

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

NOTE W1

PROVIDE 2-15M FULL  
HEIGHT VERTICAL REBARS  
EACH SIDE OF OPENING  
+ 2-15M HORIZ. REBARS  
BELOW AND EXTEND 24"  
BEYOND OPENING  
PROVIDE 3" CLEAR COVER  
FROM SOIL SIDE



MAR 3, 2022

### BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE J1:  
PROVIDE SOLID BLOCKING @  
24" O.C. WHERE FLOOR  
JOISTS ARE PARALLEL TO  
FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

4" DIA. VENT —  
SLEEVE W/  
INSECT SCREEN

BASEMENT  
PLAN 'A' & 'B'

REFER TO PAGE  
6 FOR AREA  
CALCULATIONS

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	name	BCIN
5	.	.	.	registration information	
4	.	.	.	YA3 Design Inc.	42658
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC		
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3		
no.	description		date		



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

# BAYVIEW WELLINGTON

**S38-21**

project name	municipality		project no.
<b>GREEN VALLEY EAST</b>	<b>BRADFORD EAST, ON.</b>		<b>16023</b>
drawing no.			
date	BASEMENT PLAN 'A' & 'B'		
OCT 2021			
drawn by	checked by	scale	file name
BD.BIM	JWM	3/16" = 1'-0"	16023-S38-21
RICHARD ~ H:\ARCHIVE\WORKING\2016\16023.BIM\Units\38\16023-S38-21.dwg ~ Thu ~ Mar 3 2022 ~ 9:37 AM			

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

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BELOW AND EXTEND 24"  
BEYOND OPENING  
PROVIDE 3" CLEAR COVER  
FROM SOIL SIDE

SEE DETAIL S4  
FOR 9'-0"  
BASEMENT COND

150 = 3'  $\frac{1}{2}$  x 3'  $\frac{1}{2}$  x  $\frac{1}{4}$ " SQUARE  
 H.S.S. 6x6x  $\frac{3}{8}$ " TOP AND  
 BOTTOM PL. BASE PLATE 4  
 $\frac{1}{2}$ " x 10  $\frac{1}{2}$ " x  $\frac{1}{2}$ " WITH 2-  
 $\frac{1}{2}$ "  $\phi$  x 12" x 2" HOOK  
 ANCHORS. FIELD WELD  
 COLUMN TO BASE PLATE  
 ON 42" x 42" x 18" CONC.  
 FOOTING ON UNDISTURBED  
 SOIL OR ENGINEERED FILL  
 CAPABLE OF SUSTAINING A  
 PRESSURE OF 150kpa MIN.  
 AND AS PER SOILS  
 REPORT



MAR 3, 2022

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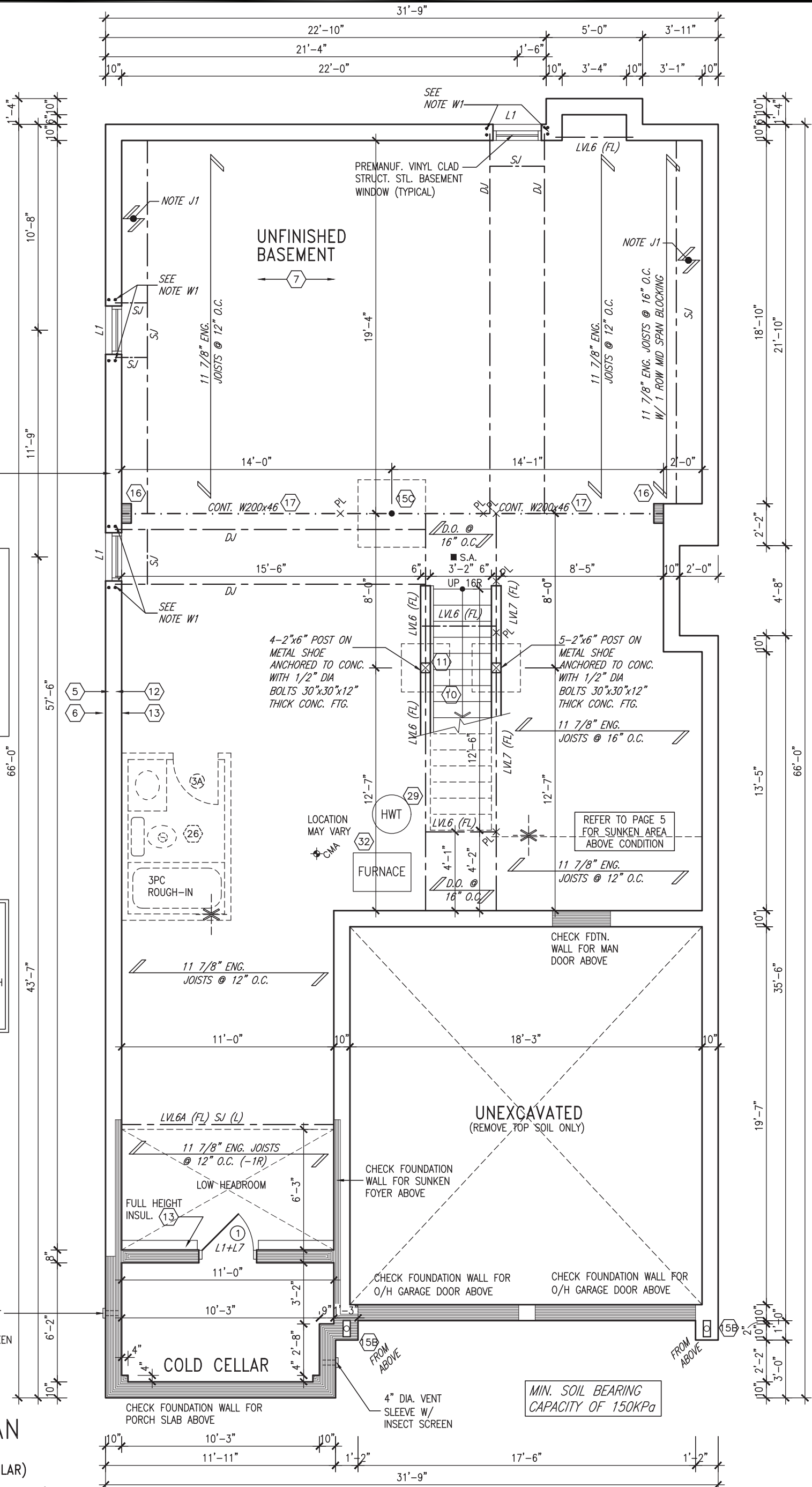
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4" DIA. VENT —  
SLEEVE W/  
INSECT SCREEN

BASEMENT PLAN  
'A' & 'B' (EL. 'C' SIMILAR)  
(9'-0" BASEMENT)



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**BAYVIEW WELLINGTON**

**S38-21**

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD EAST, ON.</b>		project no. <b>16023</b>	
date <b>OCT 2021</b>		drawing no. <b>1A</b>			
drawing title <b>BASEMENT PLAN 'A' &amp; 'B' (9'-0" BASEMENT)</b>					
drawn by <b>BD.BIM</b>	checked by <b>JWM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S38-21</b>		
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	8'0" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.  
• KITCHEN EXHAUST. 3.0m  
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m  
• SOLID FUEL APPLIANCE EXHAUST. 3.0m  
KIT-EX-NOTE-2020.dwg

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.


NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

ROOF NOTE R1:  
2"x8" @ 16" O.C. P.T. W/  
2"x4" @ 12" O.C.  
DIAGONALLY CUT CROSS  
PURLINS W/ 5/8" EXTERIOR  
GRADE SHEATHING W/ SINGLE  
PLY ROOF MEMBRANE

## GROUND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD CONDITION

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	.	.	.
3.	REVISED AS PER ENG COMMENTS	MAR 02-22	RC
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no.	description	date	by

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qualification information  
Wellington Jno-Baptiste  25591  
name  
registration information  
VA3 Design Inc. 42658  
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**VA3  
DESIGN**

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## BAYVIEW WELLINGTON

S38-21

project name  
GREEN VALLEY EAST BRADFORD EAST, ON.

project no.  
16023

date  
OCT 2021

GROUND FLOOR PLAN 'A'

drawing no.

drawn by  
BD.BIM

checked by  
JWM

scale  
3/16" = 1'-0"

file name  
16023-S38-21

2

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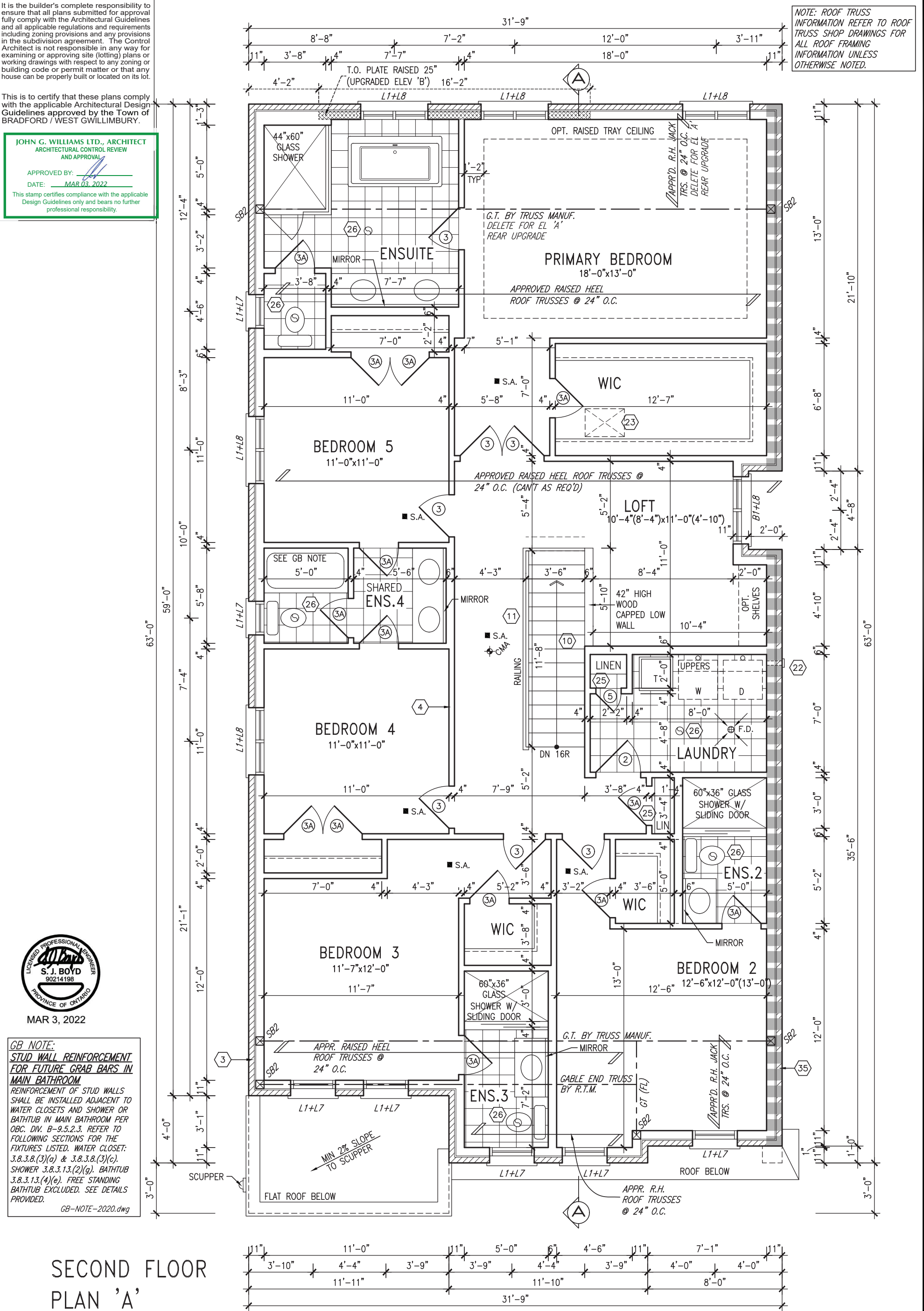
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INDICATES REDUCED SIDE YARD CONDITION			INDICATES REDUCED SIDE YARD CONDITION	
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BAYVIEW WELLINGTON

project name  
GREEN VALLEY EAST

drawn by  
BD.BIM

date  
OCT 2021

checked by  
JWM

scale  
3/16" = 1'-0"

municipality  
BRADFORD EAST, ON.

project no.  
16023

file name  
16023-S38-21

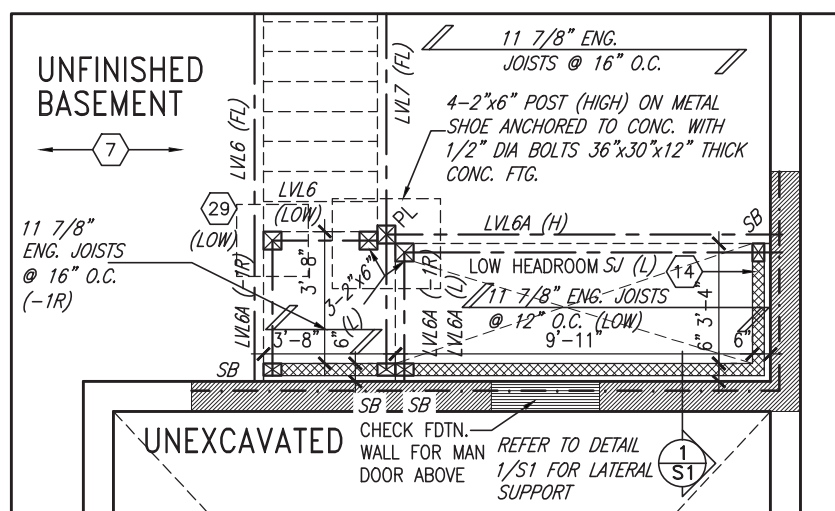
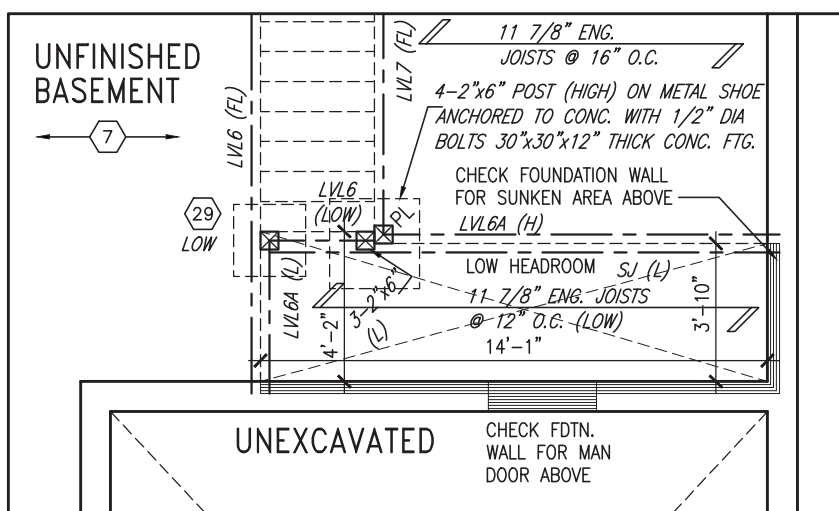
drawing no.  
3

SECOND FLOOR PLAN 'A'

16023-S38-21

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PARTIAL BASEMENT PLAN W/ 1R  
SUNKEN AREA ABOVE CONDITION

PARTIAL BASEMENT PLAN W/ >1R  
SUNKEN AREA ABOVE CONDITION

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9'0"	6'8" (80")
8'0" or lower	6'8" (80")

*CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER*

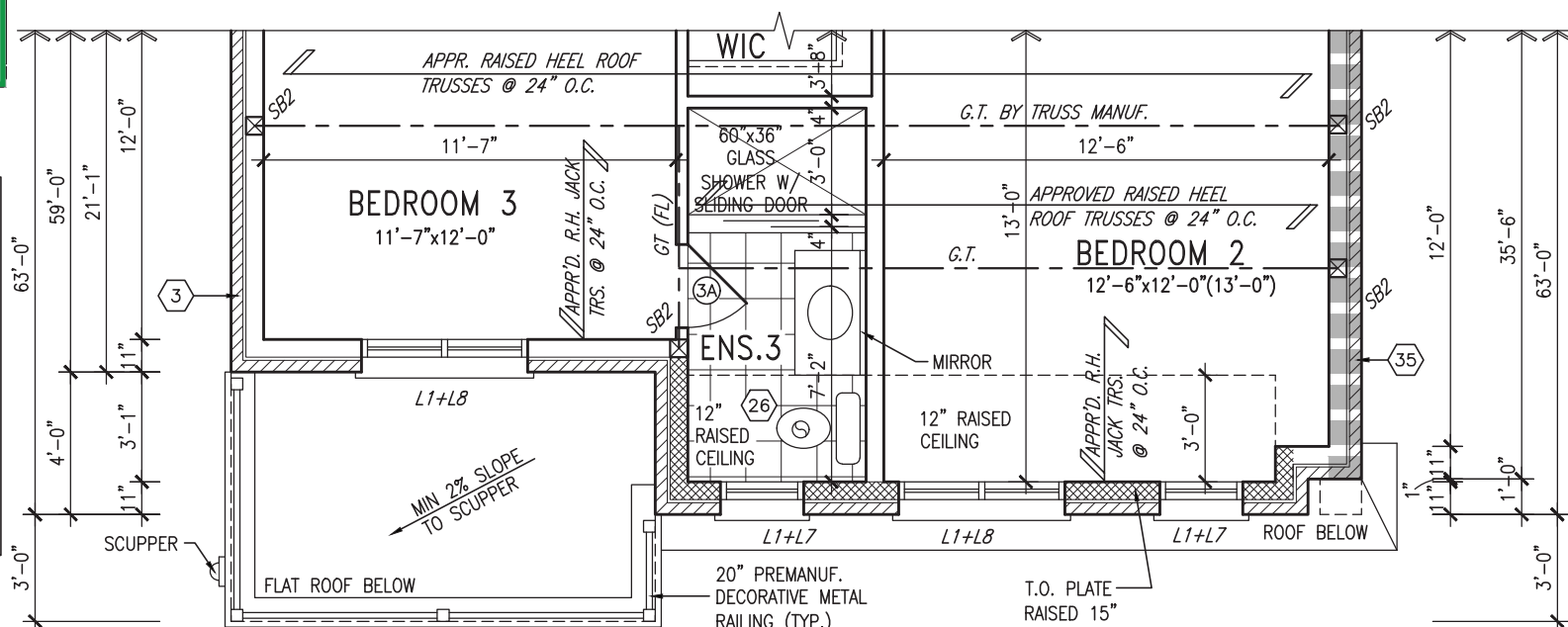
NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.

**GB NOTE:**

STUD WALL REINFORCEMENT  
FOR FUTURE GRAB BARS IN  
MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg



PART. SECOND  
FLOOR PLAN 'B'

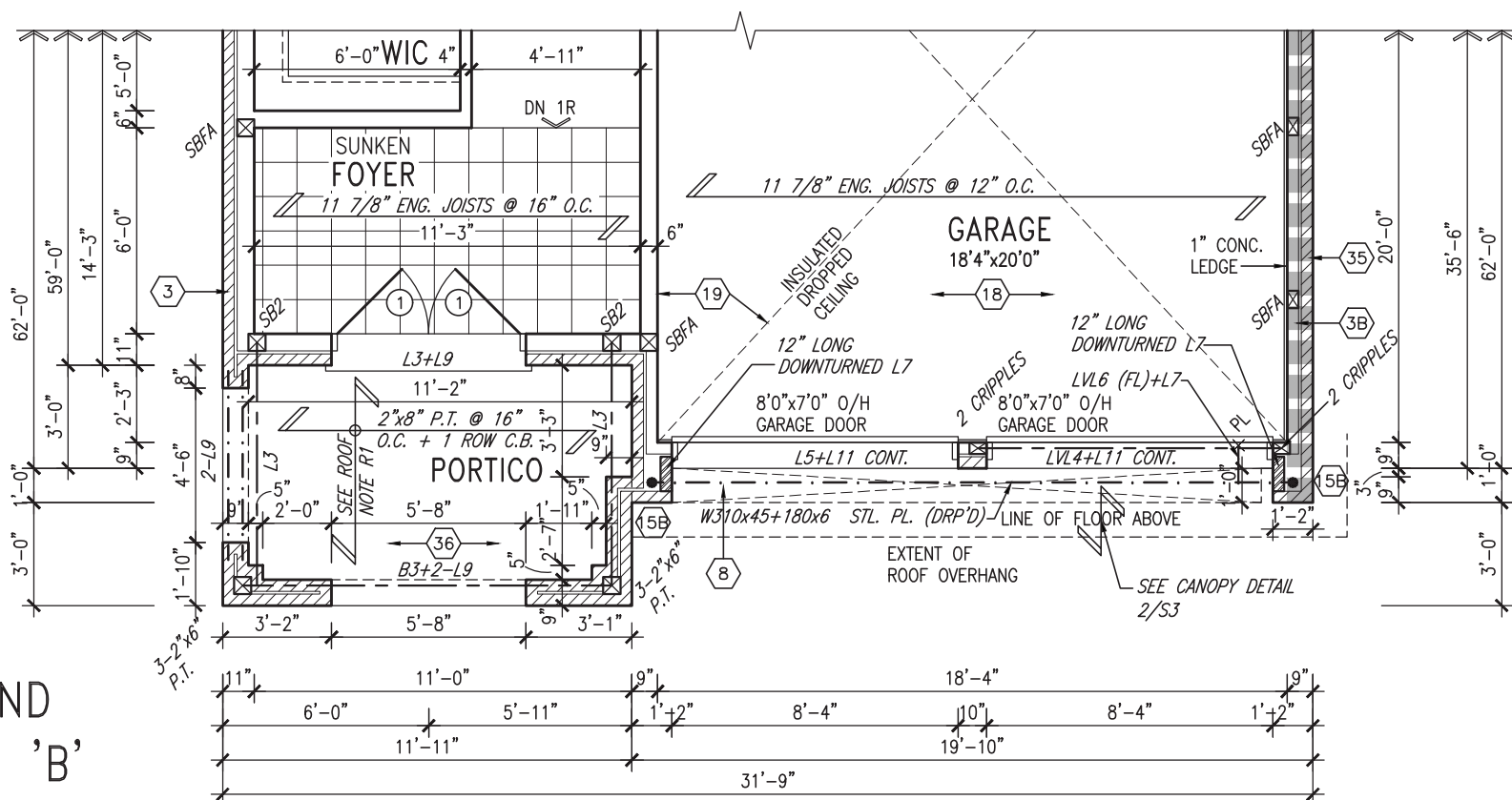


MAR 3, 2022

NOTE: SPACE ALL FLOOR  
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ALL CERAMIC TILE AREAS.



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ROOF NOTE R1:  
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DIAGONALLY CUT CROSS  
PURLINS W/ 5/8" EXTERIOR  
GRADE SHEATHING W/ SINGLE  
PLY ROOF MEMBRANE



PART. GROUND  
FLOOR PLAN 'B'

INDICATES REDUCED SIDE YARD CONDITION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste  25591 name registration information YA3 Design Inc.  BCIN 42658	
8	.	.	.		
7	.	.	.		
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qualification information

Wellington	Jno-Baptiste	25591
name	signature	BCIN

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## BAYVIEW WELLINGTON

**S38-21**

project name	municipality
GREEN VALLEY EAST	BRADFORD EAST, ON.

project no.  
16023

date

PARTIAL PLANE 'D'

drawing no.

OCT 202

---

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## PLANS B

4

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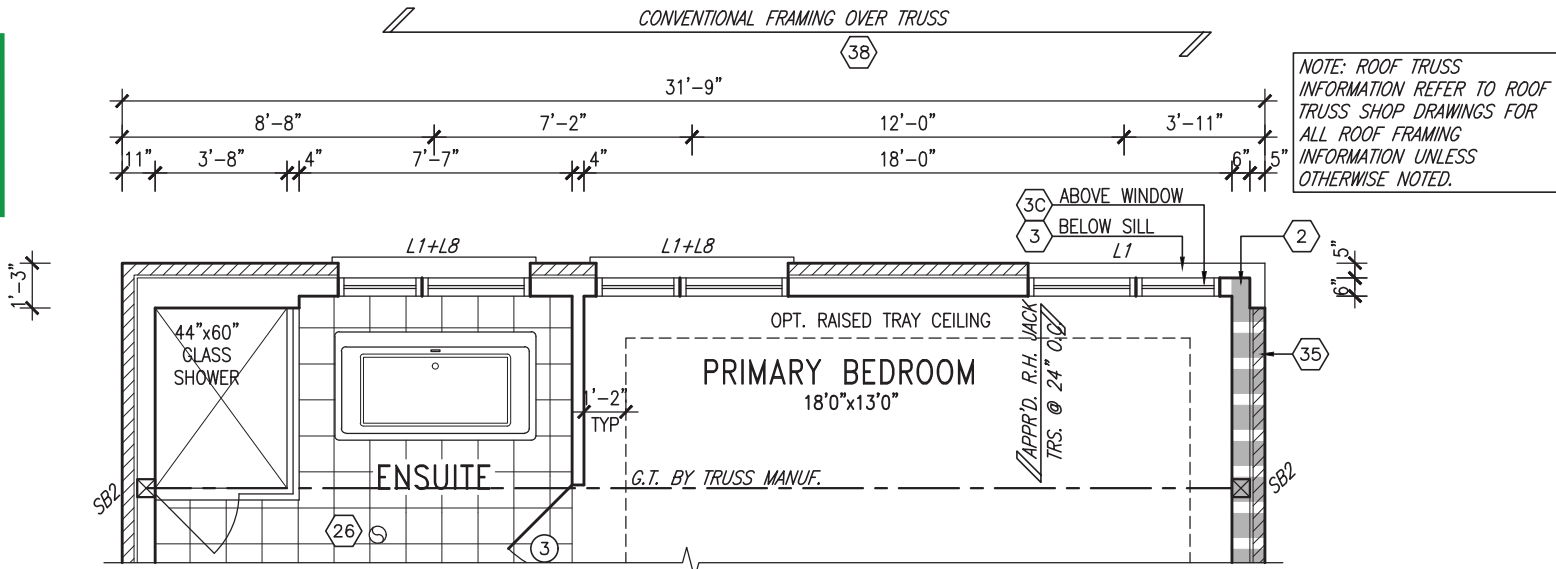
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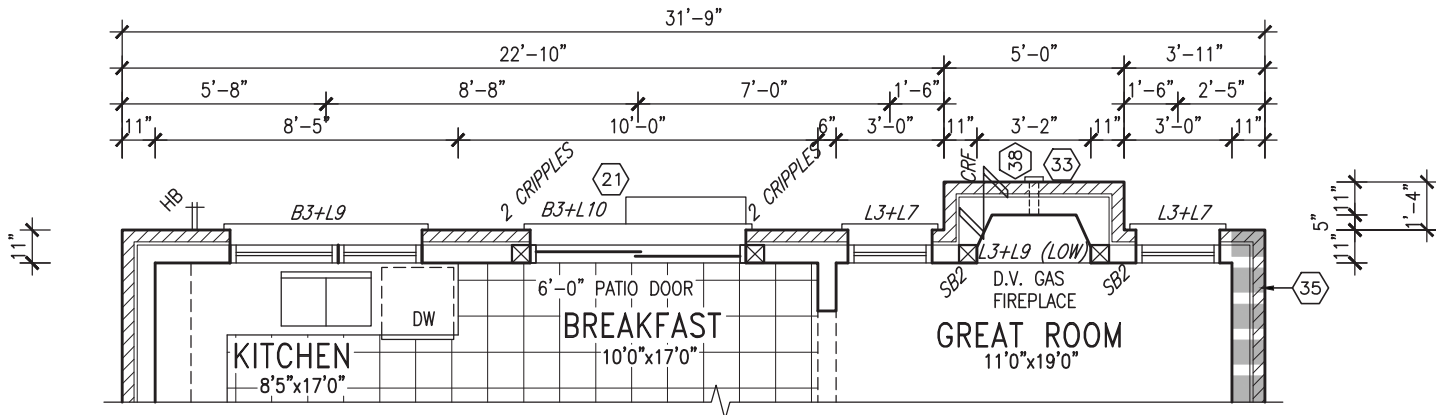
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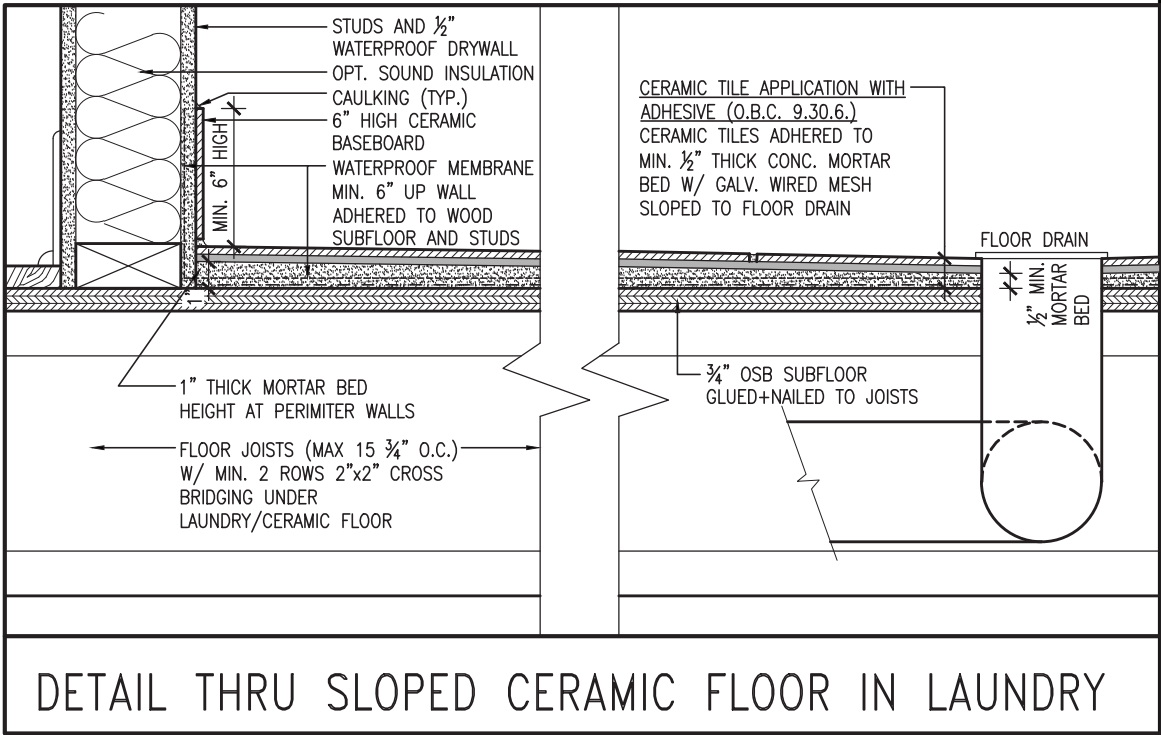
PART. SECOND FLOOR  
PLAN 'C' @ REAR  
(UPGRADED CONDITION)



PART. GROUND FLOOR  
PLAN 'C' @ REAR  
(UPGRADED CONDITION)



AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1525.2 SF	1525.2 SF	1525.2 SF
SECOND FLOOR AREA	1935.2 SF	1941.7 SF	1932.7 SF
SUBTOTAL	3460.4 SF	3466.9 SF	3457.9 SF
DEDUCT ALL OPENINGS	0 SF	0 SF	0 SF
TOTAL NET AREA	3460 SF	3467 SF	3458 SF
	321.5 m2	322.1 m2	321.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3460 SF	3467 SF	3458 SF
	321.5 m2	322.1 m2	321.3 m2
COVERAGE W/O PORCH	1941.9 SF	1948.4 SF	1944.9 SF
	180.4 m2	181.0 m2	180.7 m2
COVERAGE W/PORCH	2026.5 SF	2033.0 SF	2017.6 SF
	188.3 m2	188.9 m2	187.4 m2



INDICATES REDUCED SIDE YARD CONDITION

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
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signature  
name  
registration information  
VA3 Design Inc.

