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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT INSULATION AT STAIR/SUNKEN AREA

- 2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM)
- 2"x4" @ 16" O.C. W/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
- EXTENDED EXTERIOR WALL FT'G. TO SUPPORT 2"x4" WALL WHERE LOAD BEARING



NOTE J1
PROVIDE SOLID BLOCKING @ 24" O.C. @ FIRST JOIST SPACE FOR FLOOR JOISTS RUNNING PARALLEL TO FOUNDATION WALL (TYPICAL)

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

MIN. SOIL BEARING CAPACITY OF 150KPa

BASEMENT PLAN 'A'

AREA CHART ON PAGE 6

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

9.
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2.	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC	.
1.	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3	.
no.	description	date	by	.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S38-19	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	OCTOBER 2021	project no.	16023
drawn by	NS	checked by	JWM
scale	3/16" = 1'-0"	file name	16023-S38-19
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM			
BASEMENT PLAN 'A'			drawing no.
1			

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MAR 1, 2022

OUTDOOR AIR INTAKE SEPARATION

- ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
- KITCHEN EXHAUST: 3.0m
- DRIVEWAY, PARKING SPACE, ROAD: 1.5m
- SOLID FUEL APPLIANCE EXHAUST: 3.0m

KIT-EX-NOTE-2020.dwg

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

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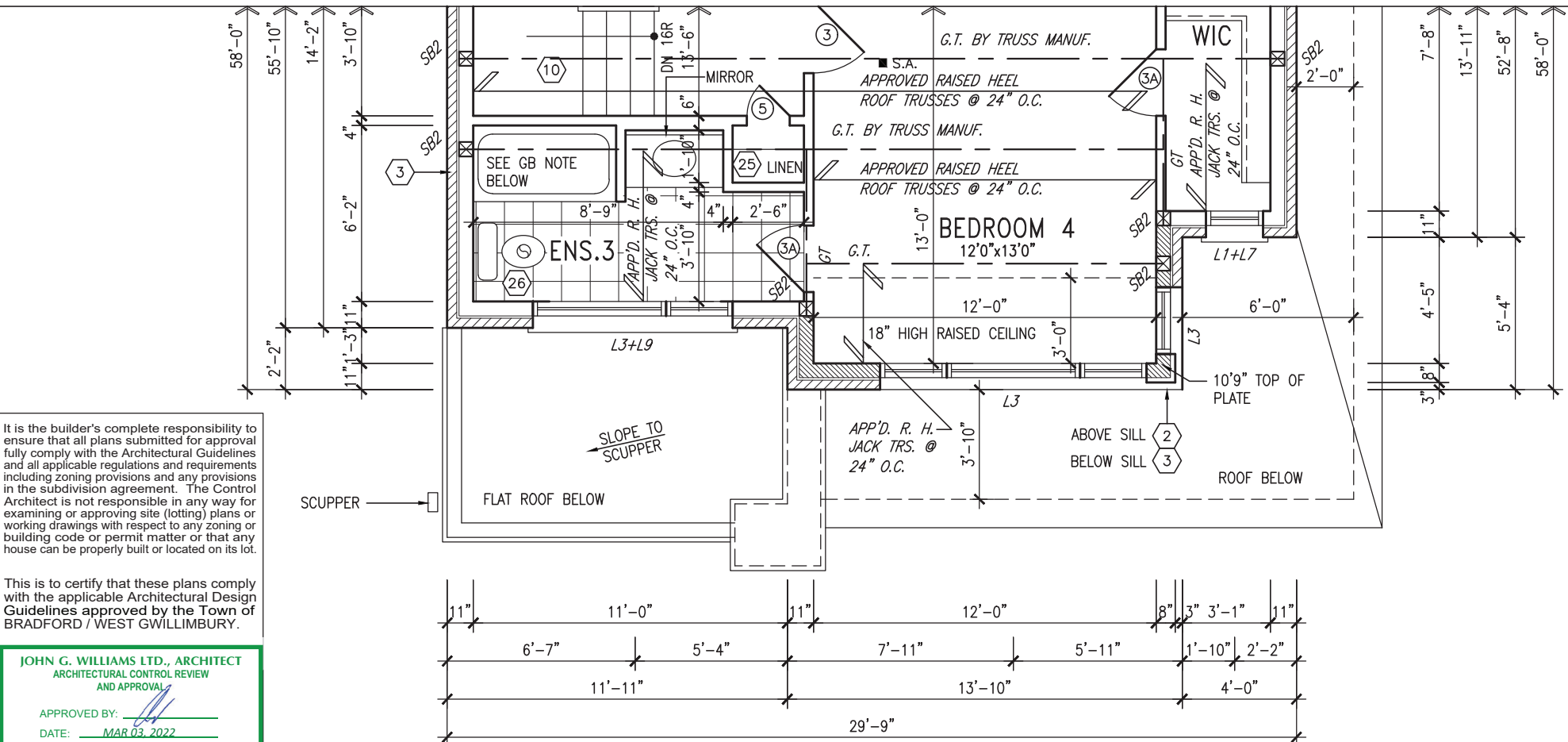
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-19

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	OCTOBER 2021	checked by	JWM	scale	3/16" = 1'-0"
drawn by	NS	file name	16023-S38-19	drawing no.	2
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM					

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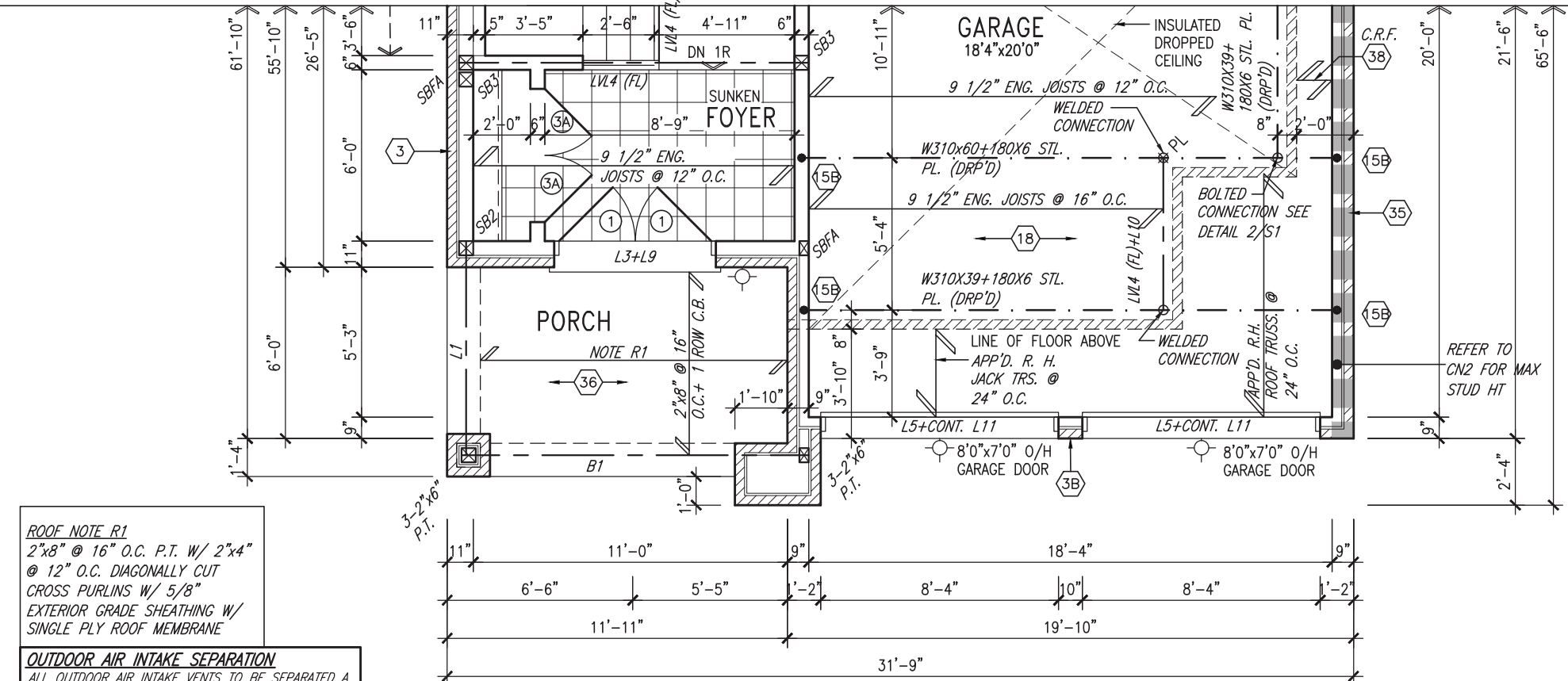
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AND APPROVAL

APPROVED BY: [Signature]
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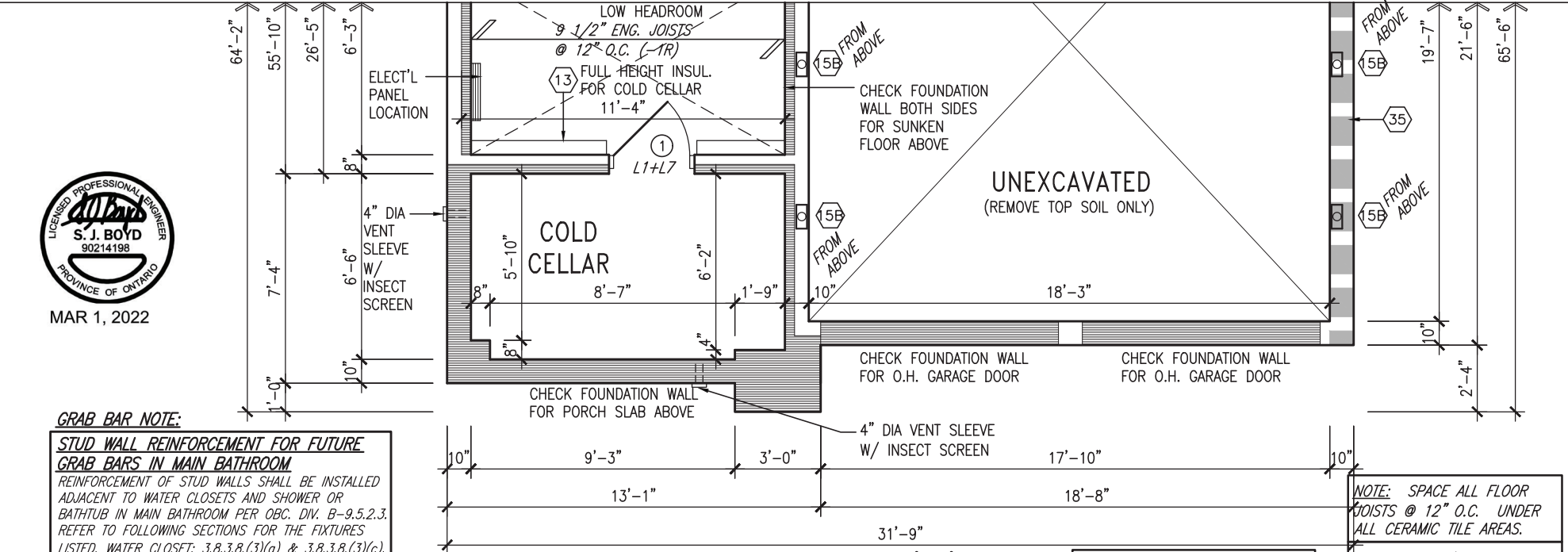
ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
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- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

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qualification information
Wellington Jno-Baptiste 25591
name
registration information BCIN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		S38-19	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 5
date JAN. 2017	checked by JWM	scale 3/16" = 1'-0"	file name 16023-S38-19
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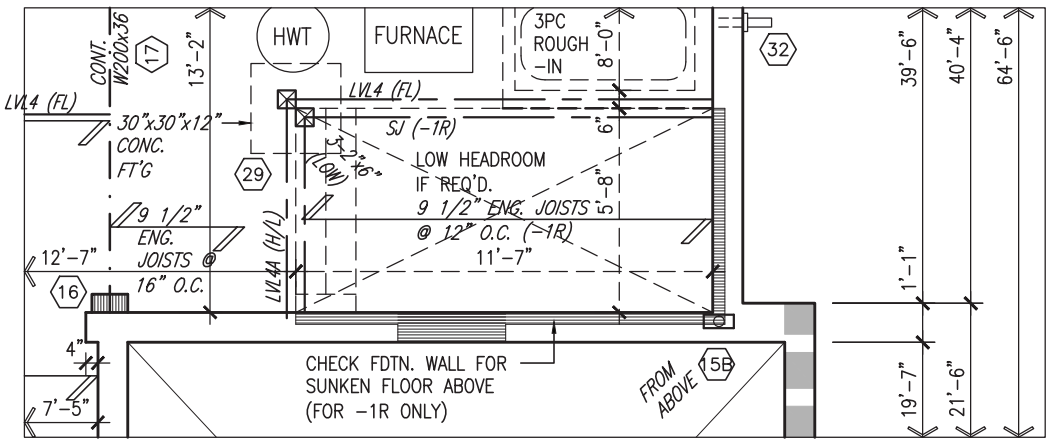
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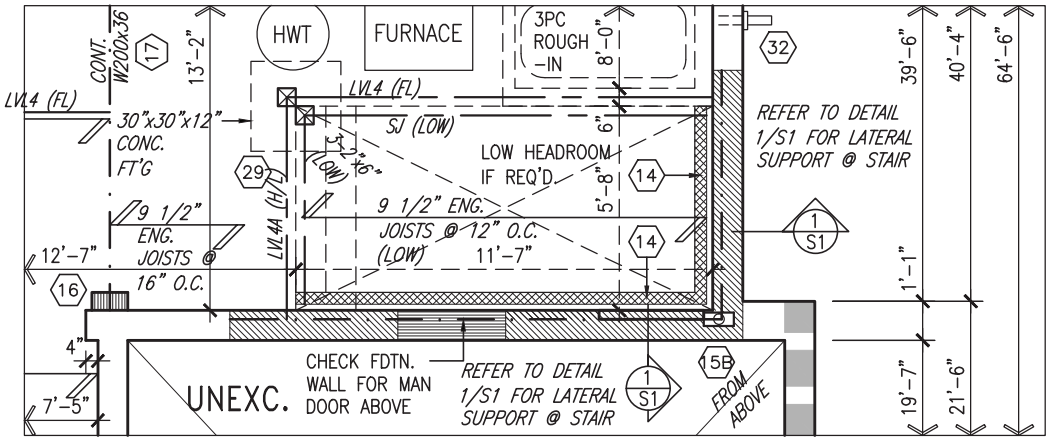
APPROVED BY: 
DATE: MAR 03, 2022

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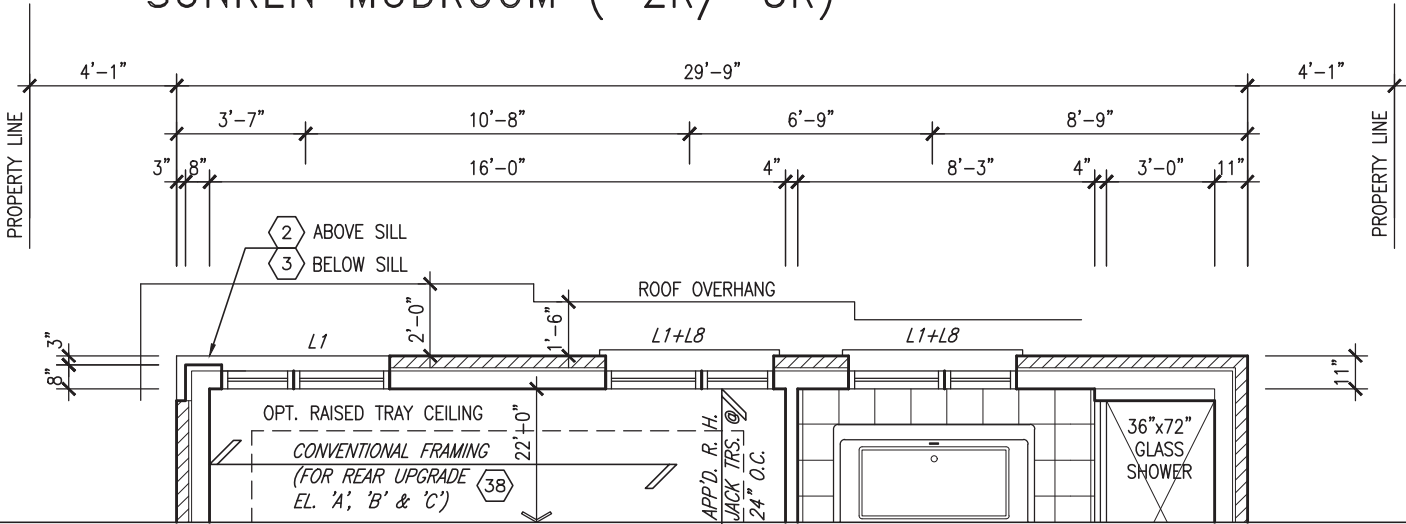


BASEMENT PLAN 'A','B' & 'C'
SUNKEN MUDROOM (-1R)

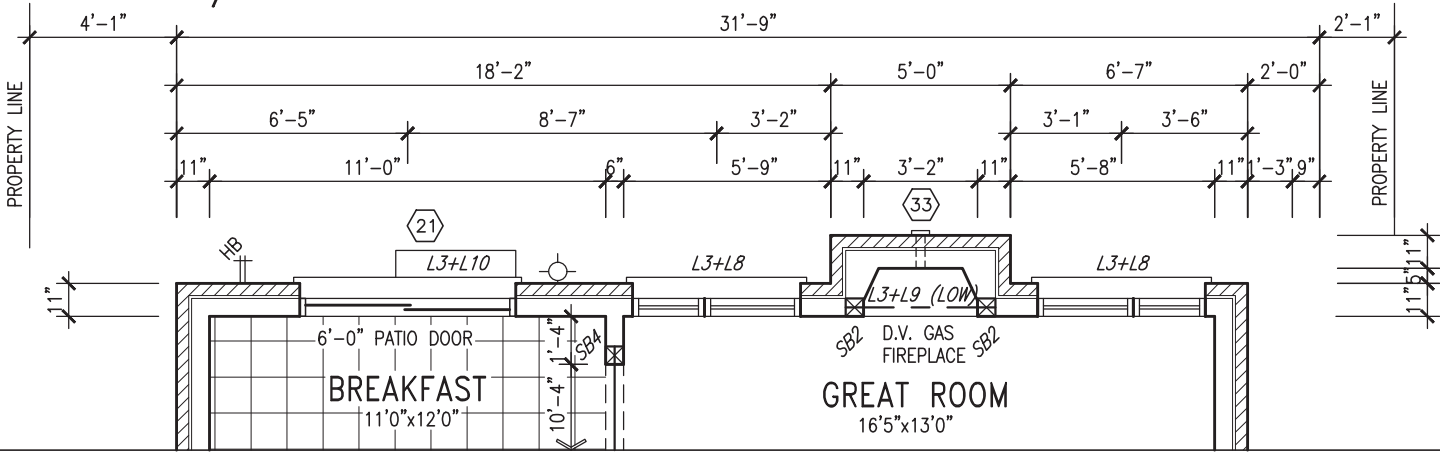
NOTE:
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TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.



BASEMENT PLAN 'A','B' & 'C'
SUNKEN MUDROOM (-2R/-3R)



PARTIAL SECOND FLOOR PLAN 'C'
W/ REAR UPGRADE



PARTIAL GROUND FLOOR PLAN 'C'
W/ REAR UPGRADE

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1409.1 SF	1409.1 SF	1409.1 SF
SECOND FLOOR AREA	1678.3 SF	1688.2 SF	1678.3 SF
SUBTOTAL	3087.4 SF	3097.2 SF	3087.4 SF
DEDUCT ALL OPENINGS	14.6 SF	14.6 SF	14.6 SF
TOTAL NET AREA	3073 SF	3083 SF	3073 SF
	285.5 m2	286.4 m2	285.5 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3073 SF	3083 SF	3073 SF
	285.5 m2	286.4 m2	285.5 m2
COVERAGE W/O PORCH	1817.7 SF	1817.7 SF	1817.7 SF
	168.9 m2	168.9 m2	168.9 m2
COVERAGE W/PORCH	1892.2 SF	1906.7 SF	1909.7 SF
	175.8 m2	177.1 m2	177.4 m2



MAR 1, 2022

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

NOTE: REFER TO STANDARD
FLOOR PLANS FOR
ADDITIONAL INFORMATION

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name
5.	.	.	registration information
4.	.	.	VA3 Design Inc. 42658
3.	.	.	
2.	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC
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no.	description	date	by

VA3
DESIGN

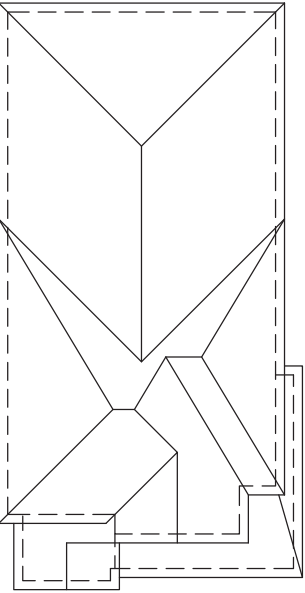
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BAYVIEW WELLINGTON		S38-19	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	OCTOBER 2021	project no.	16023
drawn by	NS	file name	16023-S38-19
checked by	JWM	scale	3/16" = 1'-0"
PARTIAL PLANS 'A', 'B' & 'C'			
drawing no. 6			
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MAR 1, 2022

ROOF PLAN 'A'



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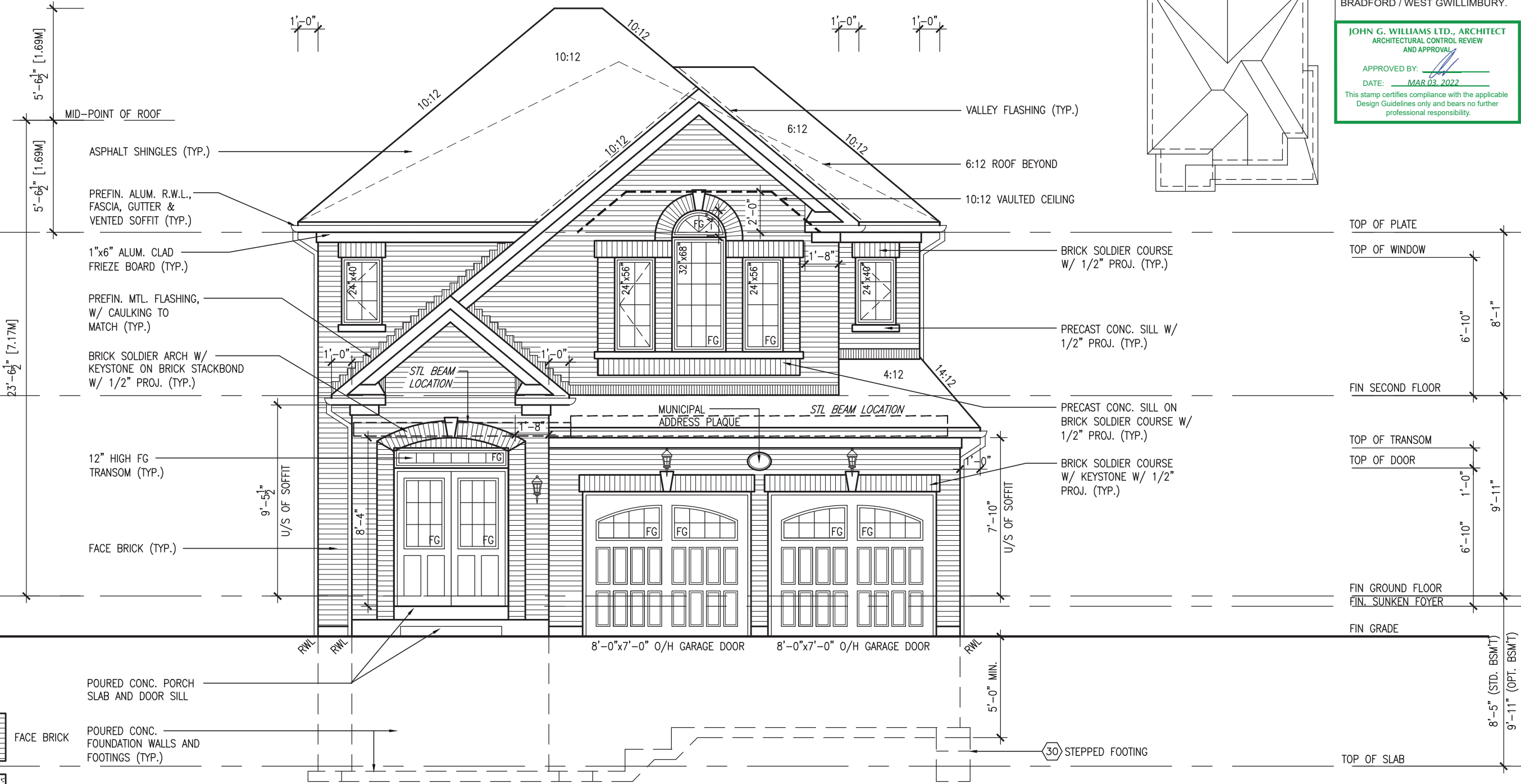
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FRONT ELEVATION 'A'

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qualification information		Wellington Jno-Baptiste		signature	
name		Wellington Jno-Baptiste		signature	
registration information		VA3 Design Inc.		signature	
name		VA3 Design Inc.		signature	
BCIN		42658		signature	
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NOV 23-21		VA3		date	
description		REVISED AS PER ENG'S COMMENTS		date	
ISSUED FOR CLIENT REVIEW		NOV 23-21		date	
FRONT ELEVATION 'A'		checked by		checked by	
scale		JWM		scale	
file name		16023-S38-19		file name	
16023-S38-19		NS		16023-S38-19	
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drawing no.		7		drawing no.	
16023		16023		16023	
project no.		16023		project no.	
BRADFORD		BRADFORD		municipality	
BAYVIEW WELLINGTON		BAYVIEW WELLINGTON		municipality	
GREEN VALLEY EAST		GREEN VALLEY EAST		project name	
OCTOBER 2021		OCTOBER 2021		date	
16023-S38-19		16023-S38-19		project name	
S38-19		S38-19		project name	

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



MAR 1, 2022



WALL AREA	1116.67 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	78.17 SQ. FT.
OPENING PROVIDED	55.30 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'

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ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

S38-19

BAYVIEW WELLINGTON

VA3 DESIGN

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Wellington Jno-Baptiste
VA3 Design Inc.

25591 BCN
42658

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date

project no. 16023
drawing no. 8

project name GREEN VALLEY EAST
date OCTOBER 2021

checked by JWM
scale 3/16" = 1'-0"

file name 16023-S38-19
date 16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM

municipality BRADFORD

LEFT SIDE ELEVATION 'A'

no. description
date

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION A/A REAR UPG	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	614 S.F.	114.79 S.F.	18.70 %	
LEFT SIDE	1136 S.F.	88.00 S.F.	7.75 %	
RIGHT SIDE	1134 S.F.	102.00 S.F.	8.99 %	
REAR	595 S.F.	149.67 S.F.	25.15 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3479.00 S.F.	454.46 S.F.	13.06 %	
TOTAL SQ. M.	323.21 S.M.	42.22 S.M.	13.06 %	

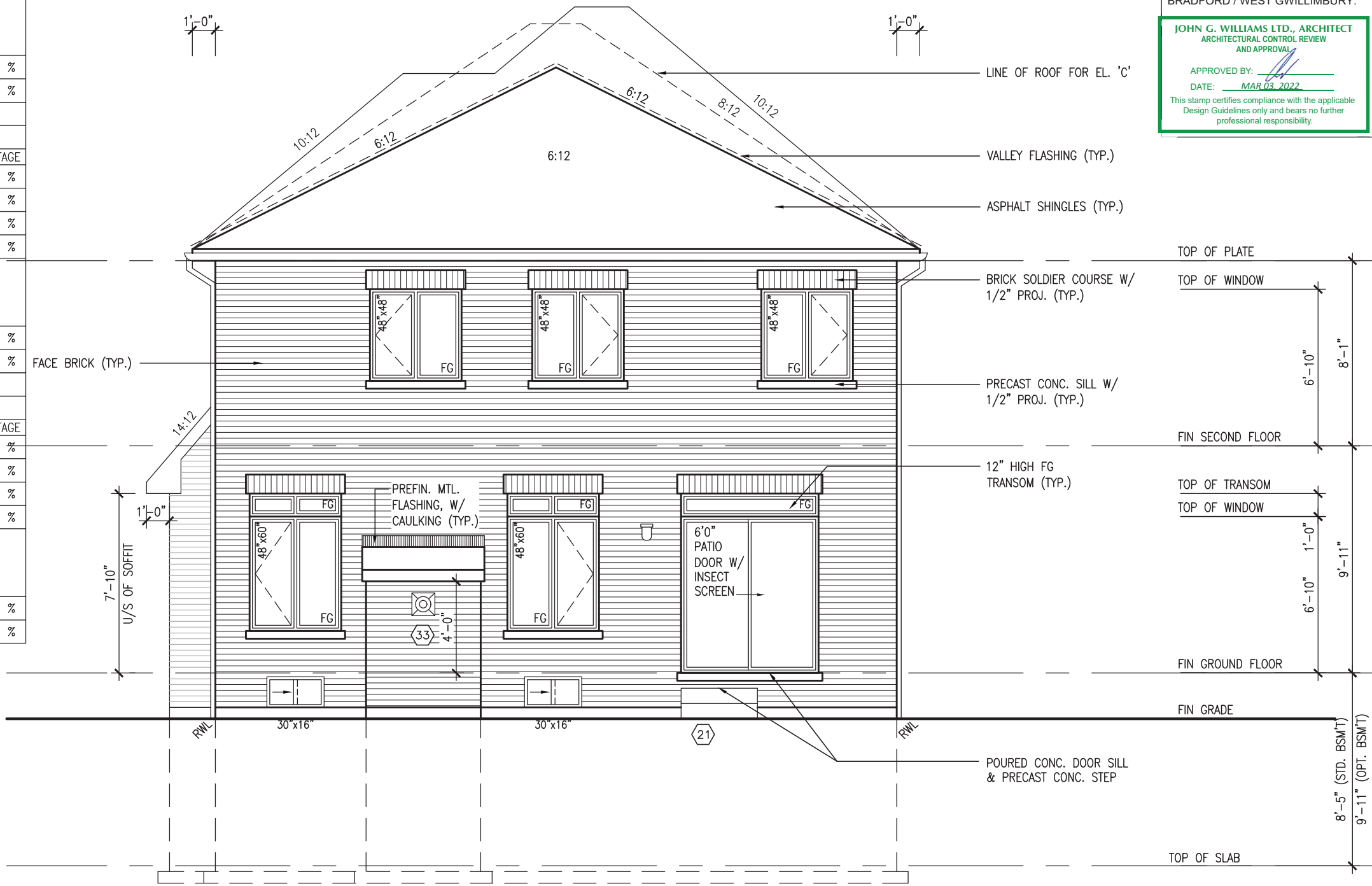
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION B/B REAR UPG	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	602 S.F.	136.89 S.F.	22.74 %	
LEFT SIDE	1145 S.F.	81.33 S.F.	7.10 %	
RIGHT SIDE	1142 S.F.	102.00 S.F.	8.93 %	
REAR	595 S.F.	149.67 S.F.	25.15 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3484.00 S.F.	469.89 S.F.	13.49 %	
TOTAL SQ. M.	323.67 S.M.	43.65 S.M.	13.49 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION C	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	613 S.F.	170.11 S.F.	27.75 %	
LEFT SIDE	1136 S.F.	81.33 S.F.	7.16 %	
RIGHT SIDE	1144 S.F.	117.56 S.F.	10.28 %	
REAR	595 S.F.	149.67 S.F.	25.15 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3488.00 S.F.	518.67 S.F.	14.87 %	
TOTAL SQ. M.	324.04 S.M.	48.19 S.M.	14.87 %	



MAR 1, 2022

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.



