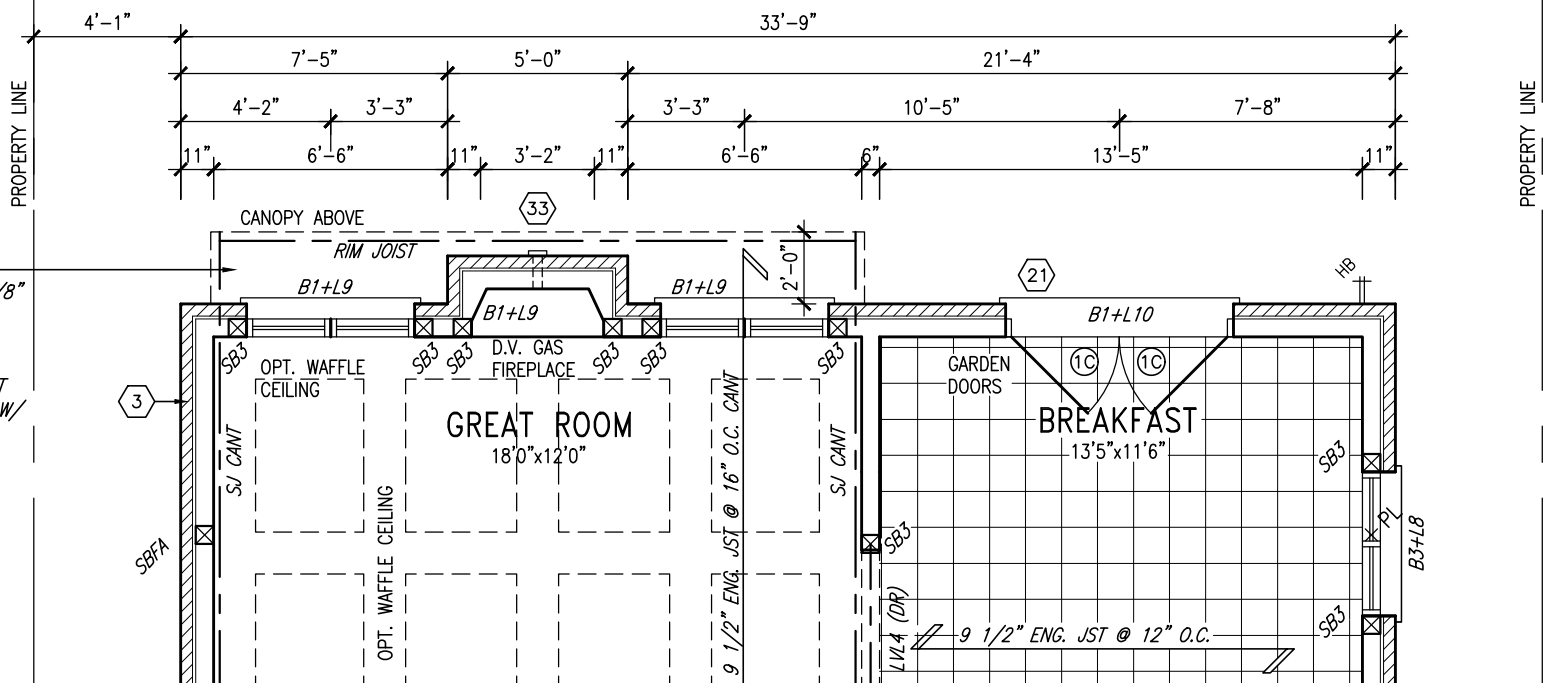
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

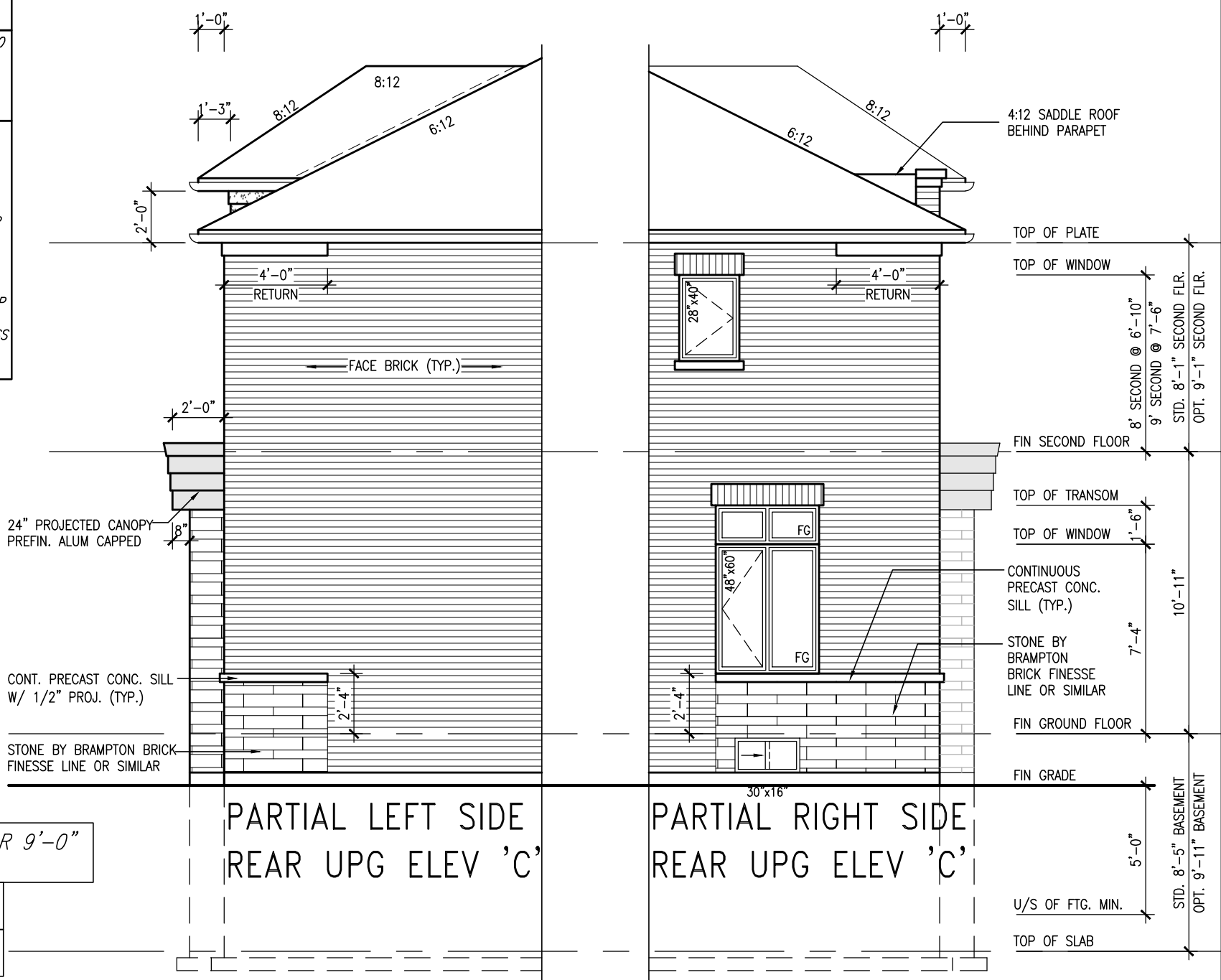
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



PARTIAL STD & OPT SECOND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL GROUND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL LEFT SIDE
REAR UPG ELEV 'C'

PARTIAL RIGHT SIDE
REAR UPG ELEV 'C'

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC	Wellington Jno-Baptiste	25591
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	name	BCIN
5	10' GROUND FLOOR	JUL 07-21	KL	registration information	
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	YA3 Design Inc.	42658
3	REV EL B ROOF TRUSS	JAN 23-19	RC		
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUED FOR CLIENT REVIEW	.	by		
no.	description	date	by		



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va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date FEBRUARY, 2017		PART. PLANS & SIDE REAR UPGRADE ELEVATION 'C'			drawing no. 28
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
				file name 16023-S42-6-10GRND	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM					

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

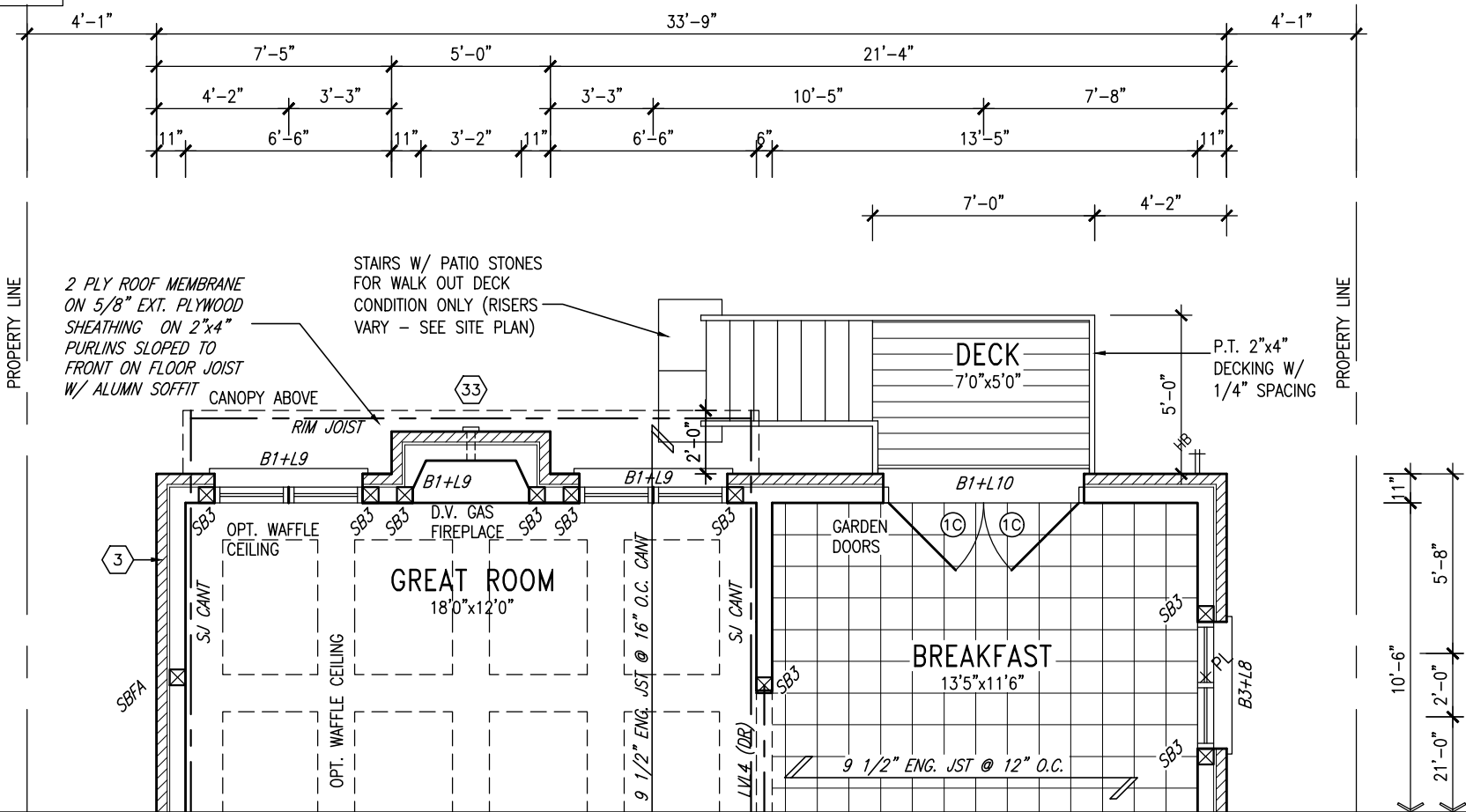
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

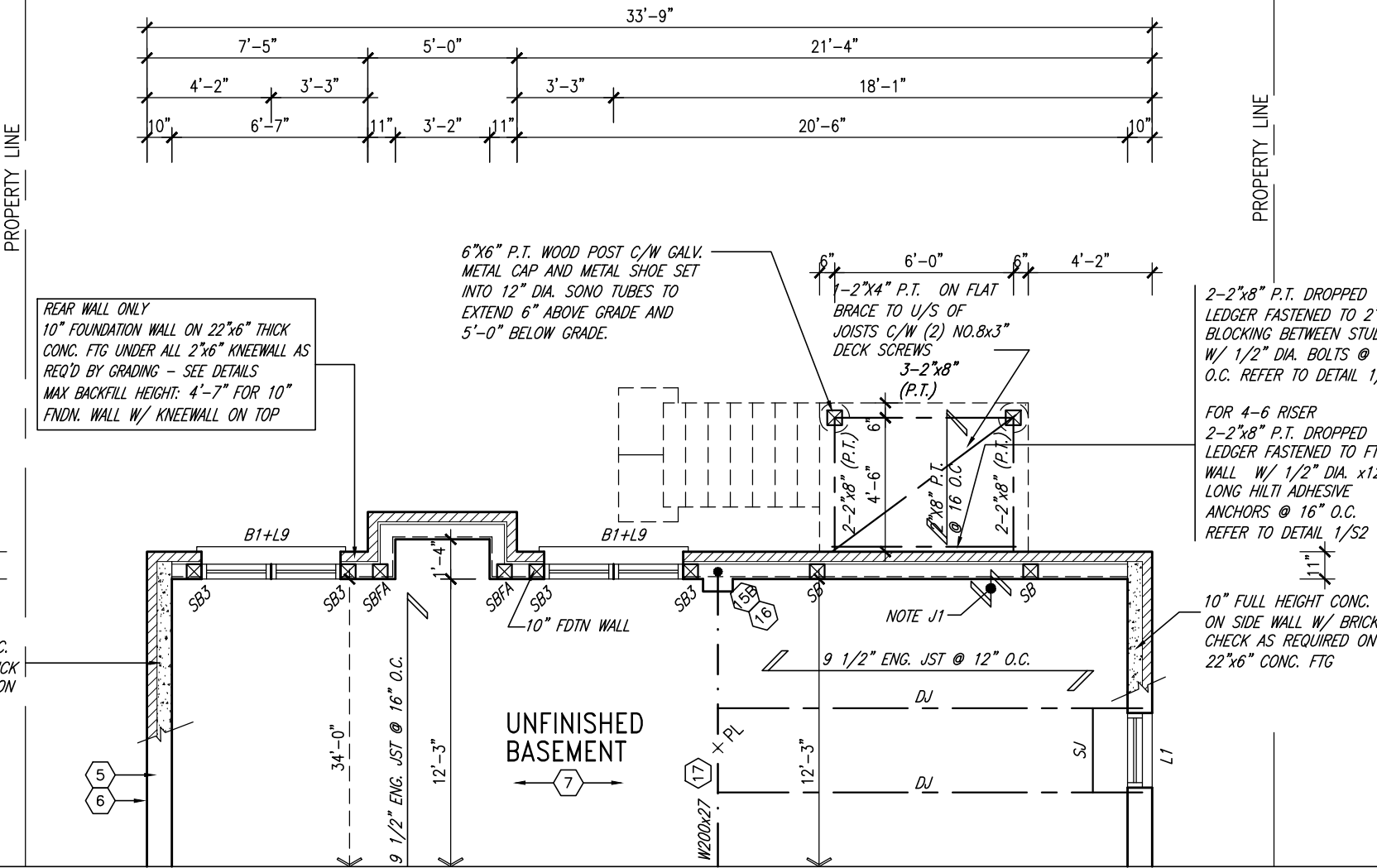
NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