25591  
BCIN  
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BAYVIEW WELLINGTON

S38-21

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GREEN VALLEY EAST

municipality  
BRADFORD EAST, ON.

project no.  
16023

date  
OCT 2021

drawn by  
BD.BIM

checked by  
JWM

scale  
3/16" = 1'-0"

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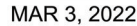
drawing no.  
6

PARTIAL PLANS 'C' (UPGRADED CONDITION)

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1"x6" ALUM.  
FRIEZE BD.—  
RETURN FOR  
UPGRADED  
REAR ONLY  
(TYP.)

(6:12)

6:12

15'-0"

VALLEY FLASHING  
(TYP.)

6:12

6:12

10:12

10:12

$$\underline{1'-0'}$$

1'-0"

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**ARCHITECTURAL CONTROL REVIEW**  
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APPROVED BY: 

DATE: MAR 03, 2022

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TOP OF PLATE

TOP OF  
WINDOW

UPPER

FIN. SECOND  
FLOOR

T.O. TRANSOM

Deery, Wilson

SUNKEN FOYER  
FIN. GRADE

TOP OF SLAB

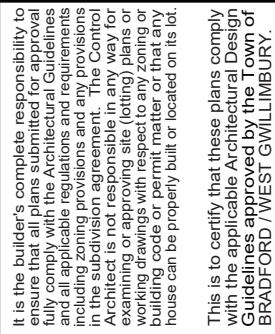
SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'A'

WALL AREA	1189.83 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	83.29 SQ. FT.
OPENING PROVIDED	73.97 SQ. FT. (GLASS AREA ONLY)

[illegible]



JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:  \_\_\_\_\_

DATE: MAR 03, 2022

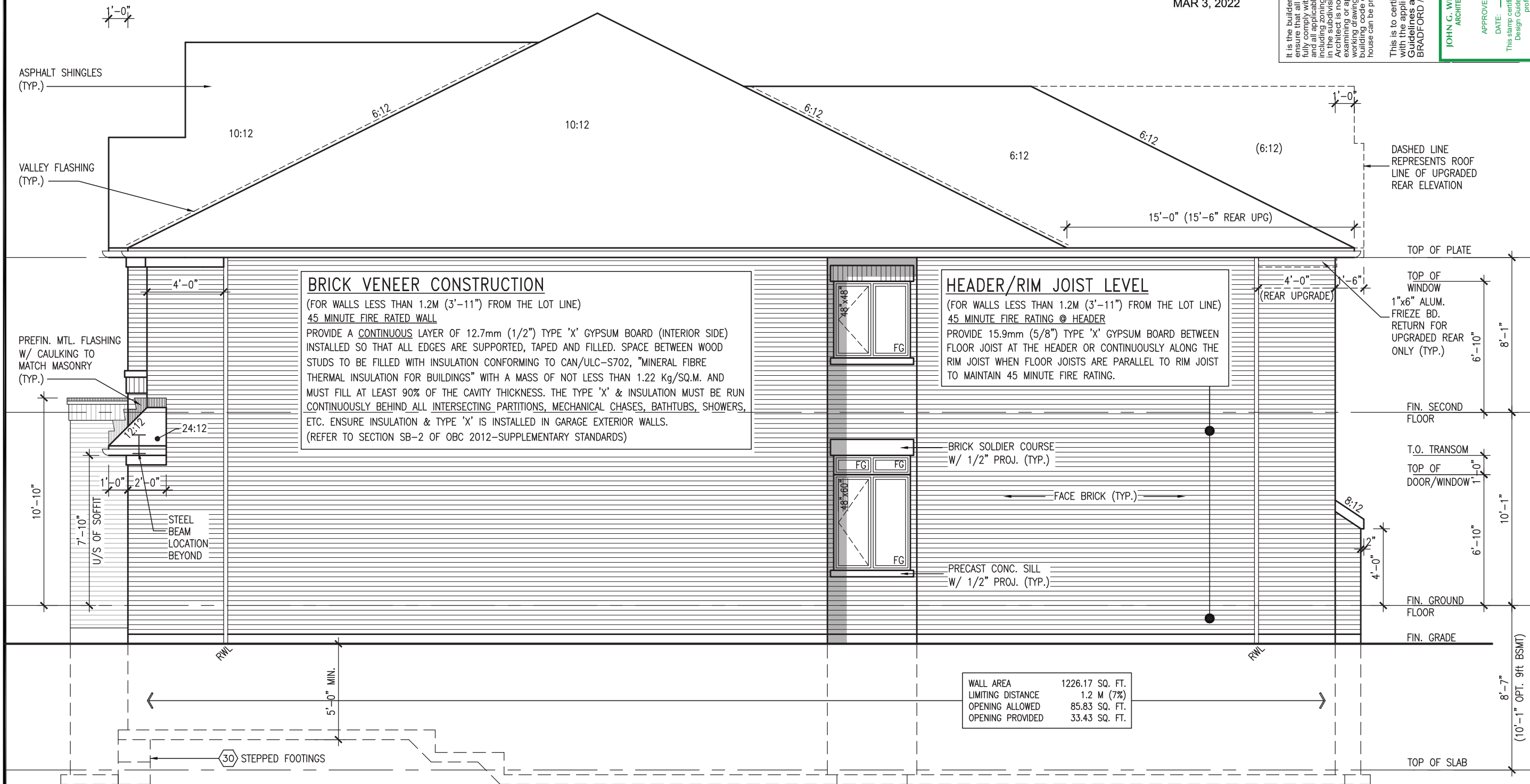
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Design Guidelines only and bears no further  
professional responsibility.

<b>BAYVIEW WELLINGTON</b>	<b>S38-21</b>
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD EAST, ON.</b>
project no. <b>16023</b>	drawing no. <b>9</b>
date OCT 2021	RIGHT SIDE ELEVATION 'A'
drawn by <b>BD BIM</b>	scale <b>3/16" = 1'-0"</b>
checked by <b>JWM</b>	file name <b>16023-S38-21</b>
RICHARD - I:\ARCHIVE WORKING\2016\16023.BIM\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:37 AM	

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p>	<p><b>Wellington Jno-Baptiste</b></p>	<p>25591</p>
<p>name</p>	<p>signature</p>	<p>BCIN</p>
<p>registration information</p>	<p>CONTRACT must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p>42658</p>

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RIGHT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	.	.	.	.
4	.	.	.	.
3	REVISED AS PER ENG COMMENTS			
2	REVISED AS PER FLOR / ROOF LAYOUTS			
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	



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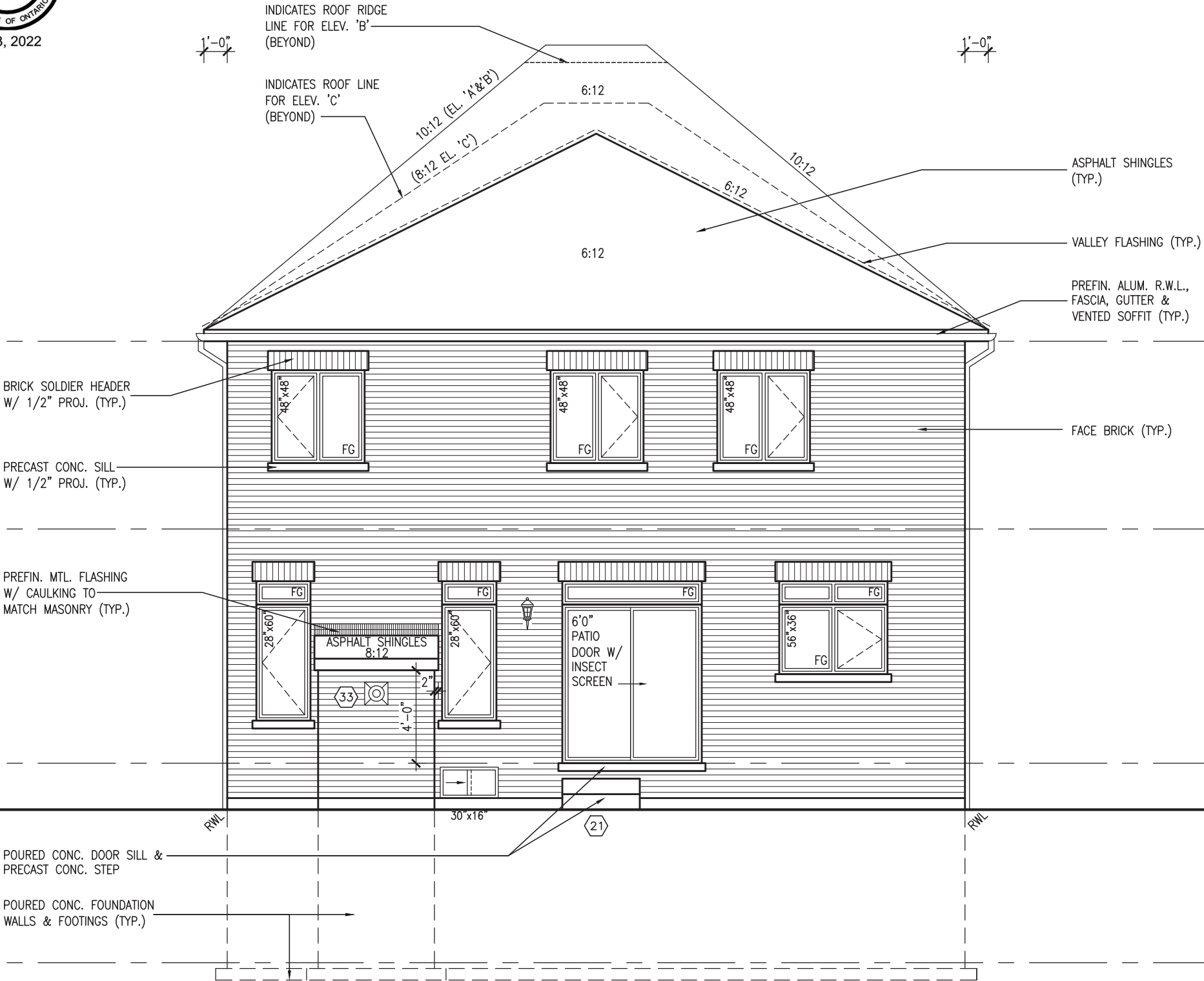
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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MAR 3, 2022



REAR ELEVATION 'A', 'B' & 'C'

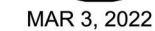
SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

BAYVIEW WELLINGTON		S38-21	
GREEN VALLEY EAST		BRADFORD EAST, ON.	
project name		project no.	
date		drawing no.	
OCT 2021		16023	
drawn by		file name	
BD.BIM		16023-S38-21	
checked by		scale	
JWM		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:37 AM		REAR ELEVATION 'A', 'B' & 'C'	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste 25591 BCN	
name	
Jno-Baptiste	
signature	
42658	
registration information	
VAS Design Inc.	
name	
RC	
MAR 02-22	
REVISED AS PER ENG COMMENTS	
FEB 24-22	
REVISED AS PER FLOOR / ROOF LAYOUTS	
NOV 26-21	
ISSUED FOR CLIENT REVIEW	
date	
by	
no. description	





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**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: 

DATE: MAR 03, 2022

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**S38-21**

drawing no. 12

**BAYVIEW WELLINGTON**

project name	municipality
GREEN VALLEY EAST	BRADFORD EAST, ON.

date OCT 2021 LEFT SIDE ELEVATION 'B' 12  
 drawn by JWM scale 3/16" = 1'-0" file name 16023-S38-21  
 BD.BIM

V<sup>3</sup>

**DESIGN**  
5 Consumers Rd Suite  
Toronto ON M2J 1R4  
16.630.2255 f 416.630.4

qualification information

Wellington Jno-Baptiste	signature	BCIN	25591
-------------------------	-----------	------	-------

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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VJUDesignII.COM

Architectural elevation drawing showing vertical dimensions and structural elements. Key features and dimensions include:

- Dimensions (Vertical):**
  - 8'-1" (from TOP OF WINDOW to FIN. SECOND FLOOR)
  - 6'-10" (from FIN. SECOND FLOOR to T.O. TRANSOM)
  - 1'-0" (from T.O. TRANSOM to TOP OF DOOR/WINDOW)
  - 6'-10" (from TOP OF DOOR/WINDOW to FIN. GROUND FLOOR)
  - 11'-0" (from FIN. GROUND FLOOR to TOP OF WINDOW)
  - 8'-7" (from FIN. GRADE to TOP OF WINDOW)
  - (10'-1" OPT. 9ft BSMT)
- Structural Elements and Labels:**
  - TOP OF PLATE
  - TOP OF WINDOW
  - 20" PREMANUF. DECORATIVE METAL RAILING (TYP.)
  - FIN. SECOND FLOOR
  - SCUPPER
  - T.O. TRANSOM
  - TOP OF DOOR/WINDOW
  - FIN. GROUND FLOOR
  - T.O. SUNKEN FOYER
  - FIN. GRADE
  - RWL (Right Wall Line)
  - TOP OF SLAB

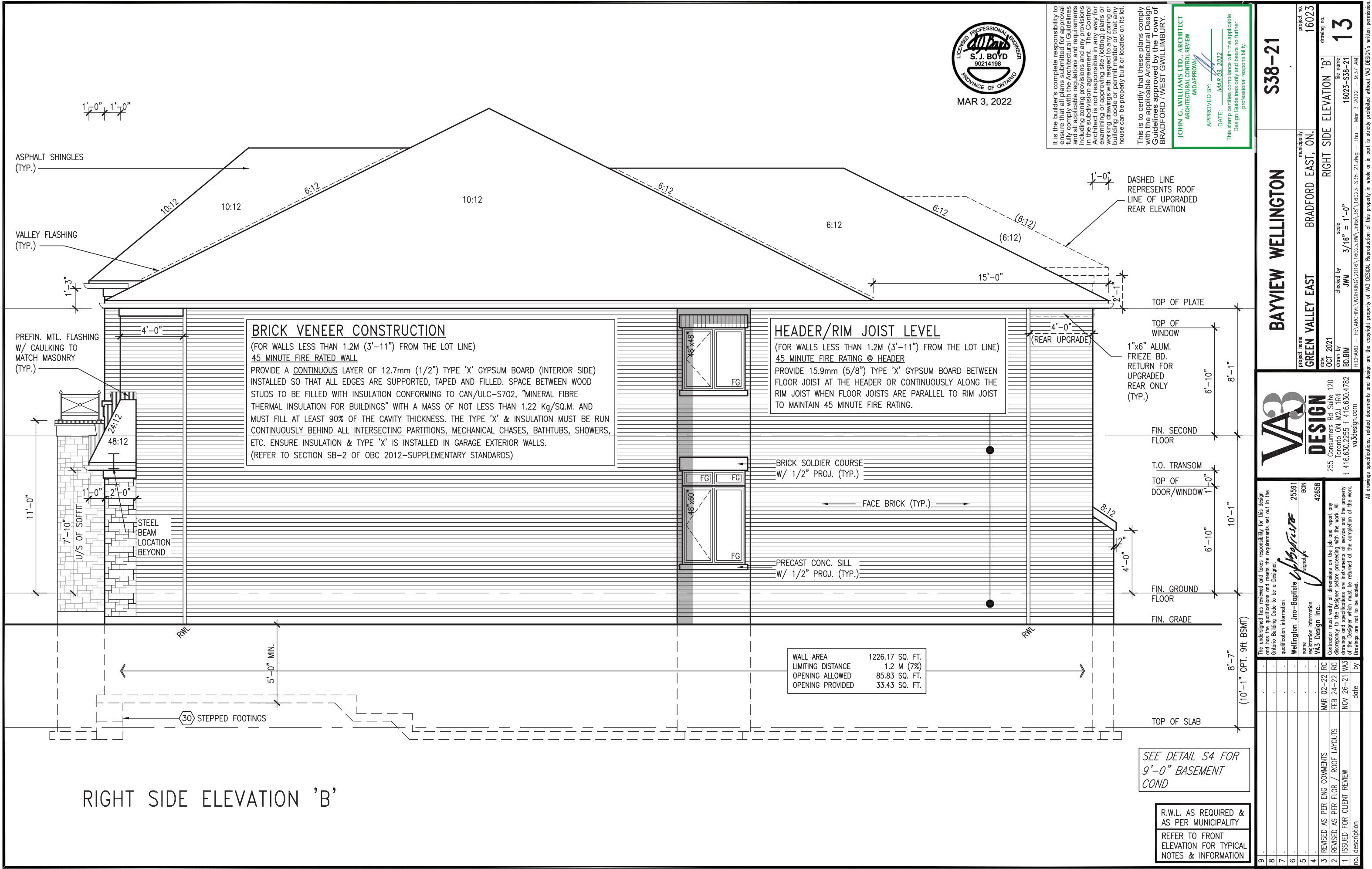
LEFT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

	-						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
	-						qualification information
	-						name
	-						registration information
	-						signature
	-						BCIN
	-						25591
	-						Wellington Jno-Baptiste
	-						VAK3 Design Inc.
	-						MAR 02--22 RC
	-						FEB 24--22 RC
	-						NOW 26-21 VAK3
	-						REVISED AS PER ENG COMMENTS
	-						REVISED AS PER FLOOR / ROOF LAYOUTS
	-						ISSUED FOR CLIENT REVIEW
	-						CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including provisions and requirements in the existing and proposed zoning bylaws. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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APPROVED BY: DATE: MAR 03, 2022  
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
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BAYVIEW WELLINGTON		S38-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.
project no.	16023	drawing no.	13
date	OCT 2021	scale	3/16" = 1'-0"
checked by	JWM	drawn by	BD.BM
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:37 AM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591 BCN			
name registration information VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
no.	description		





This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

1"x6" ALUM.  
FRIEZE BD.—  
RETURN FOR  
UPGRADED  
REAR ONLY  
(TYP.)



SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

**BAYVIEW WELLINGTON**

**V3**  
**DESIGN**  
5 Consumers Rd Suite  
Toronto, ON M2J 1R4  
16.630.2255 f 416.630.  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has verified that the design complies with the requirements set out in the Ontario Building Code to be a Designer.

signature \_\_\_\_\_

25591 BCN 42658

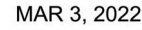
Wellington Jno-Baptiste  
743 Design Inc.

purification information  
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RV
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RV
4	.	.	.
5	.	.	.
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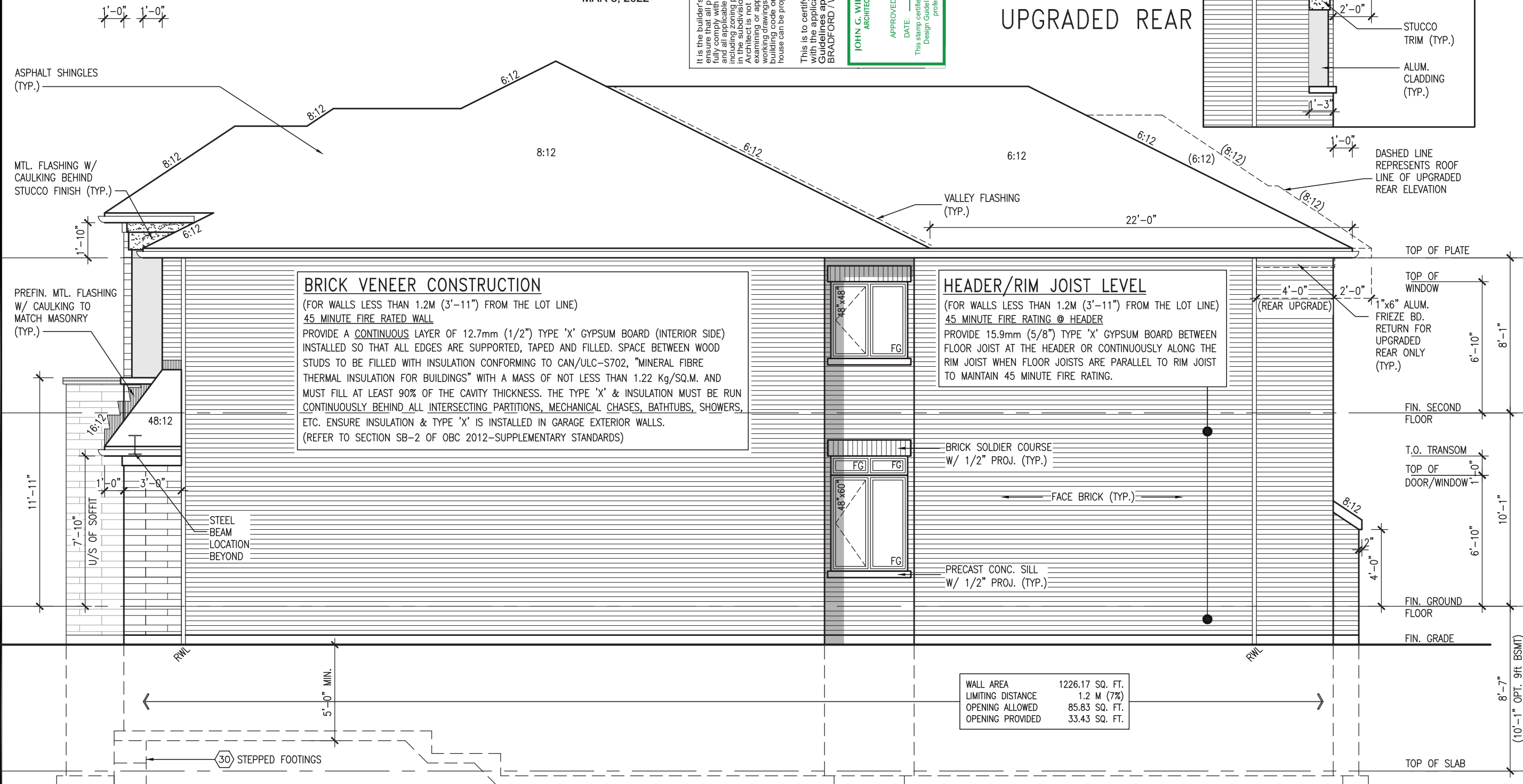
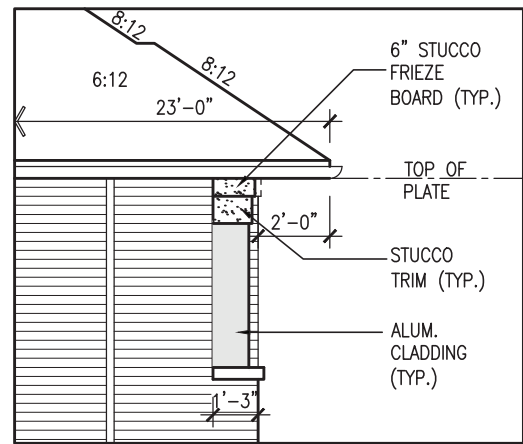


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APPROVED BY: \_\_\_\_\_

stamp certifies compliance with  
design Guidelines only and bears

PART. RIGHT SIDE  
ELEVATION 'C' FOR  
UPGRADED REAR



RIGHT SIDE ELEVATION 'C'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

[illegible]

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**DESIGN**  
Consumers Rd Suite  
Toronto, ON M2J 1R4  
530.2255 f 416.630.  
va3design.com

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wellington Jno-Baptiste  
signature  
25591 BCIN  
42658

name  
registration information  
WAS Design Inc.

