

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BASEMENT PLAN 'A'



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 8A

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	MAR 28-22	RC
5	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	1A
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-8C-10GRND.dwg - Mon - Mar 28 2022 - 10:43 AM					



MAR 28, 2022

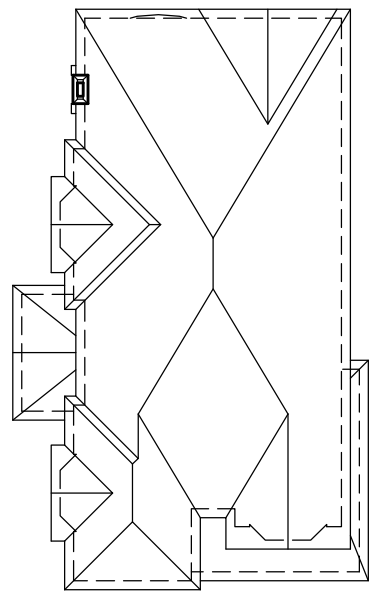
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any



MAR 28, 2022

It is the builder's complete responsibility to ensure



ROOF PLAN 'A'





REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

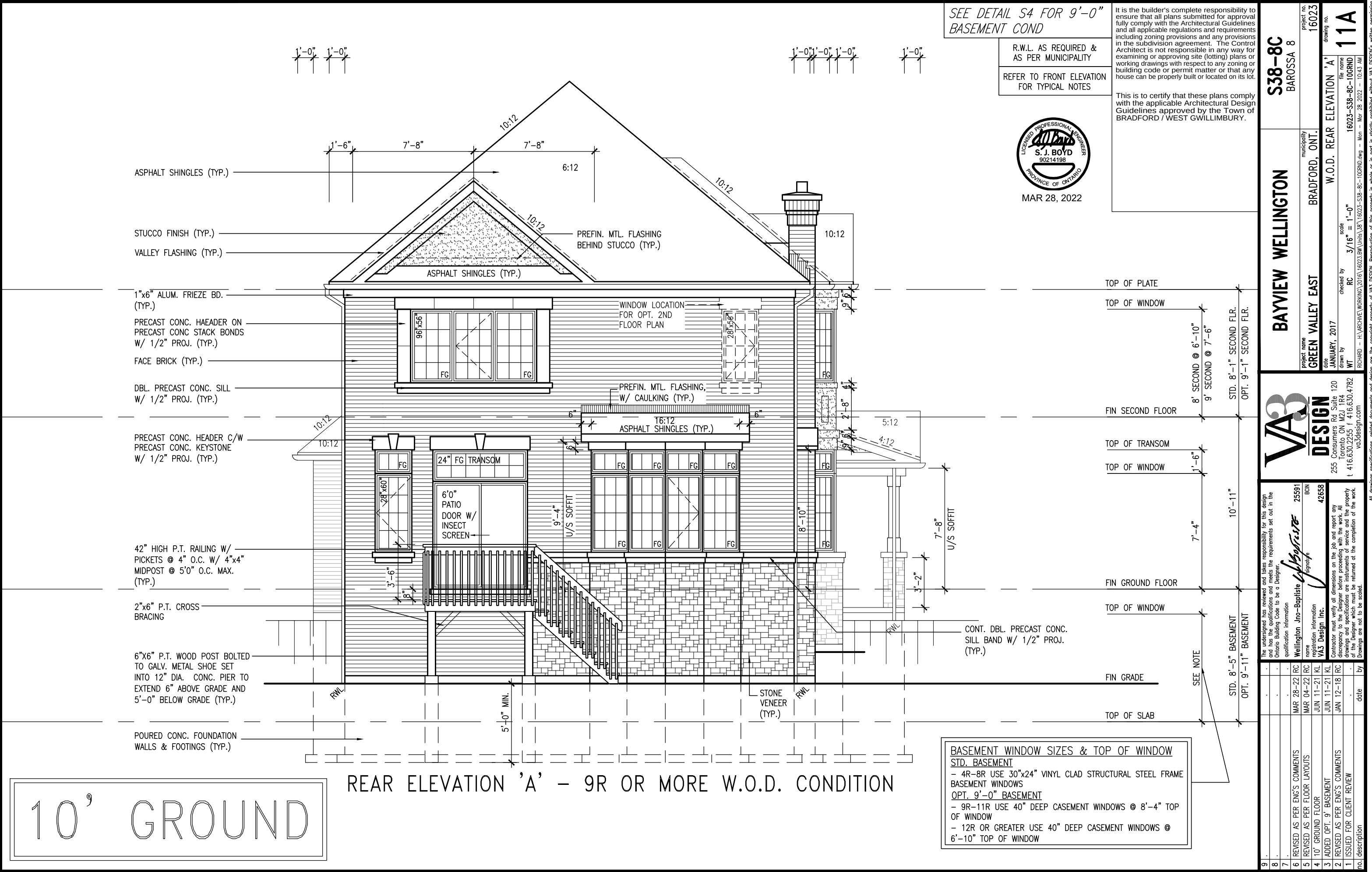
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