REAR ELEVATION 'A', 'B' & 'C'

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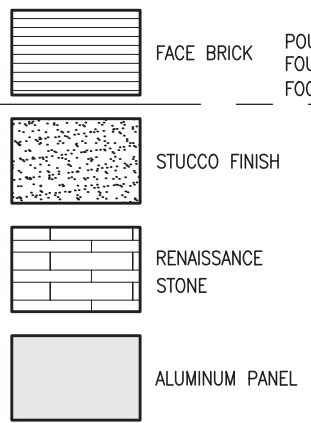
BAYVIEW WELLINGTON		S38-19	
GREEN VALLEY EAST		BRADFORD	
project name		project no.	
16023-S38-19		16023	
drawing no.		10	
file name		16023-S38-19	
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date		OCTOBER 2021	
down by		NS	
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FEB 25-22 RC		2	
NOV 23-21 VA3		1	
ISSUED FOR CLIENT REVIEW		no. description	

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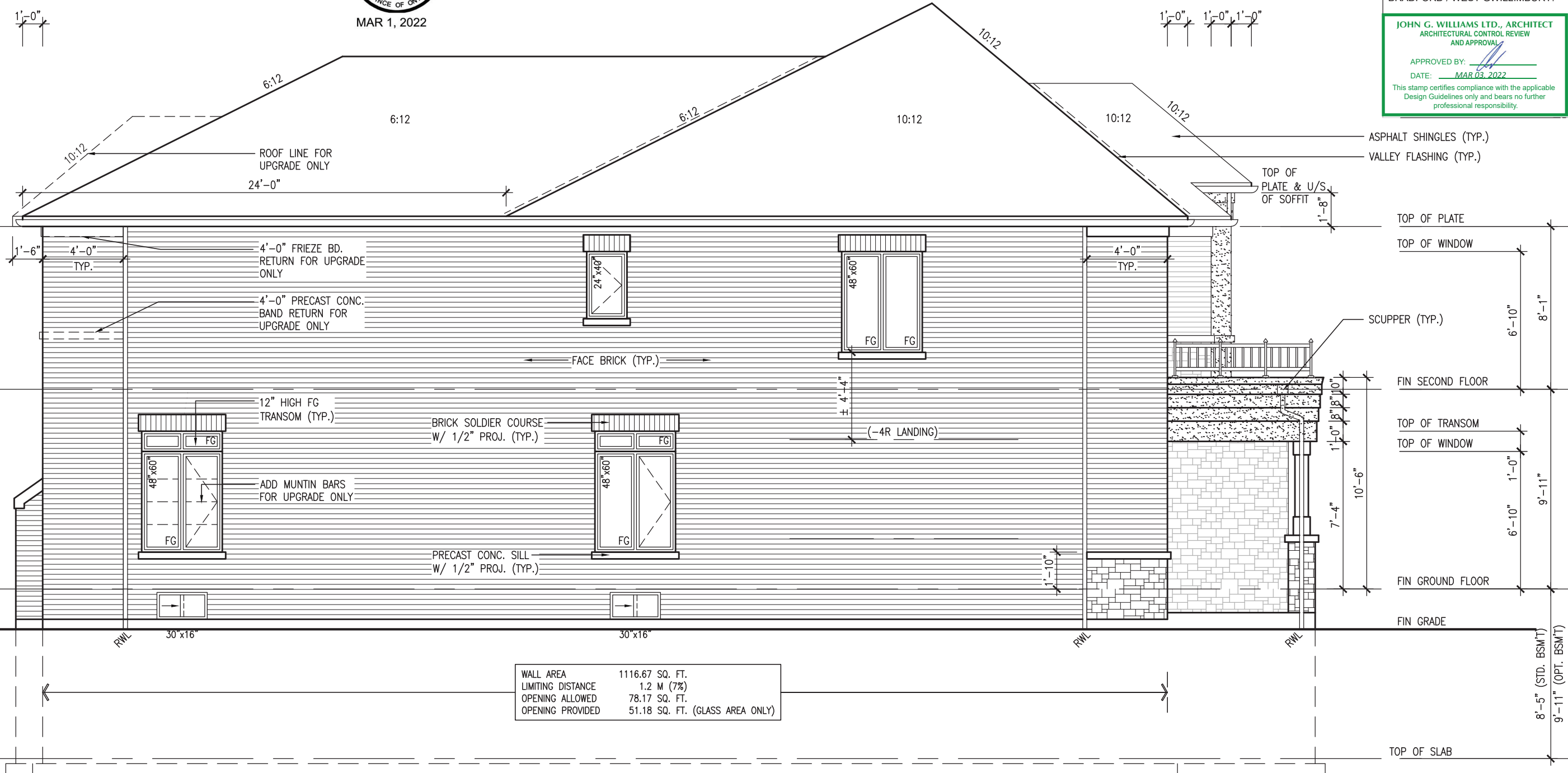
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MAR 1, 2022



LEFT SIDE ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S38-19

BAYVIEW WELLINGTON

project no. 16023
drawing no. 12

project name GREEN VALLEY EAST

date OCTOBER 2021

checked by JWM
scale 3/16" = 1'-0"

down by NS

file name 16023-S38-19
date OCTOBER 2021

VAS
DESIGN

120
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

signature
Wellington Jno-Baptiste
BCIN 25591

42658

name
Wellington Jno-Baptiste
registration information
VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no. description

2. REVISED AS PER ENG'S COMMENTS
1. ISSUED FOR CLIENT REVIEW

date

date

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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO
BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION
FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF
THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL
INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION &
TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

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S38-19

BAYVIEW WELLINGTON

BAYVIEW

project name
GREEN VALLEY EAST

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

<p>the undersigned has reviewed and takes responsibility for this design and the information provided and meets the requirements set out in the Ordinance Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste <i>WJ Baptiste</i> 25591</p>		BCIN	42658
name	registration information	signature	
<p>VAS Design Inc.</p>		<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	

1	REVIS	AS PER ENG'S COMMENTS	FEB 25-22	RC
2	ISSUED	FOR CLIENT REVIEW	NOV 23-21	VA3
3	description		date	by

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WALL AREA	1143.47 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.04 SQ. FT.
OPENING PROVIDED	68.19 SQ. FT. (GLASS AREA ONLY)

MAR 1, 2022

RIGHT SIDE ELEVATION 'B'

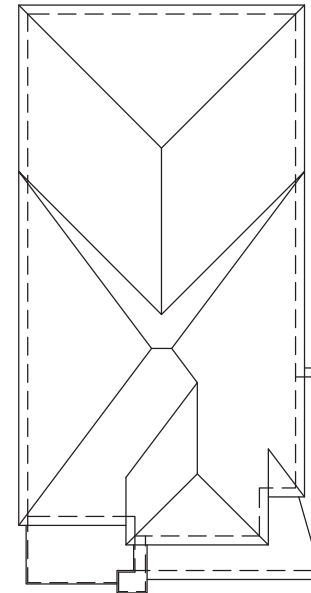
HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)45 MINUTE
FIRE RATING @ HEADER
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AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
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MAR 1, 2022

ROOF PLAN 'C'



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

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FRONT ELEVATION 'C'

- FACE BRICK
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
- STUCCO FINISH
- RENAISSANCE STONE
- ALUMINUM PANEL

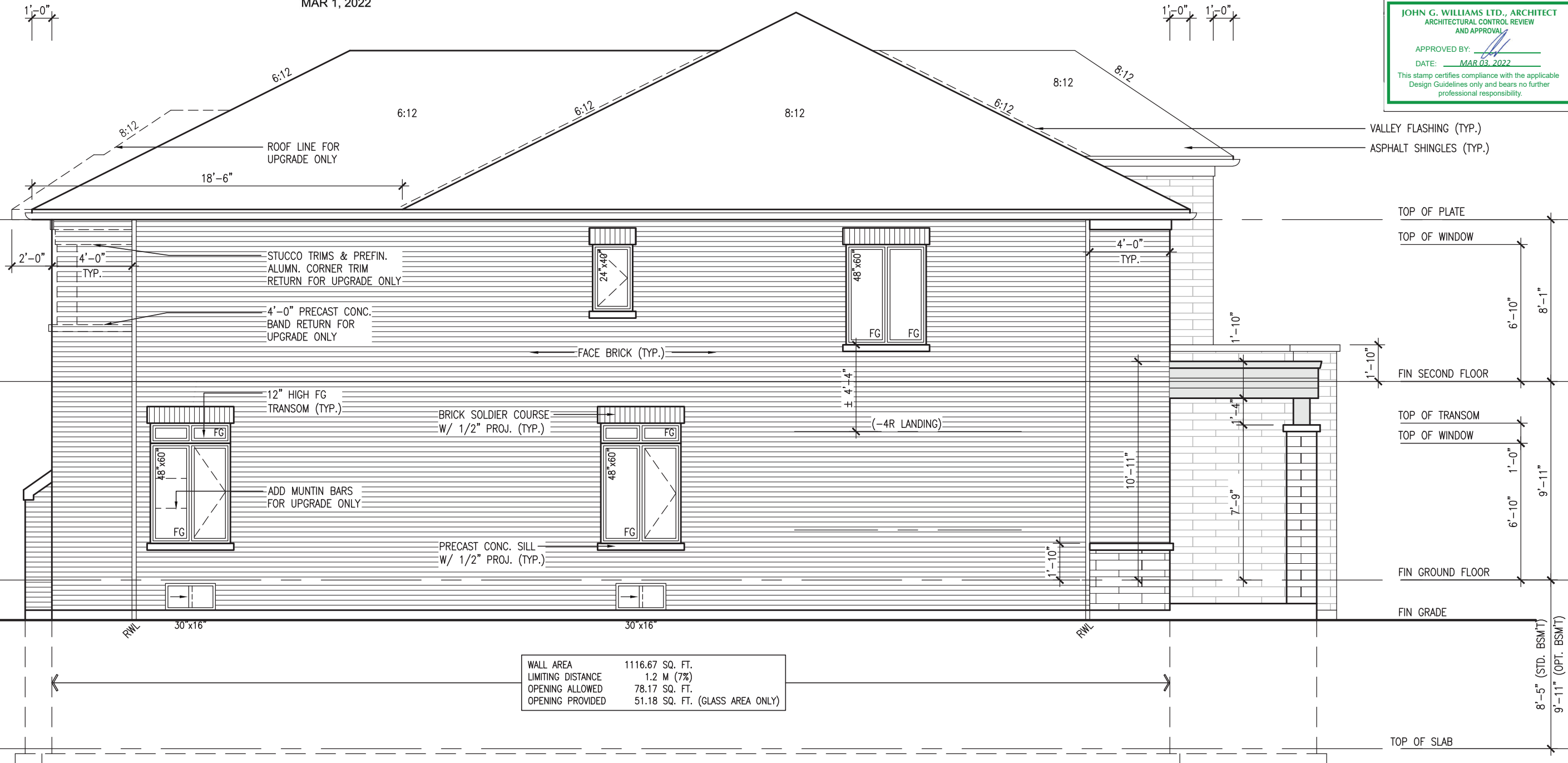
- TOP OF PLATE
- TOP OF WINDOW
- 6'-10"
- 8'-1"
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF DOOR
- 1'-8"
- 6'-10"
- 9'-11"
- FIN GROUND FLOOR
- FIN. SUNKEN FOYER
- FIN GRADE
- 8'-5" (STD. BSM'T)
- 9'-11" (OPT. BSM'T)
- TOP OF SLAB

project no.		16023	
drawing no.		14	
project name		S38-19	
municipality		BRADFORD	
project name		BAYVIEW WELLINGTON	
project name		GREEN VALLEY EAST	
date		OCTOBER 2021	
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REFER TO FRONT ELEVATION FOR
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MAR 1, 2022



LEFT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAR 03, 2022

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S38-19

BAYVIEW WELLINGTON

VA3
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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7 .
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2. REVISED AS PER ENG'S COMMENTS
1. ISSUED FOR CLIENT REVIEW

no. description

date

by

no. description

date

project no.

16023

drawing no.

15

project name

16023-S38-19

scale

3/16" = 1'-0"

checked by

JWM

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OCTOBER 2021

down by

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date

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Professional Engineer Seal for S. J. Boyd, License No. 90214198, Province of Ontario, dated MAR 1, 2022.

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
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 TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S38-19

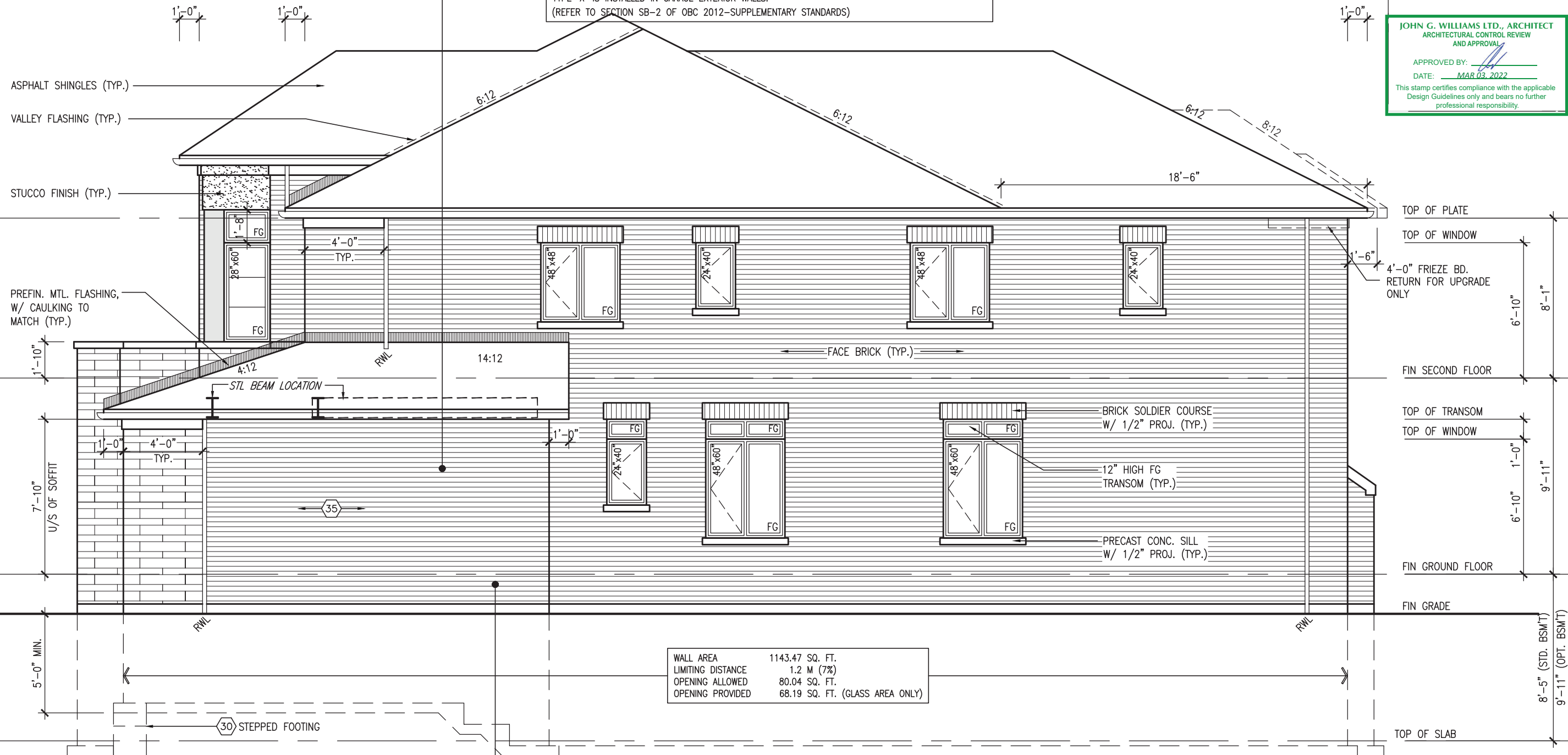
BAYVIEW WELLINGTON

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>Wellington Jno-Baptiste</p>	<p>signature</p> <p>25591</p>	<p>BCIN</p> <p>42658</p>
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2	ISSUED AS PER ENG'S COMMENTS	FEB 25--22 RC	
1	REVISED FOR CLIENT REVIEW	NOV 23--21 WAS	
no.	description	date	by

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



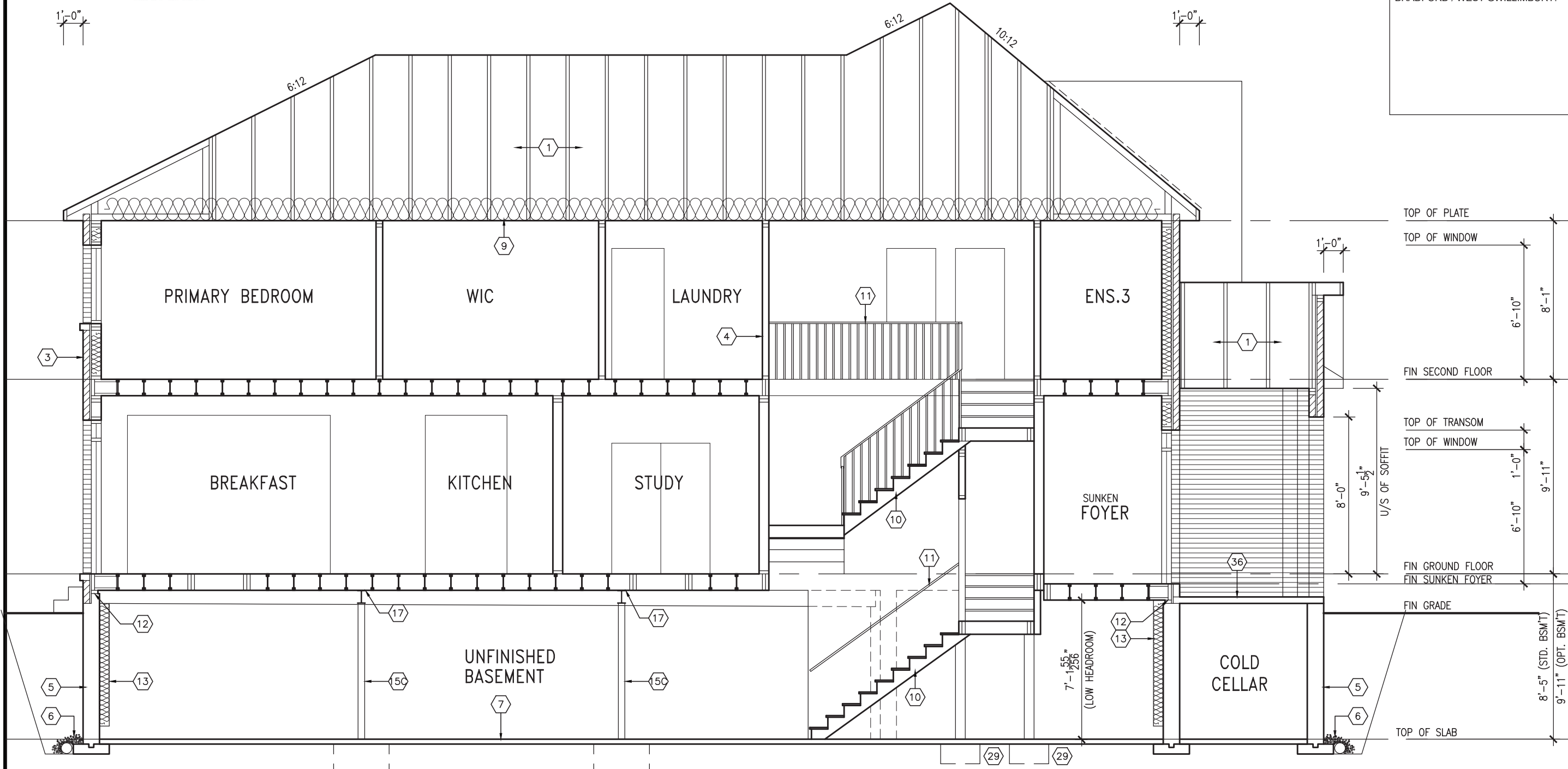
RIGHT SIDE ELEVATION 'C'

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.



MAR 1, 2022



CROSS SECTION 'A-A'

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BAYVIEW WELLINGTON		S38-19	
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	project no.	16023
date	OCTOBER 2021	checked by	JWM
drawn by	NS	scale	3/16" = 1'-0"
CROSS SECTION 'A-A'		file name	16023-S38-19
		date	Mar 1 2022 - 9:33 AM
		drawing no.	17
		V3 DESIGN	
		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	
		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
		Wellington Jno-Baptiste	
		BCIN 25591	
		42658	
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
		FEB 25-22 RC	
		NOV 23-21 VAS	
		1 ISSUED FOR CLIENT REVIEW	
		no. description	

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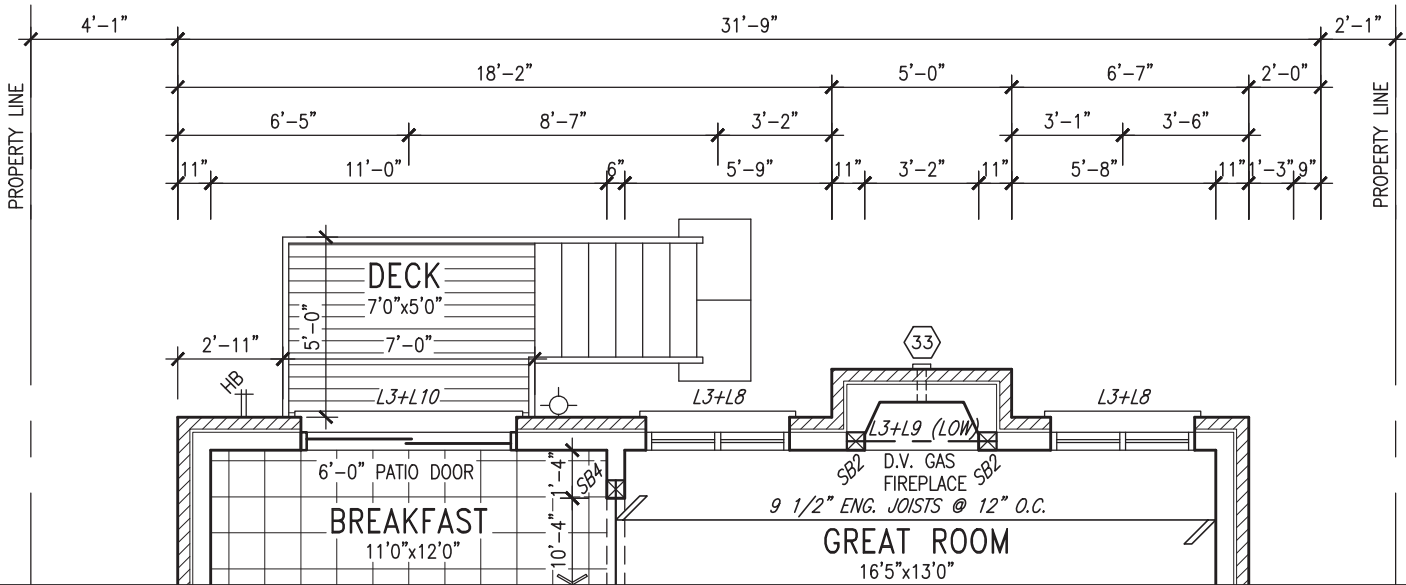
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

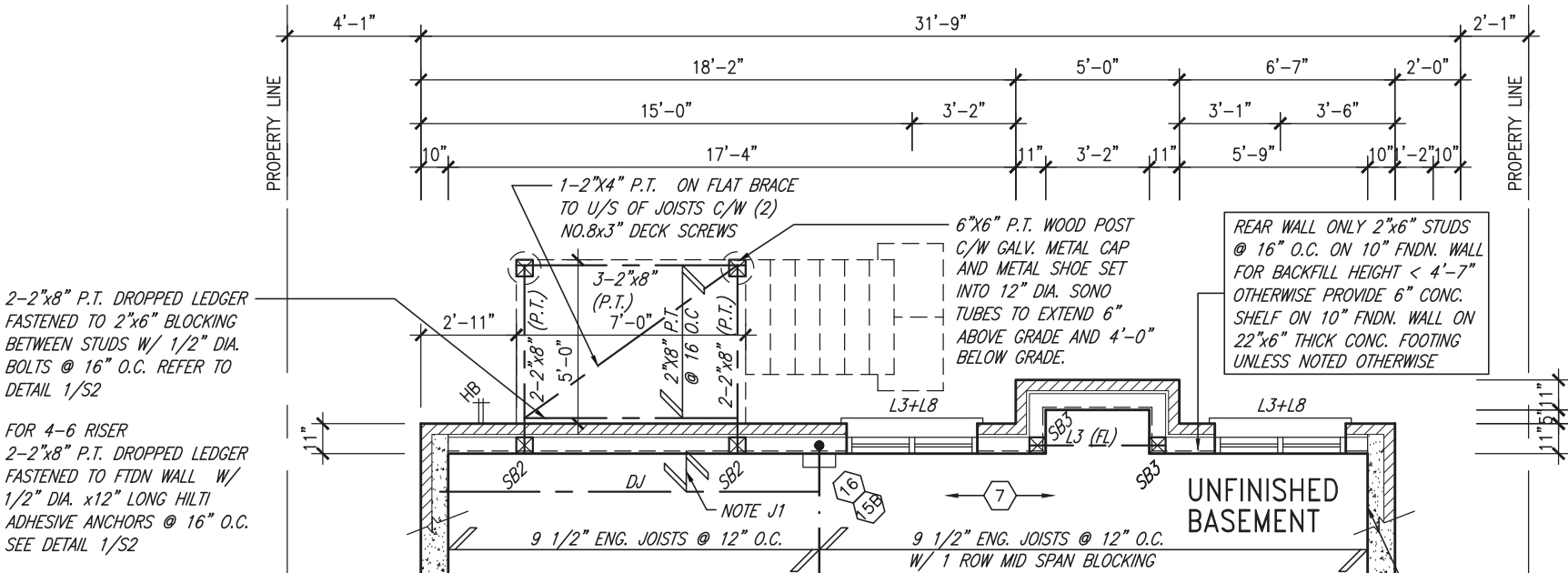
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



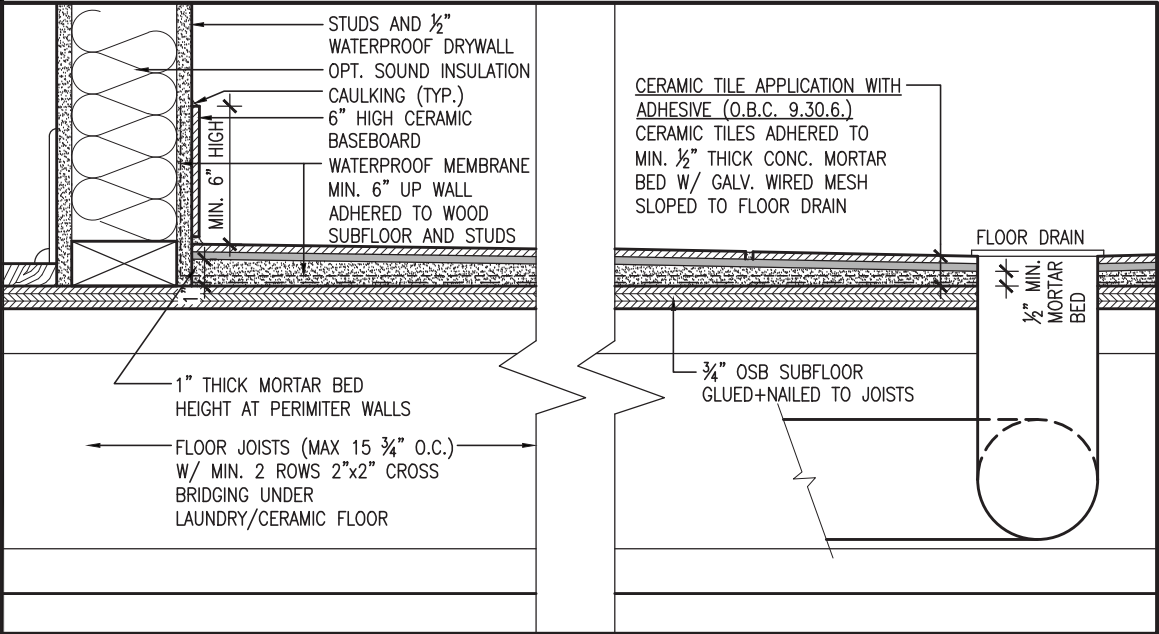
GROUND FLOOR PLAN 'A' – W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION



BASEMENT PLAN 'A' – W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" THICK CONC. FTG.



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



MAR 1, 2022

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name registration information BCIN
5.	.	.	VA3 Design Inc. 42658
4.	.	.	
3.	.	.	
2.	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC
1.	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3
no.	description	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

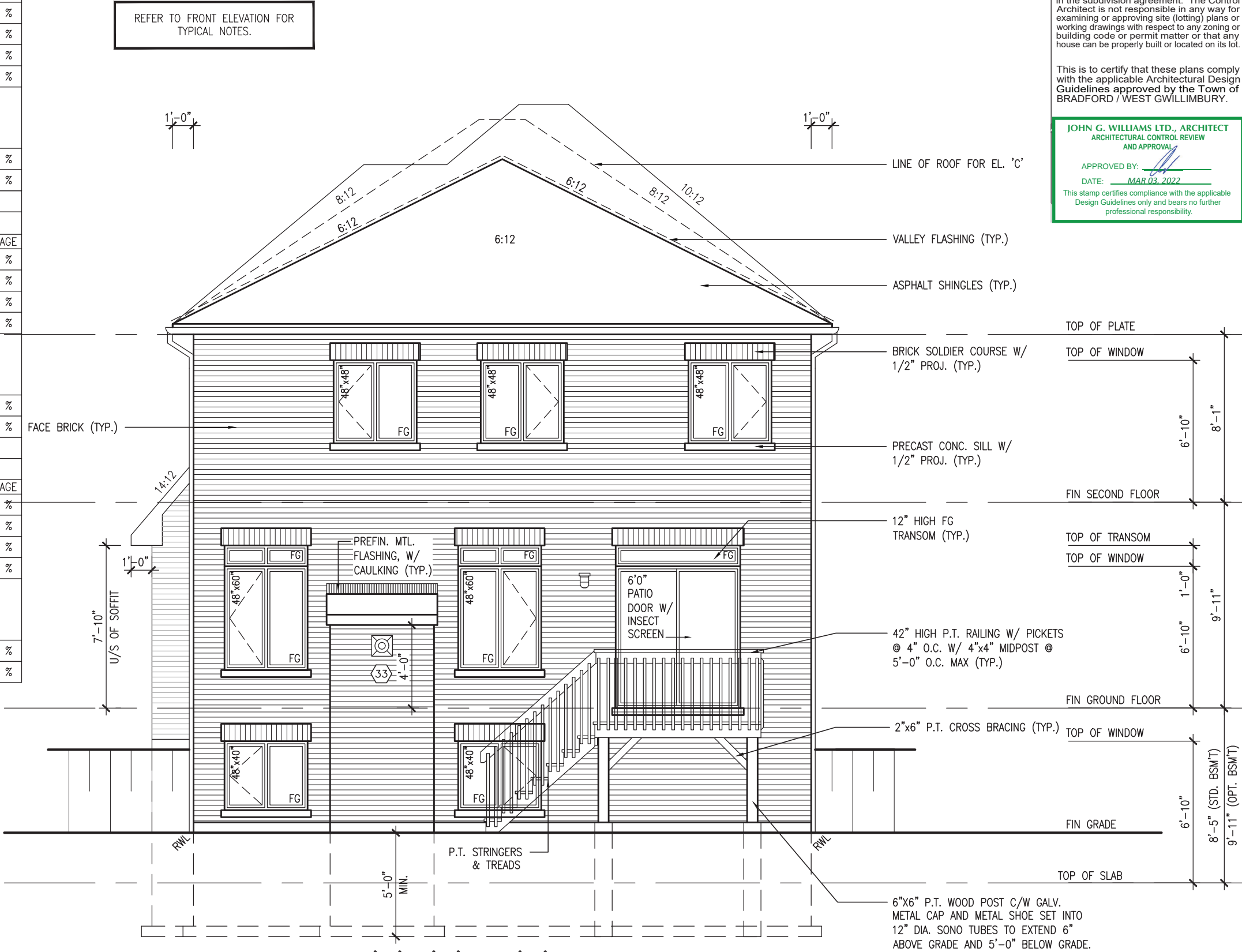
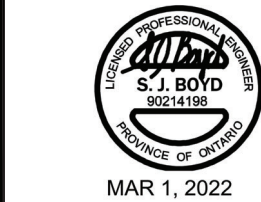
S38-19

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	OCTOBER 2021	checked by	JWM	scale	3/16" = 1'-0"
drawn by	NS	file name	16023-S38-19	drawing no.	18
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM					

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION A/A REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	614 S.F.	114.79 S.F.	18.70 %	
LEFT SIDE	1136 S.F.	88.00 S.F.	7.75 %	
RIGHT SIDE	1134 S.F.	102.00 S.F.	8.99 %	
REAR	714 S.F.	169.67 S.F.	23.76 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3598.00 S.F.	474.46 S.F.	13.19 %	
TOTAL SQ. M.	334.26 S.M.	44.08 S.M.	13.19 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION B/B REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	602 S.F.	136.89 S.F.	22.74 %	
LEFT SIDE	1145 S.F.	81.33 S.F.	7.10 %	
RIGHT SIDE	1142 S.F.	102.00 S.F.	8.93 %	
REAR	714 S.F.	169.67 S.F.	23.76 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3603.00 S.F.	489.89 S.F.	13.60 %	
TOTAL SQ. M.	334.73 S.M.	45.51 S.M.	13.60 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	613 S.F.	170.11 S.F.	27.75 %	
LEFT SIDE	1136 S.F.	81.33 S.F.	7.16 %	
RIGHT SIDE	1144 S.F.	117.56 S.F.	10.28 %	
REAR	714 S.F.	169.67 S.F.	23.76 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3607.00 S.F.	538.67 S.F.	14.93 %	
TOTAL SQ. M.	335.10 S.M.	50.04 S.M.	14.93 %	



REAR ELEVATION 'A', 'B' & 'C' - WOD COND.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
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S38-19		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		16023	
project no.		municipality		project name		date		drawing no.	
16023		BRADFORD		REAR ELEVATION 'A', 'B' & 'C' - WOD COND.		OCTOBER 2021		19	
file name		scale		checked by		drawn by		date	
16023-S38-19		3/16" = 1'-0"		JMW		NS		16023-S38-19.dwg	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-19.dwg		Tue - Mar 1 2022 - 9:33 AM							
9		The undersigned has reviewed and takes responsibility for this design		Wellington Jno-Baptiste		25591		FEB 25-22	
8		and has the qualifications and meets the requirements set out in the		BCIN		42658		RC	
7		Ontario Building Code to be a Designer.		VA3 Design Inc.				NOV 23-21	
6		qualification information		name		signature		VA3	
5		Wellington Jno-Baptiste		registration information		no.		description	
4		VA3 Design Inc.		name		FEB 25-22		REVISED AS PER ENG'S COMMENTS	
3		Contractor must verify all dimensions on the job and report any		signature		NOV 23-21		ISSUED FOR CLIENT REVIEW	
2		discrepancy to the Designer before proceeding with the work. All		date					
1		drawings and specifications are instruments of service and the property							
		of the Designer which must be returned at the completion of the work.							
		Drawings are not to be scaled.							

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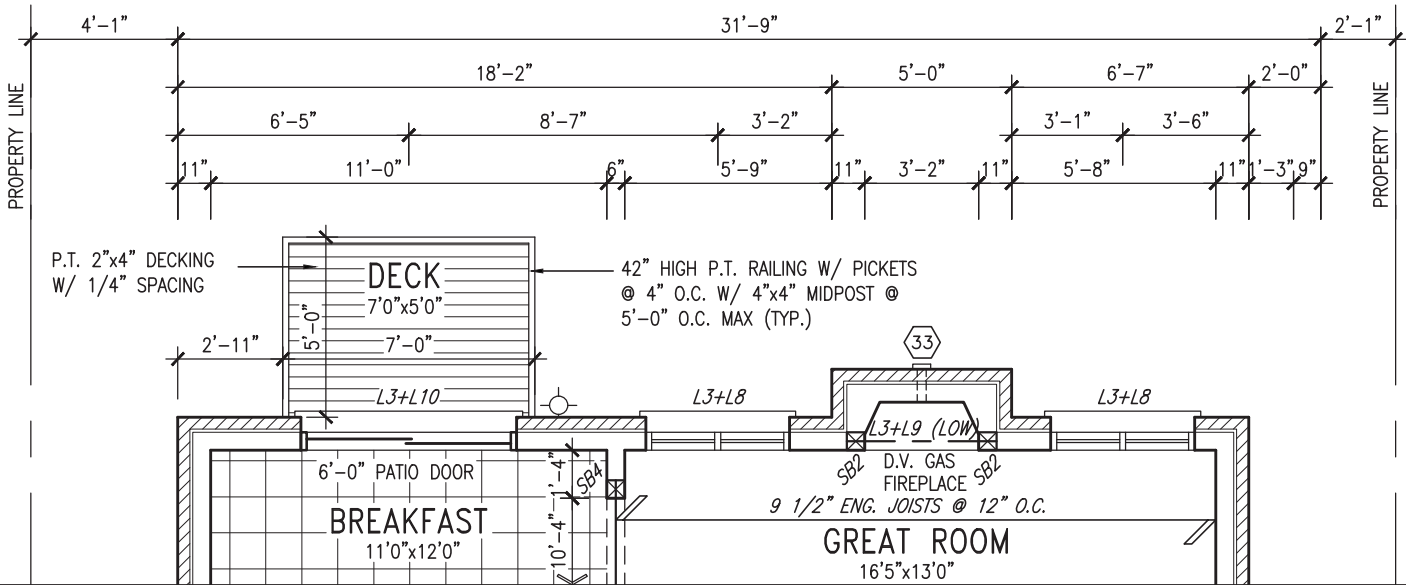
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

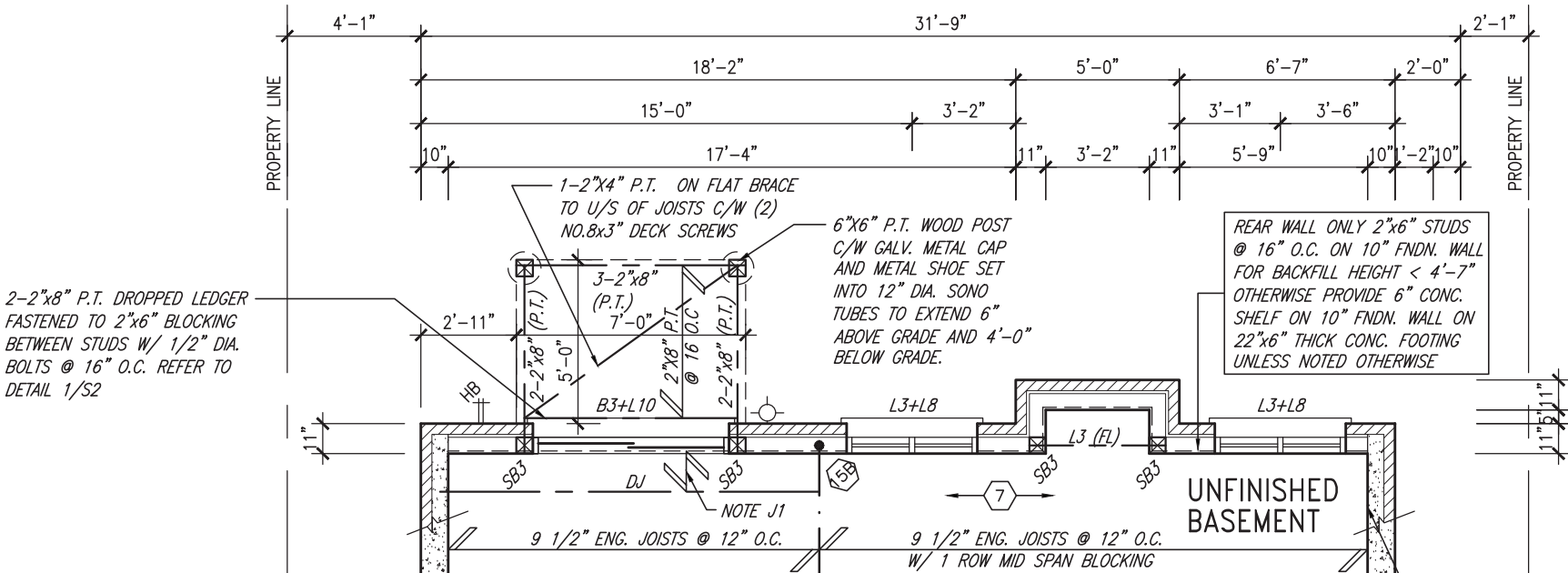
DATE: MAR 03, 2022

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GROUND FLOOR PLAN 'A' – W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION



BASEMENT PLAN 'A' – W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22" x 6" THICK CONC. FTG.