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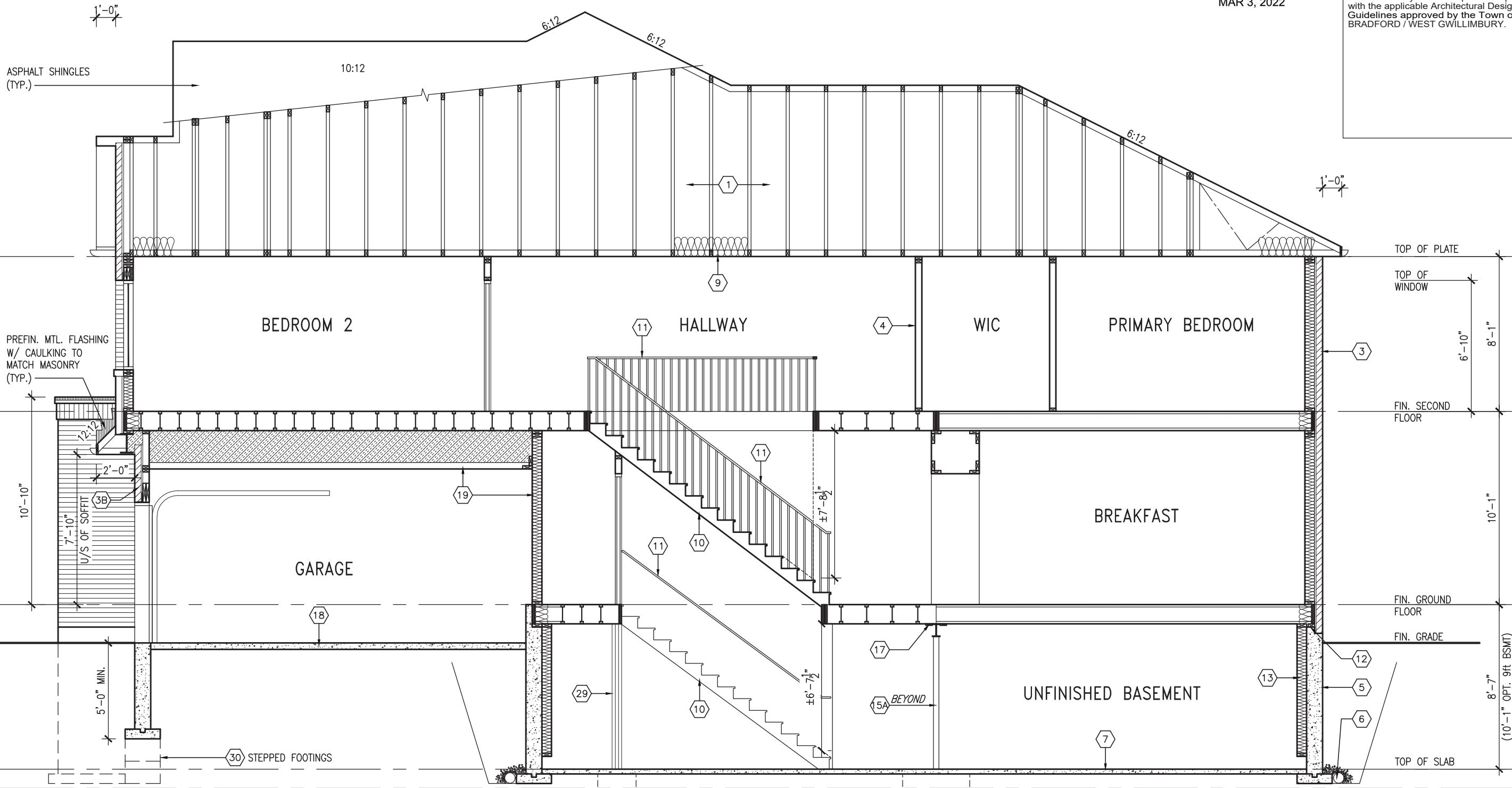
<b>BAYVIEW WELLINGTON</b>	<b>S38-21</b>
project name <b>GREEN VALLEY EAST BRADFORD EAST, ON.</b>	project no. <b>16023</b>
date <b>OCT 2021</b>	drawing no. <b>16</b>
checked by <b>JWM</b>	scale <b>3"/16" = 1'-0"</b>
drawn by <b>BD.BIM</b>	file name <b>16023-S38-21</b>
<b>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units_38\" 16023-S38-21.dwg - Thu - Mar 3, 2022 - 9:37 AM</b>	



MAR 3, 2022

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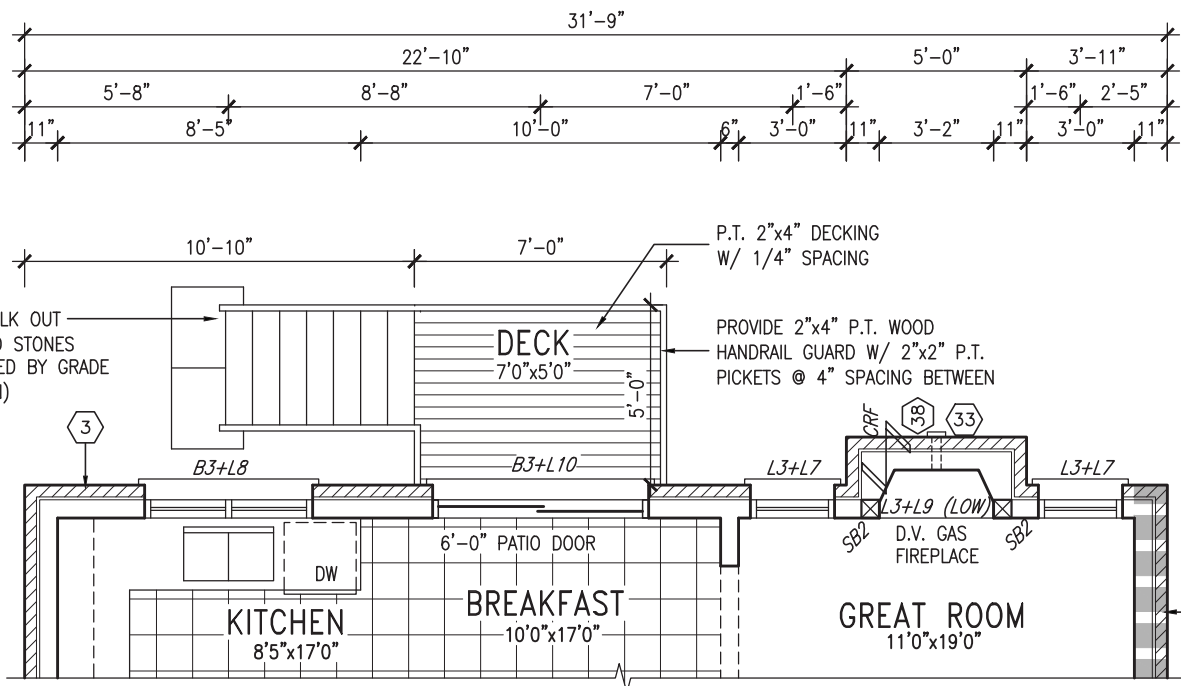


SECTION 'A-A'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

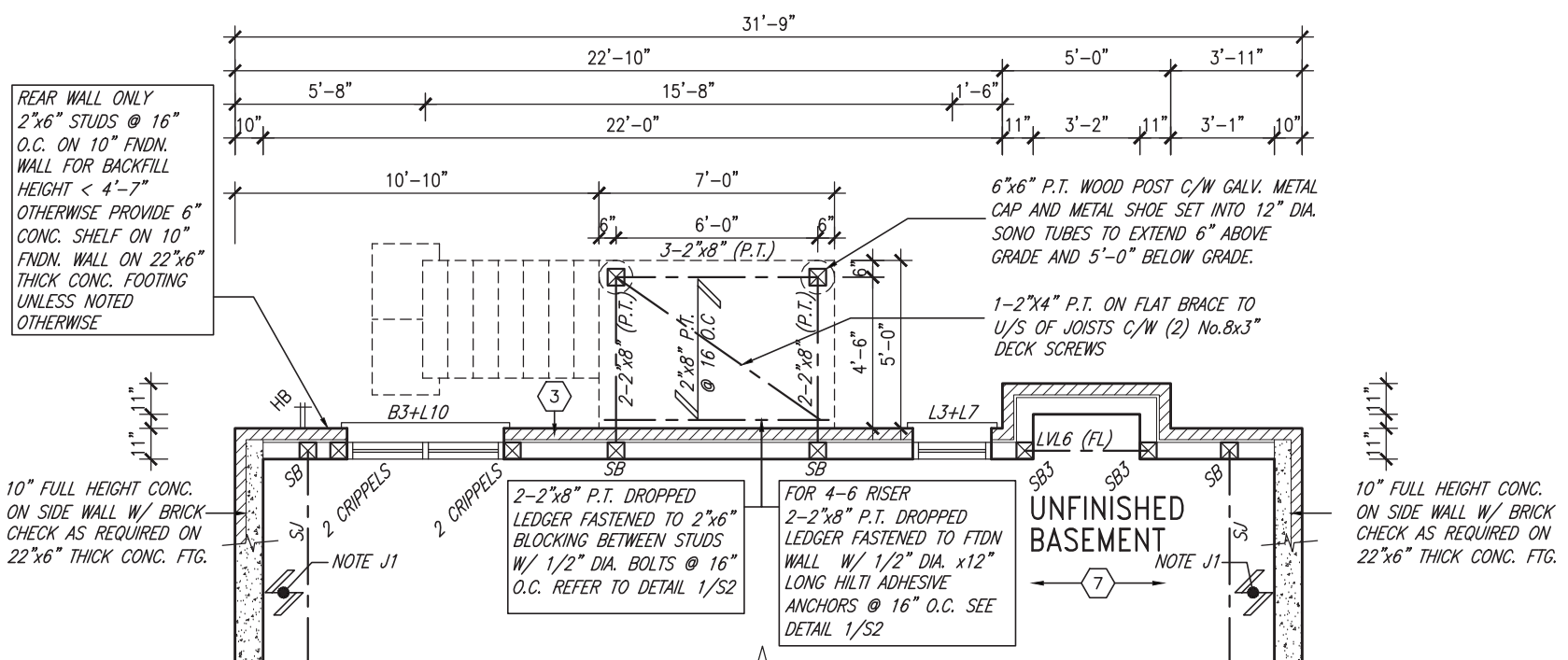
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON		S38-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.
project no.	16023	drawing no.	17
date	OCT 2021	section	'A-A'
drawn by	BD,BIM	file name	16023-S38-21
checked by	JWM	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:37 AM			
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Wellington Jno-Baptiste 25591 BCN			
VAS Design Inc. 42658			
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no.	description	date	by
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3



NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.

PARTIAL GROUND FLOOR PLAN  
9R OR MORE W.O.D. CONDITION  
ELEV. 'B' & 'C' SIMILAR



PARTIAL BASEMENT PLAN  
9R OR MORE W.O.D. CONDITION  
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
9'-0" GROUND FLOOR	S38-21 ELEVATION A - 9R WOD	ENERGY EFFICIENCY - OBC SB12			
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
	FRONT	640 S.F.	81.56 S.F.	12.74 %	
	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %	
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
	REAR	767 S.F.	165.00 S.F.	21.51 %	
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
	TOTAL SQ. FT.	3858.00 S.F.	396.56 S.F.	10.28 %	
TOTAL SQ. M.		358.42 S.M.	36.84 S.M.	10.28 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
9'-0" GROUND FLOOR	S38-21 ELEVATION B - 9R WOD	ENERGY EFFICIENCY - OBC SB12			
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
	FRONT	640 S.F.	97.14 S.F.	15.18 %	
	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94 %	
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
	REAR	767 S.F.	165.00 S.F.	21.51 %	
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
	TOTAL SQ. FT.	3863.00 S.F.	412.14 S.F.	10.67 %	
TOTAL SQ. M.		358.88 S.M.	38.29 S.M.	10.67 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
9'-0" GROUND FLOOR	S38-21 ELEVATION C - 9R WOD	ENERGY EFFICIENCY - OBC SB12			
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
	FRONT	640 S.F.	112.70 S.F.	17.61 %	
	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %	
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
	REAR	767 S.F.	185.89 S.F.	24.24 %	
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
	TOTAL SQ. FT.	3860.00 S.F.	460.26 S.F.	11.92 %	
TOTAL SQ. M.		358.60 S.M.	42.76 S.M.	11.92 %	



MAR 3, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	
no.	description		date	by



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON

S38-21

project name		municipality	project no.
GREEN VALLEY EAST		BRADFORD EAST, ON.	16023
date	PARTIAL PLANS - W.O.D. CONDITION		
OCT 2021	drawn by	checked by	scale
BD.BIM	JWM	3/16" = 1'-0"	file name
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg	16023-S38-21		
Thu - Mar 3 2022 - 9:37 AM		drawing no.	
		18	



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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

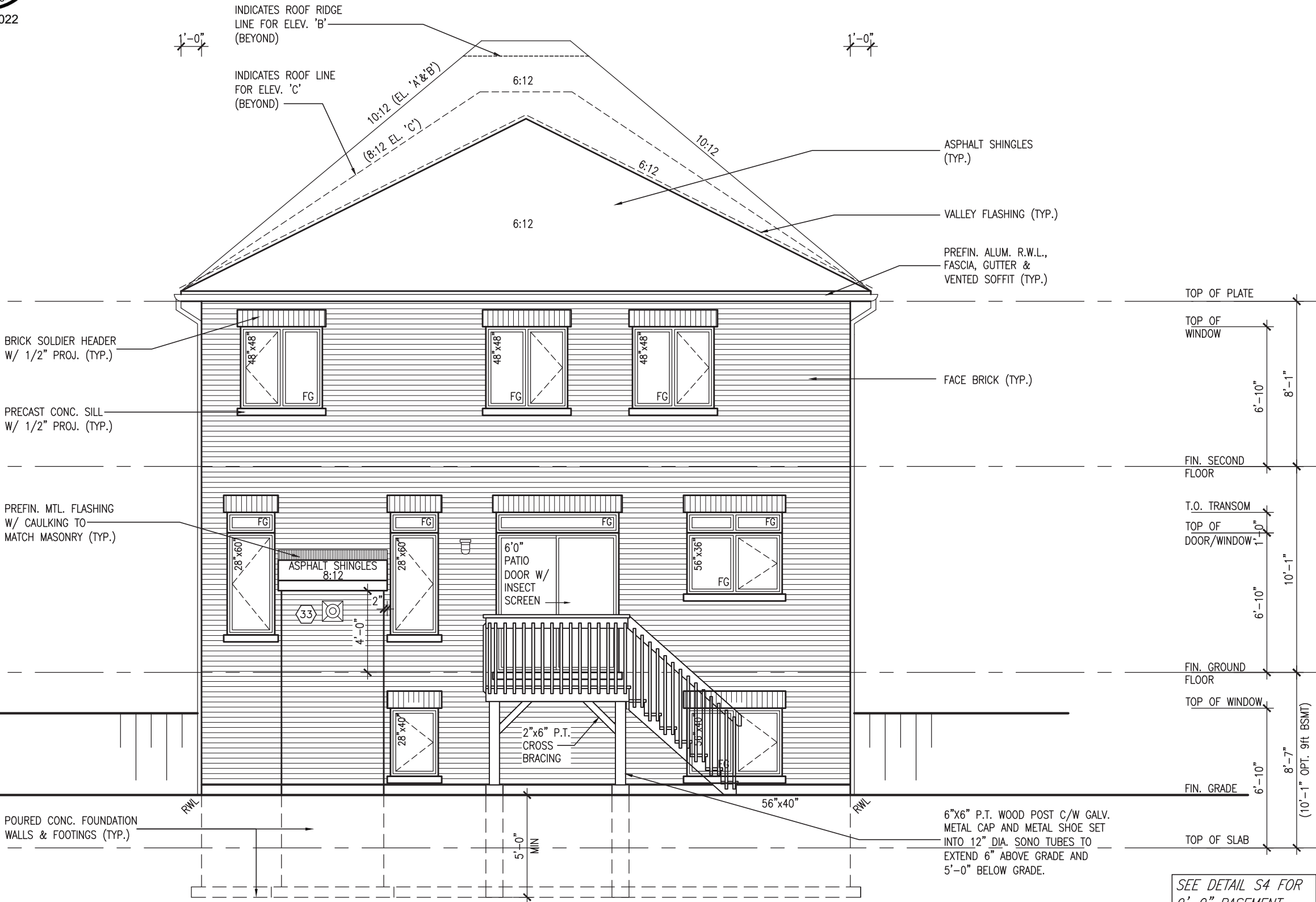
APPROVED BY:

DATE: MAR 03, 2022

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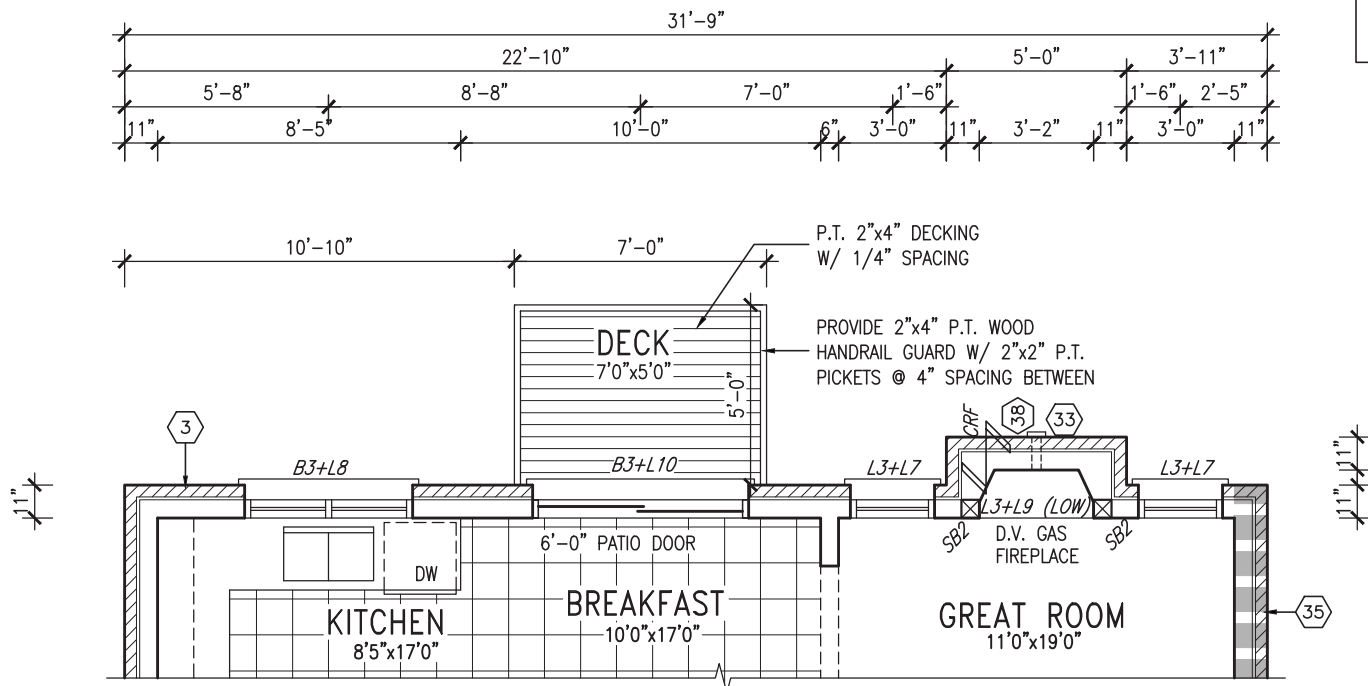
MAR 3, 2022



REAR ELEVATION 'A', 'B' & 'C'  
W.O.D. CONDITION

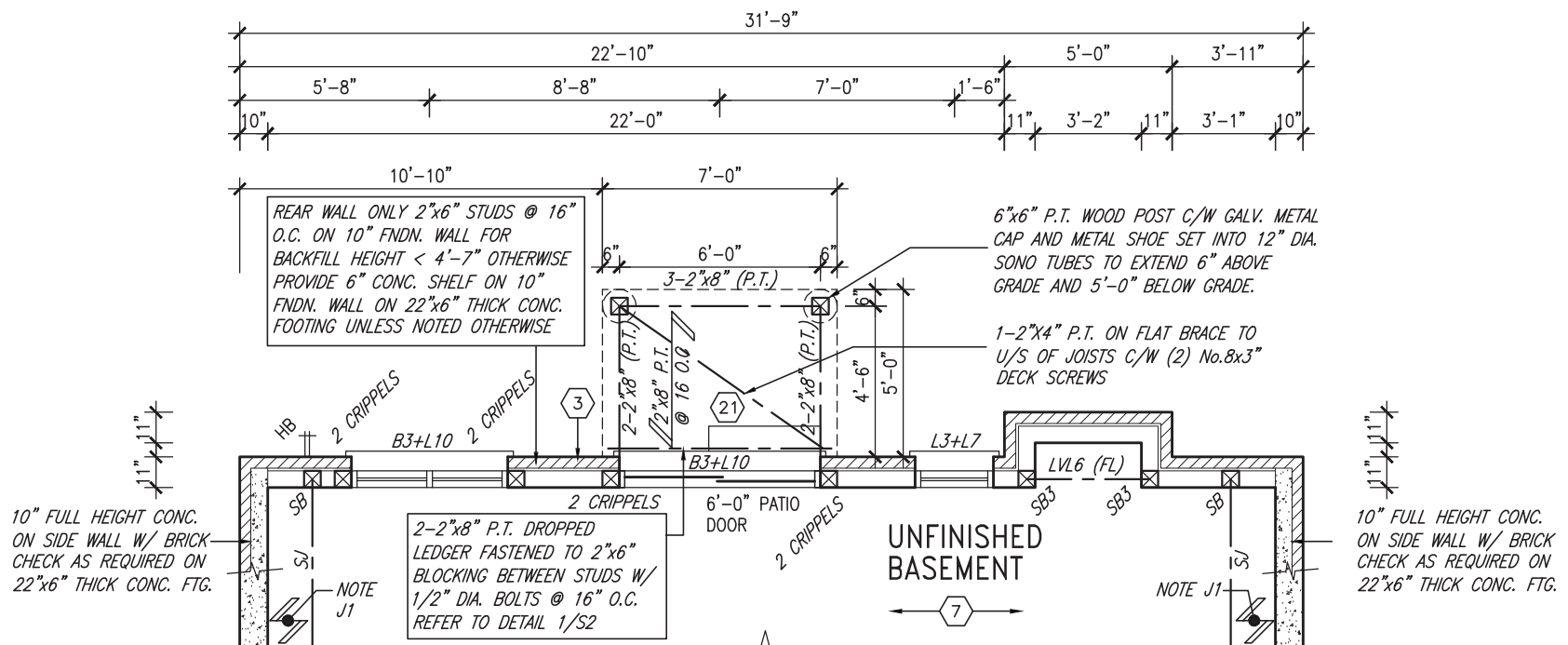
S38-21		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD EAST, ON.		project no.	16023
								drawing no.	19
								date	OCT 2021
								drawn by	BD,BIM
								checked by	JWM
								scale	3/16" = 1'-0"
								file name	16023-S38-21
								project name	REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION
								project no.	16023
								drawing no.	19
								date	OCT 2021
								drawn by	BD,BIM
								checked by	JWM
								scale	3/16" = 1'-0"
								file name	16023-S38-21
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								project no.	16023
								drawing no.	19
								date	OCT 2021
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								scale	3/16" = 1'-0"
								file name	16023-S38-21
								project name	REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION
								project no.	16023
								drawing no.	19
								date	OCT 2021
								drawn by	BD,BIM
								checked by	JWM
								scale	3/16" = 1'-0"
								file name	16023-S38-21
								project name	REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION
								project no.	16023
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								project no.	16023
								drawing no.	19
								date	OCT 2021
								drawn by	BD,BIM
								checked by	JWM
								scale	3/16" = 1'-0"

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



## PARTIAL GROUND FLOOR PLAN W.O.B. CONDITION

ELEV. 'B' & 'C' SIMILAR



## PARTIAL BASEMENT PLAN W.O.B. CONDITION

ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	81.56 S.F.	12.74 %
	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	865 S.F.	217.67 S.F.	25.16 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3956.00 S.F.	449.23 S.F.	11.36 %
	TOTAL SQ. M.	367.52 S.M.	41.73 S.M.	11.36 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR	S38-21 ELEV B-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	97.14 S.F.	15.18 %
	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	865 S.F.	217.67 S.F.	25.16 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3961.00 S.F.	464.81 S.F.	11.73 %
	TOTAL SQ. M.	367.99 S.M.	43.18 S.M.	11.73 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR	S38-21 ELEV C - STD REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	112.70 S.F.	17.61 %
	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	865 S.F.	217.67 S.F.	25.16 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3958.00 S.F.	492.04 S.F.	12.43 %
	TOTAL SQ. M.	367.71 S.M.	45.71 S.M.	12.43 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR	S38-21 ELEV C UPR. REAR - WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	112.70 S.F.	17.61 %
	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	865 S.F.	239.67 S.F.	27.71 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3958.00 S.F.	514.04 S.F.	12.99 %
	TOTAL SQ. M.	367.71 S.M.	47.76 S.M.	12.99 %



MAR 3, 2022

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	
no.	description	date	by	



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

## BAYVIEW WELLINGTON

S38-21

project name		municipality	project no.
GREEN VALLEY EAST		BRADFORD EAST, ON.	16023
date		PARTIAL PLANS - W.O.B. CONDITION	
OCT 2021		drawing no.	
drawn by	checked by	scale	file name
BD.BIM	JWM	3/16" = 1'-0"	16023-S38-21
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:37 AM			





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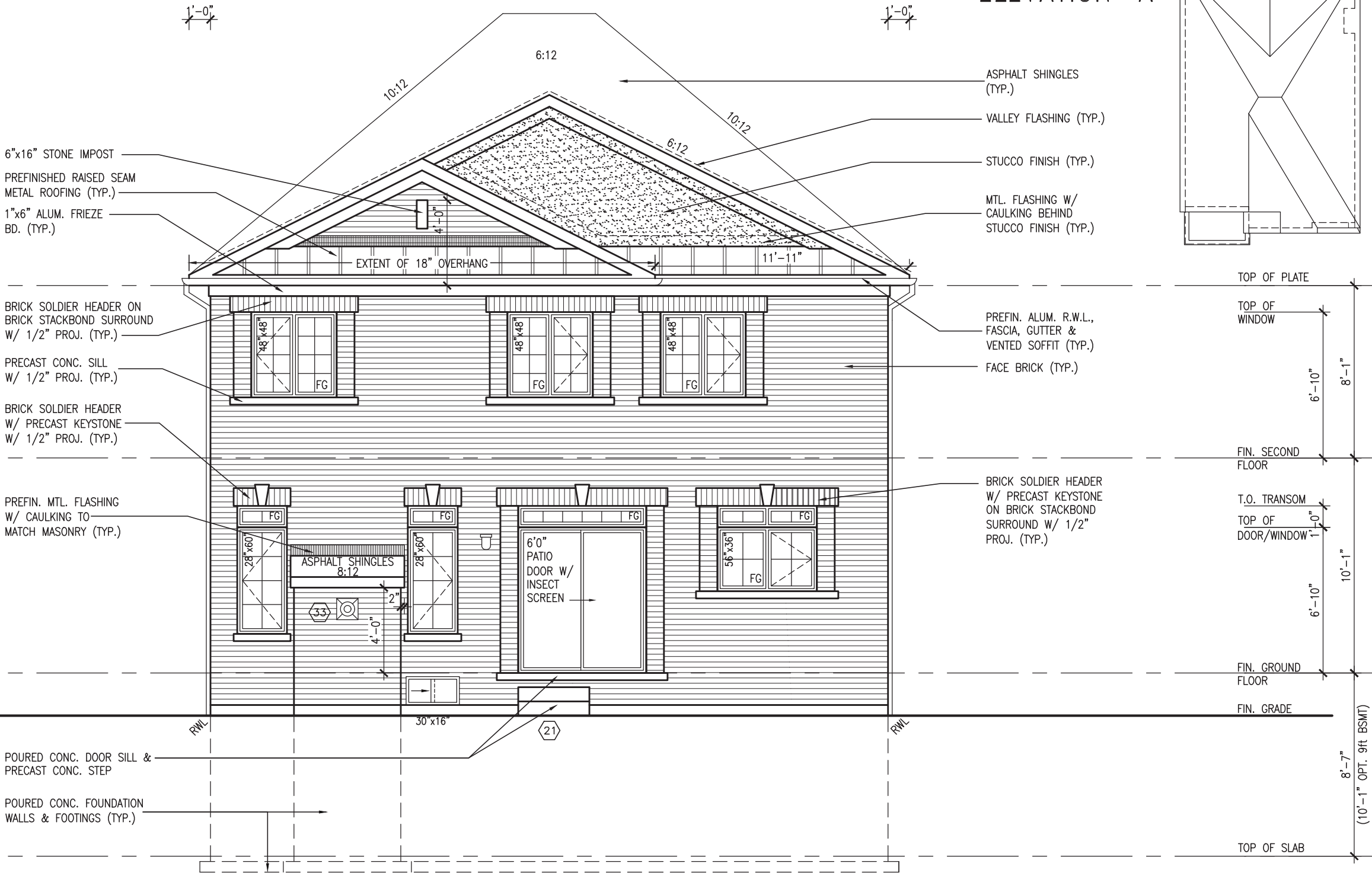
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



MAR 3, 2022

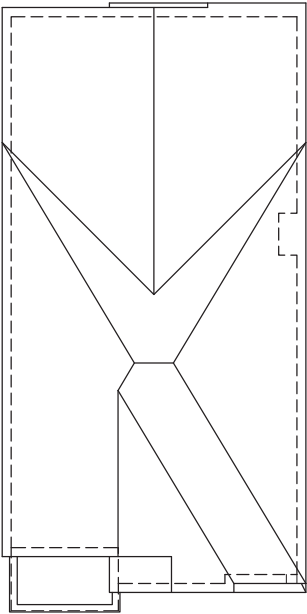


REAR ELEVATION 'A' UPGRADE

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF PLAN  
UPGRADED  
ELEVATION 'A'



BAYVIEW WELLINGTON		S38-21	
GREEN VALLEY EAST		BRADFORD EAST, ON.	
project name		project no.	
date		drawing no.	
checked by		file name	
drawn by		16023-S38-21	
scale		3/16" = 1'-0"	
checked by		JMW	
drawn by		BD.BIM	
date		OCT 2021	
checked by		JMW	
drawn by		BD.BIM	
date		OCT 2021	
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drawn by		BD.BIM	
date		OCT 2021	
checked by		JMW	
drawn by		BD.BIM	

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.



## REAR ELEVATION 'B' UPGRADE

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

**VA3**  
**DESIGN**  
255 Consumers Rd Suite  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.2255  
va3design.com

The undersigned has reviewed and takes responsibility for this design.  
The undersigned certifies that the design complies with the requirements set out in the Ontario Building Code to be a Designer.