APR 14, 2022

PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR UPG WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR UPG WOD 9R AND MORE COND.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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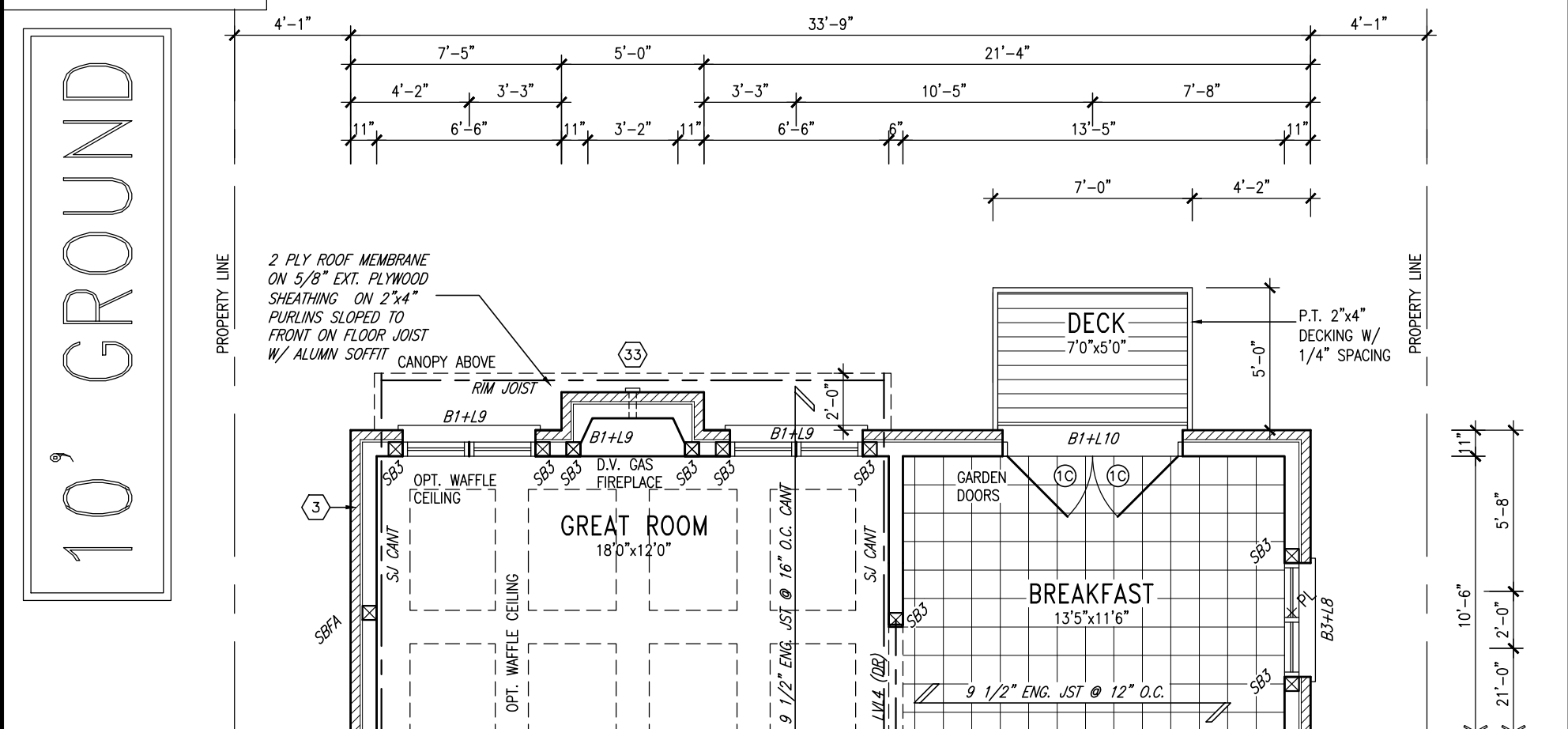
BAYVIEW WELLINGTON		S42-6 RIDEAU 6
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
date FEBRUARY, 2017		
drawing no. 29		
PART. FLOOR PLANS- ELEV C REAR UPG W.O.D. COND.		
drawn by WT	checked by RC	scale 3/16" = 1'-0"
file name 16023-S42-6-10GRND		
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NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

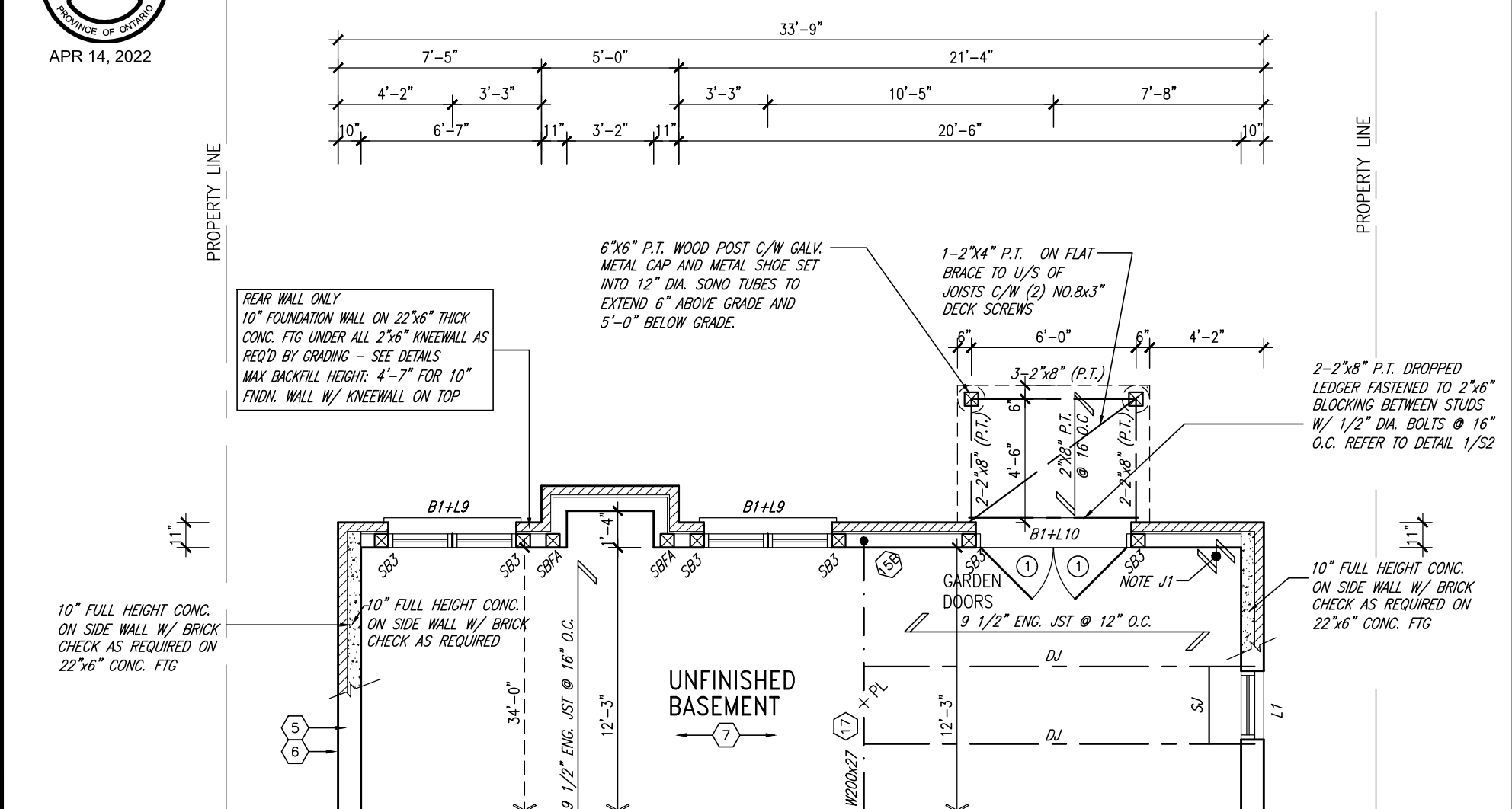
NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



APR 14, 2022

PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR
UPG WOB COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR
UPG WOB COND.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC	qualification information
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	Wellington Jno-Baptiste 25591
5	10' GROUND FLOOR	JUL 07-21	KL	name signature BCIN
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	registration information
3	REV EL B ROOF TRUSS	JAN 23-19	RC	V&A Design Inc. 42658
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by	



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t 416.630.2255 f 416.630.4782
vg3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023
date FEBRUARY, 2017				drawing no. 30
PART. FLOOR PLANS— ELEV C REAR UPG W.O.D. COND.				
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-6-10GRND	
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APR 14, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

CONT. TRIPLE BRICK
ROWLOCK BAND

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.



ASPHALT SHINGLES
(TYPICAL)

6"x16" STONE IMPOST

PREFIN. METAL ROOF W/
RAISED SEAMS (TYP.)

DOUBLE BRICK ROWLOCK
HEADER ON BRICK
ROWLOCK STACK (TYP.)

PRECAST CONC. SILL
OVER BRICK ROWLOCK
(TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

TOP OF PLATE
TOP OF WINDOW
8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-6"
7'-4"
10'-11"
FIN GROUND FLOOR
TOP OF WINDOW
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT
SEE NOTE
FIN GRADE
TOP OF SLAB

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW

10' GROUND

UPGRADED REAR ELEVATION 'A' W/ W.O.D. CONDITION

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
31

date
FEBRUARY, 2017

checked by
RC

drawn by
WT

scale
3/16" = 1'-0"

file name
16023-S42-6-10GRND

title
UPGRADED REAR ELEVATION 'A' - W.O.D. COND.

VA3
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature
Jno-Baptiste

25591
BCIN

42658

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no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	APR 12	
6	REVISED AS PER FLOOR LAYOUTS	APR 05	
5	10' GROUND FLOOR	JUL 07	
4	ADDED OPT. 9' BASEMENT	JUL 07	
3	REV EL B ROOF TRUSS	JAN 23	
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	
1	ISSUED FOR CLIENT REVIEW		

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-6
RIDEAU 6

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

DATE FEBRUARY, 2017

PROJECT NO. 16023

BY RC

DRAWING NO. 32

SCALE 3/16" = 1'-0"

CHECKED BY WT

DATE APR 14, 2022

FILE NAME 16023-S42-6-10GRND



255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature of Designer

Signature of Designer

Signature of Designer

Signature of Designer

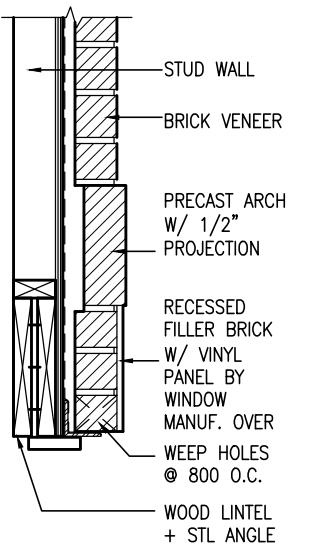
Signature of Designer

Signature of Designer

Signature of Designer

Signature of Designer

Signature of Designer



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.

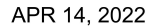
RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'B' W/ W.O.D. CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-6
RIDEAU 6

project no.	16023
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ring no.

60

on normalizing

BAYVIEW WELLINGTON

BRADFORD, ONT. municipality

ELEVATION 'C' -

--	--

33-S42-6-10GRND.dwg - Thu

V3

DESIGN

Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

specifications related documents and drawings

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qualification information

Wellington Jno-Baptiste	signature	BCIN
		25591

42658
A3 Design Inc.
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Drawings are not to be scaled.

6	.	.	.
8	.	.	.

7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
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6	REVISED AS PER FLOOR LAYOUTS	APR 03-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL

4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
	REVISED TO PER ENGINEER'S COMMENTS	JAN 05-19	RC

2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.

no.	description	date	by
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10' GROUND

ELEVATION 'A'
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3881.71 S.F.	538.97 S.F.	13.88 %
TOTAL SQ. M.	360.62 S.M.	50.07 S.M.	13.88 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOD W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4016.71 S.F.	563.42 S.F.	14.03 %
TOTAL SQ. M.	373.16 S.M.	52.34 S.M.	14.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4115.15 S.F.	617.70 S.F.	15.01 %
TOTAL SQ. M.	382.31 S.M.	57.39 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3881.71 S.F.	538.97 S.F.	13.88 %
TOTAL SQ. M.	360.62 S.M.	50.07 S.M.	13.88 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOD W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4016.71 S.F.	563.42 S.F.	14.03 %
TOTAL SQ. M.	373.16 S.M.	52.34 S.M.	14.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4115.15 S.F.	617.70 S.F.	15.01 %
TOTAL SQ. M.	382.31 S.M.	57.39 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4072.18 S.F.	538.97 S.F.	13.24 %
TOTAL SQ. M.	378.31 S.M.	50.07 S.M.	13.24 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOD W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.18 S.F.	563.42 S.F.	13.39 %
TOTAL SQ. M.	390.86 S.M.	52.34 S.M.	13.39 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4305.62 S.F.	617.70 S.F.	14.35 %
TOTAL SQ. M.	400.00 S.M.	57.39 S.M.	14.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4072.18 S.F.	538.97 S.F.	13.24 %
TOTAL SQ. M.	378.31 S.M.	50.07 S.M.	13.24 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOD W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.18 S.F.	563.42 S.F.	13.39 %
TOTAL SQ. M.	390.86 S.M.	52.34 S.M.	13.39 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4305.62 S.F.	617.70 S.F.	14.35 %
TOTAL SQ. M.	400.00 S.M.	57.39 S.M.	14.35 %

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington	Jno-Baptiste	25591	
name	signature	BCIN	
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONT.

project no.

16023

date

FEBRUARY,2017

checked by

RC

scale

3/16" = 1'-0"

ELEV.'A' SB-12 CHARTS

file name

16023-S42-6-10GRND

drawing no.

37

RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:19 AM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

ELEVATION 'B'
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3902.02 S.F.	559.00 S.F.	14.33 %
TOTAL SQ. M.	362.51 S.M.	51.93 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOD W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4037.02 S.F.	583.45 S.F.	14.45 %
TOTAL SQ. M.	375.05 S.M.	54.20 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 8' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4135.46 S.F.	637.73 S.F.	15.42 %
TOTAL SQ. M.	384.19 S.M.	59.25 S.M.	15.42 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3902.02 S.F.	559.00 S.F.	14.33 %
TOTAL SQ. M.	362.51 S.M.	51.93 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOD W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4037.02 S.F.	583.45 S.F.	14.45 %
TOTAL SQ. M.	375.05 S.M.	54.20 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 8' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4135.46 S.F.	637.73 S.F.	15.42 %
TOTAL SQ. M.	384.19 S.M.	59.25 S.M.	15.42 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4092.52 S.F.	559.00 S.F.	13.66 %
TOTAL SQ. M.	380.20 S.M.	51.93 S.M.	13.66 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOD W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4227.52 S.F.	583.45 S.F.	13.80 %
TOTAL SQ. M.	392.75 S.M.	54.20 S.M.	13.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 9' SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4325.96 S.F.	637.73 S.F.	14.74 %
TOTAL SQ. M.	401.89 S.M.	59.25 S.M.	14.74 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4092.52 S.F.	559.00 S.F.	13.66 %
TOTAL SQ. M.	380.20 S.M.	51.93 S.M.	13.66 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOD W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4227.52 S.F.	583.45 S.F.	13.80 %
TOTAL SQ. M.	392.75 S.M.	54.20 S.M.	13.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 9' OPT. SEC	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4325.96 S.F.	637.73 S.F.	14.74 %
TOTAL SQ. M.	401.89 S.M.	59.25 S.M.	14.74 %

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8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington	Jno-Baptiste	25591	
name	signature	BCIN	
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023
date FEBRUARY,2017		ELEV.'B' SB-12 CHARTS		drawing no.
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-6-10GRND	38
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Apr 14 2022 - 9:19 AM				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

ELEVATION 'C'
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	601.33 S.F.	15.01 %
TOTAL SQ. M.	372.16 S.M.	55.86 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	625.78 S.F.	15.11 %
TOTAL SQ. M.	384.70 S.M.	58.14 S.M.	15.11 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	680.06 S.F.	16.04 %
TOTAL SQ. M.	393.84 S.M.	63.18 S.M.	16.04 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	601.33 S.F.	15.01 %
TOTAL SQ. M.	372.16 S.M.	55.86 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	625.78 S.F.	15.11 %
TOTAL SQ. M.	384.70 S.M.	58.14 S.M.	15.11 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	680.06 S.F.	16.04 %
TOTAL SQ. M.	393.84 S.M.	63.18 S.M.	16.04 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	601.33 S.F.	14.33 %
TOTAL SQ. M.	389.85 S.M.	55.86 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	625.78 S.F.	14.45 %
TOTAL SQ. M.	402.40 S.M.	58.14 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4429.82 S.F.	680.06 S.F.	15.35 %
TOTAL SQ. M.	411.54 S.M.	63.18 S.M.	15.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	601.33 S.F.	14.33 %
TOTAL SQ. M.	389.85 S.M.	55.86 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	625.78 S.F.	14.45 %
TOTAL SQ. M.	402.40 S.M.	58.14 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
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REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4429.82 S.F.	680.06 S.F.	15.35 %
TOTAL SQ. M.	411.54 S.M.	63.18 S.M.	15.35 %

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC	qualification information Wellington Jno-Baptiste 25591 name signature BCIN
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC	
5	10' GROUND FLOOR	JUL 07-21	KL	qualification information VA3 Design Inc. 42658 registration information
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	
3	REV EL B ROOF TRUSS	JAN 23-19	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023
date FEBRUARY,2017		ELEV.'C' SB-12 CHARTS		drawing no. 39
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-6-10GRND	
RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:19 AM				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

