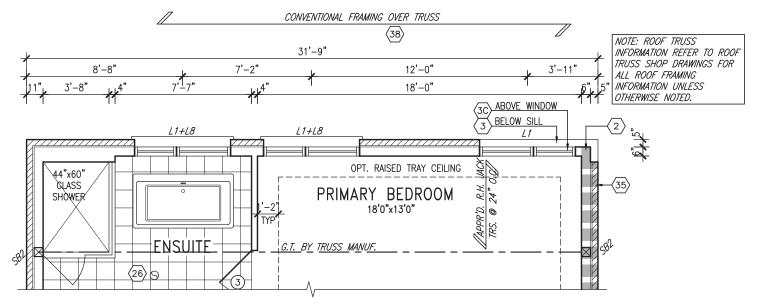


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

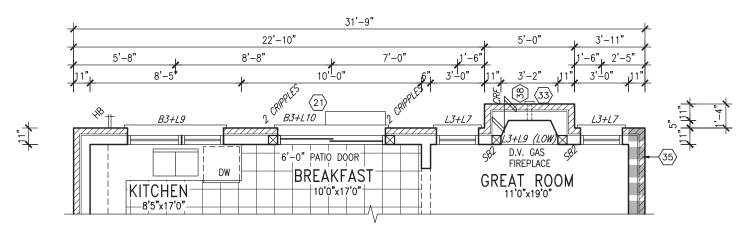
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.



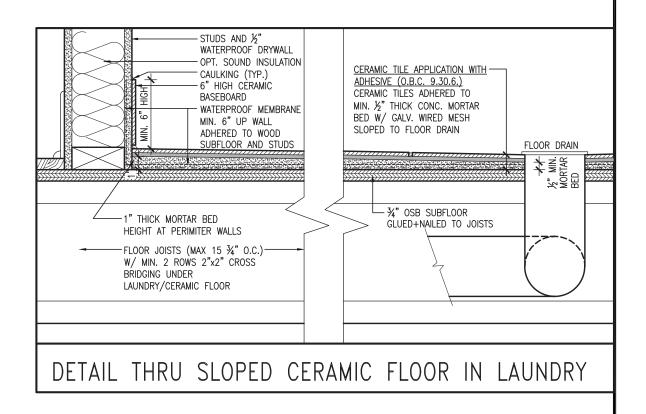
PART. SECOND FLOOR
PLAN 'C' @ REAR
(UPGRADED CONDITION)



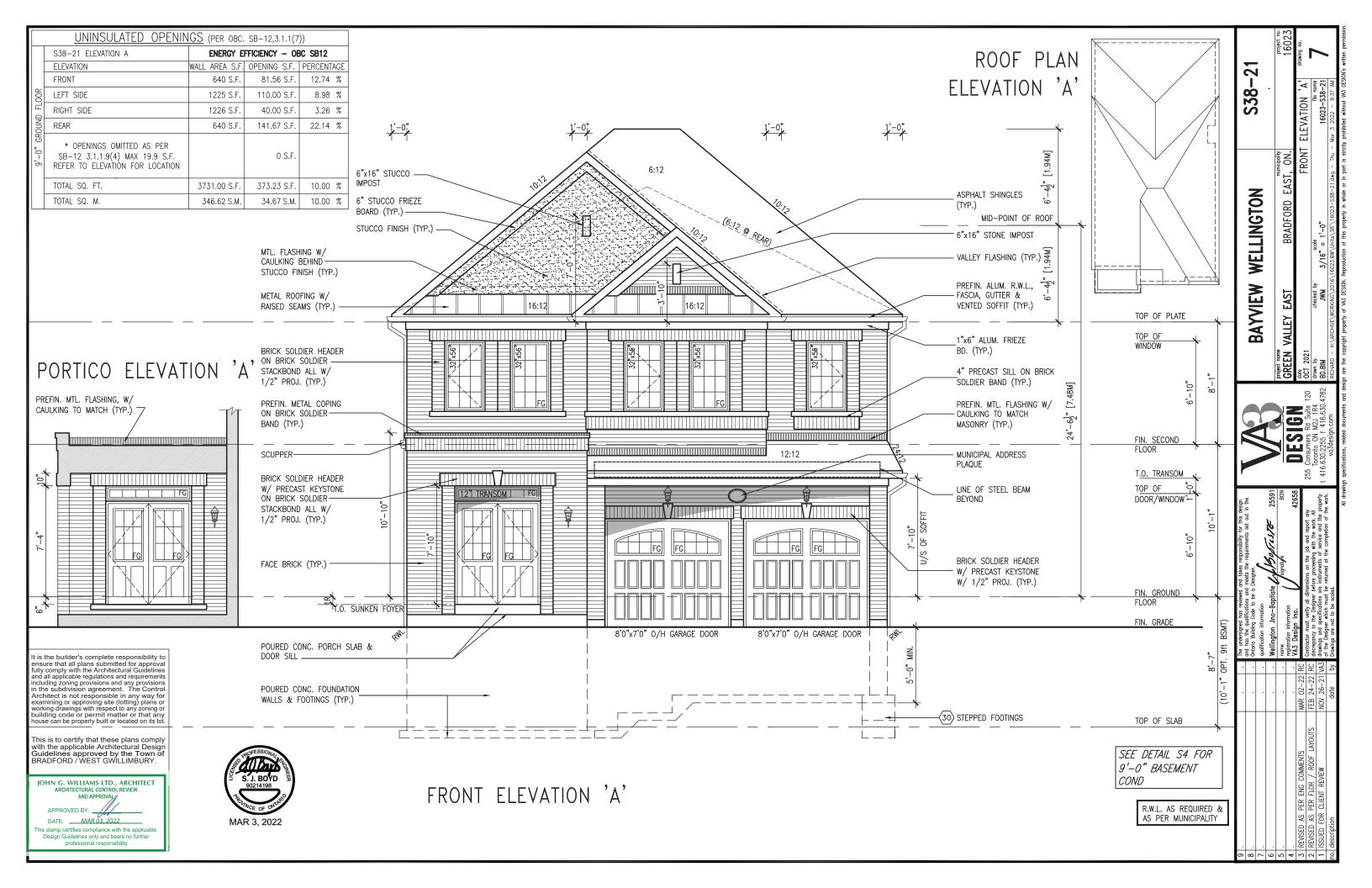
PART. GROUND FLOOR PLAN 'C' @ REAR (UPGRADED CONDITION)

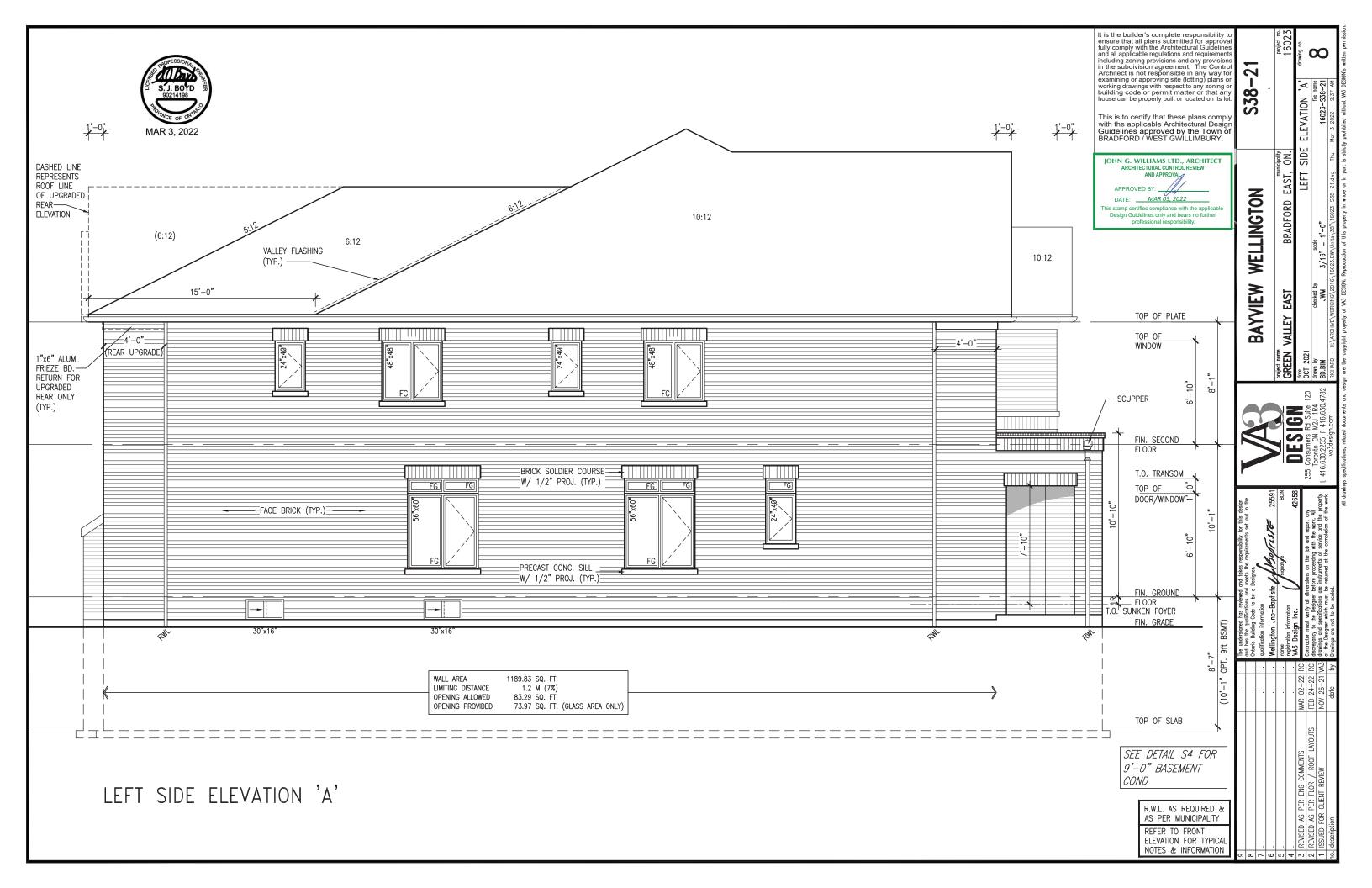


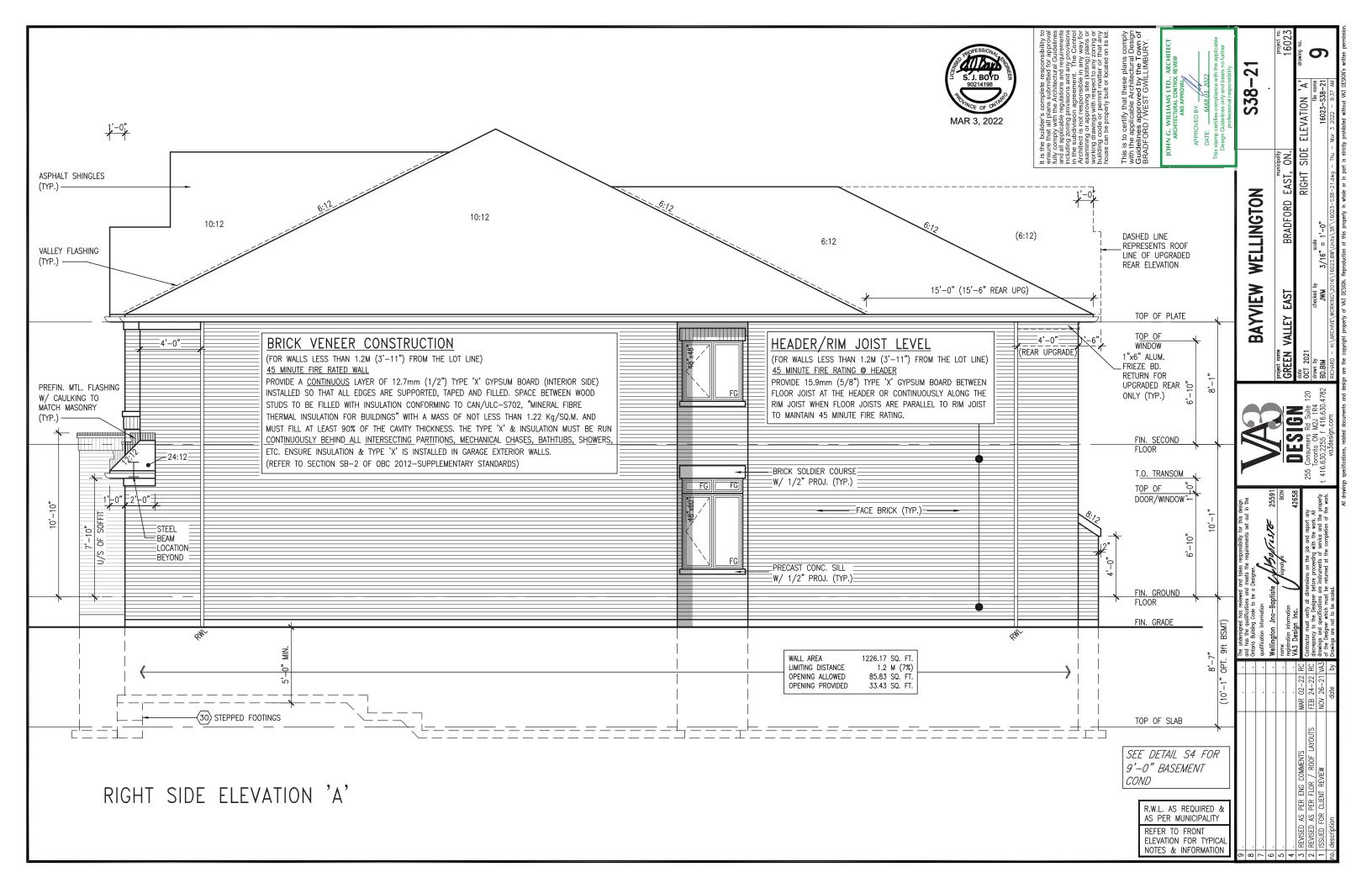
ARI	EA CALCULATI	IONS	
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1525.2 SF	1525.2 SF	1525.2 SF
SECOND FLOOR AREA	1935.2 SF	1941.7 SF	1932.7 SF
SUBTOTAL	<b>3460.4</b> SF	<b>3466.9</b> SF	<b>3457.9</b> SF
DEDUCT ALL OPENINGS	0 SF	0 SF	0 SF
TOTAL NET AREA	3460 SF	3467 SF	3458 SF
	321.5 m2	322.1 m2	321.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	3460 SF	3467 SF	3458 SF
W/ FIN BSMT	321.5 m2	<b>322.1</b> m2	321.3 m2
COVERAGE W/O PORCH	1941.9 SF	1948.4 SF	1944.9 SF
	180.4 m2	181.0 m2	180.7 m2
COVERAGE W/PORCH	2026.5 SF	2033.0 SF	2017.6 SF
	188.3 m2	188.9 m2	187.4 m2

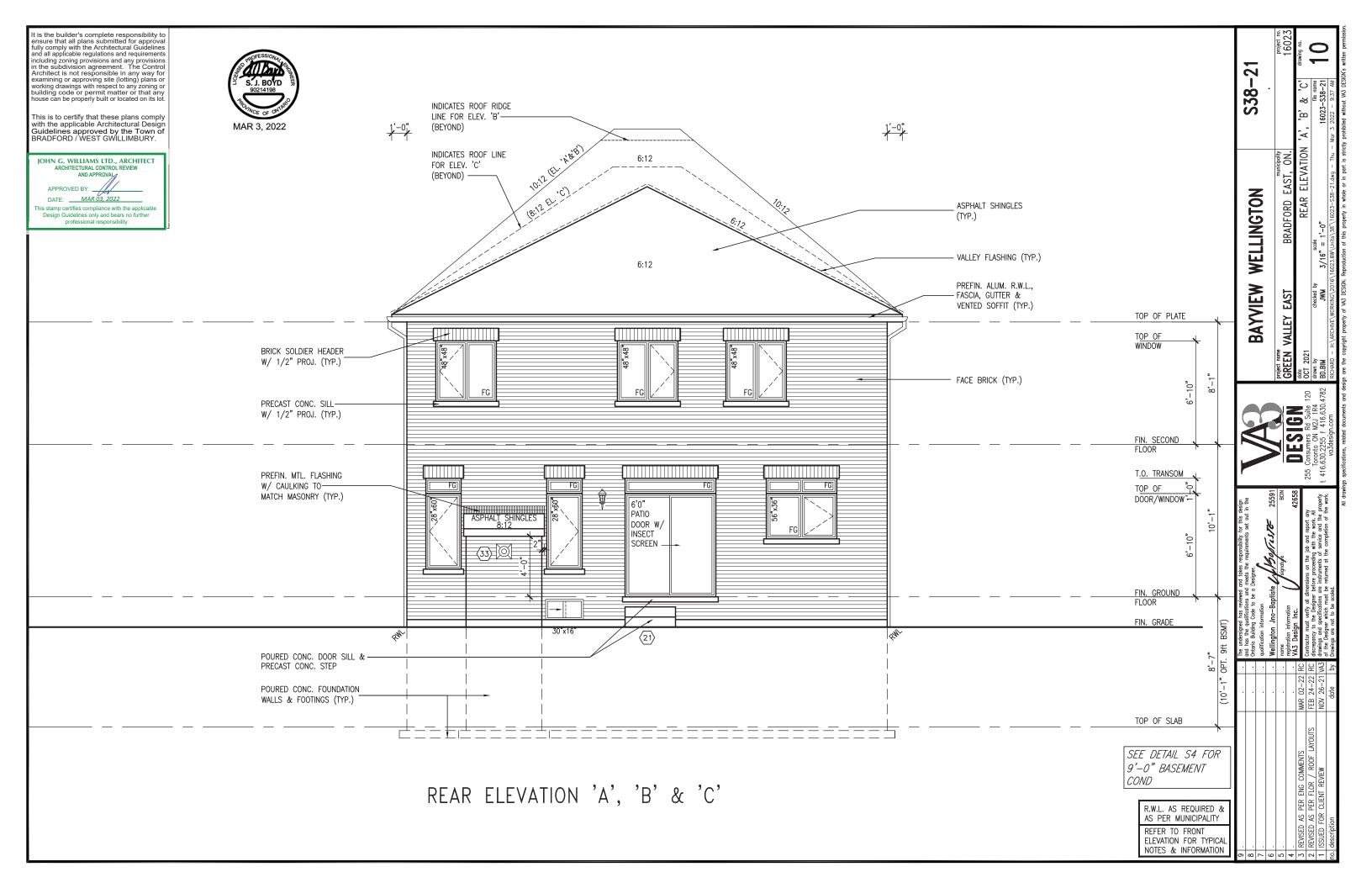


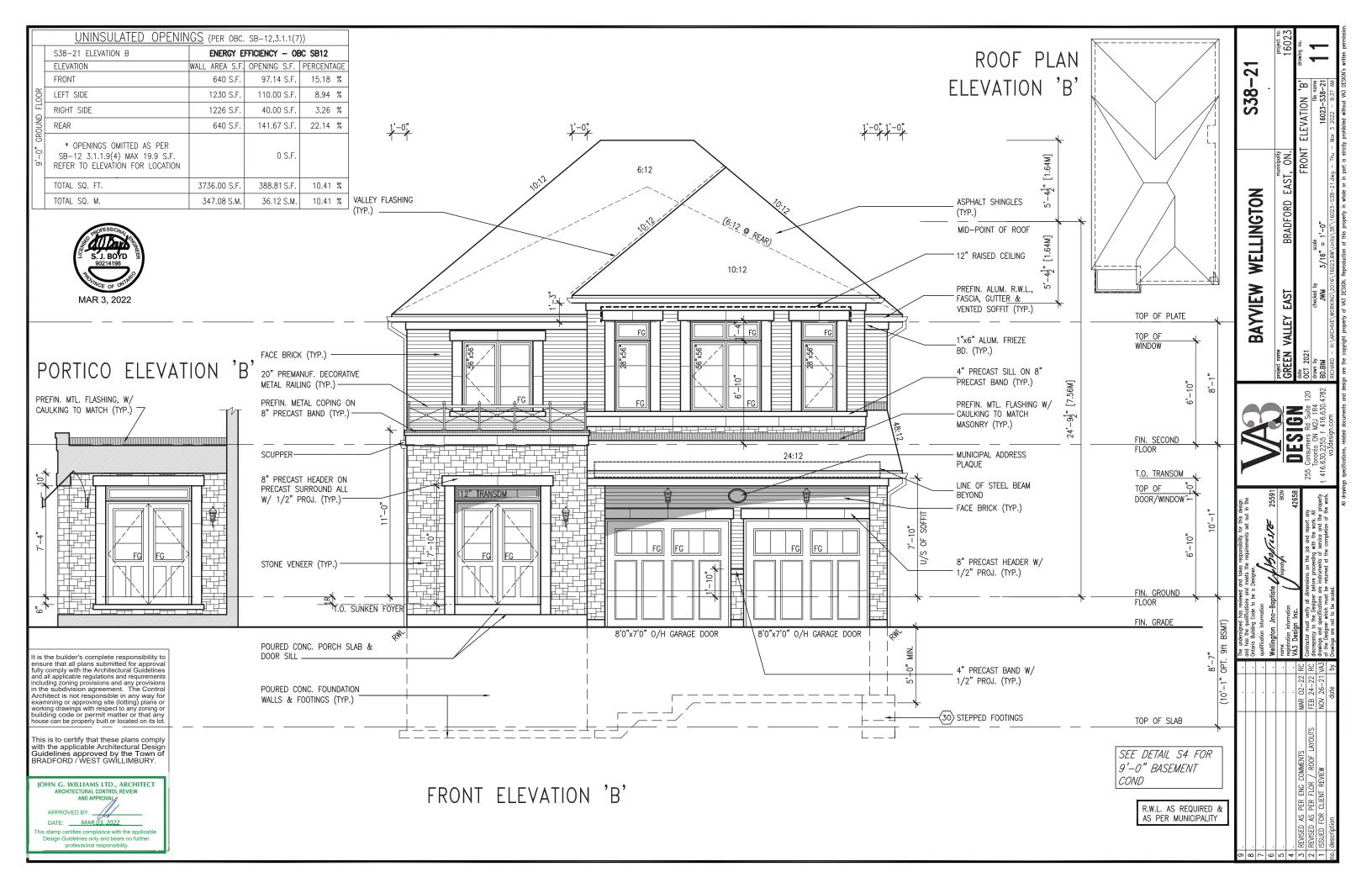
INDICATES REDUCED S	IDE YARD COND	TION	_	-		
9 . 8 . 7 . 6 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information  Wellington Jno-Baptiste		BAYVIEW	WELLINGTON	S38-21
5 .		name signature signature BC PC	DECION	GREEN VALLEY EAST	BRADFORD EAST, ON.	project no. 16023
3 REVISED AS PER ENG COMMENTS 2 REVISED AS PER FLOR / ROOF LAYOUTS	MAR 02-22 RC FEB 24-22 RC	Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120	date   OCT 2021     drawn by   checked by	PARTIAL PLANS 'C' (UPGRAD	ED CONDITION)  file name  drawing no.
1 ISSUED FOR CLIENT REVIEW no. description		drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		BD.BIM JWM	3/16" = 1'-0" 6\16023.BW\Units\38'\16023-S38-21.dwg - Thu -	16023-S38-21