MAR 1, 2022

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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2.	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC
1.	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
signature BCIN

VA3 Design Inc. 42658
name registration information

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255 Consumers Rd Suite 120
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va3design.com

BAYVIEW WELLINGTON

S38-19

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	OCTOBER 2021	scale	3/16" = 1'-0"	file name	16023-S38-19
drawn by	NS	checked by	JWM	drawing no.	20
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM					

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION A/A REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	614 S.F.	114.79 S.F.	18.70 %	
LEFT SIDE	1136 S.F.	88.00 S.F.	7.75 %	
RIGHT SIDE	1134 S.F.	102.00 S.F.	8.99 %	
REAR	801 S.F.	224.00 S.F.	27.97 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3685.00 S.F.	528.79 S.F.	14.35 %	
TOTAL SQ. M.	342.34 S.M.	49.13 S.M.	14.35 %	

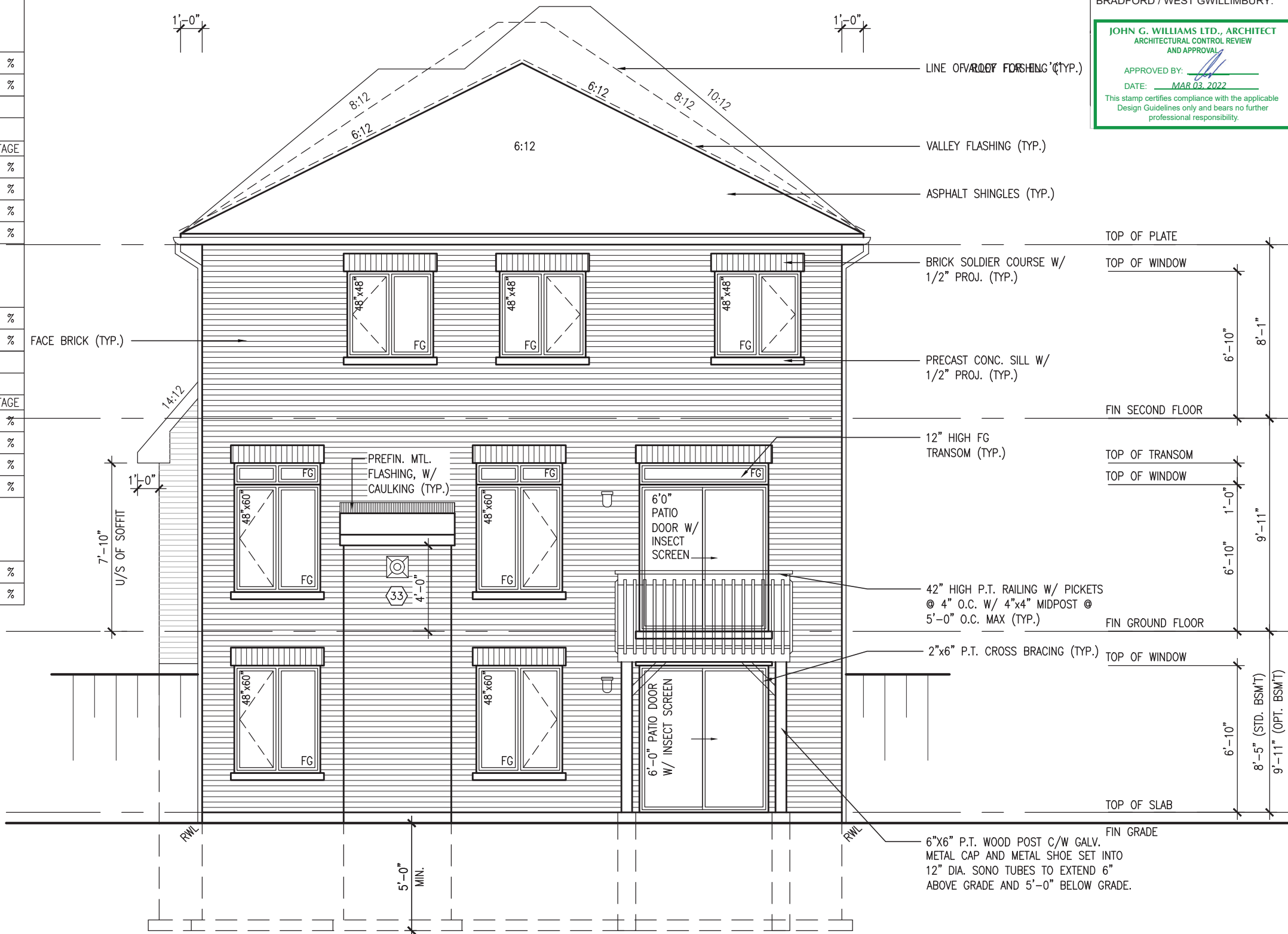
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION B/B REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	602 S.F.	136.89 S.F.	22.74 %	
LEFT SIDE	1145 S.F.	81.33 S.F.	7.10 %	
RIGHT SIDE	1142 S.F.	102.00 S.F.	8.93 %	
REAR	801 S.F.	224.00 S.F.	27.97 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3690.00 S.F.	544.22 S.F.	14.75 %	
TOTAL SQ. M.	342.81 S.M.	50.56 S.M.	14.75 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	613 S.F.	170.11 S.F.	27.75 %	
LEFT SIDE	1136 S.F.	81.33 S.F.	7.16 %	
RIGHT SIDE	1144 S.F.	117.56 S.F.	10.28 %	
REAR	801 S.F.	224.00 S.F.	27.97 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3694.00 S.F.	593.00 S.F.	16.05 %	
TOTAL SQ. M.	343.18 S.M.	55.09 S.M.	16.05 %	



MAR 1, 2022

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



REAR ELEVATION 'A', 'B' & 'C' - WOB COND.

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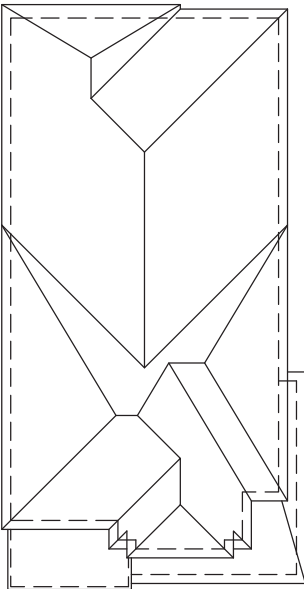
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information		Wellington Jno-Baptiste 25591		BCIN	
name		signature		Wellington Jno-Baptiste		42658	
registration information		VA3 Design Inc.		name		BCIN	
date		date		date		date	
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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UPGRADED ROOF PLAN 'B'



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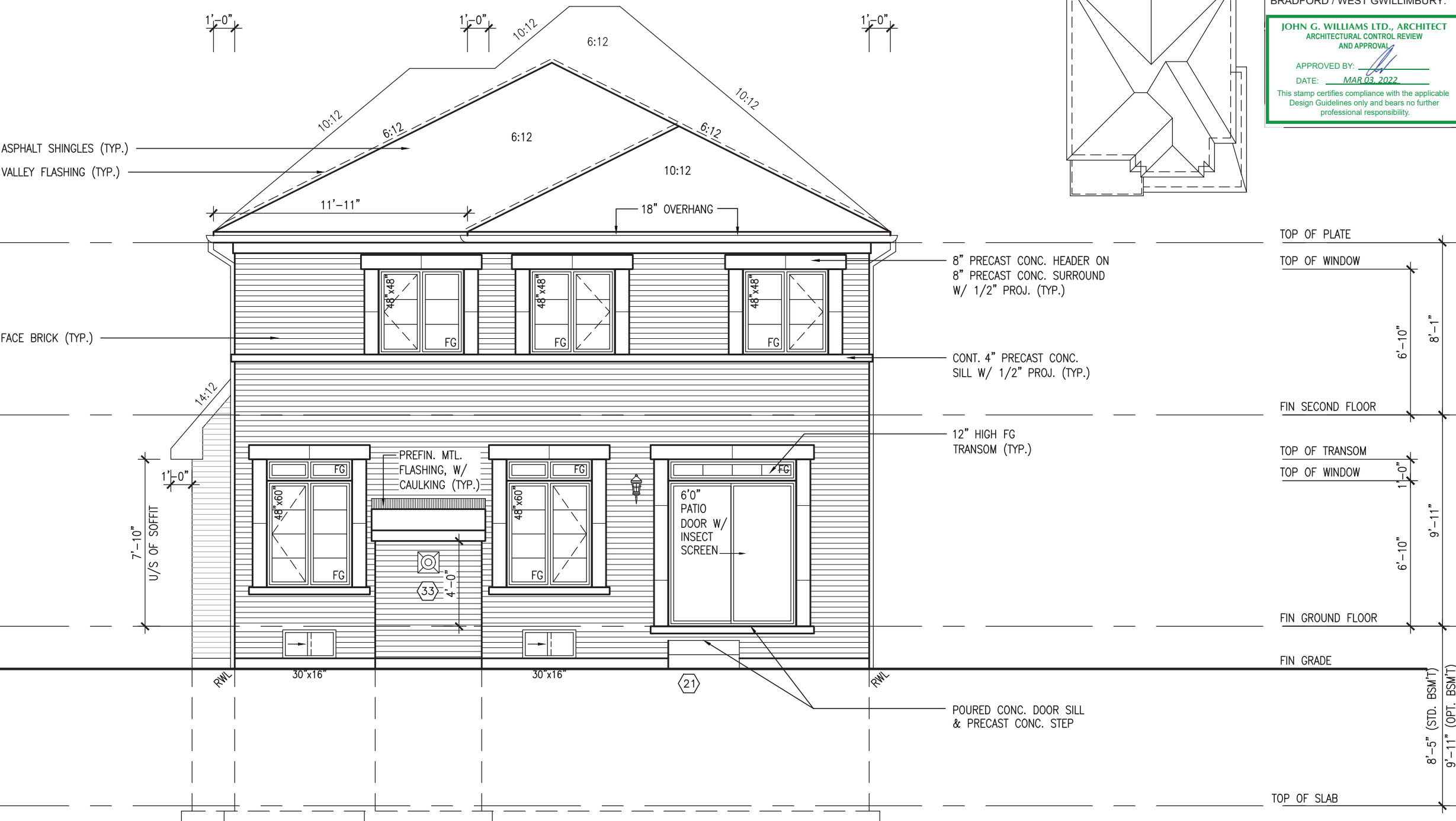
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable
 Design Guidelines only and bears no further
 professional responsibility.



UPGRADED REAR ELEVATION 'B'



MAR 1, 2022

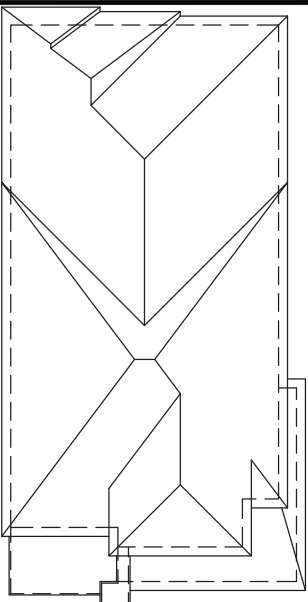
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-19 ELEVATION C REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	613 S.F.	170.11 S.F.	27.75 %
LEFT SIDE	1136 S.F.	81.33 S.F.	7.16 %
RIGHT SIDE	1144 S.F.	117.56 S.F.	10.28 %
REAR	595 S.F.	165.62 S.F.	27.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3488.00 S.F.	534.62 S.F.	15.33 %
TOTAL SQ. M.	324.04 S.M.	49.67 S.M.	15.33 %

9'-0" GROUND FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.

UPGRADED ROOF PLAN 'C'



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

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UPGRADED REAR ELEVATION 'C'

TOP OF PLATE	8'-1"
TOP OF WINDOW	6'-10"
FIN SECOND FLOOR	9'-11"
TOP OF TRANSOM	6'-10"
TOP OF WINDOW	1'-0"
FIN GROUND FLOOR	9'-11"
FIN GRADE	8'-5" (STD. BSM'T)
TOP OF SLAB	9'-11" (OPT. BSM'T)



MAR 1, 2022

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The Undergraduate has reviewed and takes responsibility for this design. The specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature Wellington Jno-Baptiste 25591 BCN VA3 Design Inc. 42658	
qualification information			

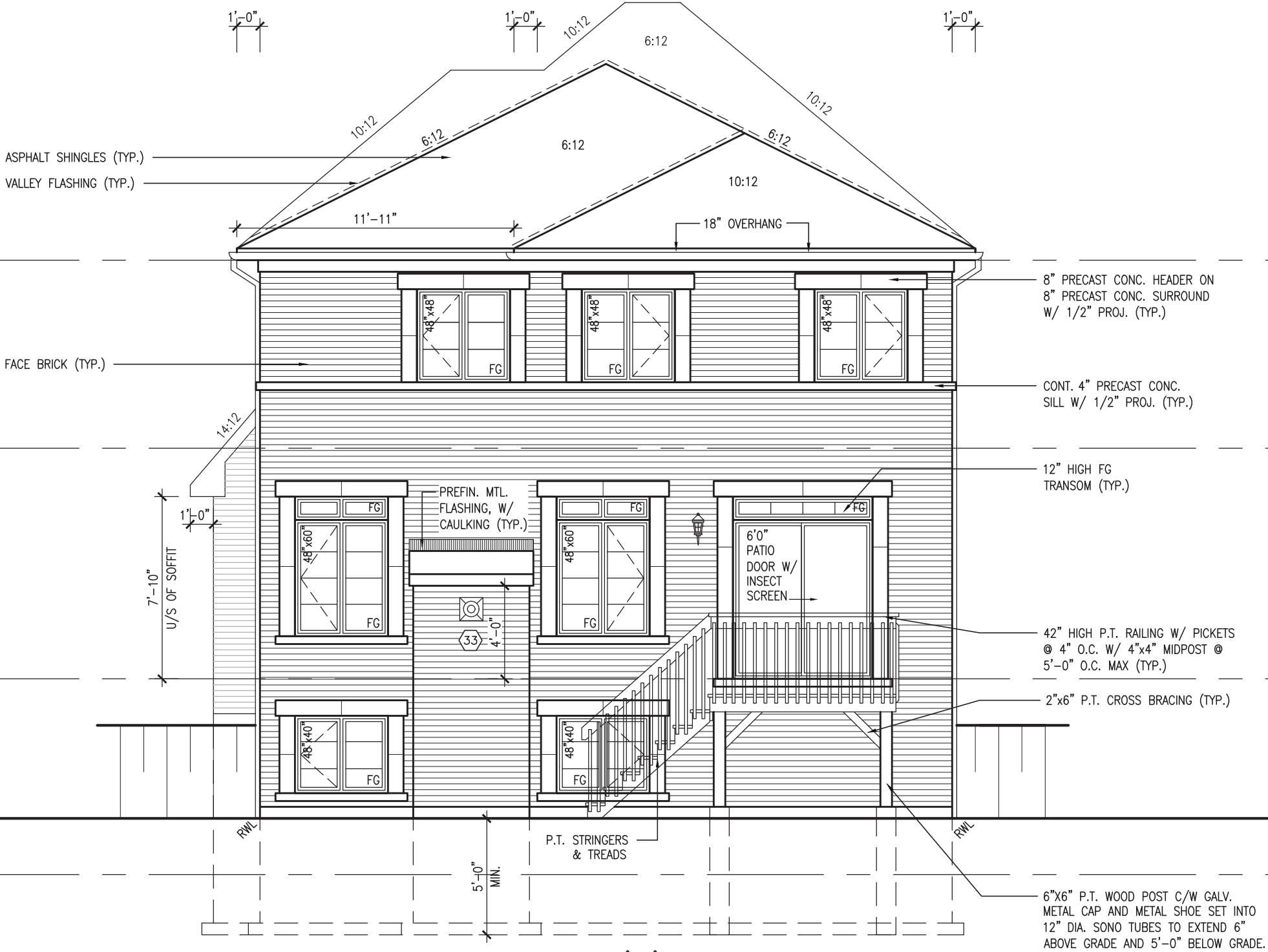
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

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UPGRADED REAR ELEVATION 'B' – WOD COND.



MAR 1, 2022

Diagram illustrating the vertical section of a building facade, showing floor levels and dimensions:

- TOP OF PLATE
- TOP OF WINDOW
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- FIN GROUND FLOOR
- TOP OF WINDOW
- FIN GRADE
- TOP OF SLAB

Dimensions (Vertical Distances):

- 6'-10"
- 8'-11"
- 1'-0"
- 6'-10"
- 8'-5" (STD. BSM'T)
- 9'-11" (OPT. BSM'T)

S38-19

BAYVIEW WELLINGTON

BAYVIEW

project name
GREEN VALLEY EAST

V3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

qualification information
Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
signature
25591
BCIN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

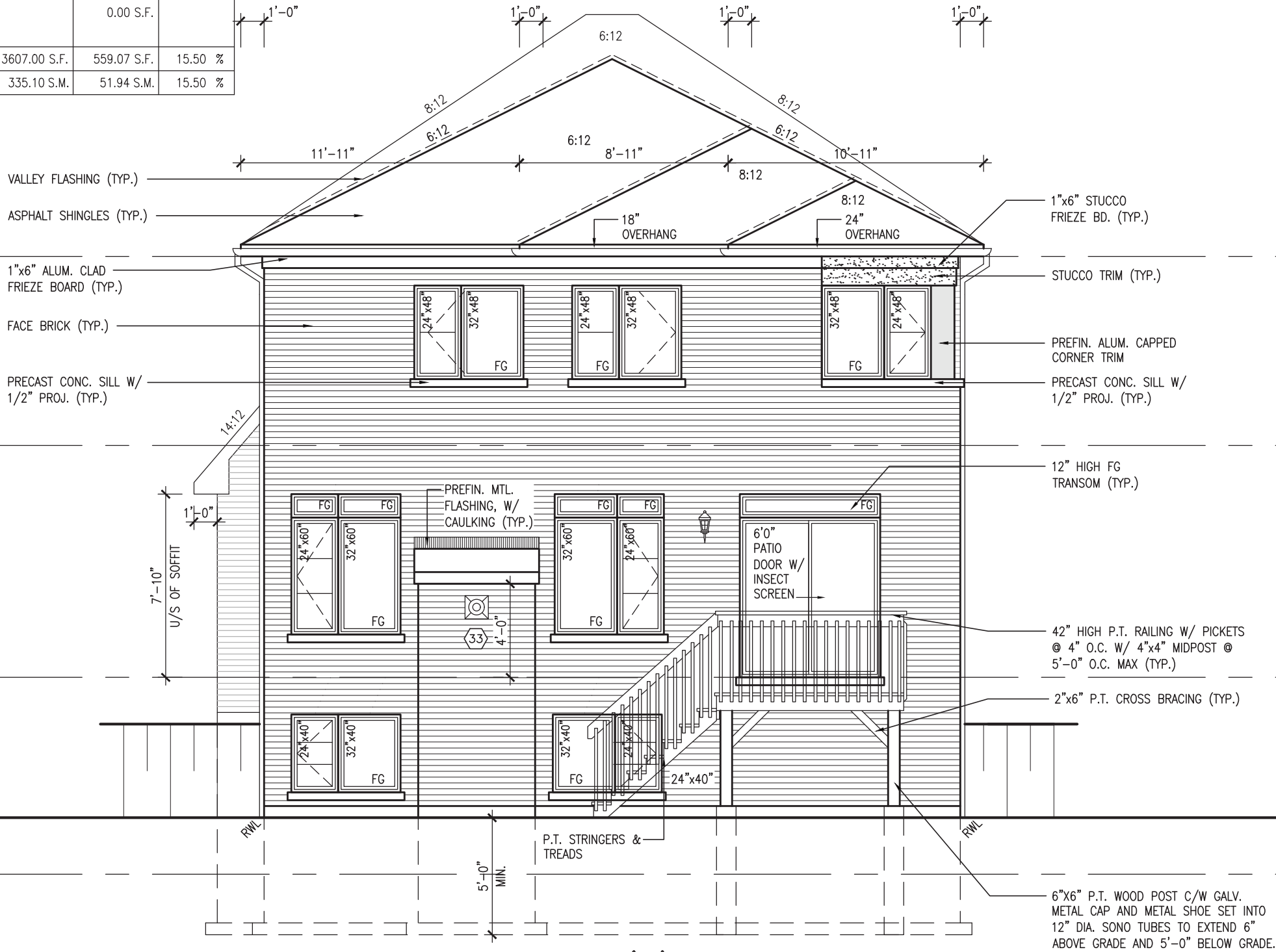
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1	ISSUED FOR CLIENT REVIEW	NOV 23-21	W3
no.	description	date	by

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-19 ELEVATION C REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	613 S.F.	170.11 S.F.	27.75 %
LEFT SIDE	1136 S.F.	81.33 S.F.	7.16 %
RIGHT SIDE	1144 S.F.	117.56 S.F.	10.28 %
REAR	714 S.F.	190.07 S.F.	26.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3607.00 S.F.	559.07 S.F.	15.50 %
TOTAL SQ. M.	335.10 S.M.	51.94 S.M.	15.50 %

9'-0" GROUND FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.



UPGRADED REAR ELEVATION 'C' - WOD COND.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOP OF PLATE	
TOP OF WINDOW	8'-1"
	6'-10"
FIN SECOND FLOOR	
TOP OF TRANSOM	1'-0"
TOP OF WINDOW	9'-11"
	6'-10"
FIN GROUND FLOOR	
TOP OF WINDOW	8'-5" (STD. BSM'T)
	9'-11" (OPT. BSM'T)
FIN GRADE	
TOP OF SLAB	



MAR 1, 2022

S38-19		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		16023	
project name		municipality		project no.		drawing no.		27	
UPGRADED REAR ELEVATION 'C' - WOD COND.		date		checked by		scale		file name	
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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

MAR 1, 2022

UPGRADED REAR ELEVATION 'A' - WOB COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

S38-19

BAYVIEW WELLINGTON

BAYVIEW



and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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name	signature	BCIN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.


2	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3

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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

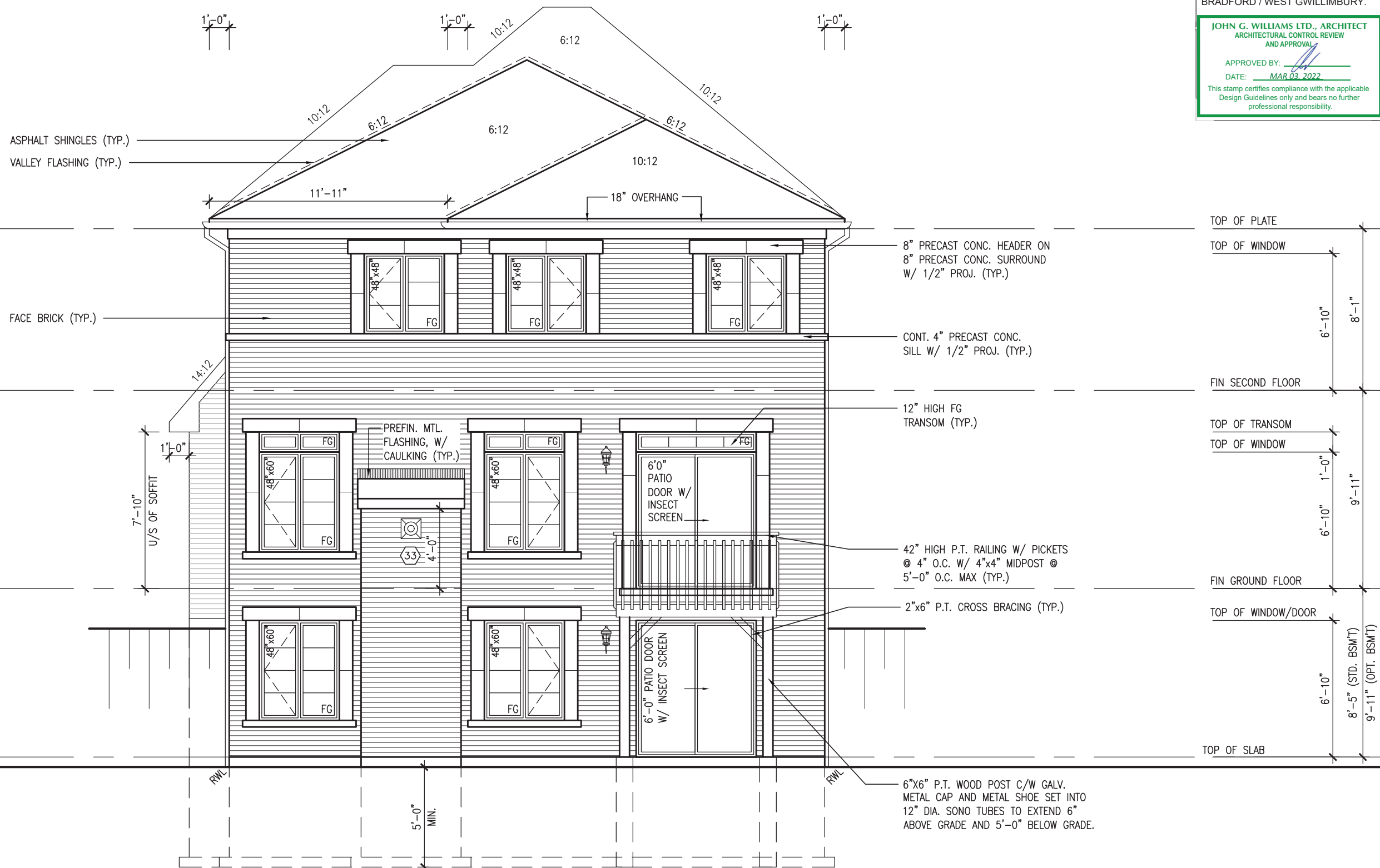
<div> <div>BAYVIEW WELLINGTON</div> <div>S38-19</div> </div>		<div> <div>project name</div> <div>GREEN VALLEY EAST</div> </div>		<div> <div>municipality</div> <div>BRADFORD</div> </div>		<div> <div>project no.</div> <div>16023</div> </div>	
<div> <div>date</div> <div>OCTOBER 2021</div> </div>		<div> <div>drawn by</div> <div>NS</div> </div>		<div> <div>checked by</div> <div>JWM</div> </div>		<div> <div>scale</div> <div>3/16" = 1'-0"</div> </div>	
<div> <div>UPGRADED REAR ELEVATION 'B' – WOB COND.</div> </div>		<div> <div>file name</div> <div>16023-S38-19</div> </div>		<div> <div>drawing no.</div> <div>29</div> </div>		<div> <div>16023-S38-19</div> <div>RICHARD – H:\ARCHIVE\WORKING\2016\16023-BW Units\38\16023-S38-19.dwg – Tue – Mar 1 2022 – 9:33 AM</div> </div>	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

<p>and undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste</p>	<p>25591</p>
<p>name</p> <p>registration information</p> <p>VYAS Design Inc.</p>	<p>BCIN</p> <p>42658</p>
<p>signature</p> <p><i>[Signature]</i></p>	
<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	

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1	ISSUED FOR CLIENT REVIEW	NOV 23-21	W3
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UPGRADED REAR ELEVATION 'B' - WOB COND.



MAR 1, 2022

ROOF PLAN 'A'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

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S38-19

BAYVIEW WELLINGTON

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The undersigned has reviewed and takes responsibility for this design and the information provided. The undersigned has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *Jno-Baptiste* 25591
name signature BCIN
registration information 42658
VAA3 Design Inc.

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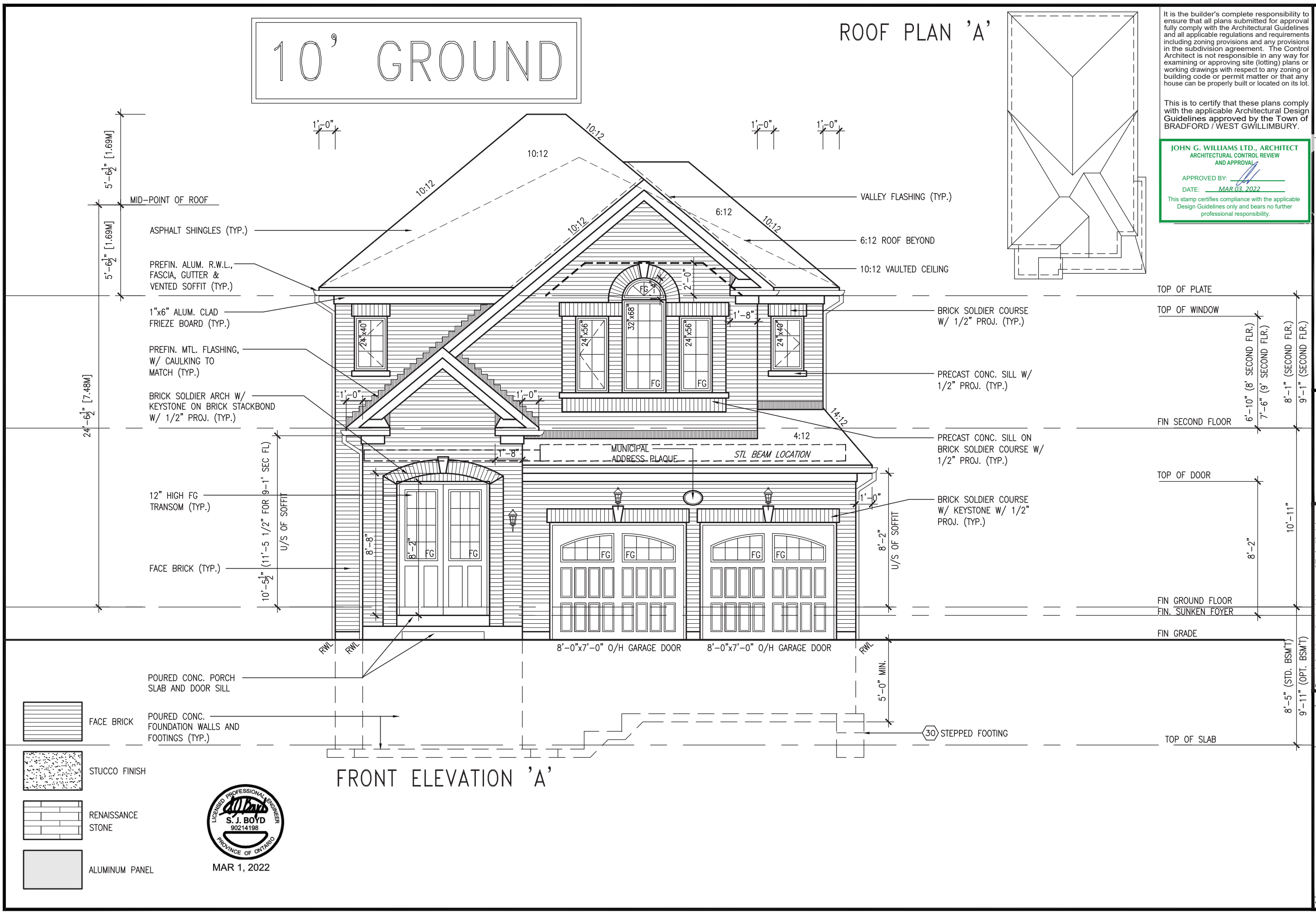
one **OCTOBER 2021** **FRONT ELEVATION 'A'** **31**
 drawn by **NS** checked by **JWM** scale **3/16" = 1'-0"** file name **16023-S38-19**
 drawn by **NS** checked by **JWM** scale **3/16" = 1'-0"** file name **16023-S38-19**
 RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

BRICK VENEER CONSTRUCTION

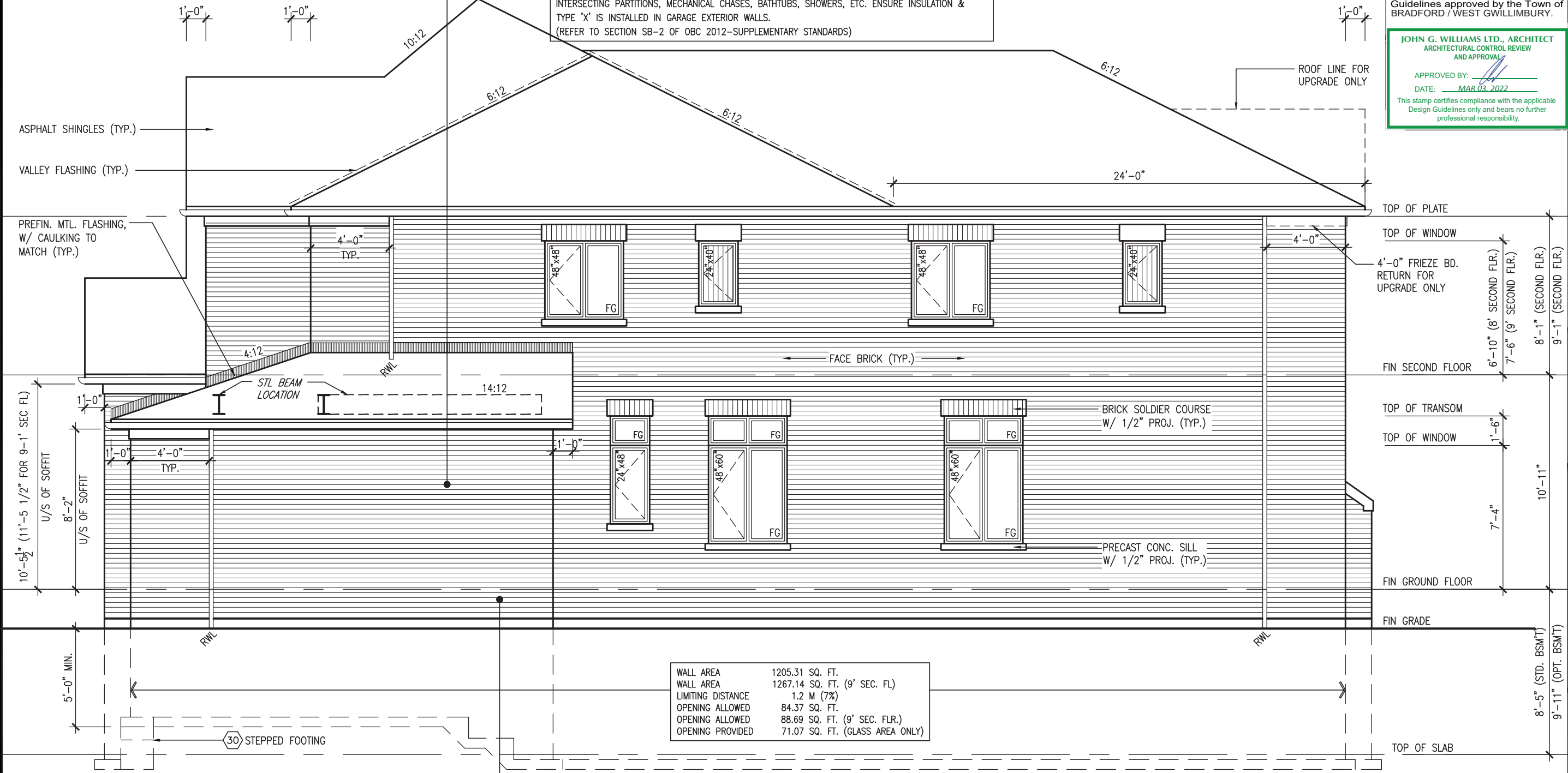
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

10' GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



RIGHT SIDE ELEVATION 'A'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.