ELEVATION 'C' UPG
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	177.72 S.F.	25.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	609.11 S.F.	15.21 %
TOTAL SQ. M.	372.16 S.M.	56.59 S.M.	15.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOD W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	202.17 S.F.	23.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	633.56 S.F.	15.30 %
TOTAL SQ. M.	384.70 S.M.	58.86 S.M.	15.30 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOB W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	256.43 S.F.	27.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	687.82 S.F.	16.22 %
TOTAL SQ. M.	393.84 S.M.	63.90 S.M.	16.22 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' W/8' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	177.72 S.F.	25.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	609.11 S.F.	15.21 %
TOTAL SQ. M.	372.16 S.M.	56.59 S.M.	15.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOD W/8' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	202.17 S.F.	23.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	633.56 S.F.	15.30 %
TOTAL SQ. M.	384.70 S.M.	58.86 S.M.	15.30 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOB W/8' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	256.43 S.F.	27.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	687.82 S.F.	16.22 %
TOTAL SQ. M.	393.84 S.M.	63.90 S.M.	16.22 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	177.72 S.F.	23.94 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	609.11 S.F.	14.52 %
TOTAL SQ. M.	389.85 S.M.	56.59 S.M.	14.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	877.50 S.F.	202.17 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	633.56 S.F.	14.63 %
TOTAL SQ. M.	402.40 S.M.	58.86 S.M.	14.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	975.94 S.F.	256.43 S.F.	26.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4429.82 S.F.	687.82 S.F.	15.53 %
TOTAL SQ. M.	411.54 S.M.	63.90 S.M.	15.53 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' W/9' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	177.72 S.F.	23.94 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	609.11 S.F.	14.52 %
TOTAL SQ. M.	389.85 S.M.	56.59 S.M.	14.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOD W/9' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
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* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	633.56 S.F.	14.63 %
TOTAL SQ. M.	402.40 S.M.	58.86 S.M.	14.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'c' WOB W/9' OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
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TOTAL SQ. FT.	4429.82 S.F.	687.82 S.F.	15.53 %
TOTAL SQ. M.	411.54 S.M.	63.90 S.M.	15.53 %

ELEVATION 'C' UPG.
SB12 W/ 9'
SECOND FLOOR

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	
name		BCIN	
signature			
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	FEBRUARY,2017	project no.	16023
drawn by	WT	ELEV.'C' SB-12 CHARTS	drawing no.
checked by	RC	scale	3/16" = 1'-0"
RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:20 AM		file name	16023-S42-6-10GRND

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10' GROUND

EL. 'A' W/ 9' BSMT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4165.77 S.F.	617.70 S.F.	14.83 %
TOTAL SQ. M.	387.01 S.M.	57.39 S.M.	14.83 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4356.24 S.F.	617.70 S.F.	14.18 %
TOTAL SQ. M.	404.70 S.M.	57.39 S.M.	14.18 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4186.08 S.F.	637.73 S.F.	15.23 %
TOTAL SQ. M.	388.90 S.M.	59.25 S.M.	15.23 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4376.58 S.F.	637.73 S.F.	14.57 %
TOTAL SQ. M.	406.59 S.M.	59.25 S.M.	14.57 %

EL. 'B' W/ 9' BSMT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4289.94 S.F.	680.06 S.F.	15.85 %
TOTAL SQ. M.	398.55 S.M.	63.18 S.M.	15.85 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4480.44 S.F.	680.06 S.F.	15.18 %
TOTAL SQ. M.	416.24 S.M.	63.18 S.M.	15.18 %

EL. 'C' W/ 9' BSMT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6' EL.A/A REAR UPG. WOB W/9' BSMT+8' OPT.2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4165.77 S.F.	617.70 S.F.	14.83 %
TOTAL SQ. M.	387.01 S.M.	57.39 S.M.	14.83 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A/A REAR UPG. WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4356.24 S.F.	617.70 S.F.	14.18 %
TOTAL SQ. M.	404.70 S.M.	57.39 S.M.	14.18 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/9' BSMT+8' OPT.2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4186.08 S.F.	637.73 S.F.	15.23 %
TOTAL SQ. M.	388.90 S.M.	59.25 S.M.	15.23 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B/B REAR UPG. WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4376.58 S.F.	637.73 S.F.	14.57 %
TOTAL SQ. M.	406.59 S.M.	59.25 S.M.	14.57 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
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TOTAL SQ. FT.	4289.94 S.F.	680.06 S.F.	15.85 %
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
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* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4480.44 S.F.	680.06 S.F.	15.18 %
TOTAL SQ. M.	416.24 S.M.	63.18 S.M.	15.18 %

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington	Jno-Baptiste	25591	
name	signature	BCIN	
registration information			
VA3	Design Inc.	42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name		municipality		project no.
GREEN VALLEY EAST		BRADFORD, ONT.		16023
date	SB12 – OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND			drawing no.
FEBRUARY,2017				41
drawn by	checked by	scale	file name	
WT	RC	3/16" = 1'-0"	16023-S42-6-10GRND	
RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:20 AM				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	992.81 S.F.	256.43 S.F.	25.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4289.94 S.F.	687.82 S.F.	16.03 %
TOTAL SQ. M.	398.55 S.M.	63.90 S.M.	16.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
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RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	1026.56 S.F.	256.43 S.F.	24.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4480.44 S.F.	687.82 S.F.	15.35 %
TOTAL SQ. M.	416.24 S.M.	63.90 S.M.	15.35 %

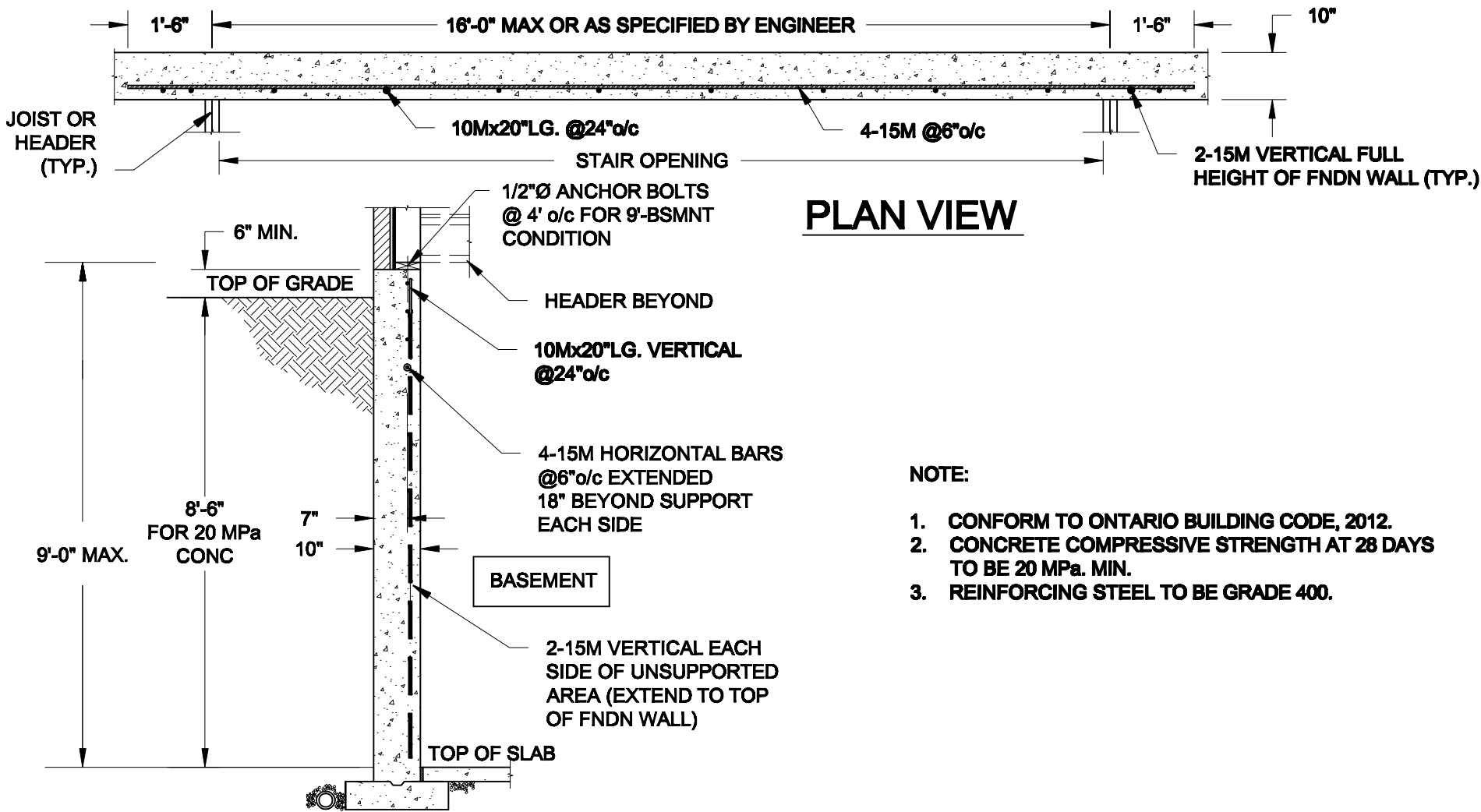
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/9' BSMT+OPT. 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
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* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4480.44 S.F.	687.82 S.F.	15.35 %
TOTAL SQ. M.	416.24 S.M.	63.90 S.M.	15.35 %

10' GROUND

EL. 'C' UPG. W/ 9' BSMT.

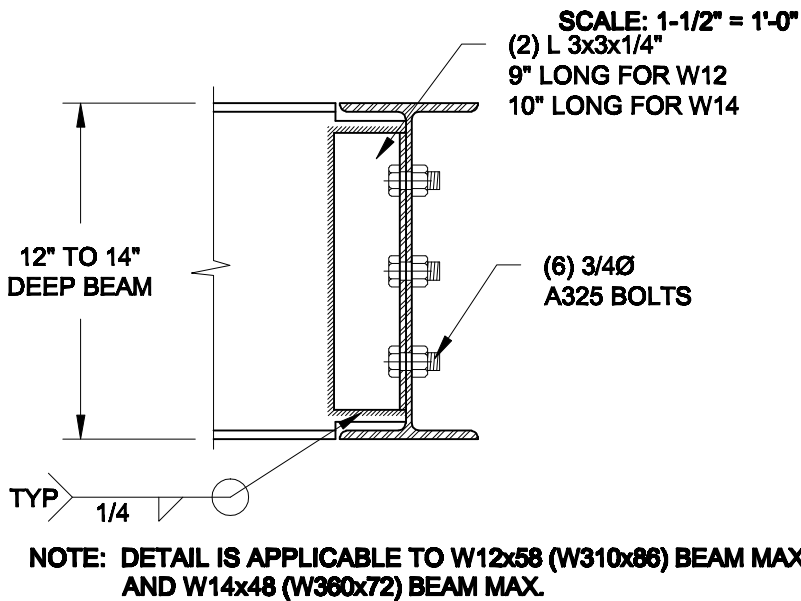
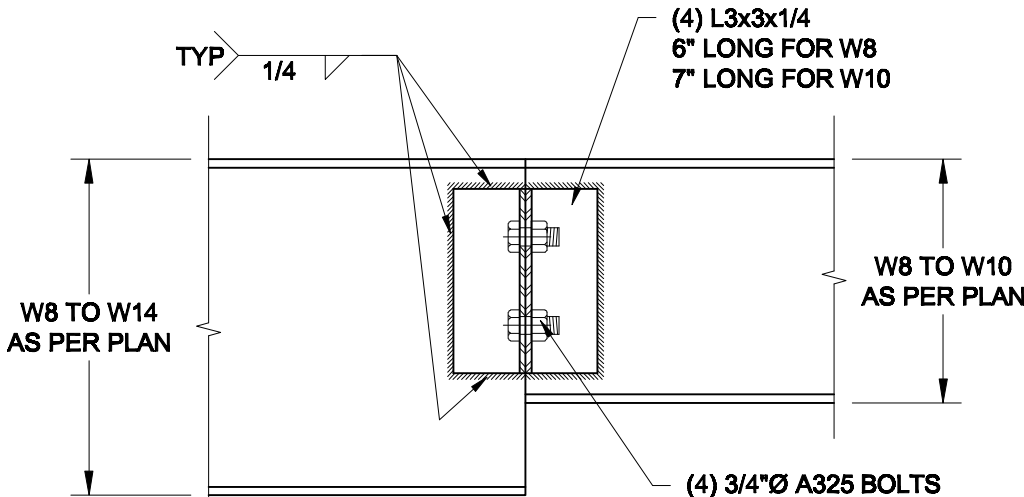
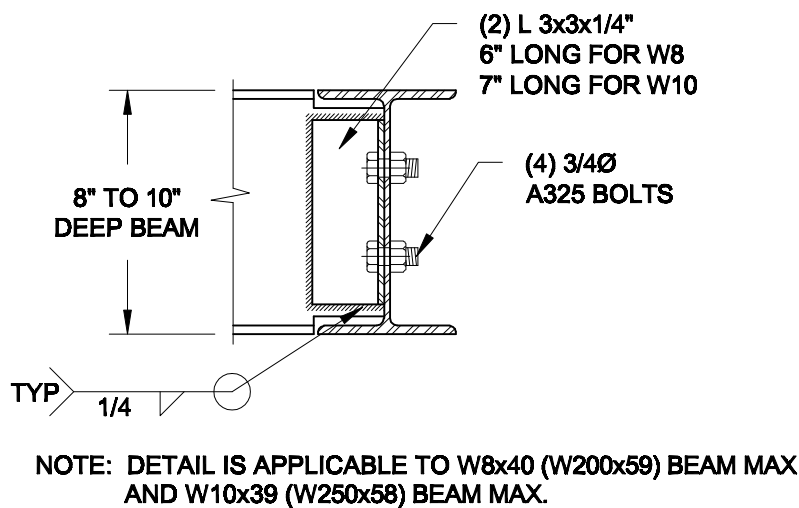
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name signature BCIN registration information VA3 Design Inc. 42658	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		S42-6 RIDEAU 6		
8	.	.	.			project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023		
7	REVISED AS PER ENG'S COMMENTS	APR 12-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date FEBRUARY,2017	SB12 – OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND		drawing no. 42		
6	REVISED AS PER FLOOR LAYOUTS	APR 05-22	RC			drawn by WT	checked by RC		scale 3/16" = 1'-0"	file name 16023-S42-6-10GRND
5	10' GROUND FLOOR	JUL 07-21	KL			RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Apr 14 2022 – 9:20 AM				
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL							
3	REV EL B ROOF TRUSS	JAN 23-19	RC							
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC							
1	ISSUED FOR CLIENT REVIEW	.	.							
no.	description		date	by						



1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

STEEL BEAM CONNECTION DETAILS

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



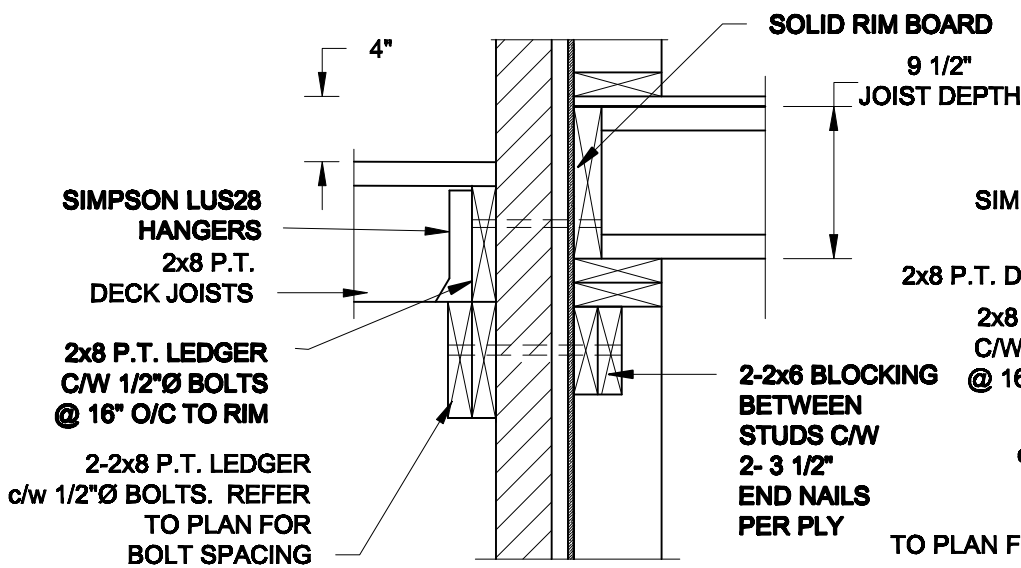
Project:
BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