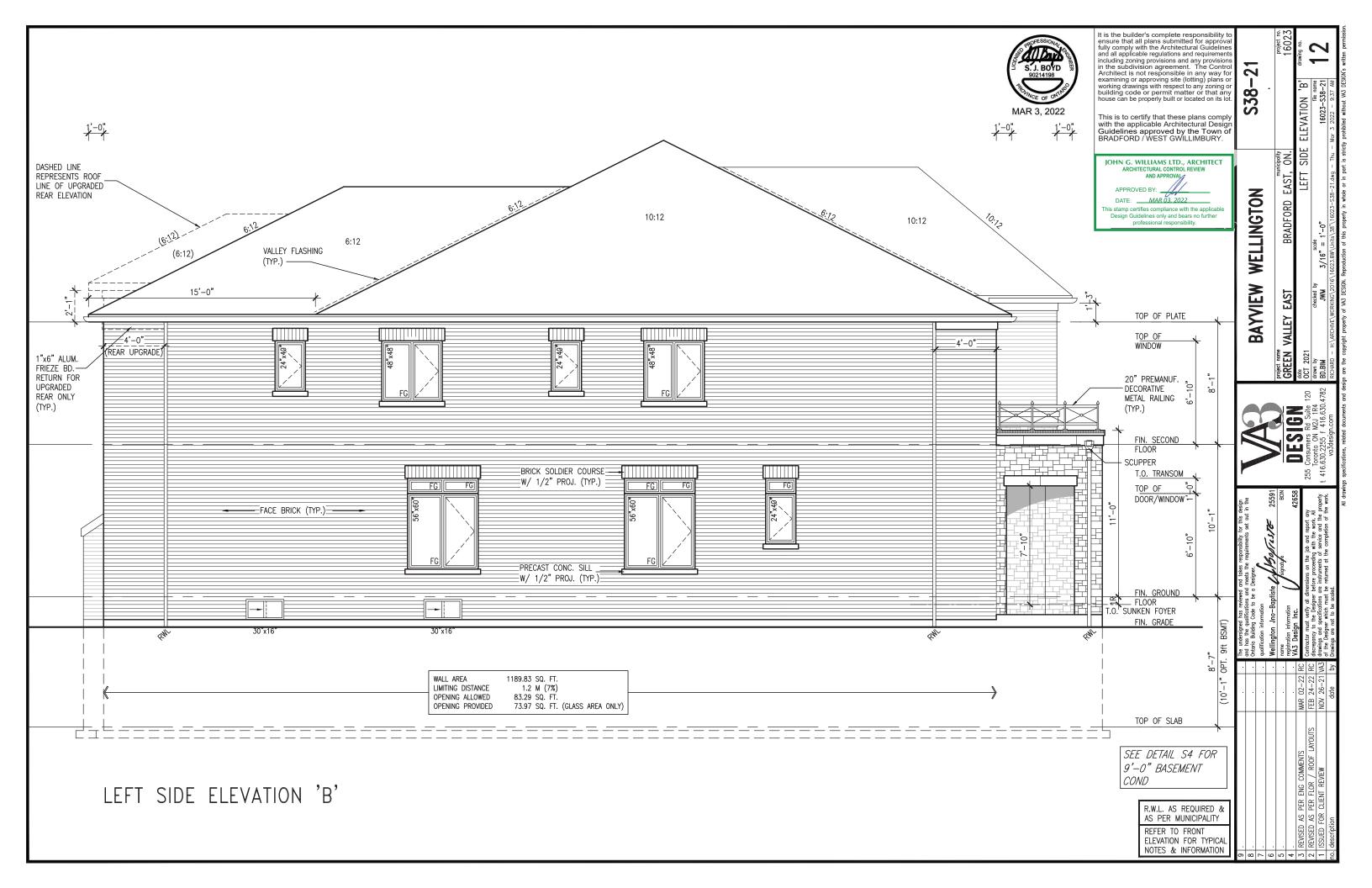


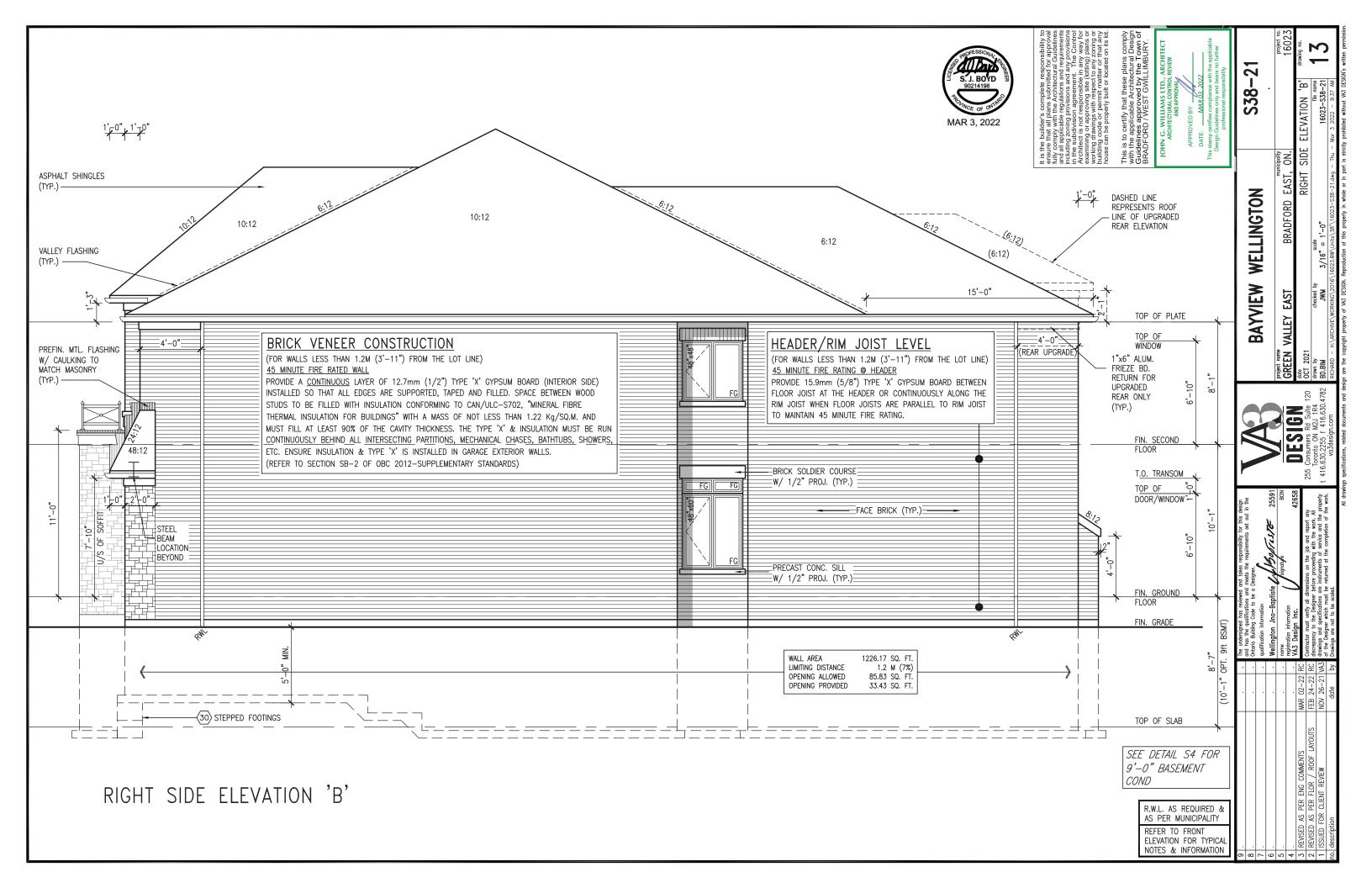


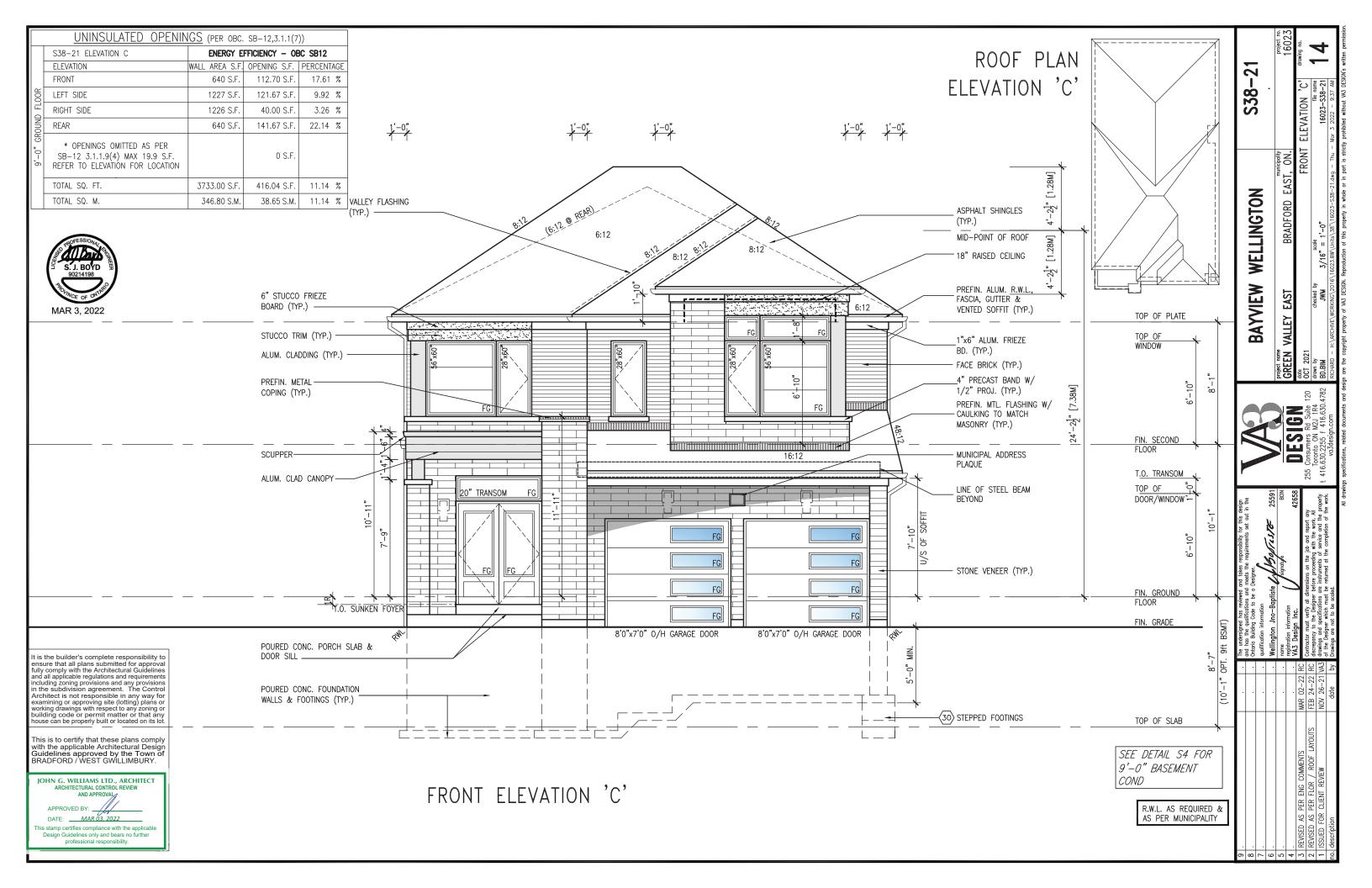


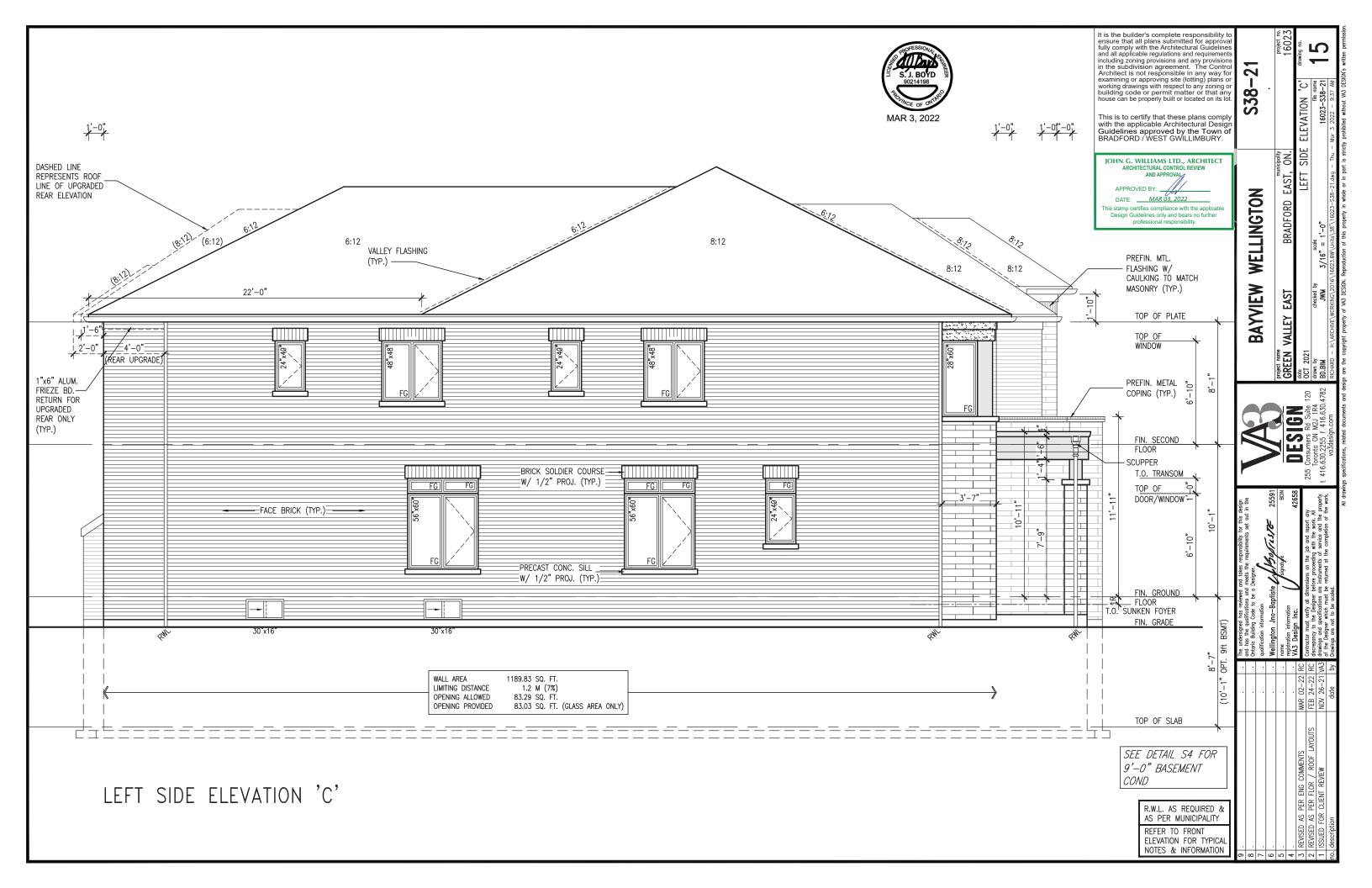


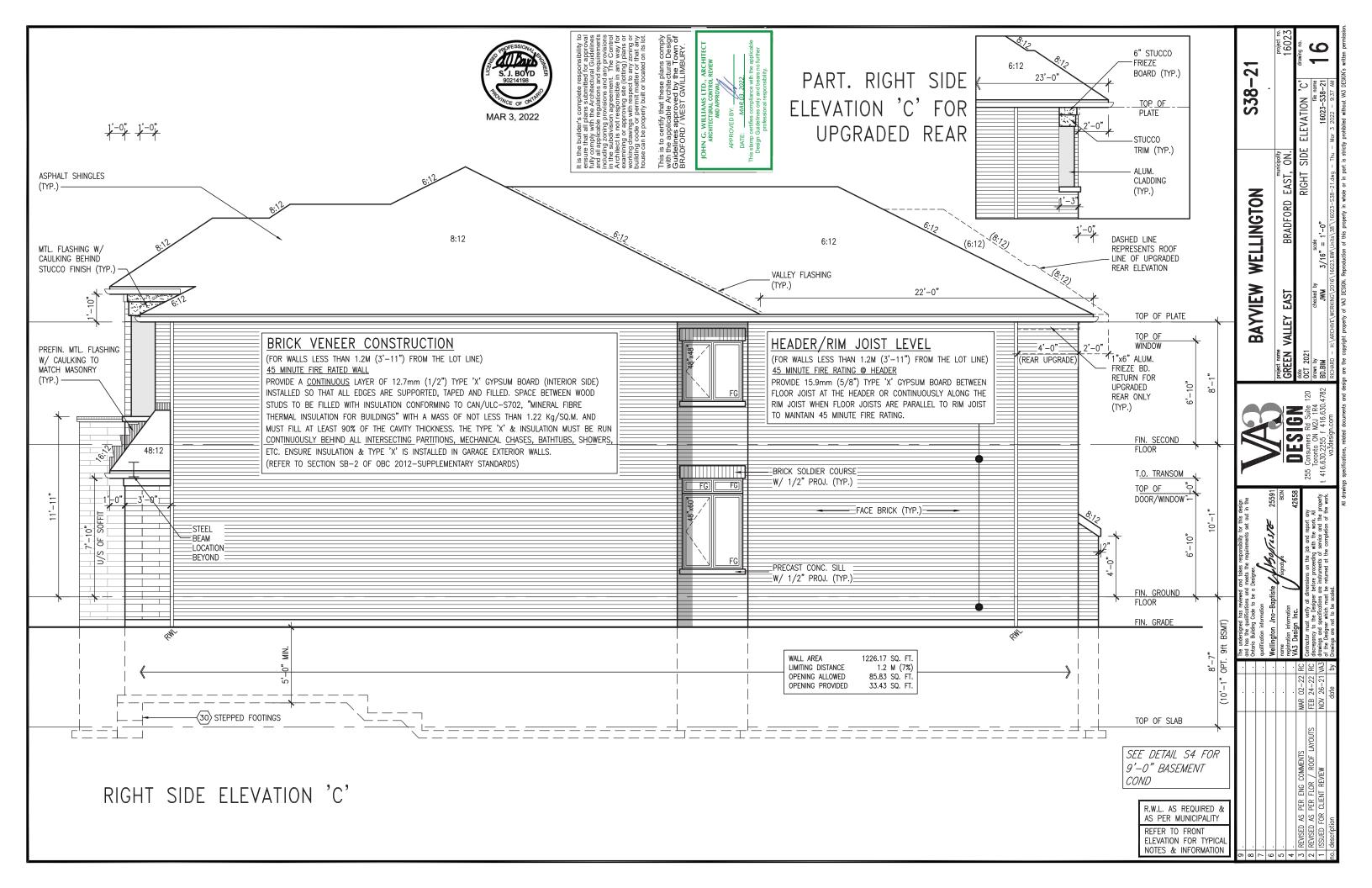


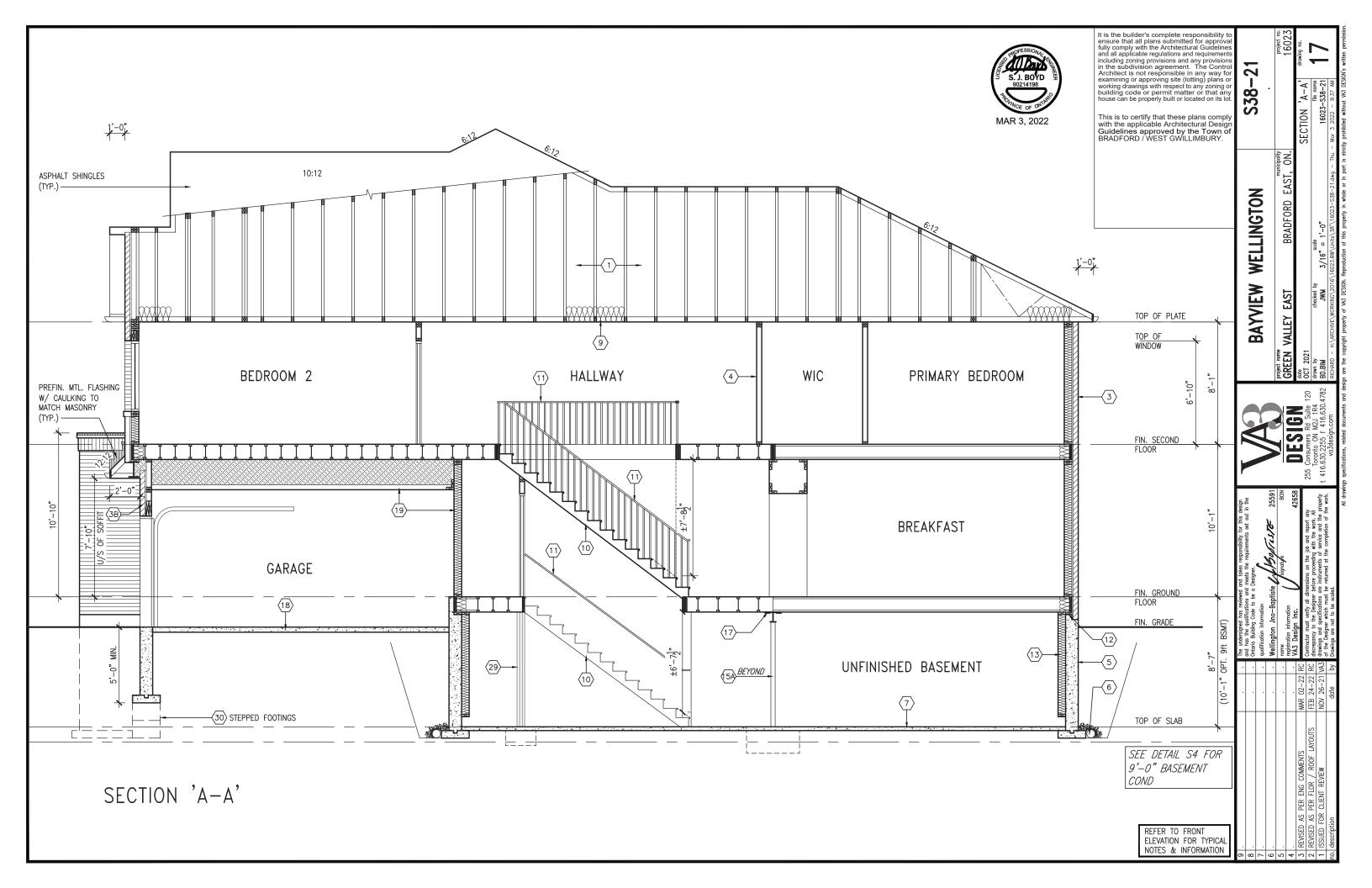


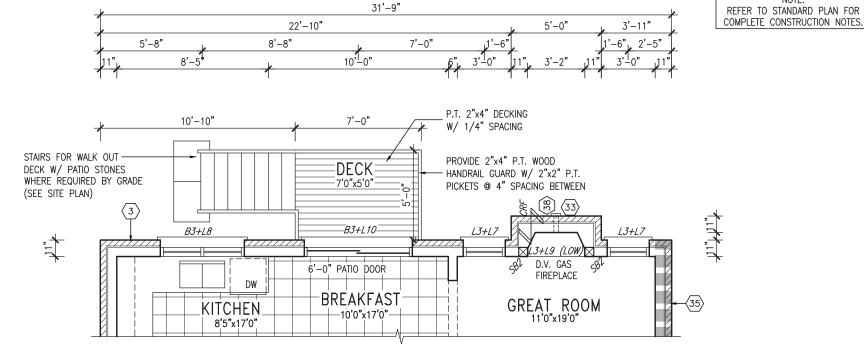






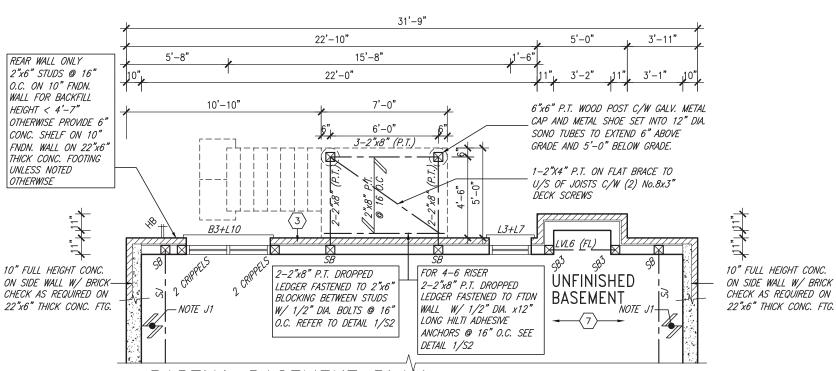






## PARTIAL GROUND FLOOR PLAN 9R OR MORE W.O.D. CONDITION

ELEV. 'B' & 'C' SIMILAR



# PARTIAL BASEMENT PLAN 9R OR MORE W.O.D. CONDITION

ELEV.	'B'	&	'C'	SIMILAR

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
	S38-21 ELEVATION A - 9R WOD	ENERGY E	FFICIENCY - OF	SC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		
	FRONT	640 S.F.	81.56 S.F.	12.74 %		
FLOOR	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %		
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	]] i	
GROUND	REAR	767 S.F.	165.00 S.F.	21.51 %		
9'-0" GR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
	TOTAL SQ. FT.	3858.00 S.F.	396.56 S.F.	10.28 %		
	TOTAL SQ. M.	358.42 S.M.	36.84 S.M.	10.28 %		

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
	S38-21 ELEVATION B - 9R WOD	ENERGY E	FFICIENCY - OF	BC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		
	FRONT	640 S.F.	97.14 S.F.	15.18 %		
FLOOR	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94 %		
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %		
9'-0" GROUND	REAR	767 S.F.	165.00 S.F.	21.51 %		
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
	TOTAL SQ. FT.	3863.00 S.F.	412.14 S.F.	10.67 %		
	TOTAL SQ. M.	358.88 S.M.	38.29 S.M.	10.67 %		

90214198	icenses	S. J. BOYD	MEE
WOD ON'	3		

MAR 3, 2022

NOTE

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
	S38-21 ELEVATION C - 9R WOD	ENERGY E	FFICIENCY - OF	SC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA	GE	
	FRONT	640 S.F.	112.70 S.F.	17.61	%	
FLOOR	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92	%	
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26	%	
9'-0" GROUND	REAR	767 S.F.	185.89 S.F.	24.24	%	
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
	TOTAL SQ. FT.	3860.00 S.F.	460.26 S.F.	11.92	%	
	TOTAL SQ. M.	358.60 S.M.	42.76 S.M.	11.92	%	

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3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC :	ŀ
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC	ı
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	ı
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

Signature

BCIN

registration information
VA3 Design Inc.

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

1	
3	DESIGN
	255 Consumers Rd Suite 120 Toronto ON M2J 1R4
	+ 416 630 2255 f 416 630 4782

BD.BIM

BAYVIEW	WELLINGTON
	WELLINGTON

S38-21

GREEN VALLEY EAST

BRADFORD EAST, ON.

date OCT 2021

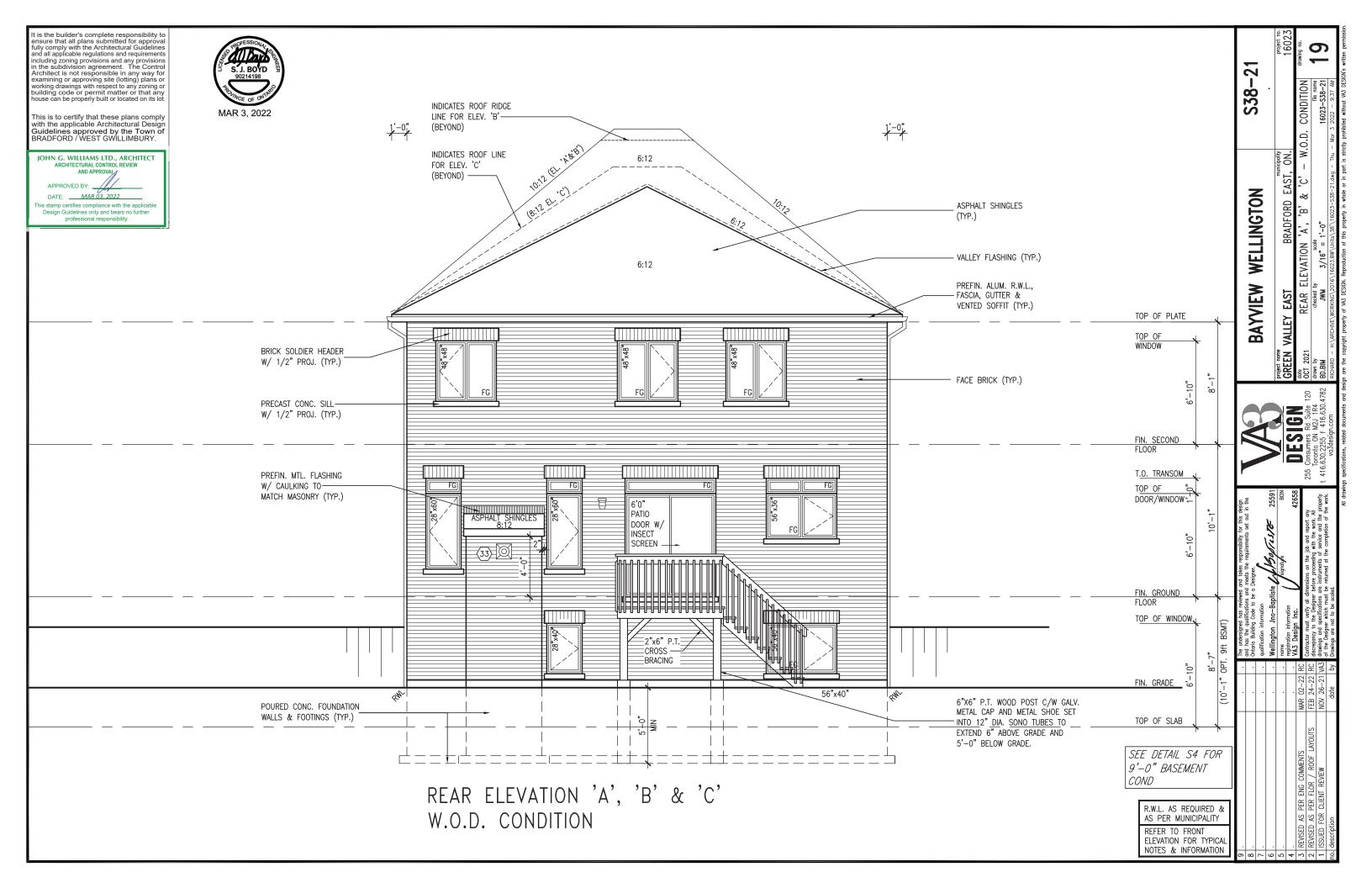
PARTIAL PLANS - W.O.D. CONDITION

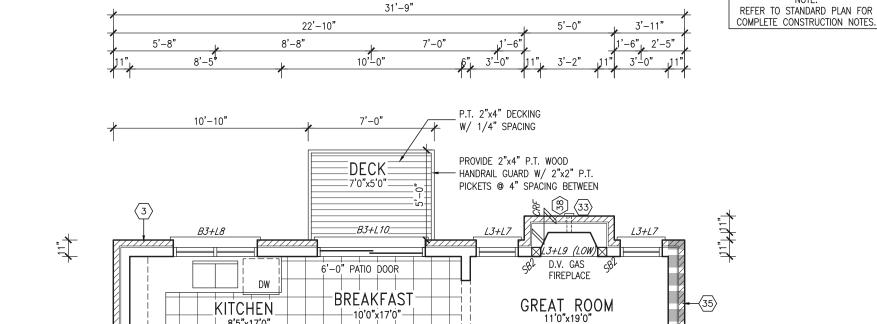
3/16" = 1'-0"

file name 16023-S38-21

16023

JWM

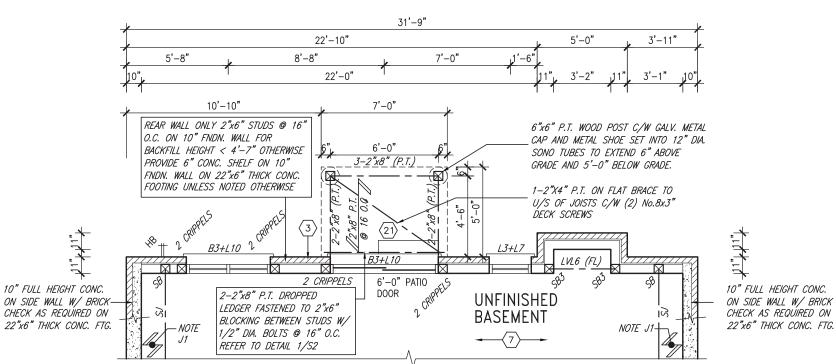




### PARTIAL GROUND FLOOR PLAN W.O.B. CONDITION

8'5"x17'0"

ELEV. 'B' & 'C' SIMILAR



## PARTIAL BASEMENT PLAN W.O.B. CONDITION

ELEV. 'B' & 'C' SIMILAR

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY E	FFICIENCY - OF	SC SB12	$\prod$	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	]	
	FRONT	640 S.F.	81.56 S.F.	12.74 %		
FLOOR	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %	]]	
1 1	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	]	
GROUND	REAR	865 S.F.	217.67 S.F.	25.16 %	]	
9'-0" GR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
	TOTAL SQ. FT.	3956.00 S.F.	449.23 S.F.	11.36 %		
	TOTAL SQ. M.	367.52 S.M.	41.73 S.M.	11.36 %	bracket	

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
	S38-21 ELEV B-STD&UPG REAR WOB	ENERGY E	FFICIENCY - OE	BC SB12		
GROUND FLOOR	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA	AGE	
	FRONT	640 S.F.	97.14 S.F.	15.18	%	
	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94	%	
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26	%	
	REAR	865 S.F.	217.67 S.F.	25.16	%	
9'-0" GR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
	TOTAL SQ. FT.	3961.00 S.F.	464.81 S.F.	11.73	%	
	TOTAL SQ. M.	367.99 S.M.	43.18 S.M.	11.73	%	

S.J. BOYD 90214198
MAR 3, 2022

NOTE

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
	S38-21 ELEV C - STD REAR WOB	ENERGY E	FFICIENCY - OF	3C SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA	GE
	FRONT	640 S.F.	112.70 S.F.	17.61	%
FLOOR	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92	%
1	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26	%
GROUND	REAR	865 S.F.	217.67 S.F.	25.16	%
9'-0" GR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
	TOTAL SQ. FT.	3958.00 S.F.	492.04 S.F.	12.43	%
	TOTAL SQ. M.	367.71S.M.	45.71S.M.	12.43	%

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
	S38-21 ELEV C UPGR. REAR - WOB	ENERGY E	FFICIENCY - OF	BC SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA	AGE
	FRONT	640 S.F.	112.70 S.F.	17.61	%
FLOOR	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92	%
	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26	%
GROUND	REAR	865 S.F.	239.67 S.F.	27.71	%
9'-0" GR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
	TOTAL SQ. FT.	3958.00 S.F.	514.04 S.F.	12.99	%
	TOTAL SQ. M.	367.71S.M.	47.76 S.M.	12.99	%

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3	REVISED AS PER ENG COMMENTS	MAR 02-22	RC i	۲
2	REVISED AS PER FLOR / ROOF LAYOUTS	FEB 24-22	RC	ď
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	9
no.	description	date	by	Ċ

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste WBOFT257E 25591 BCIN

va3 Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

$\sqrt{8}$	project no
DESIGN	date OCT 20
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782	drawn by BD.BIM

va3design.com

### **BAYVIEW WELLINGTON**

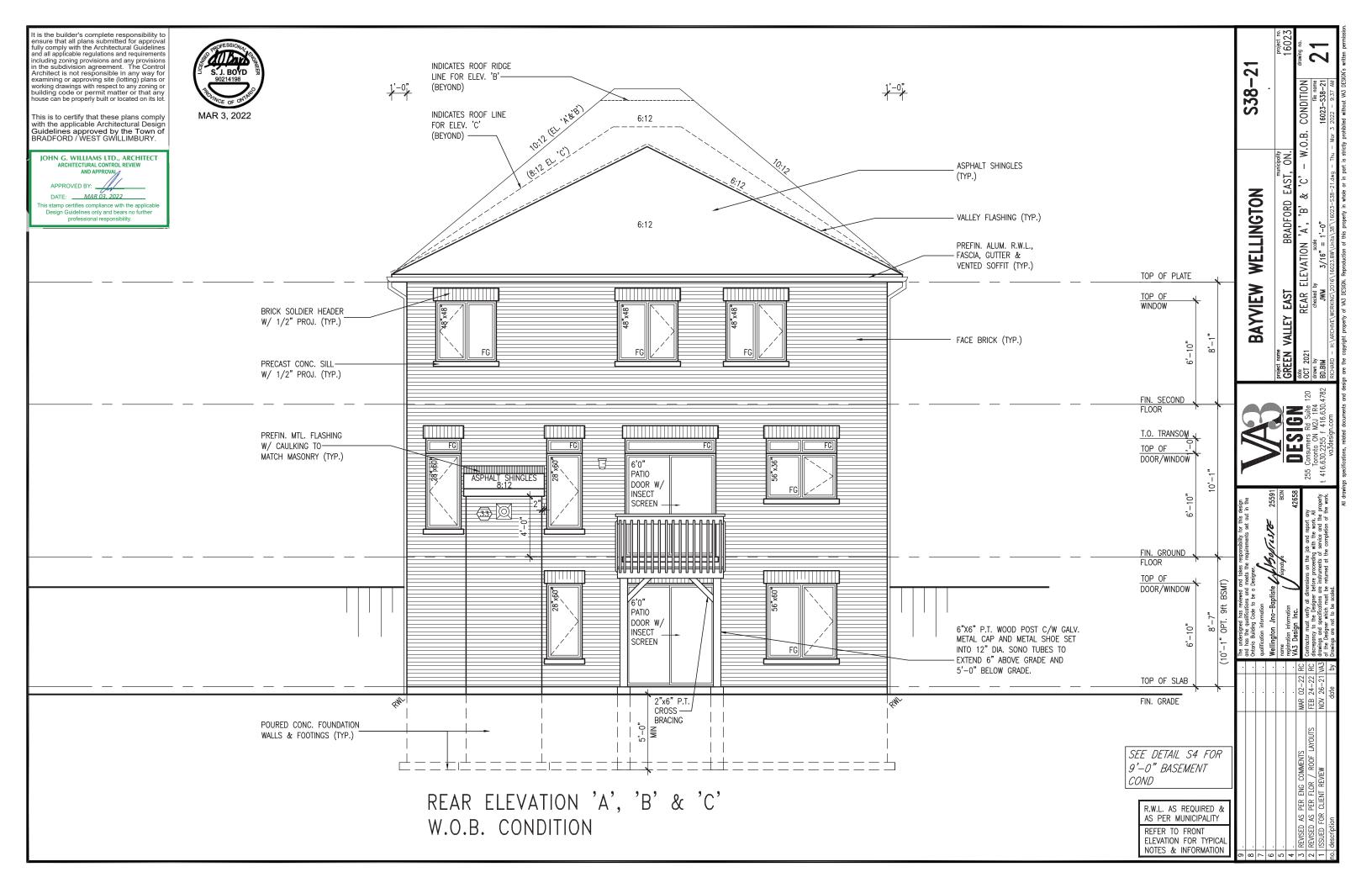
S38-21

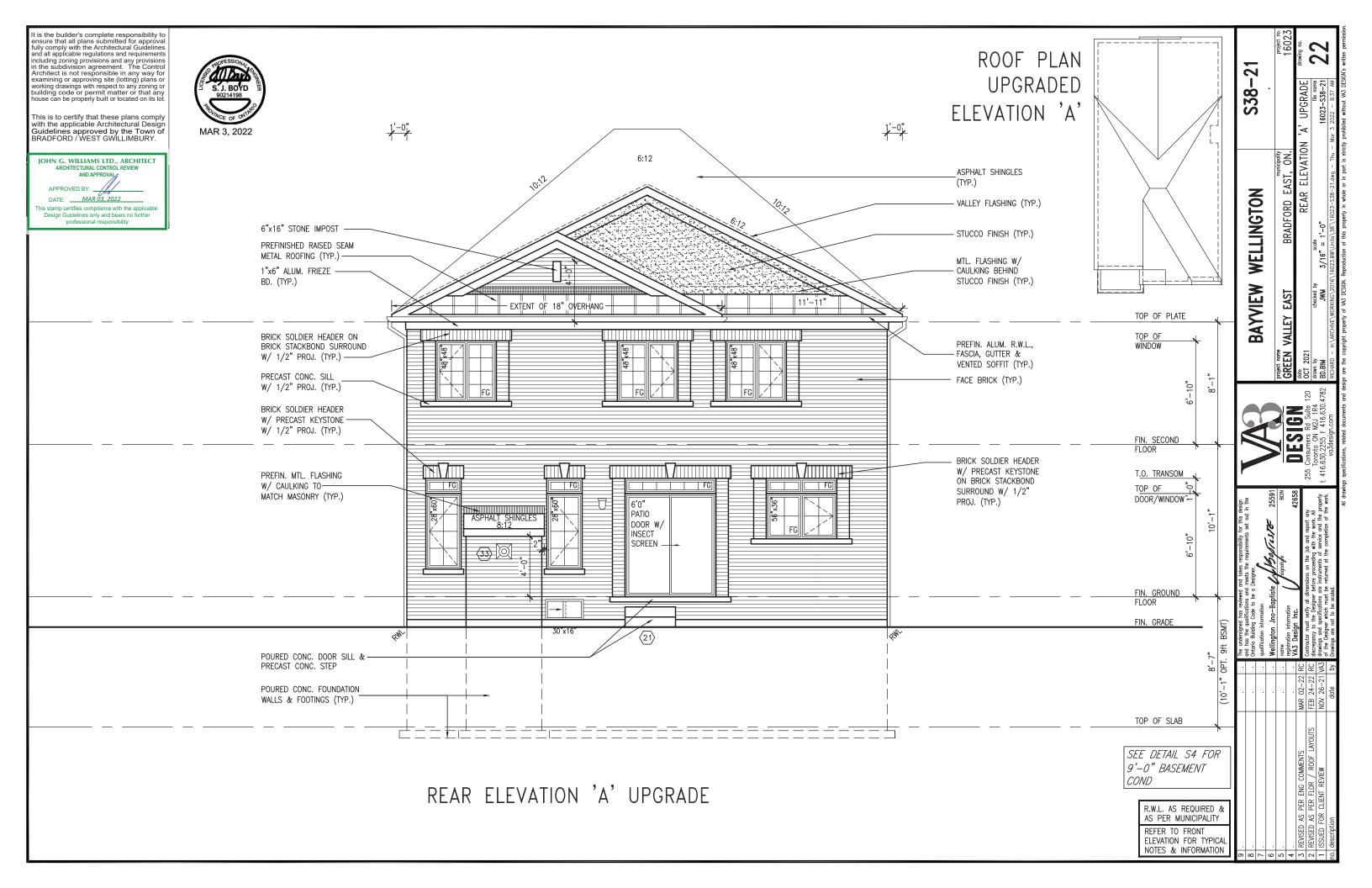
**GREEN VALLEY EAST** BRADFORD EAST, ON. date OCT 2021 PARTIAL PLANS - W.O.B. CONDITION