MAR 1, 2022

WALL AREA	1205.31 SQ. FT.
WALL AREA	1267.14 SQ. FT. (9' SEC. FL)
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	84.37 SQ. FT.
OPENING ALLOWED	88.69 SQ. FT. (9' SEC. FLR.)
OPENING PROVIDED	71.07 SQ. FT. (GLASS AREA ONLY)

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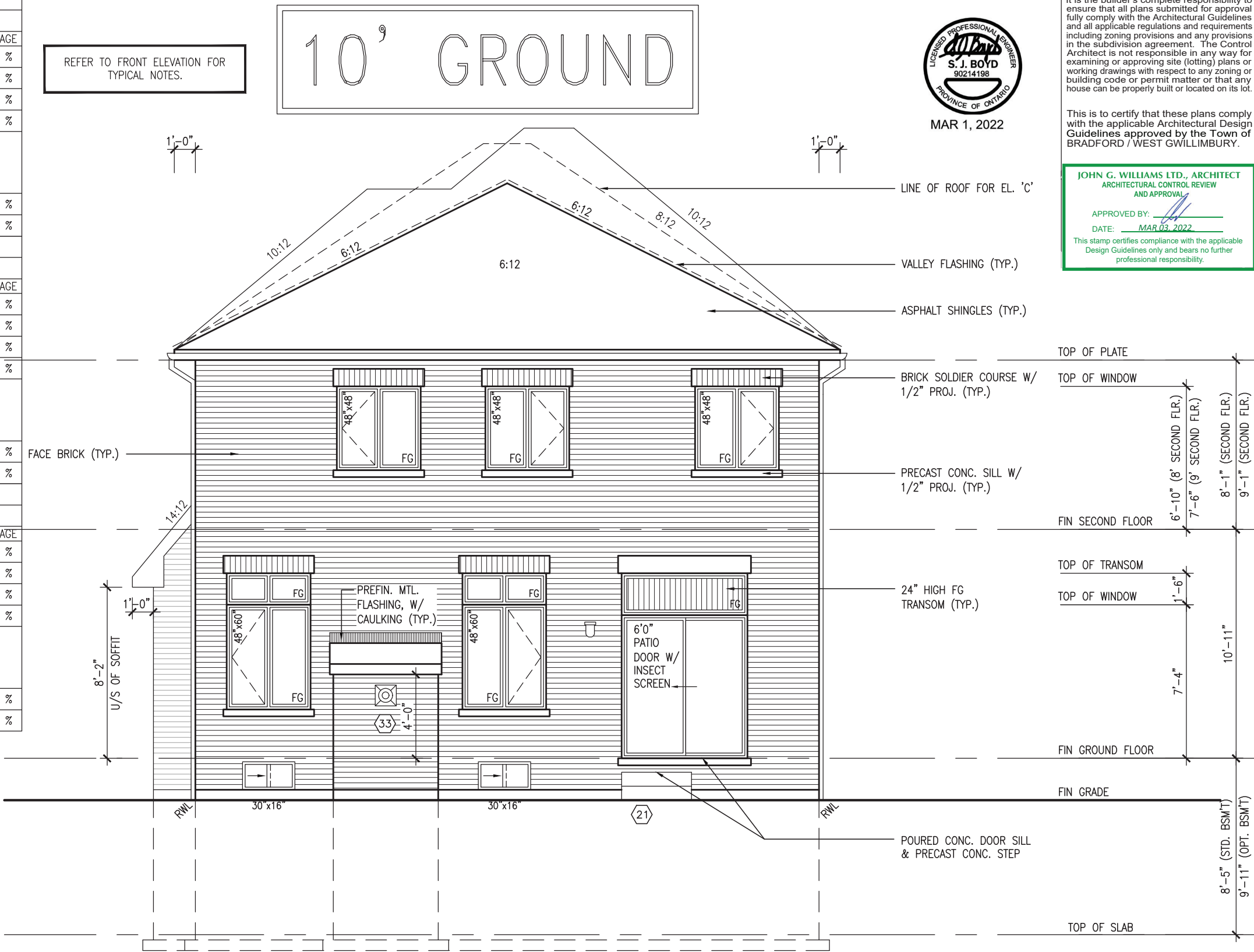
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10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION A/A REAR UPG	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	644 S.F.	121.52 S.F.	18.87 %
	LEFT SIDE	1192 S.F.	92.00 S.F.	7.72 %
	RIGHT SIDE	1190 S.F.	103.33 S.F.	8.68 %
	REAR	625 S.F.	159.67 S.F.	25.55 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3651.00 S.F.	476.52 S.F.	13.05 %
	TOTAL SQ. M.	339.19 S.M.	44.27 S.M.	13.05 %

10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION B/B REAR UPG	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	632 S.F.	145.50 S.F.	23.02 %
	LEFT SIDE	1201 S.F.	85.33 S.F.	7.10 %
	RIGHT SIDE	1198 S.F.	108.33 S.F.	9.04 %
	REAR	625 S.F.	159.67 S.F.	25.55 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3656.00 S.F.	498.83 S.F.	13.64 %
	TOTAL SQ. M.	339.65 S.M.	46.34 S.M.	13.64 %

10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	643 S.F.	178.72 S.F.	27.79 %
	LEFT SIDE	1192 S.F.	85.33 S.F.	7.16 %
	RIGHT SIDE	1200 S.F.	123.89 S.F.	10.32 %
	REAR	625 S.F.	159.67 S.F.	25.55 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3660.00 S.F.	547.61 S.F.	14.96 %
	TOTAL SQ. M.	340.02 S.M.	50.87 S.M.	14.96 %



REAR ELEVATION 'A', 'B' & 'C'



MAR 1, 2022

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project no.		16023	
drawing no.		34	
project name		S38-19	
municipality		BRADFORD	
project name		BAYVIEW WELLINGTON	
municipality		GREEN VALLEY EAST	
date		OCTOBER 2021	
checked by		JWM	
drawn by		NS	
scale		3/16" = 1'-0"	
file name		16023-S38-19	
date		MAR 1 2022 - 9:33 AM	
project no.		16023	
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project name		S38-19	
municipality		BRADFORD	
project name		BAYVIEW WELLINGTON	

10' GROUND

ROOF PLAN 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S38-19		BAYVIEW WELLINGTON		BRADFORD	
project no.		project name		municipality	
16023		GREEN VALLEY EAST		BRADFORD	
drawing no.		date		FRONT ELEVATION 'B'	
35		OCTOBER 2021		checked by	
file name		drawn by		scale	
16023-S38-19		NS		3/16" = 1'-0"	
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VA3 DESIGN		255 Consumers Rd. Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information	
Wellington Jno-Baptiste		25591	
name		BCIN	
registration information		signature	
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be scaled.		date	
2 REVISED AS PER ENG'S COMMENTS		FEB 25-22 RC	
1 ISSUED FOR CLIENT REVIEW		NOV 26-21 VA3	
no. description		by	

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

BRICK VENEER CONSTRUCTION


(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO
BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION
FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF
THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL
INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION &
TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

10' GROUND

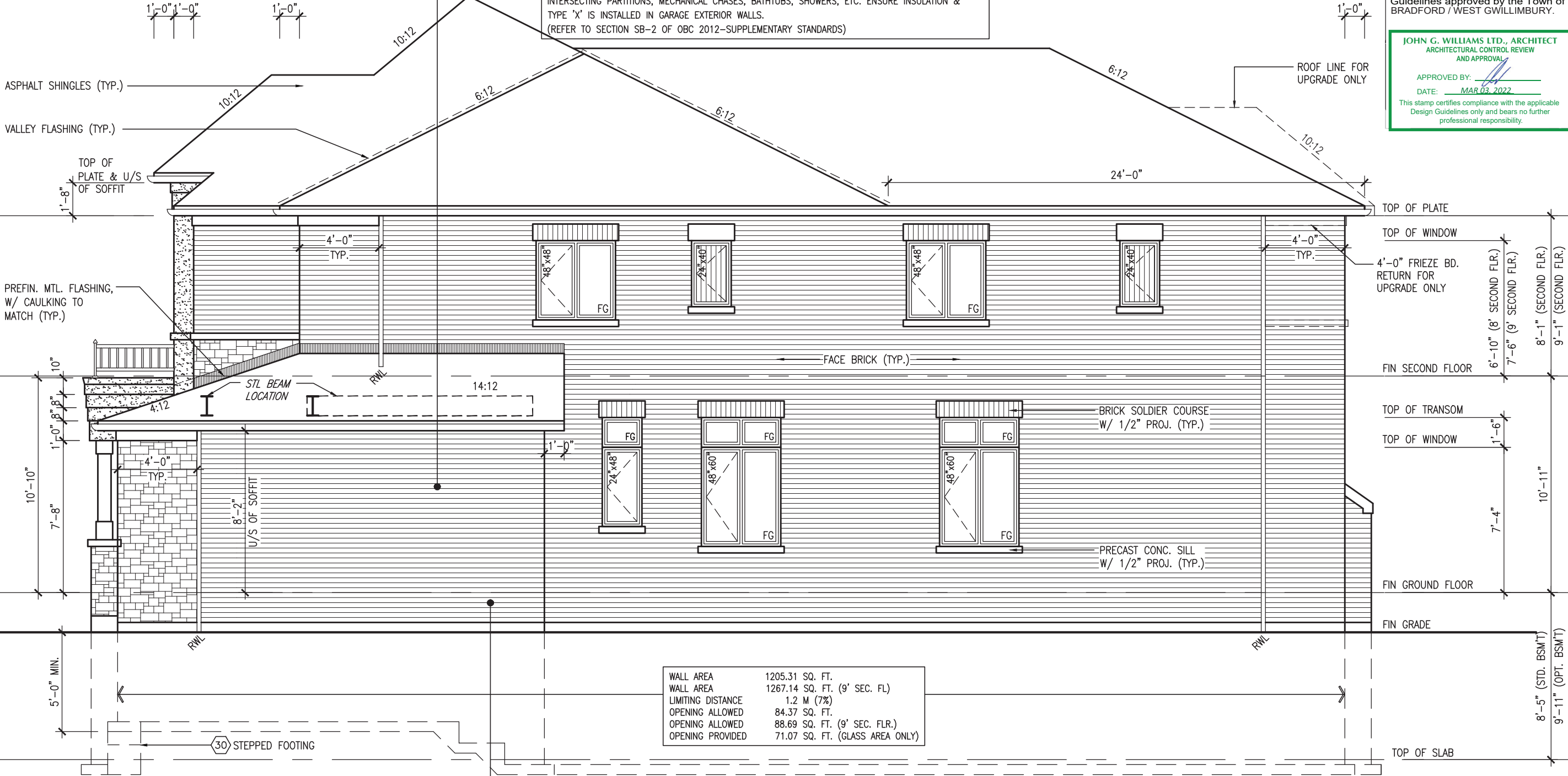
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 03, 2022

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RIGHT SIDE ELEVATION 'B'

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.



MAR 1, 2022

BAYVIEW WELLINGTON

S38-19

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qualification information

Wellington Jno-Baptiste

name

25591

BCIN

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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VA3 DESIGN

255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

GREEN VALLEY EAST

BAYVIEW WELLINGTON

S38-19

GREEN VALLEY EAST

BAYVIEW WELLINGTON

S38-19

GREEN VALLEY EAST

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GREEN VALLEY EAST

BAYVIEW WELLINGTON

S38-19

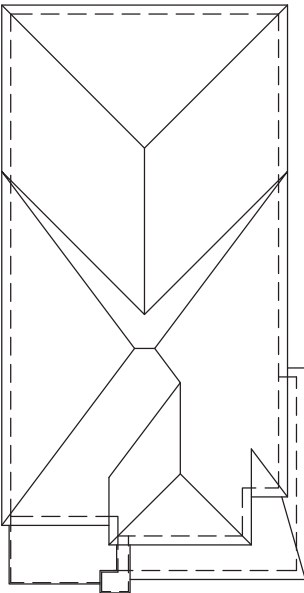
GREEN VALLEY EAST

BAYVIEW WELLINGTON

S38-19

10' GROUND

ROOF PLAN 'C'



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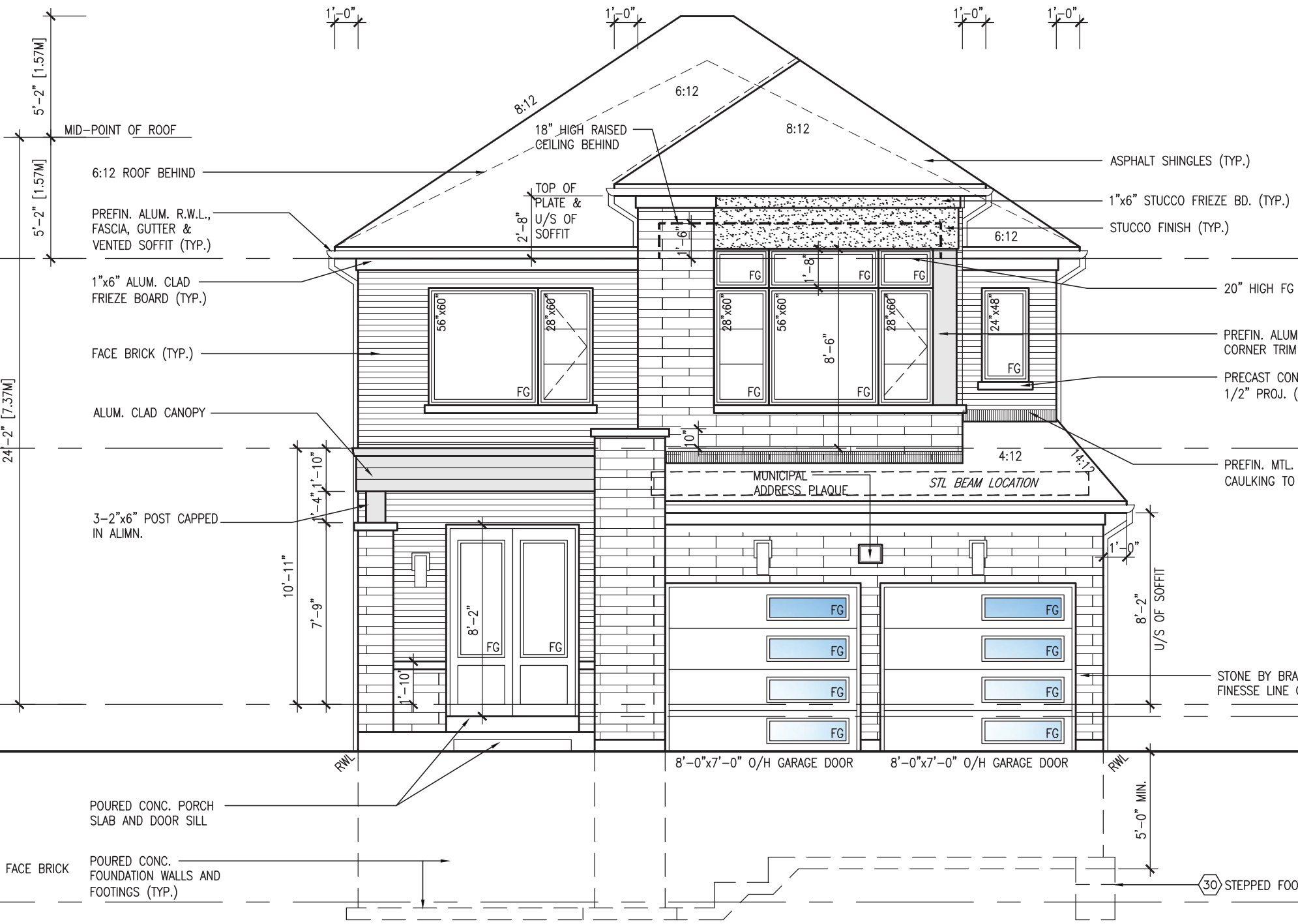
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

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FRONT ELEVATION 'C'

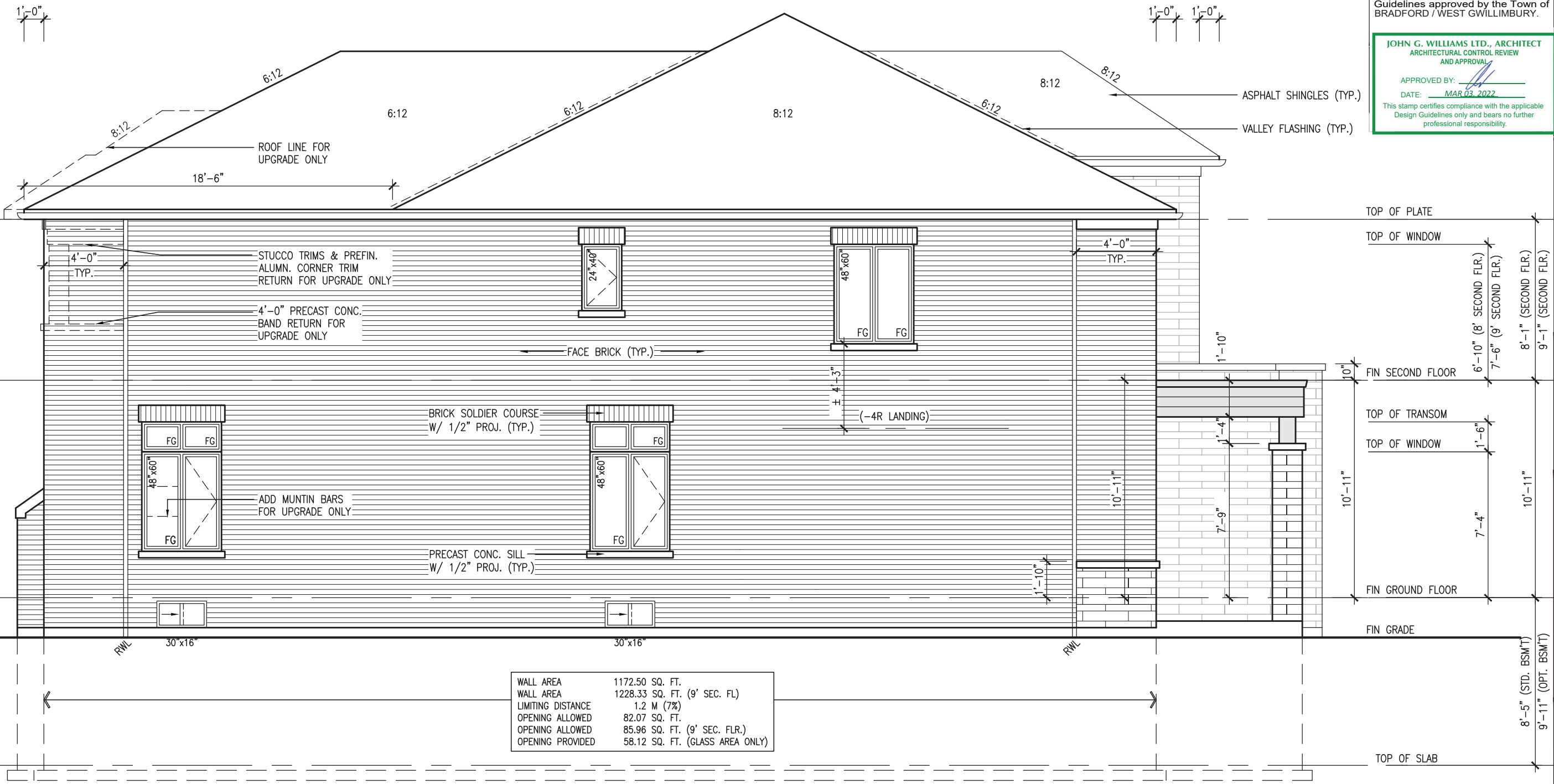
- FACE BRICK
- STUCCO FINISH
- RENAISSANCE STONE
- ALUMINUM PANEL

MAR 1, 2022

no.	description	date	by	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.				VA3 DESIGN		project no. 16023		drawing no. 38	
				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.				VA3 DESIGN		drawing no. 38			
9	.	.	.	.	.	.	.	.	.	.	.	.	.
8	.	.	.	.	.	.	.	.	.	.	.	.	.
7	.	.	.	.	.	.	.	.	.	.	.	.	.
6	.	.	.	.	.	.	.	.	.	.	.	.	.
5	.	.	.	.	.	.	.	.	.	.	.	.	.
4	.	.	.	.	.	.	.	.	.	.	.	.	.
3	.	.	.	.	.	.	.	.	.	.	.	.	.
2	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.				255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		project name GREEN VALLEY EAST		municipality BRADFORD	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	Drawings are not to be scaled.				255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		project name GREEN VALLEY EAST		municipality BRADFORD	

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

10⁹ GROUND



WALL AREA	1172.50 SQ. FT.
WALL AREA	1228.33 SQ. FT. (9' SEC. FL)
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	82.07 SQ. FT.
OPENING ALLOWED	85.96 SQ. FT. (9' SEC. FLR.)
OPENING PROVIDED	58.12 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'



MAR 1, 2022

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
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project no.		16023	drawing no.		39
project name		GREEN VALLEY EAST	scale		3/16" = 1'-0"
municipality		BRADFORD	checked by		JWM
date		OCTOBER 2021	down by		NS
project no.		16023	file name		16023-S38-19
drawing no.		39	date		16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM
project name		BAYVIEW WELLINGTON	scale		3/16" = 1'-0"
municipality		BRADFORD	checked by		JWM
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drawing no.		39	date		16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM



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Wellington Jno-Baptiste		signature		42658	BCN
name		VA3 Design Inc.		BCN	
registration information		VA3 Design Inc.		BCN	
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1. ISSUED FOR CLIENT REVIEW		NOV 26-21		VA3	
no.		description		date	

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

10' GROUND

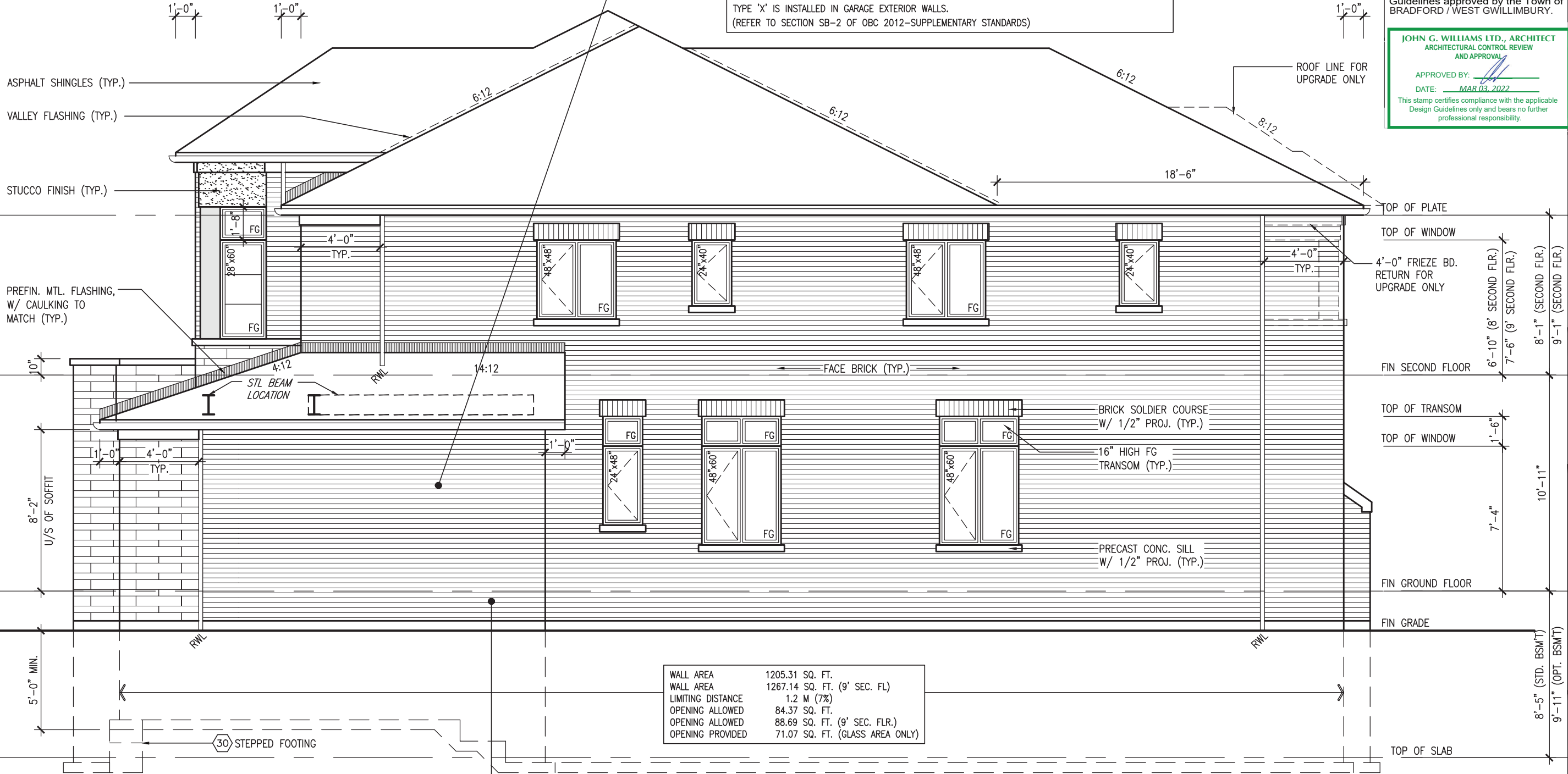
BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO
BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION
FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: MAR 03, 2022
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RIGHT SIDE ELEVATION 'C'

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.



MAR 1, 2022

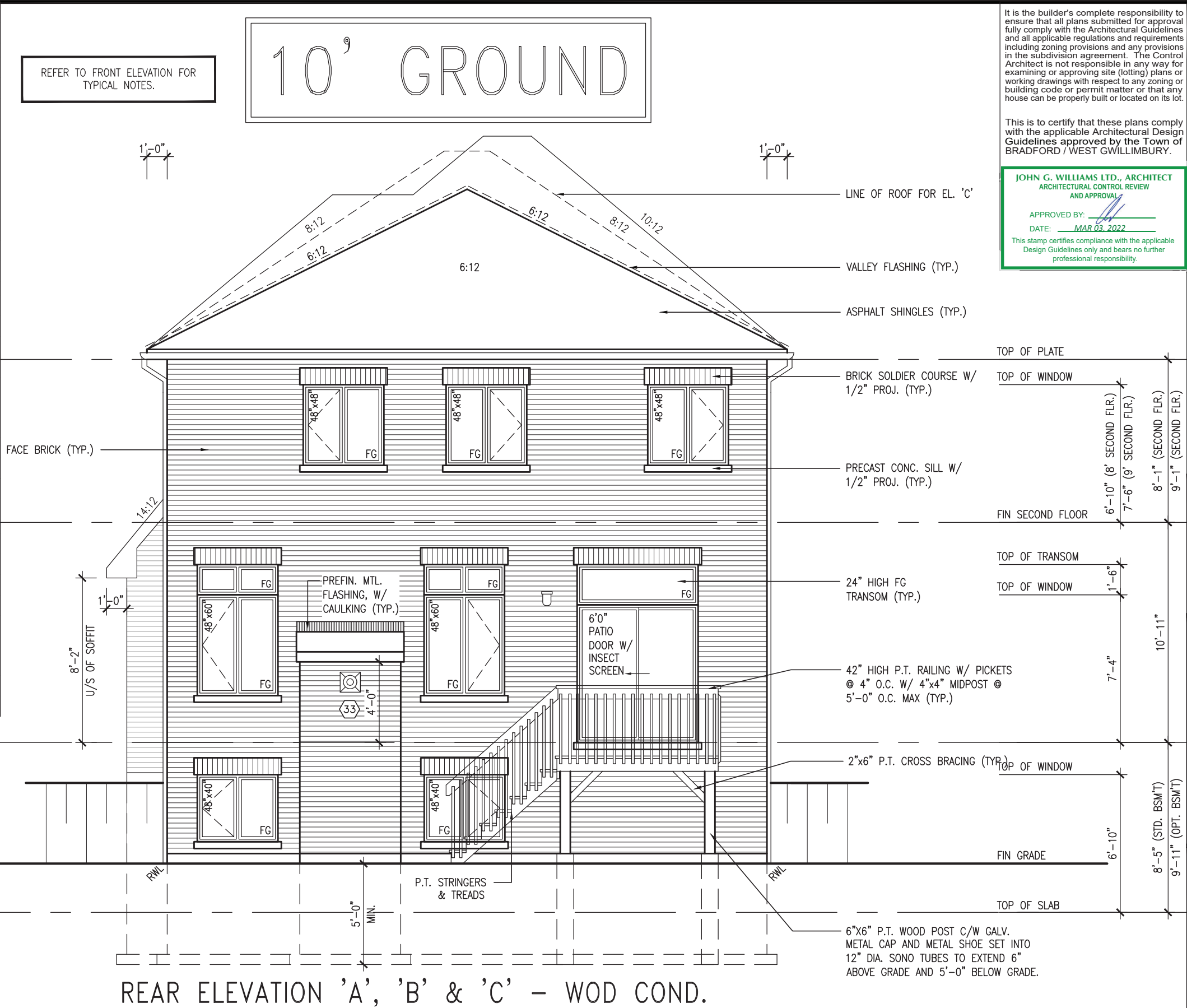
10' GROUND

9	
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION A/A REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	644 S.F.	121.52 S.F.	18.87 %	
LEFT SIDE	1192 S.F.	92.00 S.F.	7.72 %	
RIGHT SIDE	1190 S.F.	103.33 S.F.	8.68 %	
REAR	714 S.F.	179.67 S.F.	25.16 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3740.00 S.F.	496.52 S.F.	13.28 %	
TOTAL SQ. M.	347.45 S.M.	46.13 S.M.	13.28 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION B/B REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	632 S.F.	145.50 S.F.	23.02 %	
LEFT SIDE	1201 S.F.	85.33 S.F.	7.10 %	
RIGHT SIDE	1198 S.F.	108.33 S.F.	9.04 %	
REAR	714 S.F.	179.67 S.F.	25.16 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3745.00 S.F.	518.83 S.F.	13.85 %	
TOTAL SQ. M.	347.92 S.M.	48.20 S.M.	13.85 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-19 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	643 S.F.	178.72 S.F.	27.79 %	
LEFT SIDE	1192 S.F.	85.33 S.F.	7.16 %	
RIGHT SIDE	1200 S.F.	123.89 S.F.	10.32 %	
REAR	714 S.F.	179.67 S.F.	25.16 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3749.00 S.F.	567.61 S.F.	15.14 %	
TOTAL SQ. M.	348.29 S.M.	52.73 S.M.	15.14 %	



REAR ELEVATION 'A', 'B' & 'C' - WOD COND.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S38-19		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		project no. 16023	
				date		OCTOBER 2021		drawing no.	
				checked by		JWM		file name	
				scale		3/16" = 1'-0"		16023-S38-19	
				drawn by		NS		RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-19.dwg = Tue - Mar 1 2022 - 9:33 AM	

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
------------	--	--	--

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		BCN		25591	
qualification information		name		signature			
registration information		VA3 Design Inc.		42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the design office. They are to be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the design office. They are to be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the design office. They are to be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the design office. They are to be returned at the completion of the work. Drawings are not to be scaled.	
2 REVISED AS PER ENG'S COMMENTS		FEB 25-22		RC			
1 ISSUED FOR CLIENT REVIEW		NOV 26-21		VA3			
no. description		date		by			

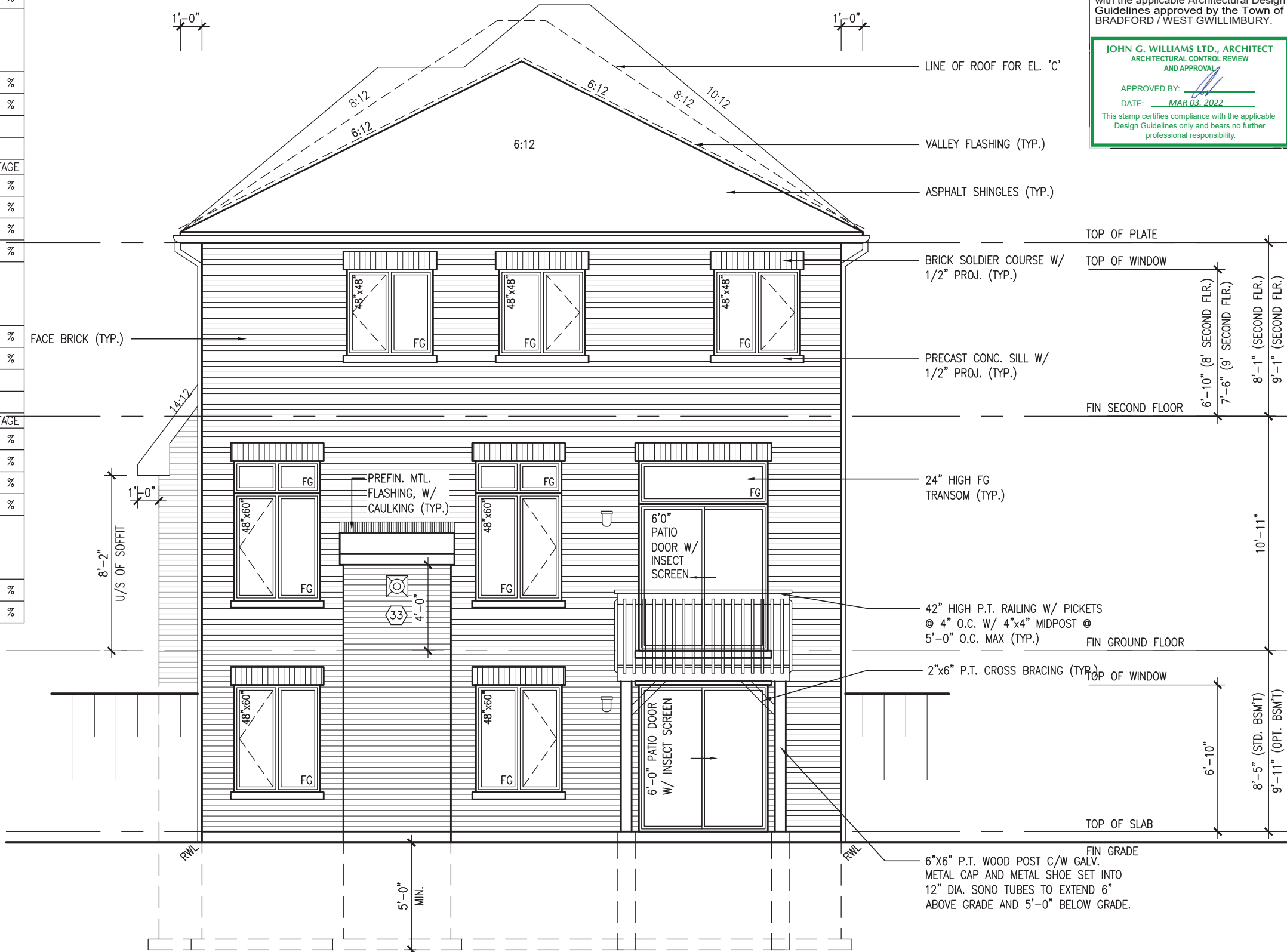
10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION A/A REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	644 S.F.	121.52 S.F.	18.87 %
	LEFT SIDE	1192 S.F.	92.00 S.F.	7.72 %
	RIGHT SIDE	1190 S.F.	103.33 S.F.	8.68 %
	REAR	831 S.F.	234.00 S.F.	28.16 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3857.00 S.F.	550.85 S.F.	14.28 %
	TOTAL SQ. M.	358.32 S.M.	51.18 S.M.	14.28 %

10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION B/B REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	632 S.F.	145.50 S.F.	23.02 %
	LEFT SIDE	1201 S.F.	85.33 S.F.	7.10 %
	RIGHT SIDE	1198 S.F.	108.33 S.F.	9.04 %
	REAR	831 S.F.	234.00 S.F.	28.16 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3862.00 S.F.	573.16 S.F.	14.84 %
	TOTAL SQ. M.	358.79 S.M.	53.25 S.M.	14.84 %

10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	643 S.F.	178.72 S.F.	27.79 %
	LEFT SIDE	1192 S.F.	85.33 S.F.	7.16 %
	RIGHT SIDE	1200 S.F.	123.89 S.F.	10.32 %
	REAR	831 S.F.	234.00 S.F.	28.16 %
10'-0" GROUND FLOOR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3866.00 S.F.	621.94 S.F.	16.09 %
	TOTAL SQ. M.	359.16 S.M.	57.78 S.M.	16.09 %

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.