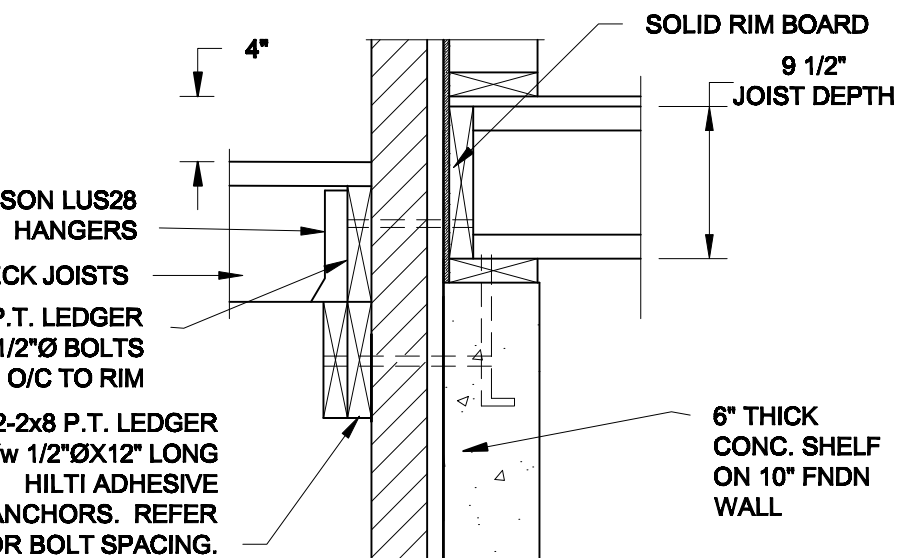
Project No.:
21-038

Drawing No.:
S1

FOR 9 1/2" JOIST DEPTH

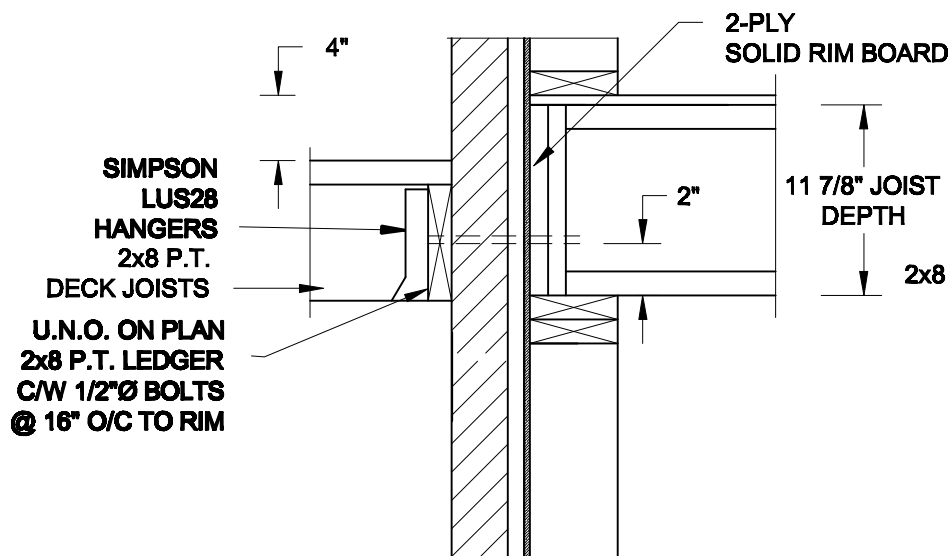


1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

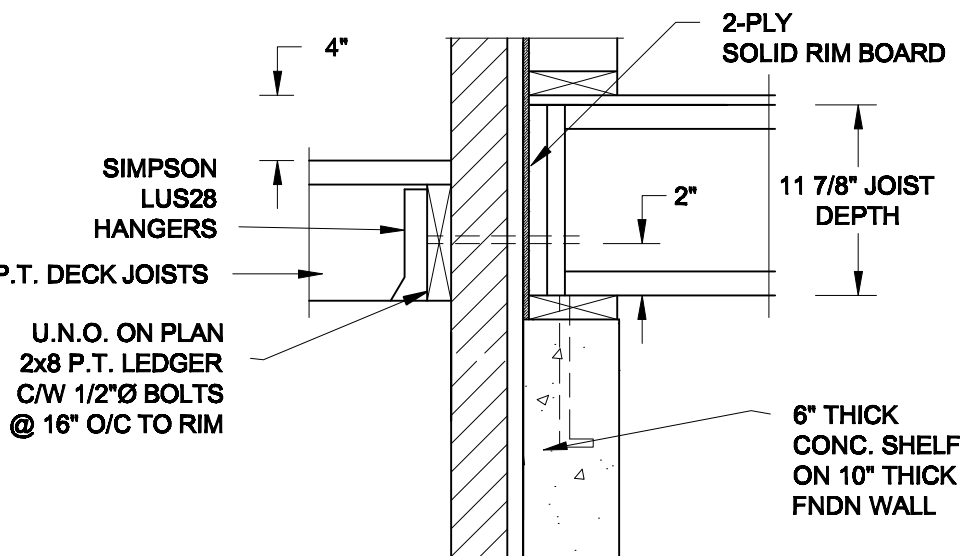


1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



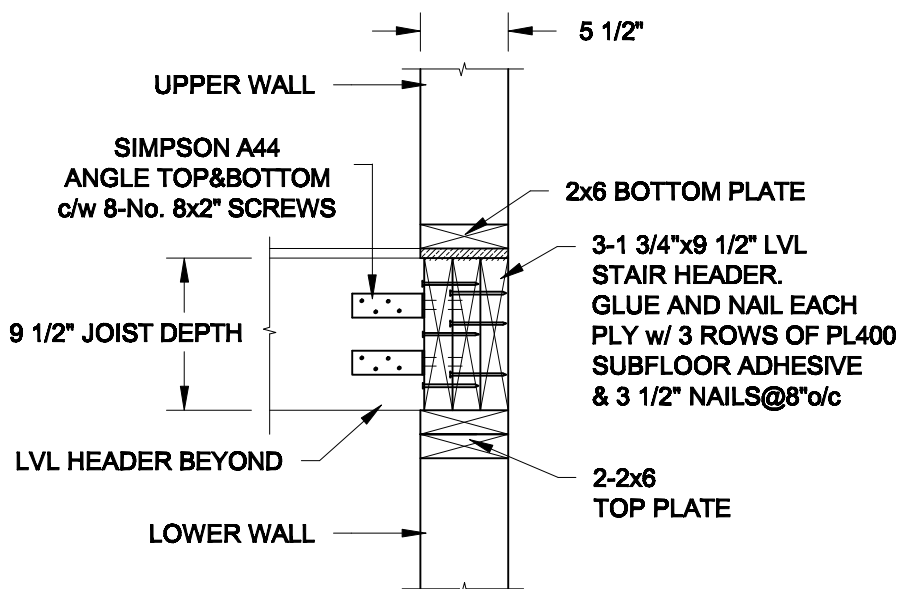
1C
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"



1D
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

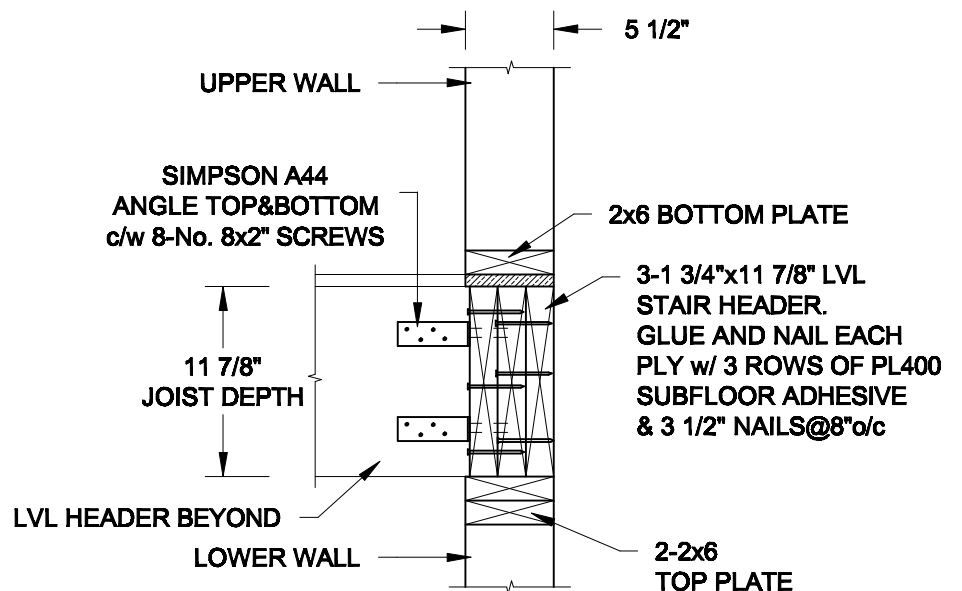
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A
S2 **STAIR HEADER**
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2 **STAIR HEADER**
SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: MAR-15-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

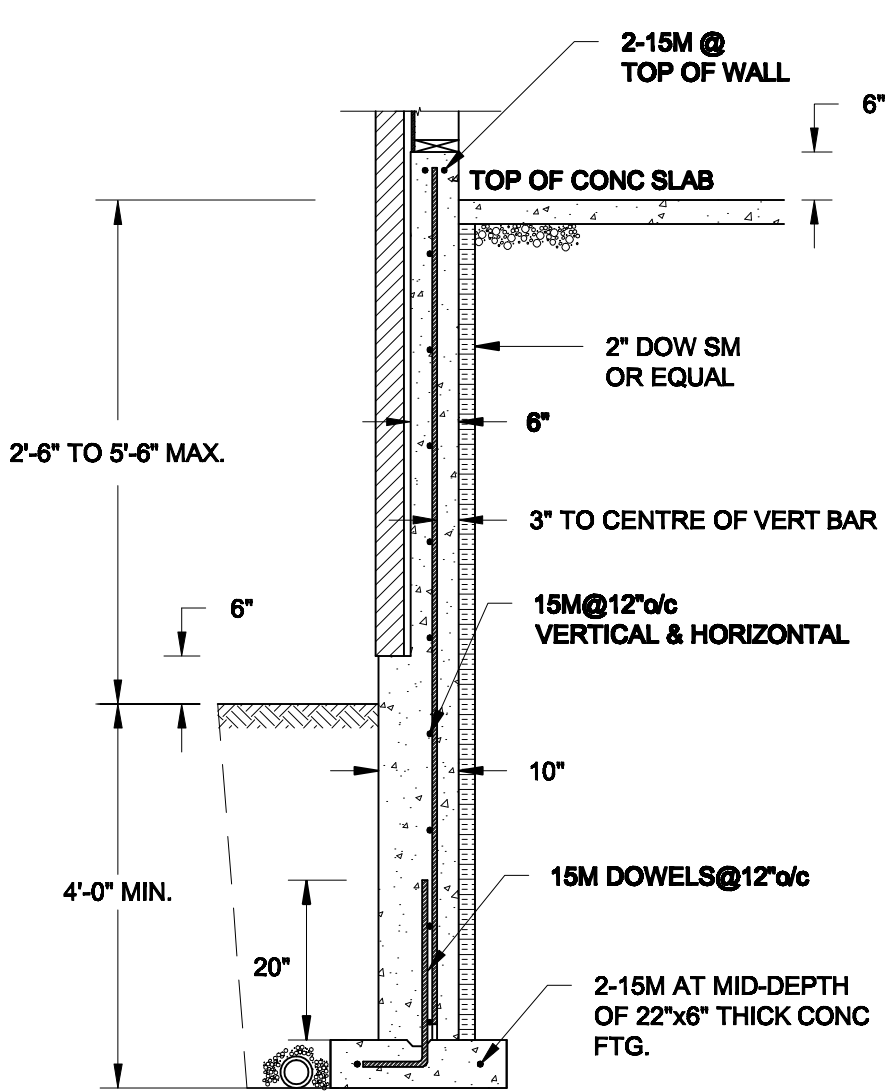
TYPICAL STRUCTURAL DETAILS

Project No.:

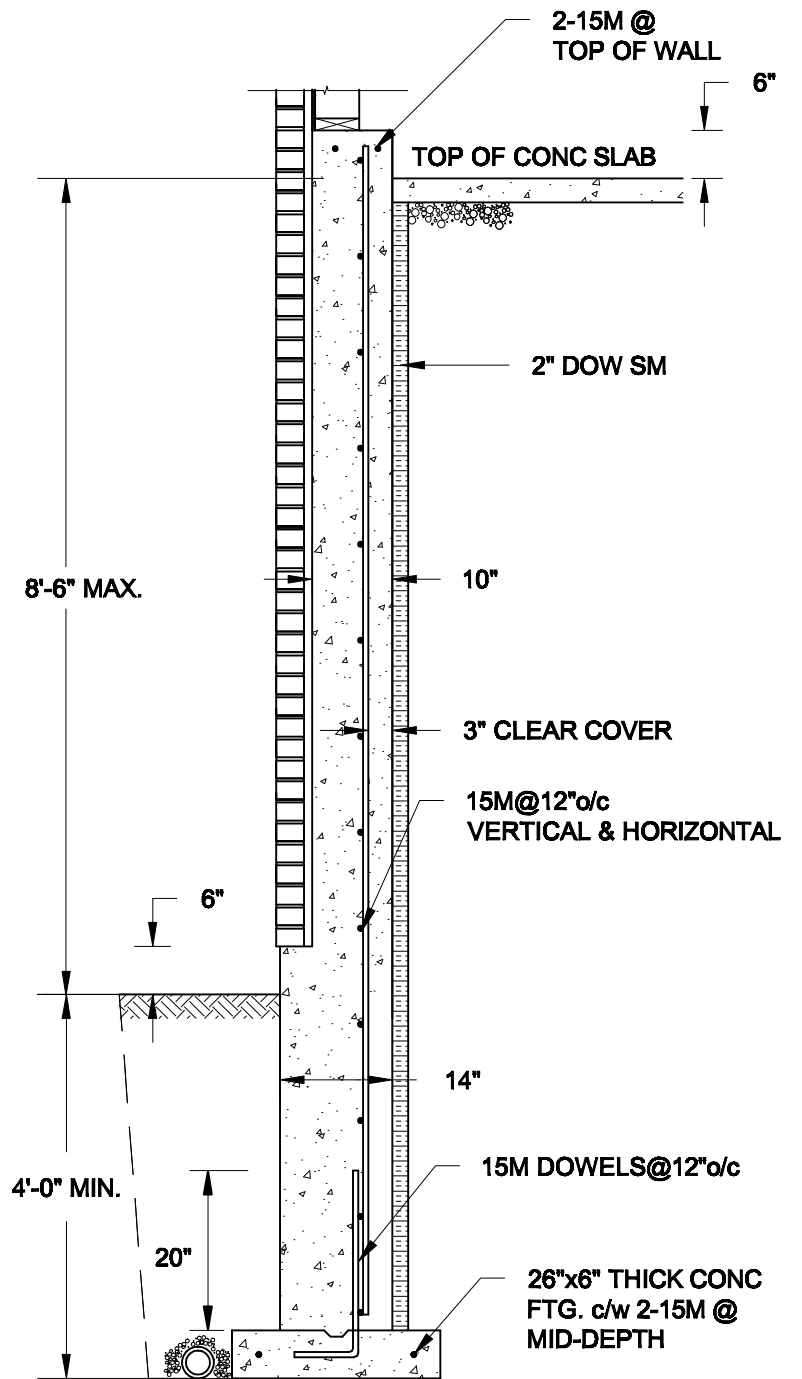
21-038

Drawing No.:

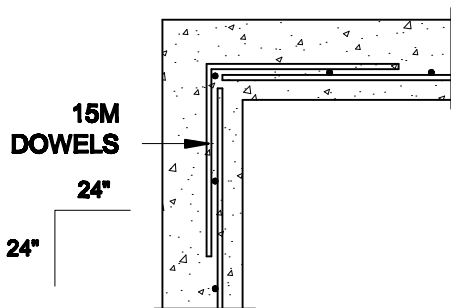
S2



1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



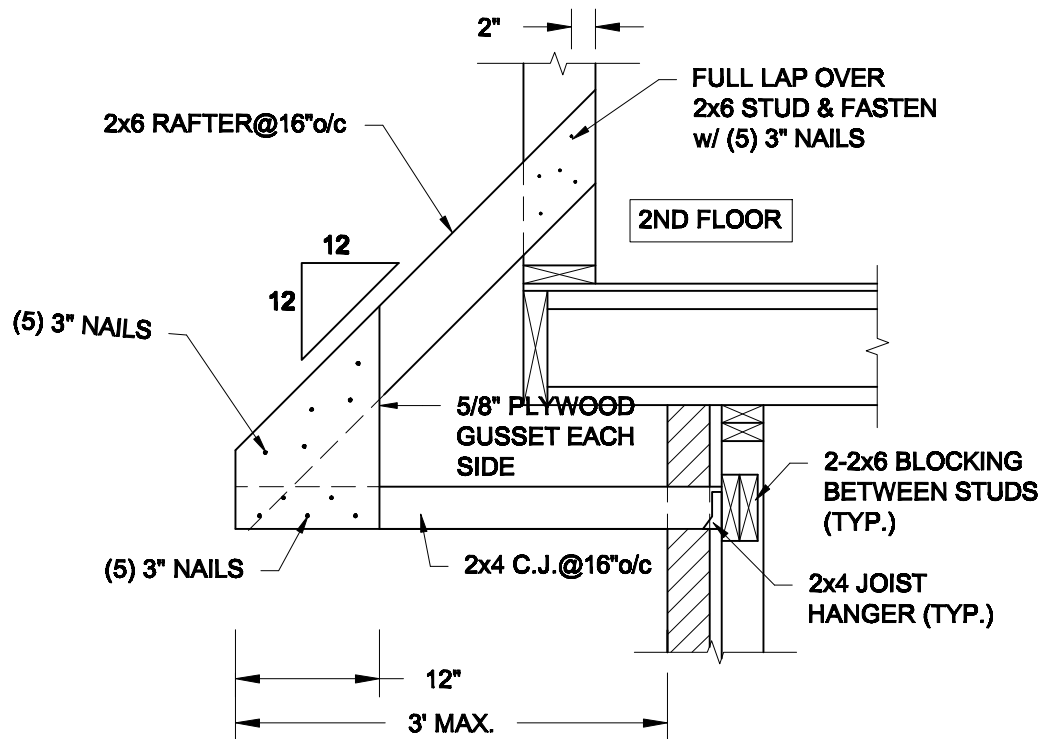
1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale: AS NOTED	
Date: FEB-24-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