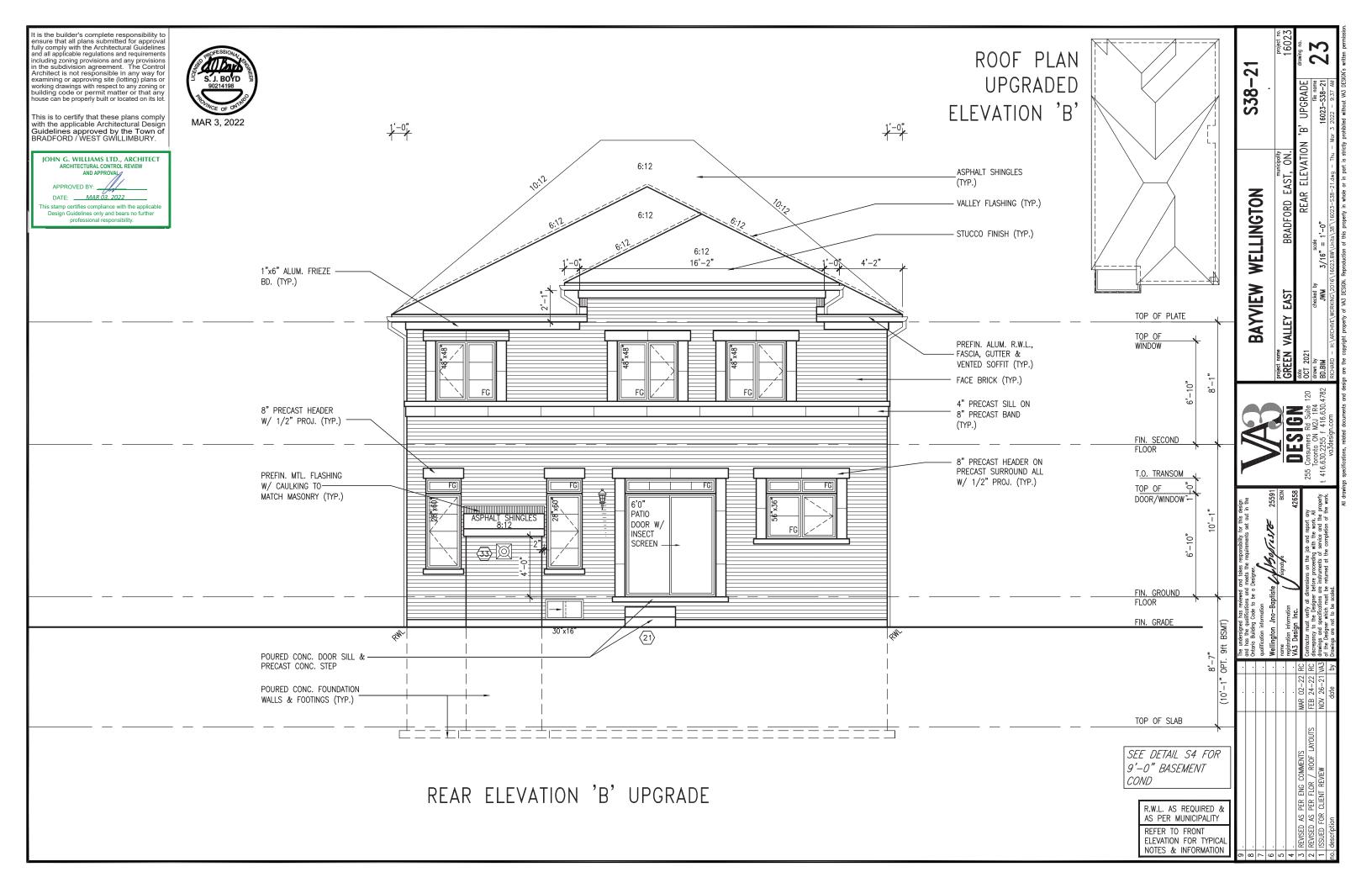
3/16" = 1'-0"

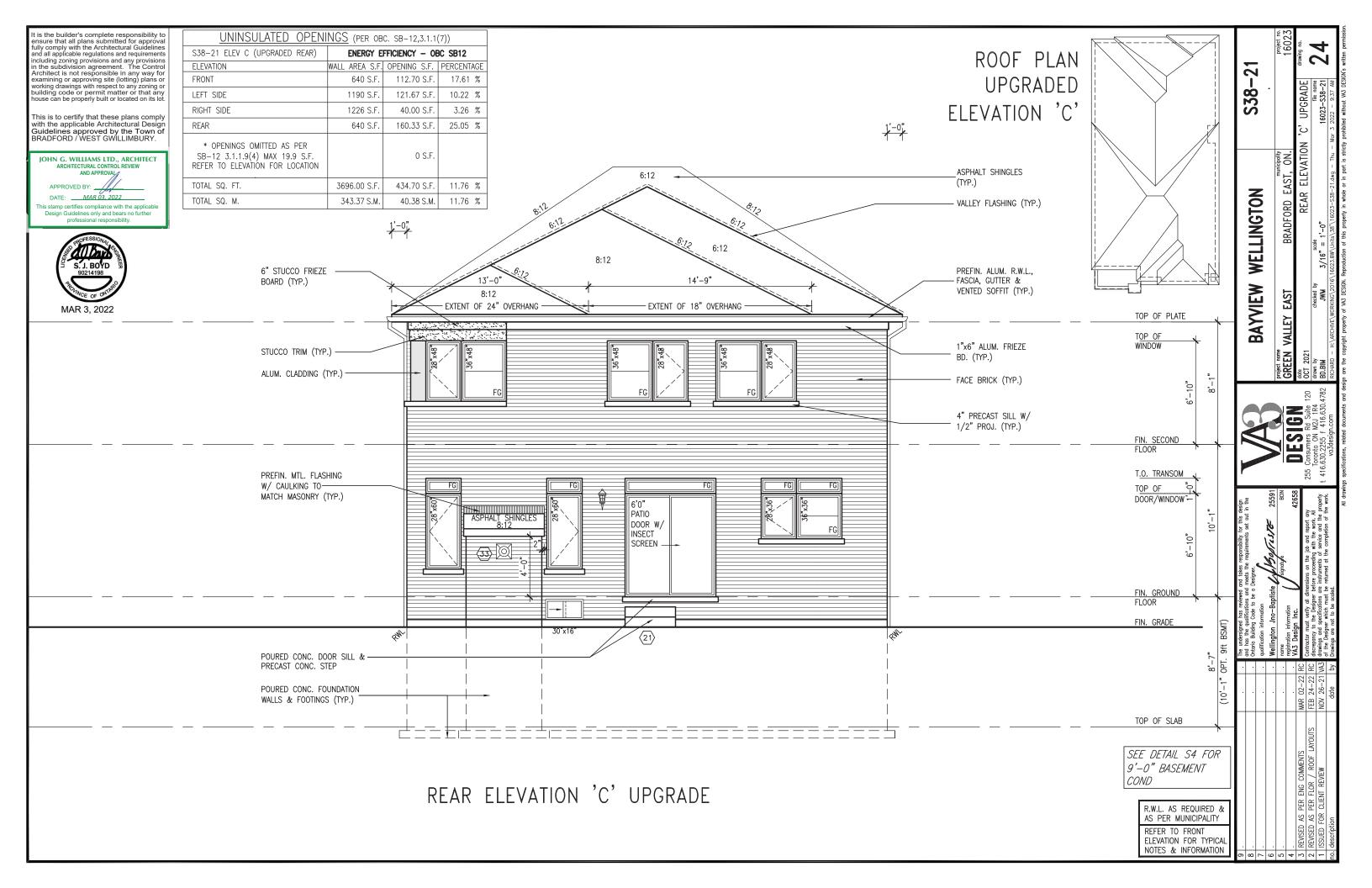
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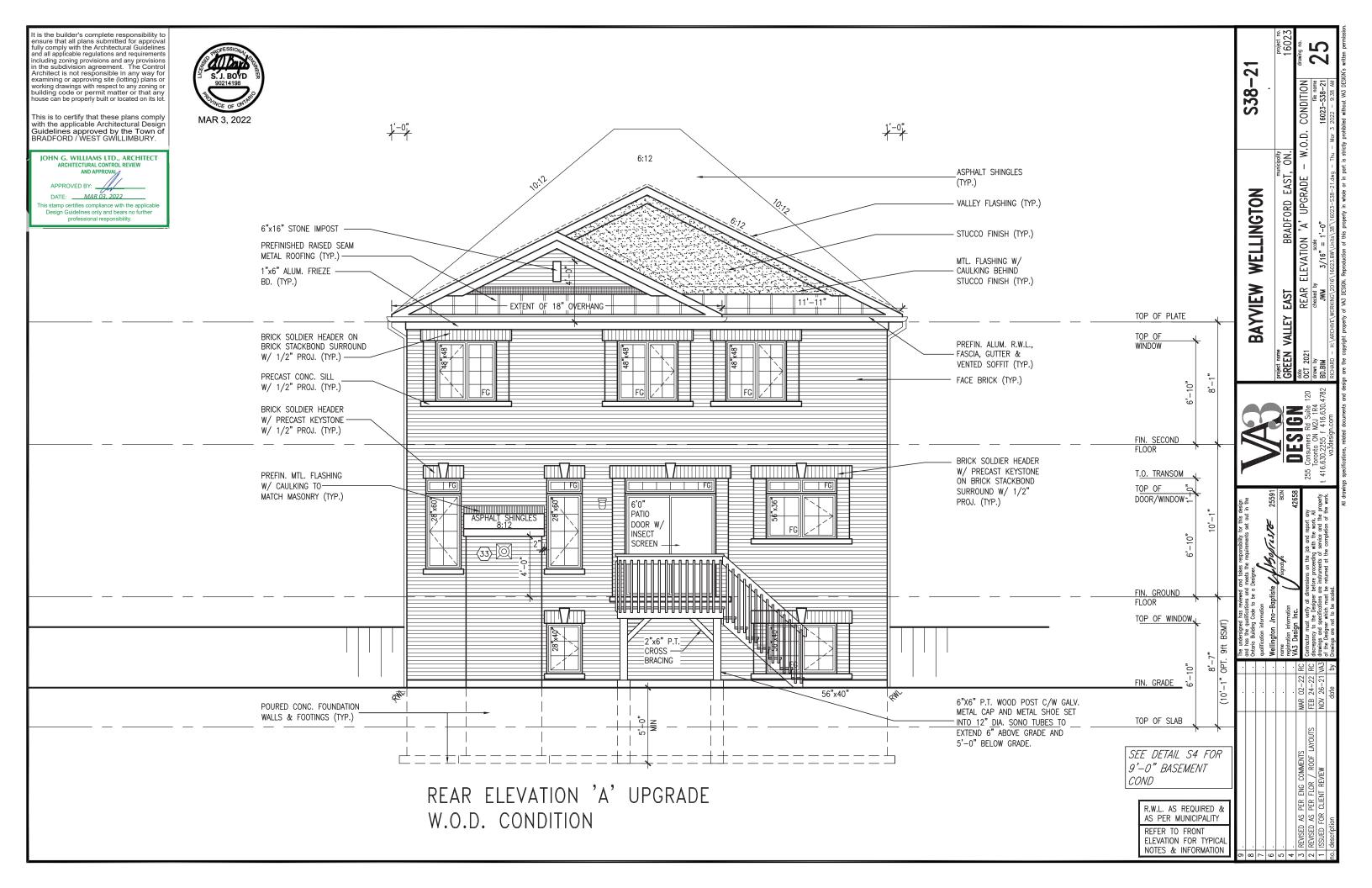
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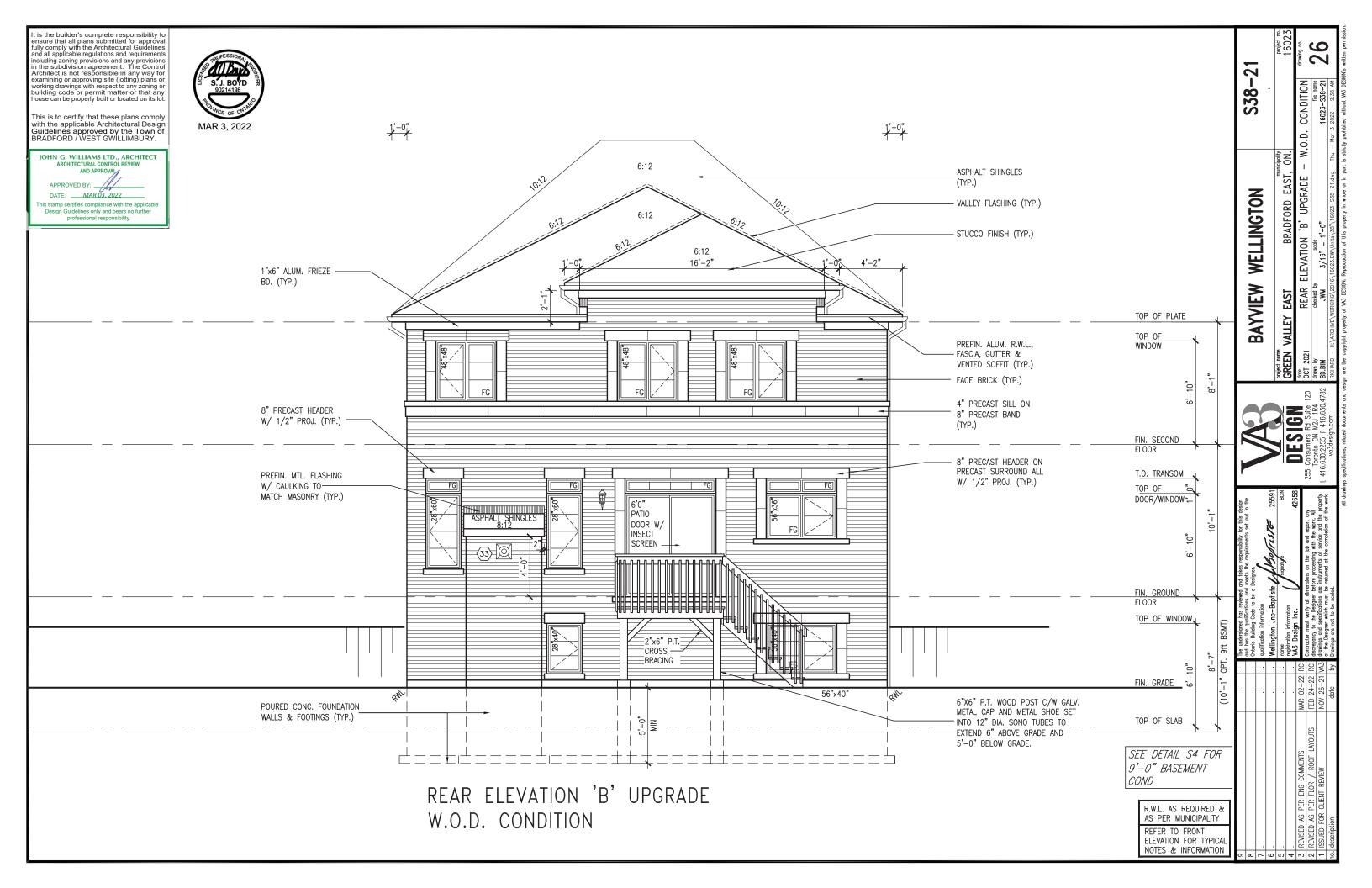


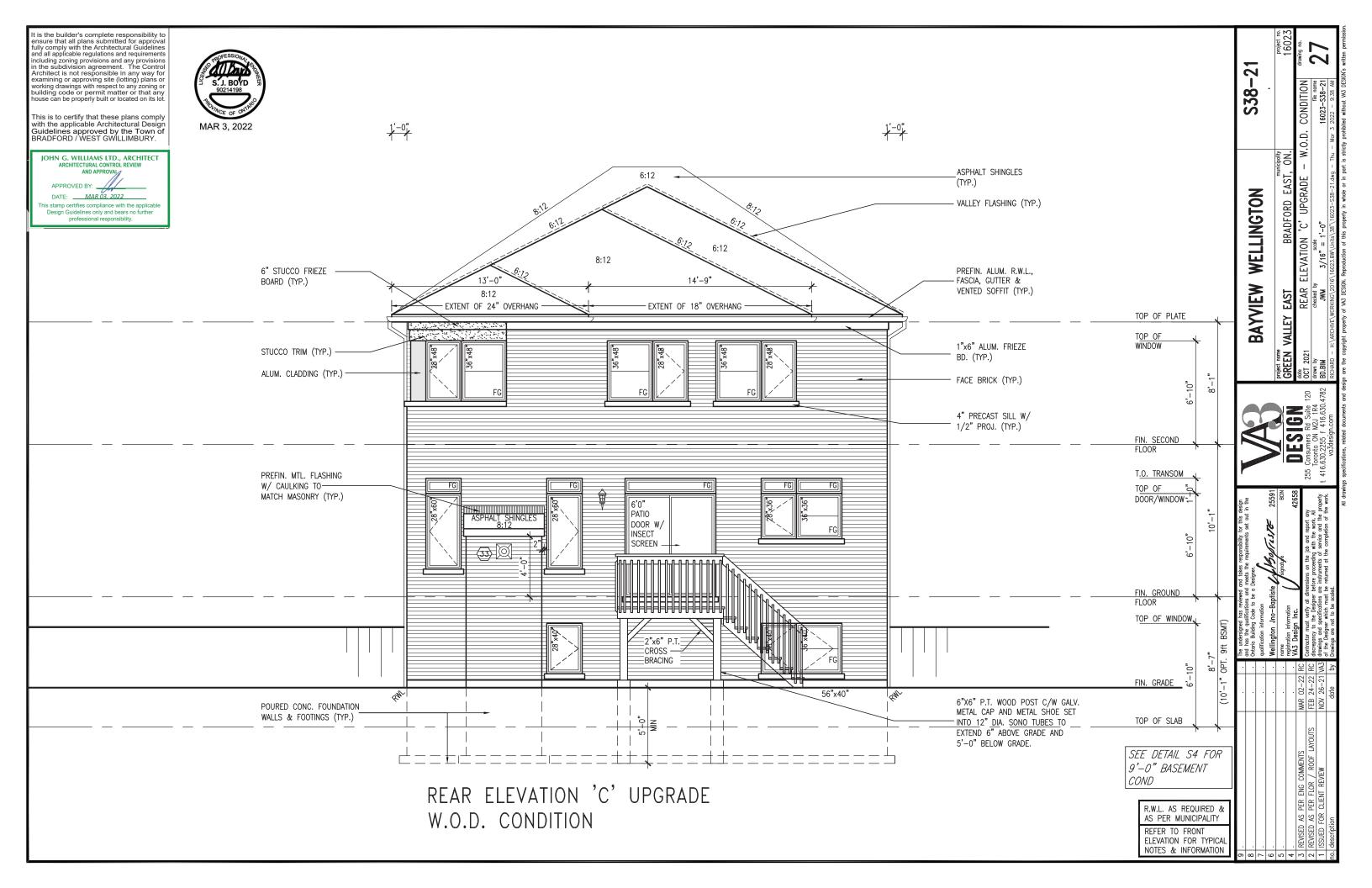


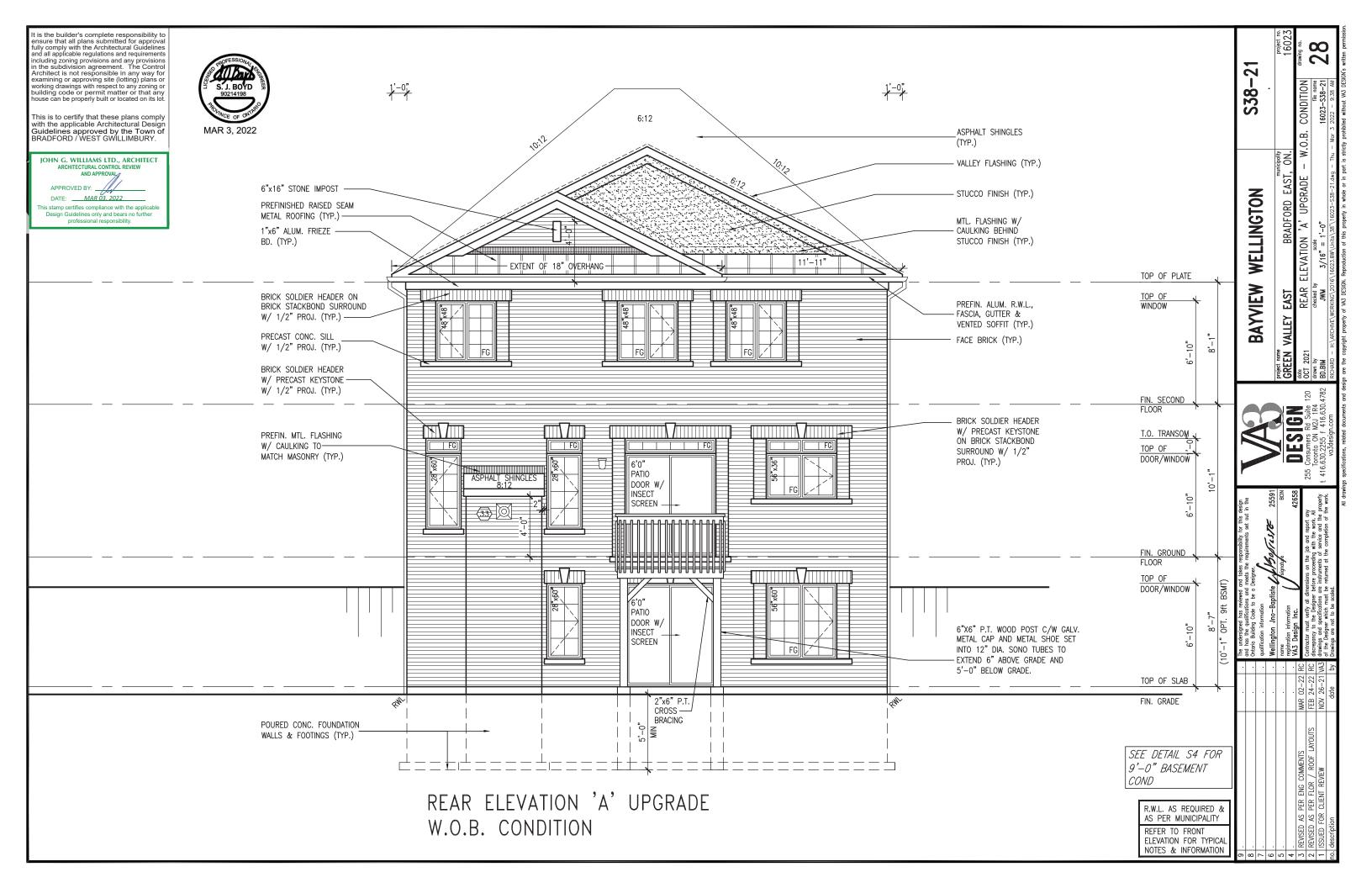


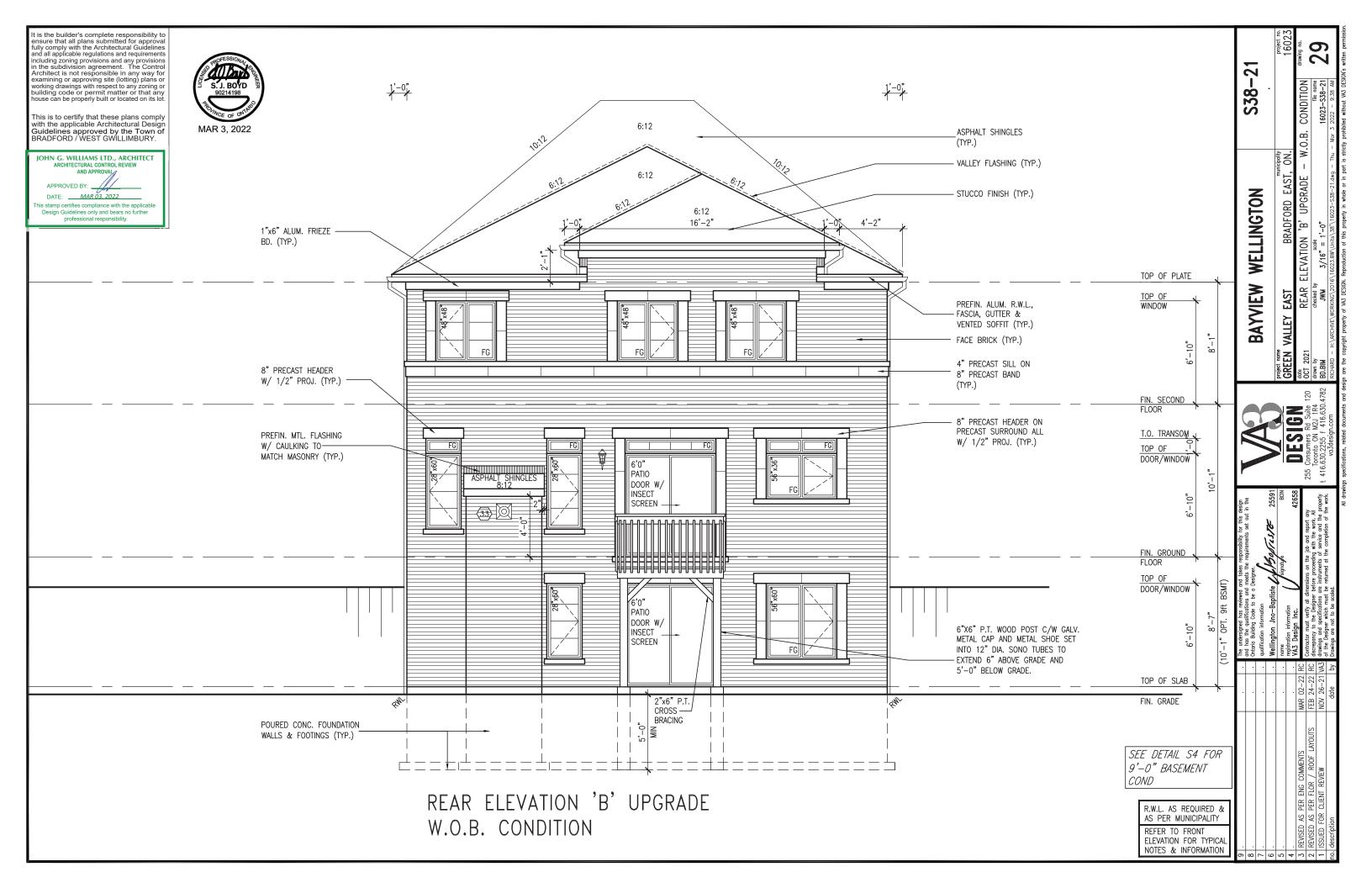


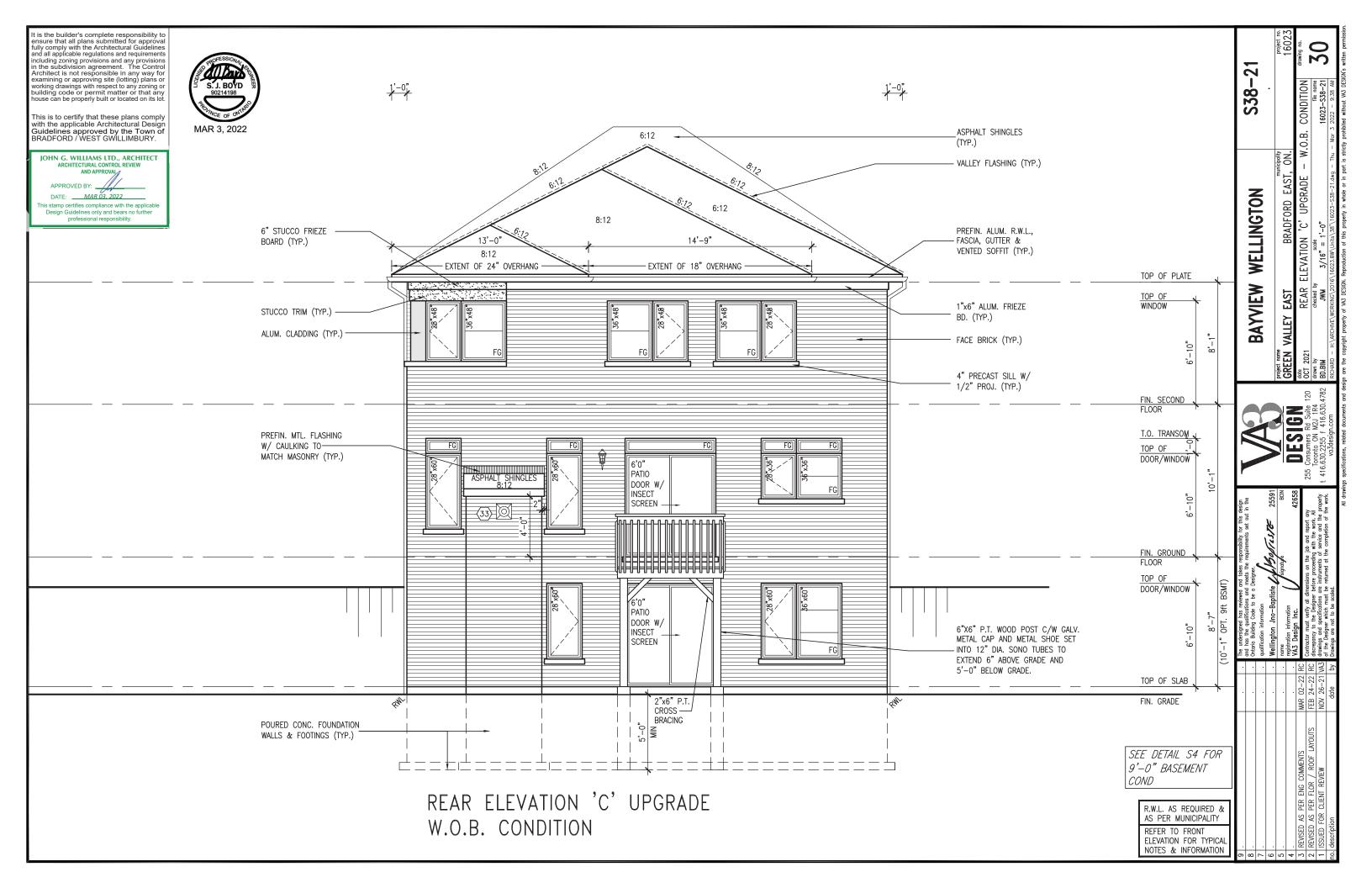












	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))						
	S38-21 ELEV A-STD&UPG REAR WOB	B ENERGY EFFICIENCY - OBC SB12					
-0	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE			
ص	FRONT	640 S.F.	81.56 S.F.	12.74 %			
OPT.	LEFT SIDE	1225 S.F.	110.00 S.F.	8.98 %			
% <u></u>	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %			
) FLOOR BASEMENT	REAR	897 S.F.	217.67 S.F.	24.27 %			
GROUNI	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.				
9,-0	TOTAL SQ. FT.	3988.00 S.F.	449.23 S.F.	11.26 %			
	TOTAL SQ. M.	370.49 S.M.	41.73 S.M.	11.26 %			

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
	S38-21 ELEV B-STD&UPG REAR WOB	ENERGY E	FFICIENCY - OF	BC SB12	
.0-	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
, O	FRONT	640 S.F.	97.14 S.F.	15.18 %	
OPT.	LEFT SIDE	1230 S.F.	110.00 S.F.	8.94 %	
%	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
D FLOOR BASEMENT	REAR	897 S.F.	217.67 S.F.	24.27 %	
GROUN	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
9,-0,	TOTAL SQ. FT.	3993.00 S.F.	464.81 S.F.	11.64 %	
	TOTAL SQ. M.	370.96 S.M.	43.18 S.M.	11.64 %	