10' GROUND



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

project no.	S38-19	
	BAYVIEW WELLINGTON	
	GREEN VALLEY EAST	
	BRADFORD	
drawing no.	16023	
	REAR ELEVATION 'A', 'B' & 'C' - WOB COND.	
	16023-S38-19	
	3/16" = 1'-0"	

VAS3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.4782
f 416.630.4782
vas3design.com

no.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	Wellington Jno-Baptiste	
	25591 BCN	
	42658	
date	FEB 25-22 RC	
	NOV 26-21 VAS3	
	REVISED AS PER ENG'S COMMENTS	
	ISSUED FOR CLIENT REVIEW	



MAR 1, 2022

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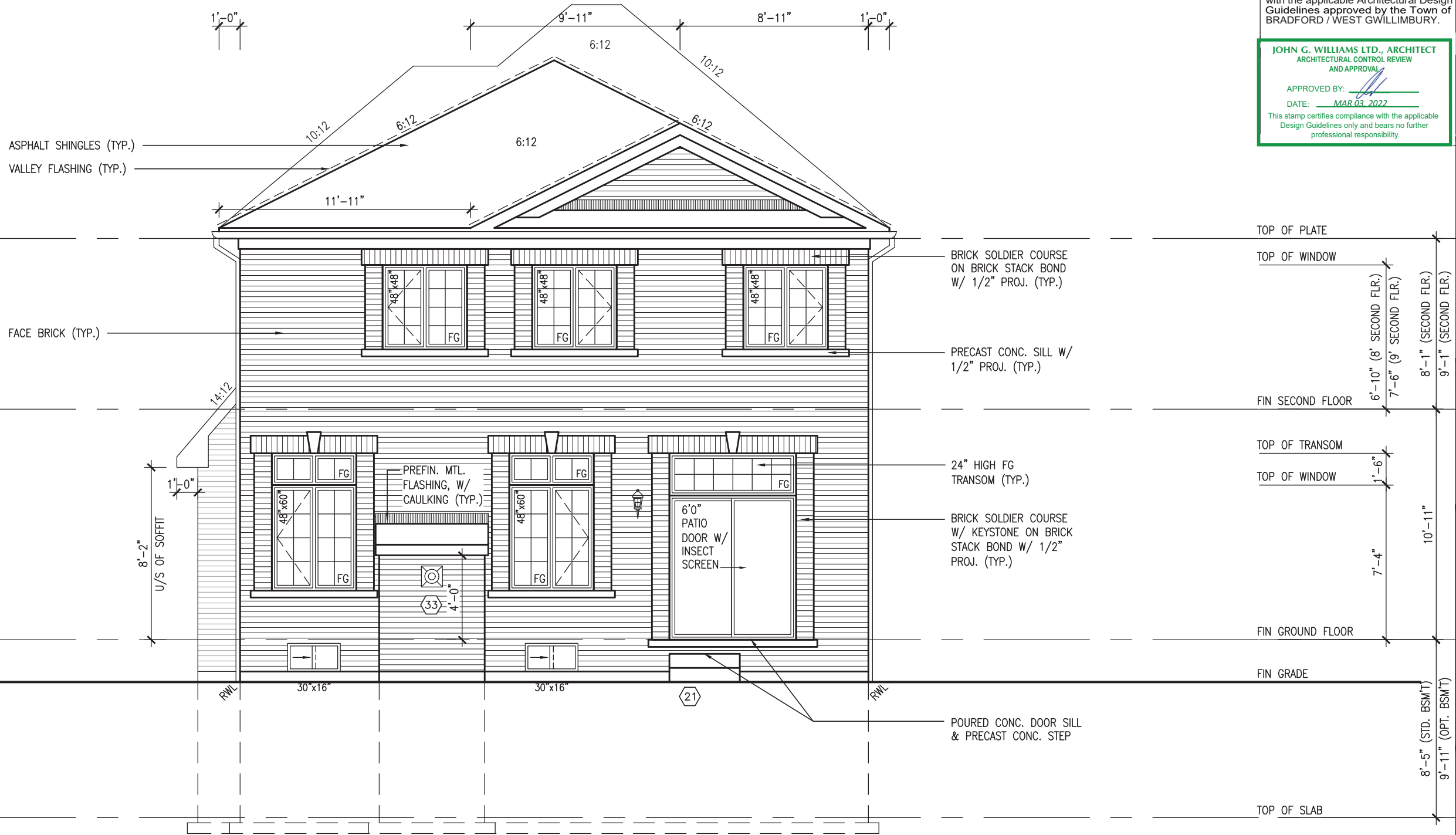
10⁹ GROUND

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

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Design Guidelines only and bears no further
professional responsibility.



UPGRADED REAR ELEVATION 'A'



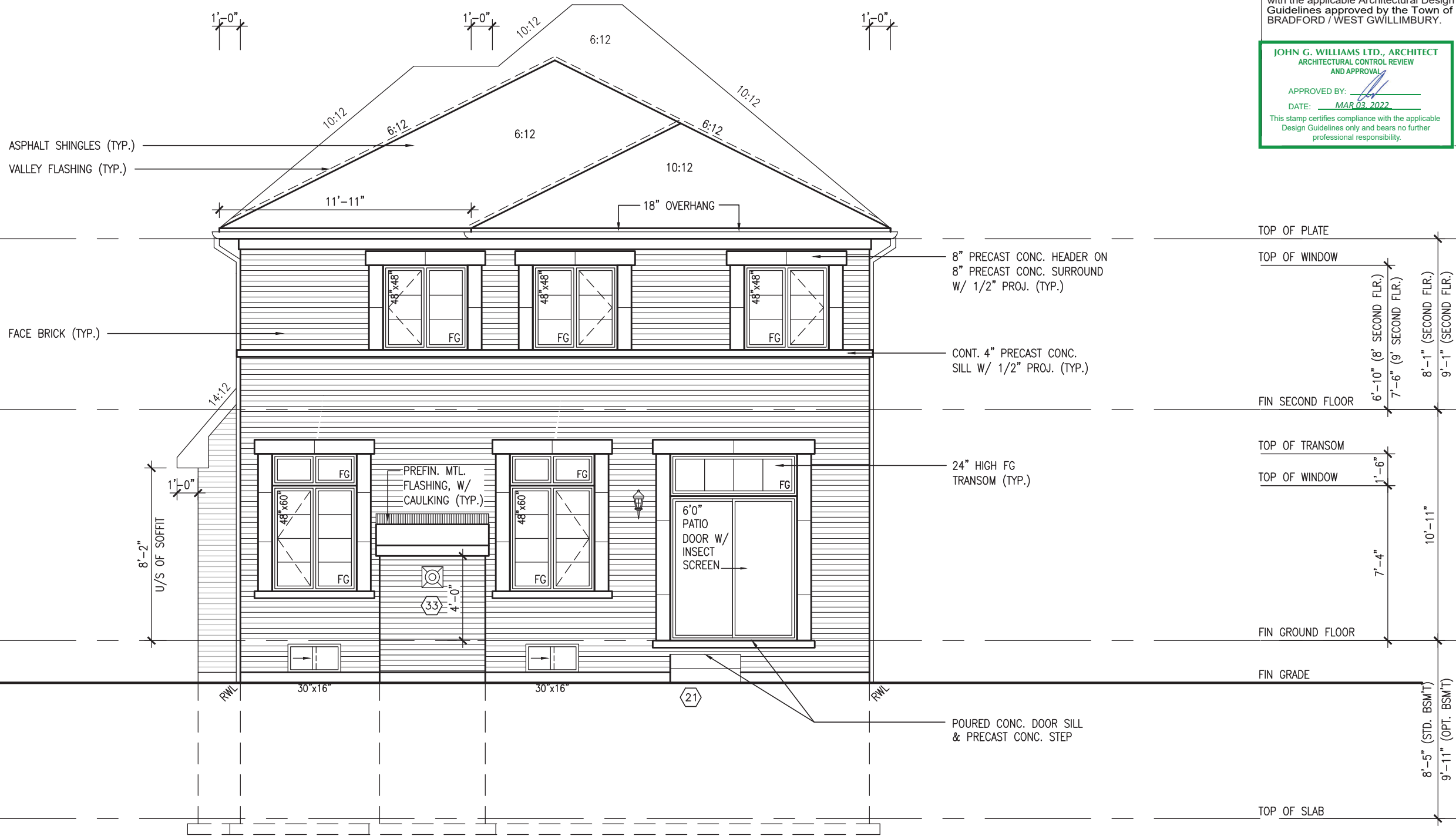
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

All draw

[illegible]

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

10' GROUND



UPGRADED REAR ELEVATION 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
TOP OF SLAB
8'-5" (STD. BSM'T)
9'-11" (OPT. BSM'T)
8'-10" (8' SECOND FLR.)
7'-6" (9' SECOND FLR.)
8'-1" (SECOND FLR.)
9'-1" (SECOND FLR.)
1'-6"
7'-4"
10'-11"

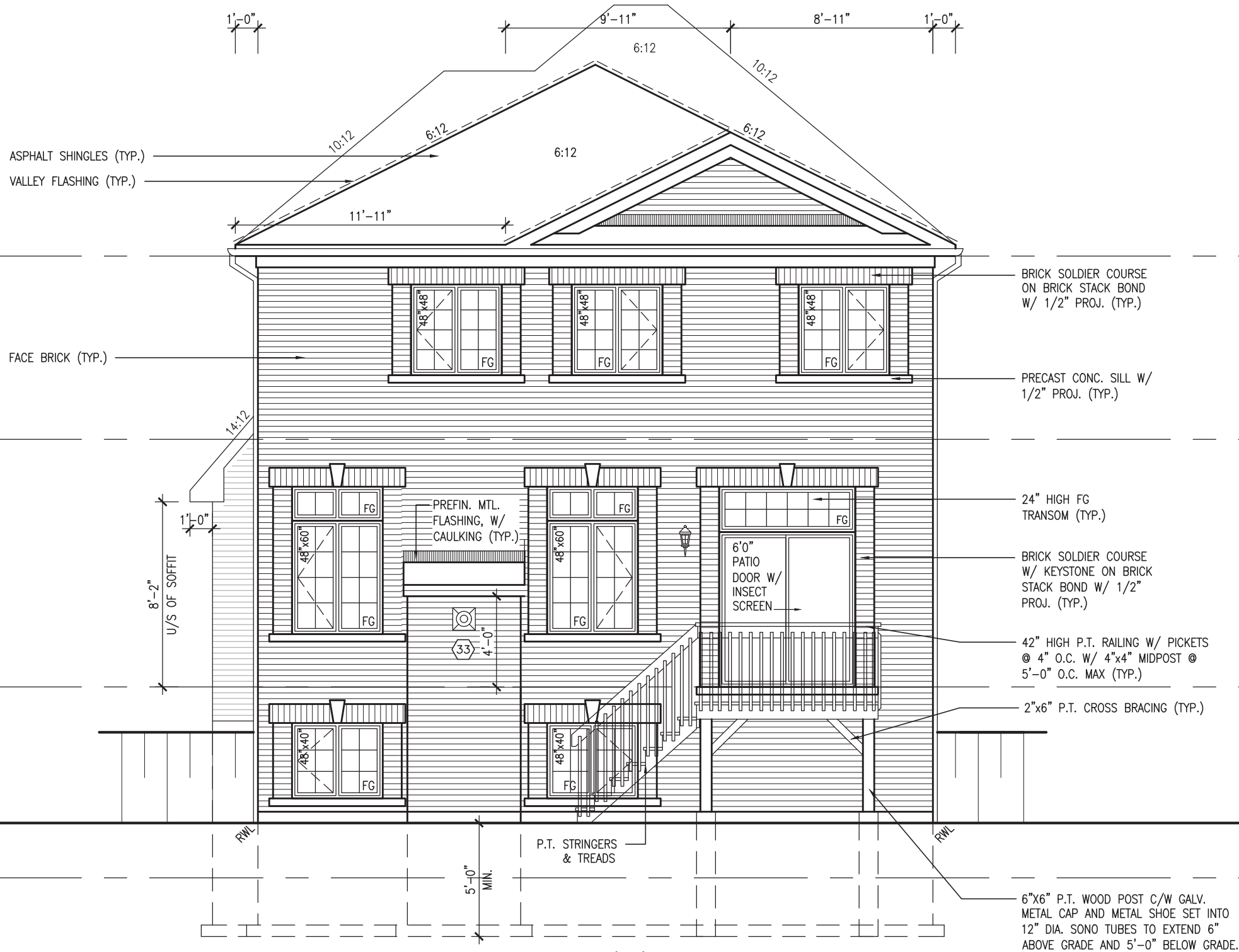


MAR 1, 2022

					
		255 Consumers Rd Suite 120 Toronto, ON M2J 1Y4 t 416.630.2235 f 416.630.4782 v03design.com			

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

10' GROUND



UPGRADED REAR ELEVATION 'A' - WOD COND.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOP OF PLATE	
TOP OF WINDOW	
FIN SECOND FLOOR	6'-10" (8' SECOND FLR.) 7'-6" (9' SECOND FLR.) 8'-1" (SECOND FLR.) 9'-1" (SECOND FLR.)
TOP OF TRANSOM	
TOP OF WINDOW	1'-6"
FIN GROUND FLOOR	7'-4" 10'-11"
TOP OF WINDOW	
FIN GRADE	6'-10" 8'-5" (STD. BSM'T) 9'-11" (OPT. BSM'T)
TOP OF SLAB	



MAR 1, 2022



255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
name
VA3 Design Inc.
registration information
BCIN
42658

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2. REVISED AS PER ENG'S COMMENTS
NOV 26-21
1. ISSUED FOR CLIENT REVIEW

project no. 16023
drawing no. 46
project name GREEN VALLEY EAST
municipality BRADFORD
date OCTOBER 2021
checked by JWM
down by NS
scale 3/16" = 1'-0"

UPGRADED REAR ELEVATION 'A' - WOD COND.

file name 16023-S38-19
date 16023-S38-19.dwg
time 9:33 AM

project no. 16023
drawing no. 46

project name GREEN VALLEY EAST
municipality BRADFORD

date OCTOBER 2021
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UPGRADED REAR ELEVATION 'A' - WOD COND.

file name 16023-S38-19
date 16023-S38-19.dwg
time 9:33 AM

project no. 16023
drawing no. 46

project name GREEN VALLEY EAST
municipality BRADFORD

date OCTOBER 2021
checked by JWM
down by NS
scale 3/16" = 1'-0"

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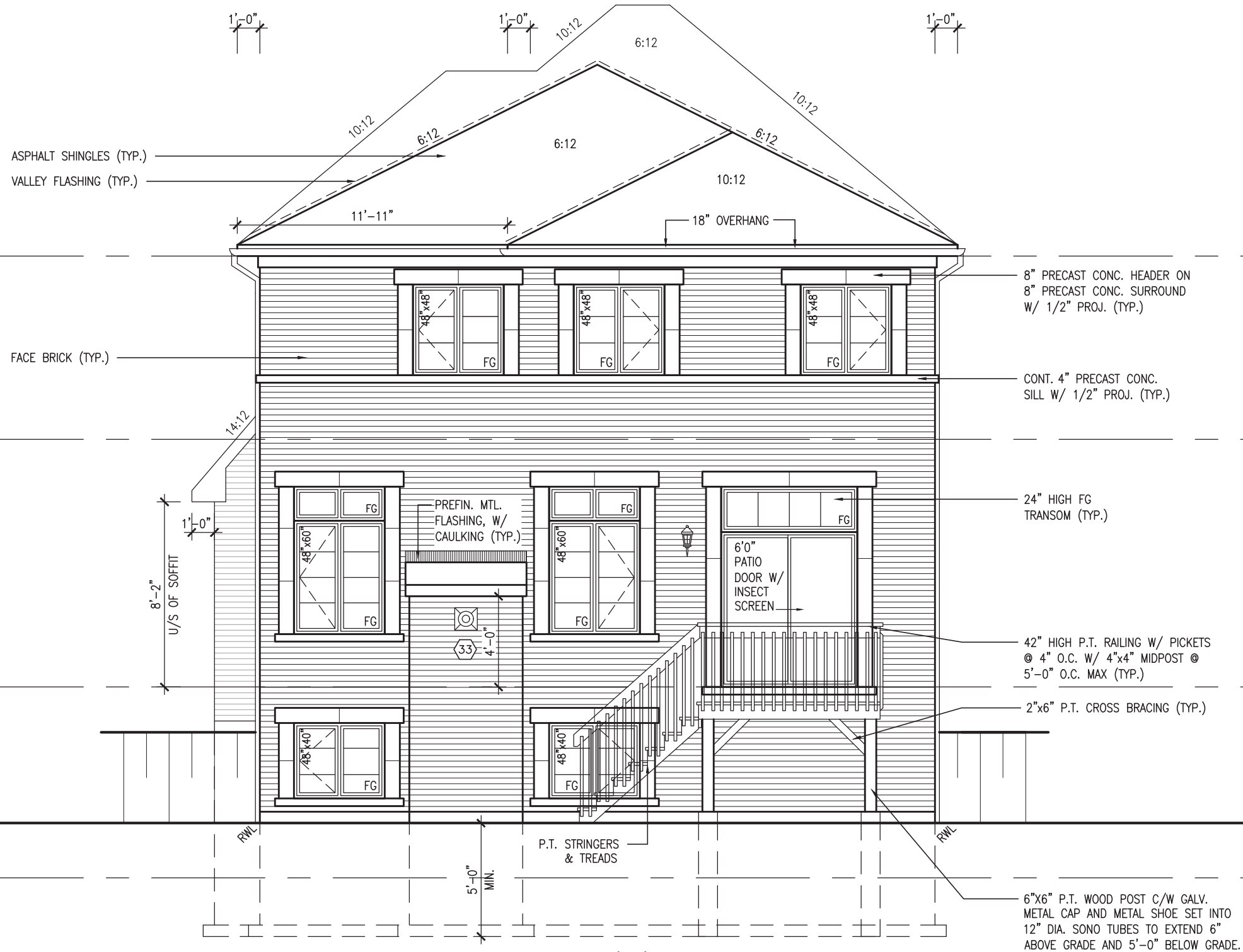
UPGRADED REAR ELEVATION 'A' - WOD COND.

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project


A circular professional seal for a Licensed Professional Engineer in the Province of Ontario. The seal features the text "LICENSED PROFESSIONAL ENGINEER" around the top inner edge and "PROVINCE OF ONTARIO" around the bottom inner edge. In the center, the name "S. J. BOYD" is printed in a bold, sans-serif font, with the license number "90214198" printed directly below it. A stylized signature, "S. J. Boyd", is written in cursive across the upper portion of the seal, overlapping the "LICENSED PROFESSIONAL ENGINEER" text. A thick black horizontal bar is positioned below the license number.

10⁹ GROUND



UPGRADED REAR ELEVATION 'B' – WOD COND.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

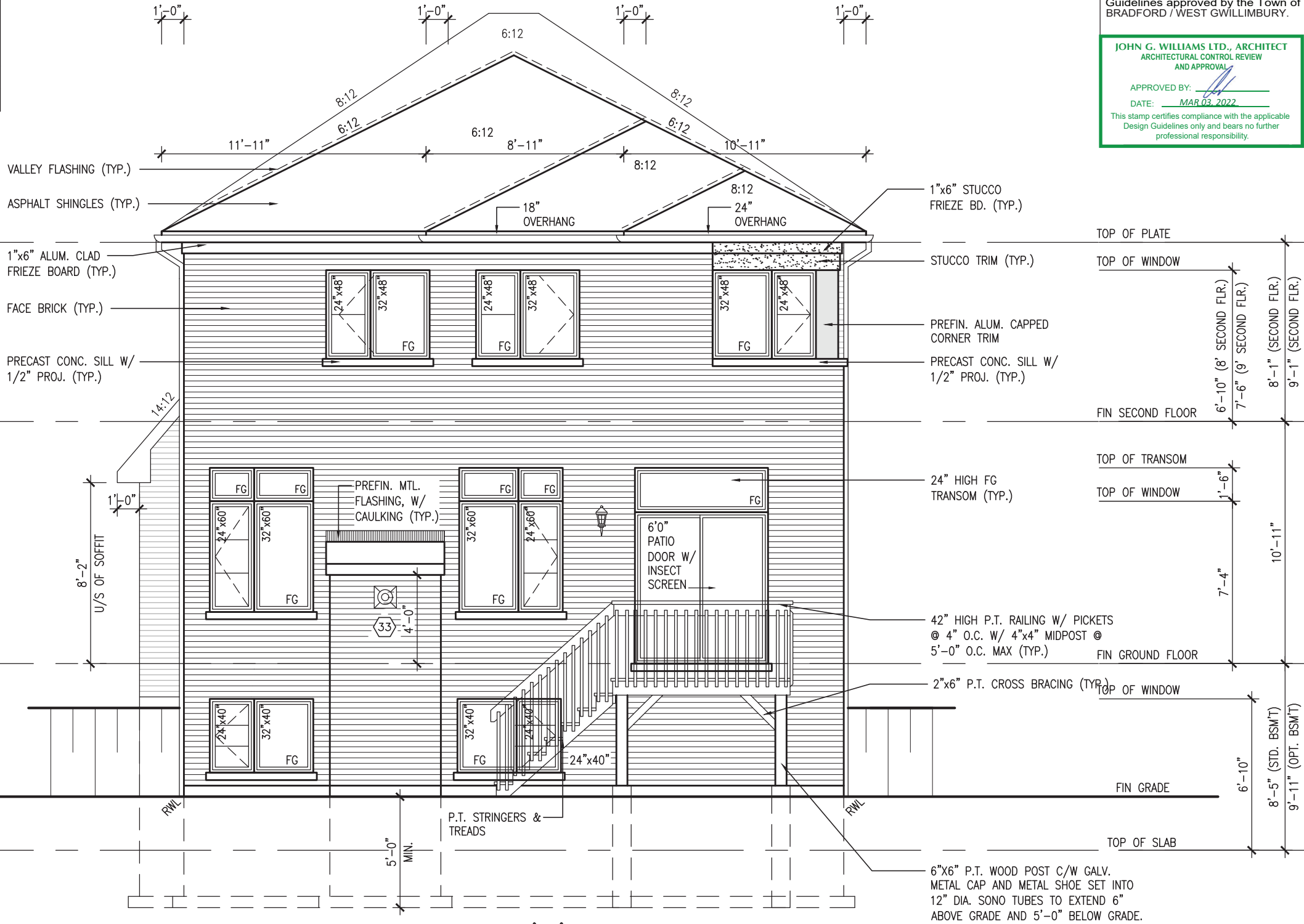
Diagram illustrating the vertical dimensions of a building section, showing levels and heights in feet and inches.

Level / Feature	Height / Dimension
TOP OF PLATE	
TOP OF WINDOW	
FIN SECOND FLOOR	6'-10" (8' SECOND FLR.) 7'-6" (9' SECOND FLR.)
TOP OF TRANSOM	
TOP OF WINDOW	1'-6"
FIN GROUND FLOOR	7'-4"
TOP OF WINDOW	10'-11"
FIN GRADE	6'-10"
TOP OF SLAB	8'-5" (STD. BSM'T) 9'-11" (OPT. BSM'T)

[illegible]

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-19 ELEVATION C REAR UPG WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	643 S.F.	178.72 S.F.	27.79 %
LEFT SIDE	1192 S.F.	85.33 S.F.	7.16 %
RIGHT SIDE	1200 S.F.	123.89 S.F.	10.32 %
REAR	744 S.F.	194.73 S.F.	26.17 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3779.00 S.F.	582.67 S.F.	15.42 %
TOTAL SQ. M.	351.08 S.M.	54.13 S.M.	15.42 %

10'-0" GROUND FLOOR



UPGRADED REAR ELEVATION 'C' - WOD COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591	BCIN		42658	
qualification information		signature		name		registration information		
VAB DESIGN		VAB Design Inc.		VAB Design Inc.		VAB Design Inc.		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		RC		FEB 25-22		NOV 26-21		
REVISED AS PER ENG'S COMMENTS		RC		FEB 25-22		NOV 26-21		
ISSUED FOR CLIENT REVIEW		RC		FEB 25-22		NOV 26-21		
description		date		by		no.		
S38-19		OCTOBER 2021		JMW		16023-S38-19		
BAYVIEW WELLINGTON		UPGRADED REAR ELEVATION 'C' - WOD COND.		3/16" = 1'-0"		16023-S38-19		
GREEN VALLEY EAST		checked by		scale		file name		
BRADFORD		date		checked by		file name		
project no. 16023		drawing no. 48		checked by		file name		
project name		date		checked by		file name		
municipality		drawing no.		checked by		file name		
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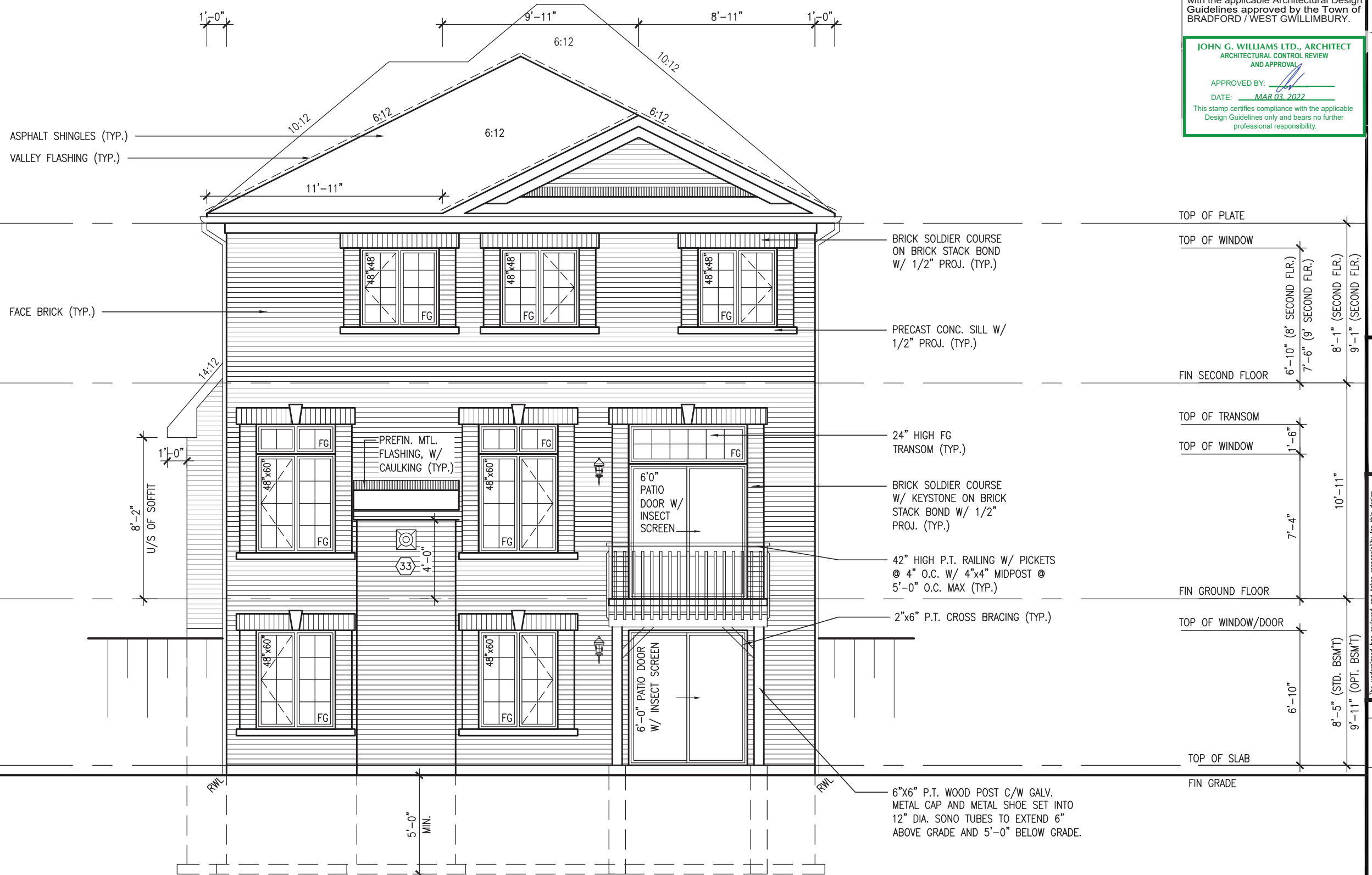
10⁹ GROUND

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



UPGRADED REAR ELEVATION 'A' - WOB COND.



MAR 1, 2022

S38-19

BAYVIEW WELLINGTON

VAD3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

<p>the undersigned has reviewed and assumes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p>		25591
<p>Wellington Jno-Baptiste</p>	<p>signature</p>	BCIN
<p>name registration information VAS Design Inc.</p>	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	42658

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1	ISSUED FOR CLIENT REVIEW	NOV 26--21	VA
no.	description	date	by

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

10⁹ GROUND

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____

DATE: MAR 03, 2022

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<p>project name GREEN VALLEY EAST</p>		<p>municipality BRADFORD</p>		<p>project no. 16023</p>	
<p>date OCTOBER 2021</p>		<p>drawn by NS</p>		<p>checked by JWM</p>	
<p>scale 3/16" = 1'-0"</p>		<p>file name 16023-S38-19</p>		<p>drawing no. 50</p>	
<p>BAYVIEW WELLINGTON</p>					
<p>S38-19</p>					
<p>UPGRADED REAR ELEVATION 'B' - WOB COND.</p>					
<p>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\38\16023-S38-19.dwg - Tue - Mar 1 2022 - 9:33 AM</p>					

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

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1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VAS3
no.	description	date	by

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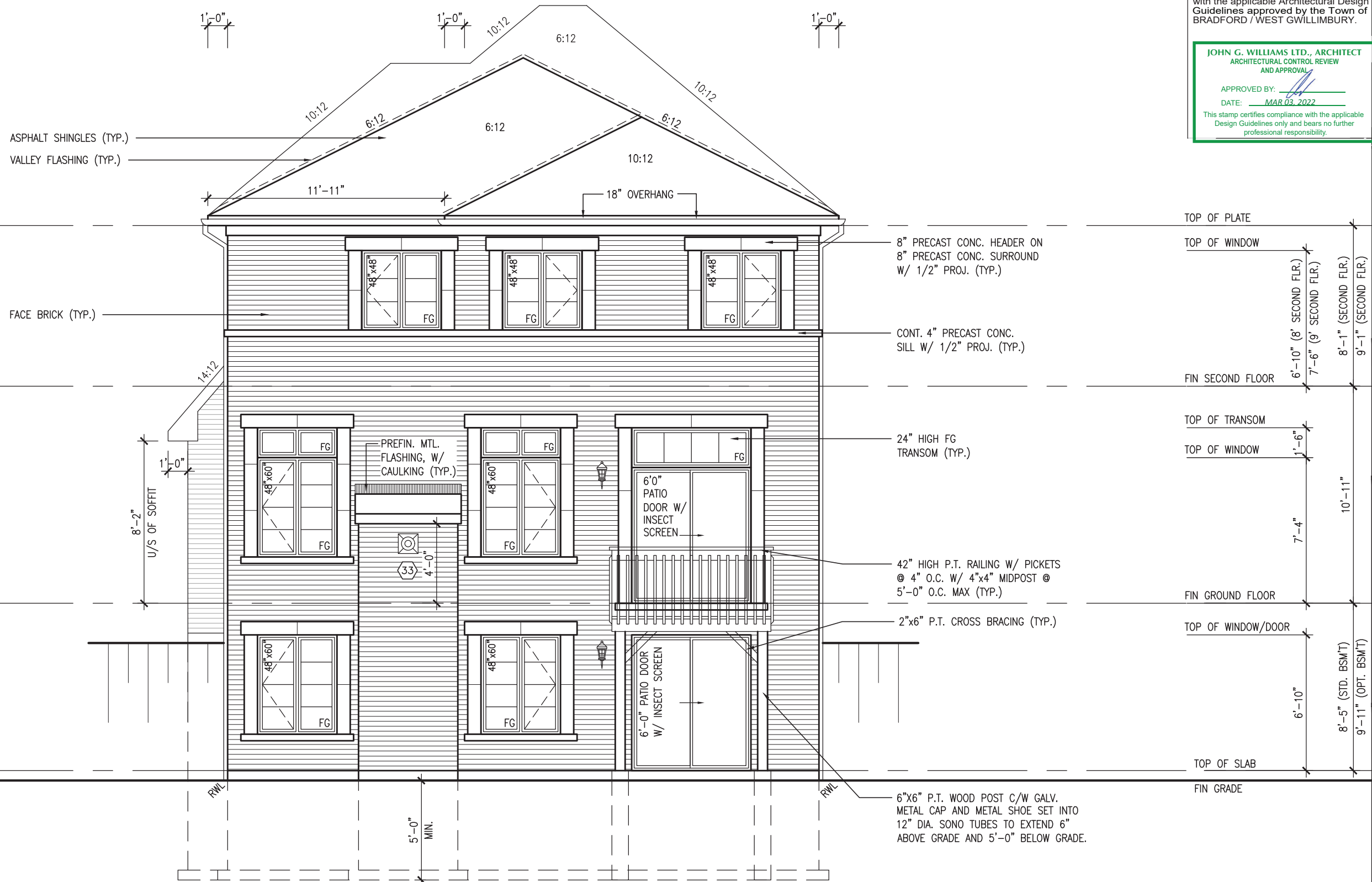
qualification information
Wellington Jno-Baptiste 25591

name: registration information signature: BCIN: 42658

VAS3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
 Drawings are not to be scaled.