\_\_\_\_\_  
signature

Wellington Jno Baptiste  
name

Registration information  
V3S Design Inc.  
BCIN 47658

25591

project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD EAST, ON.</b>	project no. <b>16023</b>
date <b>OCT 2021</b>	rear elevation <b>'B' UPGRADE</b>	drawing no. <b>23</b>
drawn by <b>BD,BIM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S38-21</b>
checked by <b>JWM</b>		

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APPROVED BY: 

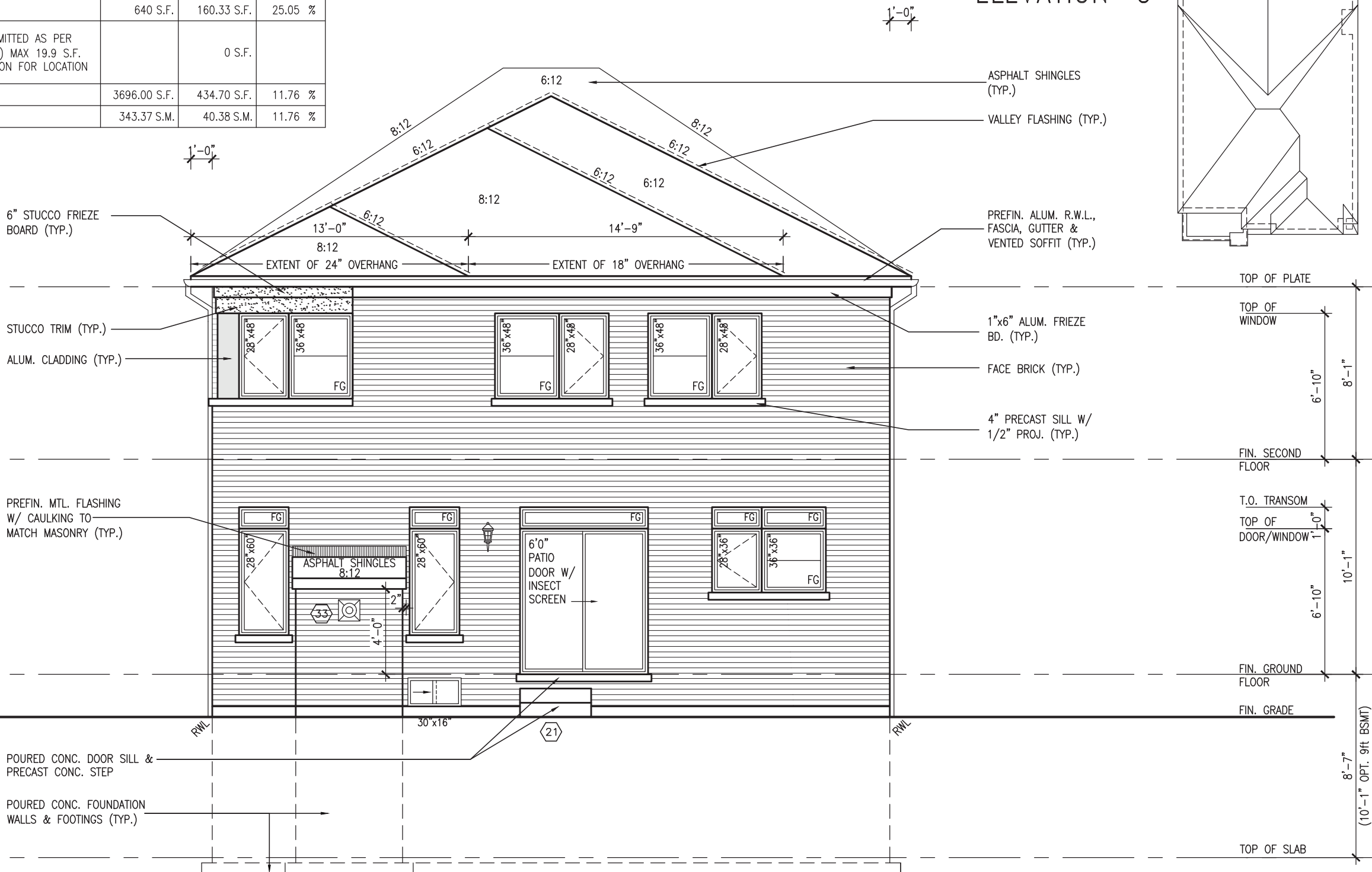
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.



MAR 3, 2022

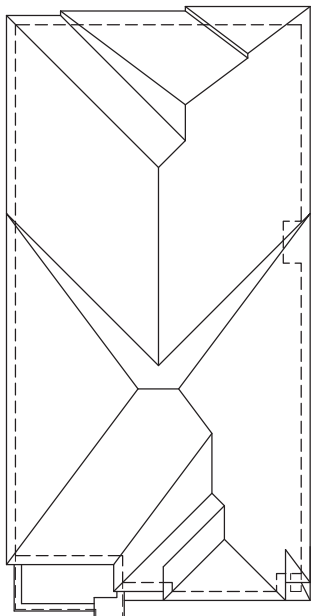
<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-21 ELEV C (UPGRADED REAR)	<b>ENERGY EFFICIENCY – OBC SB12</b>		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	640 S.F.	112.70 S.F.	17.61 %
LEFT SIDE	1190 S.F.	121.67 S.F.	10.22 %
RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
REAR	640 S.F.	160.33 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3696.00 S.F.	434.70 S.F.	11.76 %
TOTAL SQ. M.	343.37 S.M.	40.38 S.M.	11.76 %



SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF PLAN  
UPGRADED  
ELEVATION 'C'



**S38-21**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD EAST, ON.	
municipality	

date	DEAD ELEVATION '0'	UPGRADE	drawing no.

drawn by	checked by	scale	file name
001 2021			YEAR ELEVATION & STORAGE

BD.BIM	JWM	$3/16" = 1'-0"$	16023-S38-21
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	DATE	TIME	LOCATION	STATUS	REMARKS
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VA

DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4  
416 630 2255 f 416 630 4782

va3design.com

specifications, related documents and d

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name \_\_\_\_\_  
 registration information \_\_\_\_\_  
 signature \_\_\_\_\_  
 BCIN \_\_\_\_\_

A3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

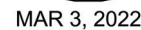
Drawings are not to be scaled.

All drop

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APPROVED BY:

DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.



SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

**S38-21**

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD EAST, ON.	

ing no.

CONDITION

OCT 2021	drawn by	checked by	scale	file name
	BD.BIM	JWM	3/16" = 1'-0"	16023-S38-21

CONDITION	file name
	16023-S38-21

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM



# DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

va3design.com

specifications, related documents and d

the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name	signature	BCIN
registration information		

A3 Design Inc.	42658
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Contractor must verify all dimensions on the job and report any

drawings and specifications are instruments of service and the property

Drawings are not to be scaled.

All draw:

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3	REVISED AS PER ENIC COMMENTS		MAR 02-22 DC

3	REVISED AS PER ENG COMMENTS	WMAK 02-22	KIC
2	REVISED AS PER EIOR / BOOE IAYOITS	FEB 24-22	BC

2	REVISED AS PER FLOR / ROO COMMENTS	NOV 24 22	NO
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3

no.	description	date	by
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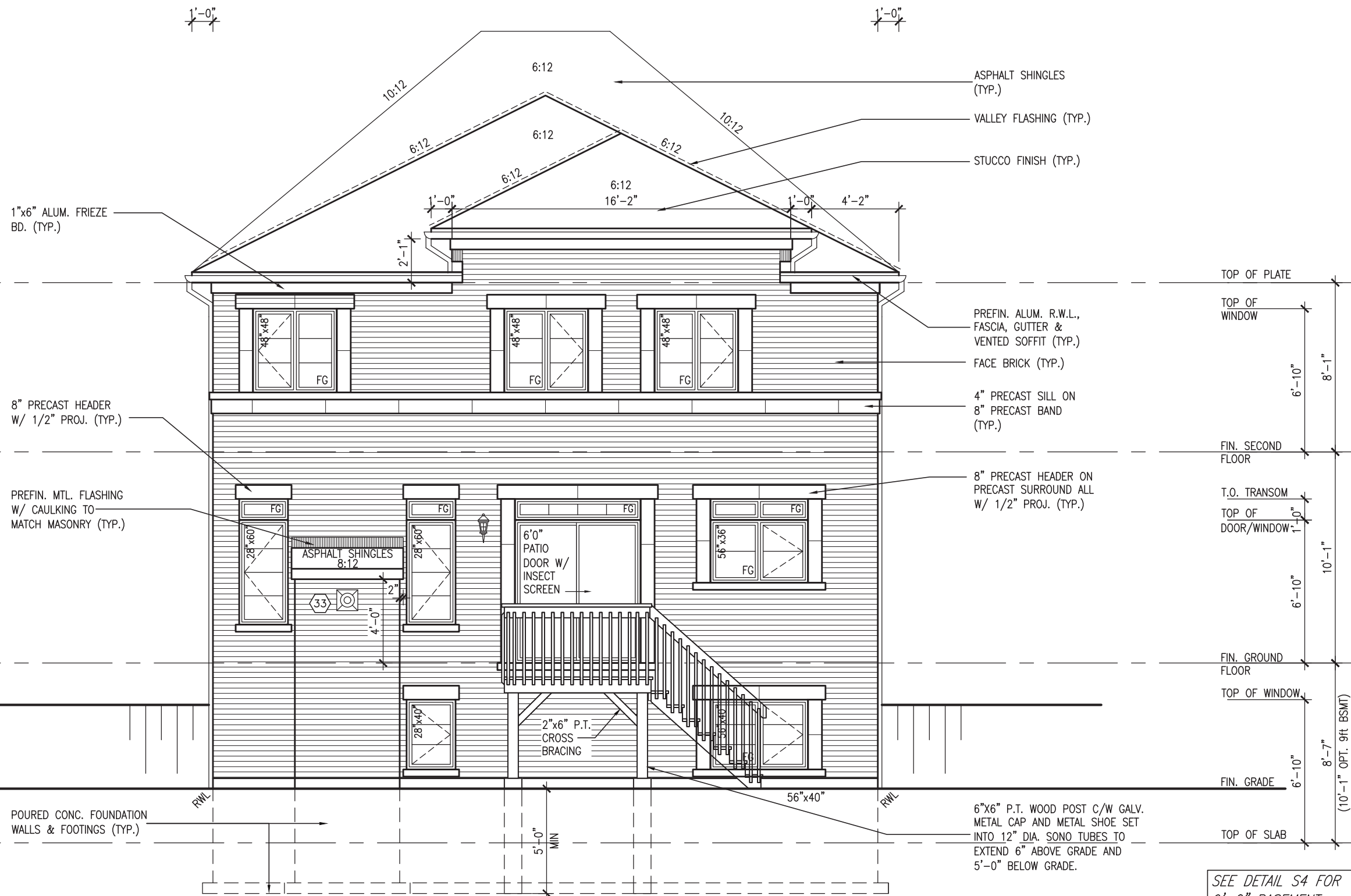
MAR 3, 2022

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



REAR ELEVATION 'B' UPGRADE  
W.O.D. CONDITION

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

<div> <div>BAYVIEW WELLINGTON</div> <div>S38-21</div> </div>		<div> <div>project name</div> <div>GREEN VALLEY EAST</div> </div>		<div> <div>municipality</div> <div>BRADFORD EAST, ON.</div> </div>		<div> <div>project no.</div> <div>16023</div> </div>	
<div> <div>date</div> <div>OCT 2021</div> </div>		<div> <div>checked by</div> <div>JWM</div> </div>		<div> <div>scale</div> <div><math>3/16" = 1'-0"</math></div> </div>		<div> <div>file name</div> <div>16023-S38-21</div> </div>	
<div> <div>drawn by</div> <div>BD.BIM</div> </div>		<div> <div>drawn by</div> <div>RD.RICHARD</div> </div>		<div> <div>date</div> <div>2016</div> </div>		<div> <div>date</div> <div>2022</div> </div>	
<div> <div>description</div> <div>REAR ELEVATION 'B' UPGRADE - W.O.D. CONDITION</div> </div>		<div> <div>description</div> <div>REAR ELEVATION 'B' UPGRADE - W.O.D. CONDITION</div> </div>		<div> <div>description</div> <div>REAR ELEVATION 'B' UPGRADE - W.O.D. CONDITION</div> </div>		<div> <div>description</div> <div>REAR ELEVATION 'B' UPGRADE - W.O.D. CONDITION</div> </div>	



**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

I, the undersigned, have reviewed and takes responsibility for this design and the information provided herein. I understand that the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

Signature: *William Jno-Baptiste*  
Name: **William Jno-Baptiste**  
Registration Information: **WJBS Design Inc.**  
BCIN: **42658**  
25591

name \_\_\_\_\_  
signature \_\_\_\_\_  
registration information  
**AA3 Design Inc.** 42658  
BCH

contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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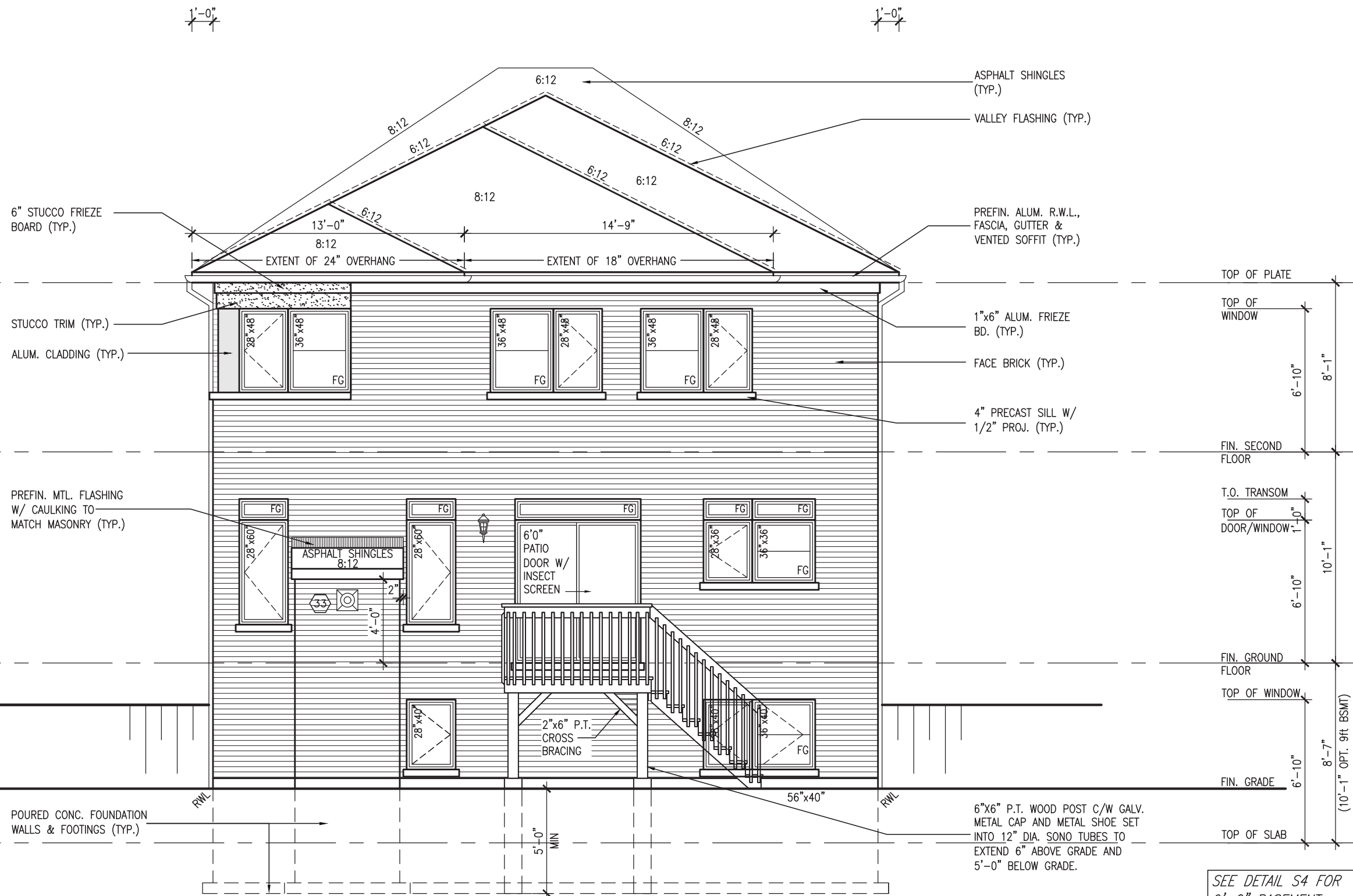
MAR 3, 2022

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



REAR ELEVATION 'C' UPGRADE  
W.O.D. CONDITION

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

**S38-21**

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD EAST, ON.	

ing no.

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date



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42658

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### 3 Design

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COMME

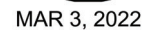
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REVISION

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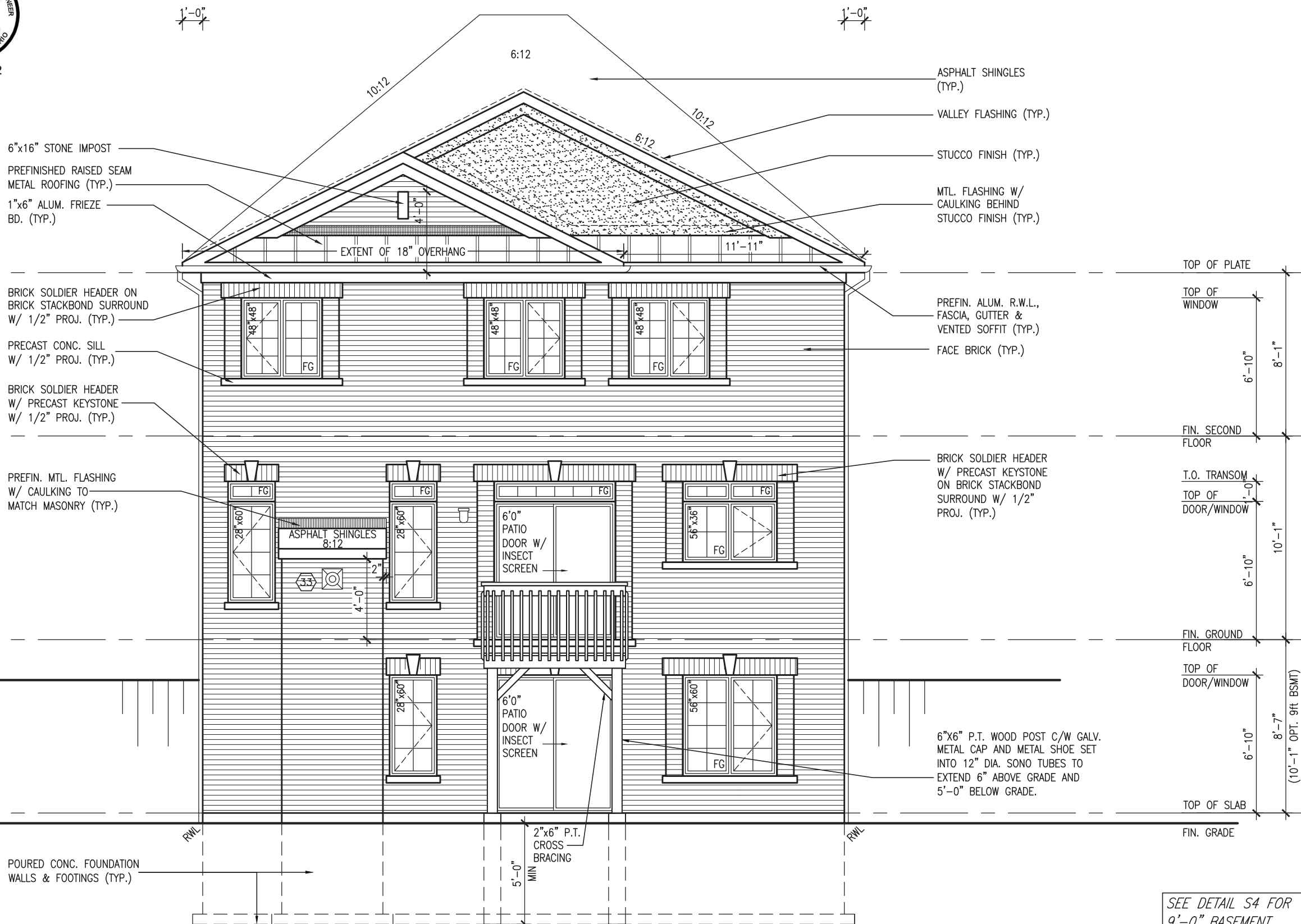


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APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

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SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

BAYVIEW WELLINGTON	S38-21
--------------------	--------



**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	signature	BCIN
Wellington Jno-Baptiste	<i>[Signature]</i>	25591
name	registration information	42658
	WA3 Design Inc.	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

1

<b>BAYVIEW WELLINGTON</b>	<b>S38-21</b>
project name <b>GREEN VALLEY EAST</b>	project no. <b>16023</b>
municipality <b>BRADFORD EAST, ON.</b>	

[illegible][illegible]

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

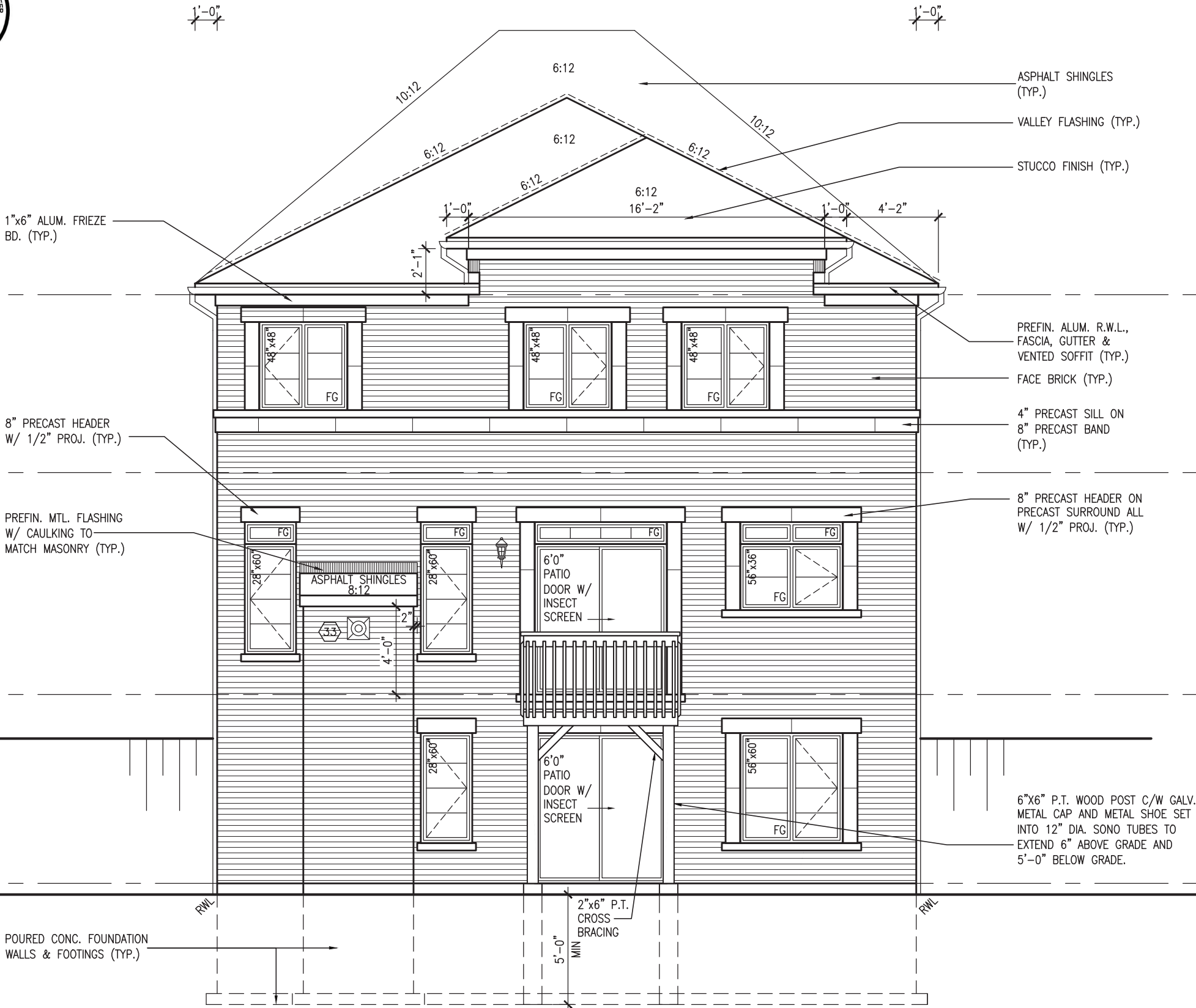
APPROVED BY: 

DATE: MAR.03.2022

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MAR 3, 2022



REAR ELEVATION 'B' UPGRADE  
W.O.B. CONDITION

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



255 Consumers Rd. Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Wellington Jno-Baptiste 25591 BCN  
name  
registration information  
V3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
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3	REVISED AS PER ENG COMMENTS	MAR 02-22 RC	
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21 VAS	

project name	municipality	project no.
BAYVIEW WELLINGTON	BRADFORD EAST, ON.	16023
date	drawn by	checked by
OCT 2021	BD,BIM	JWM
file name	scale	drawing no.
16023-S38-21	3/16" = 1'-0"	29

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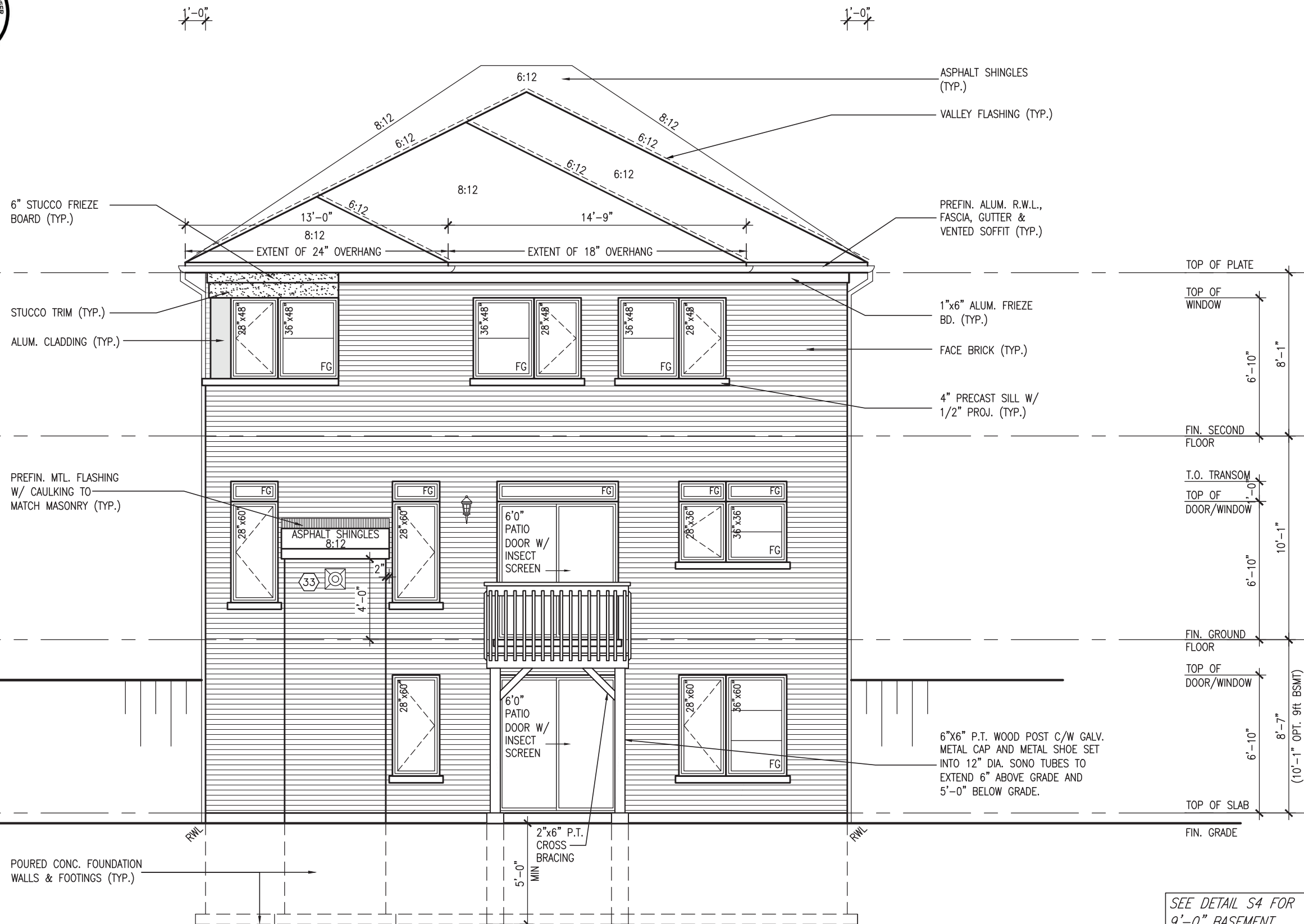
MAR 3, 2022

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.



SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

**S38-21**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD EAST, ON.	
municipality	

ing no.

### D. CONDITIONS

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.B. CONDITION	file name
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16023-S38-21

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Qualification information

Wellington Jno-Baptiste	25591
-------------------------	-------

name  
registration information  
signature

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

If the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All drawings



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR & OPT. 9'-0" BASEMENT	S38-21 ELEV C - STD REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	112.70 S.F.	17.61 %
	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	897 S.F.	217.67 S.F.	24.27 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3990.00 S.F.	492.04 S.F.	12.33 %
	TOTAL SQ. M.	370.68 S.M.	45.71 S.M.	12.33 %

9'-0" GROUND FLOOR & OPT. 9'-0" BASEMENT	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	81.56 S.F.	12.74 %
	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	897 S.F.	217.67 S.F.	24.27 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3988.00 S.F.	449.23 S.F.	11.26 %
	TOTAL SQ. M.	370.49 S.M.	41.73 S.M.	11.26 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
9'-0" GROUND FLOOR & OPT. 9'-0" BASEMENT	S38-21 ELEV C UPRG. REAR - WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	112.70 S.F.	17.61 %
	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	897 S.F.	239.67 S.F.	26.72 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3990.00 S.F.	514.04 S.F.	12.88 %
	TOTAL SQ. M.	370.68 S.M.	47.76 S.M.	12.88 %

9'-0" GROUND FLOOR & OPT. 9'-0" BASEMENT	S38-21 ELEV B-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	640 S.F.	97.14 S.F.	15.18 %
	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94 %
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %
	REAR	897 S.F.	217.67 S.F.	24.27 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	3993.00 S.F.	464.81 S.F.	11.64 %
	TOTAL SQ. M.	370.96 S.M.	43.18 S.M.	11.64 %

9 .	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8 .	.	.	.	qualification information
7 .	.	.	.	Wellington Jno-Baptiste 25591
6 .	.	.	.	signature
5 .	.	.	.	name
4 .	.	.	.	registration information
3	MAR 02-22	RC	42658	VAS Design Inc.
2	FEB 24-22	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	NOV 26-21	VA3		
no.	description	date	by	



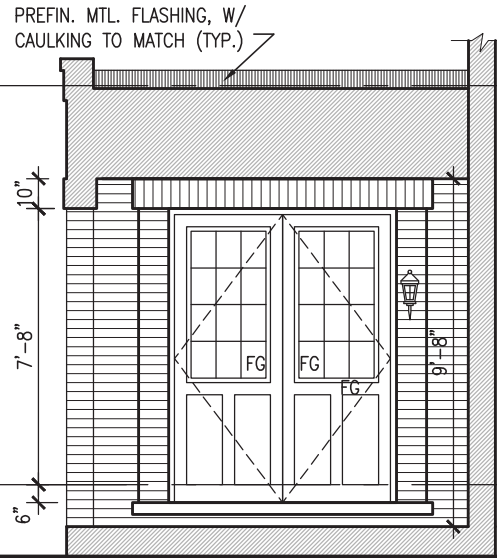
**DESIGN**  
255 Consumers Rd, Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vo3design.com

BAYVIEW WELLINGTON		S38-21	
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD EAST, ON.	16023	31
date	9'0" SECL FL. SB12 CHART		
OCT 2021			
drawn by	scale		
BD,BIM	3/16" = 1'-0"		
checked by	file name		
JWM	16023-S38-21		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM			

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-21 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	672 S.F.	81.56 S.F.	12.14 %
LEFT SIDE	1284 S.F.	115.67 S.F.	9.01 %
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %
REAR	672 S.F.	152.33 S.F.	22.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3913.00 S.F.	391.56 S.F.	10.01 %
TOTAL SQ. M.	363.53 S.M.	36.38 S.M.	10.01 %

PORTICO ELEVATION 'A'



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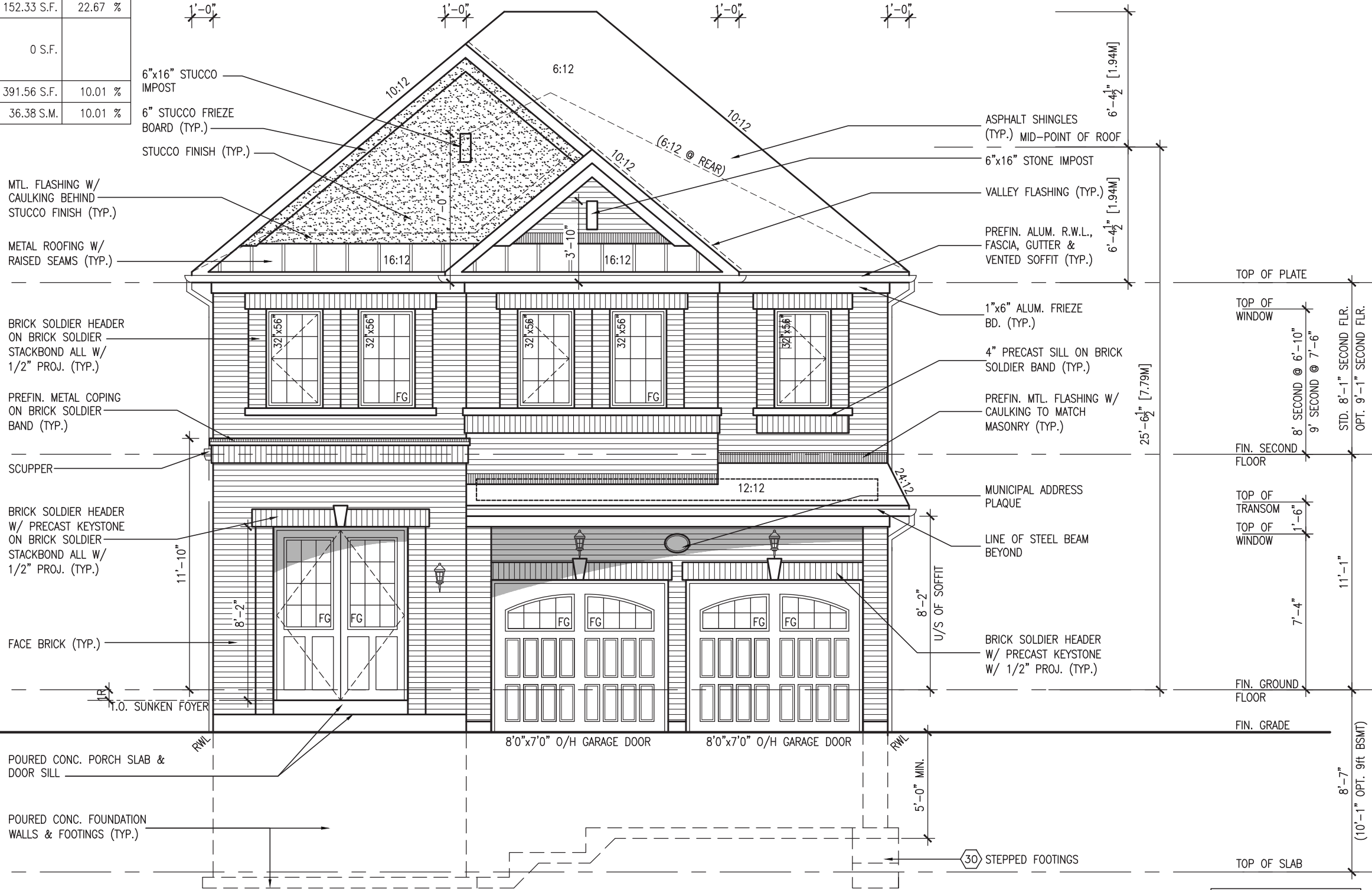
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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10' GROUND



FRONT ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

S38-21

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD EAST, ON.

project no. 16023

drawing no. 32

project name FRONT ELEVATION 'A'

scale 3/16" = 1'-0"

checked by JWM

drawn by BD,BIM

date OCT 2021

drawn by RICHARD - H:\ARCHIVE\WORKING\2016\16023\BIM\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM

DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1P4

t 416.630.2255 f 416.630.4782

vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name registration information VAS Design Inc. 42658

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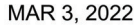
3 REVISED AS PER ENG COMMENTS MAR 02-22 RC

2 REVISED AS PER FLOOR / ROOF LAYOUTS FEB 24-22 RC

1 ISSUED FOR CLIENT REVIEW NOV 26-21 VAS

no. description

10<sup>9</sup> GROUND



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD EAST, ON.	

33 growing no.

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Architectural elevation drawing of a building facade. The drawing includes a roofline with a 6:12 pitch and a 10:12 pitch. A dashed line indicates the roof line of an upgraded rear elevation. The facade features several windows: two 24"x40" windows, two 48"x48" windows (labeled FG), and two 56"x60" windows (labeled FG). A brick soldier course with a 1/2" projection is shown above the 56"x60" windows. A precast concrete sill with a 1/2" projection is shown below the 56"x60" windows. The wall is labeled "FACE BRICK (TYP.)". The drawing also shows a 1"x6" aluminum frieze board return for the upgraded rear only (TYP.). The drawing includes a table of specifications at the bottom.

WALL AREA	1248.83 SQ. FT.
WALL AREA (OPT. 9' SEC. FL.)	1307.83 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	87.42 SQ. FT.
OPENING ALLOWED (OPT. 9' SEC. FL.)	91.54 SQ. FT.
OPENING PROVIDED	78.31 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	
6	.	.	.	
5	.	.	.	name
4	.	.	.	registration information
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC	VAS3 Design Inc.
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC	signature
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VAS3	BCIN
no.	description	date	by	42658

3	REVISED AS PER ENG COMMENTS	26-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER FLOOR / ROOF LAYOUTS	24-22	RC	
1	ISSUED FOR CLIENT REVIEW	26-21	VA3	
	no. description		date	by



# 10<sup>9</sup> GROUND



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APPROVED BY: [Signature]  
DATE: MAR 03, 2022

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<b>BAYVIEW WELLINGTON</b>	<b>S38-21</b>
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD EAST, ON.</b>
date OCT 2021	project no. <b>16023</b>
drawn by <b>BD,BIM</b>	drawing no. <b>34</b>
checked by <b>JWM</b>	
scale <b>3/16" = 1'-0"</b>	file name <b>16023-S38-21</b>
<b>RIGHT SIDE ELEVATION 'A'</b>	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:30 AM	

**VA3**  
**DESIGN**

255 Consumers Rd. Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

<p>qualification information</p> <p><b>Wellington Uno-Baptiste</b></p> <p>name</p> <p><b>VA3 Design, Inc.</b></p> <p>registration information</p>	<p>255919</p> <p>BCIN</p> <p>426358</p>
---	---

signature: *[Signature]*

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no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
3	REVISED AS PER ENG. COMMENTS	MAR 02-22	RC

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[illegible]

RIGHT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: [Signature]  
DATE: MAR 03, 2022


This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



MAR 3. 2022

$$\frac{1}{x} - 0$$

INDICATES ROOF RIDGE  
LINE FOR ELEV. 'B'—  
(BEYOND)

INDICATES ROOF LINE  
FOR ELEV. 'C'  
(BEYOND) 

1' - 0''

— ASPHALT SHINGLES  
(TYP.)

— VALLEY FLASHING (TYP.)

— PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

- FACE BRICK (TYP.)

BRICK SOLDIER HEADER  
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL —  
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING  
W/ CAULKING TO—  
MATCH MASONRY (TYP.)

POURED CONC. DOOR SILL &  
PRECAST CONC. STEP

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

REAR ELEVATION 'A', 'B' & 'C'

TOP OF PLATE

TOP OF WINDOW

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

7'-4"

1'-6"

1'-1"

FIN. GROUND FLOOR

FIN. GRADE

8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

VA3

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

he undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	signature	BCIN
Wellington Jno-Baptiste	<i>W. Baptiste</i>	25591

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

1

BAYVIEW WELLINGTON	S38-21
--------------------	--------

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD EAST ON	16023

[illegible]

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-----3-----

DATE	BY	REV	QTY	UNIT	PRICE	TOTAL
11/11/11	11/11/11	11/11/11	11/11/11	11/11/11	11/11/11	11/11/11

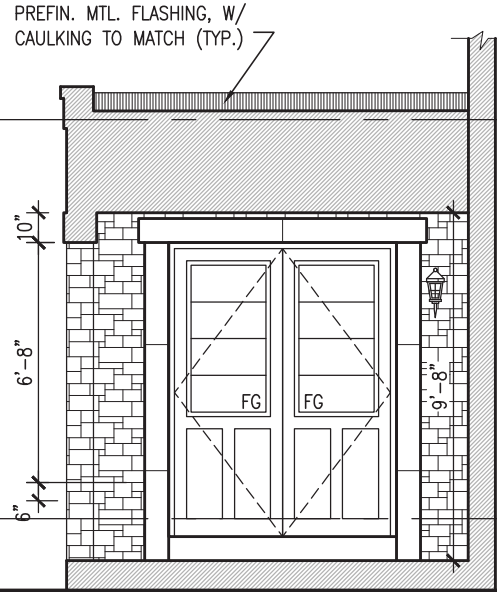
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-21 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	689 S.F.	97.14 S.F.	14.10 %
LEFT SIDE	1289 S.F.	115.67 S.F.	8.97 %
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %
REAR	672 S.F.	152.33 S.F.	22.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3935.00 S.F.	407.14 S.F.	10.35 %
TOTAL SQ. M.	365.57 S.M.	37.82 S.M.	10.35 %

10' GROUND



PORTICO ELEVATION 'B'



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

- FACE BRICK (TYP.)
- 20" PREMANUF. DECORATIVE METAL RAILING (TYP.)
- PREFIN. METAL COPING ON 8" PRECAST BAND (TYP.)
- SCUPPER
- 8" PRECAST HEADER ON PRECAST SURROUND ALL W/ 1/2" PROJ. (TYP.)
- STONE VENEER (TYP.)
- T.O. SUNKEN FOYER
- POURED CONC. PORCH SLAB & DOOR SILL
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)



FRONT ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

S38-21

BAYVIEW WELLINGTON

project no. 16023

project name GREEN VALLEY EAST

date OCT 2021

drawn by BD,BIM

checked by JWM

scale 3/16" = 1'-0"

drawing no. 36

file name 16023-S38-21

drawn by RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM

VAS DESIGN

255 Consumers Rd Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

25591

BCIN

42658

Wellington Jno-Baptiste

signature

name

registration information

VAS Design Inc.

3

REVISED AS PER ENG COMMENTS

MAR 02-22 RC

2

REVISED AS PER FLOOR / ROOF LAYOUTS

FEB 24-22 RC

1

ISSUED FOR CLIENT REVIEW

NOV 26-21 VAS

no. description

by

date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

9

8

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2

1

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10' GROUND



MAR 3, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 03, 2022  
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LEFT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

BAYVIEW WELLINGTON		S38-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.
project no.	16023	drawing no.	37
date	OCT 2021	left side elevation 'B'	
drawn by	BD,BIM	scale	3/16" = 1'-0"
checked by	JWM	file name	16023-S38-21
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM			
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591 BCIN			
VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
no.	description	date	by

10' GROUND

1'-0" 1'-0"

ASPHALT SHINGLES  
(TYP.)

VALLEY FLASHING  
(TYP.)

PREFIN. MTL. FLASHING  
W/ CAULKING TO  
MATCH MASONRY  
(TYP.)

12'-0"  
8'-2"  
U/S OF SOFFIT  
STEEL BEAM  
LOCATION  
BEYOND

### BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

### HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATING @ HEADER  
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

BRICK SOLDIER COURSE  
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL  
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

WALL AREA	1285.17 SQ. FT.
WALL AREA (9' SEC. FL.)	1344.17 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	89.96 SQ. FT.
OPENING ALLOWED (9' SEC. FL.)	94.09 SQ. FT.
OPENING PROVIDED	42.00 SQ. FT.

30 STEPPED FOOTINGS

RIGHT SIDE ELEVATION 'B'



MAR 3, 2022

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

APPROVED BY: AND APPROVAL:  
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW

DATE: MAR 03, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DASHED LINE  
REPRESENTS ROOF  
LINE OF UPGRADED  
REAR ELEVATION

TOP OF PLATE  
TOP OF WINDOW  
1"x6" ALUM.  
FRIEZE BD.  
RETURN FOR  
UPGRADED  
REAR ONLY  
(TYP.)  
FIN. SECOND  
FLOOR  
TOP OF  
TRANSOM  
TOP OF  
WINDOW  
FIN. GROUND  
FLOOR  
FIN. GRADE

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Wellington Jno-Baptiste  
name  
signature  
BCIN  
25591  
42658

3 REVISED AS PER ENG COMMENTS  
2 REVISED AS PER FLOOR / ROOF LAYOUTS  
1 ISSUED FOR CLIENT REVIEW

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no. description  
date by

BAYVIEW WELLINGTON

S38-21

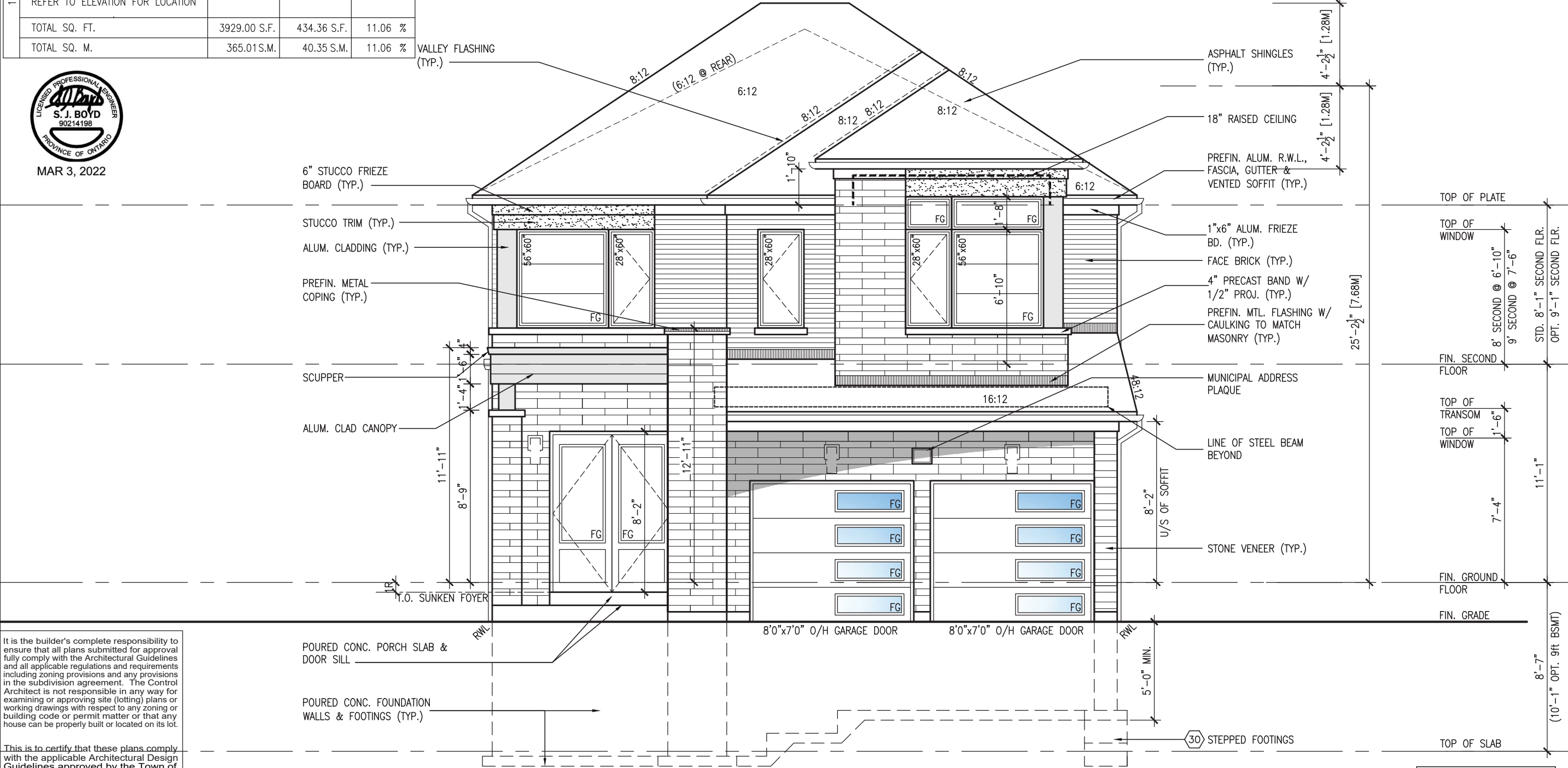
project name GREEN VALLEY EAST  
municipality BRADFORD EAST, ON.  
project no. 16023  
drawing no. 38  
date OCT 2021  
checked by JWM  
scale 3/16" = 1'-0"  
drawn by BD,BIM  
file name 16023-S38-21

16023-S38-21  
RICHARD - H:\ARCHIVE WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-21 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	687 S.F.	112.70 S.F.	16.40 %
LEFT SIDE	1285 S.F.	127.33 S.F.	9.91 %
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %
REAR	672 S.F.	152.33 S.F.	22.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3929.00 S.F.	434.36 S.F.	11.06 %
TOTAL SQ. M.	365.01 S.M.	40.35 S.M.	11.06 %

10' GROUND



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 03, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

BAYVIEW WELLINGTON		S38-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.
project no.	16023	drawing no.	39
date	OCT 2021	checked by	JWM
drawn by	BD,BIM	scale	3/16" = 1'-0"
file name	16023-S38-21	FRONT ELEVATION 'C'	
no.	description	date	by
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG. COMMENTS	MAR 02-22 RC	
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21 WJ	



10' GROUND



MAR 3, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



LEFT SIDE ELEVATION 'C'

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

BAYVIEW WELLINGTON		S38-21				
GREEN VALLEY EAST		BRADFORD EAST, ON.				
project no.	16023	drawing no.	40			
file name	16023-S38-21	scale	3/16" = 1'-0"			
checked by	JWM	drawn by	BD,BIM			
date	OCT 2021	date	OCT 2021			
project name	GREEN VALLEY EAST	project name	BRADFORD EAST, ON.			
municipality	BRADFORD EAST, ON.	municipality	BRADFORD EAST, ON.			
left side elevation 'C'						
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.						
Wellington Jno-Baptiste [Signature] 25591 BCN						
name registration information VAS Design Inc. 42658						
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC			
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC			
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3			
no.	description	date	by			







UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-21 ELEV A-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	672 S.F.	81.56 S.F.	12.14 %	
LEFT SIDE	1284 S.F.	115.67 S.F.	9.01 %	
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %	
REAR	897 S.F.	228.33 S.F.	25.45 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4138.00 S.F.	467.56 S.F.	11.30 %	
TOTAL SQ. M.	384.43 S.M.	43.44 S.M.	11.30 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-21 ELEV B-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	689 S.F.	97.14 S.F.	14.10 %	
LEFT SIDE	1289 S.F.	115.67 S.F.	8.97 %	
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %	
REAR	897 S.F.	228.33 S.F.	25.45 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4160.00 S.F.	483.14 S.F.	11.61 %	
TOTAL SQ. M.	386.47 S.M.	44.88 S.M.	11.61 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-21 ELEV C - STD REAR WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	687 S.F.	112.70 S.F.	16.40 %	
LEFT SIDE	1285 S.F.	127.33 S.F.	9.91 %	
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %	
REAR	897 S.F.	228.33 S.F.	25.45 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4154.00 S.F.	510.36 S.F.	12.29 %	
TOTAL SQ. M.	385.92 S.M.	47.41 S.M.	12.29 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-21 ELEV C UPGR. REAR - WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	687 S.F.	112.70 S.F.	16.40 %	
LEFT SIDE	1285 S.F.	127.33 S.F.	9.91 %	
RIGHT SIDE	1285 S.F.	42.00 S.F.	3.27 %	
REAR	897 S.F.	291.67 S.F.	32.52 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4154.00 S.F.	573.70 S.F.	13.81 %	
TOTAL SQ. M.	385.92 S.M.	53.30 S.M.	13.81 %	



MAR 3, 2022

10' GROUND

INDICATES ROOF LINE FOR ELEV. 'C' (BEYOND)

BRICK SOLDIER HEADER W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)



INDICATES ROOF RIDGE LINE FOR ELEV. 'B' (BEYOND)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

FACE BRICK (TYP.)

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY  
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
  
APPROVED BY:   
DATE: MAR 03, 2022  
  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S38-21

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD EAST, ON.