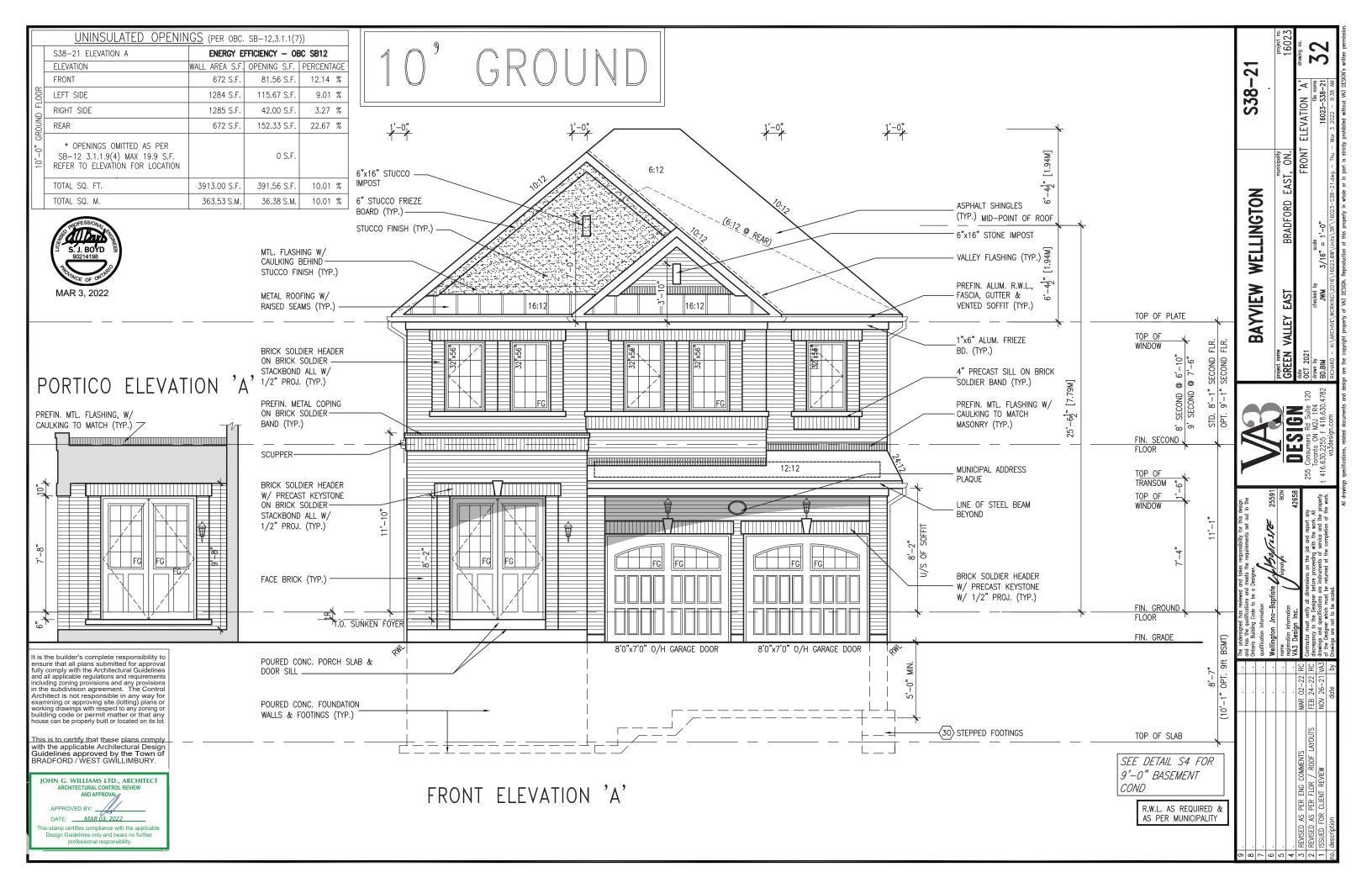
	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
	S38-21 ELEV C - STD REAR WOB	ENERGY EFFICIENCY - OBC SB12			
6,-0,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
	FRONT	640 S.F.	112.70 S.F.	17.61 %	
OPT.	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %	
&     &	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
LOOF EME	REAR	897 S.F.	217.67 S.F.	24.27 %	
" GROUND FLOOR & BASEMENT	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
0-,6	TOTAL SQ. FT.	3990.00 S.F.	492.04 S.F.	12.33 %	
	TOTAL SQ. M.	370.68 S.M.	45.71S.M.	12.33 %	

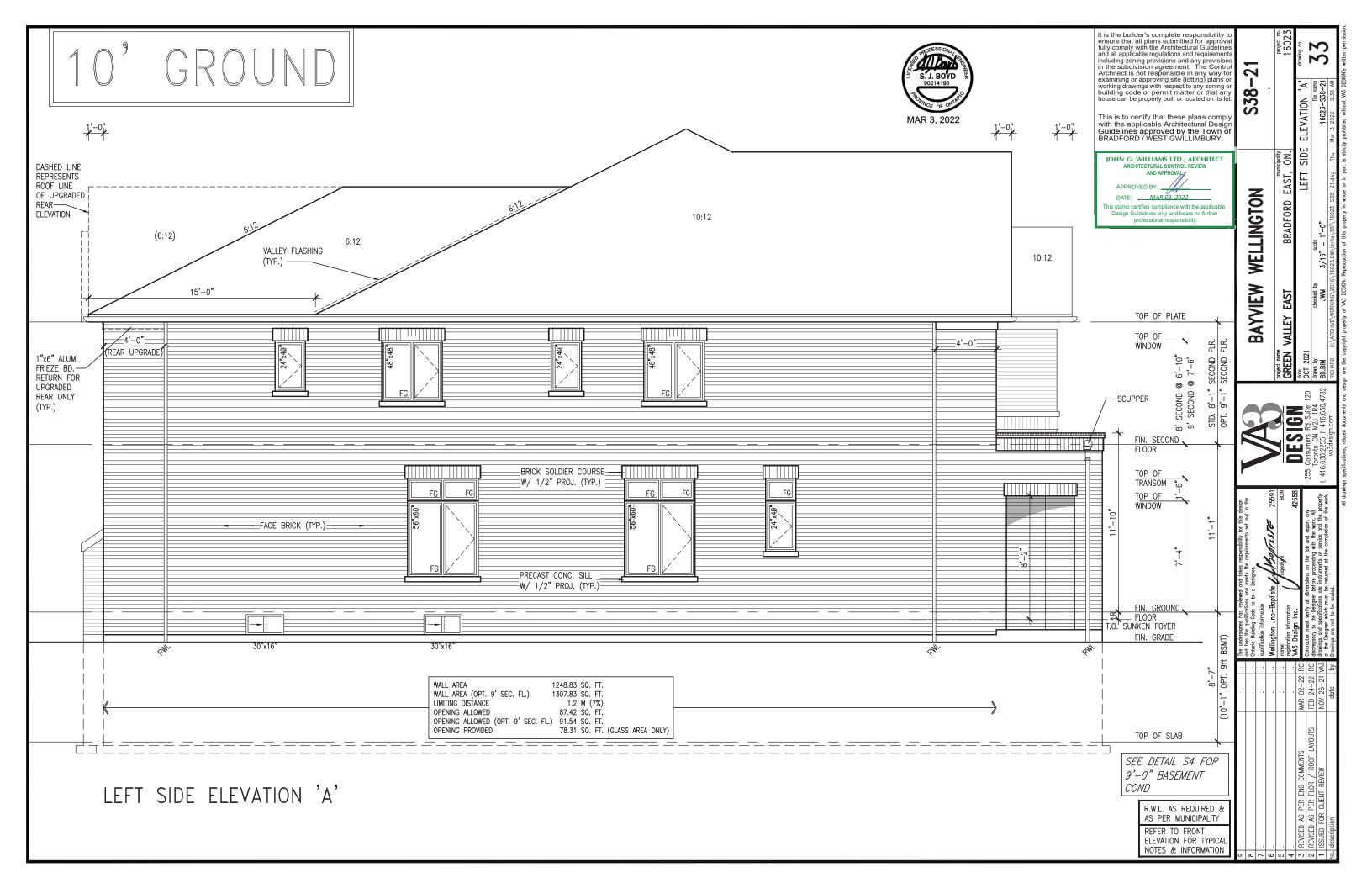
	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
	S38-21 ELEV C UPGR. REAR - WOB	ENERGY E	FFICIENCY - OE	C SB12	
0-	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
9	FRONT	640 S.F.	112.70 S.F.	17.61 %	
OPT.	LEFT SIDE	1227 S.F.	121.67 S.F.	9.92 %	
% <del> </del>	RIGHT SIDE	1226 S.F.	40.00 S.F.	3.26 %	
D FLOOR BASEMENT	REAR	897 S.F.	239.67 S.F.	26.72 %	
GROUN	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
0-,6	TOTAL SQ. FT.	3990.00 S.F.	514.04 S.F.	12.88 %	
	TOTAL SQ. M.	370.68 S.M.	47.76 S.M.	12.88 %	

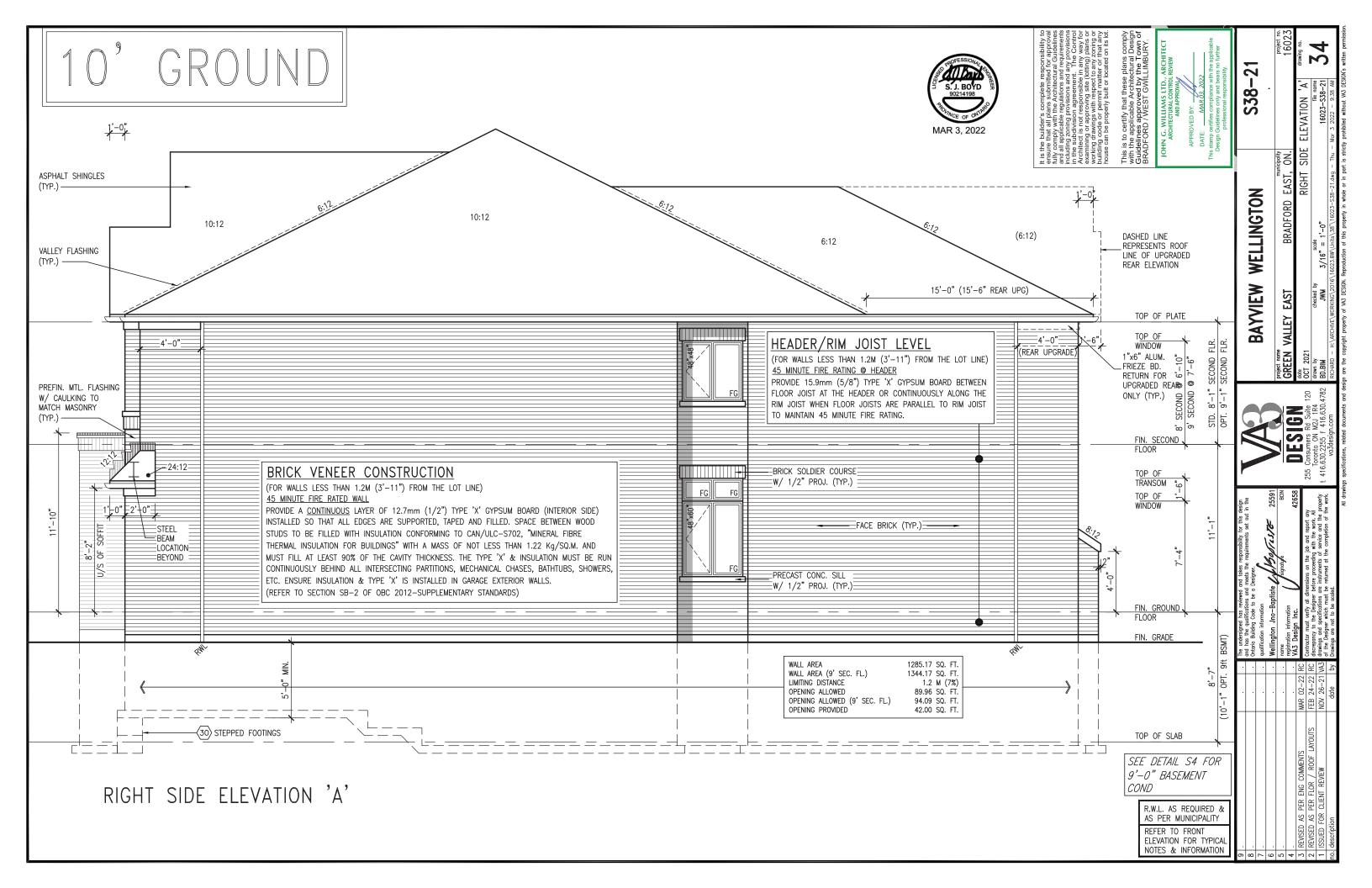
# BAYVIEW WELLINGTON | GREEN VALLEY EAST | GREEN VALLEY | CAST |

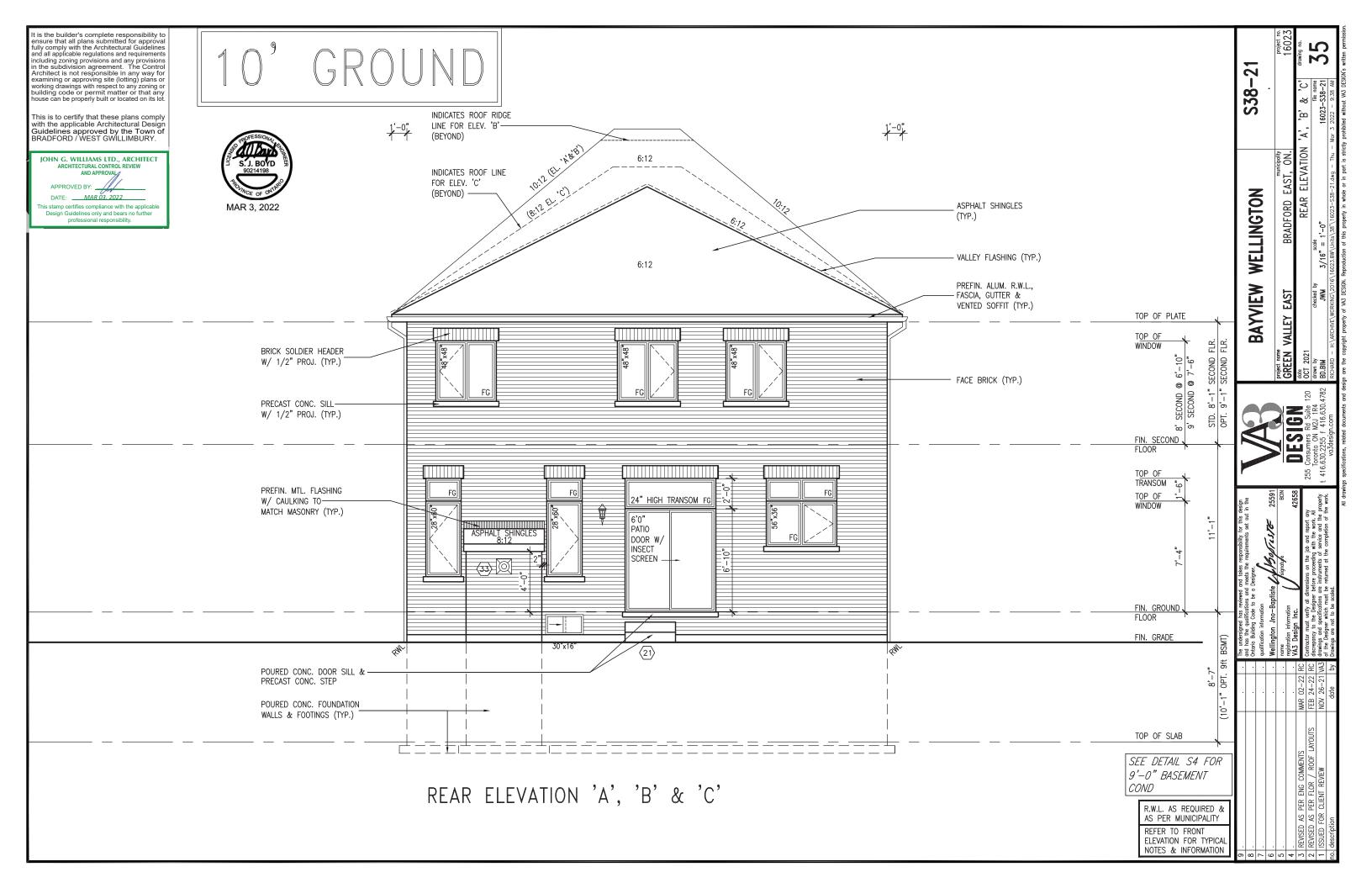
S38-21

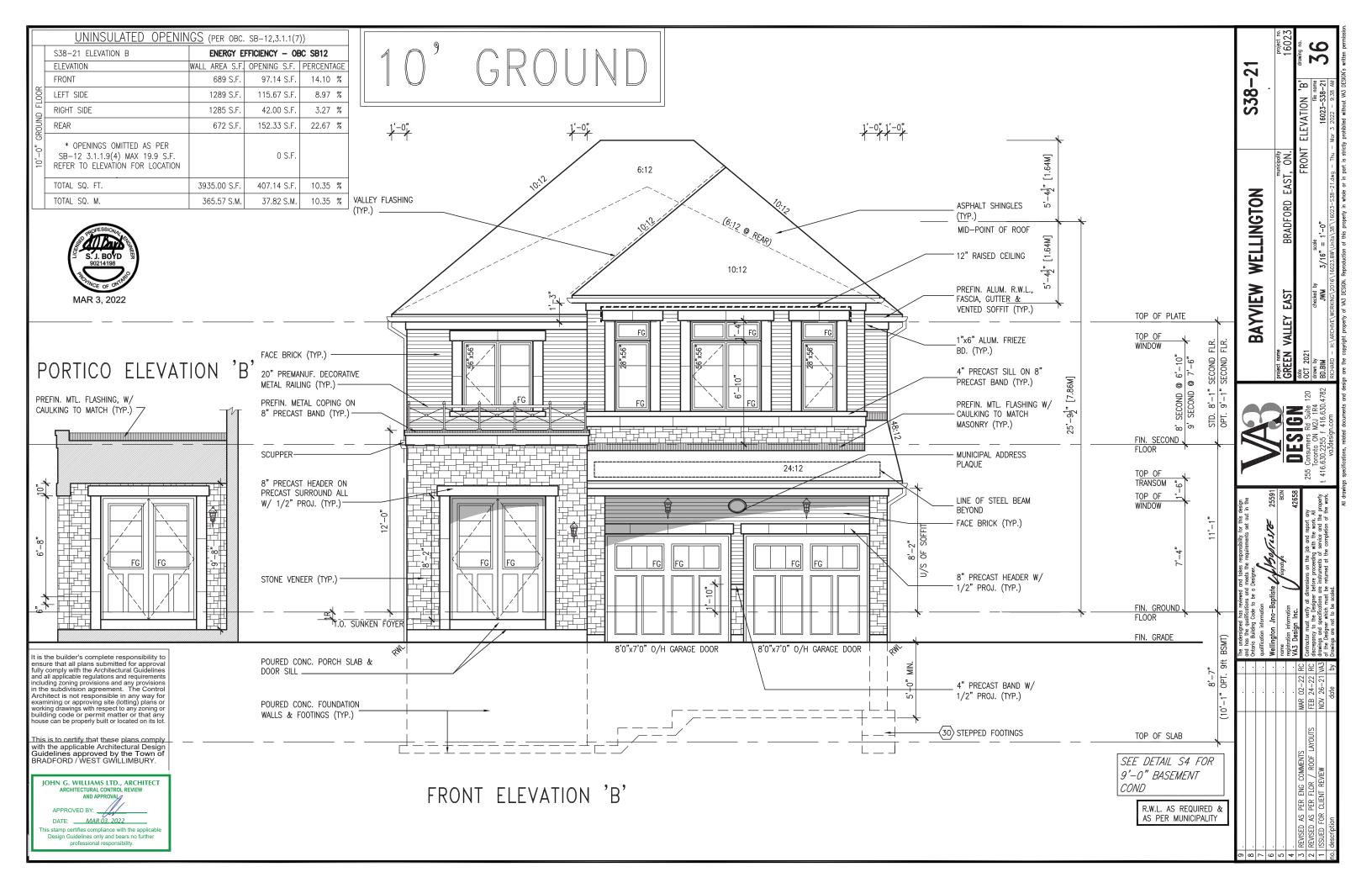
drawing no.