AREA CALCULATIONS		
	STD. A	OPT. A
GROUND FLOOR AREA	1479.3 SF	1479.3 SF
SECOND FLOOR AREA	1751.1 SF	1751.1 SF
S		

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C ELA W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		

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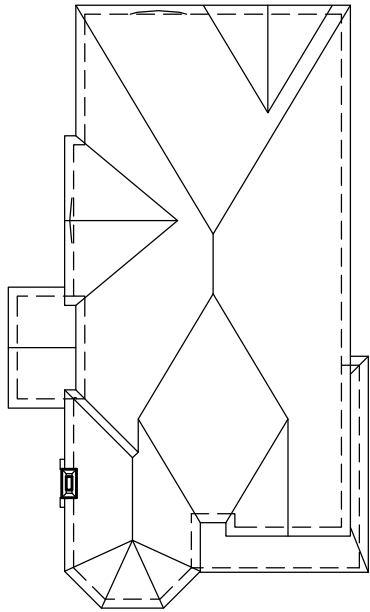


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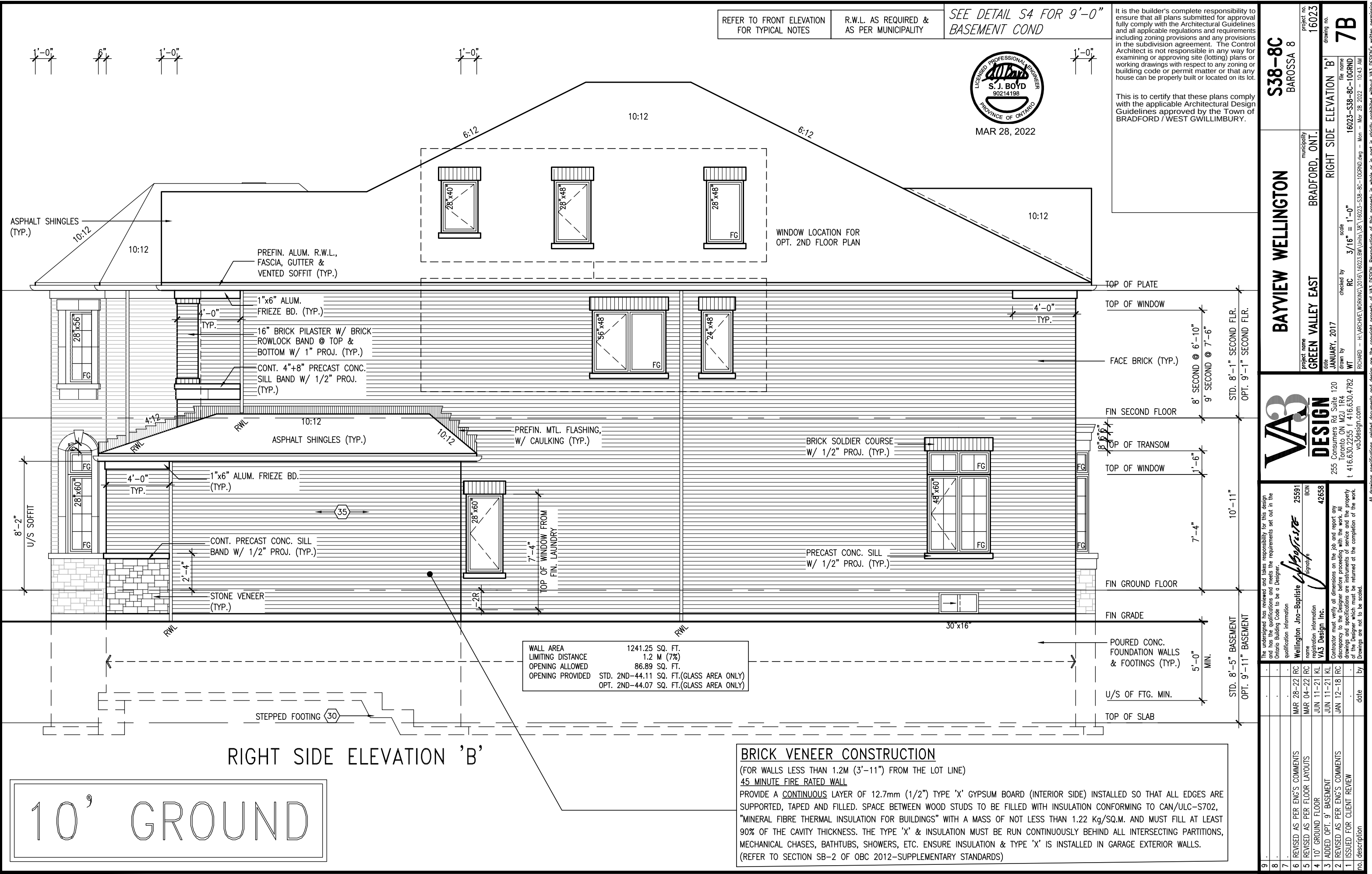
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ROOF PLAN 'B'