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

file name 16023-S38-21

project no. 16023

drawing no. 43

date OCT 2021

drawn by BD.BIM

checked by JWM

scale 3/16" = 1'-0"

REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

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file name

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

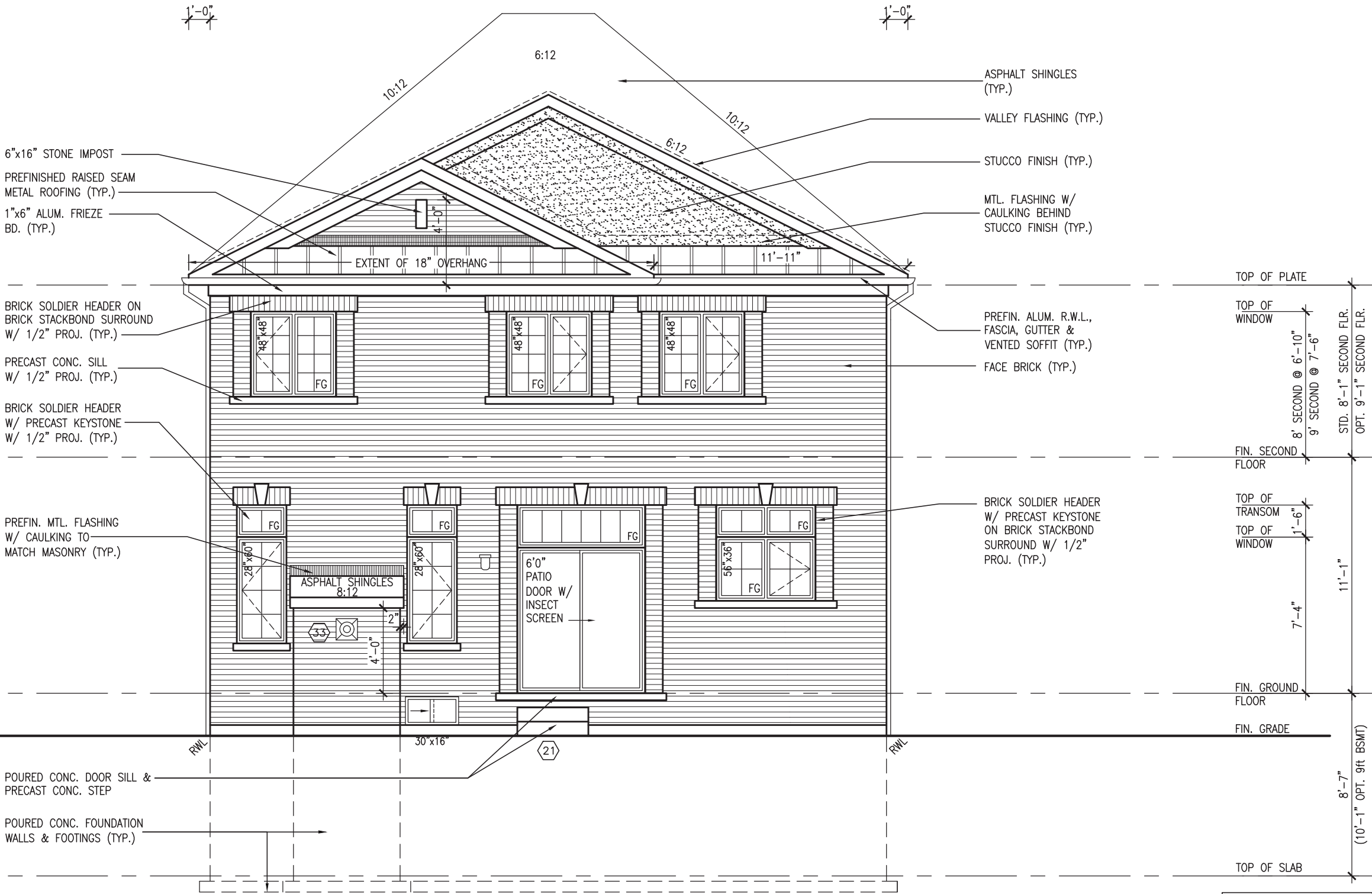
APPROVED BY:   
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



MAR 3, 2022

10' GROUND



REAR ELEVATION 'A' UPGRADE

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY  
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

BAYVIEW WELLINGTON		S38-21	
GREEN VALLEY EAST		BRADFORD EAST, ON.	
project name		project no.	
date		drawing no.	
checked by		file name	
scale		16023-S38-21	
drawn by		3/16" = 1'-0"	
JWM		16023-S38-21	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-21.dwg		- Thu - Mar 3 2022 - 9:38 AM	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste 25591 BCIN	
name registration information	
VAS Design Inc. 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
9	by
8	date
7	description
6	
5	
4	
3	MAR 02-22 RC
2	FEB 24-22 RC
1	NOV 26-21 VAS







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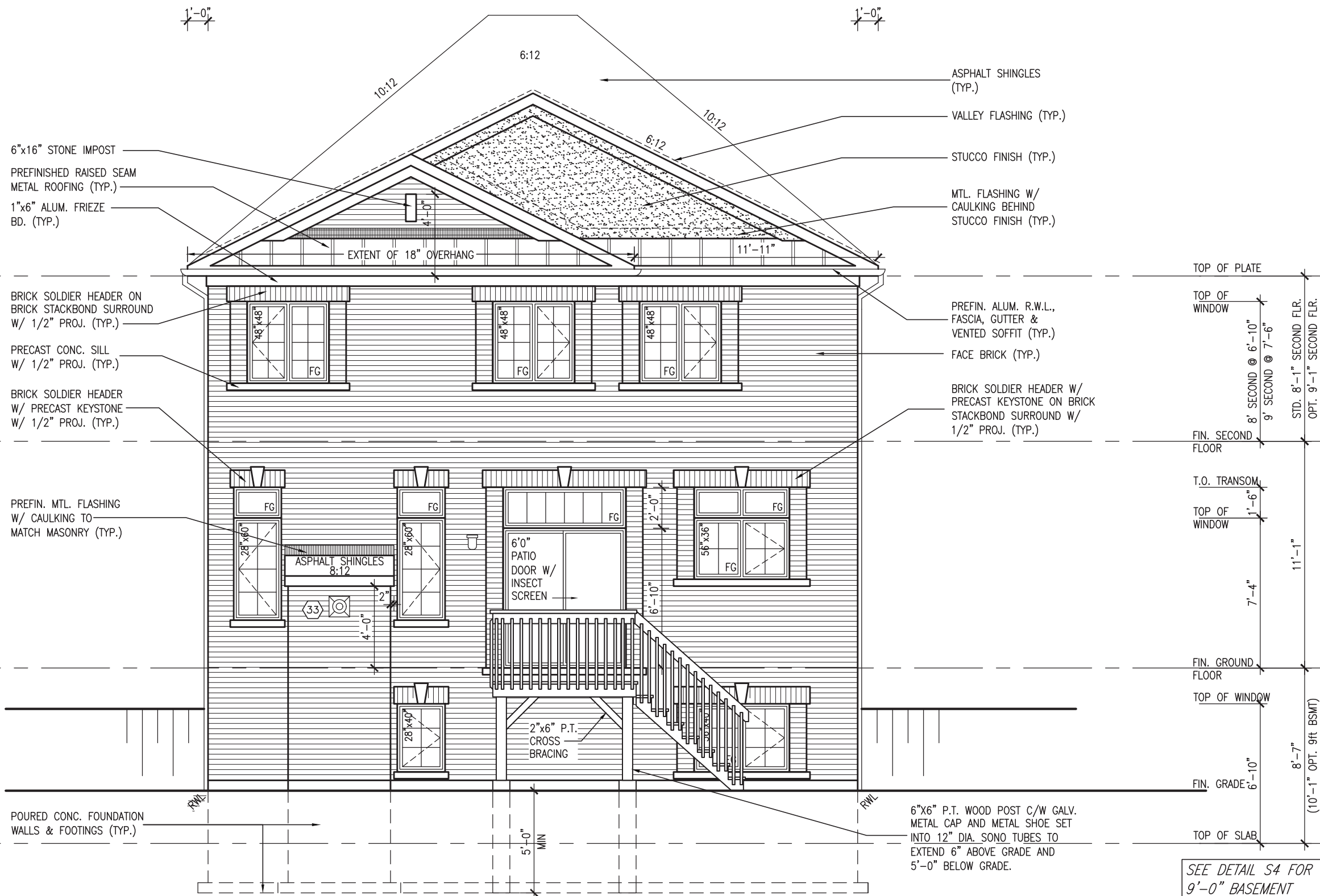
APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



MAR 3, 2022

# 10<sup>9</sup> GROUND



REAR ELEVATION 'A' UPGRADE  
W.O.D. CONDITION

SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON	S38-21
--------------------	--------

VA3

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	.	.	.	
5	.	.	.	name <b>Wellington Jno-Baptiste</b> 25591
4	.	.	.	registration information <i>signature</i> BCIN
3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC	<b>YAS Design Inc.</b> 42658
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
description		date	by	

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

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APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

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MAR 3, 2022

# 10<sup>9</sup> GROUND



SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

**S38-21**

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD EAST, ON.	

date	BEAR ELEVATION 'D' UPGRADE	W A B	CONDITION	drawing no.
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DOCT 2021	checked by	scale	file name
REAR ELEVATION B UPGRADE - W.C.B. CONDITION	JWM	3/16" = 1'-0"	16023-S38-21

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-21.dwg - Thu - Mar 3 2022 - 9:38 AM



**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
-------------------------	-------

name	signature	BCIN
------	-----------	------

42658  
/A3 Design Inc.

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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

if the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION A	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	704 S.F.	81.56 S.F.	11.59 %
	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	704 S.F.	152.33 S.F.	21.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4103.00 S.F.	391.56 S.F.	9.54 %
	TOTAL SQ. M.	381.18 S.M.	36.38 S.M.	9.54 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION A - 9R WOD	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	704 S.F.	81.56 S.F.	11.59 %
	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	831 S.F.	175.67 S.F.	21.14 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4230.00 S.F.	414.90 S.F.	9.81 %
	TOTAL SQ. M.	392.98 S.M.	38.55 S.M.	9.81 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC.	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	704 S.F.	81.56 S.F.	11.59 %
	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	228.33 S.F.	24.60 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4327.00 S.F.	467.56 S.F.	10.81 %
TOTAL SQ. M.	401.99 S.M.	43.44 S.M.	10.81 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEV C (UPGRADED REAR)	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	704 S.F.	171.33 S.F.	24.34 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4120.00 S.F.	453.36 S.F.	11.00 %
TOTAL SQ. M.	382.76 S.M.	42.12 S.M.	11.00 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	720 S.F.	97.14 S.F.	13.49 %
	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	704 S.F.	152.33 S.F.	21.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4124.00 S.F.	407.14 S.F.	9.87 %
	TOTAL SQ. M.	383.13 S.M.	37.82 S.M.	9.87 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION B - 9R WOD	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	720 S.F.	97.14 S.F.	13.49 %
	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	831 S.F.	175.67 S.F.	21.14 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4251.00 S.F.	430.48 S.F.	10.13 %
TOTAL SQ. M.	394.93 S.M.	39.99 S.M.	10.13 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL.	S38-21 ELEV B-ST&UPG REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	720 S.F.	97.14 S.F.	13.49 %
	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	228.33 S.F.	24.60 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4348.00 S.F.	483.14 S.F.	11.11 %
TOTAL SQ. M.	403.94 S.M.	44.88 S.M.	11.11 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEV C 9R WOD (UPG REAR)	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	831 S.F.	196.89 S.F.	23.69 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4247.00 S.F.	478.92 S.F.	11.28 %
TOTAL SQ. M.	394.56 S.M.	44.49 S.M.	11.28 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION C	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	704 S.F.	152.33 S.F.	21.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4120.00 S.F.	434.36 S.F.	10.54 %
	TOTAL SQ. M.	382.76 S.M.	40.35 S.M.	10.54 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEVATION C - 9R WOD	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	831 S.F.	196.89 S.F.	23.69 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4247.00 S.F.	478.92 S.F.	11.28 %
TOTAL SQ. M.	394.56 S.M.	44.49 S.M.	11.28 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL.	S38-21 ELEV C - STD REAR WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	228.33 S.F.	24.60 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4344.00 S.F.	510.36 S.F.	11.75 %
TOTAL SQ. M.	403.57 S.M.	47.41 S.M.	11.75 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
10'-0" GROUND FLOOR & OPT. 9' SEC. FL	S38-21 ELEV C UPGR. REAR - WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	719 S.F.	112.70 S.F.	15.67 %
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	291.67 S.F.	31.43 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
	TOTAL SQ. FT.	4344.00 S.F.	573.70 S.F.	13.21 %
TOTAL SQ. M.	403.57 S.M.	53.30 S.M.	13.21 %	

# 6 FLOOR PLAN

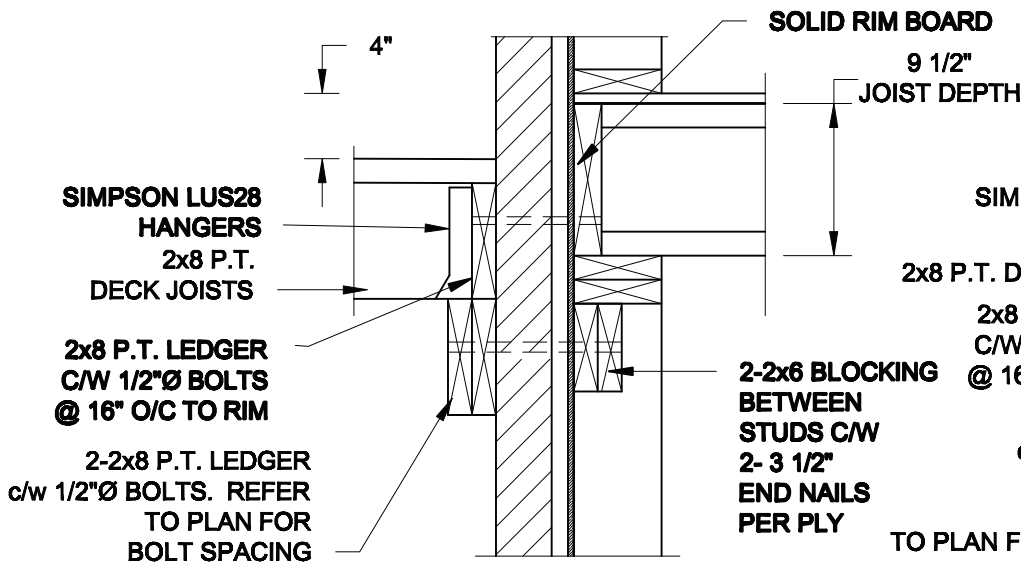
[illegible]







FOR 9 1/2" JOIST DEPTH



1A  
S2

## DECK FASTENING DETAIL

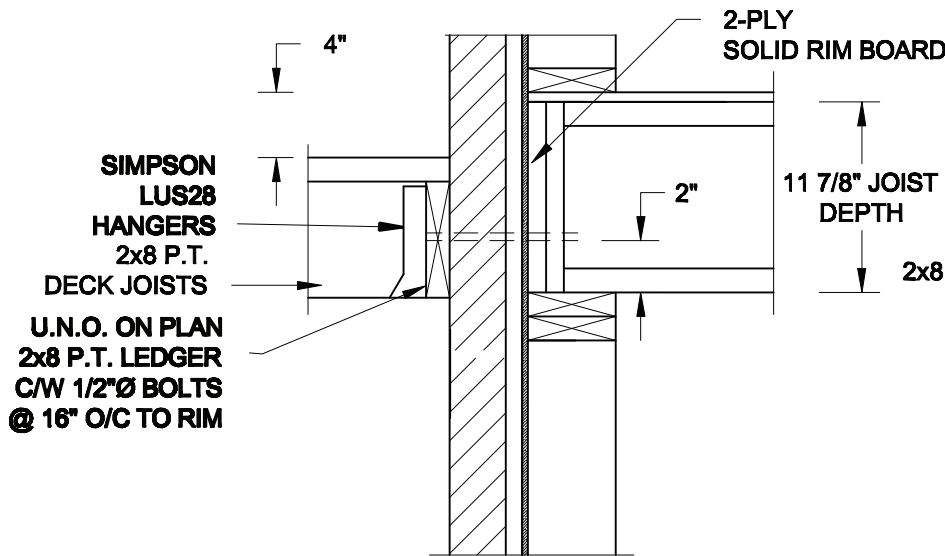
SCALE: 1" = 1'-0"

1B  
S2

## DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

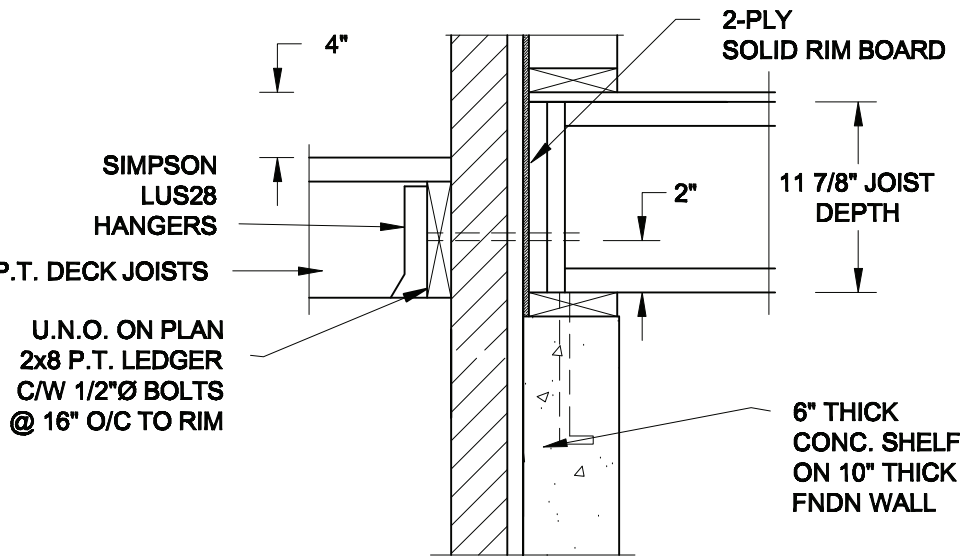
FOR 11 7/8" JOIST DEPTH



1C  
S2

## DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



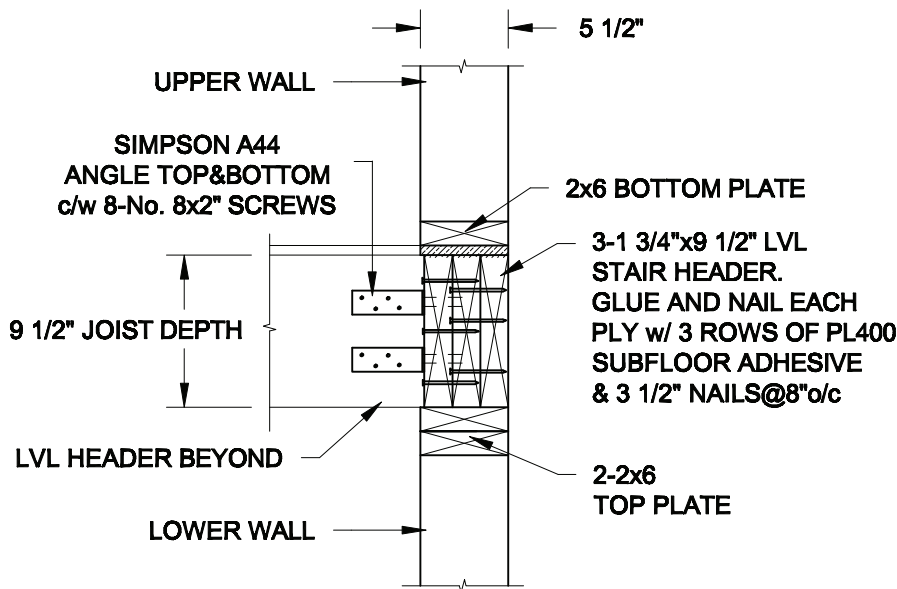
1D  
S2

## DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH

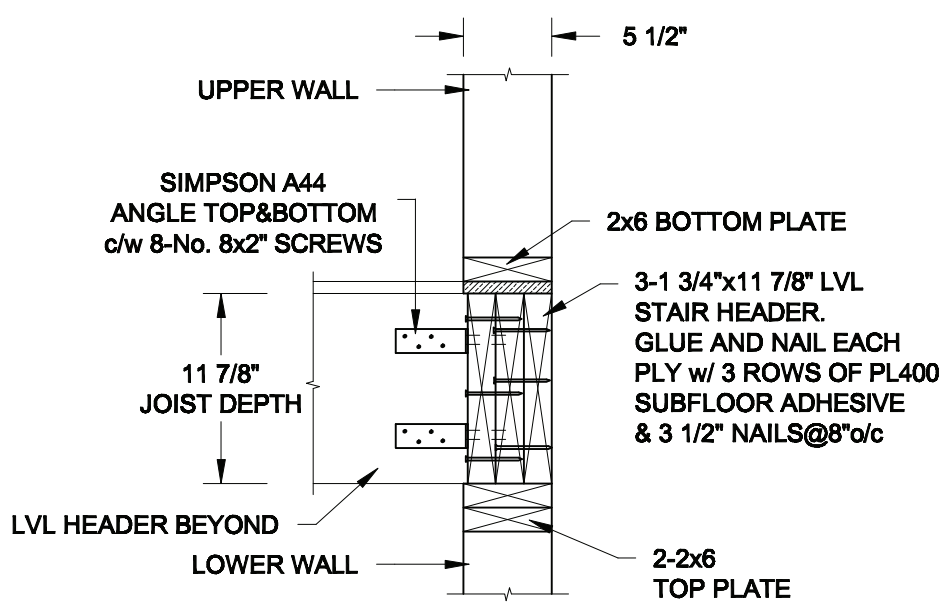


2A  
S2

## STAIR HEADER

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B  
S2

## STAIR HEADER

SCALE: 1" = 1'-0"

Scale:  
AS NOTED

Date:  
MAR-15-2021

Drawn:  
SC

Checked:  
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES  
BRADFORD, ONTARIO

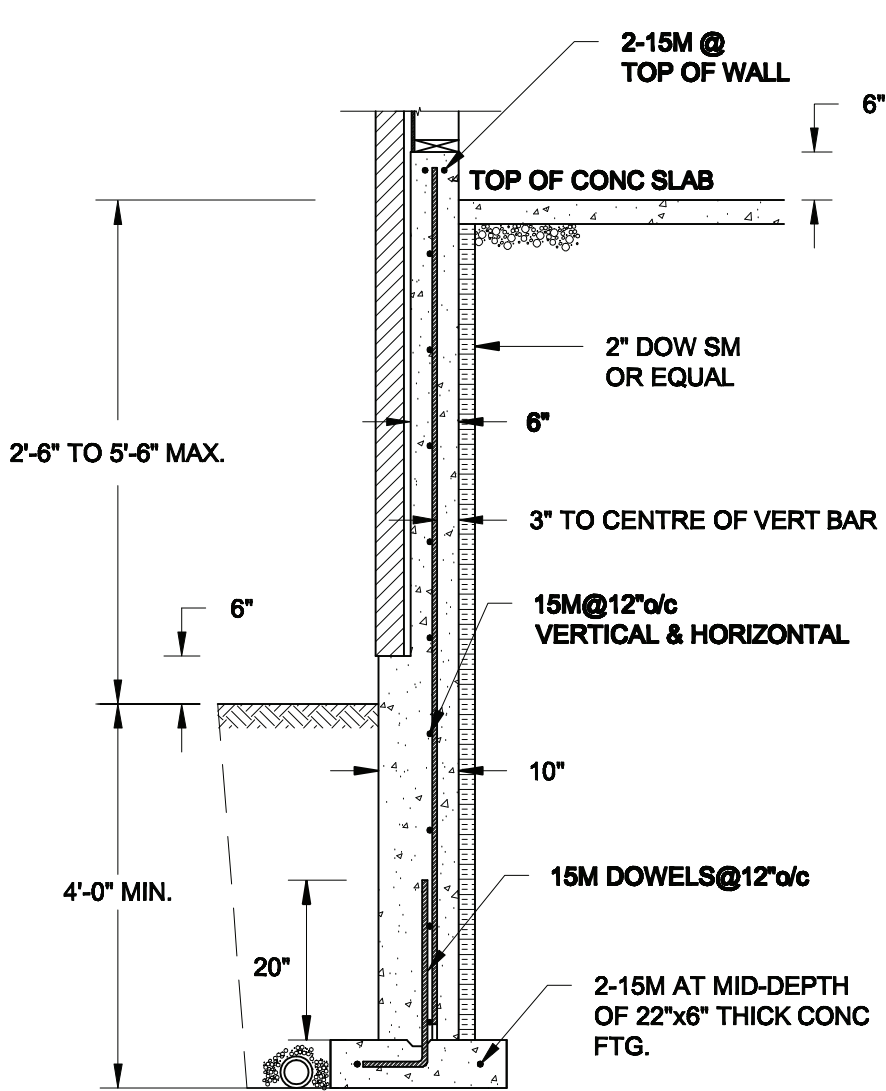
TYPICAL STRUCTURAL DETAILS

Project No.:

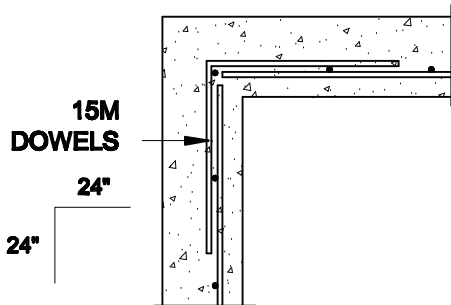
21-038

Drawing No.:

S2



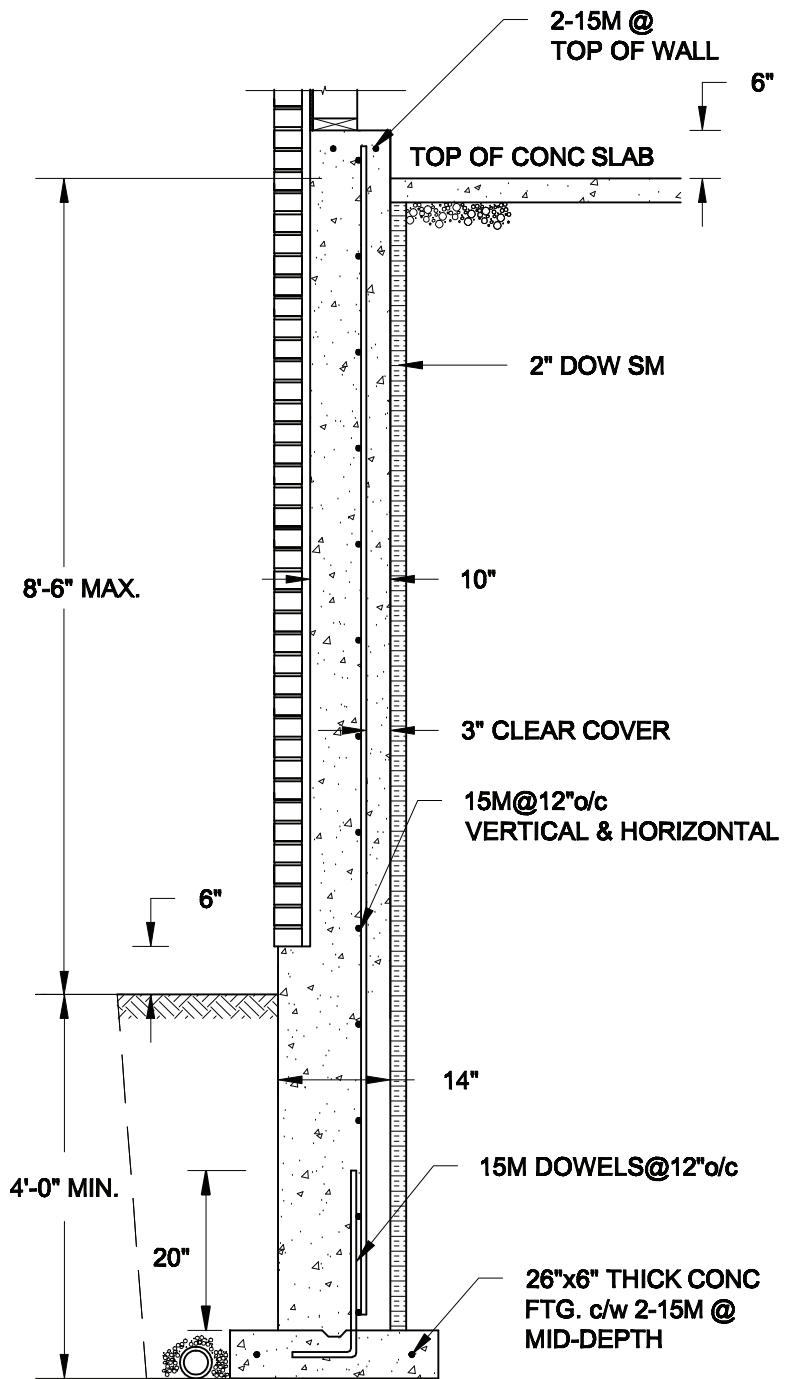
**1A**  
**S3** **REINFORCED BRICKSHELF**  
SCALE: 1/2" = 1' - 0"



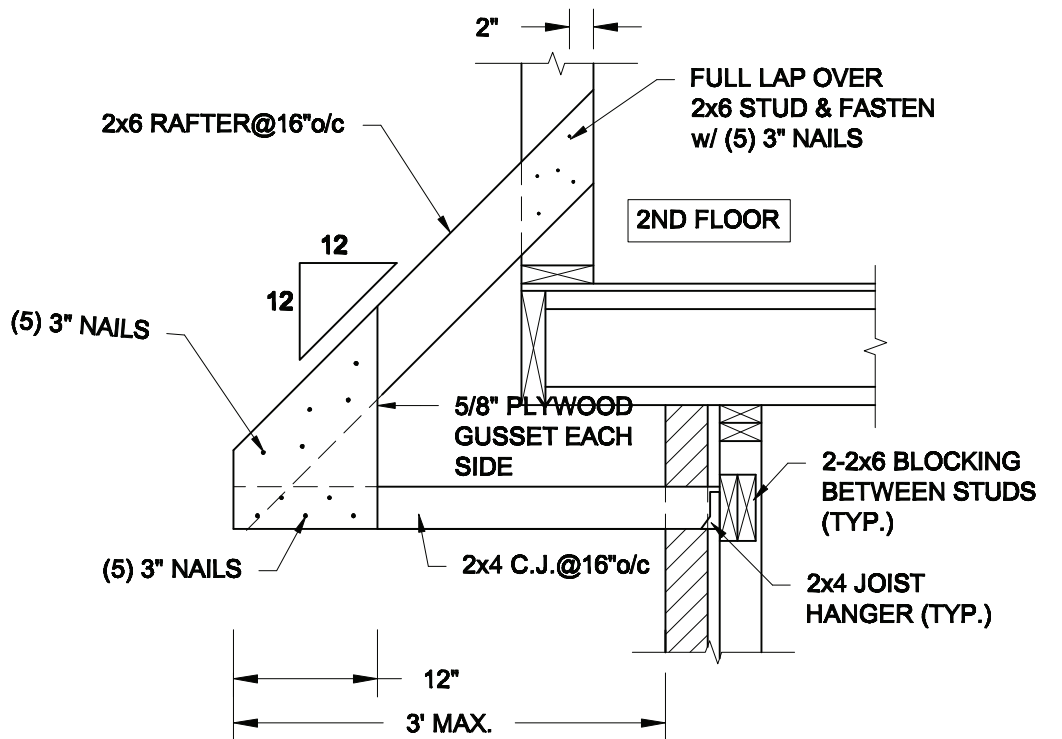
**1C**  
**S3** **PLAN VIEW AT CORNER**  
SCALE: 1/2" = 1' - 0"