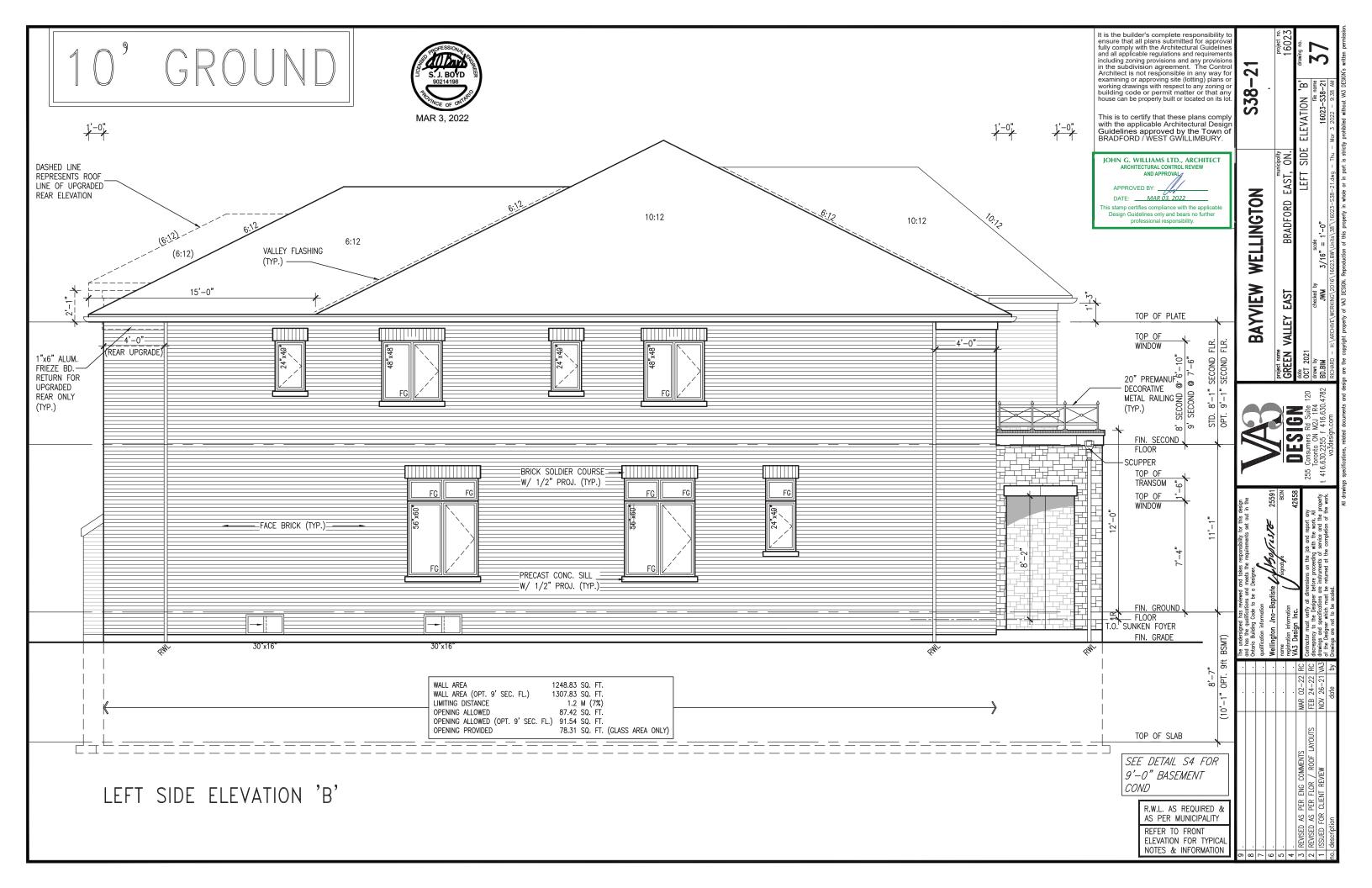


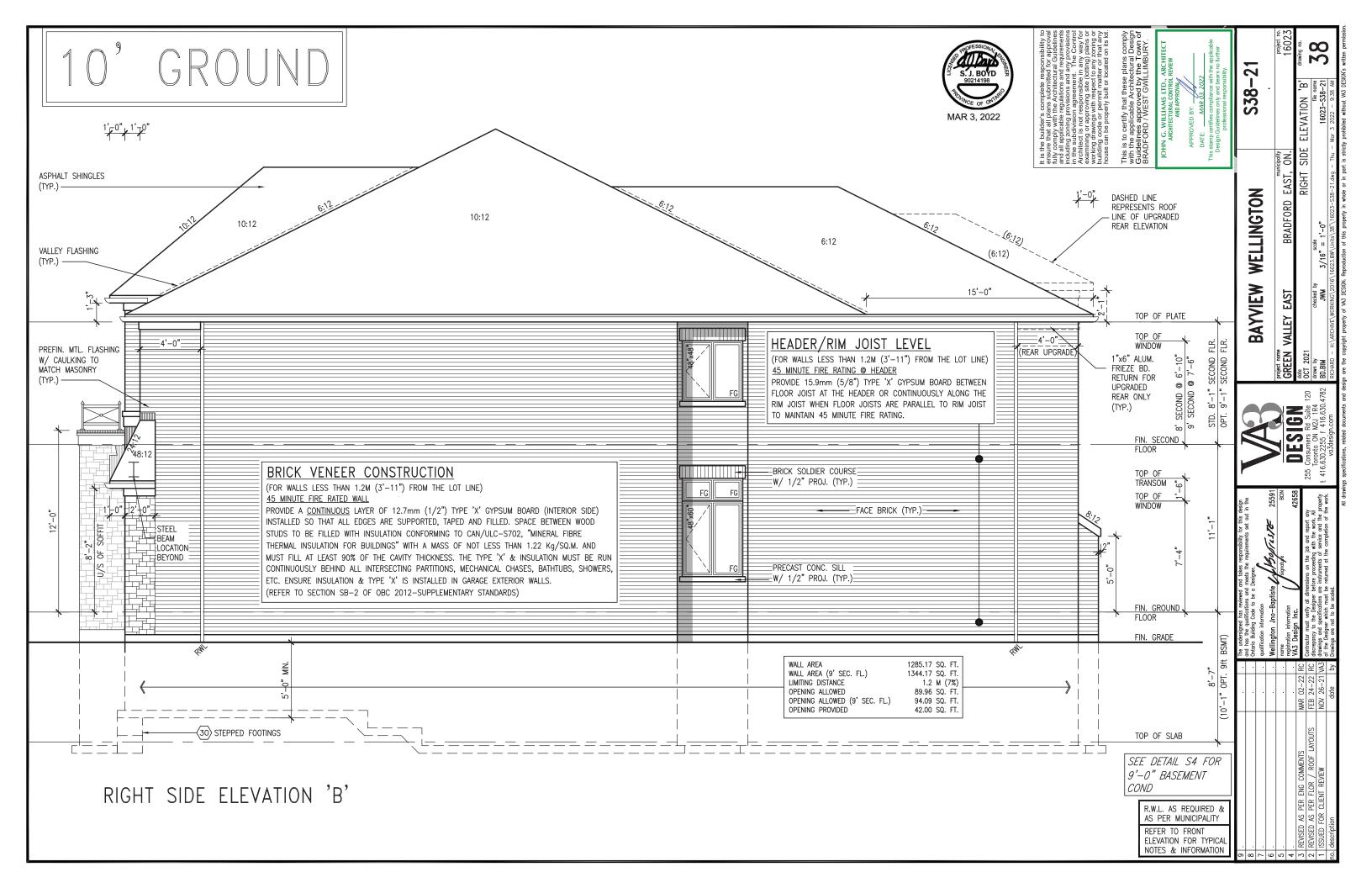


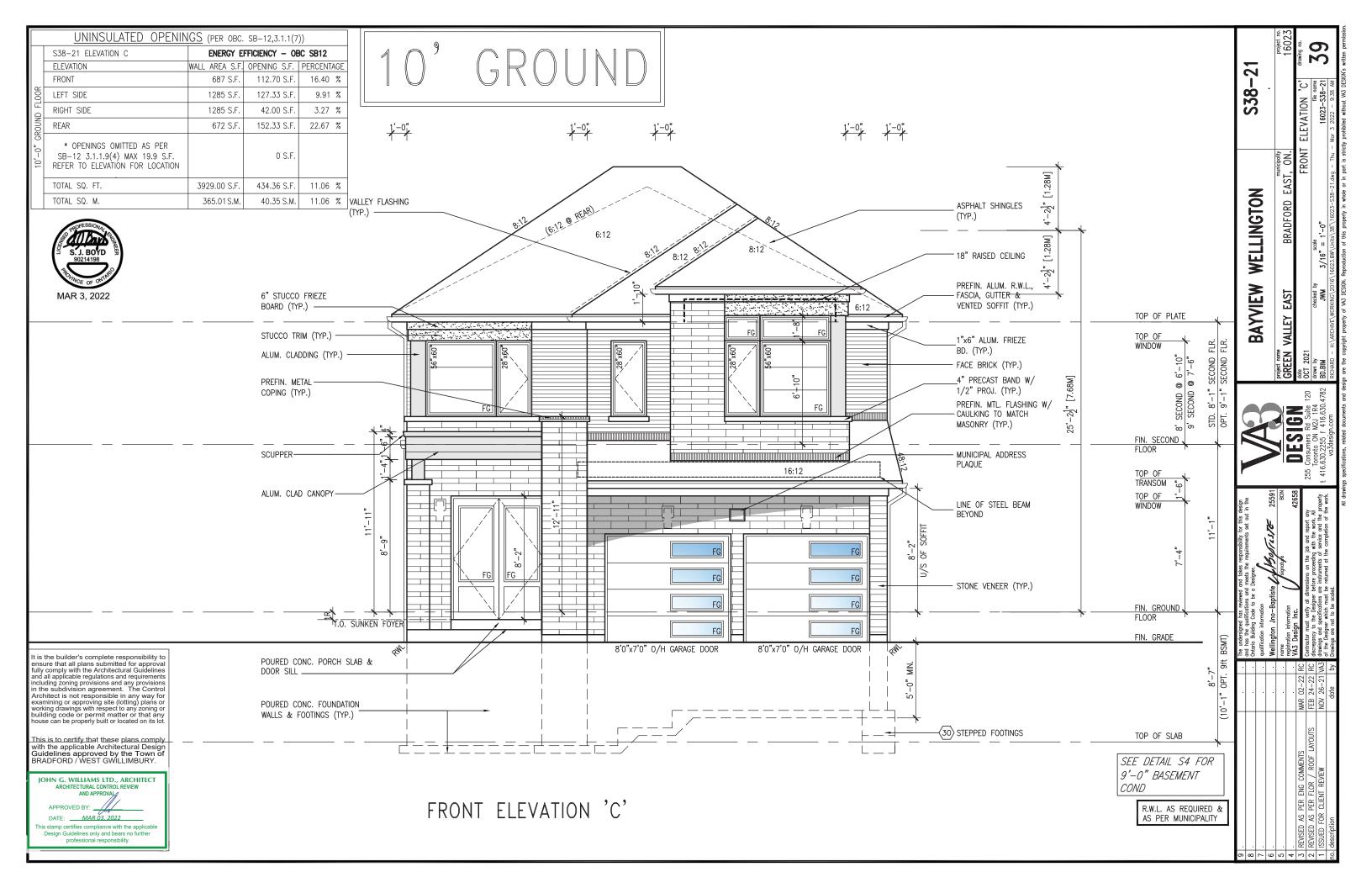


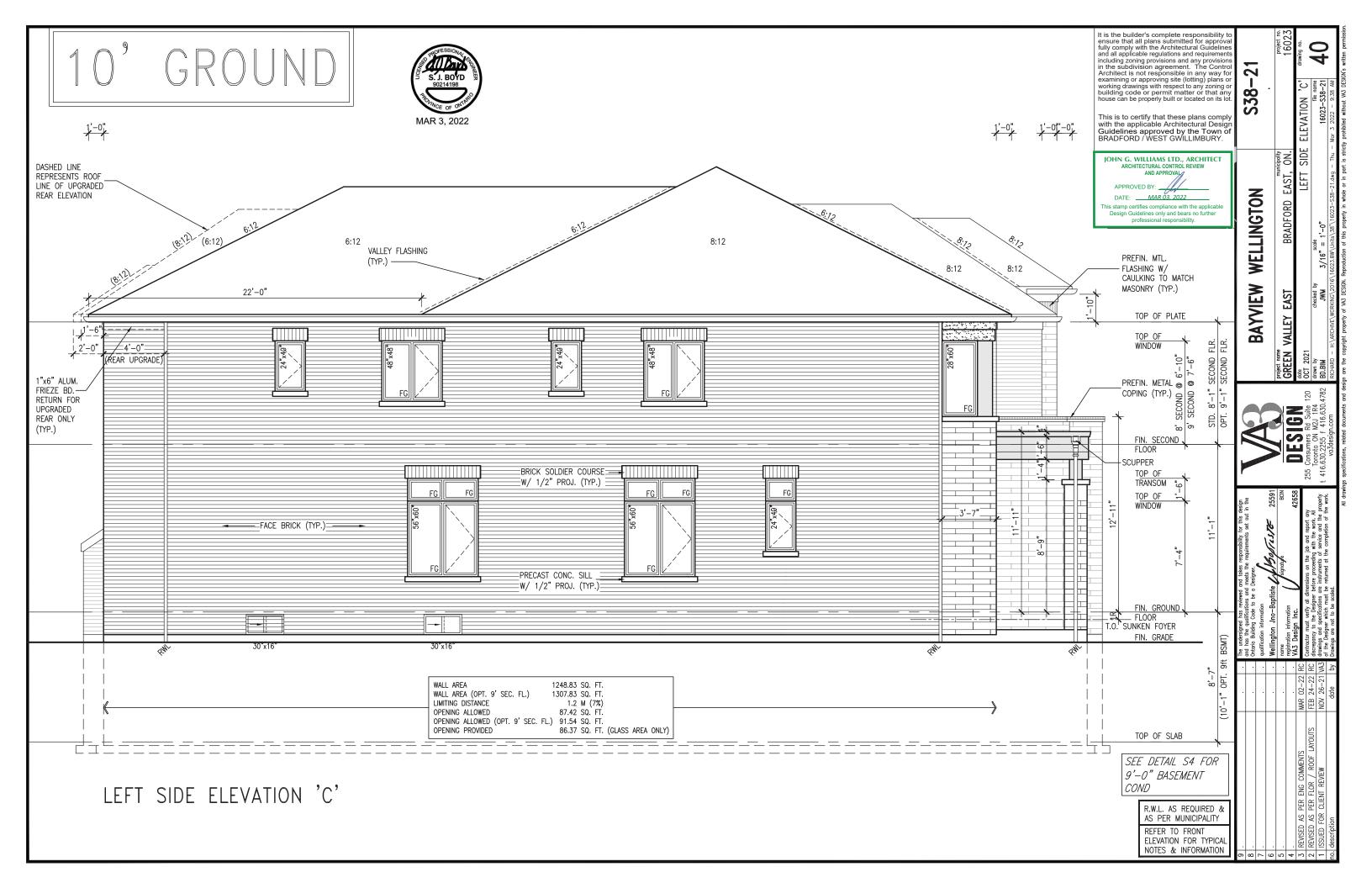


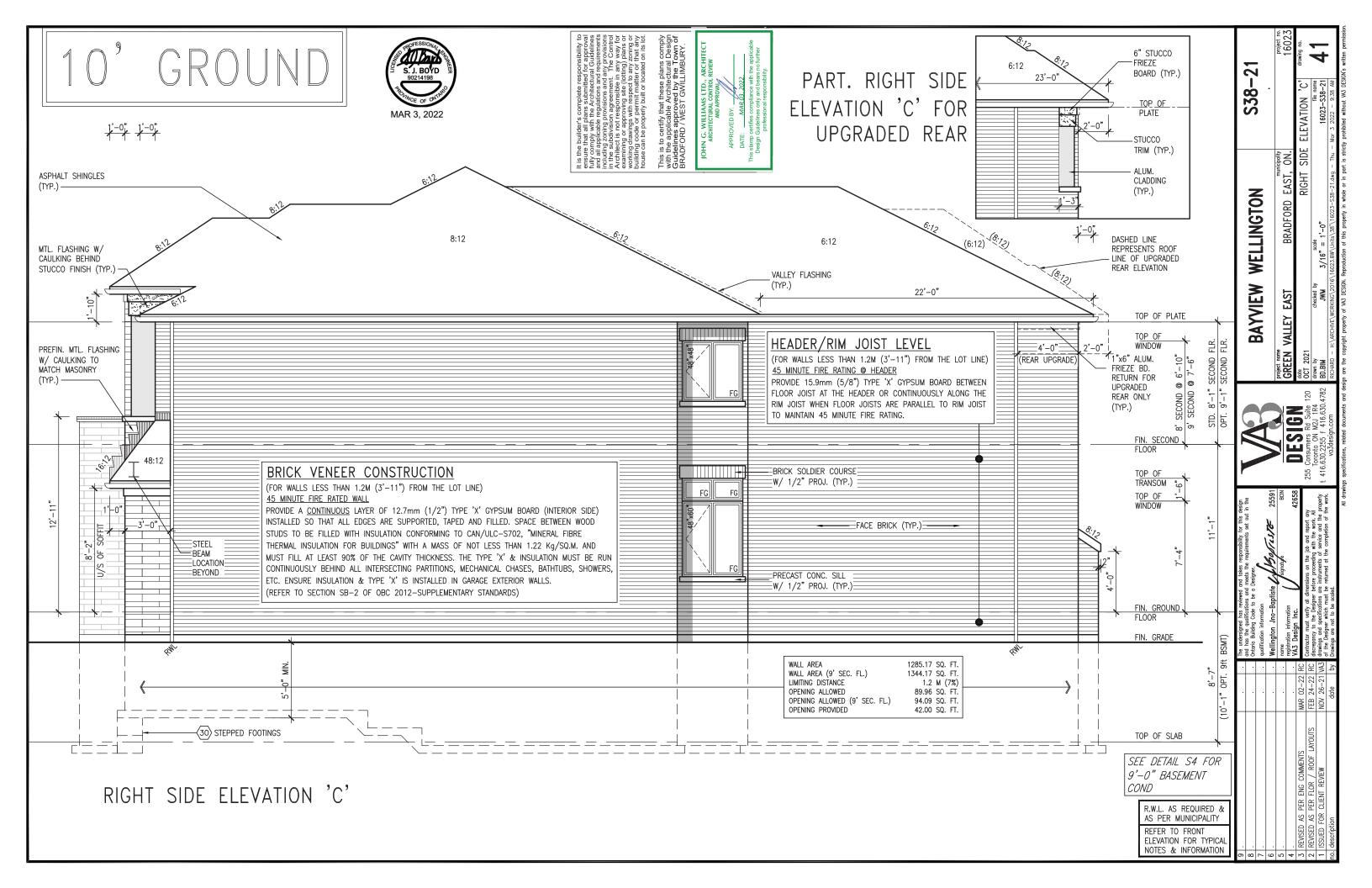


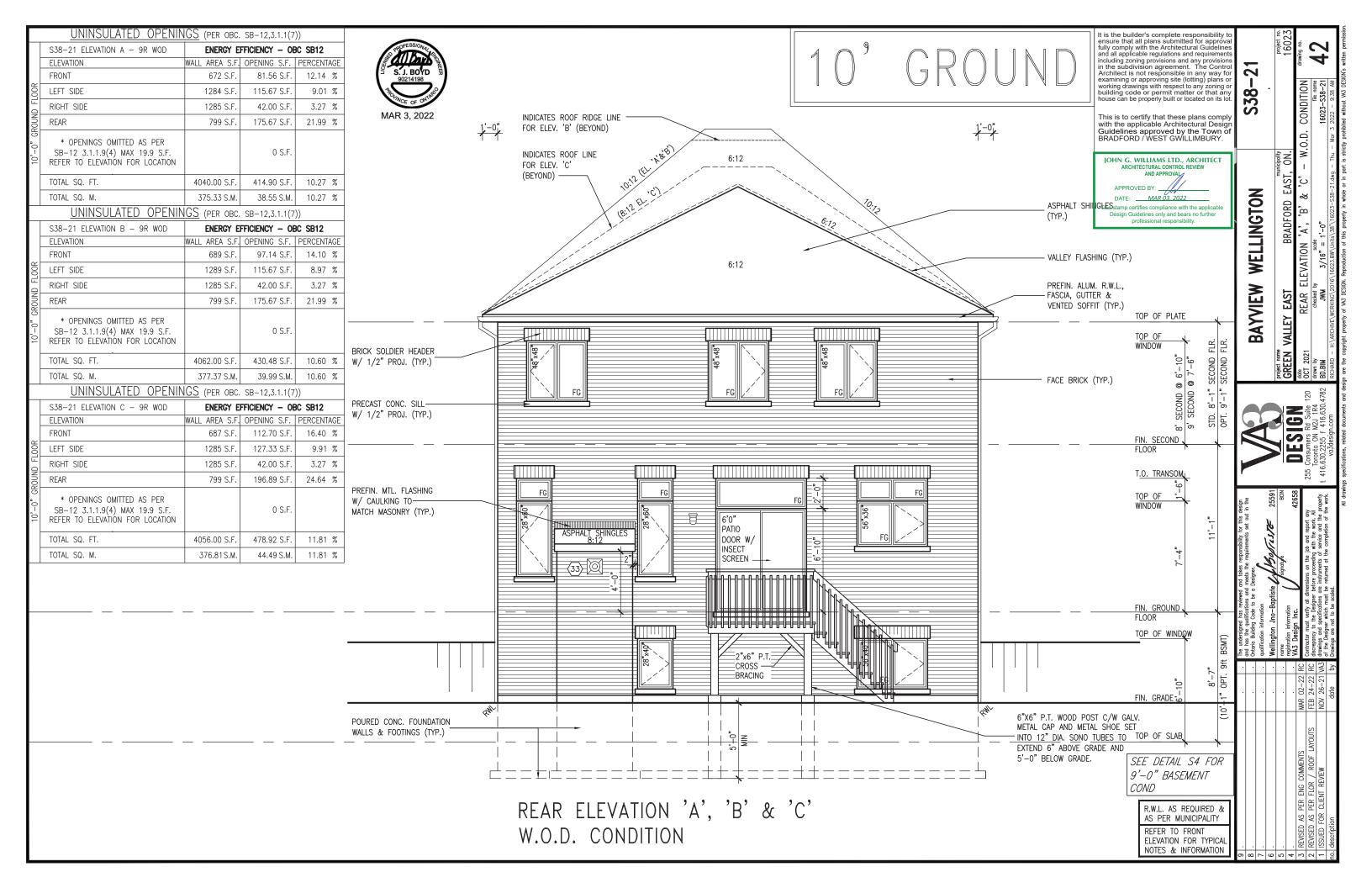


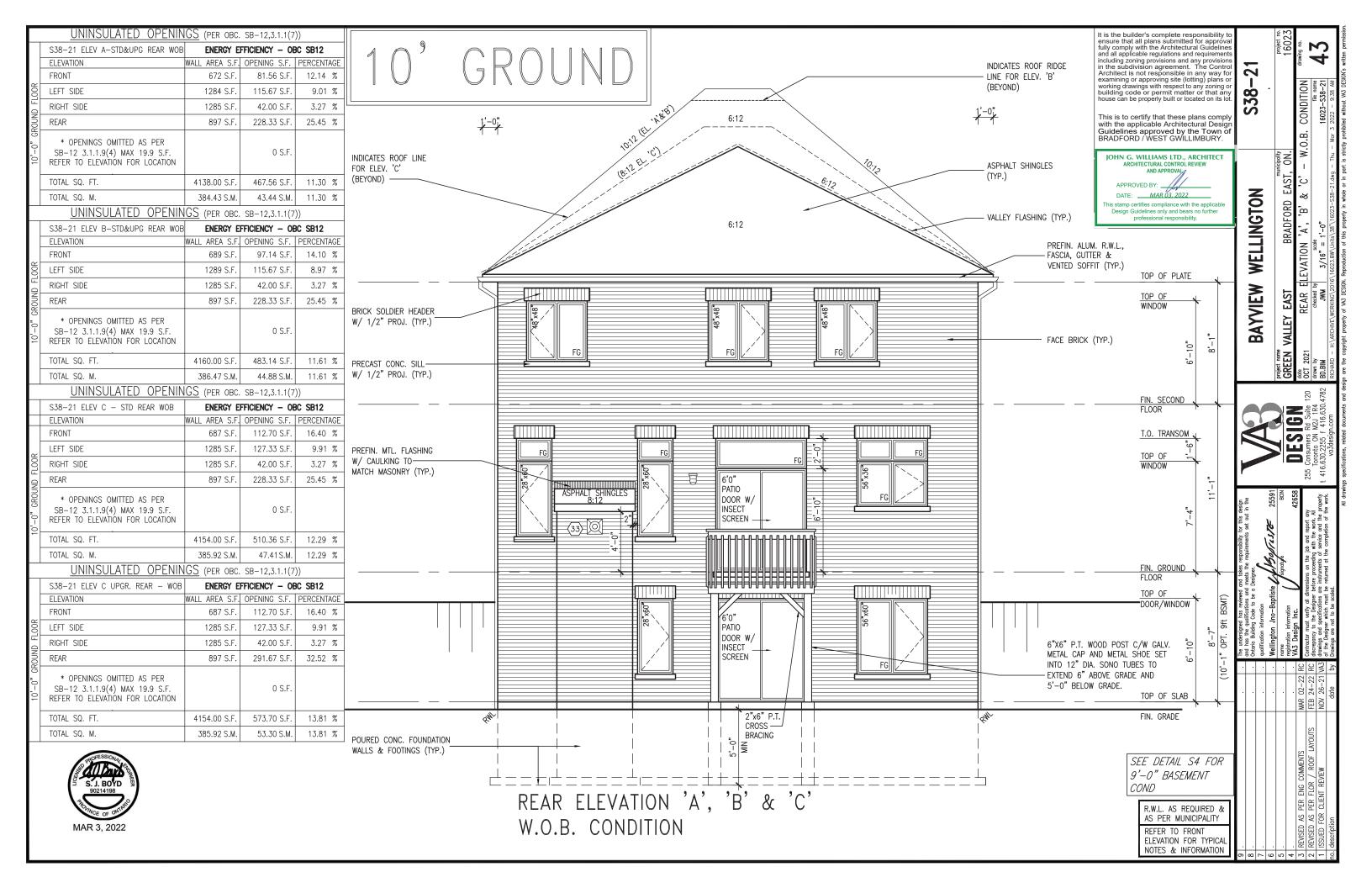


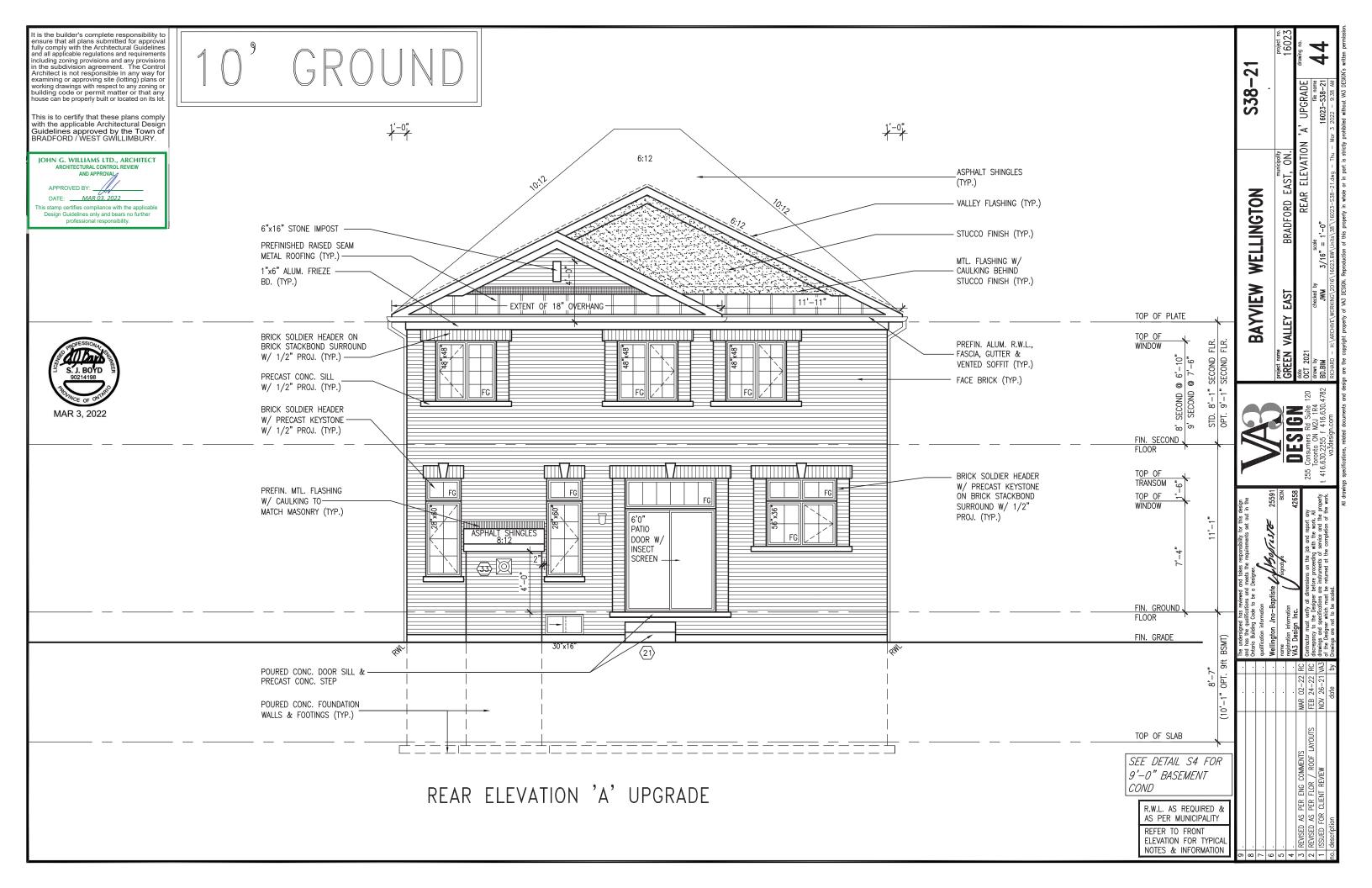


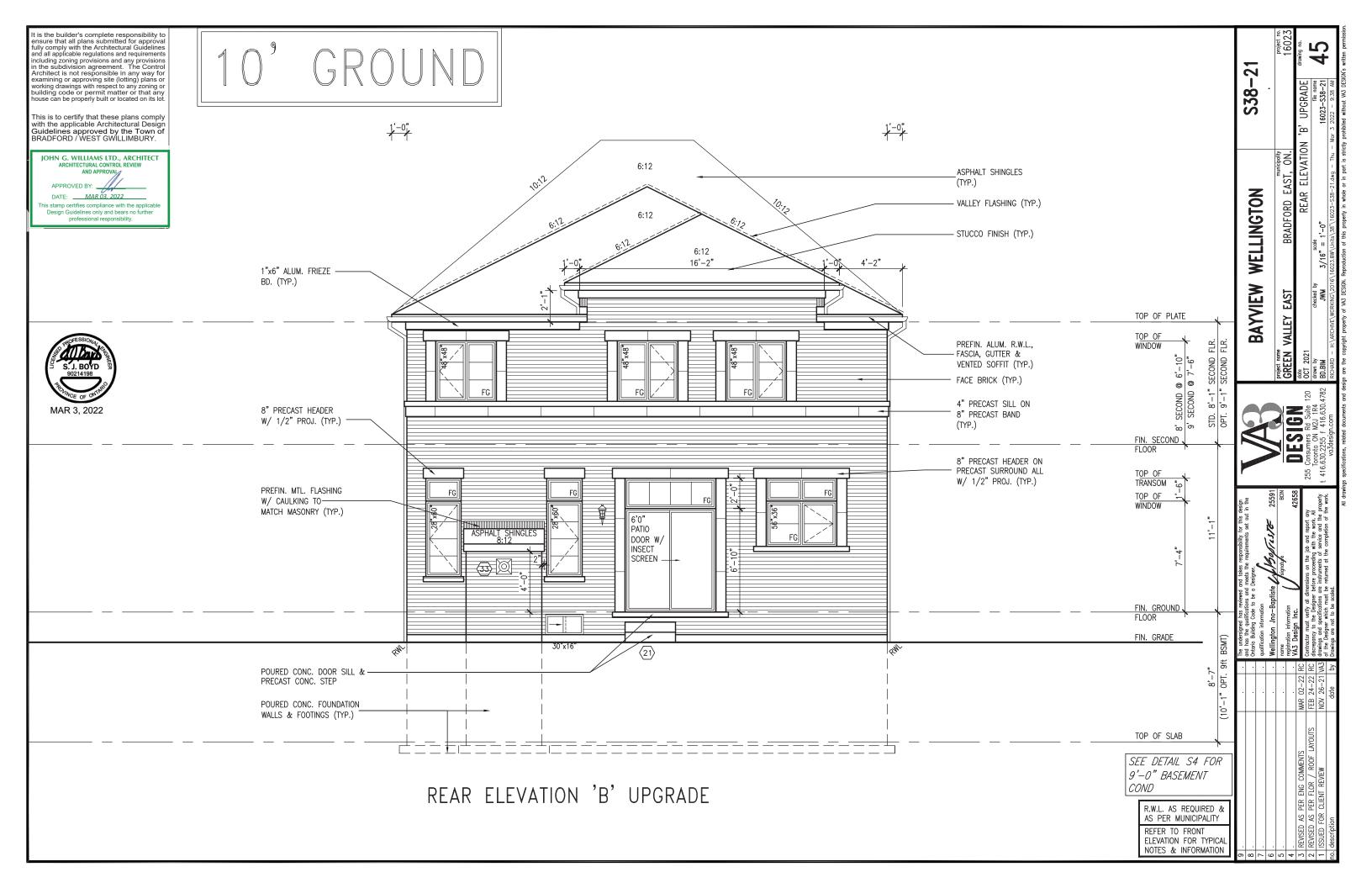


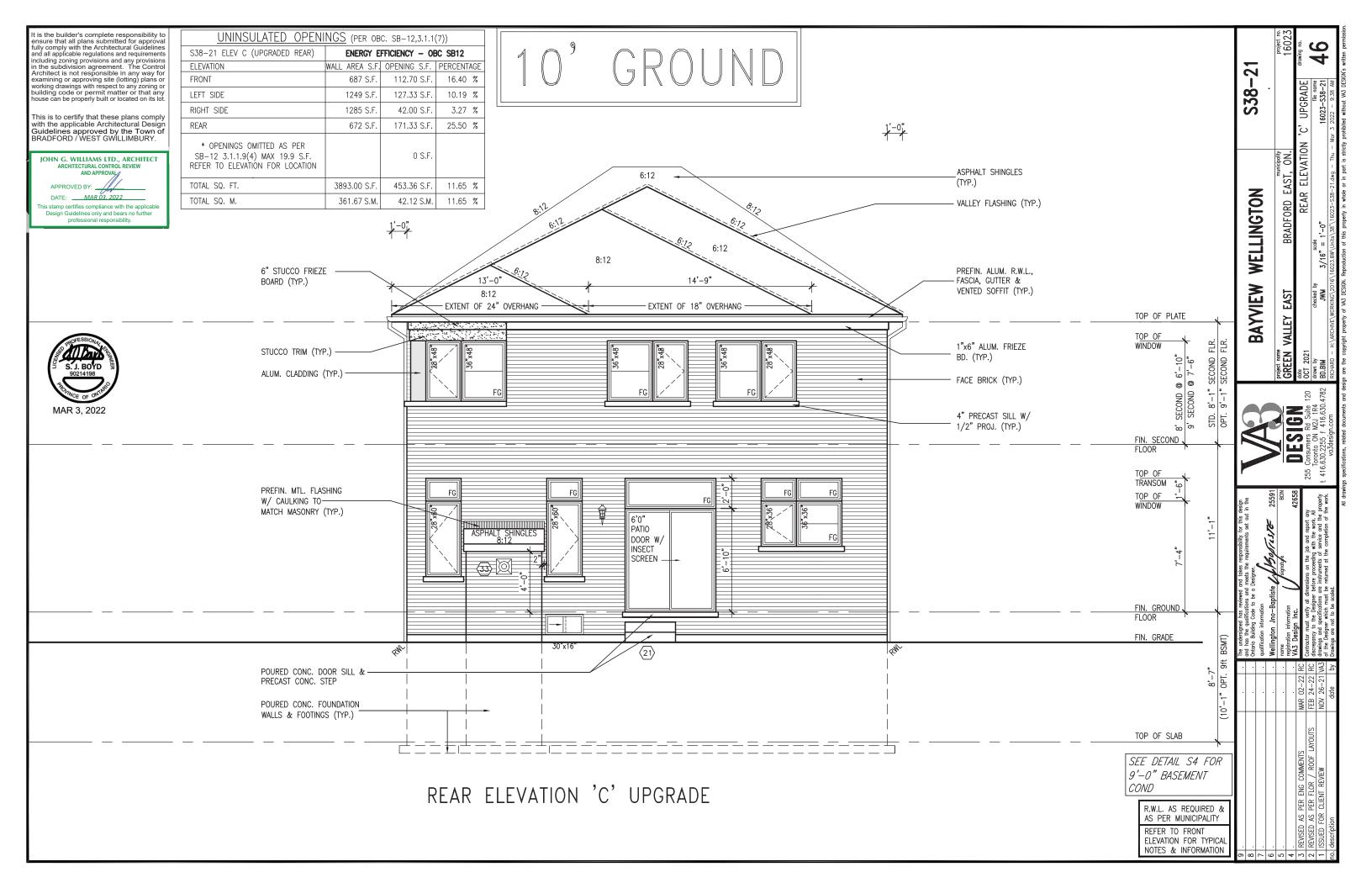


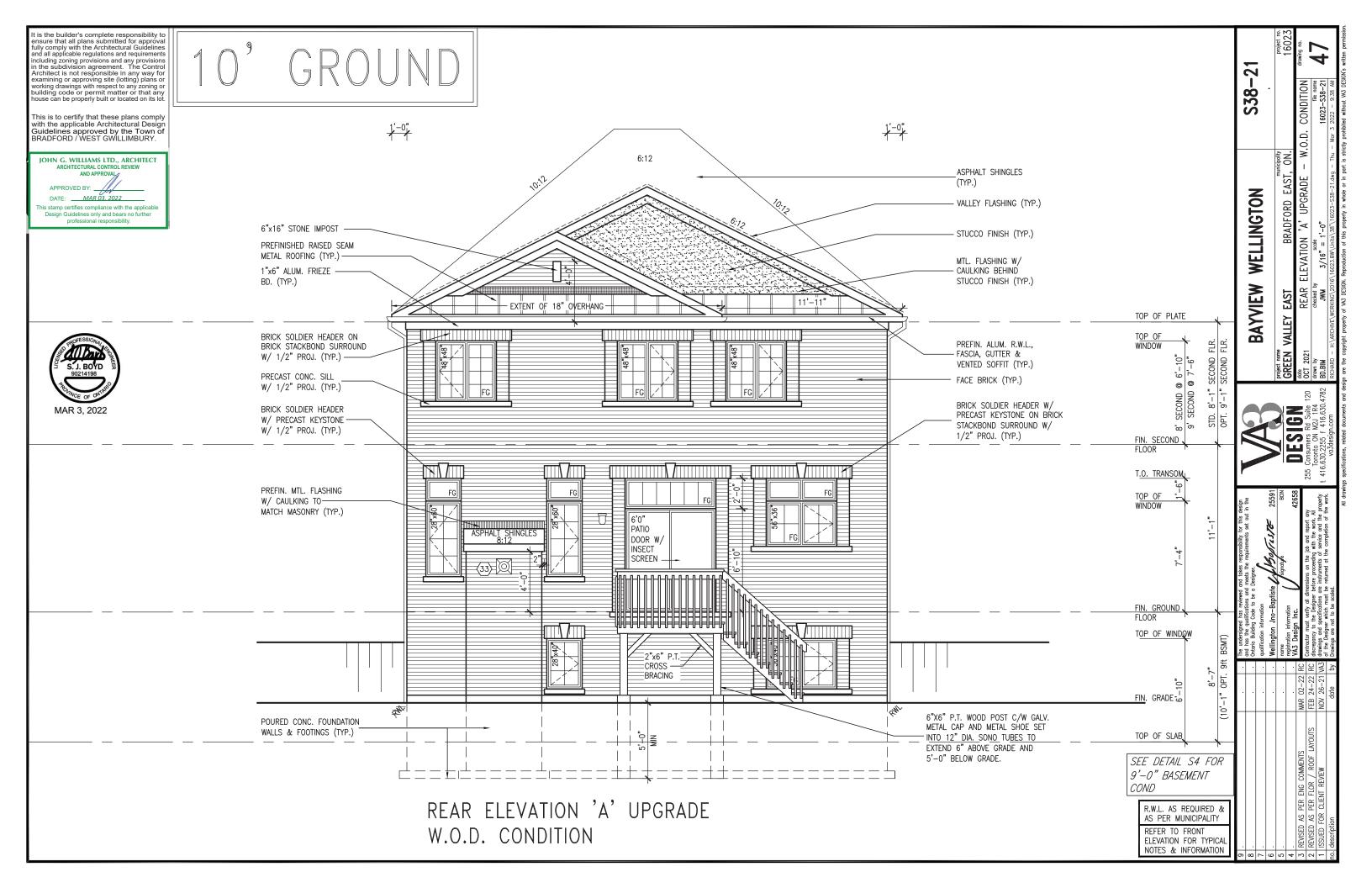


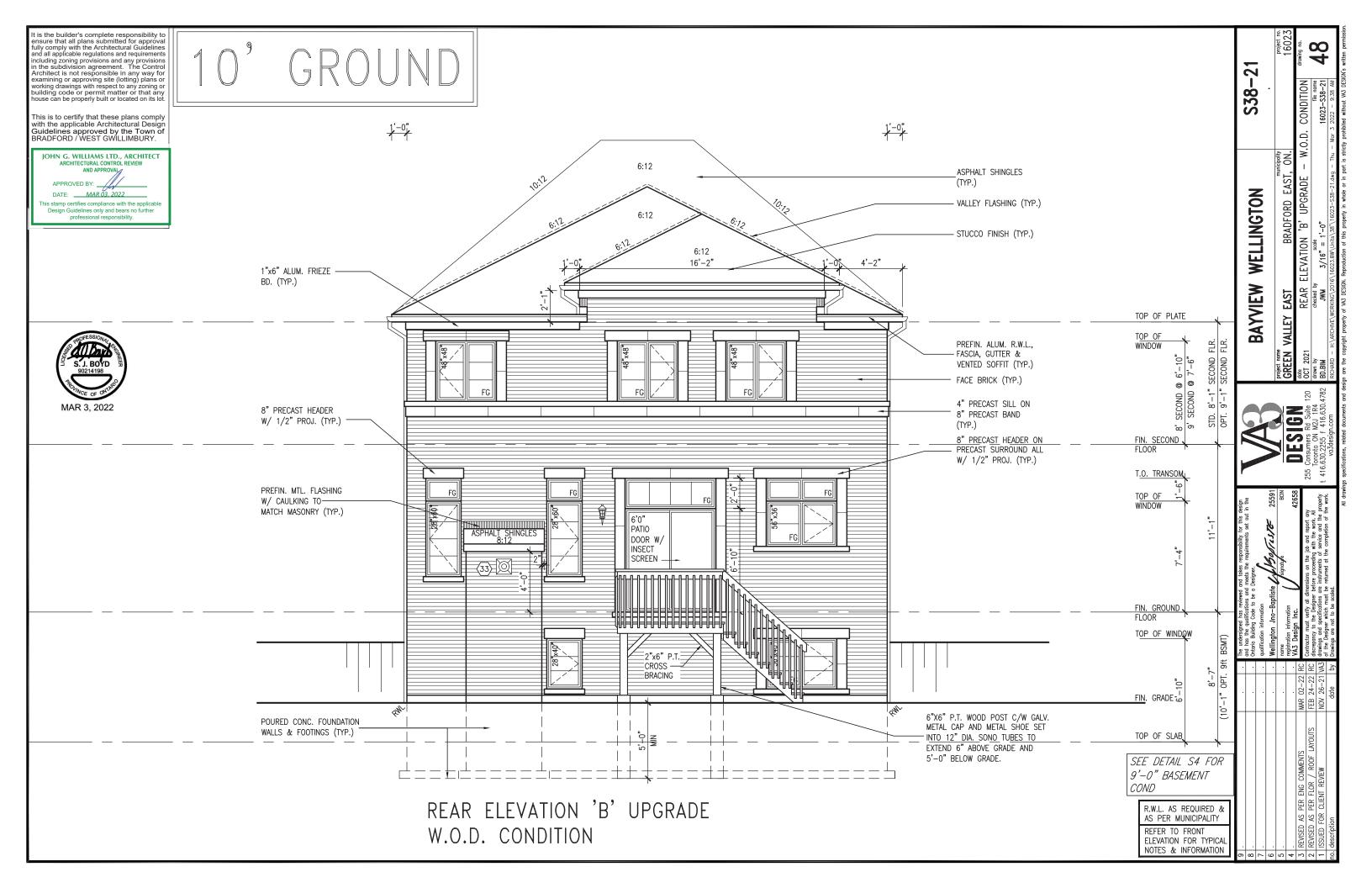


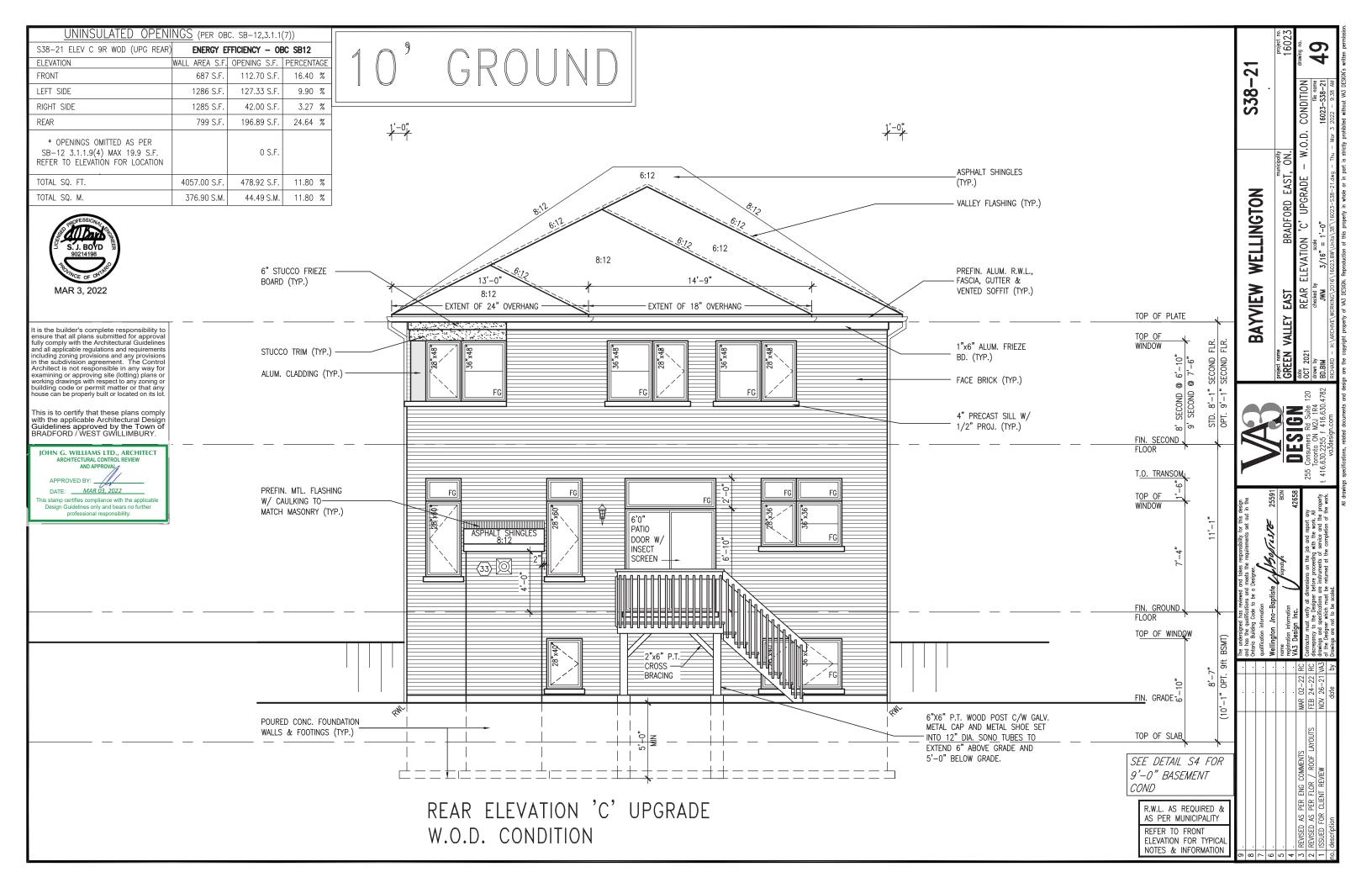


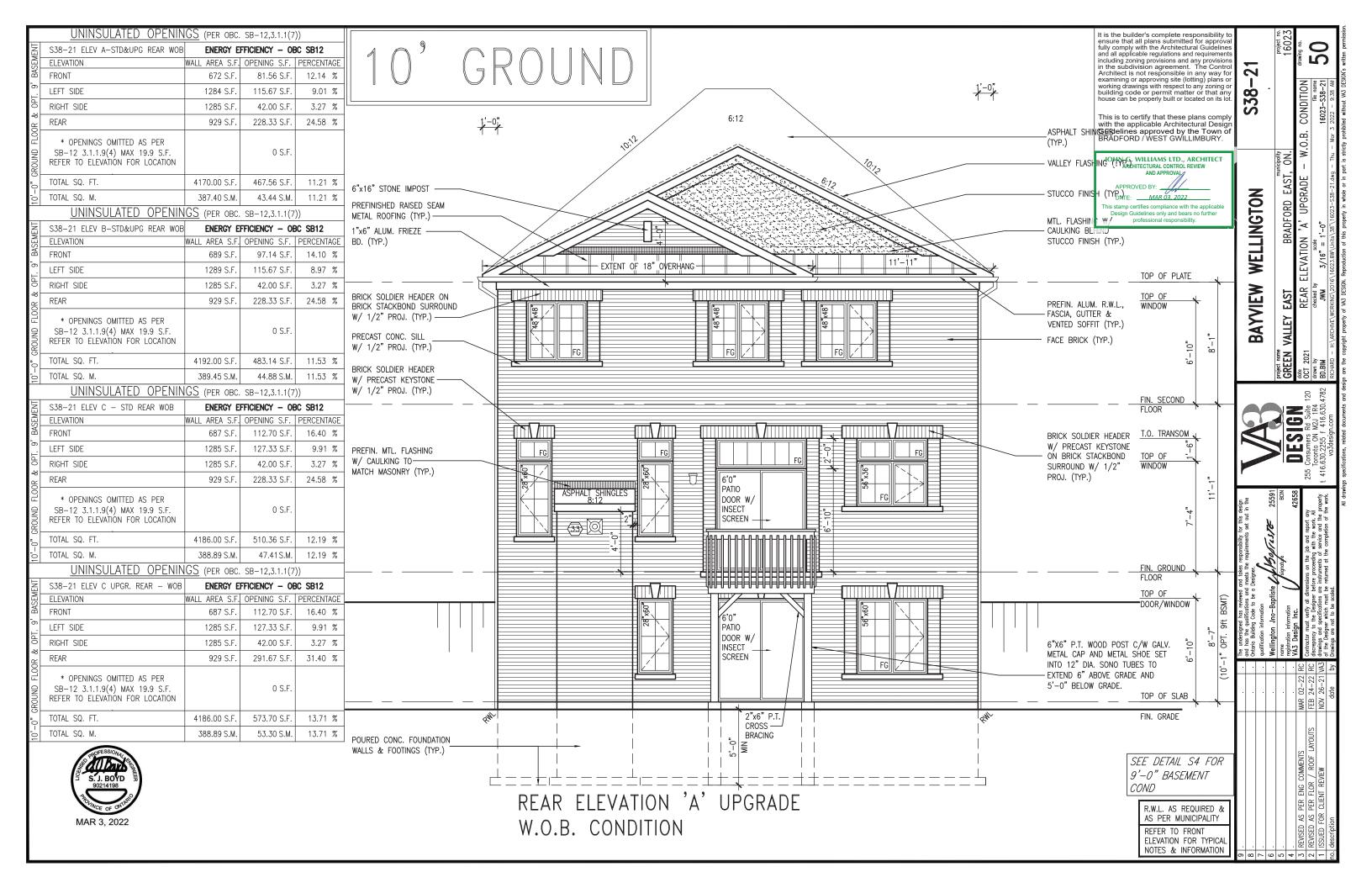


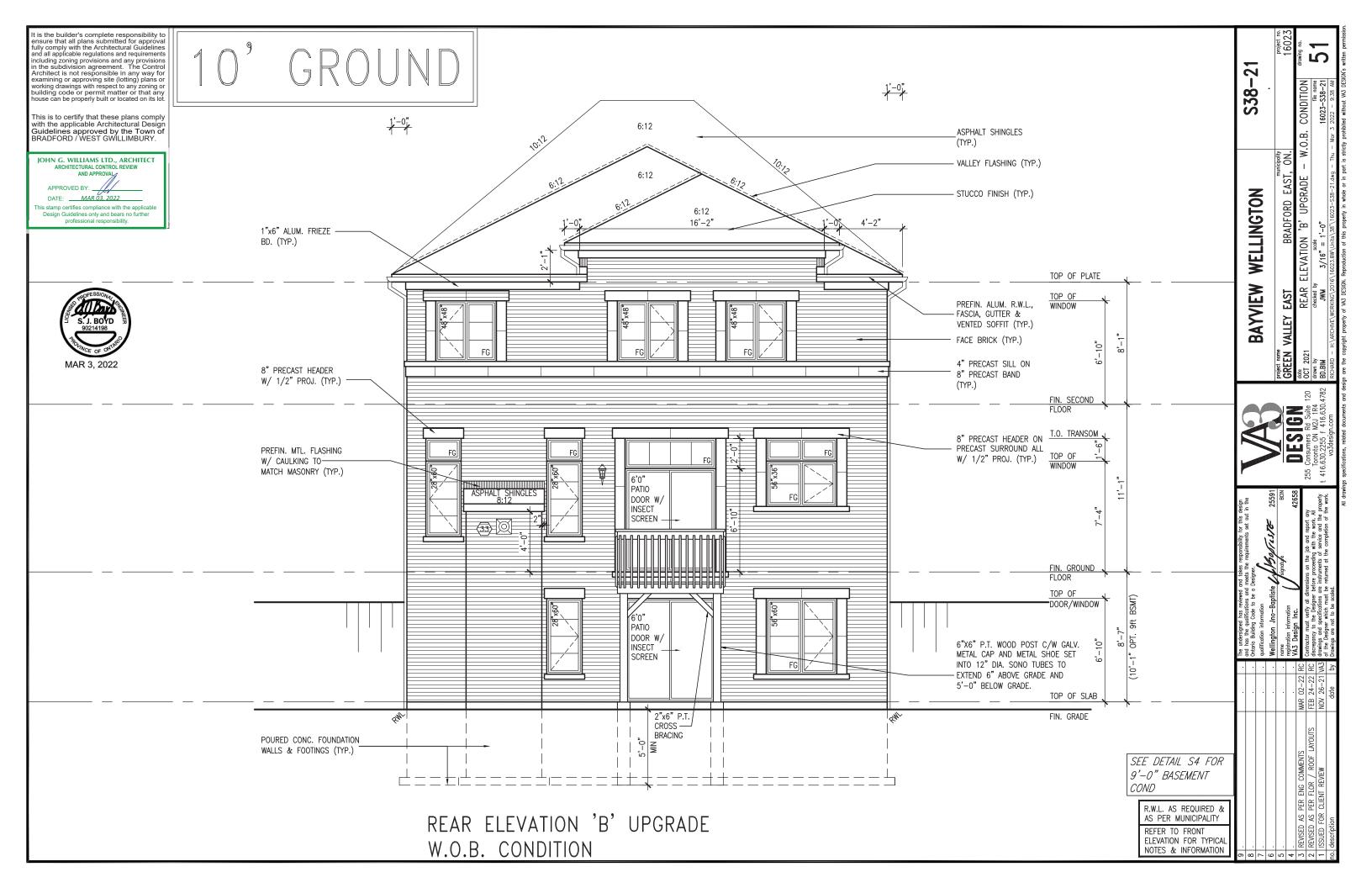


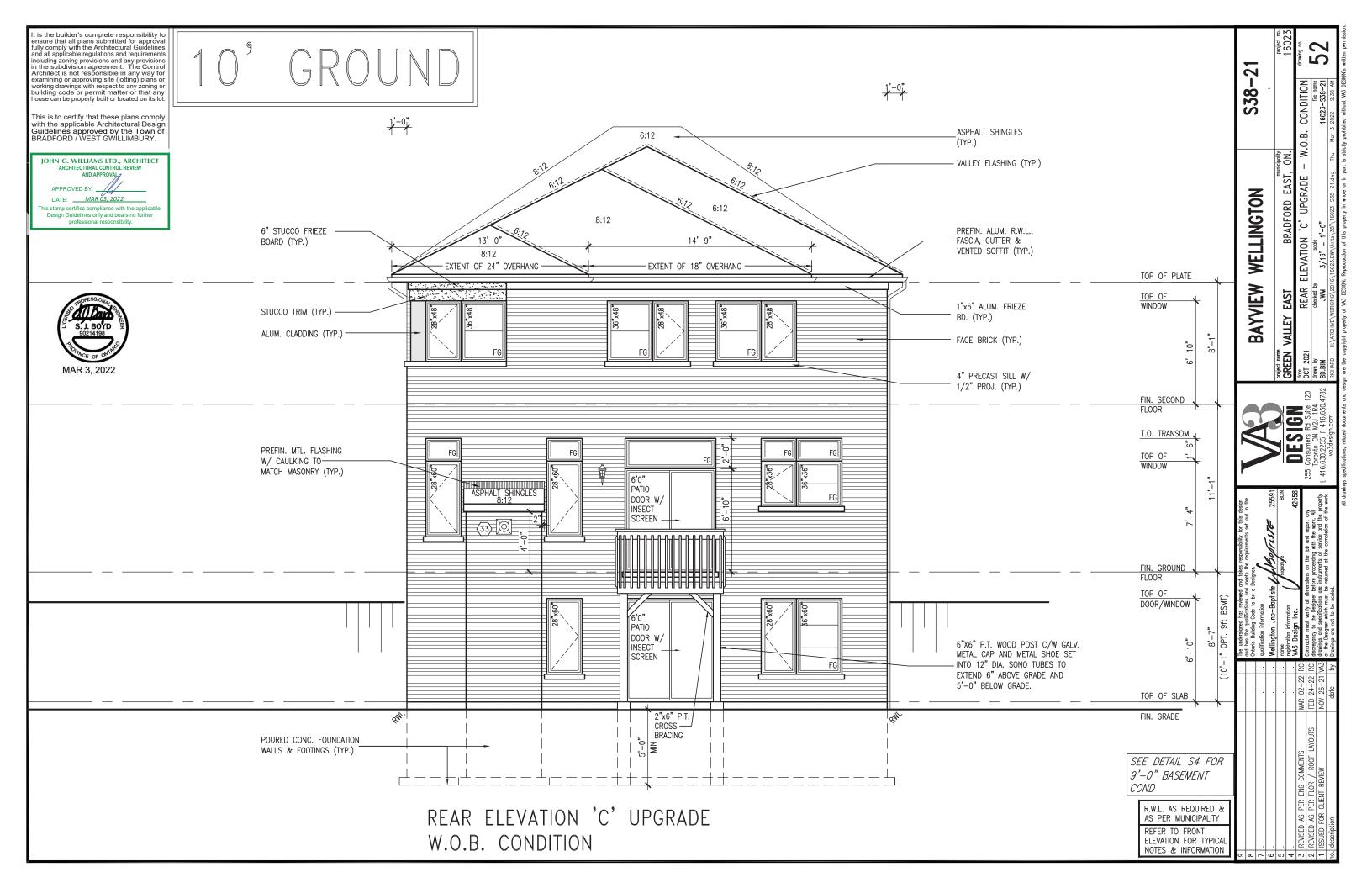












_	UNINSULATED OPENIN			
리	S38-21 ELEVATION A		FFICIENCY - OF	
SEC.	ELEVATION	WALL AREA S.F.		
9, 8	FRONT	704 S.F.	81.56 S.F.	11.59 %
9	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
ວ ຮຸ	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
5	REAR	704 S.F.	152.33 S.F.	21.64 %
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
0-01	TOTAL SQ. FT.	4103.00 S.F.	391.56 S.F.	9.54 %
_	TOTAL SQ. M.	381.18 S.M.	36.38 S.M.	9.54 %
	UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7	))
7	S38-21 ELEVATION A - 9R WOD	ENERGY E	FFICIENCY - OF	BC SB12
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
נ	FRONT	704 S.F.	81.56 S.F.	11.59 %
-	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
공 공	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	831 S.F.	175.67 S.F.	21.14 %
GROUND FLOUR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
2	TOTAL SQ. FT.	4230.00 S.F.	414.90 S.F.	9.81 %
2	TOTAL SQ. M.	392.98 S.M.	38.55 S.M.	9.81 %
	UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7	))
_	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY E	FFICIENCY - OF	SC SB12
, , ,	ELEVATION		OPENING S.F.	PERCENTAGE
n -	FRONT	704 S.F.	81.56 S.F.	11.59 %
-	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %
>   당	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	228.33 S.F.	24.60 %
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
0-01	TOTAL SQ. FT.	4327.00 S.F.	467.56 S.F.	10.81 %
5	TOTAL SQ. M.	401.99 S.M.	43.44 S.M.	10.81 %

	UNINSULATED OPENIN	GS (PER OBC.	SB-12,3.1.1(7	))
긥	S38-21 ELEVATION B	ENERGY E	FFICIENCY - OF	SC SB12
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
9, SE	FRONT	720 S.F.	97.14 S.F.	13.49 %
OPT.	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
ا ا	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
- 1	REAR	704 S.F.	152.33 S.F.	21.64 %
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
-0	TOTAL SQ. FT.	4124.00 S.F.	407.14 S.F.	9.87 %
9,	TOTAL SQ. M.	383.13 S.M.	37.82 S.M.	9.87 %
	UNINSULATED OPENIN	<u>GS</u> (PER OBC.	SB-12,3.1.1(7	))
긥	S38-21 ELEVATION B - 9R WOD	ENERGY E	FFICIENCY - OF	SC SB12
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
9,	FRONT	720 S.F.	97.14 S.F.	13.49 %
OPT.	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
o श्र	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
- 1	REAR	831 S.F.	175.67 S.F.	21.14 %
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
-0	TOTAL SQ. FT.	4251.00 S.F.	430.48 S.F.	10.13 %
9,	TOTAL SQ. M.	394.93 S.M.	39.99 S.M.	10.13 %
	UNINSULATED OPENIN	GS (PER OBC.	SB-12,3.1.1(7	))
F	S38-21 ELEV B-STD&UPG REAR WOB		FFICIENCY - OF	
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
9,	FRONT	720 S.F.	97.14 S.F.	13.49 %
OPT.	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %
୦ ଅ	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
	REAR	928 S.F.	228.33 S.F.	24.60 %
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
<u></u> 0,	TOTAL SQ. FT.	4348.00 S.F.	483.14 S.F.	11.11 %
<u>'</u>	TOTAL SQ. M.	403.94 S.M.	44.88 S.M.	11.11 %

	UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7	))		
႕	S38-21 ELEVATION C	ENERGY E	FFICIENCY - OF	SC SB12		
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		
9, S	FRONT	719 S.F.	112.70 S.F.	15.67 %		
1, .	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %		
& 0PT	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %		
1 1	REAR	704 S.F.	152.33 S.F.	21.64 %		
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
-0	TOTAL SQ. FT.	4120.00 S.F.	434.36 S.F.	10.54 %		
10,	TOTAL SQ. M.	382.76 S.M.	40.35 S.M.	10.54 %		
	UNINSULATED OPENIN	GS (PER OBC.	SB-12,3.1.1(7	))		
긥	S38-21 ELEVATION C - 9R WOD	ENERGY E	FFICIENCY - OF	BC SB12		
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		
9, S	FRONT	719 S.F.	112.70 S.F.	15.67 %		
OPT.	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %		
8 0	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %		
	REAR	831 S.F.	196.89 S.F.	23.69 %		
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
-0,	TOTAL SQ. FT.	4247.00 S.F.	478.92 S.F.	11.28 %		
10,	TOTAL SQ. M.	394.56 S.M.	44.49 S.M.	11.28 %		
	UNINSULATED OPENIN	NGS (PER OBC. SB-12,3.1.1(7))				
급	S38-21 ELEV C - STD REAR WOB		FFICIENCY - OF			
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		
9,	FRONT	719 S.F.	112.70 S.F.	15.67 %		
PPT.	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %		
O   & 	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %		
	REAR	928 S.F.	228.33 S.F.	24.60 %		
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