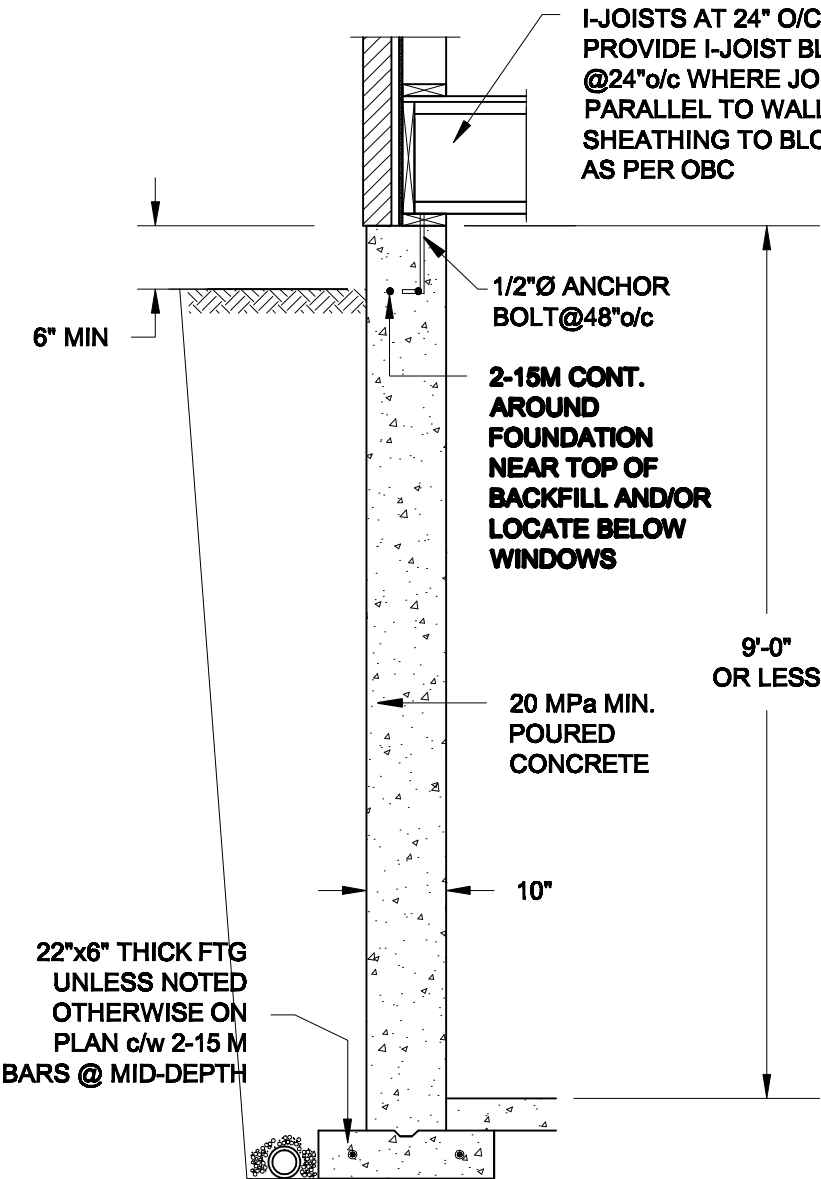
TYPICAL STRUCTURAL DETAILS

Project No.:

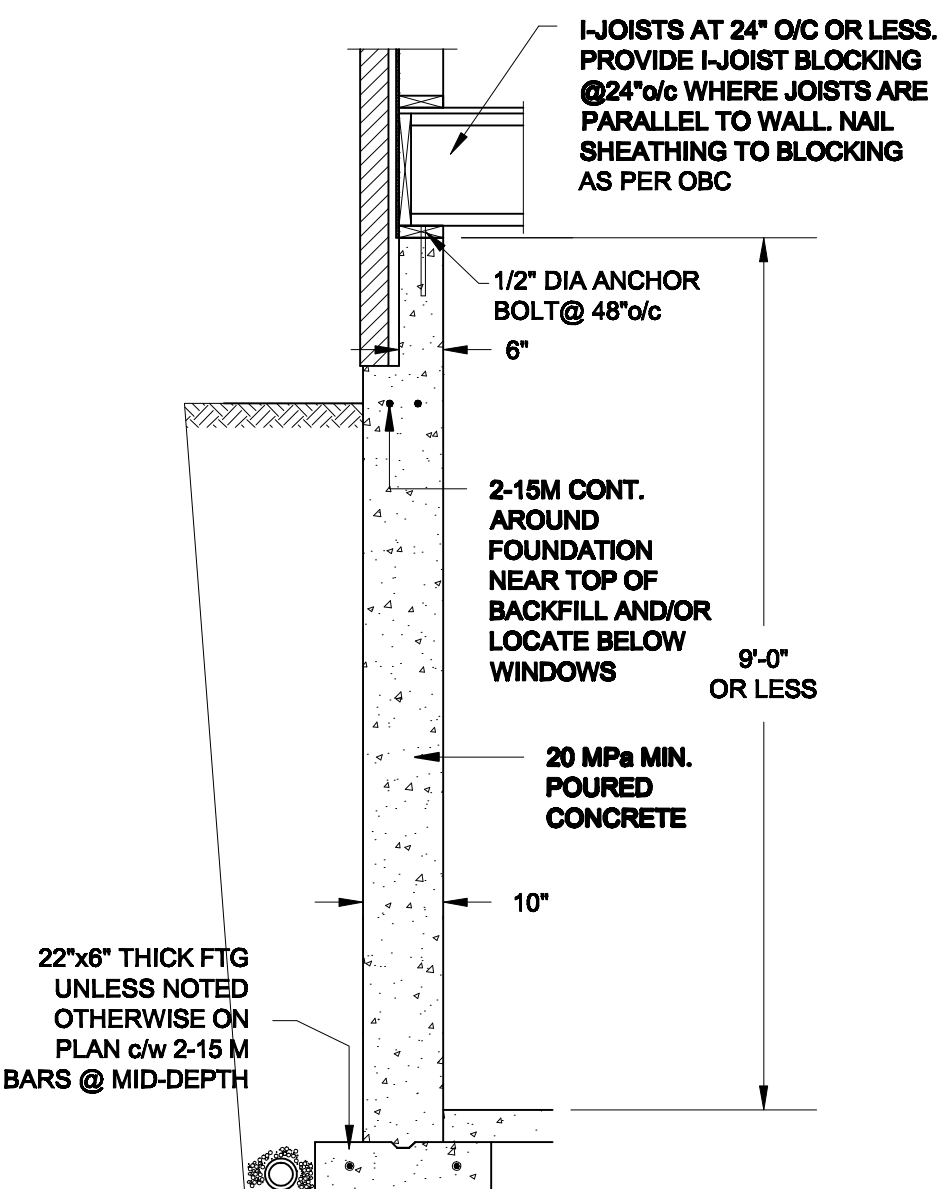
21-038

Drawing No.:

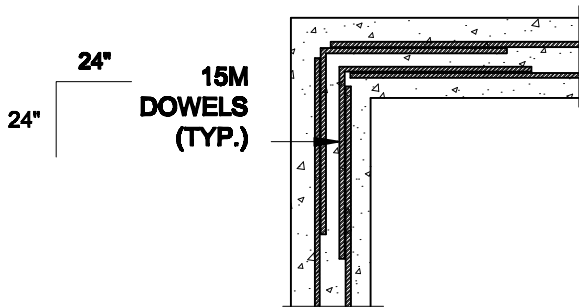
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"



1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STORES SUPPORTED |W/ MASONRY VENEER |W/ SIDING ONLY

118" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

18" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").

-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b). 9.16.4.5.(1). 9.25.3.3.(15)

80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- (PRIVATE STAIRS)

UNIFORM RISE 5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS

-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7-7/8")

MIN. RUN = 255 (10") (NOSING TO NOSING)

MAX. TREAD = RUN + 25 (1")

MAX. NOSING = 25 (1")

MIN. HEADROOM = 1950 (6'-5")

RAIL @ LANDING = 900 (2'-11")

RAIL @ STAIR = 865 (2'-10") TO 1070 (3'-6")

MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)

MIN. RUN AT INNER RADIUS = 150 (6")

MIN. RUN AT 300 (12") = 255 (10")

11. HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS -OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE -OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7). 9.25.2.3. 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.1.1.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HAATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 4x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-8 TABLE 6.2.3.12..

33. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.-). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.-

AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6).

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS

DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-8 9.6.1.3.

GENERAL: 1)

MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8. 6.2.2. SEE MECHANICAL DRAWINGS.

2)

ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3)

ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4)

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. 8-9.5.2.3 & DETAIL PROVIDED.

5)

ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6)

ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

7)

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-8 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1)

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2)

STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3)

LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4)

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5)

LVL BEAMS SHALL BE 2.0E-2950Fb MIN.. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4-9 1/2- 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6)

PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7)

JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8)

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1)

STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3.

2)

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1)

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT

EXHAUST FAN TO EXTERIOR

DUPLEX OUTLET (12" ABOVE SURFACE)

DUPLEX OUTLET (HEIGHT A.F.F)

WEATHERPROOF DUPLEX OUTLET

GFI DUPLEX OUTLET (HEIGHT A.F.F)

POT LIGHT

HEAVY DUTY OUTLET (220 volt)

LIGHT FIXTURE (PULL CHAIN)

LIGHT FIXTURE (CEILING MOUNTED)

SWITCH

LIGHT FIXTURE (WALL MOUNTED)

FLOOR DRAIN

HOSE BIB (NON-FREEZE)

SJ SINGLE JOIST

P.T. PRESSURE TREATED LUMBER

DJ DOUBLE JOIST

G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

TJ TRIPLE JOIST

LVL LAMINATED VENEER LUMBER

POINT LOAD FROM ABOVE

FLAT ARCH

CURVED ARCH

M.C. MEDICINE CABINET (RECESSED)

DOUBLE VOLUME WALL. SEE NOTE 39

CONCRETE BLOCK WALL

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL.

REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)

- WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12")o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR)

PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

UPDATED

ONT. REG. 332/12-2012 OBC
Amendment O. Reg. 88/19
Includes amendments effective Jan. 1, 2022

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L12/38 x 184 (2/2" x 8") SPR.#2

B13/38 x 184 (3/2" x 8") SPR.#2

B24/38 x 184 (4/2" x 8") SPR.#2

B75/38 x 184 (5/2" x 8") SPR.#2

L32/38 x 235 (2/2" x 10") SPR.#2

B33/38 x 235 (3/2" x 10") SPR.#2

B44/38 x 235 (4/2" x 10") SPR.#2

L52/38 x 286 (2/2" x 12") SPR.#2

B53/38 x 286 (3/2" x 12") SPR.#2

B64/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L789 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4"L)

L889 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L)

L9102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L)

L10127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L)

L11152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L)

L12152 x 102 x 11.0L (6"x 4" x 7/16"L)

L13178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A1-1 3/4"x7 1/4" (1-45x184)

LVL12-1 3/4"x7 1/4" (2-45x184)

LVL23-1 3/4"x7 1/4" (3-45x184)

LVL34-1 3/4"x7 1/4" (4-45x184)

LVL4A1-1 3/4"x9 1/2" (1-45x240)

LVL42-1 3/4"x9 1/2" (2-45x240)

LVL53-1 3/4"x9 1/2" (3-45x240)

LVL5A4-1 3/4"x9 1/2" (4-45x240)

LVL6A1-1 3/4"x11 7/8" (1-45x300)

LVL62-1 3/4"x11 7/8" (2-45x300)

LVL73-1 3/4"x11 7/8" (3-45x300)

LVL84-1 3/4"x11 7/8" (4-45x300)

DOOR SCHEDULE

1EXTERIOR DOOR2'-8" WIDE
INSULATED MIN. RSI 0.7 (R4)

1AEXTERIOR DOOR2'-10" WIDE
INSULATED MIN. RSI 0.7 (R4)

1BEXTERIOR DOOR3'-0" WIDE
INSULATED MIN. RSI 0.7 (R4)

1CEXTERIOR DOOR3'-2" WIDE
INSULATED MIN. RSI 0.7 (R4)

2AEXTERIOR DOOR2'-8" wide
20 MIN. RATED DOOR AND FRAME,
WITH APPROVED SELF CLOSING
DEVICE. INSULATED MIN. RSI 0.7 (R4)

2INTERIOR DOOR2'-8" WIDE

2BINTERIOR DOOR2'-8" WIDE
(WEATHERSTRIPPING INSTALLED)

2CINTERIOR DOOR3'-0" WIDE

3INTERIOR DOOR2'-6" WIDE

3AINTERIOR DOOR2'-4" WIDE

4INTERIOR DOOR2'-0" WIDE

4AINTERIOR DOOR2'-2" WIDE

5INTERIOR DOOR1'-6" WIDE

REFER TO ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS

MECHANICAL SYMBOLS

HEAT PIPE

WARM AIR

PLUMBING (TOILET)

RETURN AIR DUCT

PLUMBING (BATH, SINK, SHOWER)

SMOKE ALARM (REFER TO OBC 9.10.19)

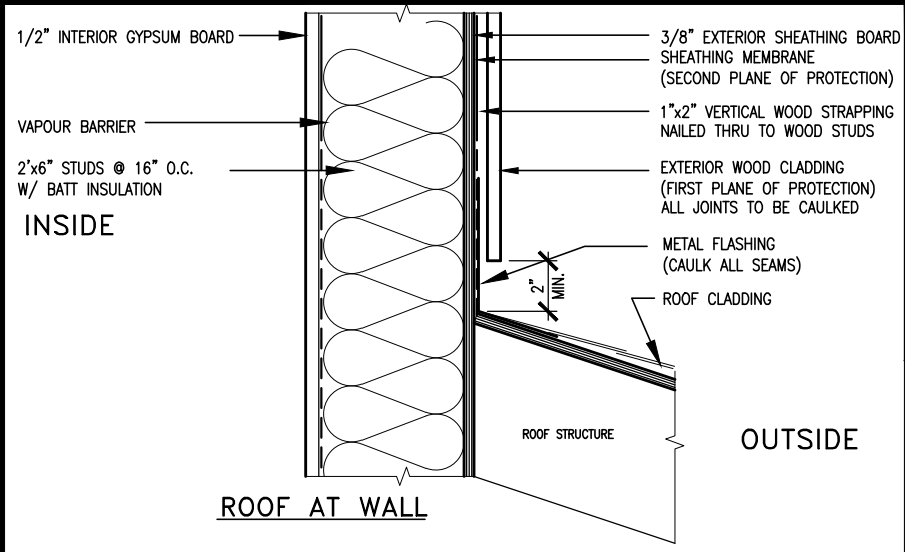
PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PRO