**NOTES:**

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



**1B**  
**S3** **REINFORCED BRICKSHELF**  
SCALE: 1/2" = 1' - 0"



**2**  
**S3** **CANOPY ROOF OVER GARAGE**  
SCALE: 3/4" = 1' - 0"

Scale:  
AS NOTED

Date:  
FEB-24-2022

Drawn:  
SC

Checked:  
SJB

**QUAILE ENGINEERING LTD.**



38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaile.eng@rogers.com

Engineer's Seal



FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES  
BRADFORD, ONTARIO**

**TYPICAL STRUCTURAL DETAILS**

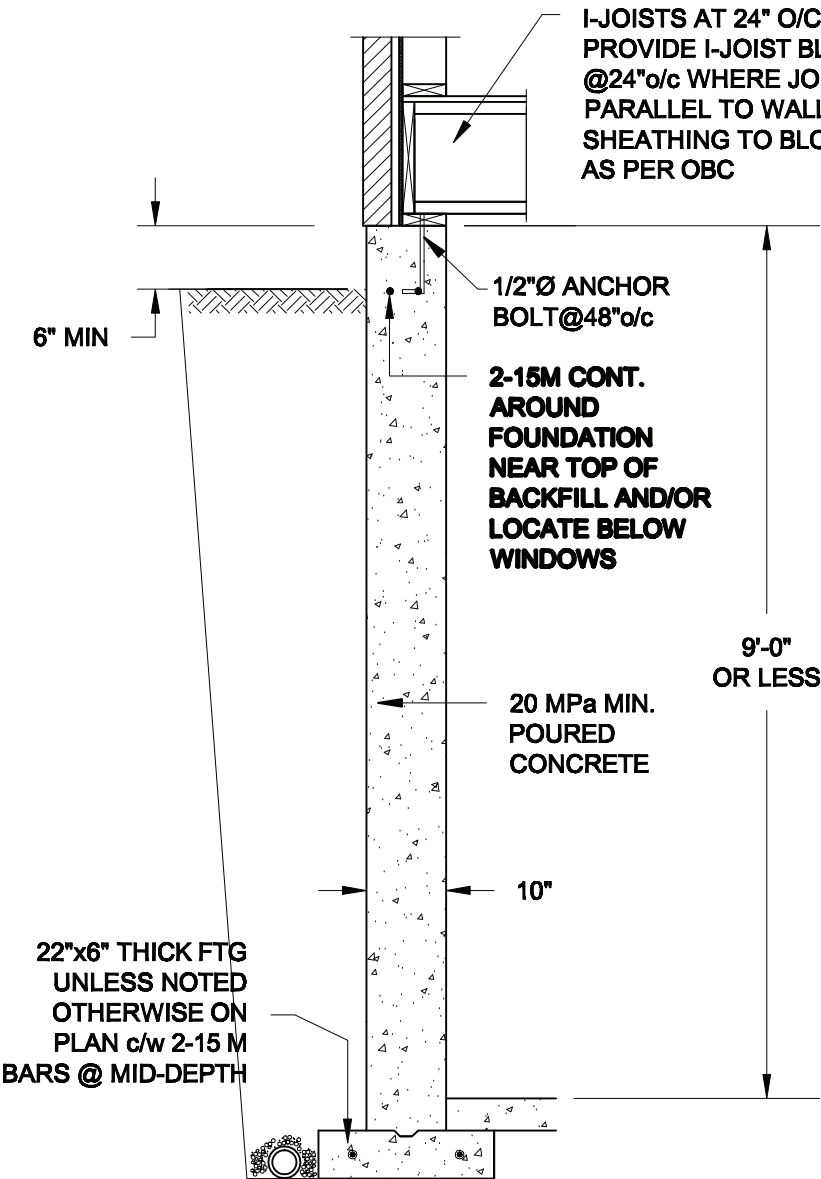
Project No.:

**21-038**

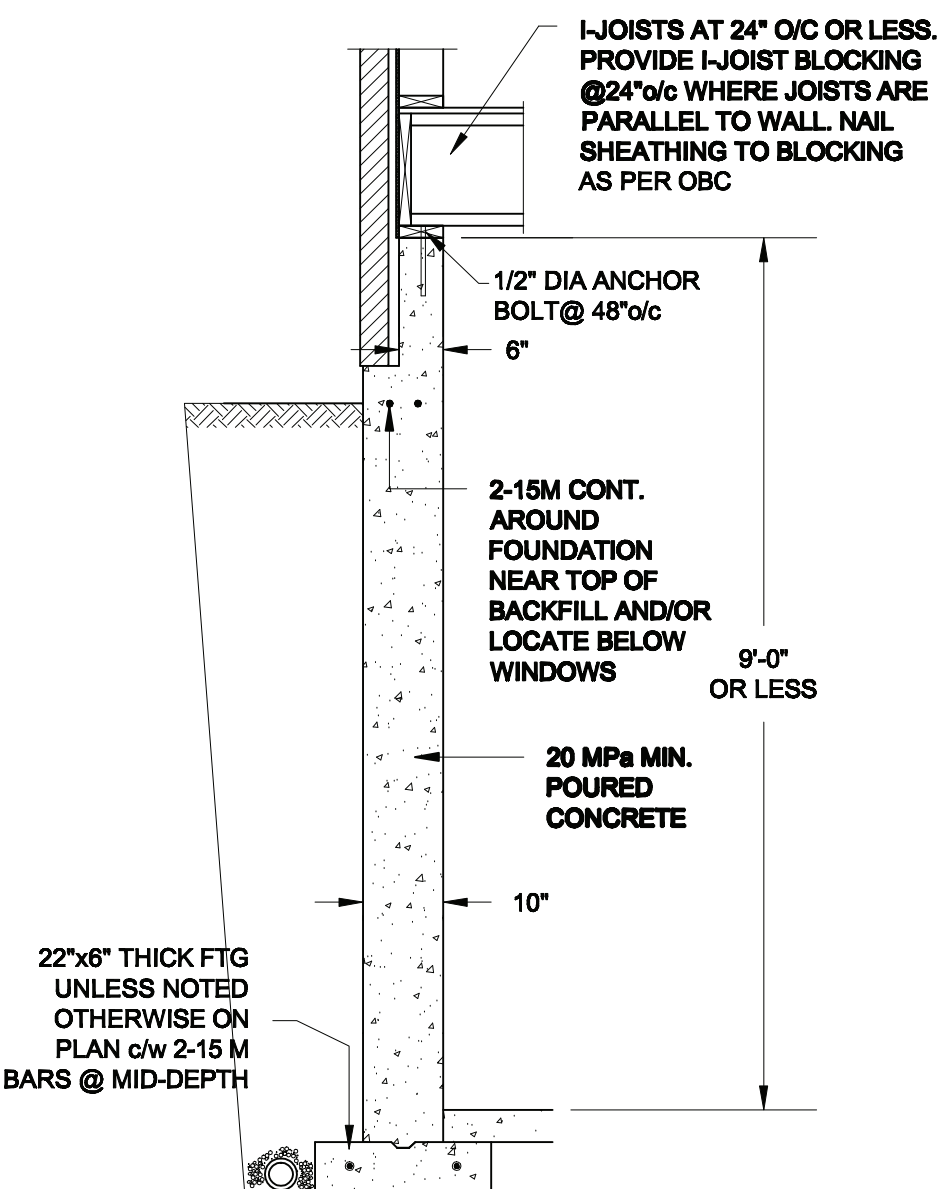
Drawing No.:

**S3**

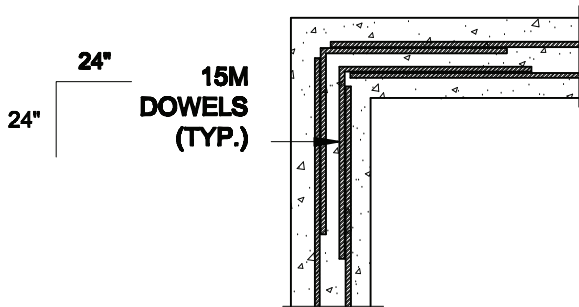




**1A**  
**S4** **FOUNDATION WALL**  
SCALE: 1/2" = 1'-0"



**1B**  
**S4** **DROPPED VENEER**  
SCALE: 1/2" = 1'-0"





**1C**  
**S4** **TYP. PLAN VIEW AT CORNER**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
AT ALL WINDOW OPENINGS,  
PROVIDE 2-15M VERTICALLY  
AT EACH SIDE + 2-15M  
HORIZONTALLY 2" BELOW &  
EXTEND 24" BEYOND OPENING

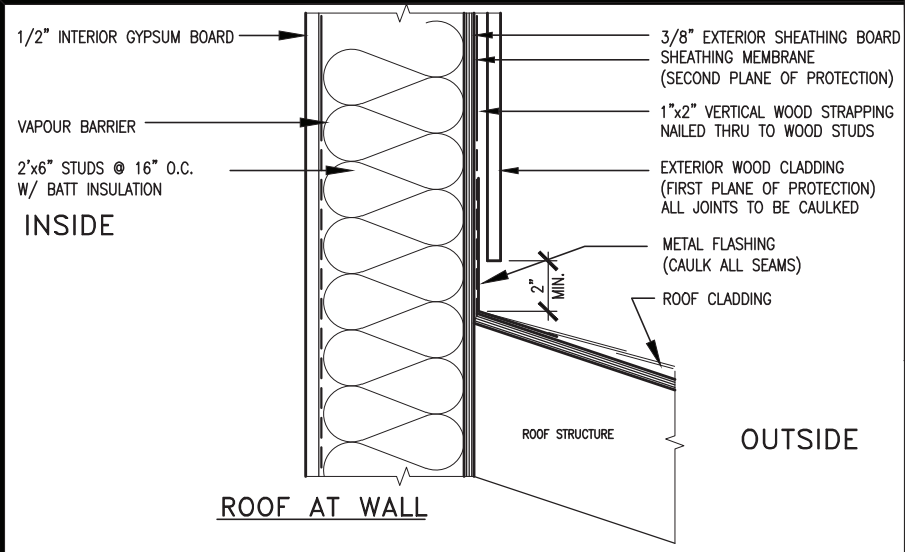
**NOTES:**

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

<b>Scale:</b> AS NOTED		<b>QUAILE ENGINEERING LTD.</b>  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	<b>Engineer's Seal:</b>  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	<b>Project:</b> BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
<b>Date:</b> MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
<b>Drawn:</b> SC	<b>Checked:</b> SJB			<b>Project No.:</b> 21-038	<b>Drawing No.:</b> S4







MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

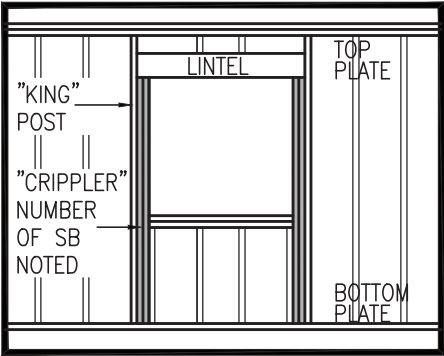
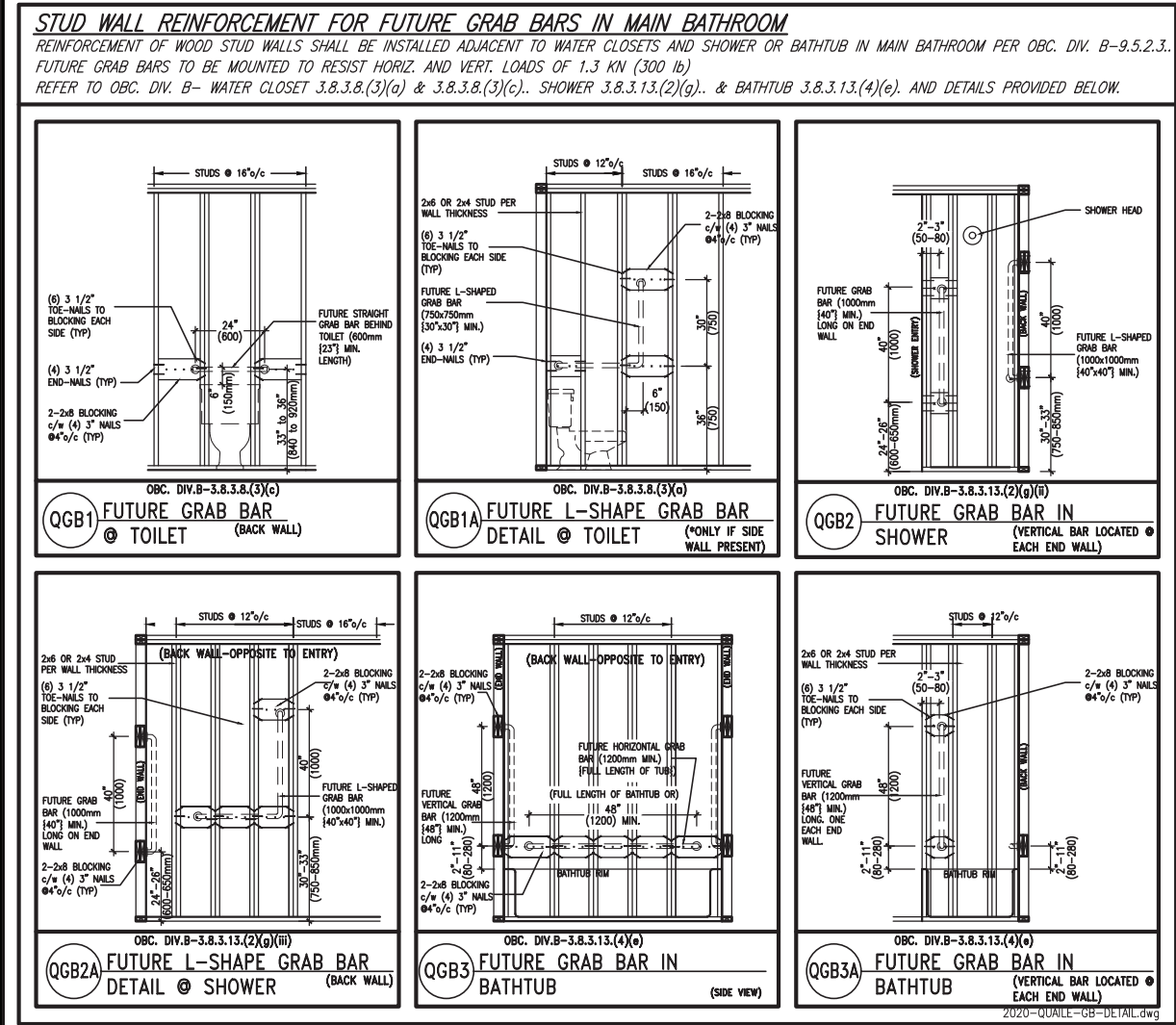
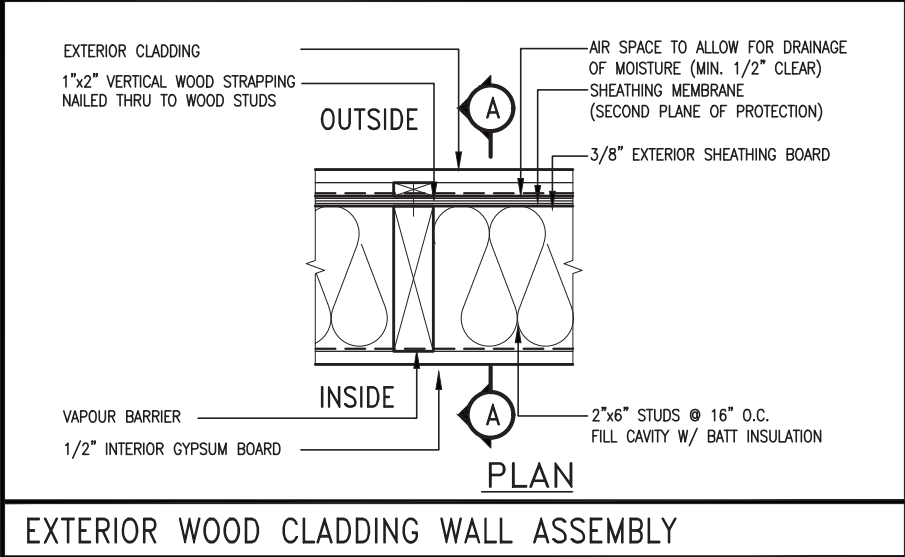
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* STUD INFORMATION TAKEN FROM OBC TABLE A-30



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	name
4	UPDATE TO 2022	JAN 11-22	RC	registration information
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc. 42658
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

**VA3 DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name			municipality	
GREEN VALLEY EAST			BRADFORD	
date			project no.	
MAY 2016			16023	
CONSTRUCTION NOTES			drawing no.	
drawn by			file name	
RC			16023-CN-2022-A1	
checked by			scale	
-			3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM				



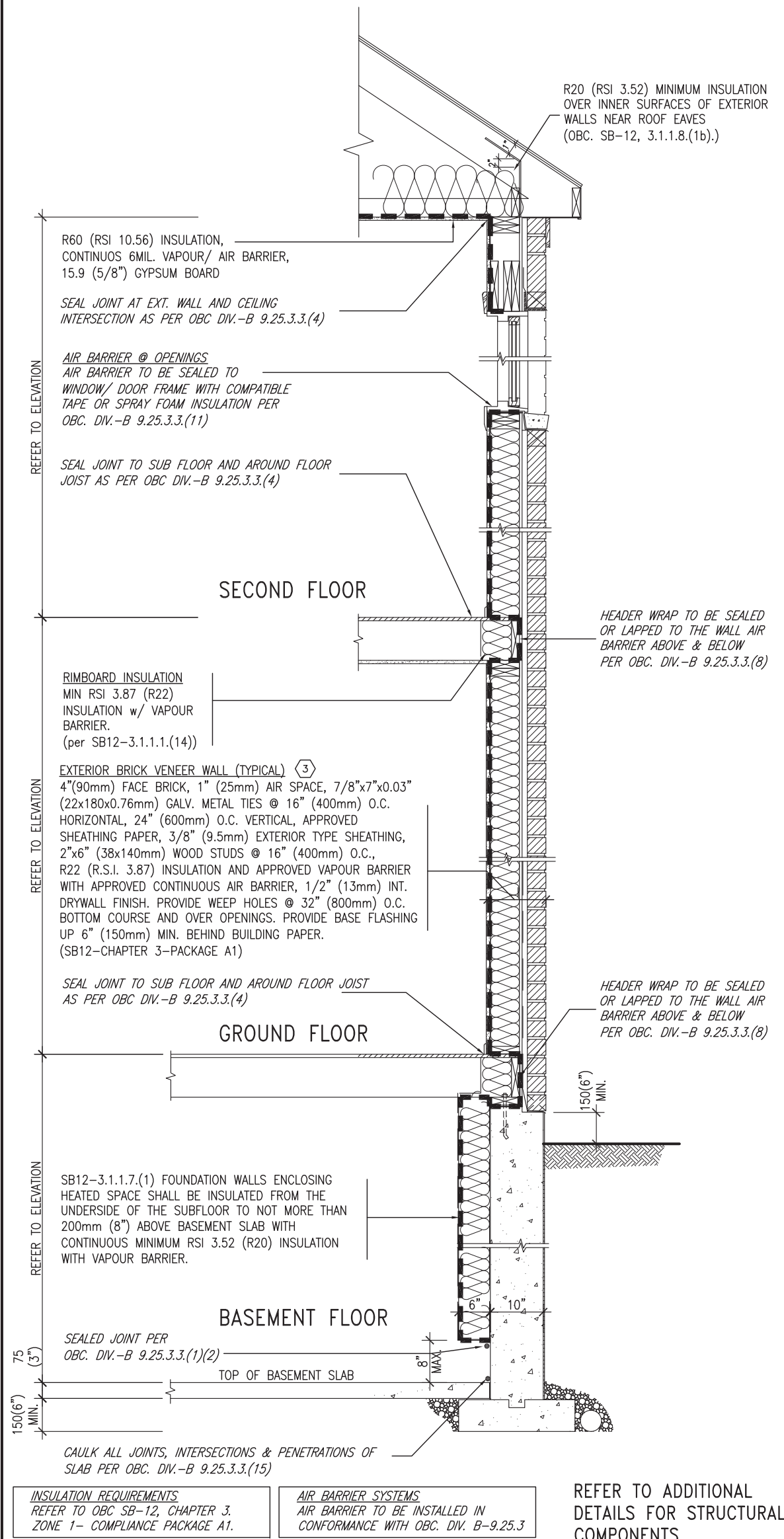








SB12-COMPLIANCE PACKAGE 'A1'



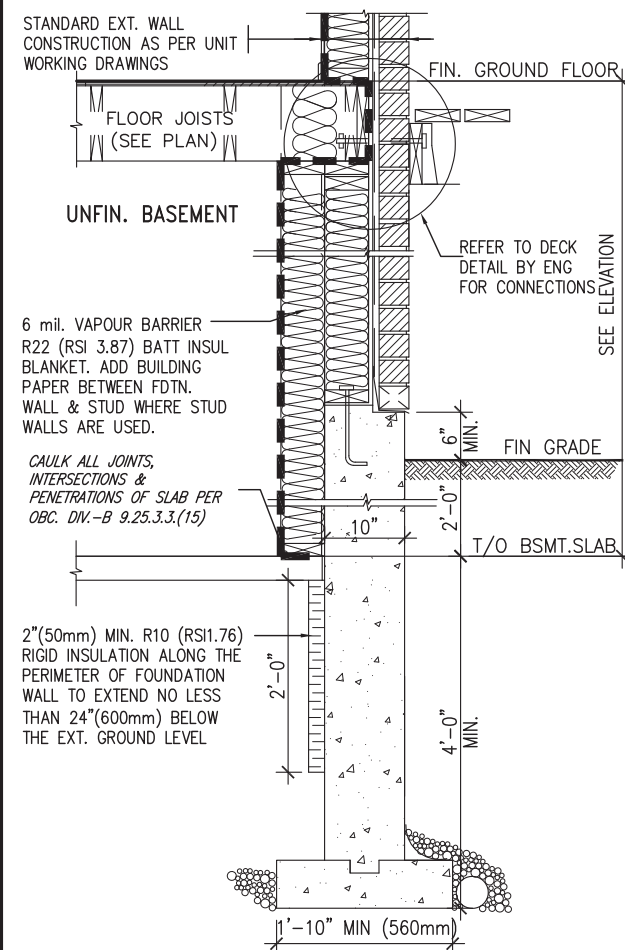
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):


COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

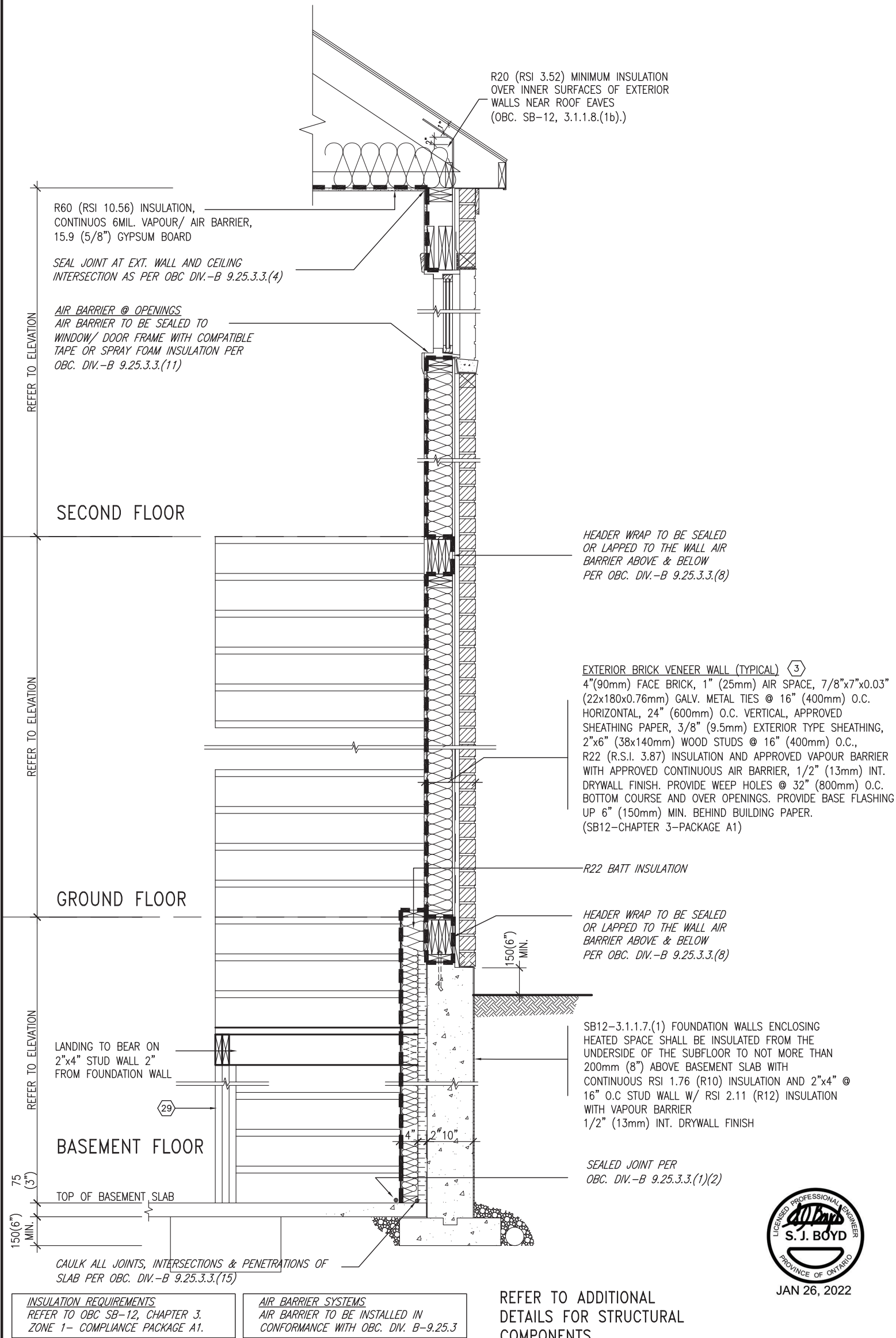


\* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

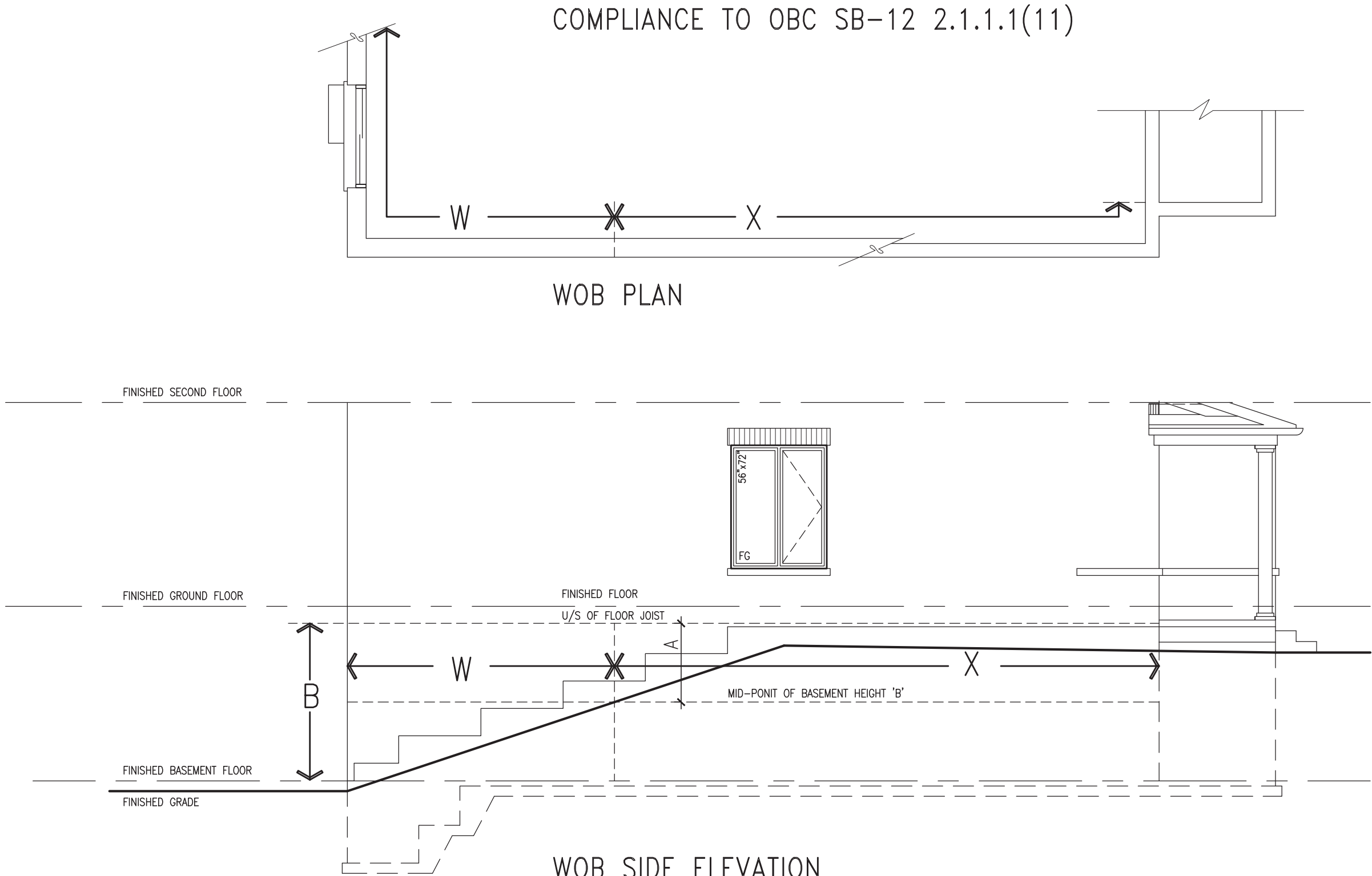
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON	CONST NOTE	
8	.	.	.	qualification information				
7	.	.	.	Wellington Jno-Baptiste 25591				
6	.	.	.	signature				
5	.	.	.	name	BCIN	project name	project no.	
4	UPDATE TO 2022	JAN 11-22	RC	registration information	42658	GREEN VALLEY EAST	BRADFORD	16023
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.		CONSTRUCTION NOTES		drawing no.
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	file name		CN6
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			16023-CN-2022-A1		
no.	description	date	by			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:08 PM		

SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>signature</div> <div>BCIN</div> <div>42658</div>	<div>VA3</div> <div>DESIGN</div> <div>255 Consumers Rd Suite 120</div> <div>Toronto ON M2J 1R4</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	.			project name		project no.	
7	.	.	.			GREEN VALLEY EAST		16023	
6	.	.	.			municipality		BRADFORD	
5	.	.	.			date		CONSTRUCTION NOTES	
4	UPDATE TO 2022	JAN 11-22	RC	MAY 2016		drawing no.			
3	UPDATE TO 2020	FEB 24-20	RC	drawn by		file name			
2	UPDATE TO 2018	JAN 11-18	RC	checked by		16023-CN-2022-A1			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	scale		CN7			
no.	description	date	by	RC		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	.	.	.
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

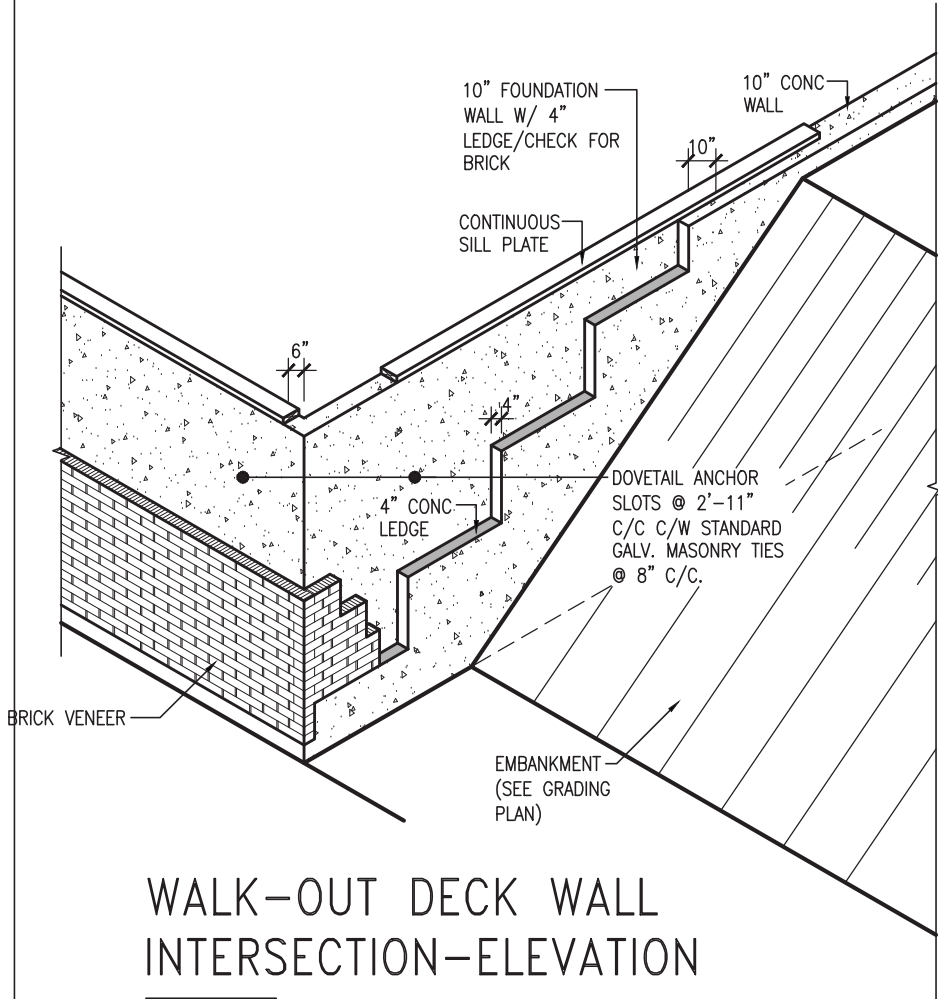
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN8
CONSTRUCTION NOTES			
drawn by	checked by	scale	file name
RC	-	3/16" = 1'-0"	16023-CN-2022-A1
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BAYVIEW WELLINGTON

CONST NOTE

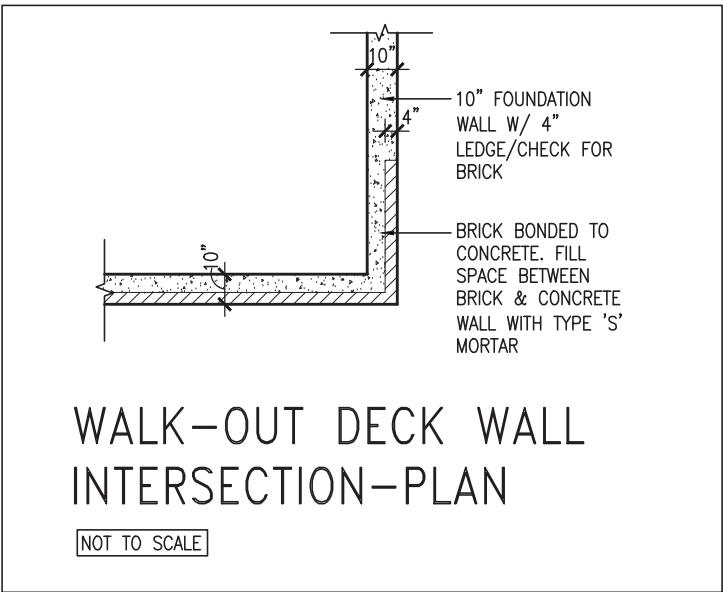




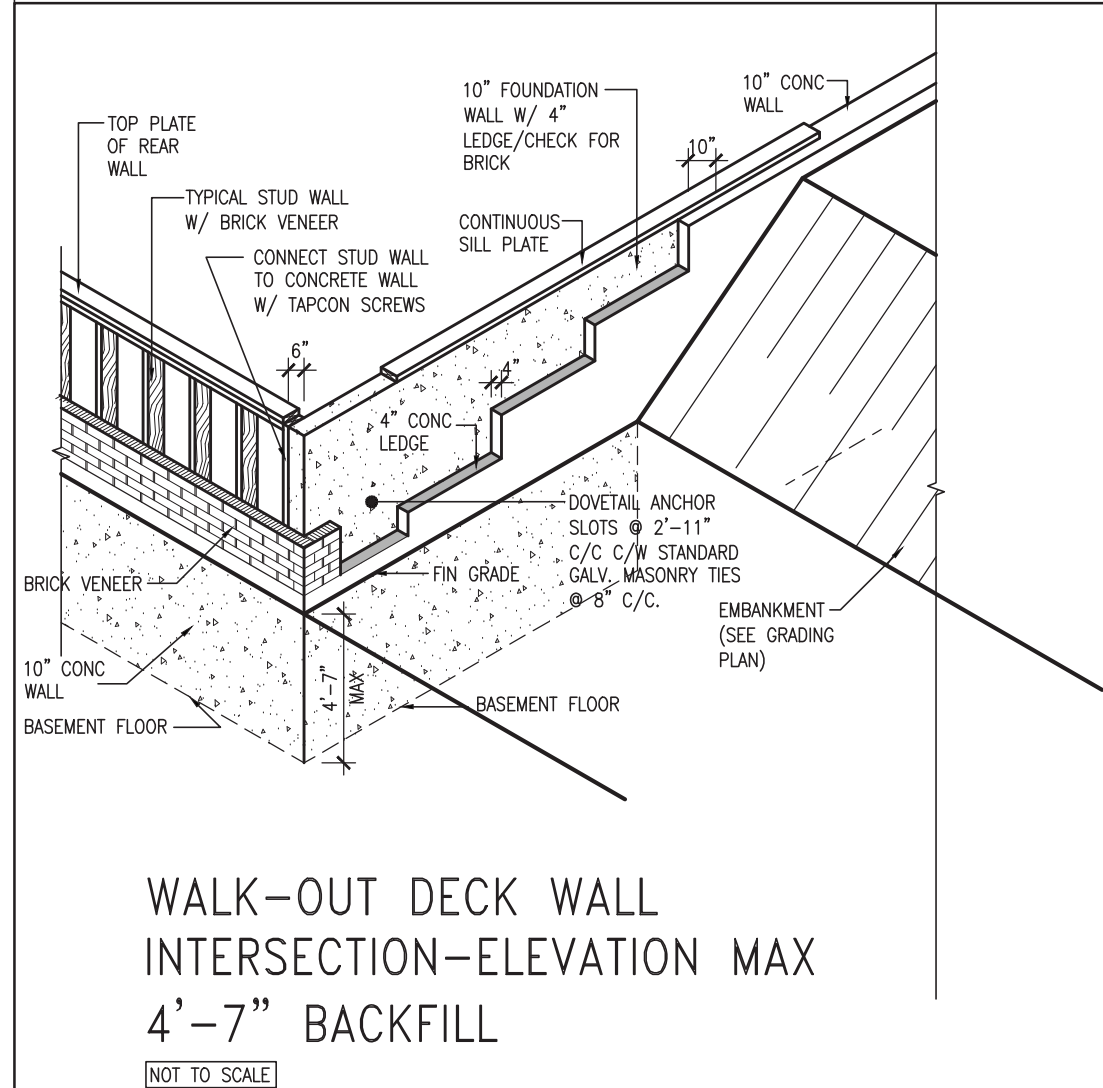


WALK-OUT DECK WALL INTERSECTION-ELEVATION

NOT TO SCALE

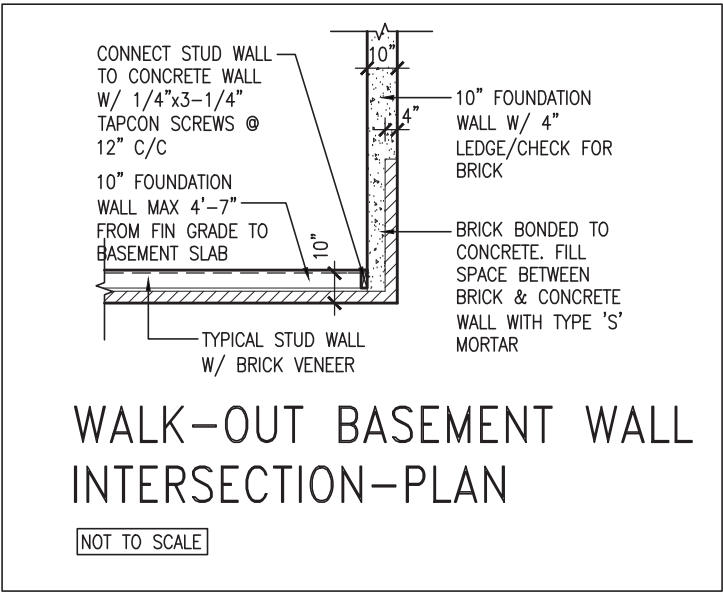


(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



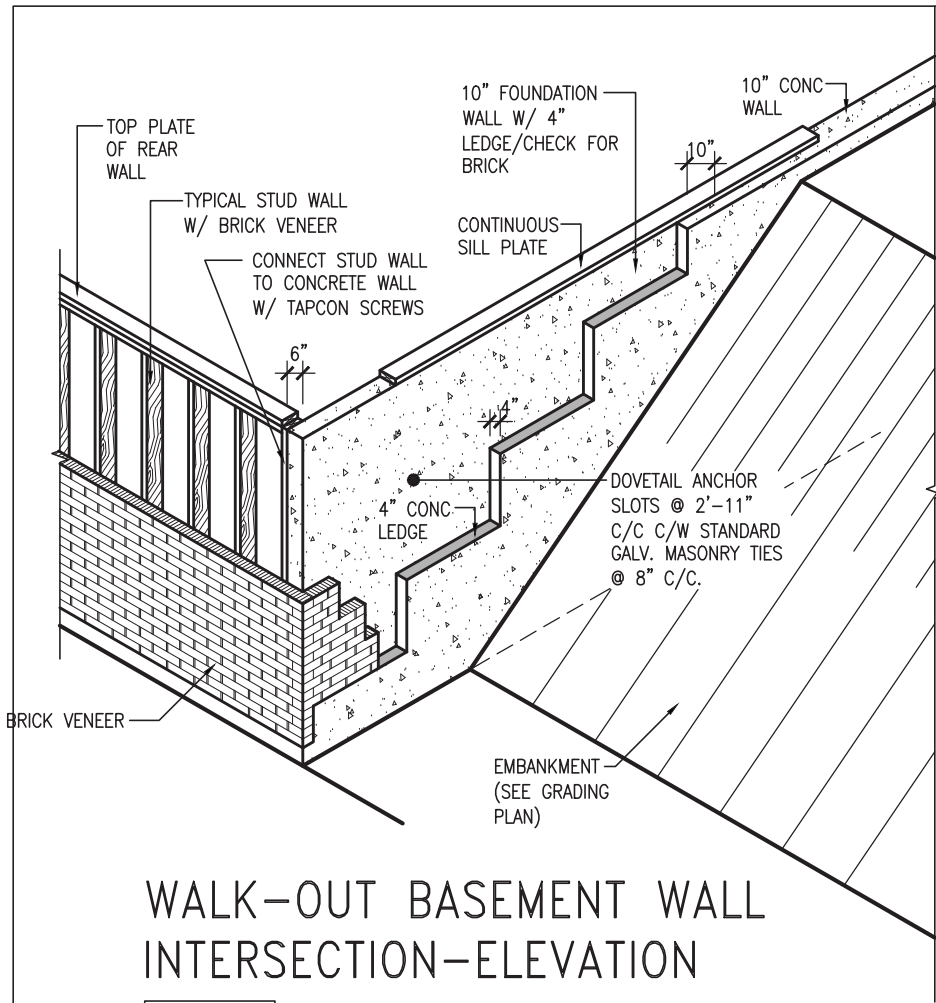
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4.	UPDATE TO 2022	JAN 11-22	RC
3.	UPDATE TO 2020	FEB 24-20	RC
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

**VA3**  
**DESIGN**

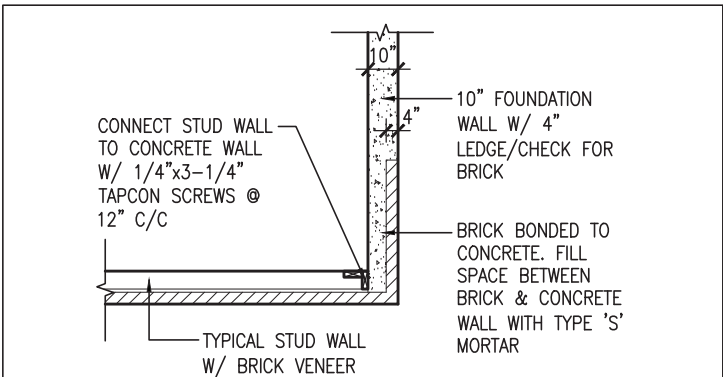
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	scale	3/16" = 1'-0"
drawn by	RC	checked by	-
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		drawing no.	CN10



WALK-OUT BASEMENT WALL  
INTERSECTION-ELEVATION

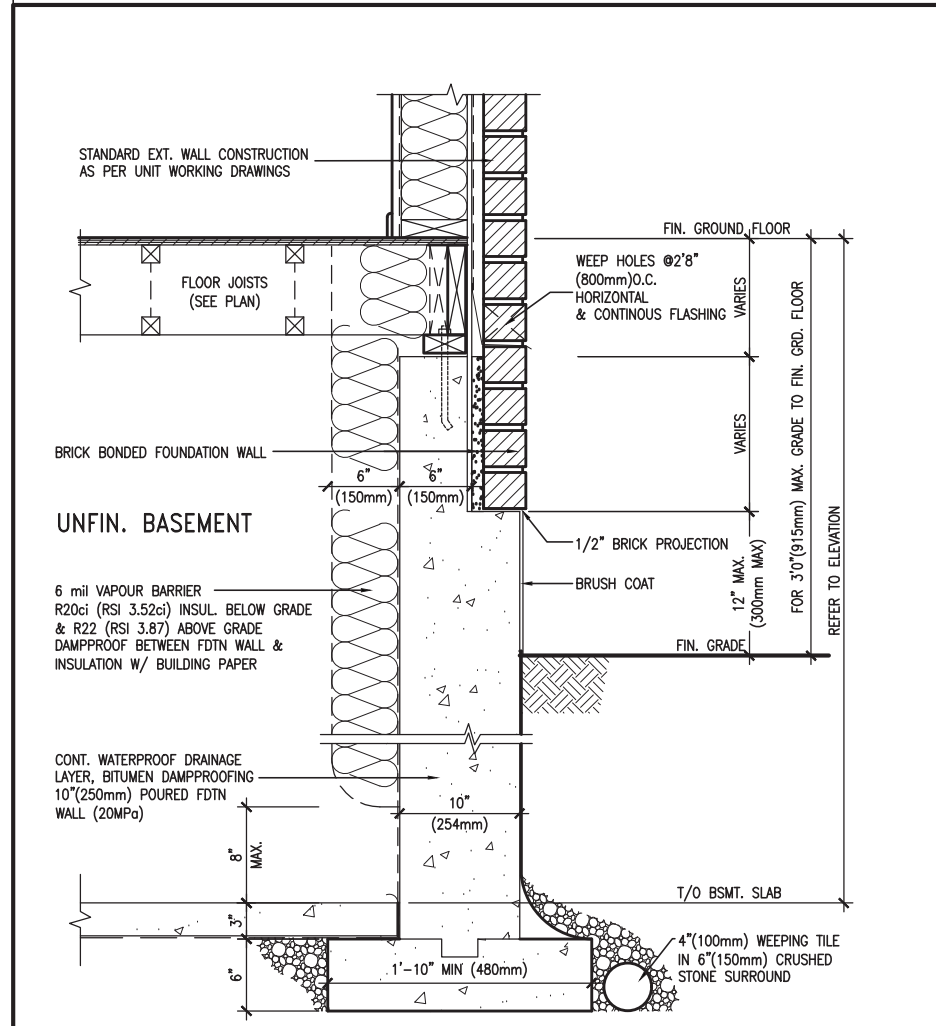
NOT TO SCALE



WALK-OUT BASEMENT WALL  
INTERSECTION-PLAN

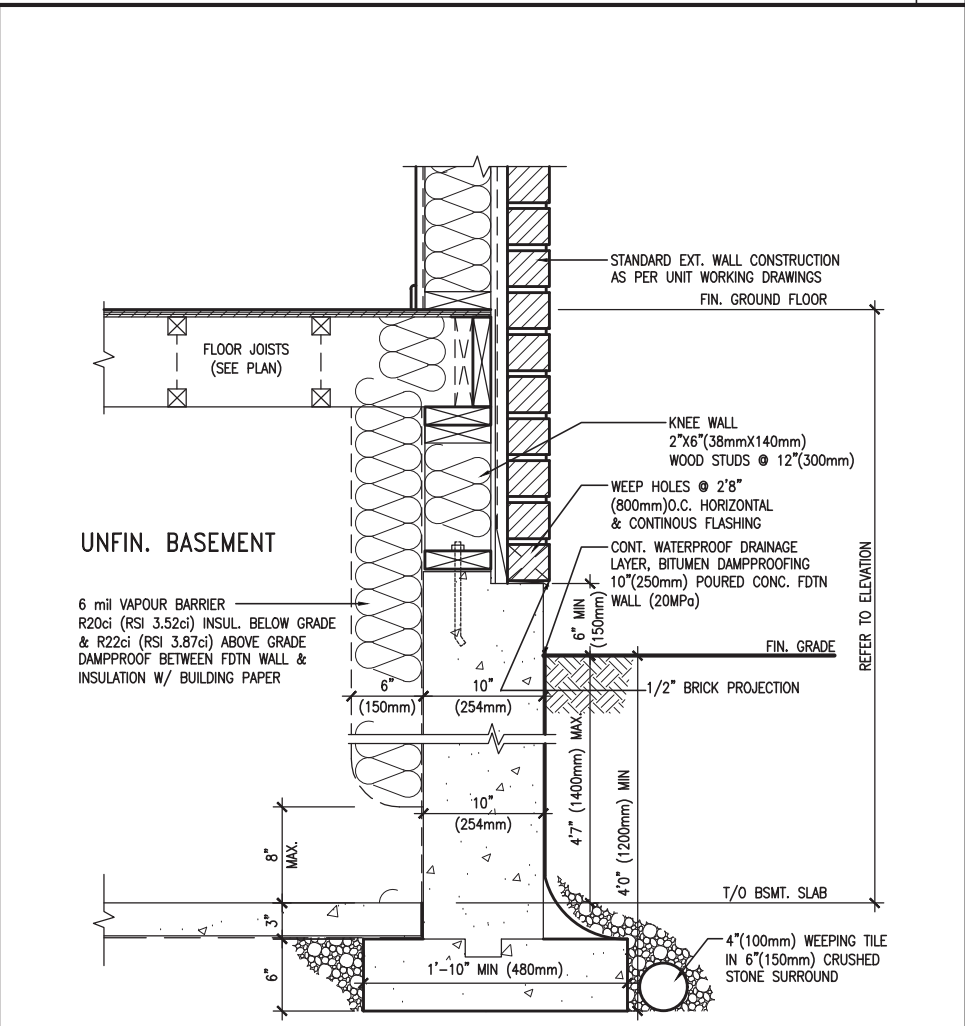
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.  
FLOOR MORE THAN 4'7" (1400mm)  
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT  
SLAB 4'7" (1400mm)  
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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qualification information		
Wellington Jno-Baptiste	signature	25591
name	BCIN	
registration information		42658
VA3 Design Inc.		
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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	file name
drawn by	RC		3/16" = 1'-0"	16023-CN-2022-A1	CN11
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PREFIN. METAL ROOF  
CAP OVER WATERPROOF  
MEMBRANE

5/8" T&G PLYWOOD  
SHEATHING ON 2"x4"  
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED  
STANLEY CORNER BRACE  
C/W (4) No. 10x1 1/2"  
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA  
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER  
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/  
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU  
LVL/WOOD BEAM (SEE UNIT PLANS) W/  
1/2" Ø BOLTS STAGGERED @ 24" O.C.  
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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4	UPDATE TO 2022	JAN 11-22	RC
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information		42658	
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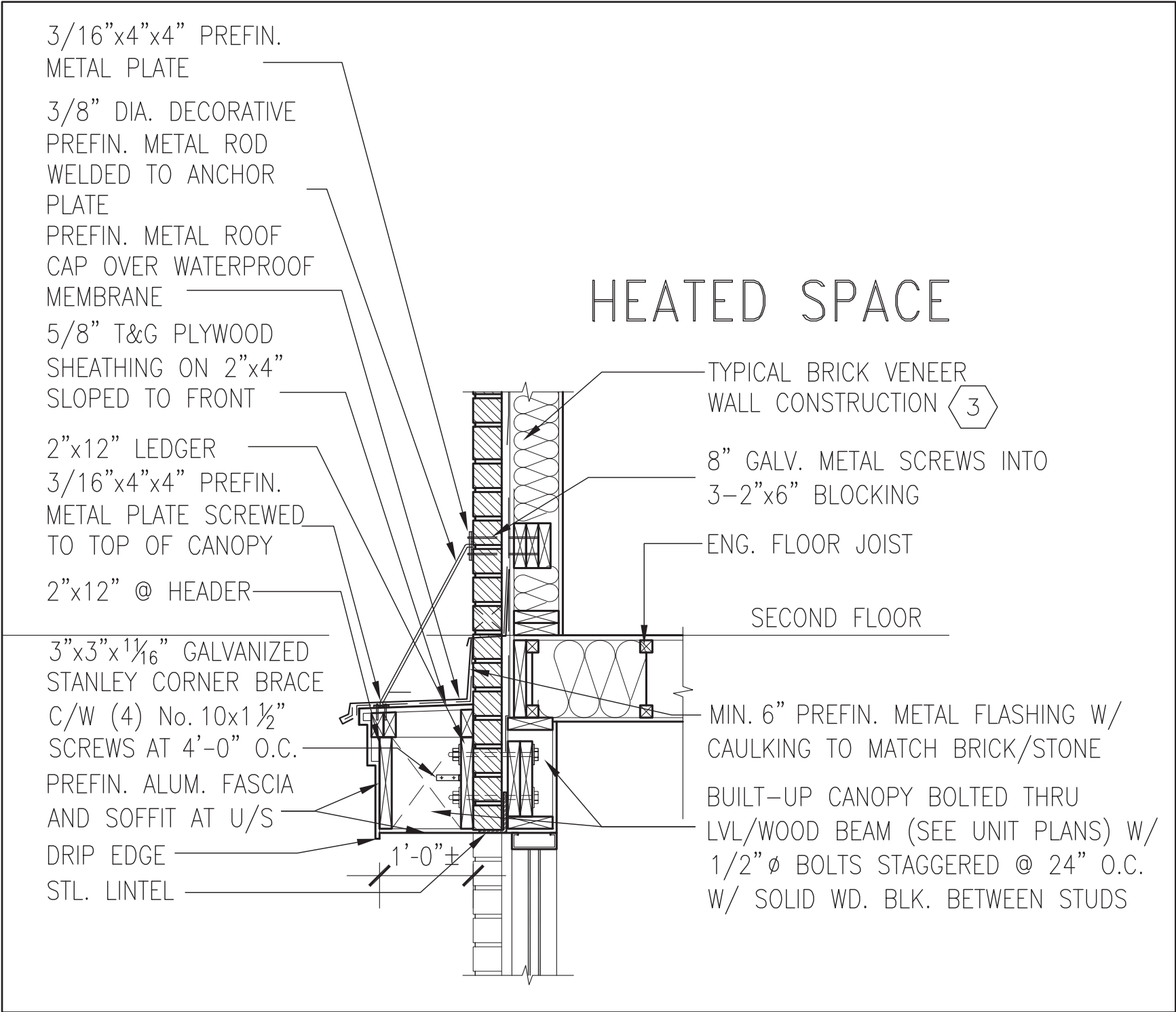
**VA3**  
**DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
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CONST NOTE


project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	RC	file name	16023-CN-2022-A1	drawing no.	CN12
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1  
CN13

SECTION THROUGH CANOPY  
W/ DECORATIVE ROD  
SCALE 1/2" = 1'-0"



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	-	-	-	qualification information		project name		project no.	
7	-	-	-	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023	
6	-	-	-	name		municipality		BRADFORD	
5	-	-	-	registration information		date		CONSTRUCTION NOTES	
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc.	MAY 2016	file name		16023-CN-2022-A1	
3	UPDATE TO 2020	FEB 24-20	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	drawn by	checked by	scale	drawing no.	CN13
2	UPDATE TO 2018	JAN 11-18	RC		RC	-	3/16" = 1'-0"		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				
no.	description		date	by					

3/16"x4"x4" PREFIN.  
METAL PLATE

3/8" DIA. DECORATIVE  
PREFIN. METAL ROD  
WELDED TO ANCHOR  
PLATE

PREFIN. METAL ROOF  
CAP OVER WATERPROOF  
MEMBRANE

5/8" T&G PLYWOOD  
SHEATHING ON 2"x4"  
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.  
METAL PLATE SCREWED  
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED  
STANLEY CORNER BRACE  
C/W (4) No. 10x1 1/2"  
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA  
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO  
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING  
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO  
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE  
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"  
O.C. DIAGONALLY CUT CROSS  
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/  
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU  
LVL/WOOD BEAM (SEE UNIT PLANS) W/  
1/2" Ø BOLTS STAGGERED @ 24" O.C.  
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

## SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



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8	.	.	.	qualification information			
7	.	.	.	Wellington Jno-Baptiste 25591			
6	.	.	.	signature			
5	.	.	.	BCIN			
4	UPDATE TO 2022	JAN 11-22	RC	registration information	42658	project name	project no.
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.		GREEN VALLEY EAST	16023
2	UPDATE TO 2018	JAN 11-18	RC			BRADFORD	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
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date	MAY 2016	checked by	scale	3/16" = 1'-0"	file name	16023-CN-2022-A1	drawing no.	CN14
drawn by	RC							
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