-0,	TOTAL SQ. FT.	4344.00 S.F.	510.36 S.F.	11.75 %		
	TOTAL SQ. M.	403.57 S.M.	47.41S.M.	11.75 %		

	<u>UNINSULATED OPENIN</u>	<u>IGS</u> (per obc.	SB-12,3.1.1(7	"))				
근	S38-21 ELEV C (UPGRADED REAR)	ENERGY EFFICIENCY - OBC SB12						
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE				
9, SI	FRONT	719 S.F.	112.70 S.F.	15.67 %				
OPT.	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %				
8	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %				
1 1	REAR	704 S.F.	171.33 S.F.	24.34 %				
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.					
-0,	TOTAL SQ. FT.	4120.00 S.F.	453.36 S.F.	11.00 %				
10,	TOTAL SQ. M.	382.76 S.M.	42.12 S.M.	11.00 %				

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))											
긥	S38-21 ELEV C 9R WOD (UPG REAR)	BC SB12										
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA	AGE							
9, SE	FRONT	719 S.F.	112.70 S.F.	15.67	%							
OPT.	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44	%							
8	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12	%							
R R	REAR	831 S.F.	196.89 S.F.	23.69	%							
GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.									
10,-0"	TOTAL SQ. FT.	4247.00 S.F.	478.92 S.F.	11.28	%							
10,	TOTAL SQ. M.	394.56 S.M.	44.49 S.M.	11.28	%							

	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))										
교	S38-21 ELEV C UPGR. REAR - WOB	ENERGY E	FFICIENCY - OF	SC SB12							
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE							
GROUND FLOOR & OPT. 9' SE	FRONT	719 S.F.	112.70 S.F.	15.67 %							
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %							
	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %							
	REAR	928 S.F.	291.67 S.F.	31.43 %							
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.								
-	TOTAL SQ. FT.	4344.00 S.F.	573.70 S.F.	13.21 %							
, _	TOTAL SQ. M.	403.57 S.M.	53.30 S.M.	13.21 %							

BAYVIEW	project name GREEN VALLEY EAST	date 0CT 2021	drawn by checked by	BD.BIM JWM	
	DECIEN	255 Consumers Rd Suite 120	Toronto ON M2J 1R4	t 416.630.2255 f 416.630.4782	7

BRADFORD EAST, ON.

			-	
	DECIEN	255 Consumers Rd Suite 120	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782	va3design.com
5591	BCIN	000	erty vork.	

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S38-21

BAYVIEW WELLINGTON

<b>**</b>			255 Consumers Rd Suite 120 Toronto ON M2.1 1R4	416.6	va3design.com
25591	BCIN	42658		property	

25591	BCIN	42658 DE	any 255 Consumers F	t 416.
19061.87E	natyle		on the job and report any occeeding with the work. All	ments of service and the property ed at the completion of the work.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))						
≈ .	S38-21 ELEV A-STD&UPG REAR WOB	ENERGY E	FFICIENCY - OF	SC SB12	≈ .	S38-21 ELEV B-STD&UPG REAR WOE	ENERGY E	FFICIENCY - OE	3C SB12	શ્ર	S38-21 ELEV C - STD REAR WOB ENERGY EFFICIENCY - OBC SB12			3C SB12
르	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	]፫	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	]로	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	704 S.F.	81.56 S.F.	11.59 %	SEC.	FRONT	720 S.F.	97.14 S.F.	13.49 %	SEC.	FRONT	719 S.F.	112.70 S.F.	15.67 %
.6 FN	LEFT SIDE	1347 S.F.	115.67 S.F.	8.59 %	.6 EN	LEFT SIDE	1352 S.F.	115.67 S.F.	8.56 %	9, ENT	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %
OPT.	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %	OPT.	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %	OPT.	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %
OR, (	REAR	960 S.F.	228.33 S.F.	23.78 %	OR, (	REAR	960 S.F.	228.33 S.F.	23.78 %	OR, (	REAR	960 S.F.	228.33 S.F.	23.78 %
GROUND FLO	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		GROUND FLO	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		GROUND FLO	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
.0	TOTAL SQ. FT.	4359.00 S.F.	467.56 S.F.	10.73 %	.0-	TOTAL SQ. FT.	4380.00 S.F.	483.14 S.F.	11.03 %	.0-	TOTAL SQ. FT.	4376.00 S.F.	510.36 S.F.	11.66 %
0,	TOTAL SQ. M.	404.96 S.M.	43.44 S.M.	10.73 %	, '	TOTAL SQ. M.	406.91S.M.	44.88 S.M.	11.03 %	0,	TOTAL SQ. M.	406.54 S.M.	47.41 S.M.	11.66 %

	UNINSULATED OPENING	<u>GS</u> (PER OBC.	SB-12,3.1.1(7)	)				
ళ	S38-21 ELEV C UPGR. REAR - WOB ENERGY EFFICIENCY - OBC SB12							
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE				
SEC.	FRONT	719 S.F.	112.70 S.F.	15.67 %				
	LEFT SIDE	1349 S.F.	127.33 S.F.	9.44 %				
OPT. 9' BASEMENT	RIGHT SIDE	1348 S.F.	42.00 S.F.	3.12 %				
OR, D", B,	REAR	960 S.F.	291.67 S.F.	30.38 %				
GROUND FLOOR, OPT. 9'-0" E	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.					
, 0-	TOTAL SQ. FT.	4376.00 S.F.	573.70 S.F.	13.11 %				
10'-0"	TOTAL SQ. M.	406.54 S.M.	53.30 S.M.	13.11 %				

	DESIGN

| GREEN VALLEY EAST | date | oct 2021 | checked by Grown by | Dr. BIM | JWM |

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BRADFORD EAST, ON.

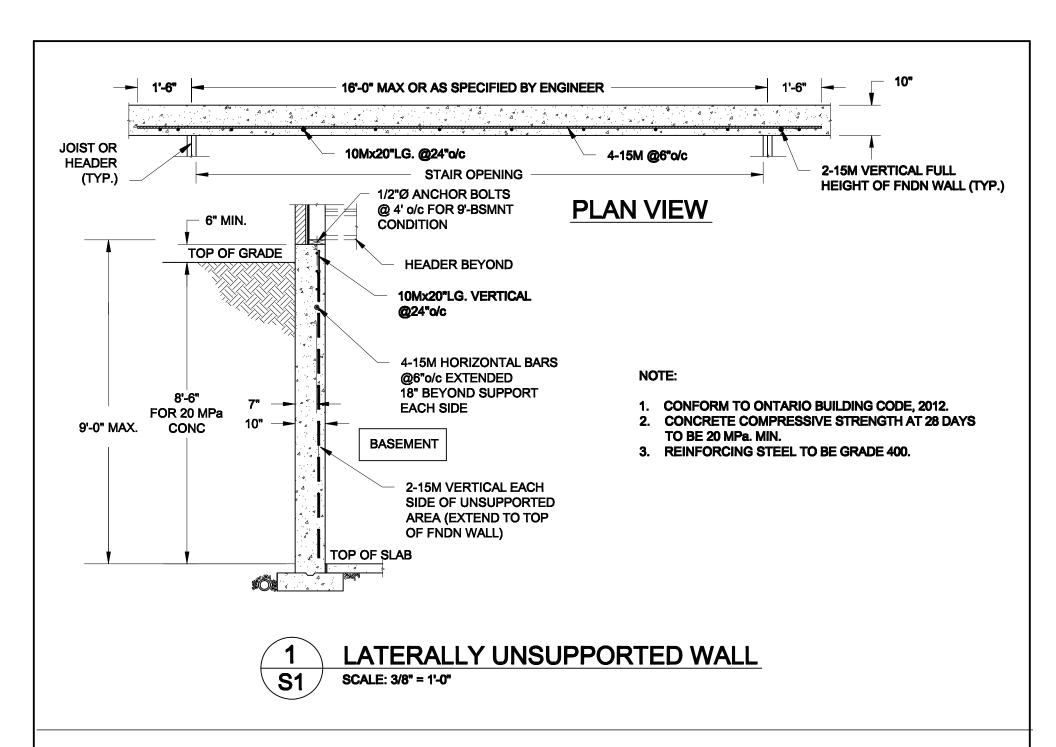
9'0" SECL FL. SB12 CHART

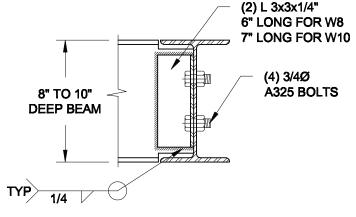
16023-S38-21

0-38 AM

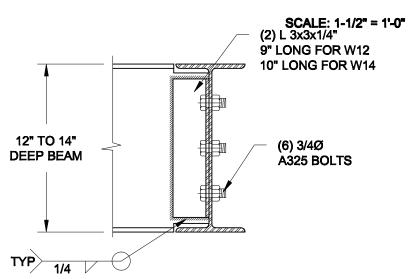
S38-21

BAYVIEW WELLINGTON

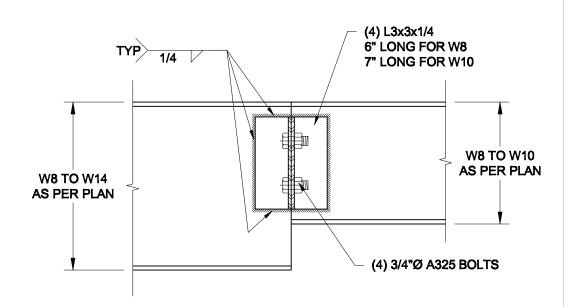




NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.