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

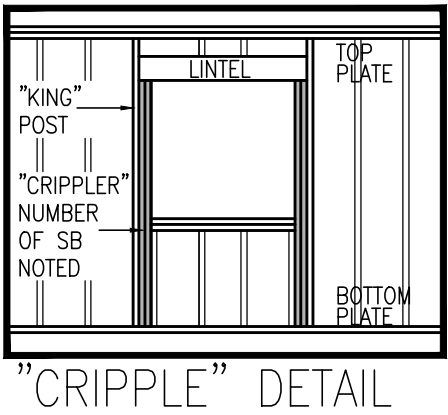
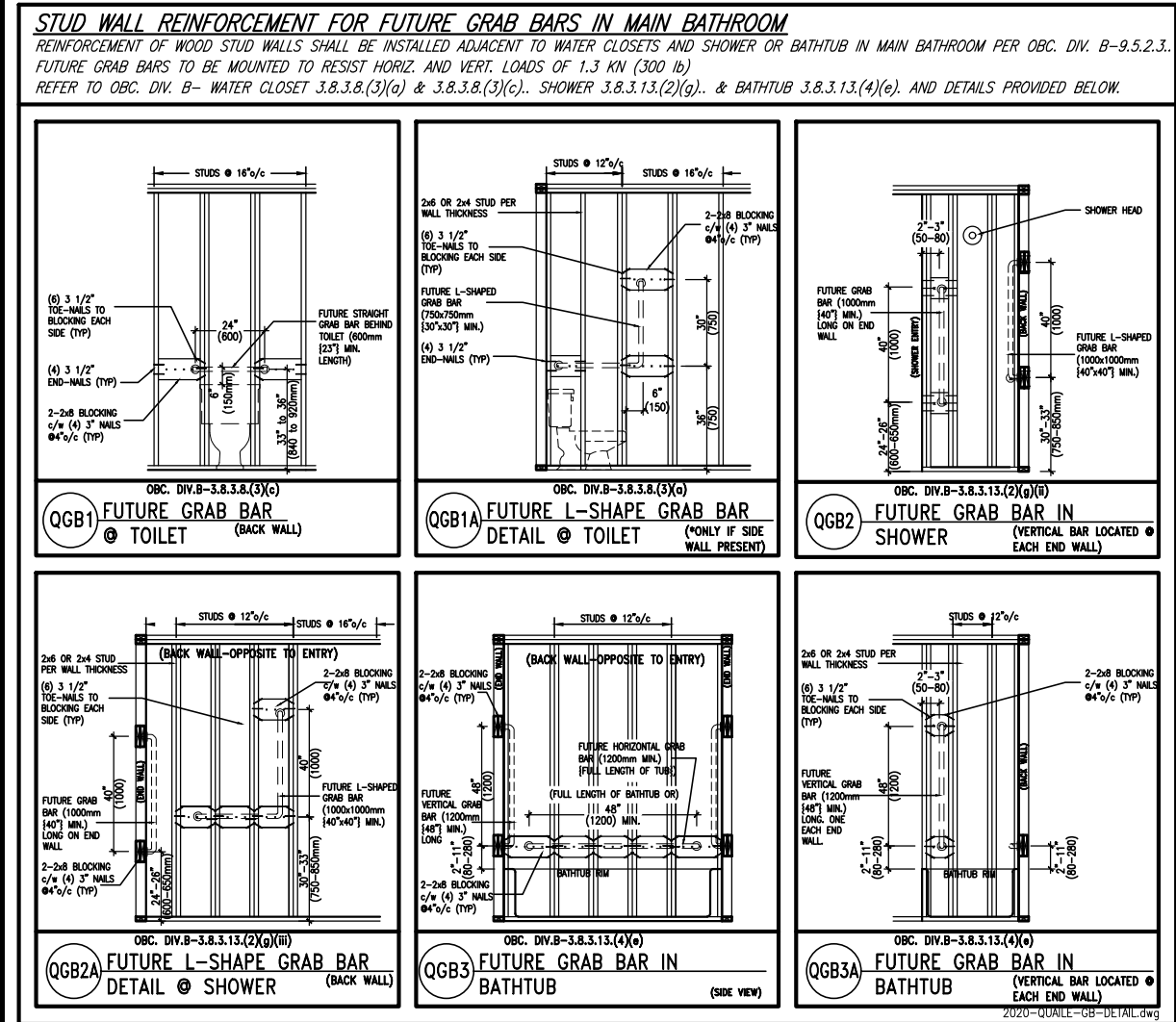
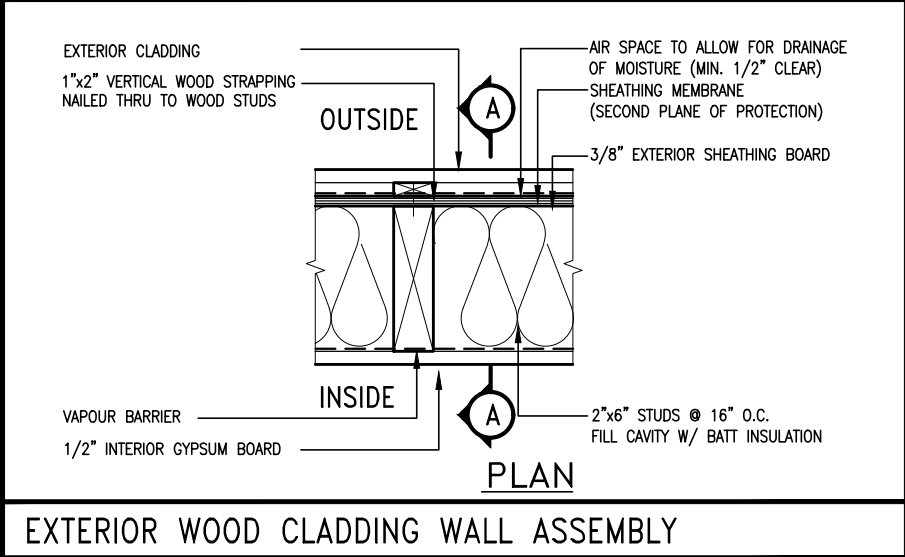
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

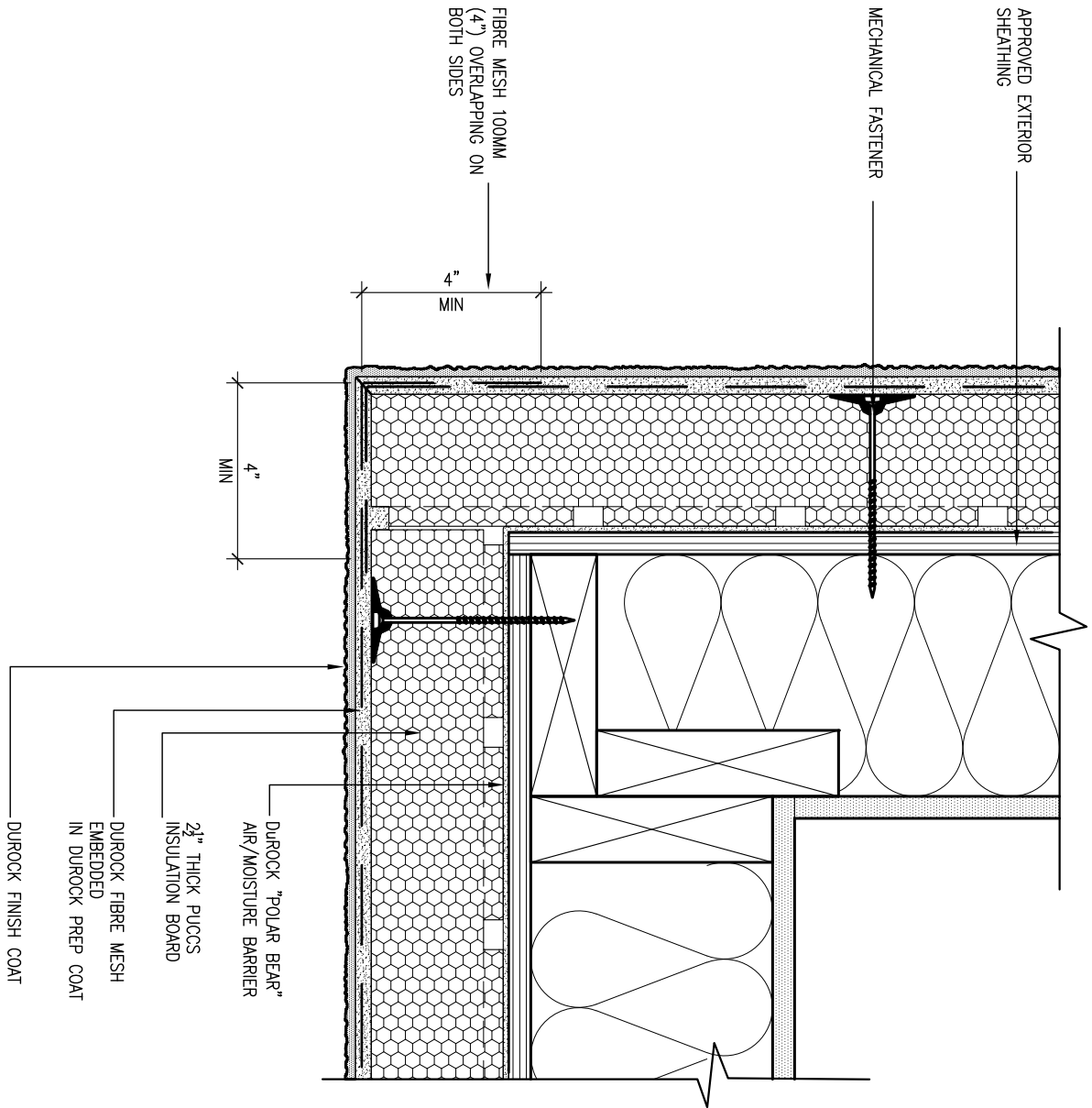


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY EAST			project no. 16023	
municipality BRADFORD				
date MAY 2016			drawing no.	
CONSTRUCTION NOTES				
drawn by RC		checked by —		scale 3/16" = 1'-0"
file name 16023-CN-2022-A1				
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM				

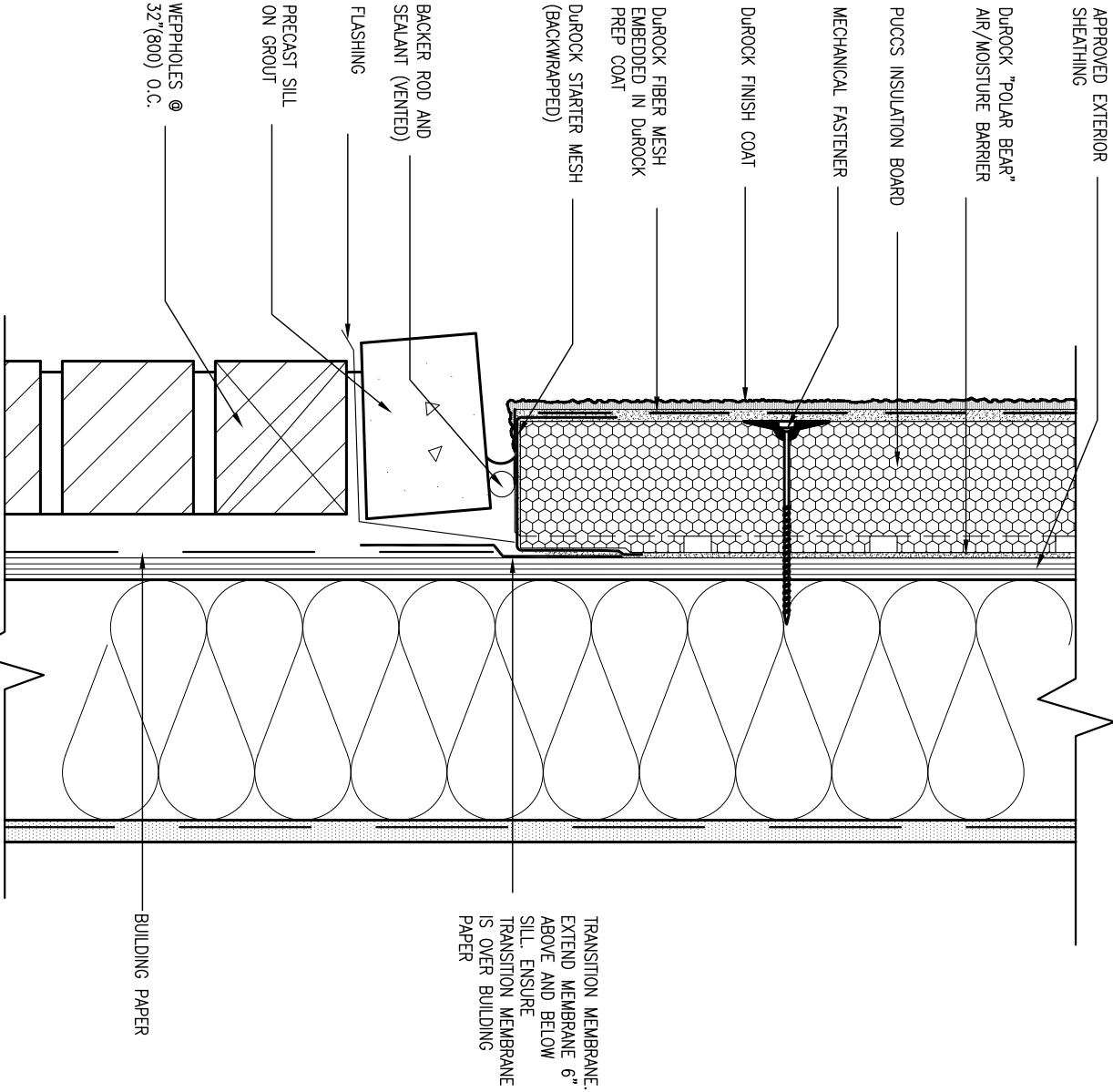


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

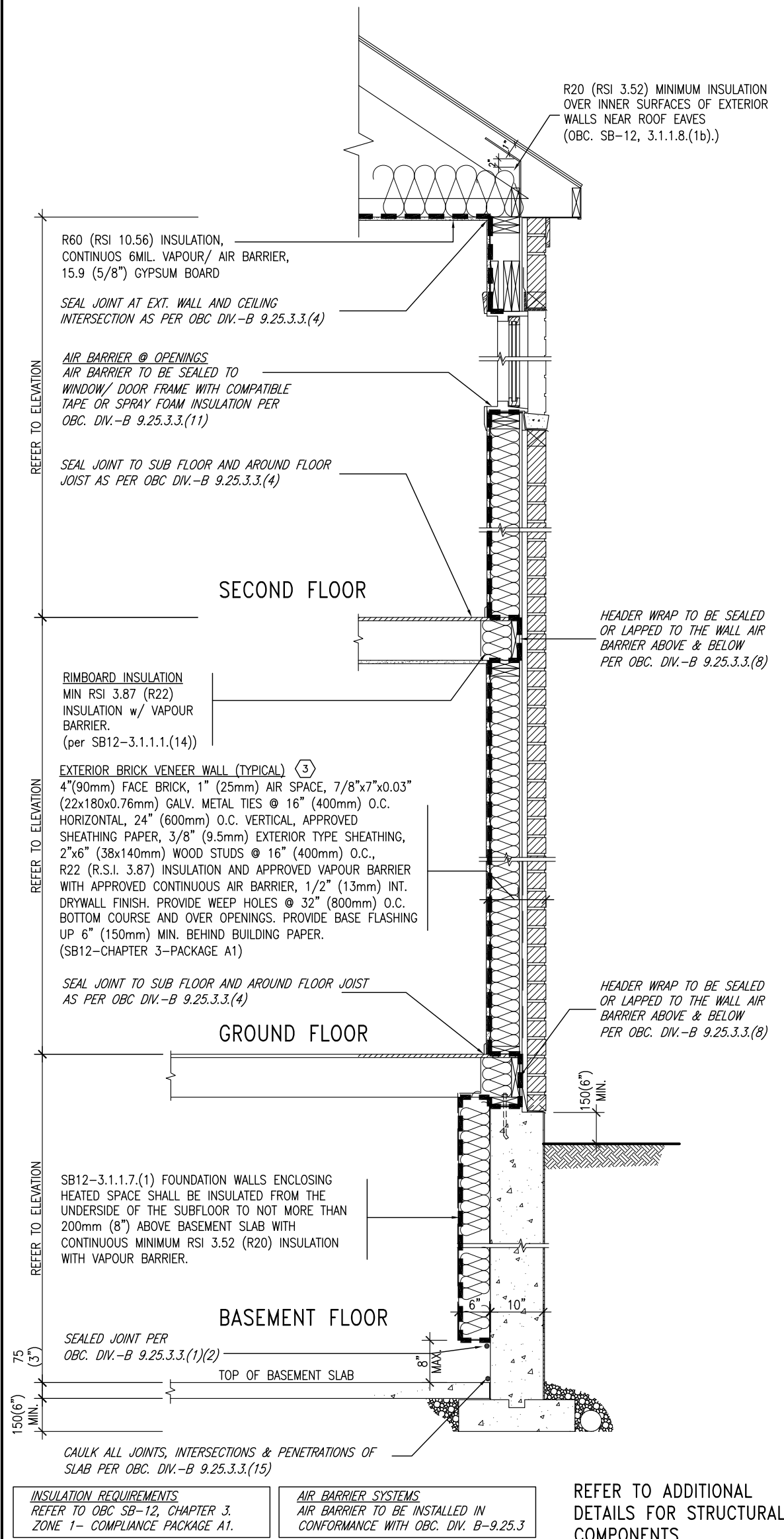
CN5 SCALE: 3"=1'-0"

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8	.	.	qualification information	
7	.	.	Wellington Jno-Baptiste 25591	
6	.	.	signature	
5	.	.	BCIN	
4	UPDATE TO 2022	JAN 11-22	RC	42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description		date	by

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
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BAYVIEW WELLINGTON		CONST NOTE	
project name		municipality	
GREEN VALLEY EAST		BRADFORD	
date		project no.	
MAY 2016		16023	
drawn by		CONSTRUCTION NOTES	
RC		file name	
checked by		16023-CN-2022-A1	
scale		drawing no.	
3/16" = 1'-0"		CN5	
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SB12-COMPLIANCE PACKAGE 'A1'