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

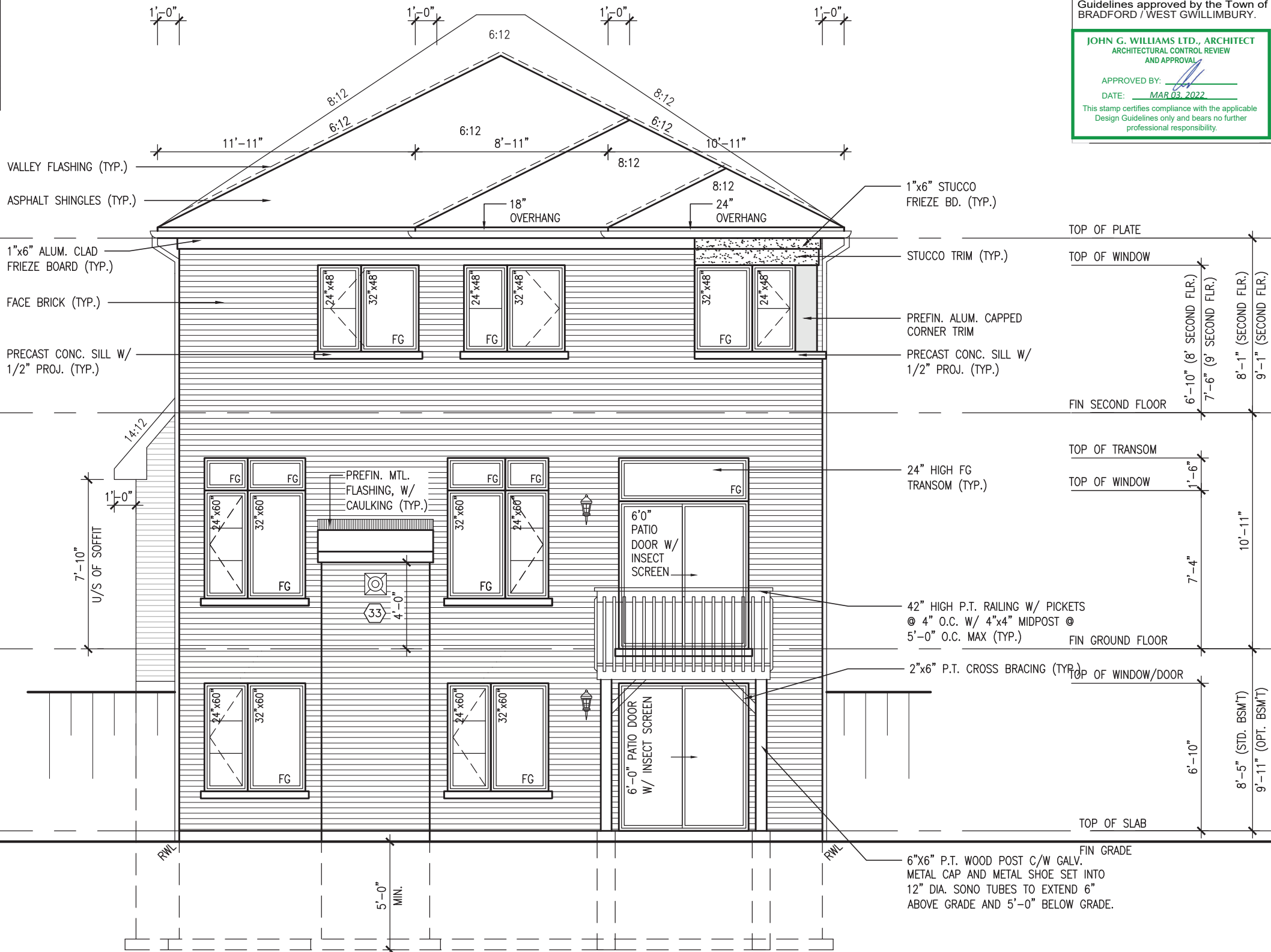


UPGRADED REAR ELEVATION 'B' – WOB COND.



MAR 1, 2022

10'-0" GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S38-19 ELEVATION C REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	643 S.F.	178.72 S.F.	27.79 %
	LEFT SIDE	1192 S.F.	85.33 S.F.	7.16 %
	RIGHT SIDE	1200 S.F.	123.89 S.F.	10.32 %
	REAR	831 S.F.	257.24 S.F.	30.96 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	3866.00 S.F.	645.18 S.F.	16.69 %
	TOTAL SQ. M.	359.16 S.M.	59.94 S.M.	16.69 %



UPGRADED REAR ELEVATION 'C' - WOB COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 03, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
10'-0" SECOND FL. & 9'-0" GROUND FLOOR	S38-19 ELEVATION A/A REAR UPG	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL AREA	S.F.	OPENING S.F.	PERCENTAGE
	FRONT	673	S.F.	121.52 S.F.	18.06 %
	LEFT SIDE	1192	S.F.	92.00 S.F.	7.72 %
	RIGHT SIDE	1190	S.F.	103.33 S.F.	8.68 %
	REAR	654	S.F.	159.67 S.F.	24.41 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.	3709.00	S.F.	476.52 S.F.	12.85 %
	TOTAL SQ. M.	344.57	S.M.	44.27 S.M.	12.85 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
10'-0" SECOND FL. & 9'-0" GROUND FLOOR	S38-19 ELEVATION B/B REAR UPG	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL AREA	S.F.	OPENING S.F.	PERCENTAGE
	FRONT	662	S.F.	145.50 S.F.	21.98 %
	LEFT SIDE	1259	S.F.	85.33 S.F.	6.78 %
	RIGHT SIDE	1257	S.F.	108.33 S.F.	8.62 %
	REAR	654	S.F.	159.67 S.F.	24.41 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.	3832.00	S.F.	498.83 S.F.	13.02 %
	TOTAL SQ. M.	356.00	S.M.	46.34 S.M.	13.02 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
10'-0" SECOND FL. & 9'-0" GROUND FLOOR	S38-19 ELEVATION C	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL AREA	S.F.	OPENING S.F.	PERCENTAGE
	FRONT	672	S.F.	178.72 S.F.	26.60 %
	LEFT SIDE	1249	S.F.	85.33 S.F.	6.83 %
	RIGHT SIDE	1257	S.F.	123.89 S.F.	9.86 %
	REAR	654	S.F.	159.67 S.F.	24.41 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.	3832.00	S.F.	547.61 S.F.	14.29 %
	TOTAL SQ. M.	356.00	S.M.	50.87 S.M.	14.29 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
10'-0" SECOND FL. & 9'-0" GROUND FLOOR	S38-19 ELEVATION C REAR UPG	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL AREA	S.F.	OPENING S.F.	PERCENTAGE
	FRONT	672	S.F.	178.72 S.F.	26.60 %
	LEFT SIDE	1249	S.F.	85.33 S.F.	6.83 %
	RIGHT SIDE	1257	S.F.	123.89 S.F.	9.86 %
	REAR	654	S.F.	176.29 S.F.	26.96 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.	3832.00	S.F.	564.23 S.F.	14.72 %
	TOTAL SQ. M.	356.00	S.M.	52.42 S.M.	14.72 %

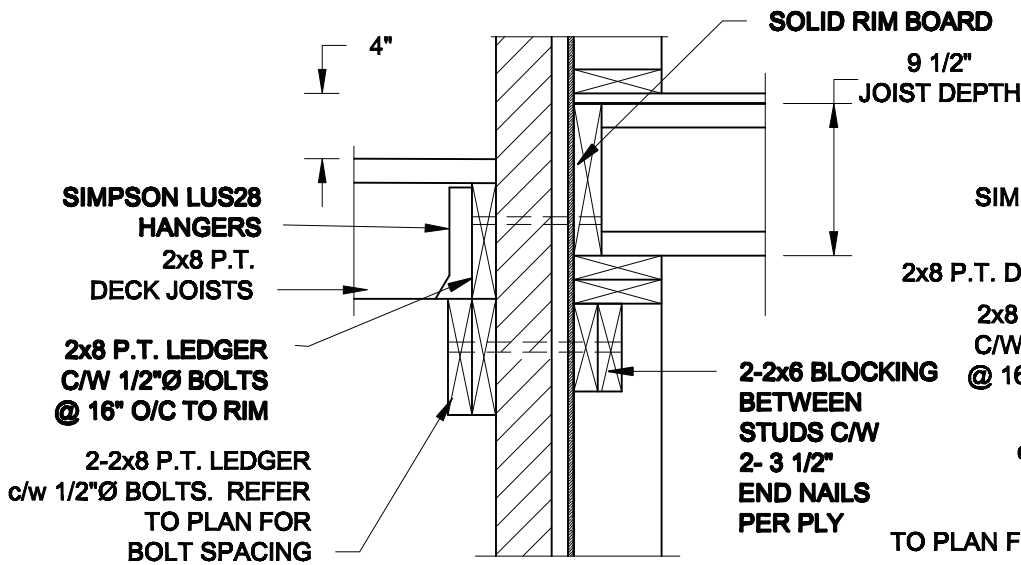
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION A/A REAR UPG WOD	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		673	S.F.	121.52	S.F.	18.06 %
	LEFT SIDE		1192	S.F.	92.00	S.F.	7.72 %
	RIGHT SIDE		1190	S.F.	103.33	S.F.	8.68 %
	REAR		773	S.F.	179.67	S.F.	23.24 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		3828.00	S.F.	496.52	S.F.	12.97 %
	TOTAL SQ. M.		355.63	S.M.	46.13	S.M.	12.97 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION B/B REAR UPG WOD	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		662	S.F.	145.50	S.F.	21.98 %
	LEFT SIDE		1259	S.F.	85.33	S.F.	6.78 %
	RIGHT SIDE		1257	S.F.	108.33	S.F.	8.62 %
	REAR		773	S.F.	179.67	S.F.	23.24 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		3951.00	S.F.	518.83	S.F.	13.13 %
	TOTAL SQ. M.		367.06	S.M.	48.20	S.M.	13.13 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION C WOD	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		672	S.F.	178.72	S.F.	26.60 %
	LEFT SIDE		1249	S.F.	85.33	S.F.	6.83 %
	RIGHT SIDE		1257	S.F.	123.89	S.F.	9.86 %
	REAR		773	S.F.	179.67	S.F.	23.24 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		3951.00	S.F.	567.61	S.F.	14.37 %
	TOTAL SQ. M.		367.06	S.M.	52.73	S.M.	14.37 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION C REAR UPG WOD	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		672	S.F.	178.72	S.F.	26.60 %
	LEFT SIDE		1249	S.F.	85.33	S.F.	6.83 %
	RIGHT SIDE		1257	S.F.	123.89	S.F.	9.86 %
	REAR		773	S.F.	194.73	S.F.	25.19 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		3951.00	S.F.	582.67	S.F.	14.75 %
	TOTAL SQ. M.		367.06	S.M.	54.13	S.M.	14.75 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION A/A REAR UPG WOB	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		673	S.F.	121.52	S.F.	18.06 %
	LEFT SIDE		1192	S.F.	92.00	S.F.	7.72 %
	RIGHT SIDE		1190	S.F.	103.33	S.F.	8.68 %
	REAR		860	S.F.	234.00	S.F.	27.21 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		3915.00	S.F.	550.85	S.F.	14.07 %
	TOTAL SQ. M.		363.71	S.M.	51.18	S.M.	14.07 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION B/B REAR UPG WOB	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		662	S.F.	145.50	S.F.	21.98 %
	LEFT SIDE		1259	S.F.	85.33	S.F.	6.78 %
	RIGHT SIDE		1257	S.F.	108.33	S.F.	8.62 %
	REAR		860	S.F.	234.00	S.F.	27.21 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		4038.00	S.F.	573.16	S.F.	14.19 %
	TOTAL SQ. M.		375.14	S.M.	53.25	S.M.	14.19 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		672	S.F.	178.72	S.F.	26.60 %
	LEFT SIDE		1249	S.F.	85.33	S.F.	6.83 %
	RIGHT SIDE		1257	S.F.	123.89	S.F.	9.86 %
	REAR		860	S.F.	234.00	S.F.	27.21 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		4038.00	S.F.	621.94	S.F.	15.40 %
	TOTAL SQ. M.		375.14	S.M.	57.78	S.M.	15.40 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
10'-0" GROUND FLOOR & 9'-0" SECOND FL.	S38-19 ELEVATION C REAR UPG WOB	ENERGY EFFICIENCY – OBC SB12					
	ELEVATION	WALL	AREA	S.F.	OPENING S.F.	PERCENTAGE	
	FRONT		672	S.F.	178.72	S.F.	26.60 %
	LEFT SIDE		1249	S.F.	85.33	S.F.	6.83 %
	RIGHT SIDE		1257	S.F.	123.89	S.F.	9.86 %
	REAR		860	S.F.	257.24	S.F.	29.91 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0.00	S.F.	
	TOTAL SQ. FT.		4038.00	S.F.	645.18	S.F.	15.98 %
	TOTAL SQ. M.		375.14	S.M.	59.94	S.M.	15.98 %

BOOKLETS

9	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	.	qualification information
7	.	.	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	.	.	signature
5	.	.	.	.	.	name BCIN
4	.	.	.	.	.	registration information
3	.	.	.	.	.	VA3 Design Inc. 42658
2	REVISED AS PER ENG'S COMMENTS	FEB 25-22	RC	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3	.	.	
no.	description	date	by	.	.	

FOR 9 1/2" JOIST DEPTH



1A
S2

DECK FASTENING DETAIL

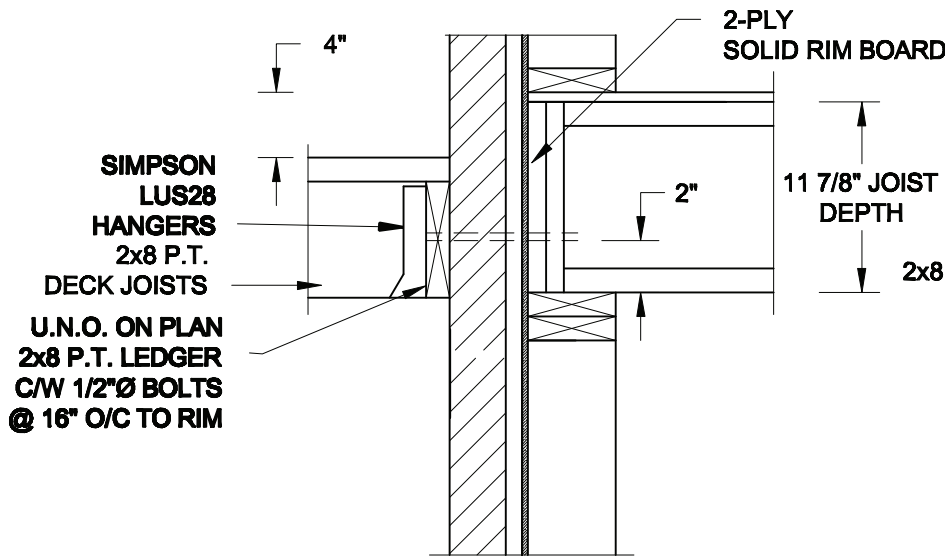
SCALE: 1" = 1'-0"

1B
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

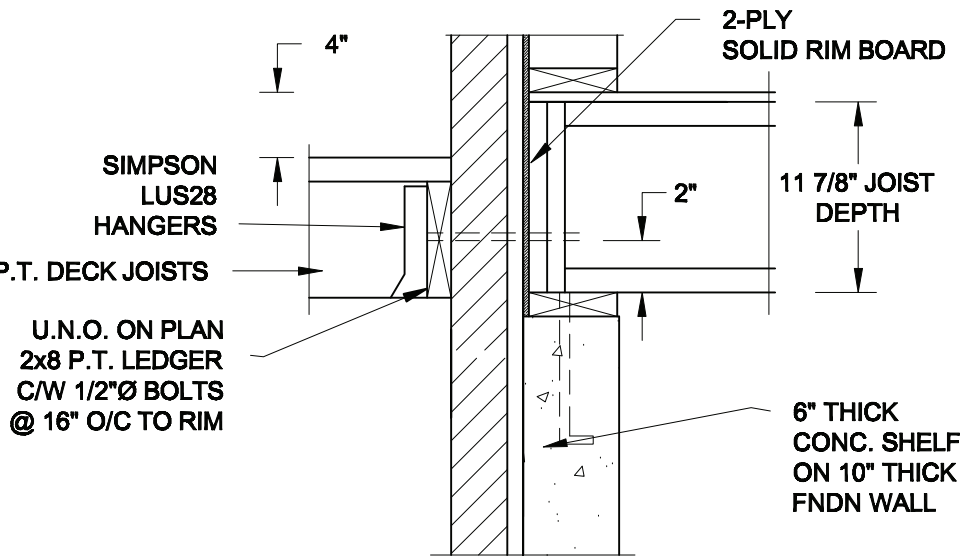
FOR 11 7/8" JOIST DEPTH



1C
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



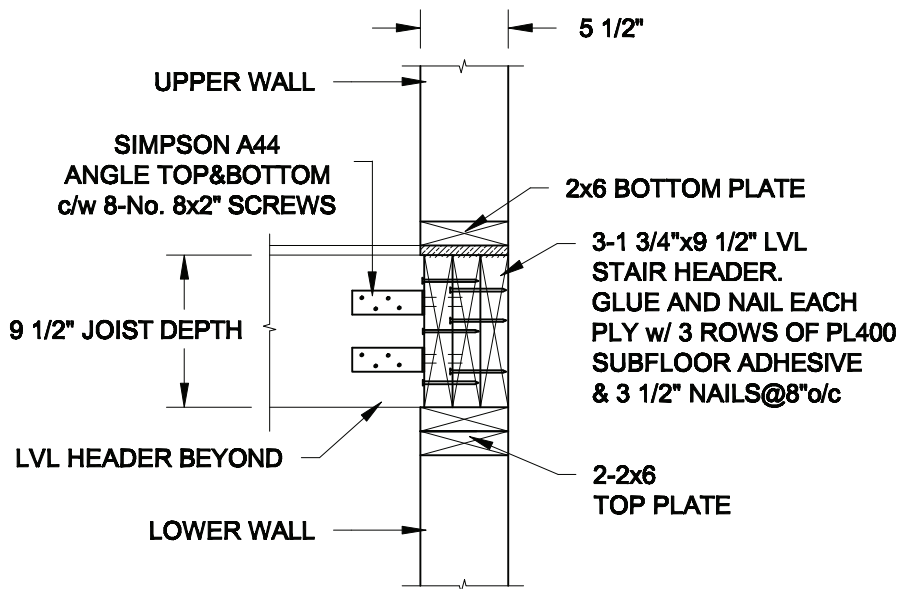
1D
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH

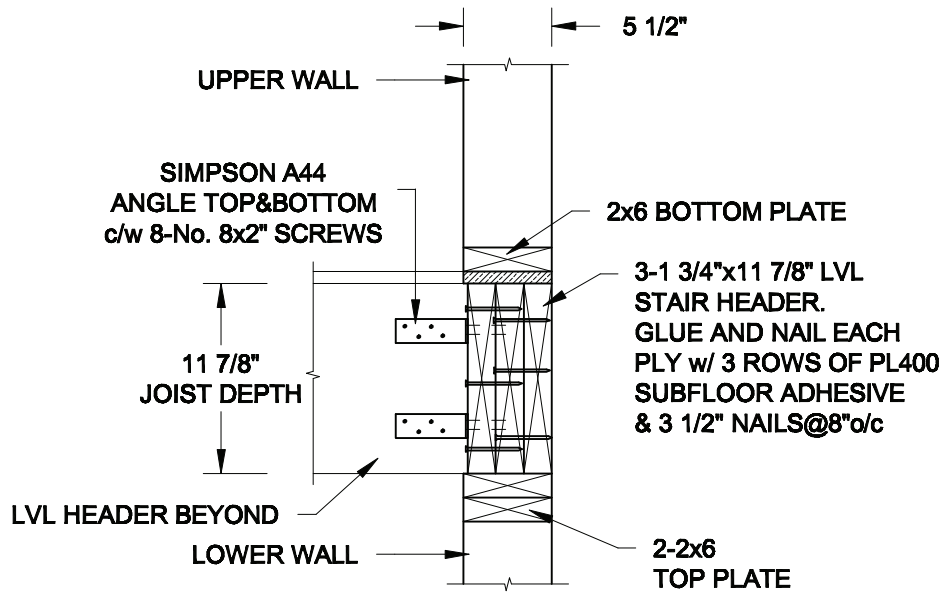


2A
S2

STAIR HEADER

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2

STAIR HEADER

SCALE: 1" = 1'-0"

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

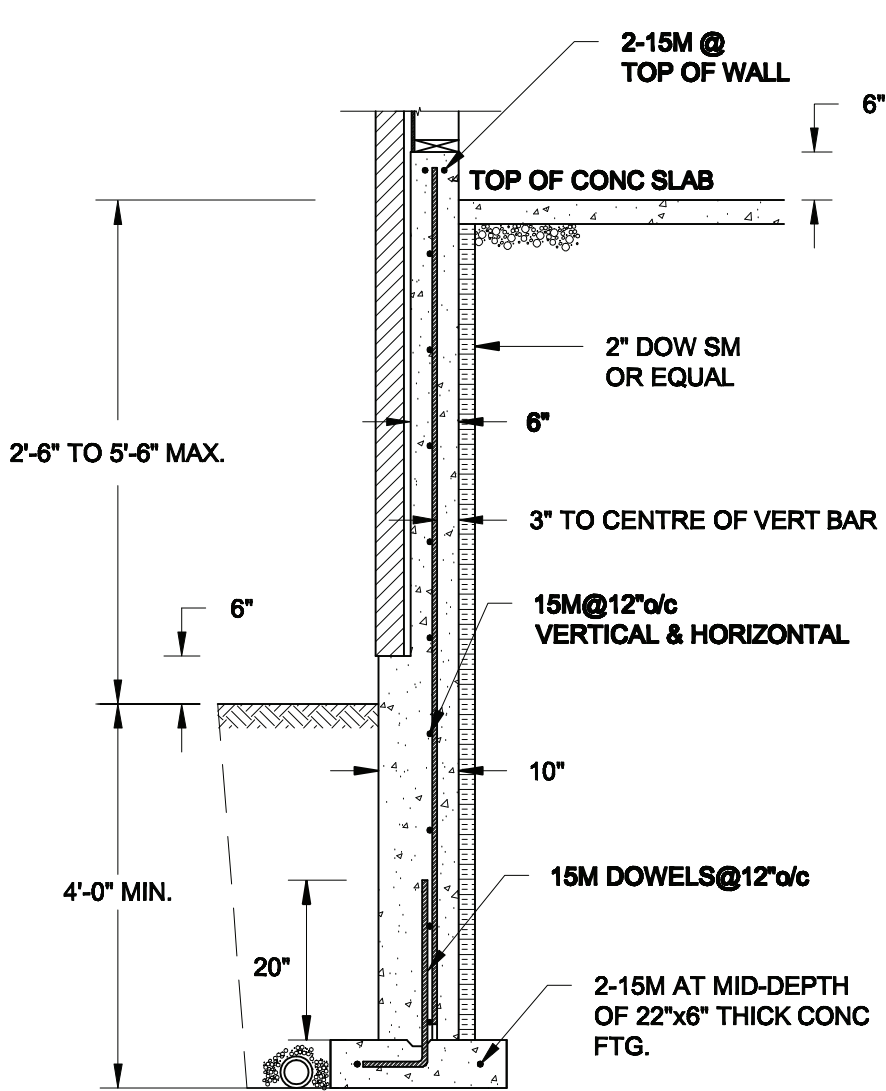
TYPICAL STRUCTURAL DETAILS

Project No.:

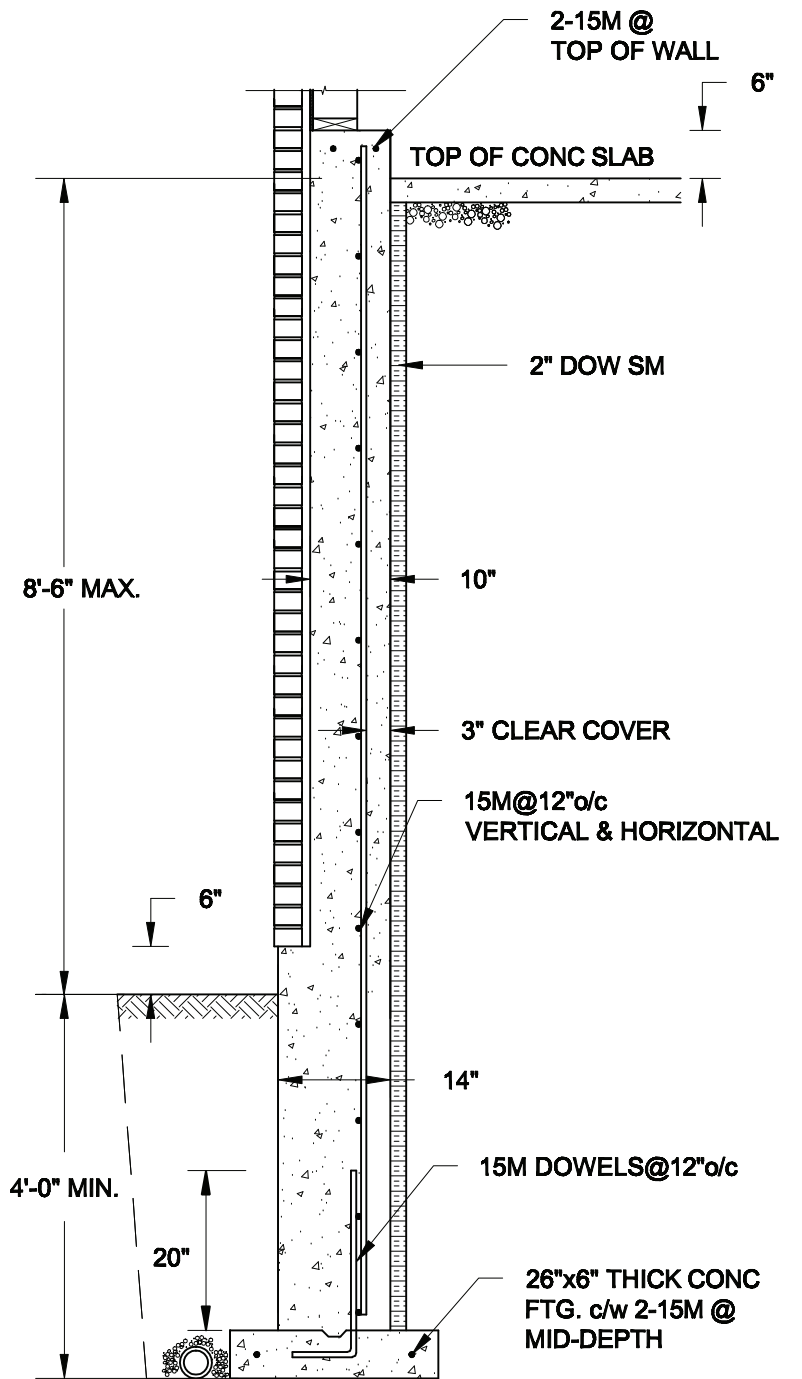
21-038

Drawing No.:

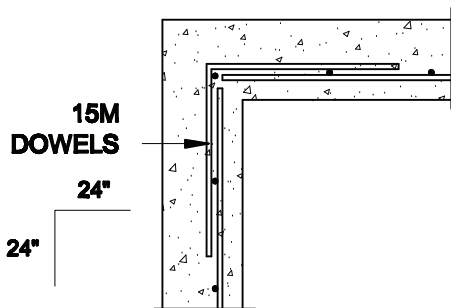
S2



1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



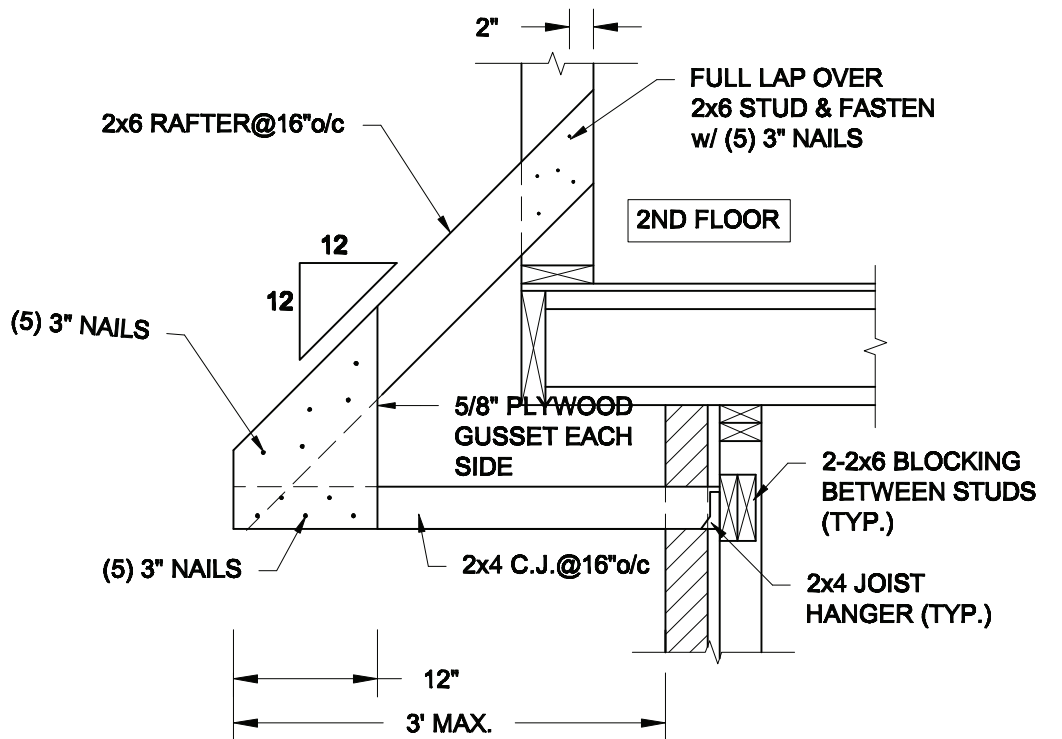
1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale: AS NOTED	
Date: FEB-24-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

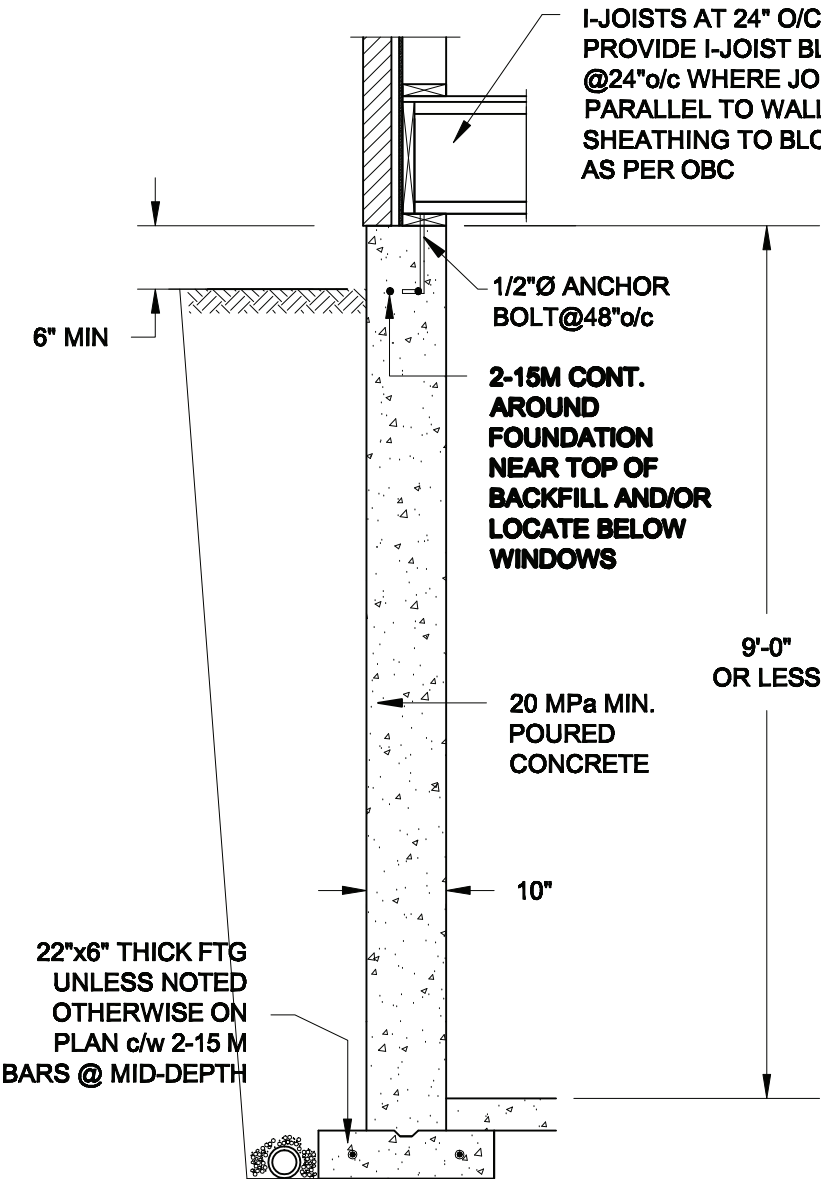
TYPICAL STRUCTURAL DETAILS

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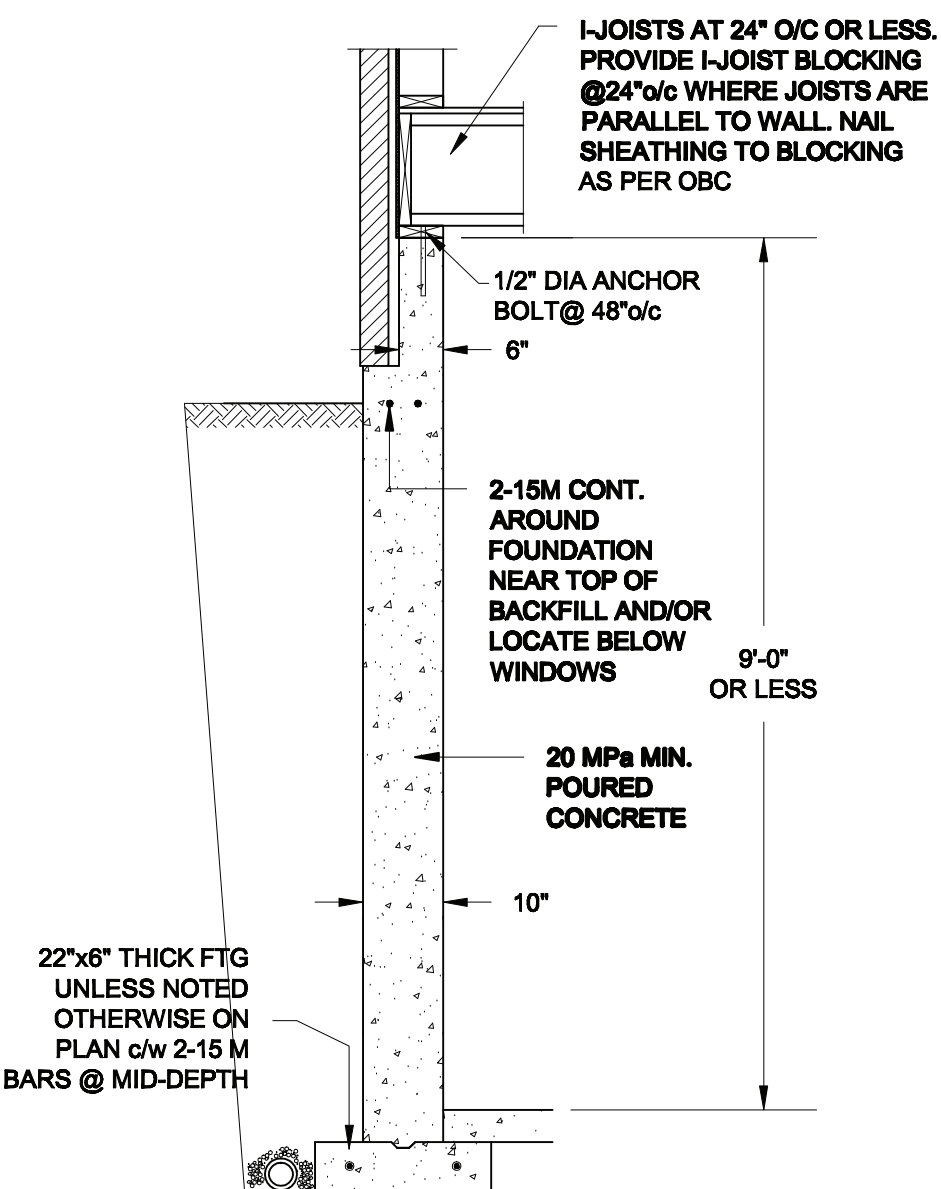
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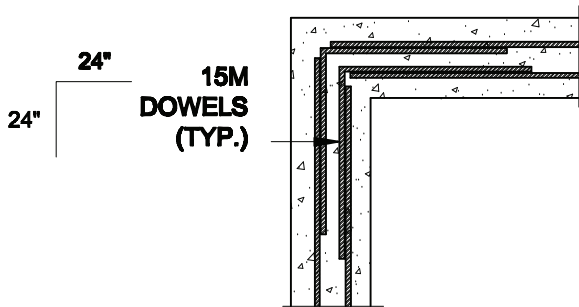
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  MAR 30, 2021		Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021			TYPICAL STRUCTURAL DETAILS			
Drawn: SC	Checked: SJB		Project No.: 21-038		Drawing No.: S4	

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE [OBC 9.19.1.2.]. ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C.. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C.. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STORES SUPPORTED |W/ MASONRY VENEER |W/ SIDING ONLY

118" WIDE x 6" DEEP

22" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

22" WIDE x 6" DEEP

22" WIDE x 6" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").