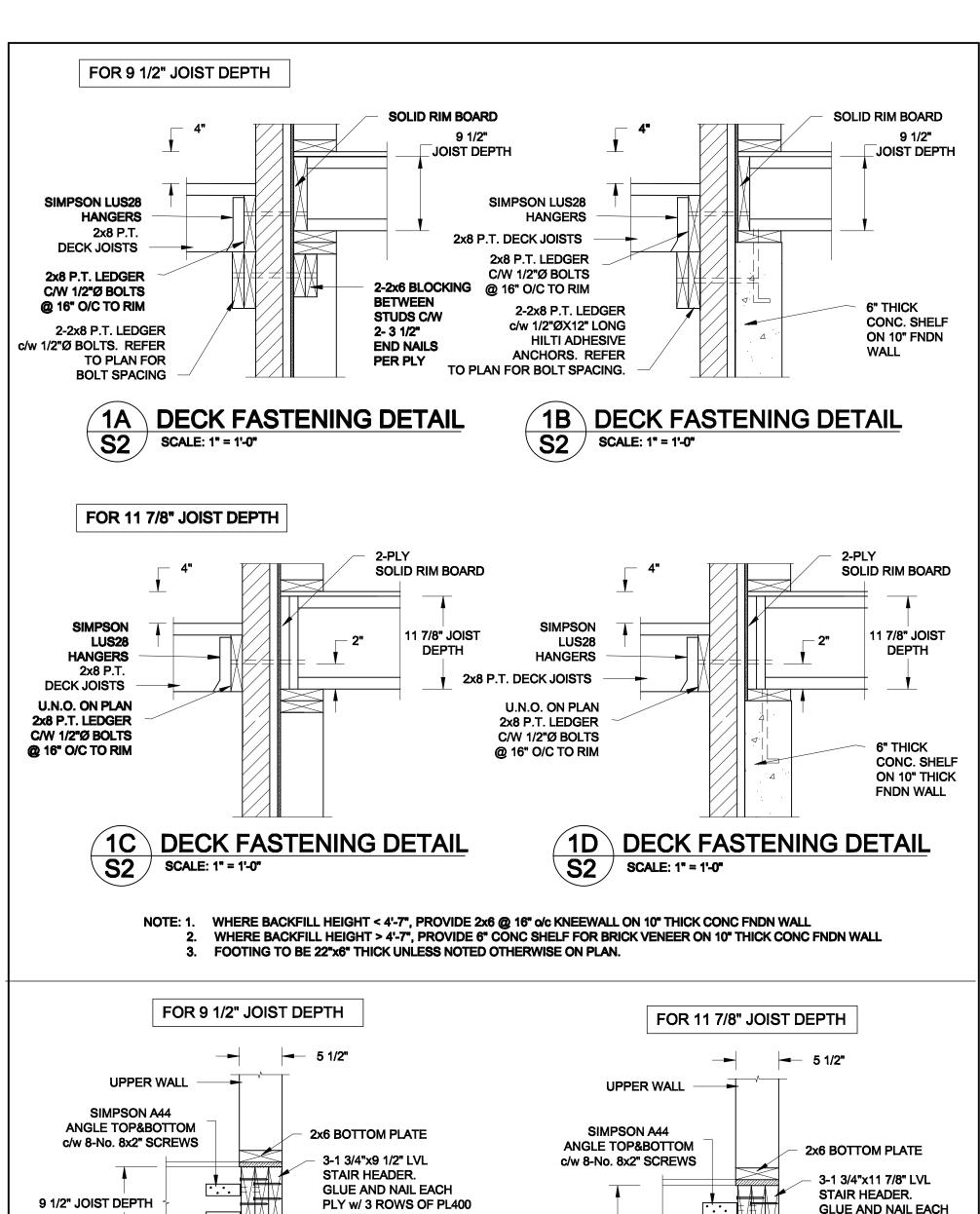
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

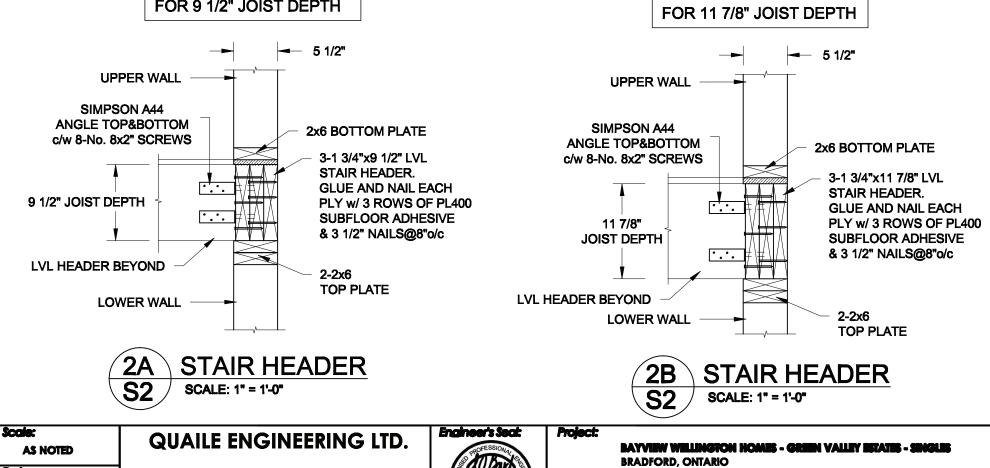
**GREEN VALLEY ESTATES - SINGLES** 

**S1** 



		_		_			
Scale: AS NO	red .	QUAILE ENG	GINEERING LTD.	Engineer's Sect.		IW WELLINGTON HOME ORD, ONTARIO	<b>15 - GREEN VALLE</b> Y I
Date: PES-17	3022		38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9	S. J. BOYD 90214198	TYPICA	AL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB		T: 905-853-8547 E: qualle.eng@rogers.com	FEB 17, 2022	Project No.: 21-01	38	Drawing No.:





S. J. BOYD

MAR 30, 2021

Project No.:

21-038

**TYPICAL STRUCTURAL DETAILS** 

Drawing No.:

**S2** 

SC SJB

P:\SamC-06\2021\21-036 BAYVEW WELLINGTON GREEN VALLEY SINGLES\21-036.chg

38 Parkside Drive, UNIT 7

E: qualle.eng@rogers.com

Newmarket, ON

T: 905-853-8547

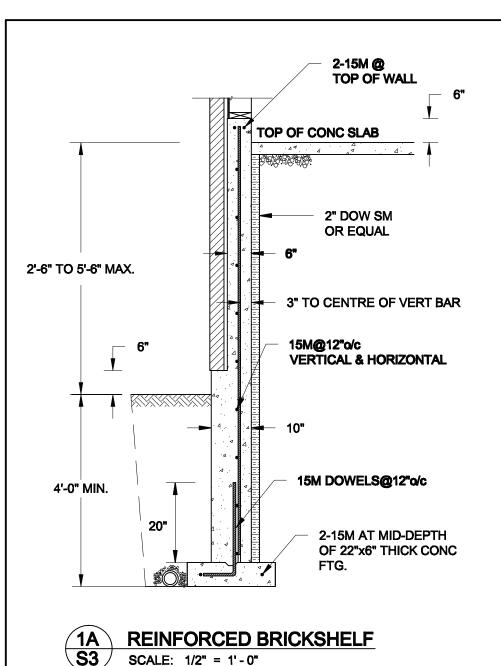
L3Y 8J9

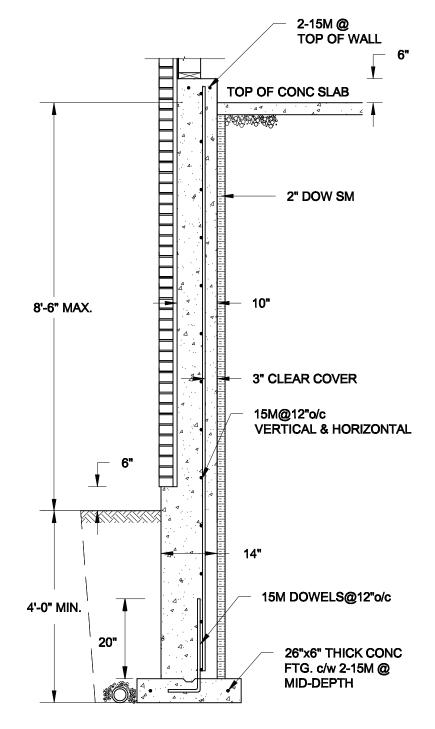
Date:

Drawn:

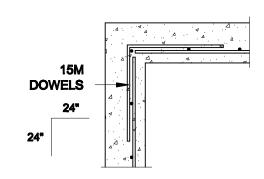
MAR-18-2021

Checked





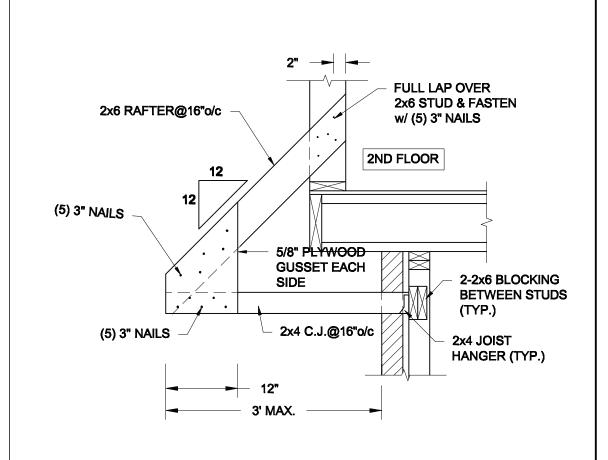
1B REINFORCED BRICKSHELF
S3 SCALE: 1/2" = 1'-0"

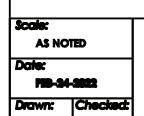


S3 SCALE: 1/2" = 1'-0"

### NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS SEE DETAIL 1C/S3.
- 5. PROVIDE 3" COVER TO SOIL MINIMUM.
- 6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.





SJB

SC

### **QUAILE ENGINEERING LTD.**

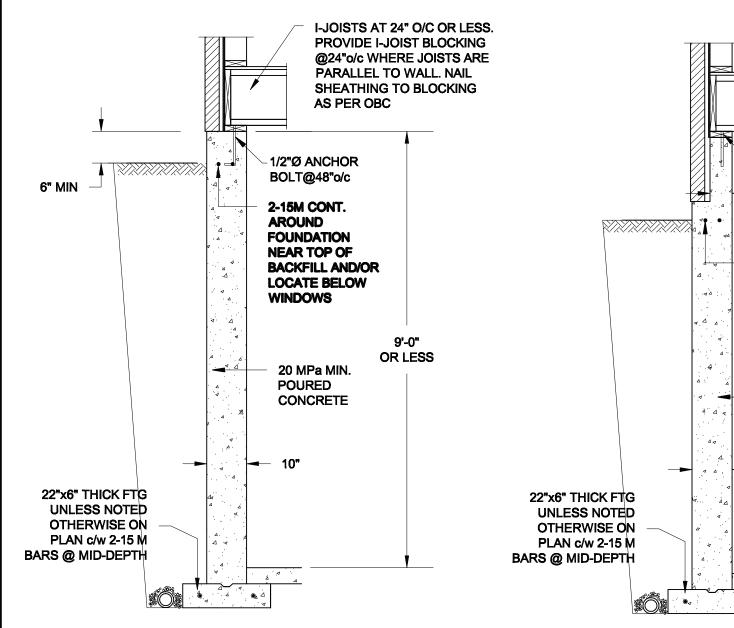
38 Parkside Drive, UNIT 7
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Project:	BAYVIEW WILLINGTON HOME BRADFORD, ONTARIO	B - GREEN VALLEY ESTATES - SINGLES
	TYPICAL STRUCTURAL DETAILS	
Brokensk Ma		Demulae No.

Project No.: Drawing No.: \$3

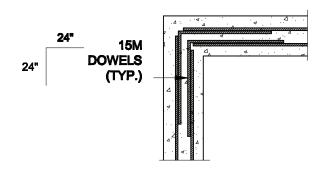
CANOPY ROOF OVER GARAGE



I-JOISTS AT 24" O/C OR LESS. PROVIDE I-JOIST BLOCKING @24"o/c WHERE JOISTS ARE PARALLEL TO WALL. NAIL **SHEATHING TO BLOCKING** AS PER OBC 1/2" DIA ANCHOR BOLT@ 48"o/c 2-15M CONT. **AROUND FOUNDATION NEAR TOP OF BACKFILL AND/OR LOCATE BELOW** 9'-0" **WINDOWS OR LESS** 20 MPa MIN. **POURED CONCRETE** 10"

FOUNDATION WALL
S4 SCALE: 1/2" = 1'-0"

1B DROPPED VENEER
\$4 SCALE: 1/2" = 1'-0"



1C TYP. PLAN VIEW AT CORNER SCALE: 1/2" = 1'-0"

NOTE: AT ALL WINDOW OPENINGS, PROVIDE 2-15M VERTICALLY AT EACH SIDE + 2-15M HORIZONTALLY 2" BELOW & EXTEND 24" BEYOND OPENING

### NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS SEE DETAIL 1C/S4.
- 5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
- 6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
- 7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

AS NOIED	QUAILE ENGIN		Engineer's Secit	Project:  BAYVIEW WILLINGTON HOM BRADFORD, ONTARIO	ES - GREEN VALLEY ESTATES - SINGLES	
Date: MAR-18-2021	38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9		S. J. BOYD 90214198	TYPICAL STRUCTURAL DETAILS		
Drawn: Checked: SC SJB	E: C	T: 905-853-8547 qualle.eng@rogers.com	**MAR 30, 2021	Project No.: 21-038	Drawing No.: \$4	

CONSTRUCTION NOTES (Unless otherwise noted) ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

ROOF CONSTRUCTION
NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD
SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm
(24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT, PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBG 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN, SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT, DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

FRAME WALL CONSTRUCTION (2"x4")— GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (1/6") O.C. (MAX. HEIGHT 3000mm (2B) (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

(2D)

STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO 0.8.C. 9.27.1.1.(2) &
9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") AROVÉ FINISH GRADE

WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER (2E.) AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL

MASONRY VENEER CONSTRUCTION (2"x6")(SB-12-TABLE 3.1.1.2.A) 16. 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR, VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER. 13mm (1/2") INTERIOR DRYWALL FINISH PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

MASONRY VENEER CONSTRUCTION (2"x4")— GARAGE WALLS 90mm [4"] MASONRY, 25mm [1"] AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03"] GALV. METAL TIES @ 400mm [16"] O.C. HORIZONTAL ⟨3B.⟩ PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6" BEHIND BUILDING PAPER.

MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.[2] &
9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE
CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (1/4") O.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC 58-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2
STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH
BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE
LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW
FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FOTN. WALL IS
WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560X155
(22"X") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR
TO BACKEUING. ALL FOOTINGS SHALL PEST ON NATIVEAL TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN.

BEARING CAPACITY OF 150kPg OR GREATER. IF SOIL BEARING DOES

NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED

STOREYS SUPPORTED W/ MASONRY VENEER W/ SIDING ONLY

1 18" WIDE x 6" DEEP 18" WIDE x 6" DEEP 22" WIDE x 6" DEEP -SEE OBC 9.15.3

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). -REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS: 2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7") FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA, FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED

(6.) (100mm (4") DIA. FOUNDATION DRAINAGE TILES. STONE OVER AND AROUND DRAINAGE TILES. BASEMENT SLAB 0BC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH

DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12.

ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)
PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8) KSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

STAIRS/EXTERIOR STAIRS -OBC. 9.8.-

(PRIVATE STAIRS)
UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST

RISE IN FLIGHT = 200 (7-7/8") = 255 (10") (NOSING TO NOSING) = RUN + 25 (1") MAX. RISE MIN. RUN MAX. TREAD

MAX. NOSING = 25 (1") = 1950 (6'-5") MIN. HEADROOM RAIL @ LANDING = 900 (2'-11")

RAIL @ STAIR = 865 (2'-10") to 1070 (3'-6") MIN. STAIR WIDTH = 860 (2'-10") FOR CURVED STAIRS (TAPERED TREADS)

= 150 (6") = 255 (10") MIN. RUN AT 300 (12")

HANDRAILS -OBC. 9.8.7.FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4")
BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE (35)
BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC. 9.8.8.-INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS — OBC. 9.8.8.
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN.
GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS
REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE — OBC. 9.23.7.

38x89 (2'x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS

200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @

2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL

BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER, RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS

200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @

2400mm (7"-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155

[14"x6"] CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2
ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7"-7 1/2") CONFORMING TO CAN/CGSB-7.2-94, AND WITH 150x150x9-5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x850x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm(3-1/2") DIA x 4.78mm(, 188) FIXED STL. COL. WITH 150x150x9.5
(6"x6"x8") STL. TOP & BOTTOM PLATE ON 1070x1070x460
(42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR
ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6x6x3/8") STEEL TOP PLATE, & BOTTOM PLATE.
BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x
300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

GARAGE CEILINGS/INTERIOR WALLS
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN
HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER
O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SEL CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

EXTERIOR STEP
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

DRYER EXHAUST (0BC-6.2.3.8.(7) & 6.2.4.11.)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/27247) & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.F.1) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10

STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND
280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING
ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x
200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED
MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD
STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC

9.17.4.2(2). RESERVED

BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2'x6') BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24'x24'x12') CONC.

STEPPED FOOTINGS OBC 9.15.3.9.
MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4")

COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH
PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa

(4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE, WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENTING GAS FURNACE, H.W.T. VENT
DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A
NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE,
FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO
BE A MIN. OF 1830mm (6"-0") FROM ALL EXHAUST TERMINALS. REFER
TO GAS ITILITATION CODE ALL ARE INTAKES SUAL BELOCATES SO TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12...

DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS

SUBFLOOR, JOIST STRAPPING AND BRIDGING
16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS, FOR
CERAMIC TILE APPLICATION (\* SEE DSIC 9,30.6, \*) 6mm (1/4") PANEL
TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (\* SEE OBC 9.30.2.\*). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"X2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"X3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (\* SEE OBC 9.23.9.4. \*)



EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"), WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

COLD CELLAR PORCH SLAB (OBC 9.39.)
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.),
125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN, 30mm (1 1/4")
COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL, SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN, WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11'-7" \$PAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX, 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY

**GENERAL NOTES** 

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1. HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3")

2) WINDOW GUARDS - OBC. 9.8.8.1,6(5).
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7') ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.3. & SB12-3.1.1.9

GLASS—STRUCTURAL SUFFICIENCY OF GLASS
 DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE
 ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE
 WITH OBC DIV-8 9.6.1.3.

**GENERAL:** 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B, 6.2.2. SEE MECHANICAL DRAWINGS.

ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. B- 9.5.2.3 & DETAIL

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-B 9.25.3.

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-B 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

MANUFACIUKEK.
LVL BEAMS SHALL BE 2.0E -2950Fb MIN.. NAIL EACH PLY OF LVL
WITH 897mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm
(12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7
1/4",9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR
GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2")
DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @

915mm (3'-0") O.C. PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED, REFER TO ENG. FLOOR LAYOUTS.

JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

WOOD MEMBERS.

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARAIED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.), ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND. 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21

STEEL: STRUCTURAL STEEL STALL COUNTY OF THE COUNTY

STUCCO: 1)

GRADE 400K.

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR: THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED, ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS
SPECIFICATIONS. LEGEND EXHAUST FAN TO EXTERIOR

0

CLASS 'B' VENT DUPLEX OUTLET (12" ABOVE SURFACE) WEATHERPROOF DUPLEX OUTLET

POT LIGHT

LIGHT FIXTURE (PULL CHAIN) Дç SWITCH √ FLOOR DRAIN **@** 

SINGLE JOIST DOUBLE JOIST

TJ TRIPLE JOIST LAMINATED VENEER LVL

HOSE BIB (NON-FREEZE) PRESSURE TREATED LUMBER GIRDER TRUSS BY ROOF TRUSS MANUF.

DUPLEX OUTLET (HEIGHT A.F.F)

(220 volt)

GFI DUPLEX OUTLET (HEIGHT A.F.F)

HEAVY DUTY OUTLET

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

POINT LOAD FROM ABOVE FLAT ARCH

M.C. MEDICINE CABINET (RECESSED)

DOUBLE VOLUME
WALL. SEE NOTE 39 CONCRETE
BLOCK WALL SOLID WOOD BEARING (SPRUCE No. 2).
SOLID BEARING TO BE AS WIDE AS
SUPPORTED MEMBER OR AS DIRECTED BY
STRUCTURAL ENGINEER.
SOLID BEARING TO BE MINIMUM 2 PIECES.



SOLID WOOD BEARING TO MATCH FROM ABOVE

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROCEEDING WITH THE WORK, ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK, ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

**GREEN VALLEY EAST** 

MAY 2016

(39) TWO STOREY VOLUME SPACES
-FOR A MAXIMUM 5490 mm (18-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"%") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 381410 (2'x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

TYPICAL 1 HOUR RATED PARTY WALL.
REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2'x6") STUDS @ 400mm (16") o.c. <u>OR</u> 38x89 (2"x4") STUDS @ 300mm

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12, A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC ONT. REG. 332/12-20.2 Amendment O. Reg. 88/19

WOOD LINTELS AND BUILT-UP WOOD BEAMS 2/38 × 184 (2/2" × 8") SPR.#2 3/38 × 184 (3/2" × 8") SPR.#2 4/38 × 184 (4/2" × 8") SPR.#2 5/38 × 184 (5/2" × 8") SPR.#2 2/38 × 235 (2/2" × 10") SPR.#2 3/38 × 235 (3/2" × 10") SPR.#2 4/38 × 235 (4/2" × 10") SPR.#2 В3 2/38 × 286 (2/2" × 12") SPR.#2 3/38 × 286 (3/2" × 12") SPR.#2 4/38 × 286 (4/2" × 12") SPR.#2

LOOSE STEEL LINTELS

89 x 89 x 6.4L (3-11/2" x 3-1/2" x 1/4"L) 89 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L) 102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L) 127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L) 152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L) 152 x 102 x 11.0L (6"x 4" x 7/16"L) 178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LAMINATED VENEER LUMBER (LV
LVL1A 1-1 3/4"x7 1/4" (1-45x184)
LVL1 2-1 3/4"x7 1/4" (2-45x184)
LVL2 3-1 3/4"x7 1/4" (3-45x184)
LVL3 4-1 3/4"x7 1/4" (3-45x184)
LVL4A 1-1 3/4"x9 1/2" (1-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 4-1 3/4"x9 1/2" (4-45x240)
LVL6A 1-1 3/4"x1 1 7/8" (1-45x300)
LVL6A 1-1 3/4"x11 7/8" (3-45x300)
LVL7 3-1 3/4"x11 7/8" (3-45x300)
LVL8 4-1 3/4"x11 7/8" (3-45x300)

DOOR SCHEDULE

2'-8" WIDE **EXTERIOR** DOOR INSULATED MIN. RSI 0.7 (R4) 2'-10" WIDE INSULATED MIN. RSI 0.7 (R4) (1A) DOOR EXTERIOR DOOR 3'-0" WIDE (1B) INSULATED MIN. RSI 0.7 (R4) 3'-2" WIDE INSULATED MIN. RSI 0.7 (R4) EXTERIOR DOOR (1C)

2'-8" wide EXTERIOR (2A)20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DOOR

DEVICE. INSULATED MIN. RSI 0.7 (R4 2.) INTERIOR 2'-8" WIDE

2'-8" WIDE INTERIOR DOOR (2B) (COLD CELLAR) (WEATHERSTRIPPING INSTALLED) (2C) INTERIOR 3'-0" WIDE

DOOR INTERIOR DOOR 2'-6" WIDE (3.) INTERIOR 2'-4" WIDE (3A) INTERI

4. INTERIOR DOOR INTERIOR 2'-2" WIDE (4A) INTERI

INTERIOR 1'-6" WIDE (5.)

SMOKE ALARM (REFER TO OBC 9.10.19)

VISUAL SIGNALLING COMPONENT (9.10.19.3.(31).

REFER TO ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS MECHANICAL SYMBOLS

-0 HEAT PIPE WARM AIR ---ð` PLUMBING (TOILET) RETURN AIR DUCT PLUMBING (BATH, SINK, SHOWER)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR, ALARMS SP SP TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.
BATTERY BACK-UP REQUIRED, SMOKE ALARMS TO INCORPORATE

CARBON MONOXIDE ALARMS (OBC 9.33.4.)
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING
UNIT, A CARBON MONOXIDE ALARM CONFORMING TO
CANL/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA, CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS I
THE BUILDING IF REQUIRED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL

The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

ADDDITIONAL REQUIREMENTS.

16023

CONST NOTE

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JAN 11-22 UPDATE TO 2022 UPDATE TO 2020 FEB 24-20 RC UPDATE TO 2018 ISSUE FOR CLIENT REVIEW AUG 04-17 RC

he undersigned has reviewed and takes responsibility for this design nd has the qualifications and meets the requirements set out in the ntario Building Code to be a Designer. ualification information

Wellington Jno-Baptiste 2559 BC VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



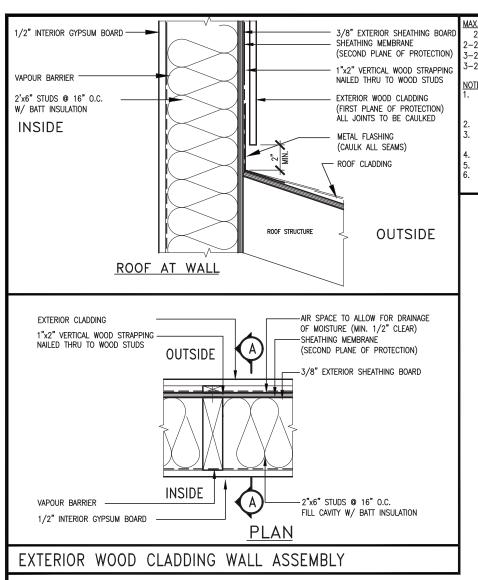
**BAYVIEW WELLINGTON** 

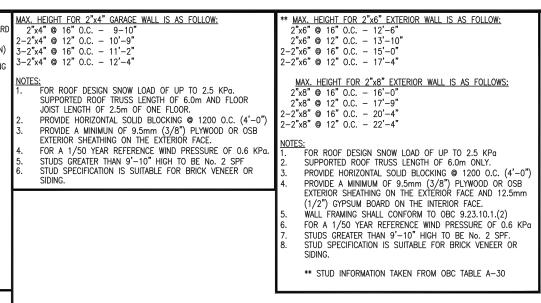
BRADFORD

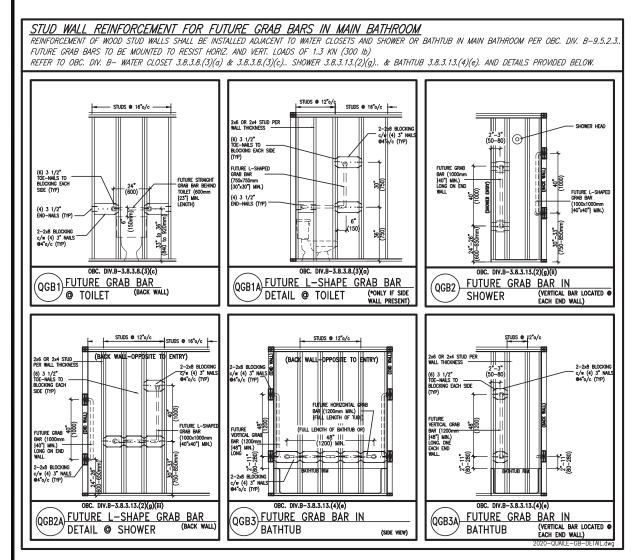
CONSTRUCTION NOTES 16023-CN-2022-A1

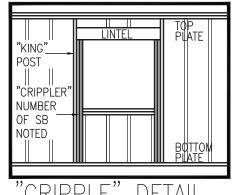
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3/16" = 1'-0"





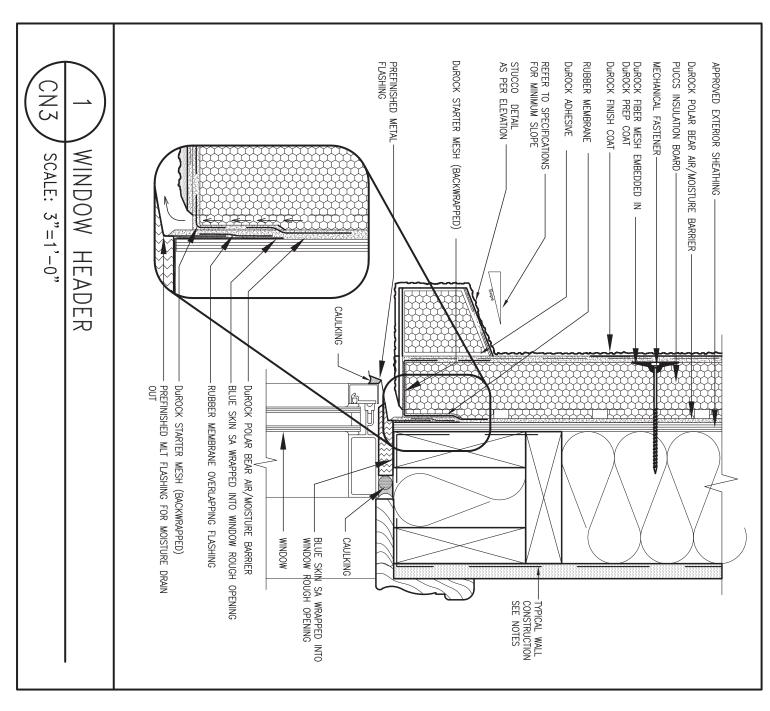


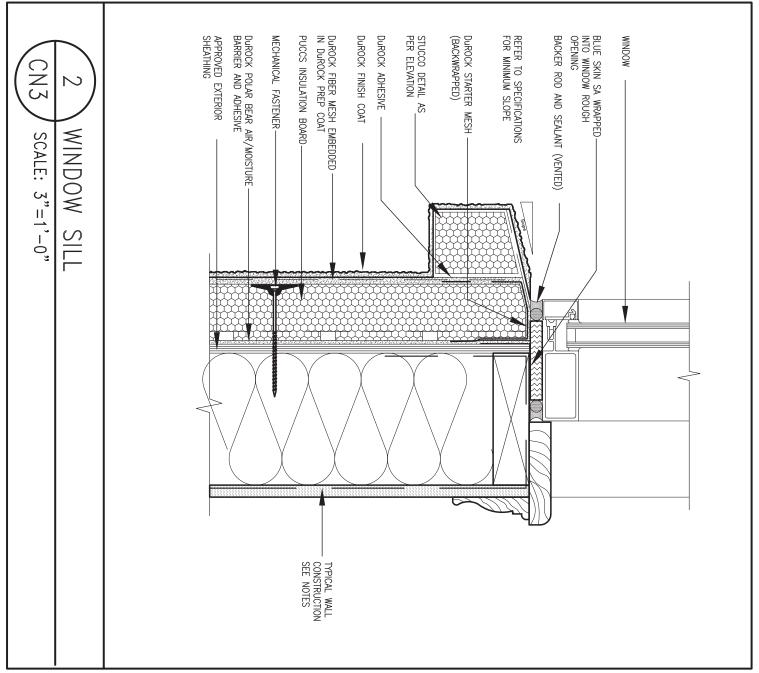


CRIPPLE" DETAIL



8 7	9 . 3 . 7 . 5 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste	VAR	BAYVIEW WELLINGTON	CONST_NOTE
5	5 . UPDATE TO 2022	 JAN 11-22 RC	name Signature BCIN	DESIGN	GREEN VALLEY EAST BRADFORD	project no. 16023
2	3 UPDATE TO 2020 2 UPDATE TO 2018	FEB 24-20 RC	Contractor much verify all dimensions on the job and recent any	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	drawn by checked by scale	FRUCTION NOTES file name
_	D. description		of the Designer which must be returned at the completion of the work.  Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782 va3design.com	$ \begin{array}{llllllllllllllllllllllllllllllllllll$	16023-CN-2022-A1 d - Jan 26 2022 - 12:05 PM





EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

BEHIND THE CLADDING WITH POSITIVE DRAINAGE

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE

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qualification information

Wellington Jno-Baptiste / 1/30/12575 25591
name registration information VA3 Design Inc. 25591

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

Project name
GREEN VALLEY EAST

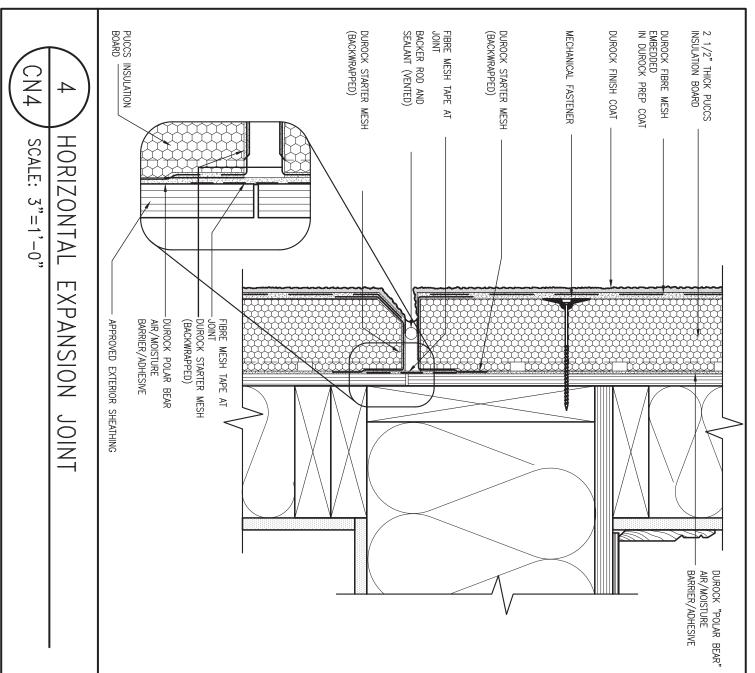
BRAD

CONST NOTE

municipality
BRADFORD project no.
1 6023

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



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wellington Jno-Baptiste / Bojics 76 25591

registration information

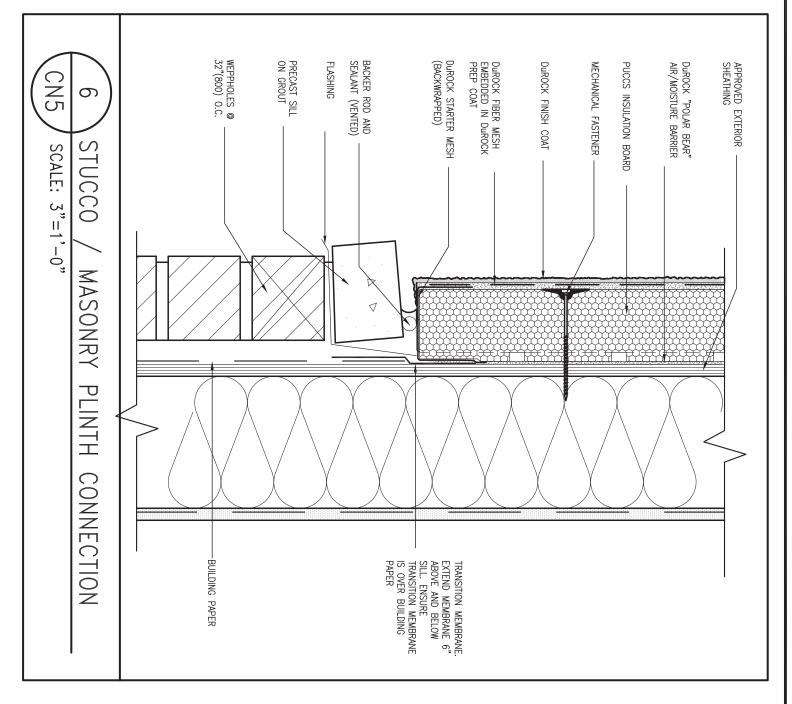
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		BAYVIEW	WELLINGTON		CON	ST	NOTE
ı	project name GREEN	VALLEY EAST		municipality BRADFORD			project no. 16023
	date MAY 2016			CONST	RUCTION N	OTES	drawing no.
2	drawn by RC	checked by	3/16" = 1'-0"		16023-CN-2	file name 022-A1	CN4

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.



DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

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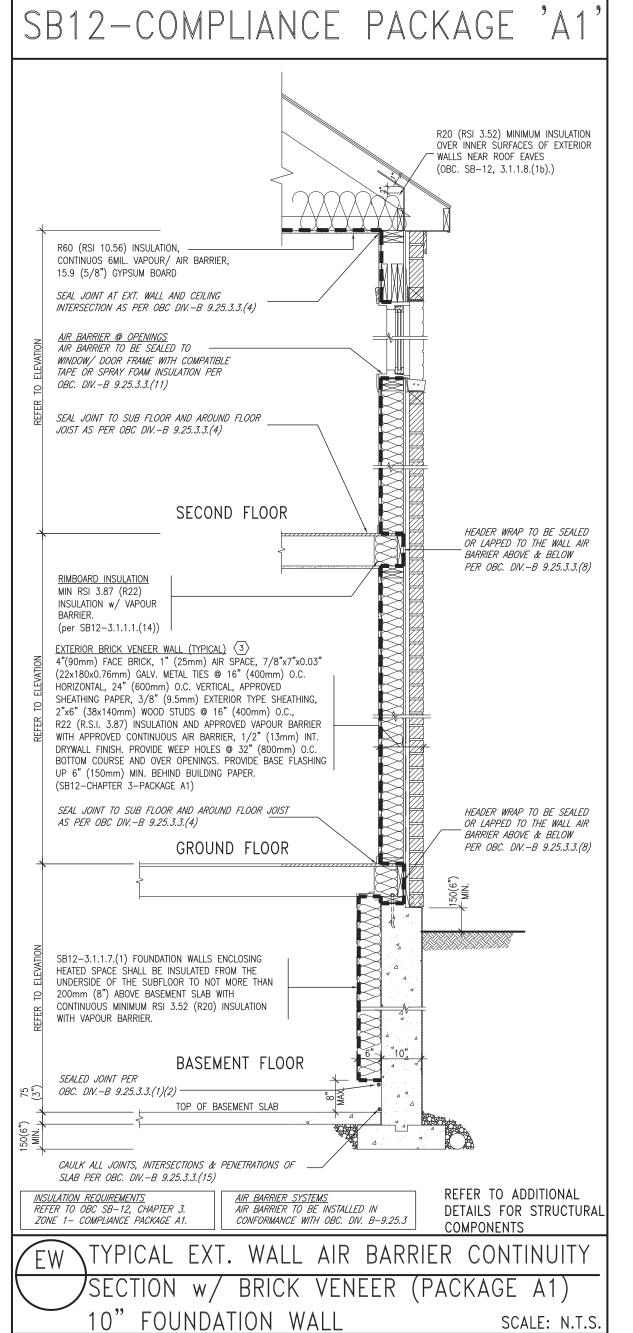
qualification information

Wellington Jno-Baptiste / 150/1/5/76 25591
name registration information
VA3 Design Inc. 42658

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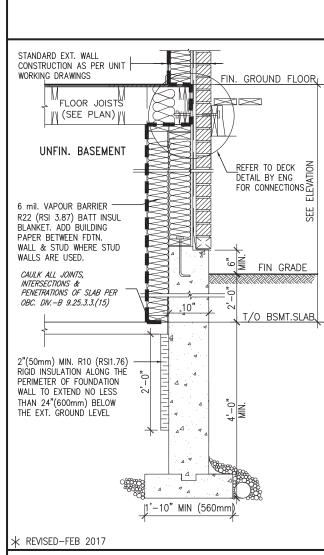
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project name GREEN VA	LLEY EAST	municipality BRADFORD		project no. 16023
date MAY 2016 drawn by	checked by		RUCTION NOTES	drawing no.
RC	checked by	3/16" = 1'-0"	16023-CN-2022-A1	CN5



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):					
COMPONENT	A1	Notes:			
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls			
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY			
Exposed FLoor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY			
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT			
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.			
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL			
Windows & Sliding glass Doors Maximum U—value	1.6				
Skylights Maximum U-value	2.8U				
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS			
Hot Water Heater Minimum EF	0.8	NATURAL GAS			
HRV Minimum Efficiency	75%	_			
Drain Water Heat Recovery Unit (DWHR) Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information					
ci— Denotes Continuous Insulation without framing interruption.					





SECTION AT W.O.D/W.O.B.

9				The
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4	UPDATE TO 2022	JAN 11-22	RC	rec V
3	UPDATE TO 2020	FEB 24-20	RC	_
2	UPDATE TO 2018	JAN 11-18	RC	Co
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no.	description	date	by	Dro

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:
qualification information

Wellington Jno-Baptiste

Wellington Jno-Baptiste

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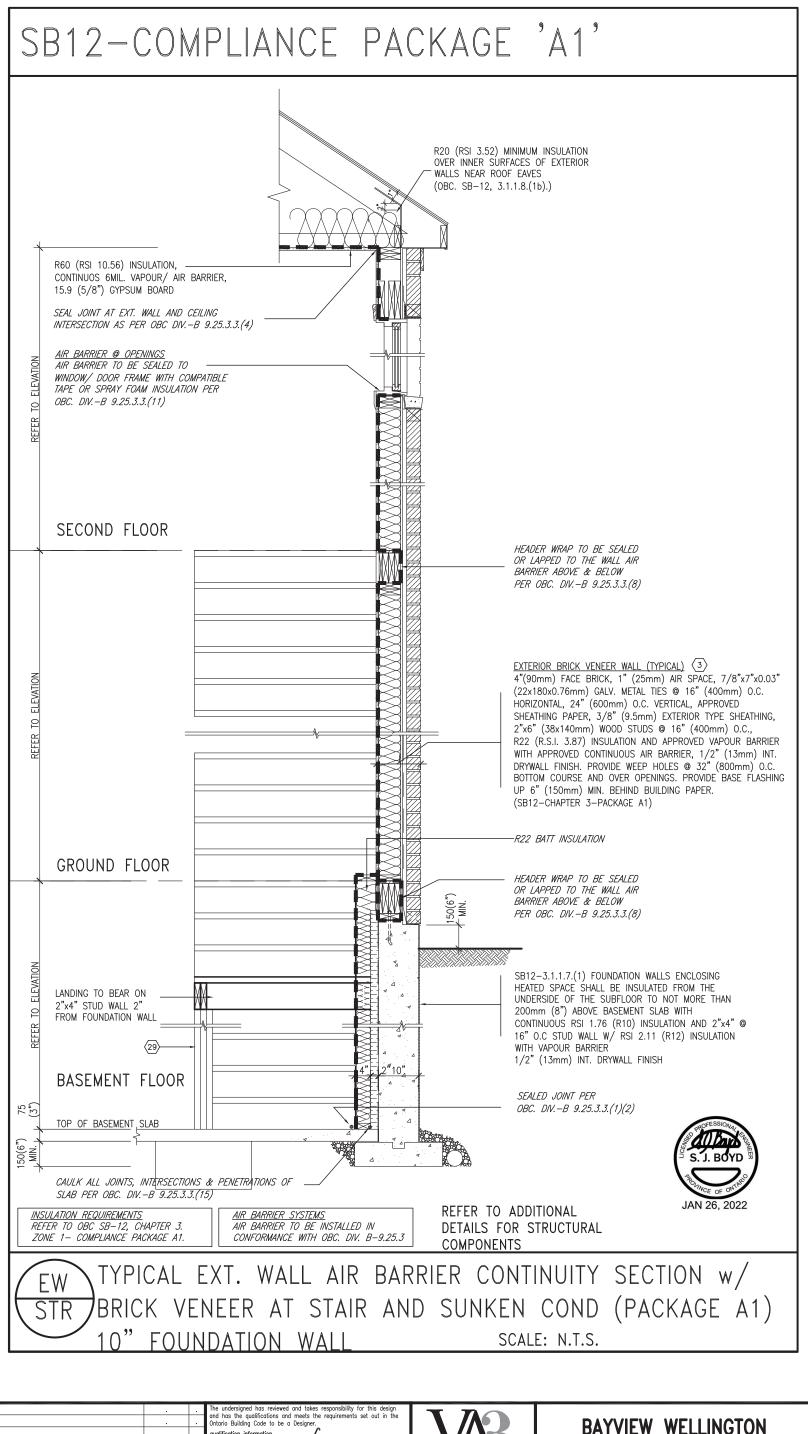
VAS Design Inc.

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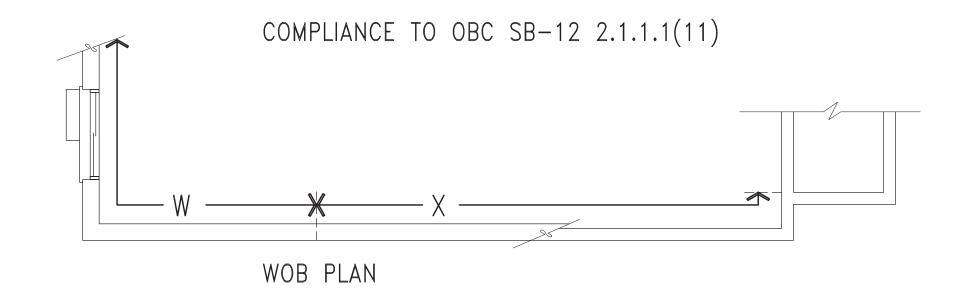
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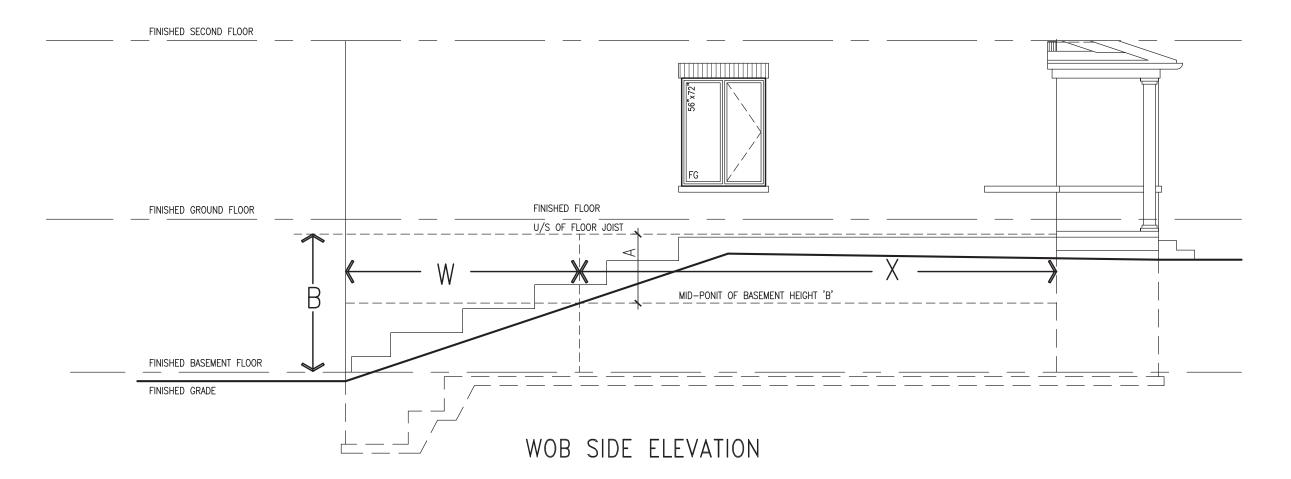
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project name GREEN VALLEY EAST	В
date MAY 2016	

3/16" = 1'-0"



7 . qualification information  6 . Wellington Jno-Baptiste / V/30/1/3/6 25591	-
5	project no. 16023
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WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%

OF BASEMENT WALL HEIGHT "B"

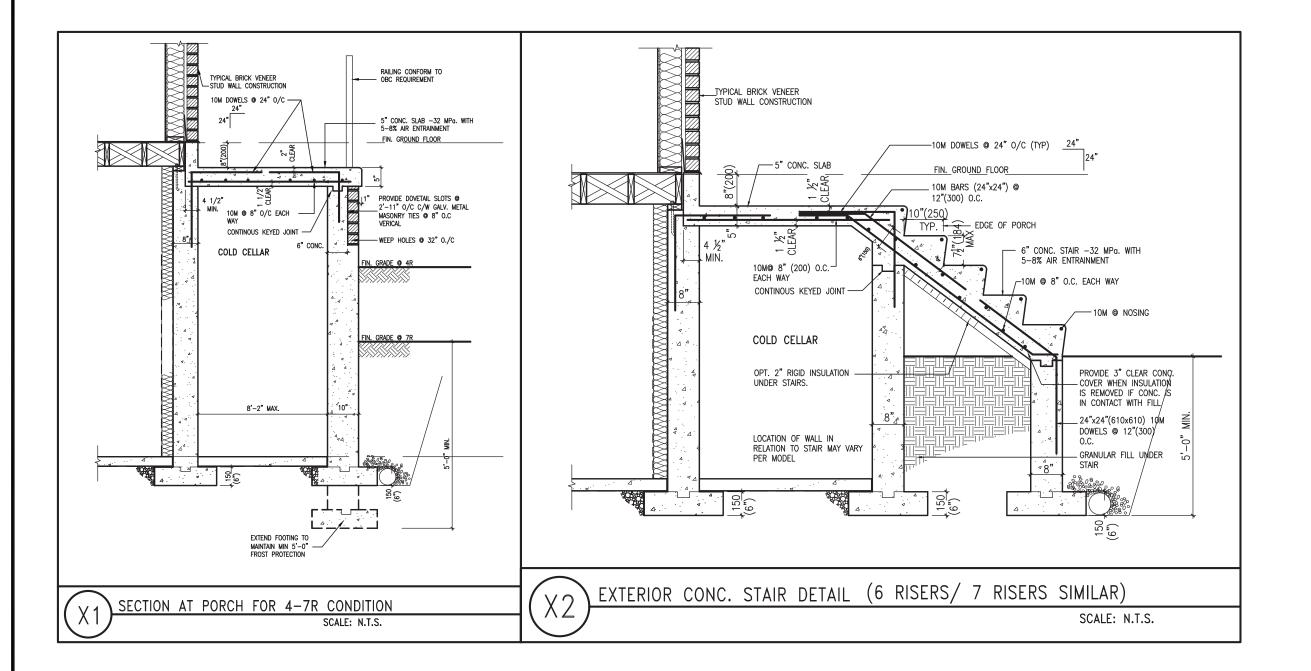
INSULATION VALUE FOR WALL IN SECTION "X"

IS NOT LESS THAN BASEMENT WALL AS

REQUIRED BY TABLE 2.1.1.2A

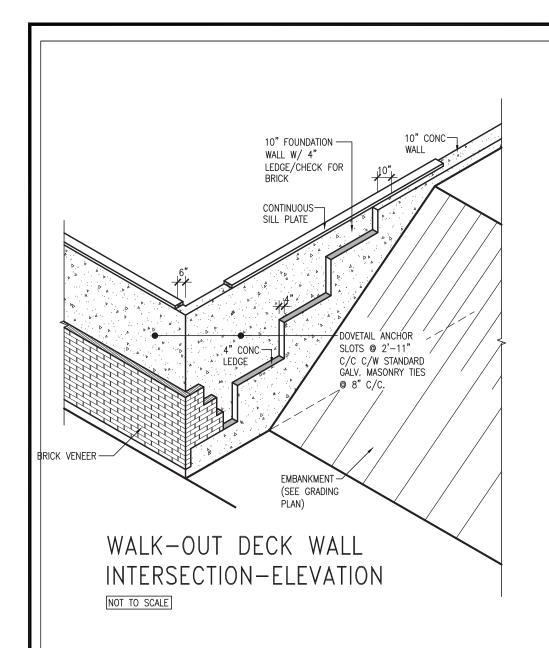


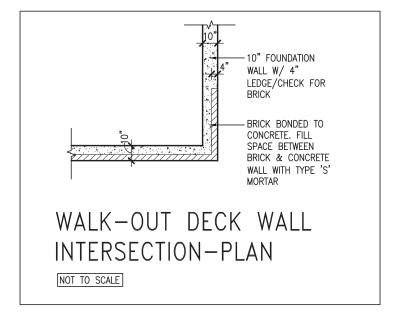
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vings and	AUG 04-17 RC drawings and specifications are instruments of service and the property to the negative which must be returned at the completion of the work	416.630.2255  f  416.630.4782 RC - $3/16$ " = 1'-0"	
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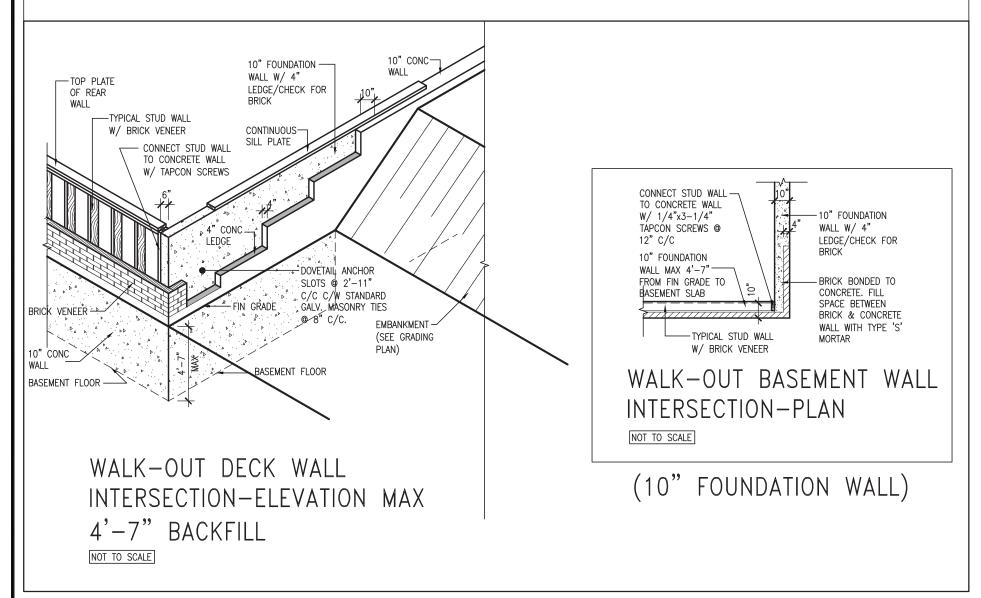
S S S	16023-CN-2022-A1	16023	loronto UN MZJ 1R4 rty t 416.630.2255 f 416.630.4782 vd.3design com	AUG 04–17 RC drawings and specifications are instruments of service and the property drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	AUG 04-17 RC	SUE FOR CLIENT REVIEW
drawing no.	CONSTRUCTION NOTES	ide (ANY 2016 CONST	255	Contractor must verify all dimensions on the job and report any	FEB 24-20 RC	DATE TO 2020
16023		GREEN VALLEY EAST BRADFORD	BCIN DECIEN	. name signature signature JAN 11-22 RC registration information NAT neston Inc.	JAN 11-22 RC	ATE TO 2022
			25591	qualification information Wellington Jno-Baptiste		
NOTE	CONST NOTE	DAYVIEW WELLINGTON		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		





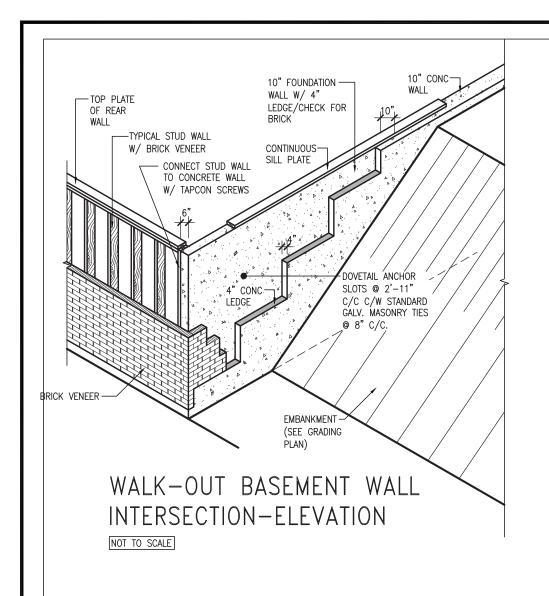


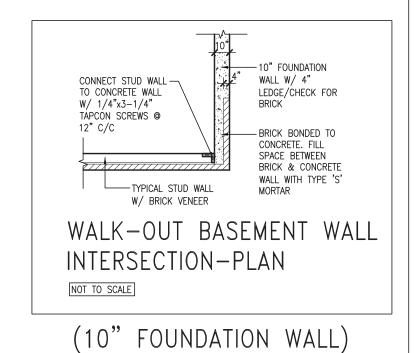
(10" FOUNDATION WALL)

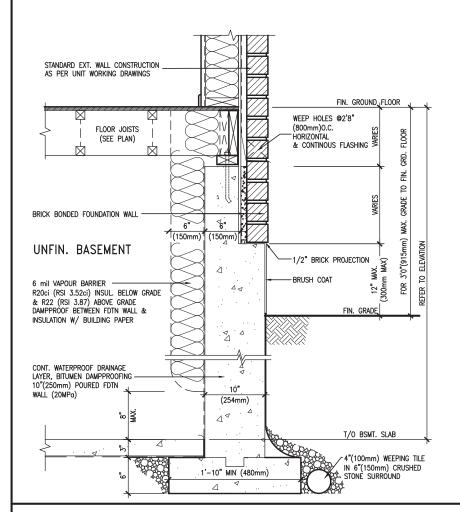


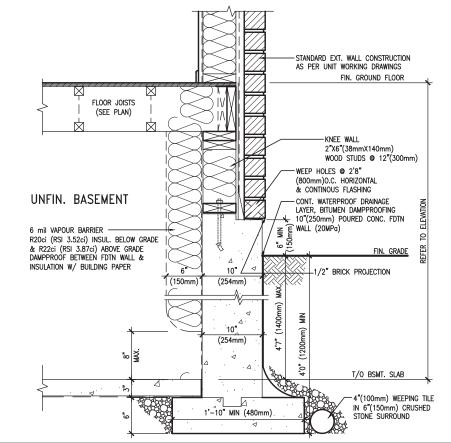


9 . 8 . 7 . 6 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste	VAR	BAYVIEW WELLINGTON	CONST_NOTE
5 . 4 UPDATE TO 2022	IANI 11_22 PC	name signaty'e BCIN registration information VA3 Design Inc. 42658	DESIGN	GREEN VALLEY EAST BRADFOR	71
3 UPDATE TO 2020 2 UPDATE TO 2018	FEB 24-20 RC	Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	date MAY 2016 CONS drown by checked by scale	STRUCTION NOTES  file name  All 1
1 ISSUE FOR CLIENT REVIEW no. description	AUG 04-17 RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782 va3design.com		16023-CN-2022-A1









WALL SECTION FOR GRADE TO FIN.

EW3.06x
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

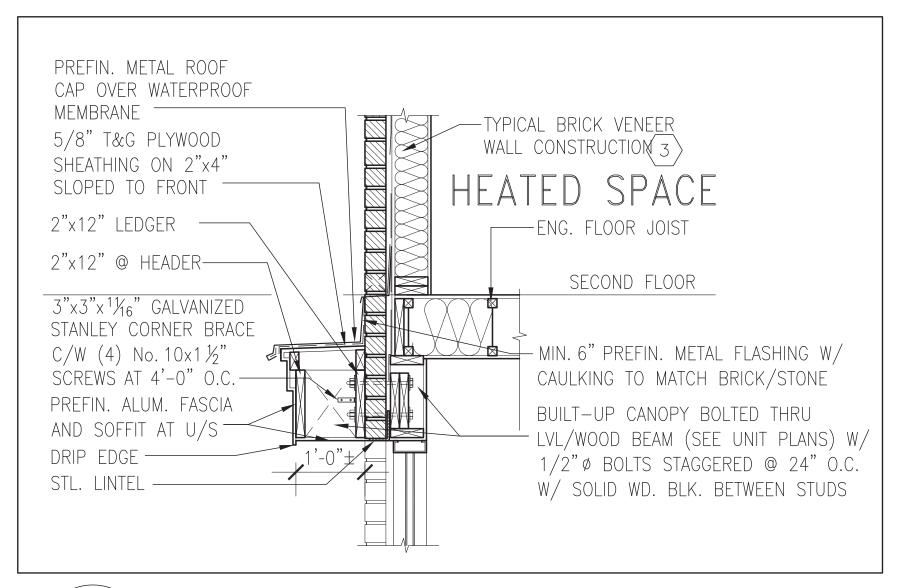
SCALE: N.T.S.

EW3.07x PKG A1

WALL SECTION FOR GRADE TO BASEMENT SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



9 . 8 . 7 . 6 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste  45591	VAR	BAYVIEW	WELLINGTON	CONST_NOTE
5 . 4 UPDATE TO 2022	JAN 11-22	PC	name signatu/e BCIN registration information VA3 Design Inc. 42658	DESIGN	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
3 UPDATE TO 2020 2 UPDATE TO 2018	FEB 24-20 JAN 11-18	RC :		255 Consumers Rd Suite 120	date MAY 2016 drawn by checked by	CONST scale	RUCTION NOTES  file name  drawing no.
1 ISSUE FOR CLIENT REVIEW no. description	AUG 04-17 date	RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782	RC –	3/16" = 1'-0" 123.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	16023-CN-2022-A1



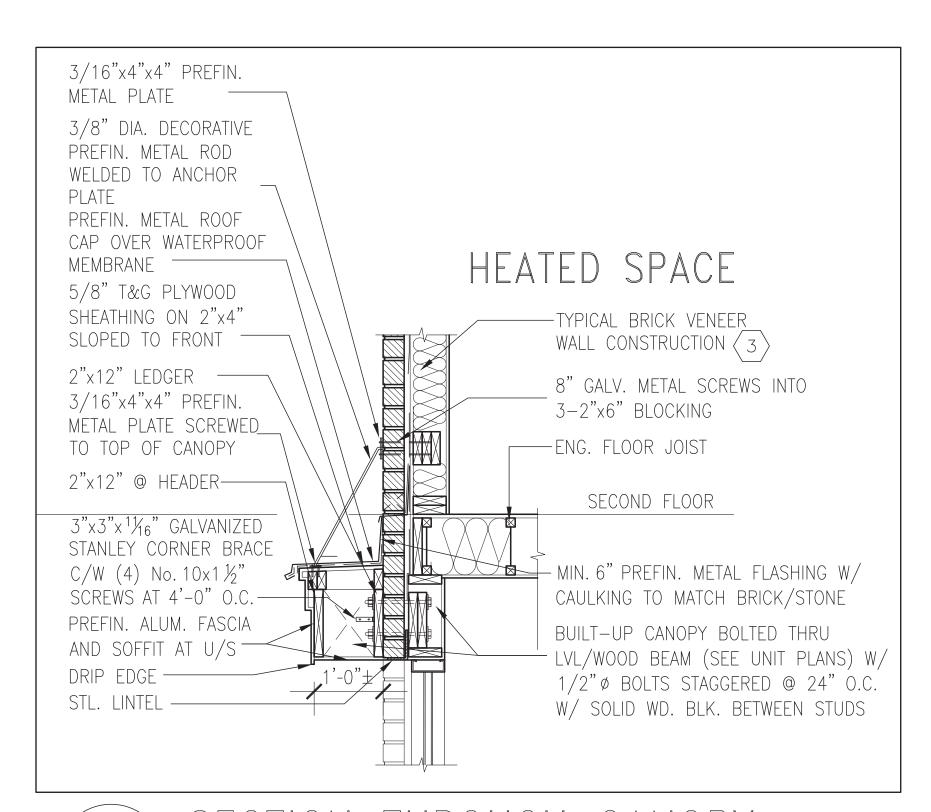
 $\frac{1}{\text{CN12}}$ 

## SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



€ -	) . 3 . 7 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information	\ <u>\</u> \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	BAYVIEW \	WELLINGTON	CONST NOTE
() ()	5 . 5 . UPDATE TO 2022	JAN 11-22	١.	Wellington Jno-Baptiste / 1/30/11576 25591 name registration information VA3 Design Inc. 42658	DECION	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
1	2 UPDATE TO 2018	JAN 11-18	RC RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto 0N M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		CONST 3/16" = 1'-0" .BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	RUCTION NOTES   file name   16023-CN-2022-A1   - Jan 26 2022 - 12:09 PM   The second s

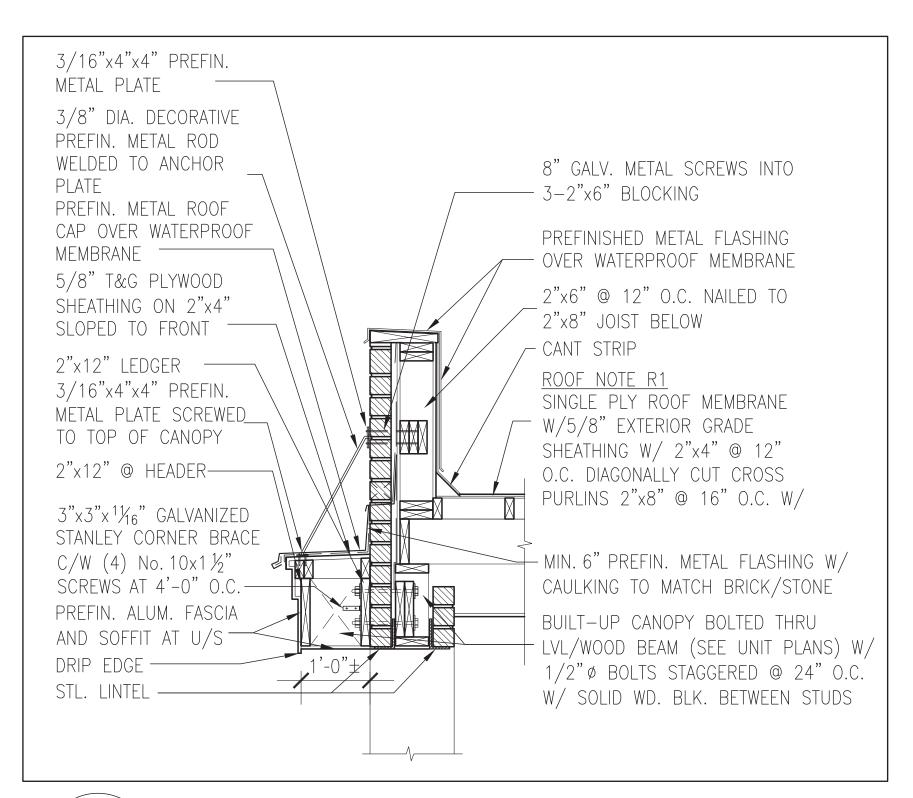


CN13/

# SECTION THROUGH CANOPY W/DECORATIVE ROD SCALE 1/2" = 1'-0"



9   . 8   . 7   .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer, qualification information	<b>V</b>	BAYVIEW	WELLINGTON	CONST_NOTE
6 . 5 . 4 UPDATE TO 2022	JAN 11-22 RC	Wellington Jno-Baptiste / 190/10576 25591  nome signature BCIN registration information / VAS Design Inc. 42658		project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
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1 CN14

## SECTION THROUGH CANOPY

W/DECORATIVE ROD SCALE 1/2" = 1'-0"



8	9		ŀ	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		RAYVIFW	WELLINGTON	CONST NOTE
7	7 .			qualification information	<b>Ι Ι</b> /Δ-Κ	DAIVIEW	WELLINGTON	
6	5 .			Wellington Jno-Baptiste (1/30/10576 25591	<b>V/</b>		• • •	
5	5 .			name , //signature BCIN		Project name	municipality	project no.
4	UPDATE TO 2022	JAN 11-22	RC	registration information VA3 Design Inc. 42658	DESIGN	GREEN VALLEY EAST	BRADFORD	16023
3	OFDATE TO 2020	FED 24-20	KC			date MAY 2016	CONST	RUCTION NOTES drawing no.
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1	I ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	t 416.630.2255 f 416.630.4782		3/16" = 1'-0"	file name 16023-CN-2022-A1
no	o. description	date	by	Drawings are not to be scaled.	va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\160	123.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	