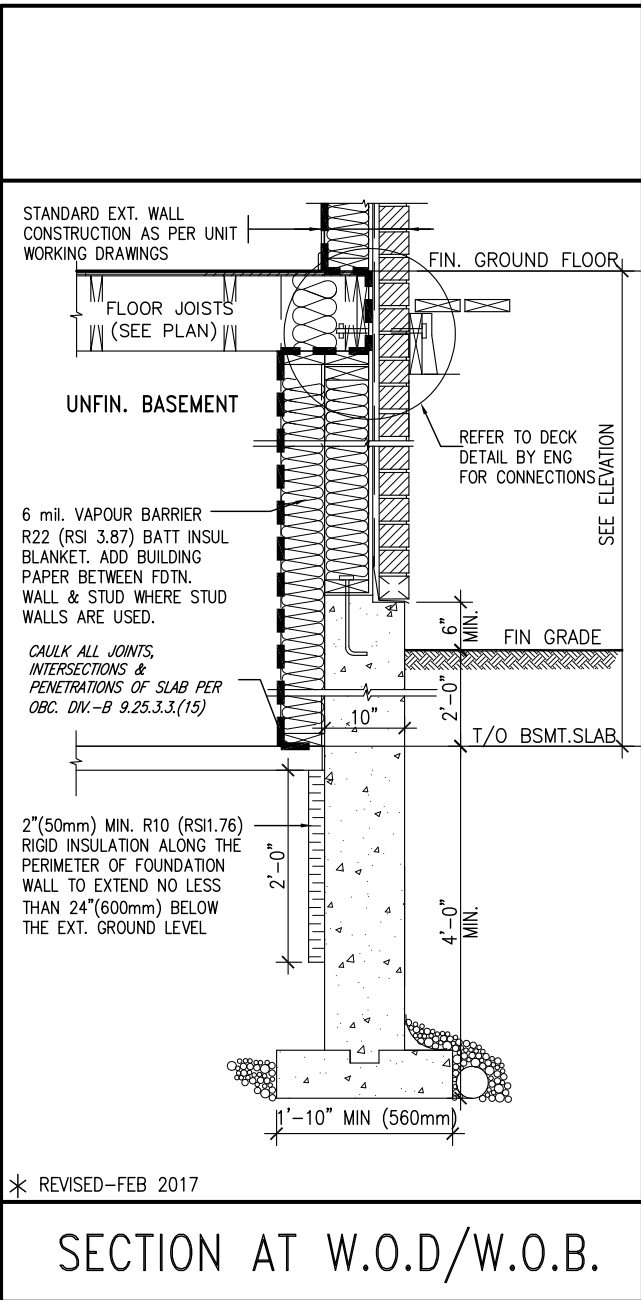
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



* REVISED-FEB 2017

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste <i>J. Baptiste</i> 25591 signature BCIN name registration information VA3 Design Inc. 42658
8	-	-	-	
7	-	-	-	
6	-	-	-	
5	-	-	-	
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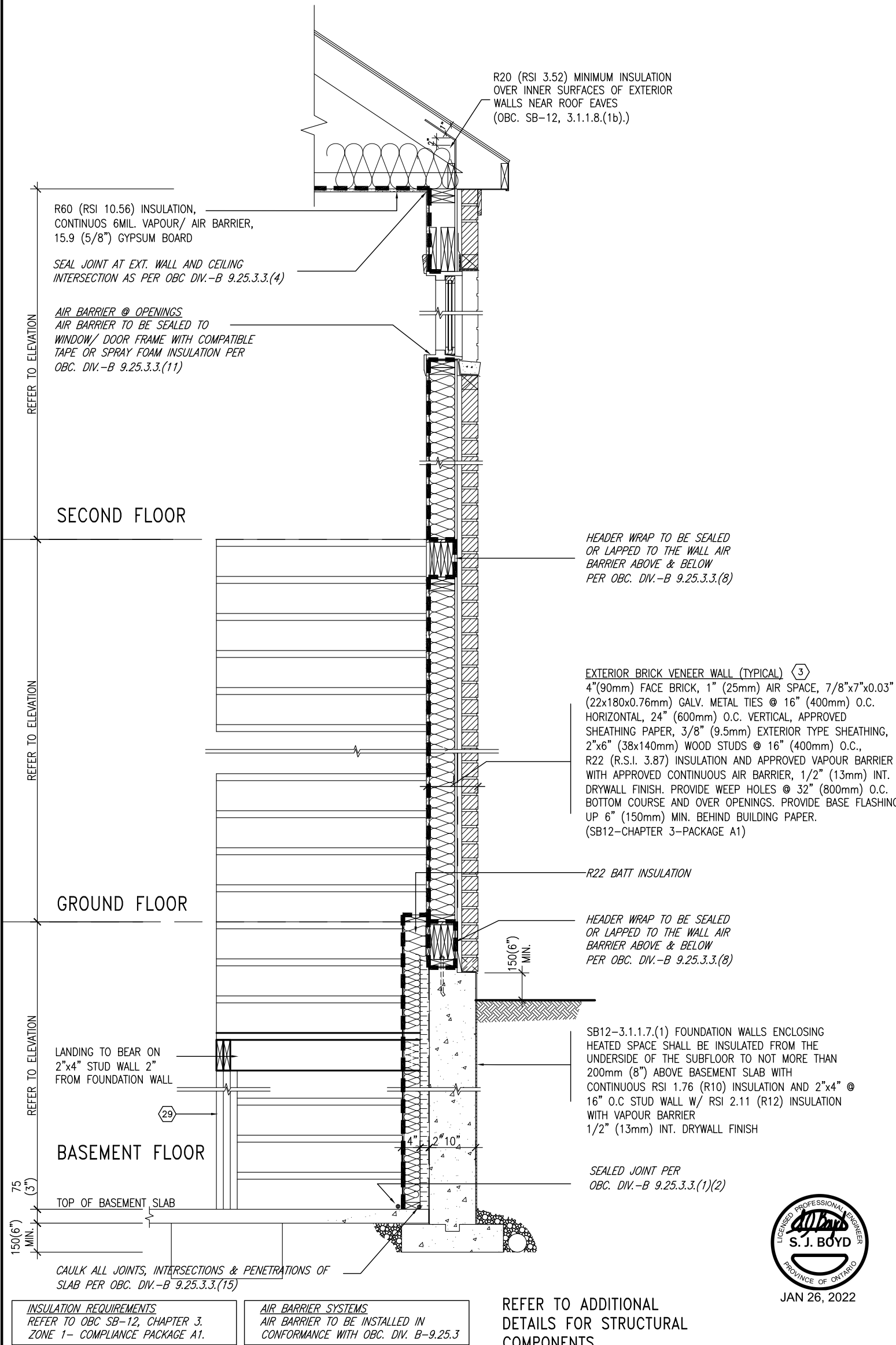
VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

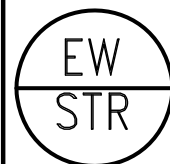
BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST		municipality BRADFORD	project no. 16023
date MAY 2016		CONSTRUCTION NOTES	
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
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drawing no.
CN6

SB12-COMPLIANCE PACKAGE 'A1'

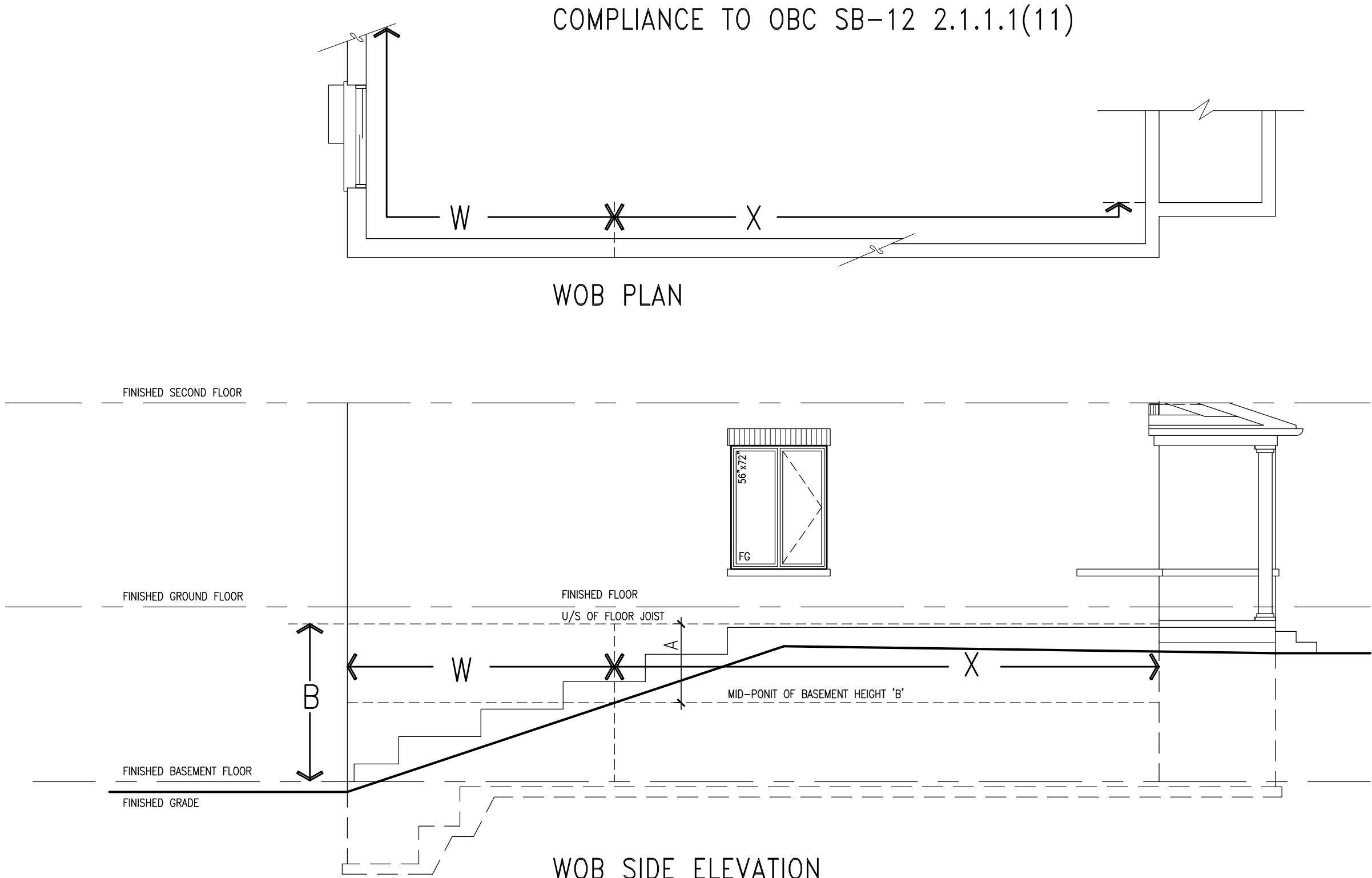


JAN 26, 2022



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

9 . . 8 . . 7 . . 6 . . 5 . . 4 UPDATE TO 2022 JAN 11-22 RC 3 UPDATE TO 2020 FEB 24-20 RC 2 UPDATE TO 2018 JAN 11-18 RC 1 ISSUE FOR CLIENT REVIEW AUG 04-17 RC no. description date by			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 signature BCIN registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY EAST date MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0" municipality BRADFORD project no. 16023 CONSTRUCTION NOTES file name 16023-CN-2022-A1 drawing no. CN7 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM	CONST NOTE -
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WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

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no.	description	date	by
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN8
CONSTRUCTION NOTES			
date	drawn by	checked by	scale
MAY 2016	RC	-	3/16" = 1'-0"
CONST NOTE			

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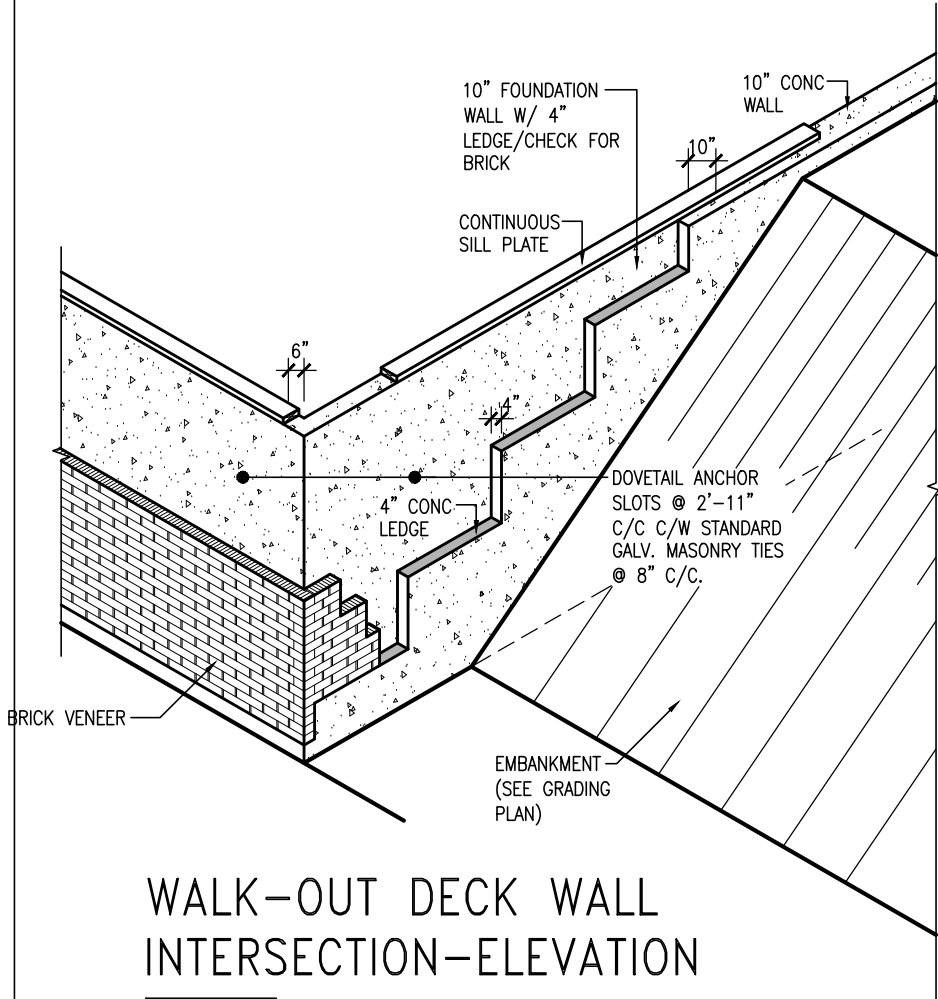
CONST NOTE

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	
date	drawing no.
MAY 2016	
CONSTRUCTION NOTES	

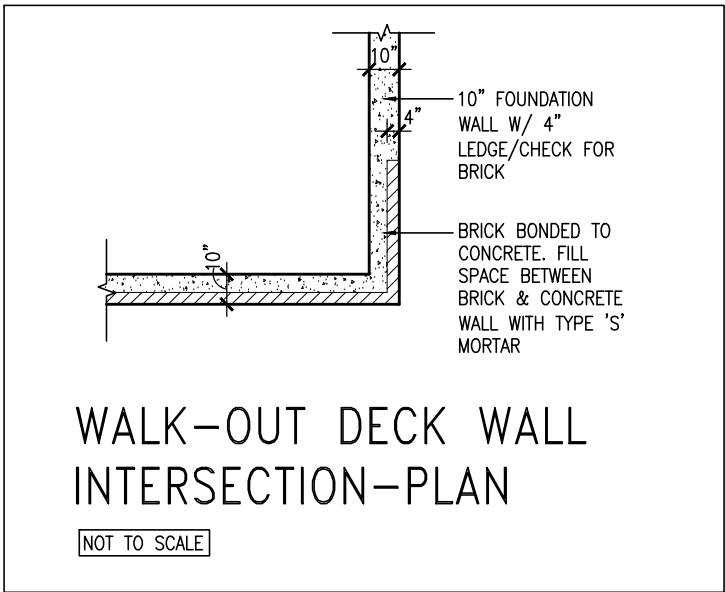
drawn by	checked by	scale	file name
RC	-	3/16" = 1'-0"	16023-CN-2022-A1
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WALK-OUT DECK WALL
INTERSECTION-ELEVATION

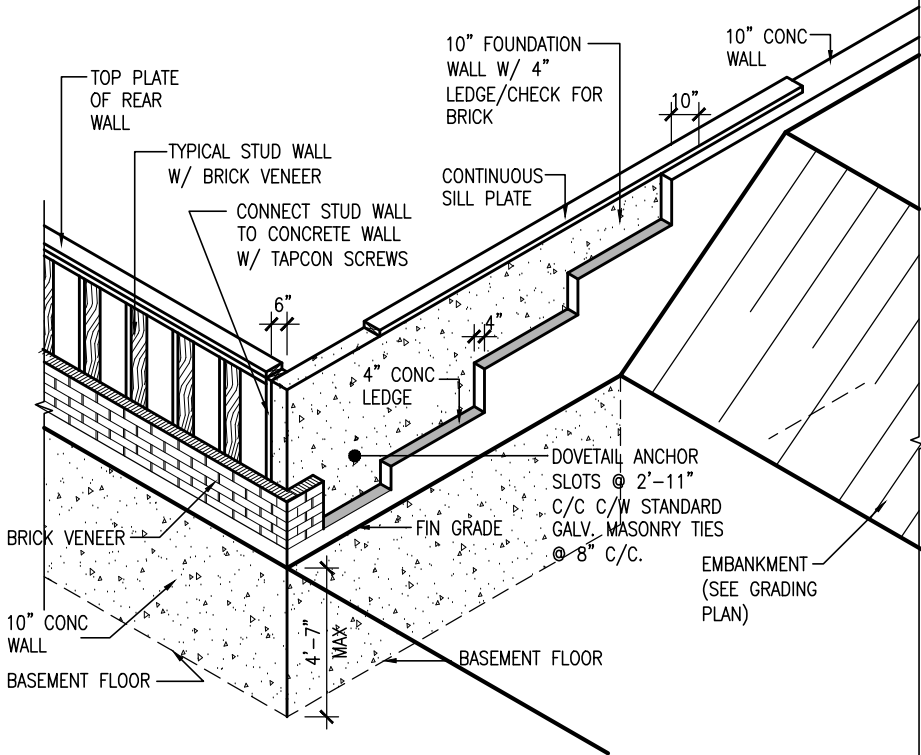
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