-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b). 9.16.4.5.(1). 9.25.3.3.(15)

80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- (PRIVATE STAIRS)

5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS

-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7-7/8")

MIN. RUN = 255 (107") (NOSING TO NOSING/)

MAX. TREAD = RUN + 25 (1")

MAX. NOSING = 25 (1")

MIN. HEADROOM = 1950 (6'-5")

RAIL @ LANDING = 900 (2'-11")

RAIL @ STAIR = 865 (2'-10") TO 1070 (3'-6")

MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)

MIN. RUN AT INNER RADIUS = 150 (6")

MIN. RUN AT 300 (12") = 255 (10")

11. HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS -OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE -OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7). 9.25.2.3. 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C.. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2KN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm(1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm(1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STL. TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2. 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.1.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HAUNCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-w2x9w2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12..

33. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.*). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS:

1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-B 9.6.1.3.

GENERAL:

1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B, 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.9.26.18.2 & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, DIV. B- 9.5.2.3 & DETAIL PROVIDED.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-B 9.25.3.

7) ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-B 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER:

1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN.. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4-9 1/2- 11 7/8) DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED; REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL:

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO:

1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT

DUPLEX OUTLET (12" ABOVE SURFACE)

WEATHERPROOF DUPLEX OUTLET

POT LIGHT

LIGHT FIXTURE (PULL CHAIN)

SWITCH

FLOOR DRAIN

SJ SINGLE JOIST

DJ DOUBLE JOIST

TJ TRIPLE JOIST

LVL LAMINATED VENEER LUMBER

POINT LOAD FROM ABOVE

FLAT ARCH

M.C. MEDICINE CABINET (RECESSED)

DOUBLE VOLUME WALL. SEE NOTE 39

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

EXHAUST FAN TO EXTERIOR

DUPLEX OUTLET (HEIGHT A.F.F)

GFI DUPLEX OUTLET (HEIGHT A.F.F)

HEAVY DUTY OUTLET (220 volt)

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

HOSE BIB (NON-FREEZE)

P.T. PRESSURE TREATED LUMBER

G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

CURVED ARCH

CONCRETE BLOCK WALL

CMA

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL.

REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)

- WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12")o.c..

DRAIN WATER HEAT RECOVERY UNIT (DWHR)

PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

UPDATED

ONT. REG. 332/12-2012 OBC
Amendment O, Reg. 88/19
Includes amendments effective Jan. 1, 2022

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L12/38 x 184 (2/2" x 8") SPR.#2

B13/38 x 184 (3/2" x 8") SPR.#2

B24/38 x 184 (4/2" x 8") SPR.#2

B75/38 x 184 (5/2" x 8") SPR.#2

L32/38 x 235 (2/2" x 10") SPR.#2

B33/38 x 235 (3/2" x 10") SPR.#2

B44/38 x 235 (4/2" x 10") SPR.#2

L52/38 x 286 (2/2" x 12") SPR.#2

B53/38 x 286 (3/2" x 12") SPR.#2

B64/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L789 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4"L)

L889 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L)

L9102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L)

L10127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L)

L11152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L)

L12152 x 102 x 11.0L (6"x 4" x 7/16"L)

L13178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A1-1 3/4"x7 1/4" (1-45x184)

LVL12-1 3/4"x7 1/4" (2-45x184)

LVL23-1 3/4"x7 1/4" (3-45x184)

LVL34-1 3/4"x7 1/4" (4-45x184)

LVL4A1-1 3/4"x9 1/2" (1-45x240)

LVL42-1 3/4"x9 1/2" (2-45x240)

LVL53-1 3/4"x9 1/2" (3-45x240)

LVL5A4-1 3/4"x9 1/2" (4-45x240)

LVL6A1-1 3/4"x11 7/8" (1-45x300)

LVL62-1 3/4"x11 7/8" (2-45x300)

LVL73-1 3/4"x11 7/8" (3-45x300)

LVL84-1 3/4"x11 7/8" (4-45x300)

DOOR SCHEDULE

1EXTERIOR DOOR2'-8" WIDE
INSULATED MIN. RSI 0.7 (R4)

1AEXTERIOR DOOR2'-10" WIDE
INSULATED MIN. RSI 0.7 (R4)

1BEXTERIOR DOOR3'-0" WIDE
INSULATED MIN. RSI 0.7 (R4)

1CEXTERIOR DOOR3'-2" WIDE
INSULATED MIN. RSI 0.7 (R4)

2AEXTERIOR DOOR2'-8" wide
20 MIN. RATED DOOR AND FRAME,
WITH APPROVED SELF CLOSING
DEVICE. INSULATED MIN. RSI 0.7 (R4)

2INTERIOR DOOR2'-8" WIDE

2BINTERIOR DOOR2'-8" WIDE
(COLD CELLAR)
(WEATHERSTRIPPING INSTALLED)

2CINTERIOR DOOR3'-0" WIDE

3INTERIOR DOOR2'-6" WIDE

3AINTERIOR DOOR2'-4" WIDE

4INTERIOR DOOR2'-0" WIDE

4AINTERIOR DOOR2'-2" WIDE

5INTERIOR DOOR1'-6" WIDE

REFER TO ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS

MECHANICAL SYMBOLS

HEAT PIPE

PLUMBING (TOILET)

PLUMBING (BATH, SINK, SHOWER)

WARM AIR

RETURN AIR DUCT

SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)

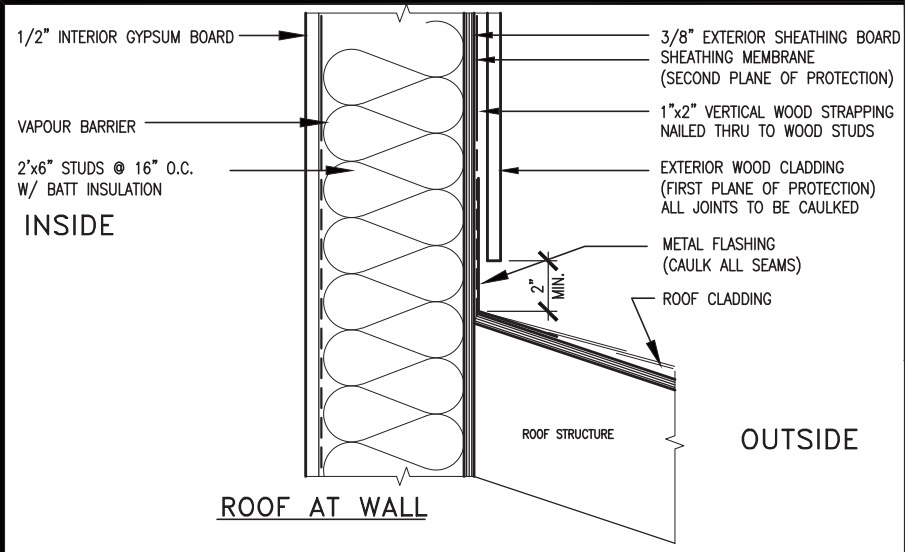
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL.

The minimum thermal



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

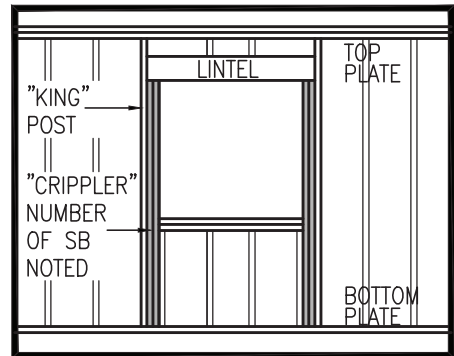
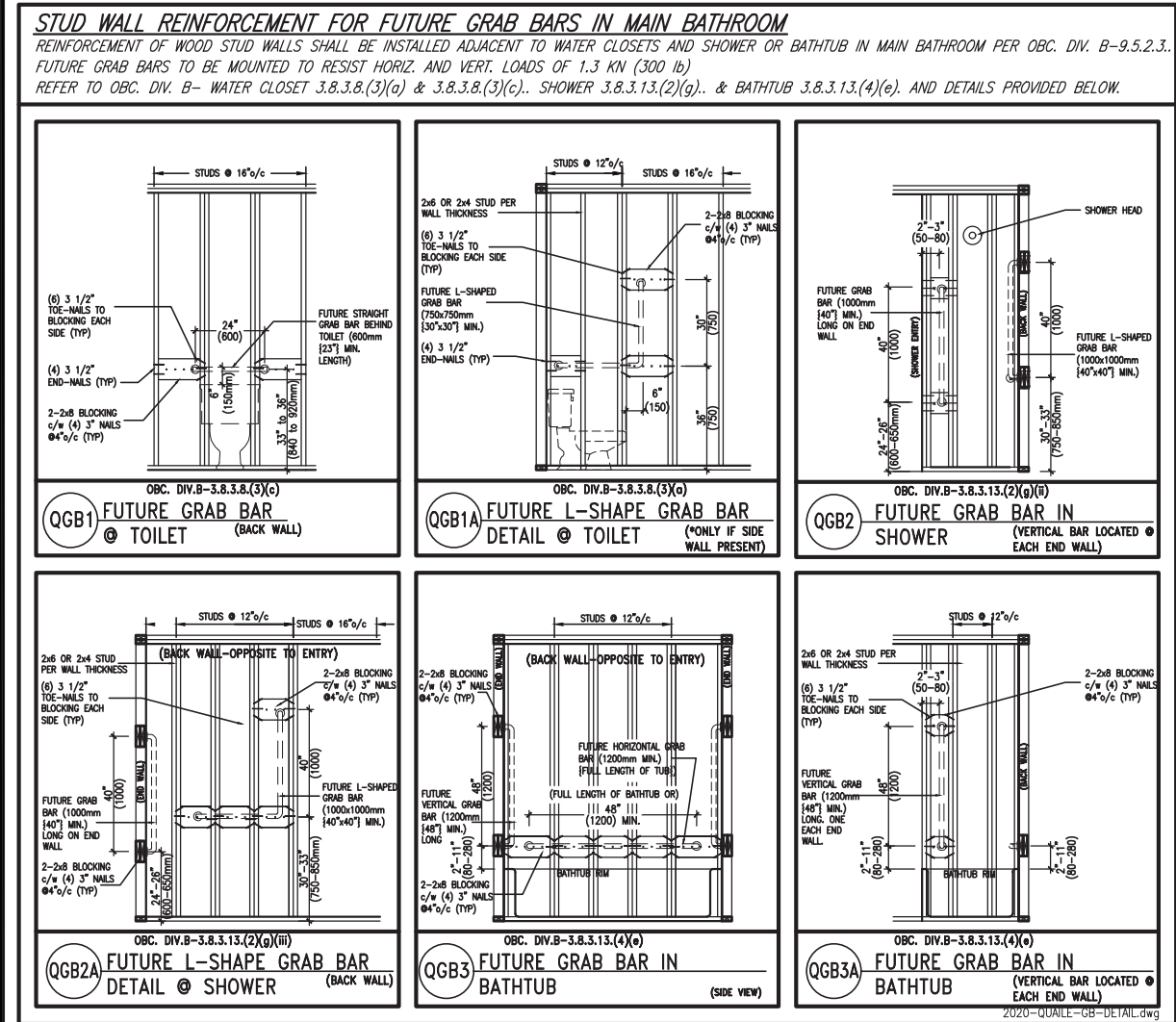
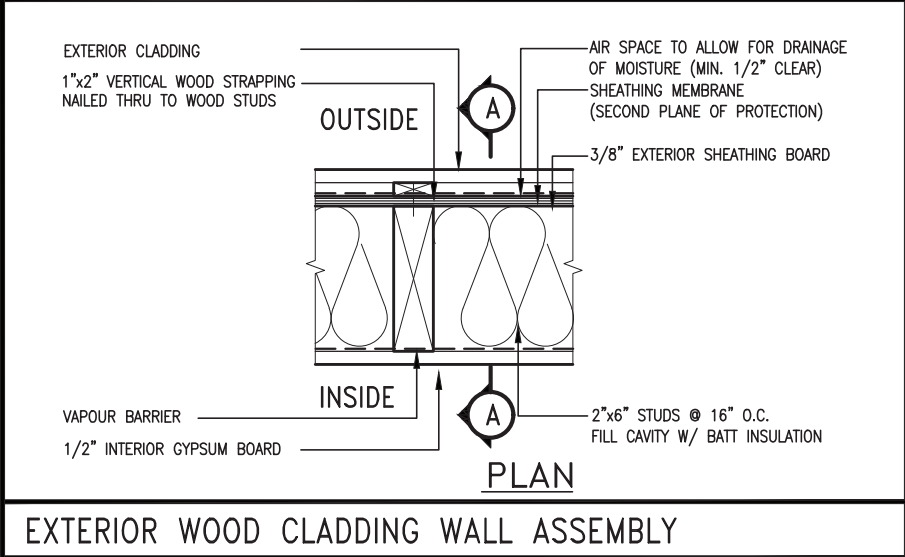
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

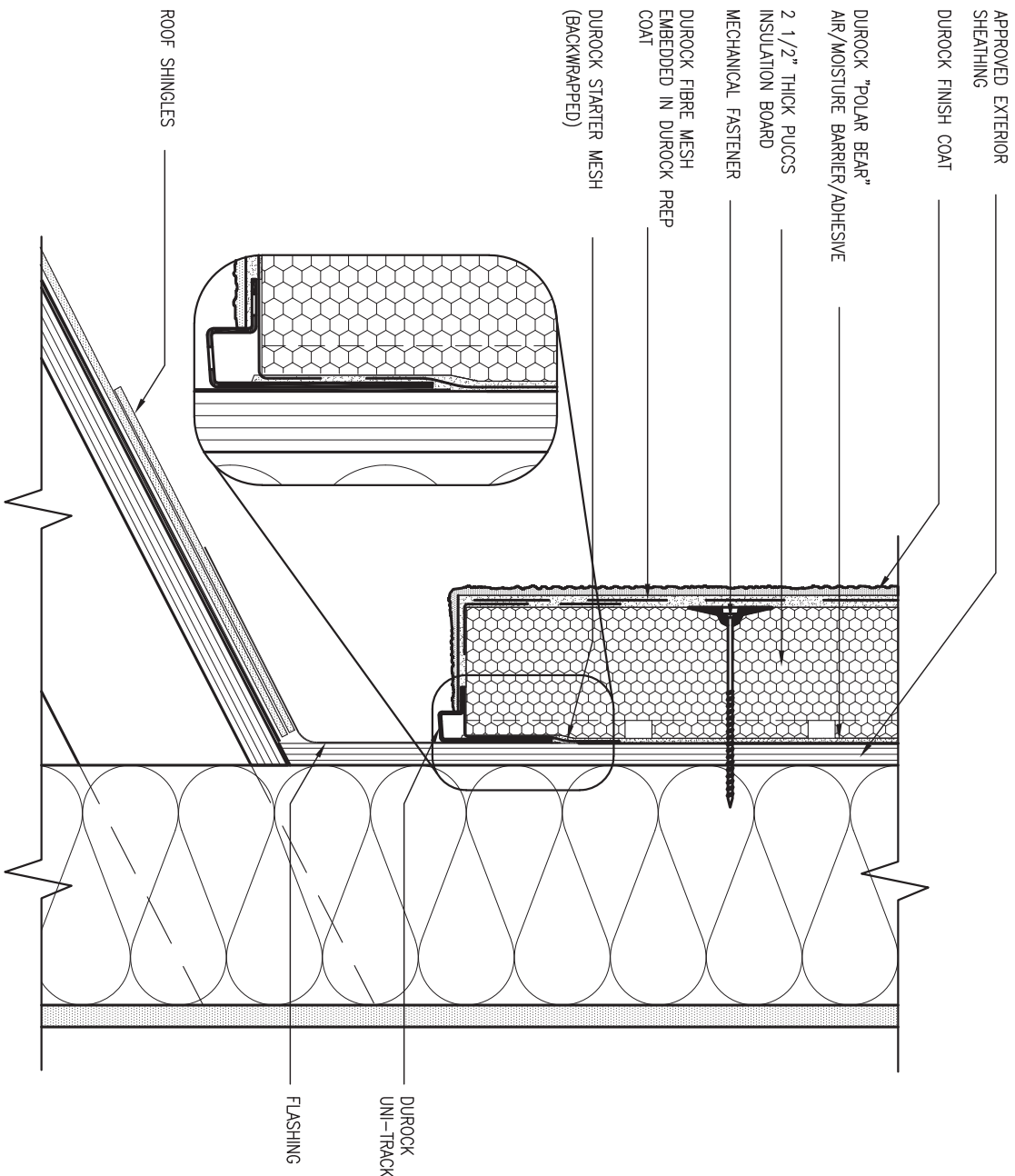


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name			municipality	
GREEN VALLEY EAST			BRADFORD	
date			project no.	
MAY 2016			16023	
CONSTRUCTION NOTES			drawing no.	
drawn by			file name	
RC			16023-CN-2022-A1	
checked by			scale	
-			3/16" = 1'-0"	
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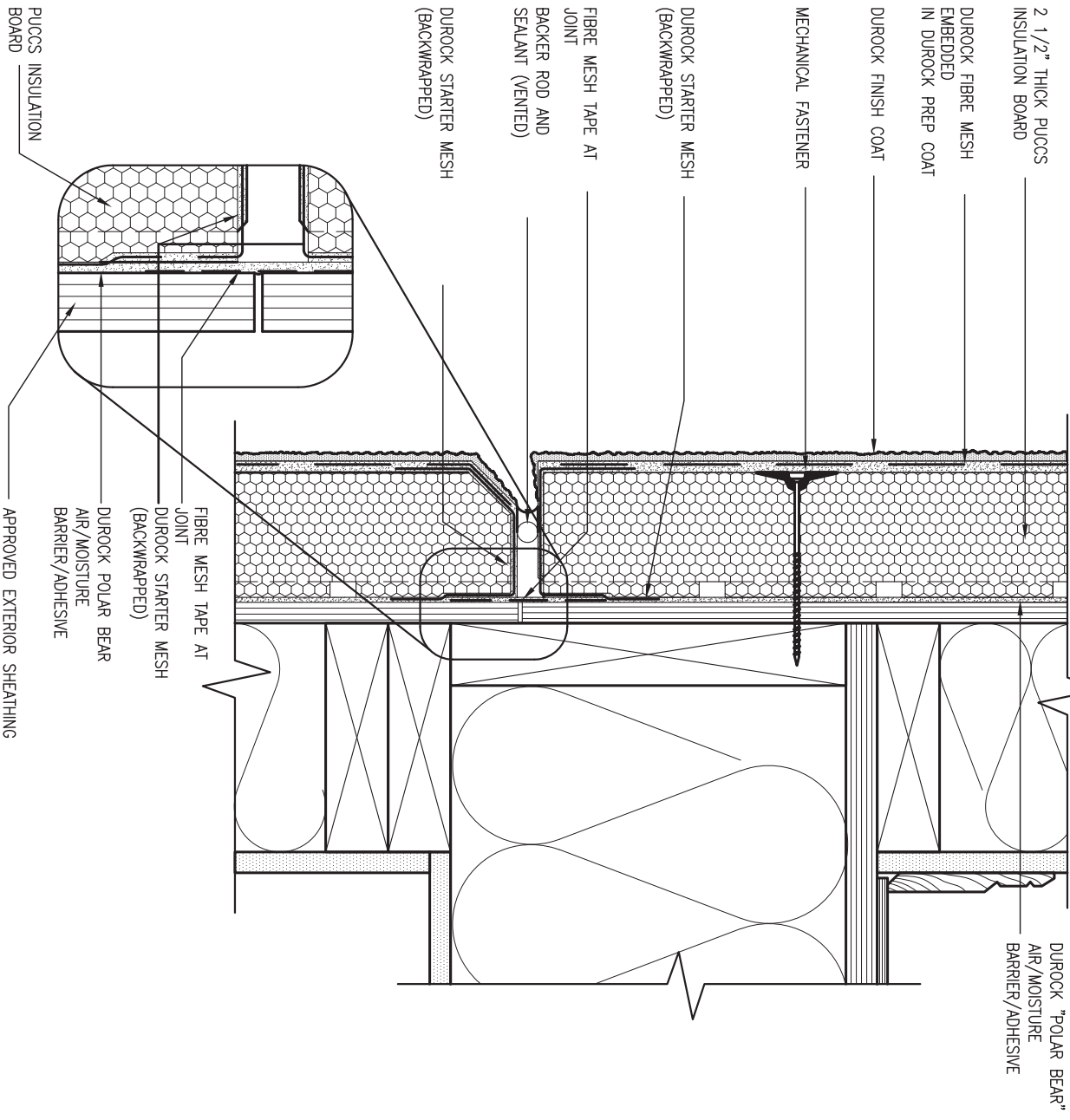


3 STUCCO TERMINATION @ ROOF

CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT

CN4 SCALE: 3"=1'-0"

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591 BCIN
6	.	.	.	signature
5	.	.	.	name
4	UPDATE TO 2022	JAN 11-22	RC	registration information
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc. 42658
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:07 PM			

CONST NOTE

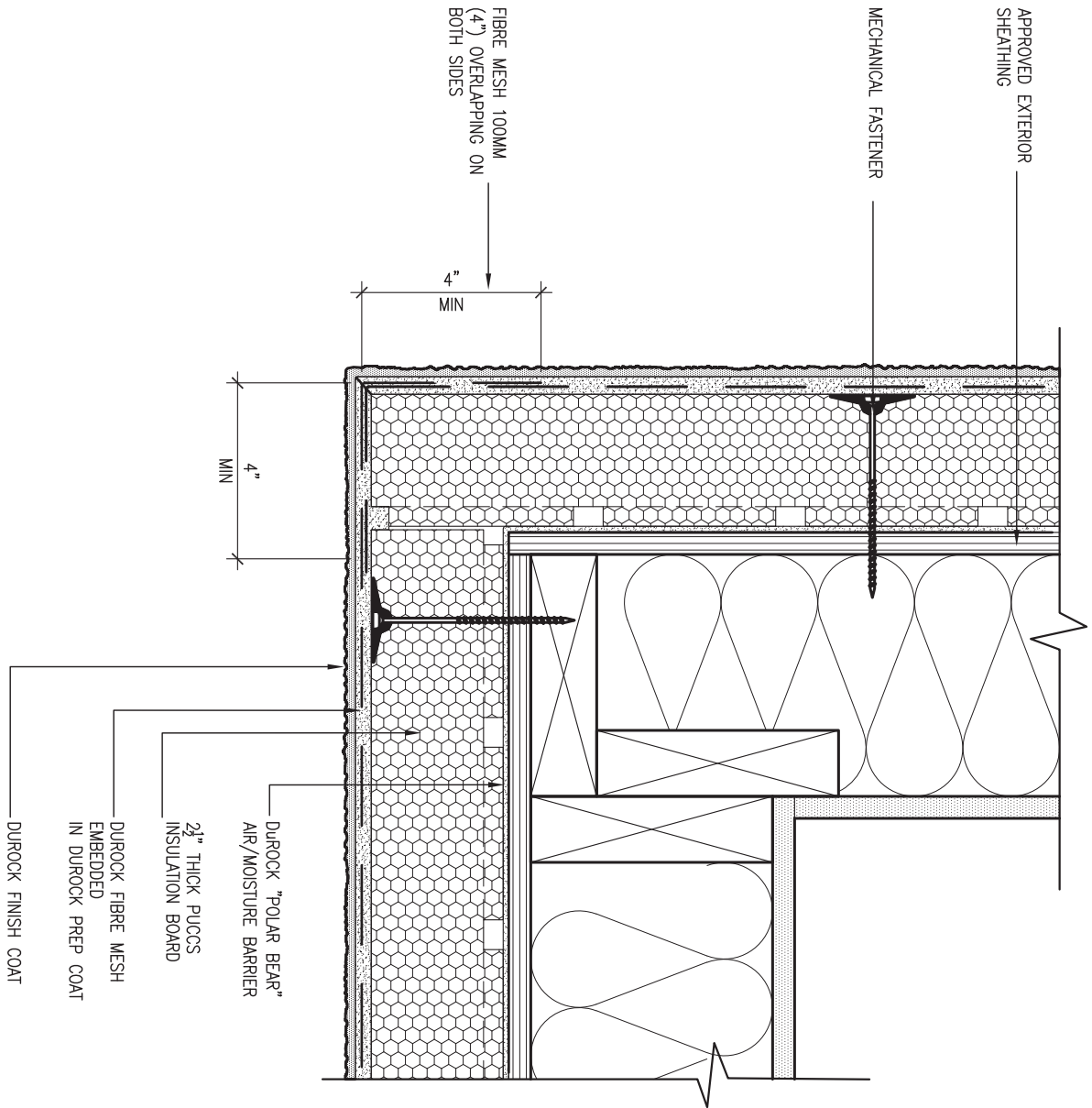
project no. 16023

CONSTRUCTION NOTES

file name 16023-CN-2022-A1

drawing no.

CN4

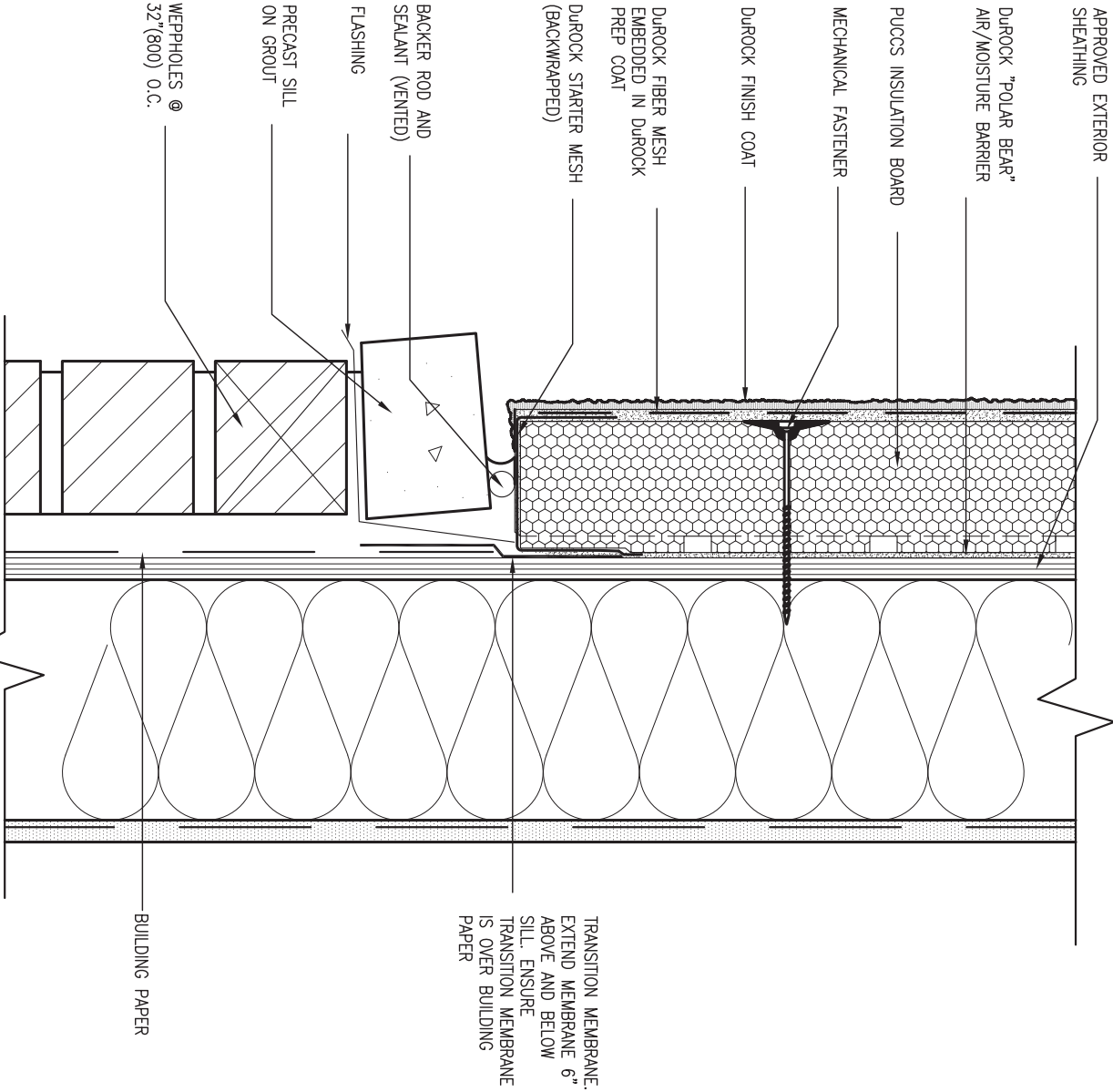


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



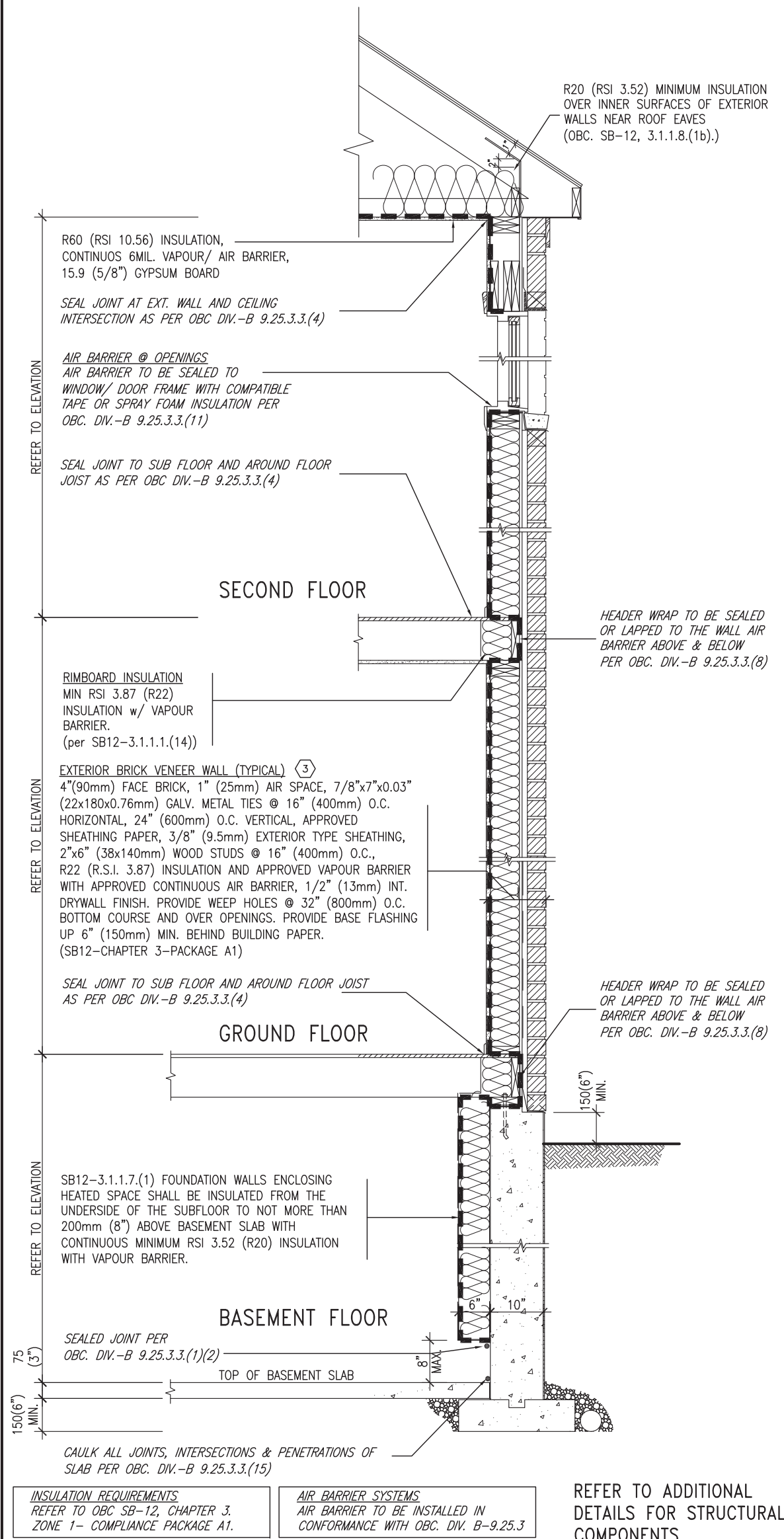
6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	.	.	.	BCIN
4	UPDATE TO 2022	JAN 11-22	RC	name registration information VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description		date	by

 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
	project name		project no.	
	GREEN VALLEY EAST		16023	
	municipality		drawing no.	
	BRADFORD		CN5	
	date		CONSTRUCTION NOTES	
	MAY 2016		file name	
	drawn by		checked by	
	RC		-	
	scale		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:08 PM		16023-CN-2022-A1		

SB12-COMPLIANCE PACKAGE 'A1'

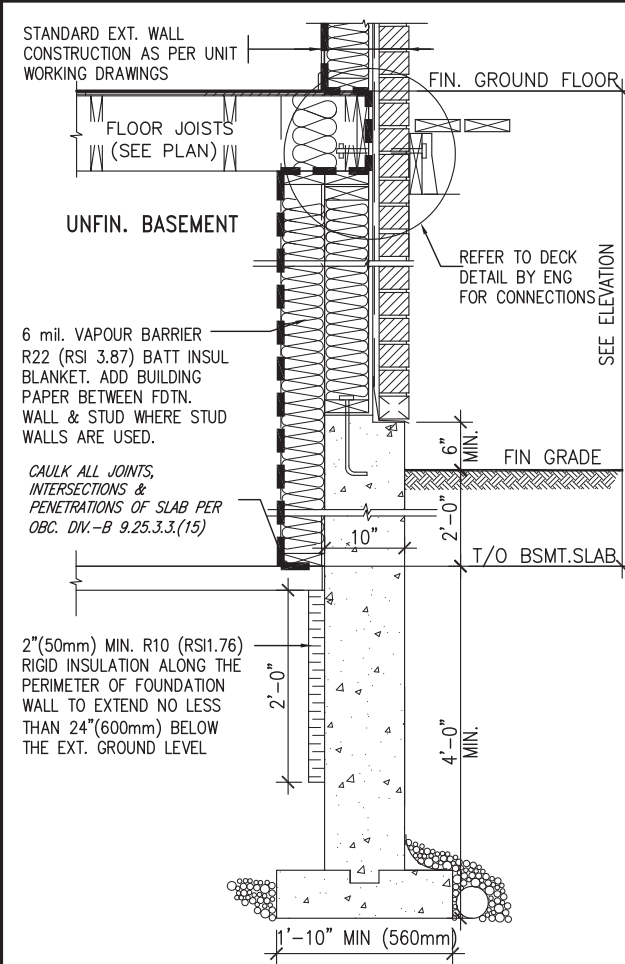


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

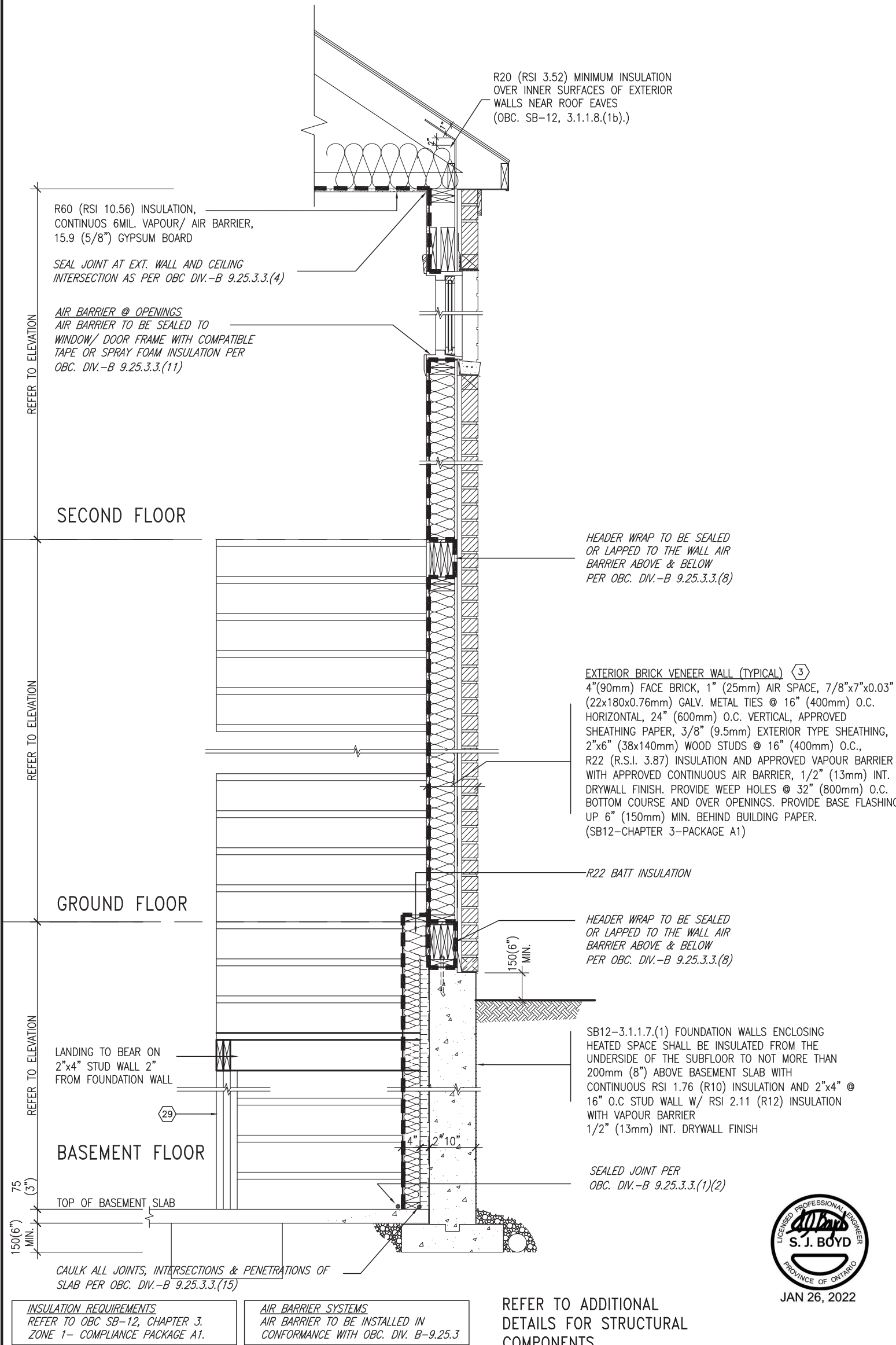


* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>signature</div> <div>BCIN</div>	<div><div>VA3</div><div>DESIGN</div></div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>	<div>BAYVIEW WELLINGTON</div>	<div>CONST NOTE</div>			
8	.	.	.							
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5	.	.	.							
4	UPDATE TO 2022	JAN 11-22	RC	name registration information VA3 Design Inc. 42658		project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023		
3	UPDATE TO 2020	FEB 24-20	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>		date MAY 2016	CONSTRUCTION NOTES		drawing no.	
2	UPDATE TO 2018	JAN 11-18	RC			drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1	CN6
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:08 PM				
no.	description	date	by							

SB12-COMPLIANCE PACKAGE 'A1'

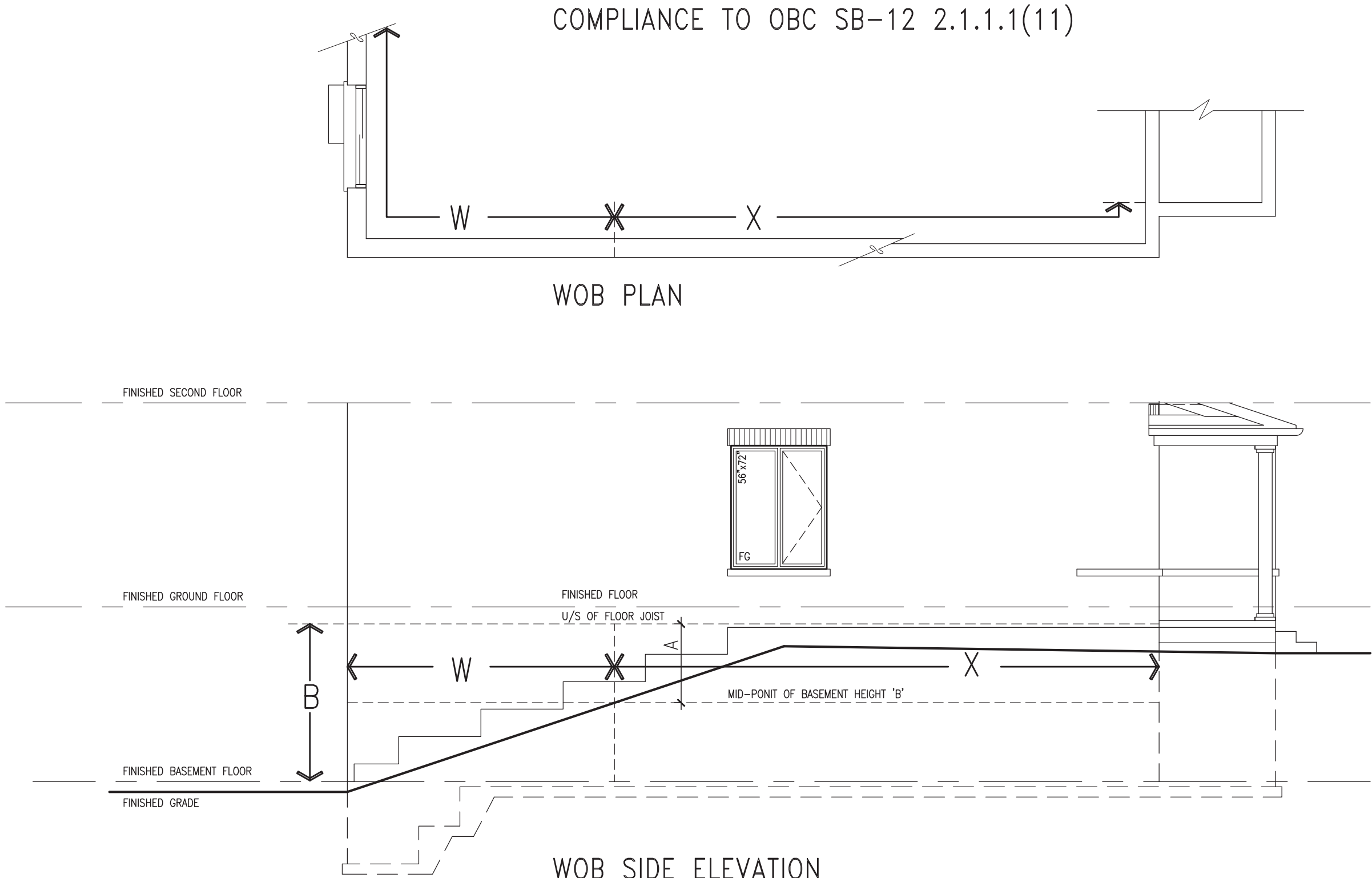


JAN 26, 2022



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

<div><div>9</div><div>.</div></div> <div><div>8</div><div>.</div></div> <div><div>7</div><div>.</div></div> <div><div>6</div><div>.</div></div> <div><div>5</div><div>.</div></div> <div><div>4</div><div>UPDATE TO 2022</div></div> <div><div>3</div><div>UPDATE TO 2020</div></div> <div><div>2</div><div>UPDATE TO 2018</div></div> <div><div>1</div><div>ISSUE FOR CLIENT REVIEW</div></div> <div><div>no.</div><div>description</div></div>	<div><div>.</div><div>.</div><div>.</div><div>.</div><div>.</div><div>JAN 11-22</div><div>FEB 24-20</div><div>JAN 11-18</div><div>AUG 04-17</div><div>date</div></div> <div><div>RC</div><div>RC</div><div>RC</div><div>RC</div><div>by</div></div>	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste25591BCINsignature</div> <div>VA3 Design Inc.42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120</div><div>Toronto ON M2J 1R4</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>	<div>BAYVIEW WELLINGTON</div> <div>project nameGREEN VALLEY EASTmunicipalityBRADFORD</div> <div>dateMAY 2016</div> <div>drawn byRCchecked by- scale3/16" = 1'-0"</div> <div>CONSTRUCTION NOTES</div> <div>16023-CN-2022-A1</div> <div>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM</div>	<div>CONST NOTE</div> <div>-</div> <div>project no.16023</div> <div>file nameCN7drawing no.</div>
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WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

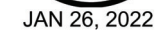
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	CONST NOTE
BAYVIEW WELLINGTON	BRADFORD	-
project no.	drawing no.	CONSTRUCTION NOTES
16023	CN8	file name 16023-CN-2022-A1 date MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0"

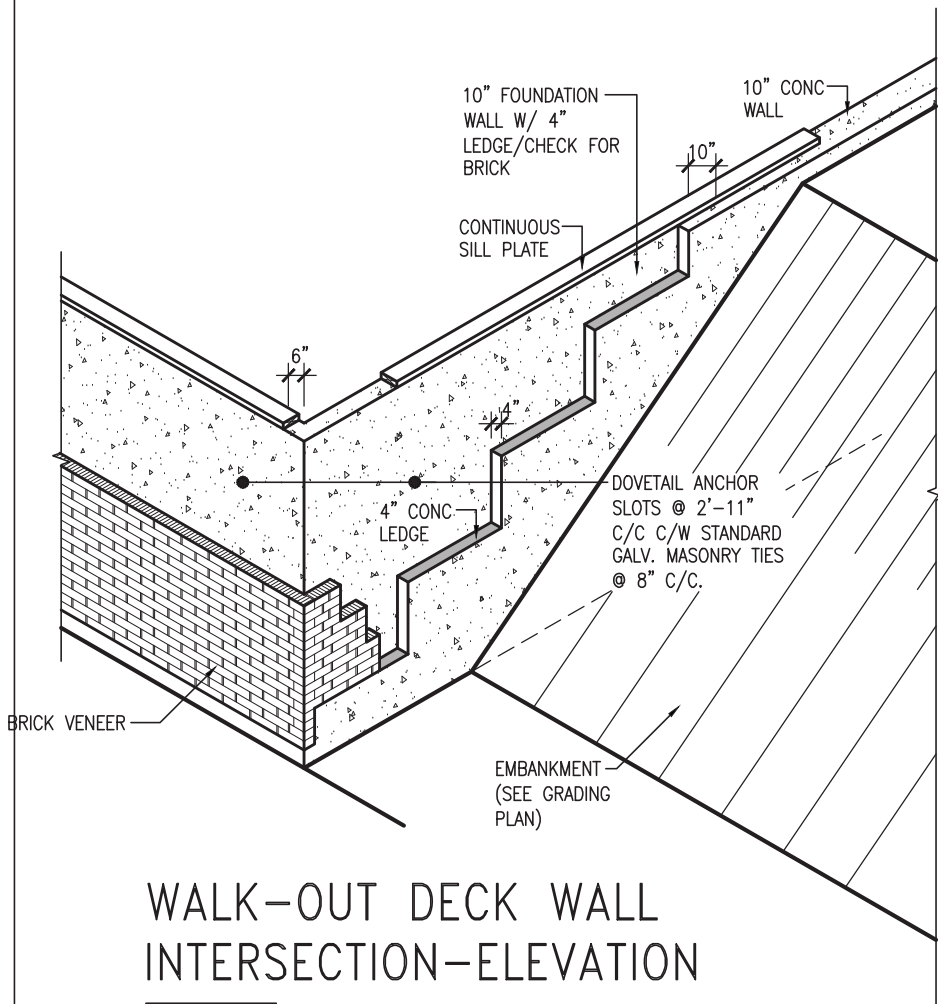
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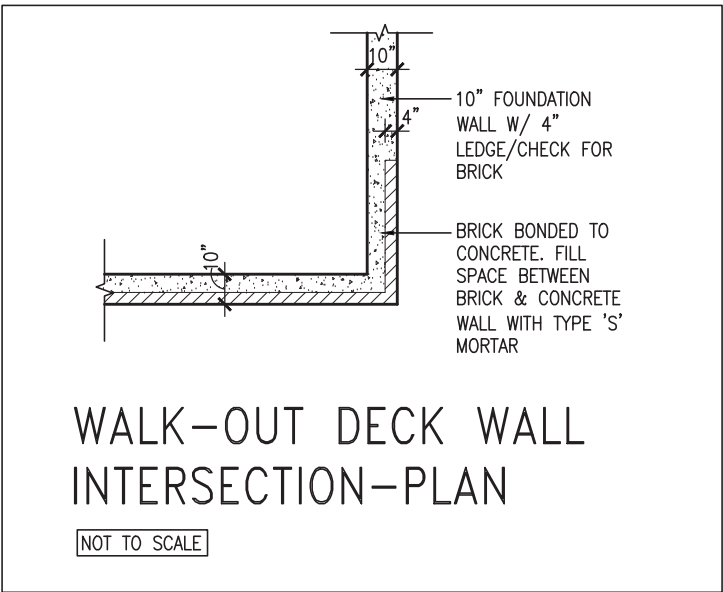
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	wellington jno-baptiste	25591
8	.	.	.	qualification information		
7	.	.	.			
6	.	.	.			
5	.	.	.	name	BCIN	
4	UPDATE TO 2022	RC	JAN 11-22	registration information	VA3 Design Inc.	42658
3	UPDATE TO 2020	RC	FEB 24-20			
2	UPDATE TO 2018		JUN 11-18	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
1	ISSUE FOR CLIENT REVIEW	RC	AUG 04-17			
no. description		date		by		

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WALK-OUT DECK WALL INTERSECTION-ELEVATION

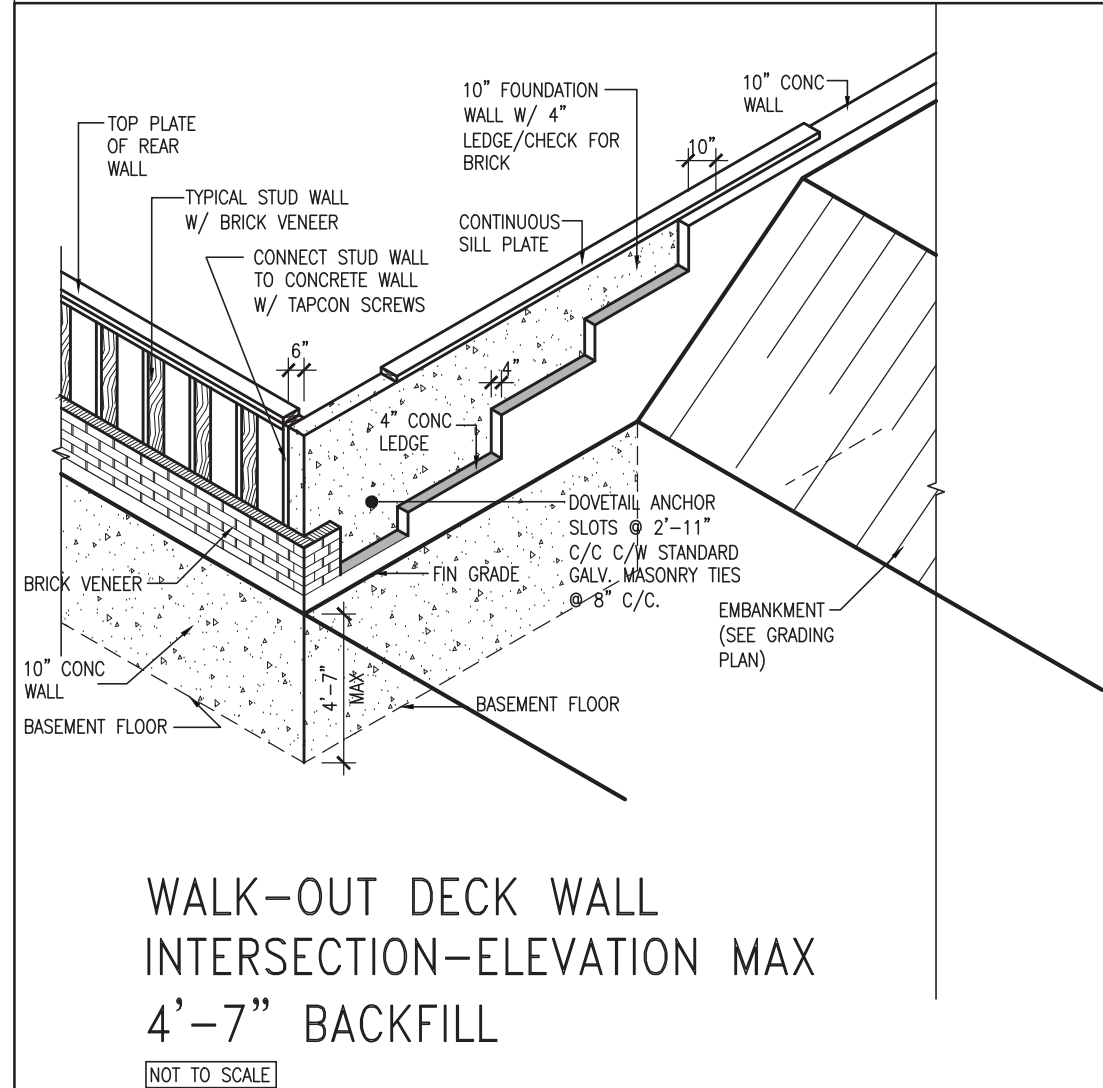
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN

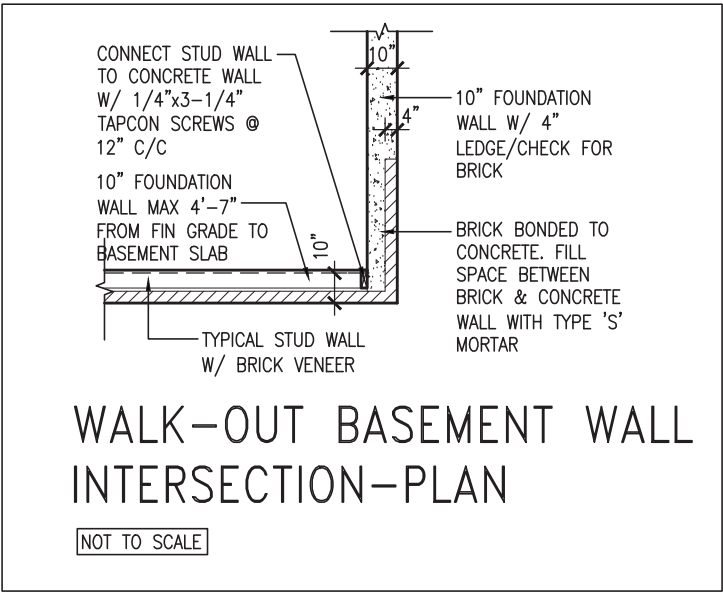
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



9.	.	.	.
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4.	UPDATE TO 2022	JAN 11-22	RC
3.	UPDATE TO 2020	FEB 24-20	RC
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

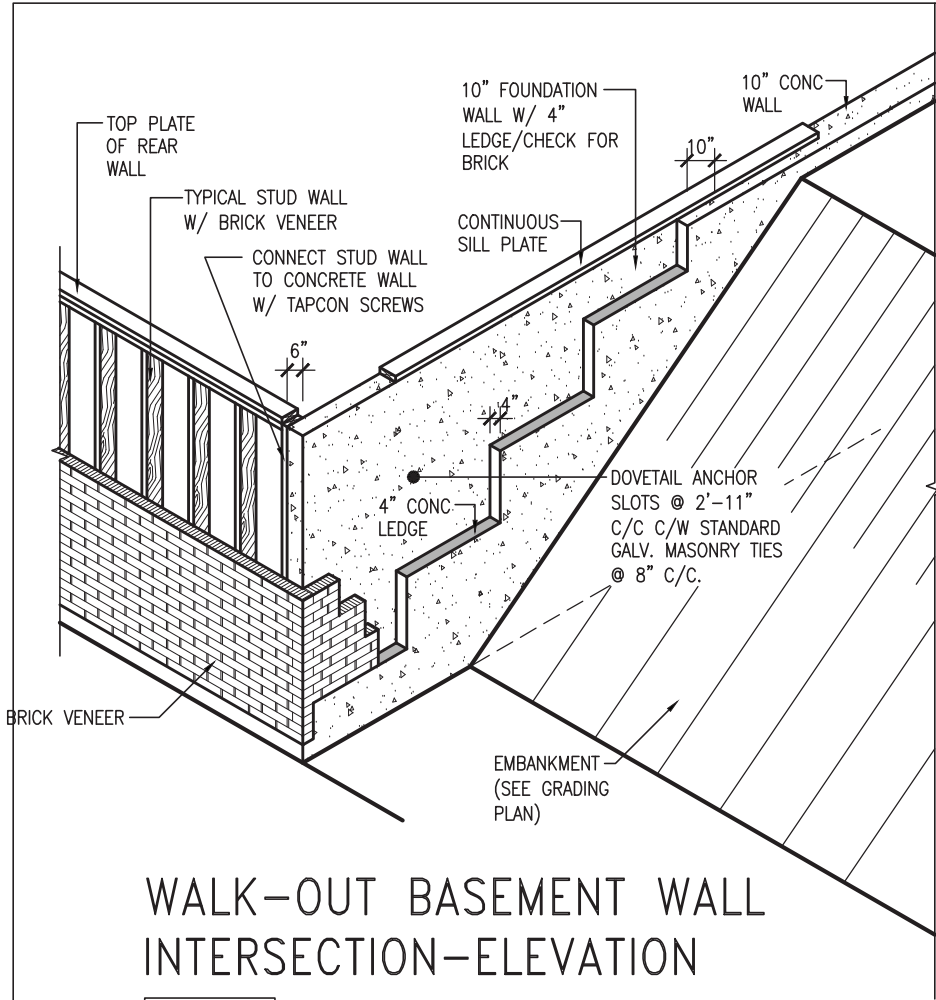
project name GREEN VALLEY EAST municipality BRADFORD

date MAY 2016
drawn by RC checked by scale 3/16" = 1'-0"

CONSTRUCTION NOTES
16023-CN-2022-A1

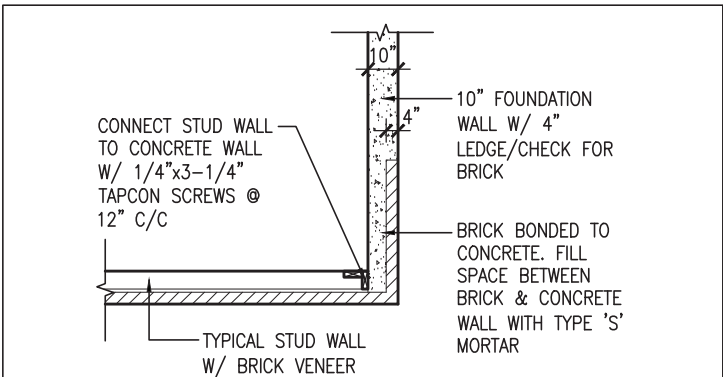
CONST NOTE

project no. 16023
drawing no. CN10



WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

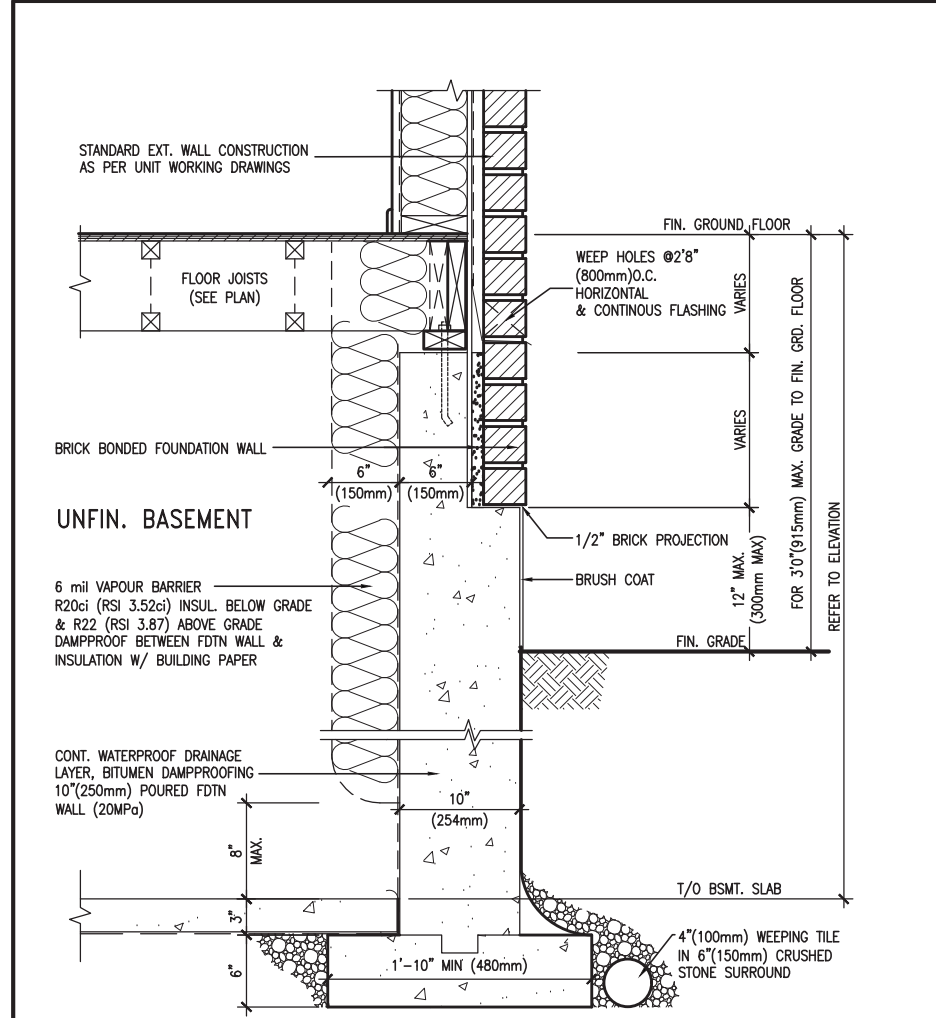
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

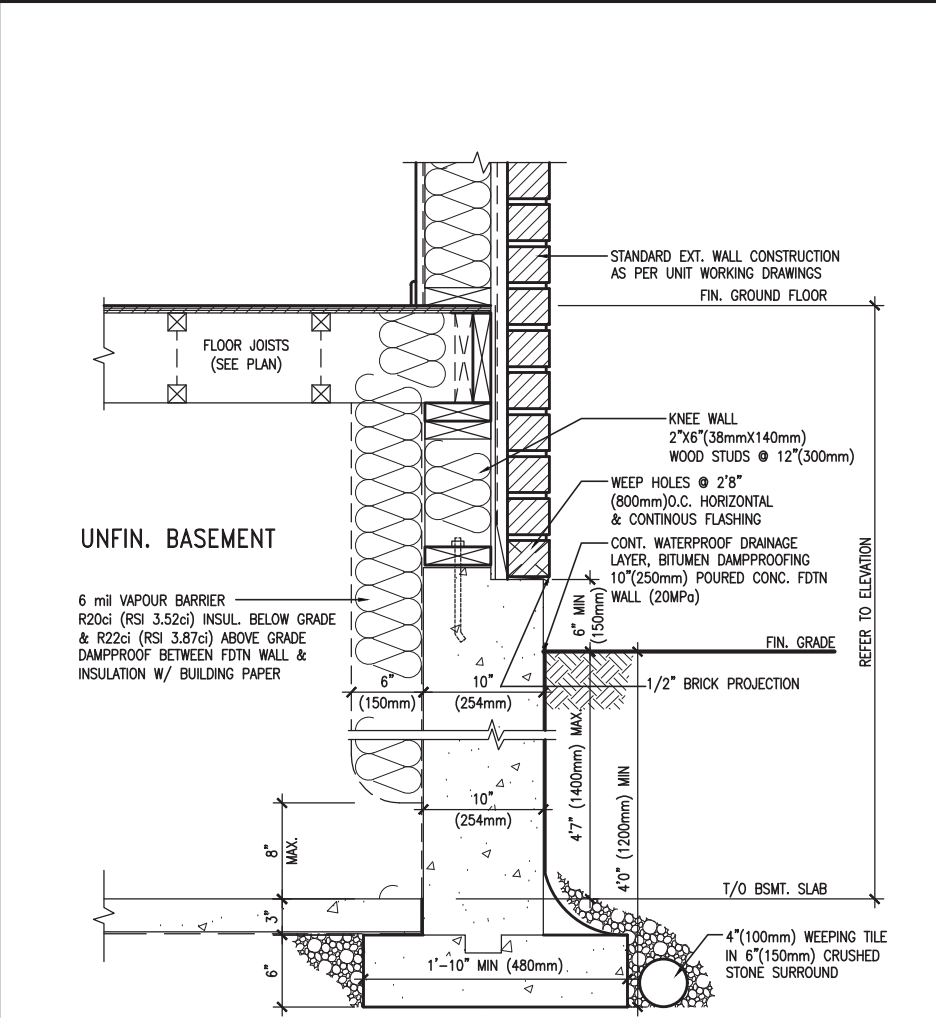
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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4	UPDATE TO 2022	JAN 11-22	RC
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qualification information

Wellington Jno-Baptiste 25591
signature BCIN

registration information
VA3 Design Inc. 42658

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DESIGN**

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va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		drawing no.	CN11

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN12

SECTION THROUGH CANOPY

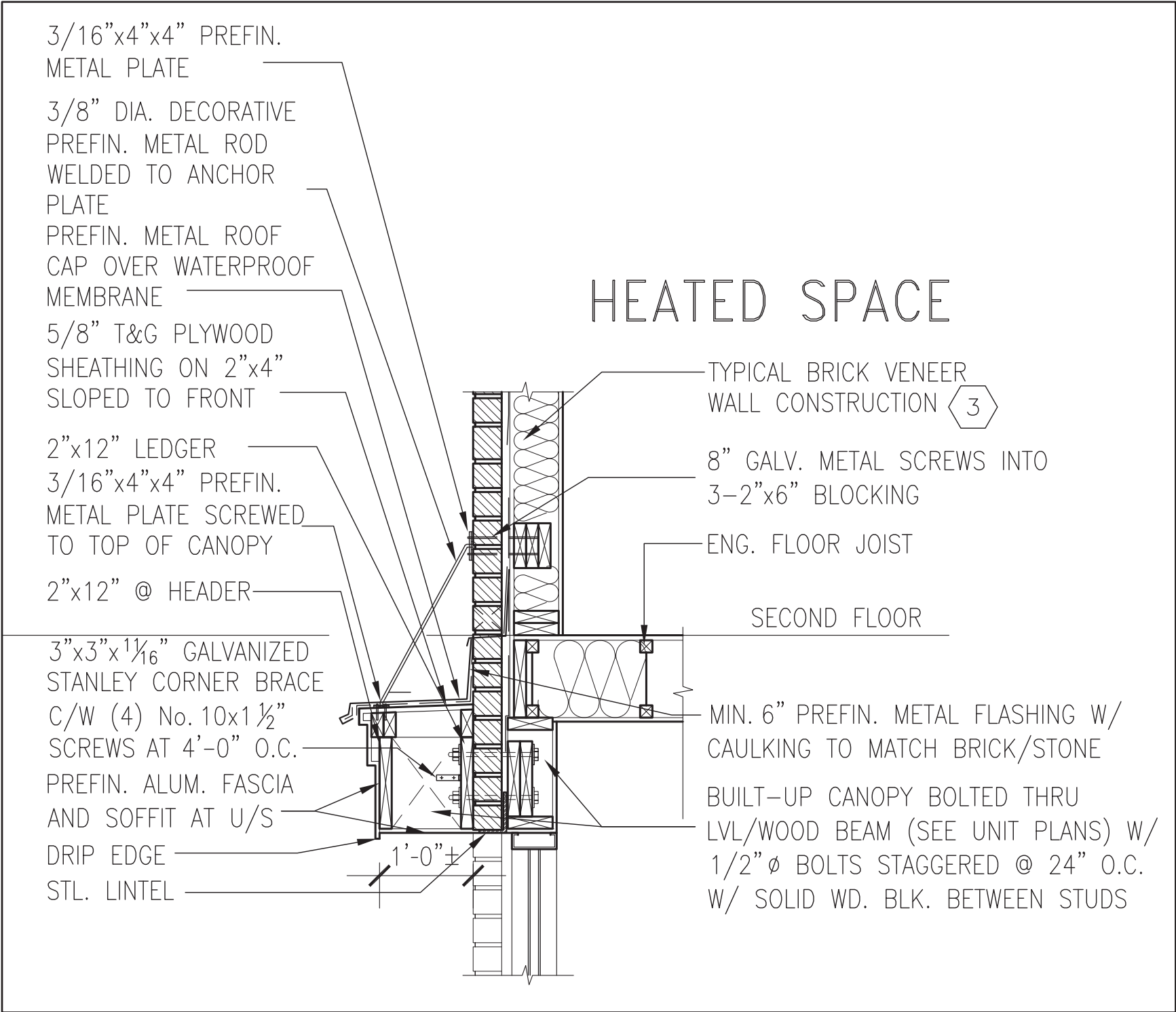
SCALE 1/2" = 1'-0"



JAN 26, 2022

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>name registration information VA3 Design Inc. 42658</div> <div><div>signature</div><div>BCIN</div></div>	<div>VA3</div> <div>DESIGN</div> <div>255 Consumers Rd Suite 120</div> <div>Toronto ON M2J 1R4</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>	<div>BAYVIEW WELLINGTON</div>	<div>CONST NOTE</div> <div>-</div>	
8	.	.	.					
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4	UPDATE TO 2022	JAN 11-22	RC			project name	municipality	project no.
3	UPDATE TO 2020	FEB 24-20	RC			GREEN VALLEY EAST	BRADFORD	16023
2	UPDATE TO 2018	JAN 11-18	RC			date	CONSTRUCTION NOTES	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			MAY 2016	drawing no.	
						drawn by	checked by	scale
						RC	-	3/16" = 1'-0"
								file name
								16023-CN-2022-A1
no.	description	date	by			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM		

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1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



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8	-	-	-	qualification information					
7	-	-	-	Wellington Jno-Baptiste 25591					
6	-	-	-	name registration information VA3 Design Inc. 42658					
5	-	-	-	signature BCIN					
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
3	UPDATE TO 2020	FEB 24-20	RC			date MAY 2016	CONSTRUCTION NOTES		
2	UPDATE TO 2018	JAN 11-18	RC			drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						CN13
no.	description	date	by			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST NOTE
8	.	.	.	qualification information			
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6	.	.	.	signature			
5	.	.	.	BCIN			
4	UPDATE TO 2022	JAN 11-22	RC	registration information	42658	project name	project no.
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.		GREEN VALLEY EAST	16023
2	UPDATE TO 2018	JAN 11-18	RC			BRADFORD	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by				

date	checked by	scale	file name	drawing no.
MAY 2016	RC	3/16" = 1'-0"	16023-CN-2022-A1	CN14
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