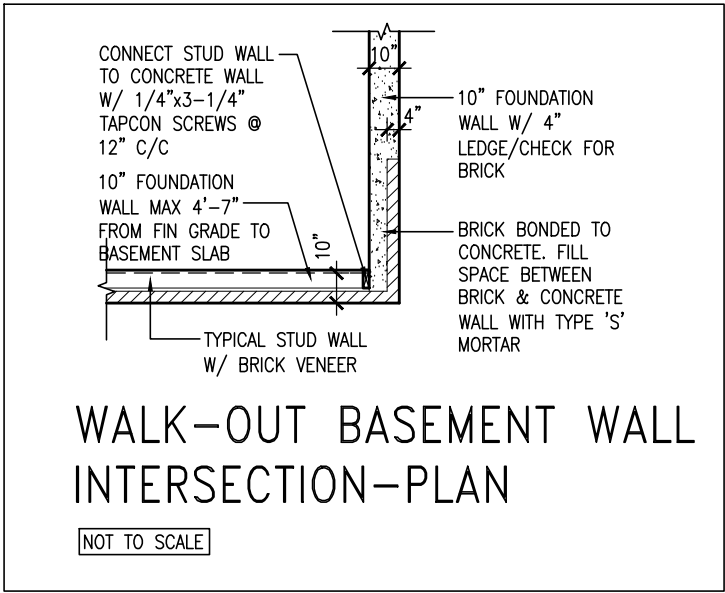
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



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Wellington Jno-Baptiste 25591
signature BCIN

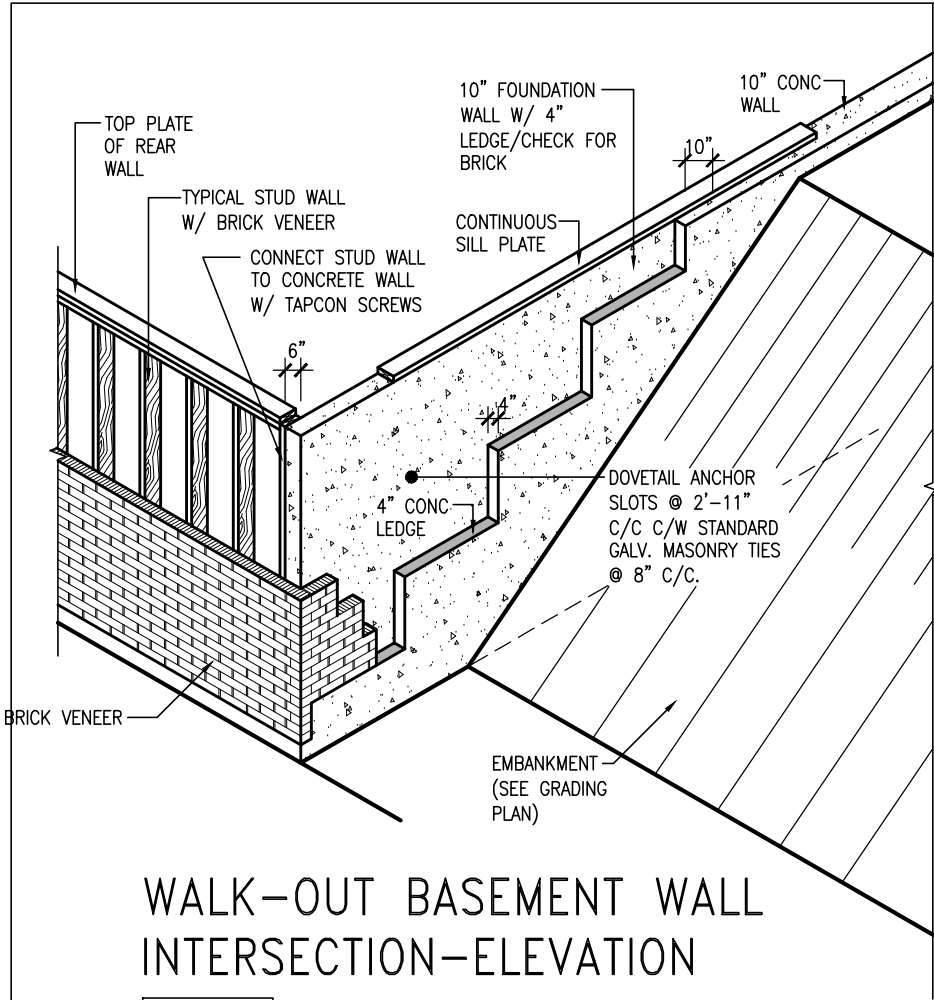
VA3 Design Inc. 42658
registration information

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**VA3
DESIGN**

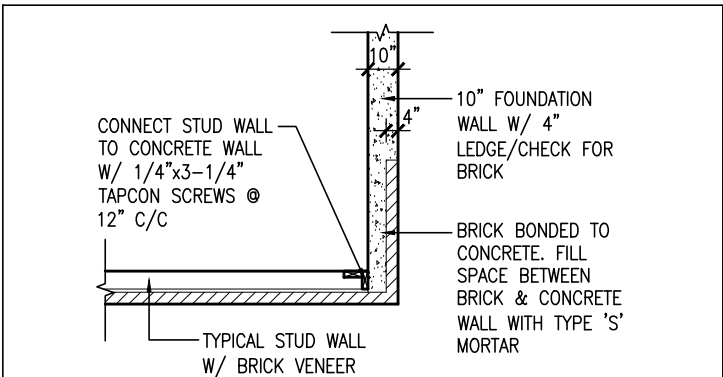
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		drawing no.	CN10



WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

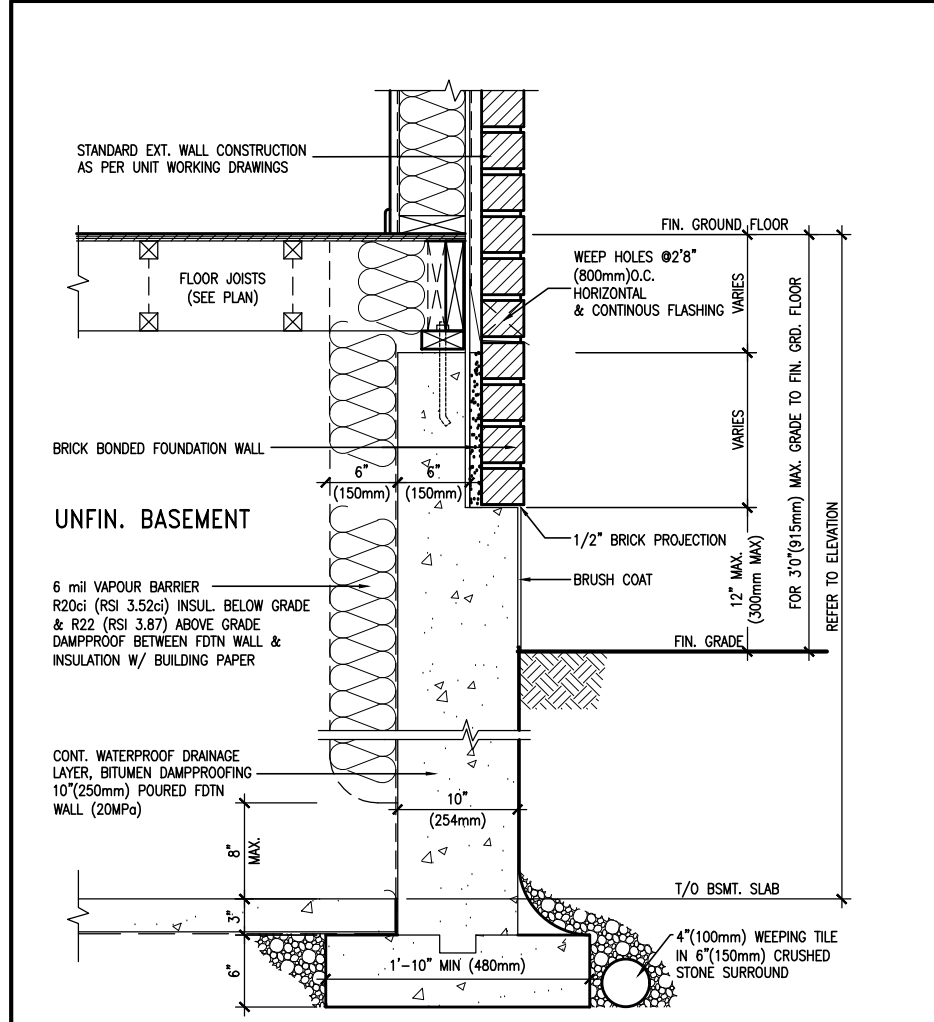
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

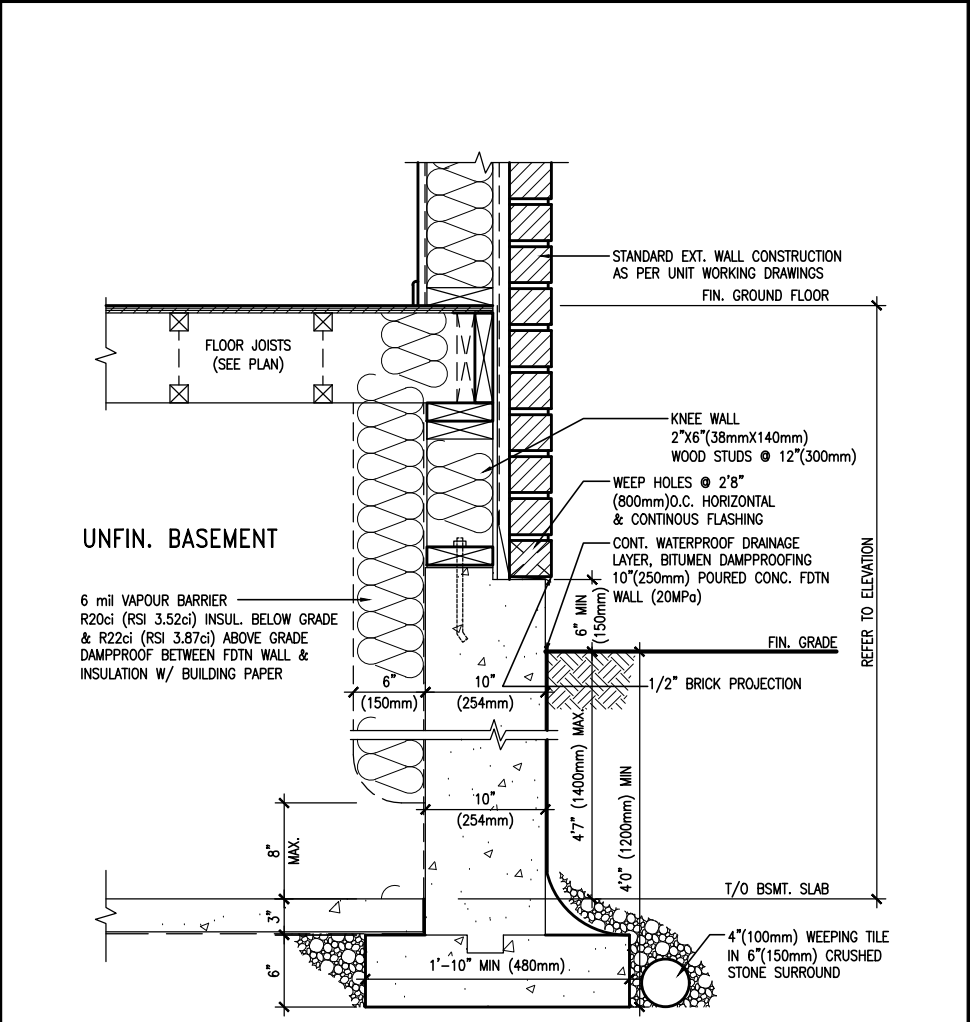
(10" FOUNDATION WALL)



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



JAN 26, 2022

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qualification information		
Wellington Jno-Baptiste	signature	25591
VA3 Design Inc.	registration information	BCIN 42658
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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	scale	3/16" = 1'-0"	file name
drawn by	RC	checked by	scale	3/16" = 1'-0"	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM					CN11

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

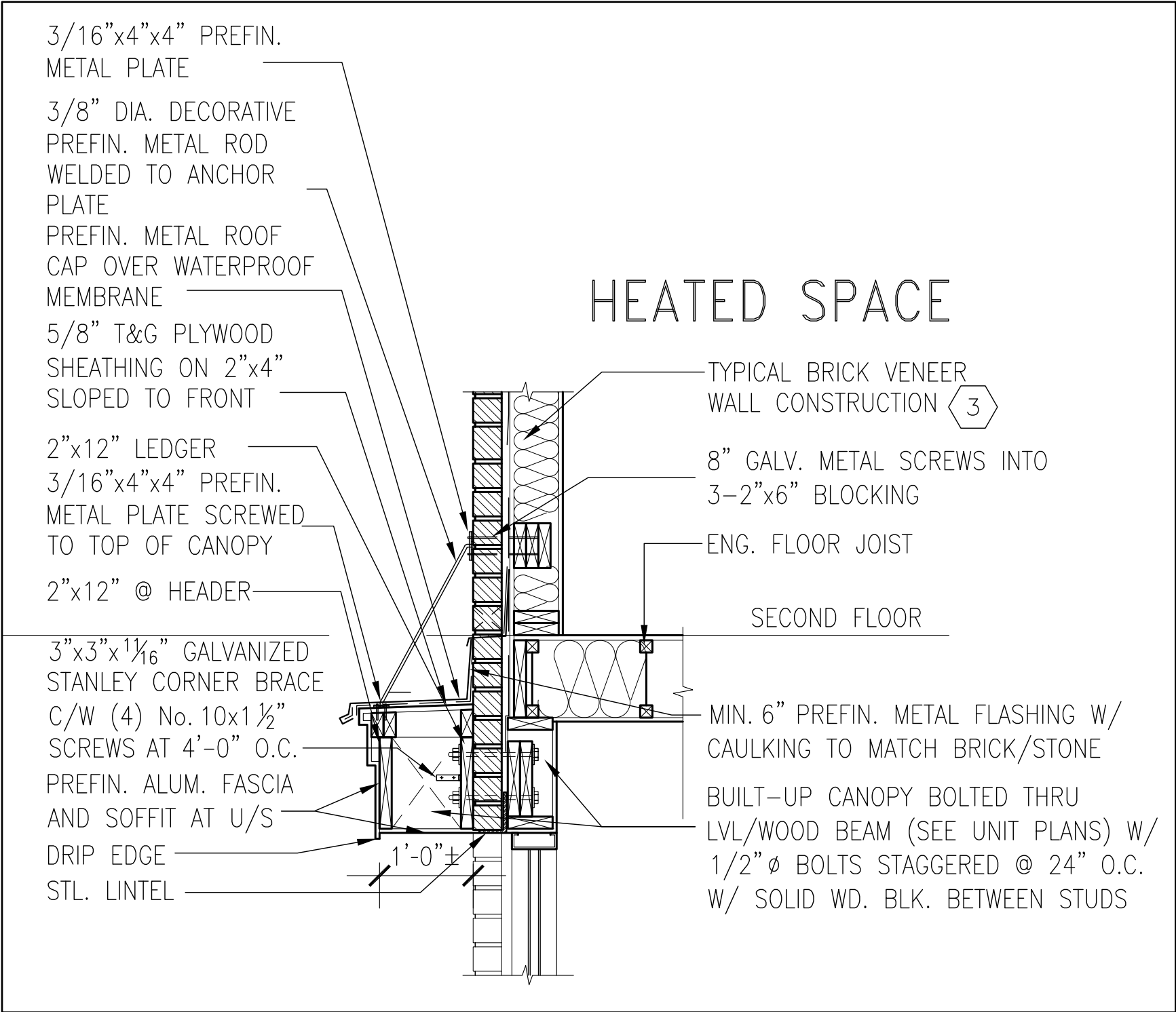
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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8	.	.	.			project name		project no.	
7	.	.	.			GREEN VALLEY EAST		16023	
6	.	.	.			municipality		BRADFORD	
5	.	.	.			date		drawing no.	
4	UPDATE TO 2022	JAN 11-22	RC	MAY 2016		CONSTRUCTION NOTES			
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	scale		CN12			
no.	description	date	by	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM					



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information VA3 Design Inc. 42658 signature BCIN	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST NOTE -	
8	-	-	-					
7	-	-	-					
6	-	-	-					
5	-	-	-					
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
3	UPDATE TO 2020	FEB 24-20	RC		date MAY 2016	CONSTRUCTION NOTES		drawing no.
2	UPDATE TO 2018	JAN 11-18	RC		drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					CN13
no.	description	date	by		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



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8	.	.	.	qualification information				
7	.	.	.	Wellington Jno-Baptiste 25591				
6	.	.	.	name signature BCIN				
5	.	.	.	registration information VA3 Design Inc. 42658				
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