AREA CALCULATIONS		
	STD. B	OPT. B
GROUND FLOOR AREA	1479.0 SF	1479.0 SF
SECOND FLOOR AREA	1748.5 SF	1748.5 SF

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.B W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		

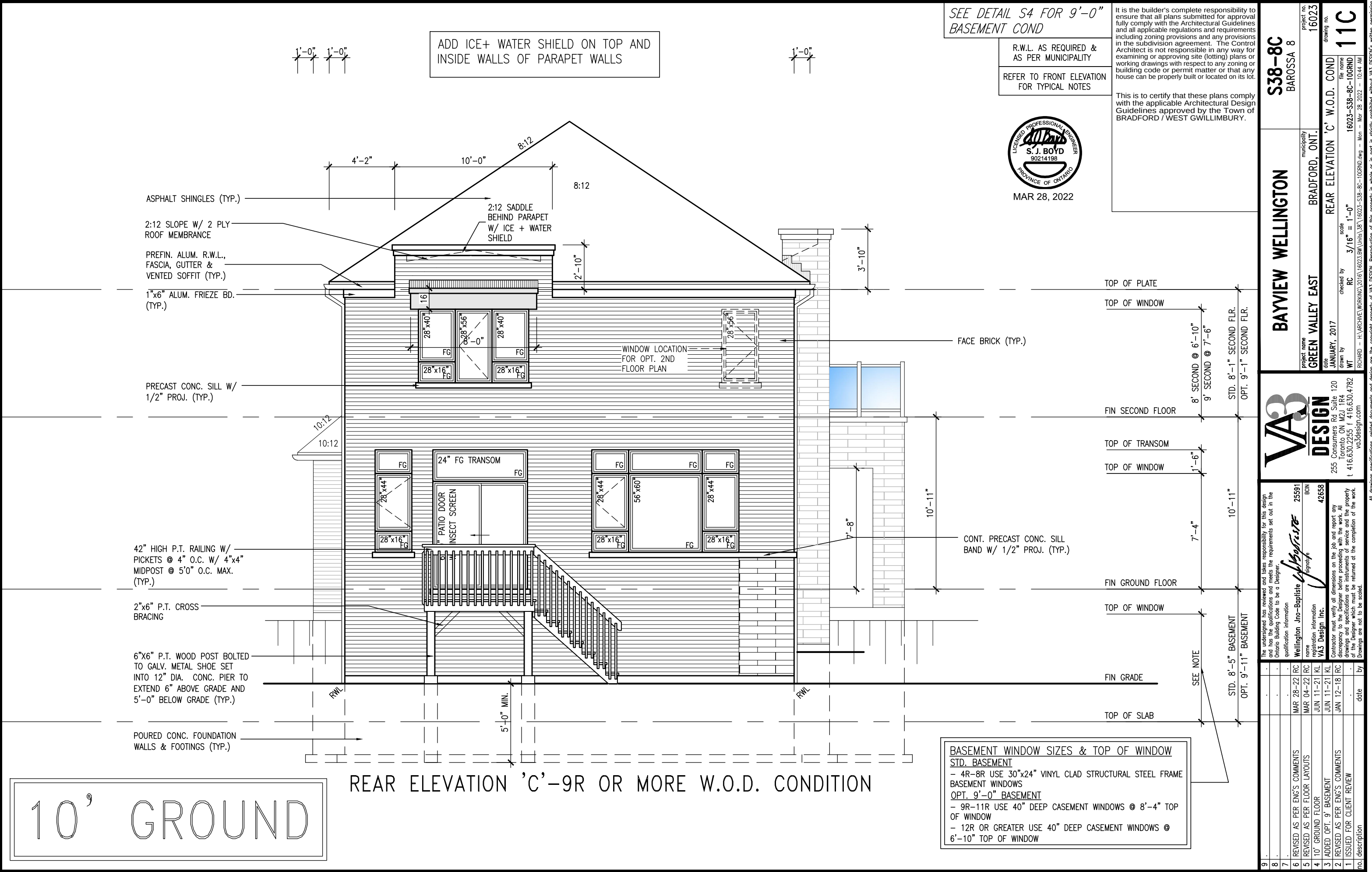
ADD ICE+ WATER SHIELD ON TOP AND INSIDE WALLS OF PARAPET WALLS

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPAL

AREA CALCULATIONS		
	STD. C	OPT. C
GROUND FLOOR AREA	1452.8 SF	1452.8 SF
SECOND FLOOR AREA	1747.1 SF	174

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C E.L.C W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB1		

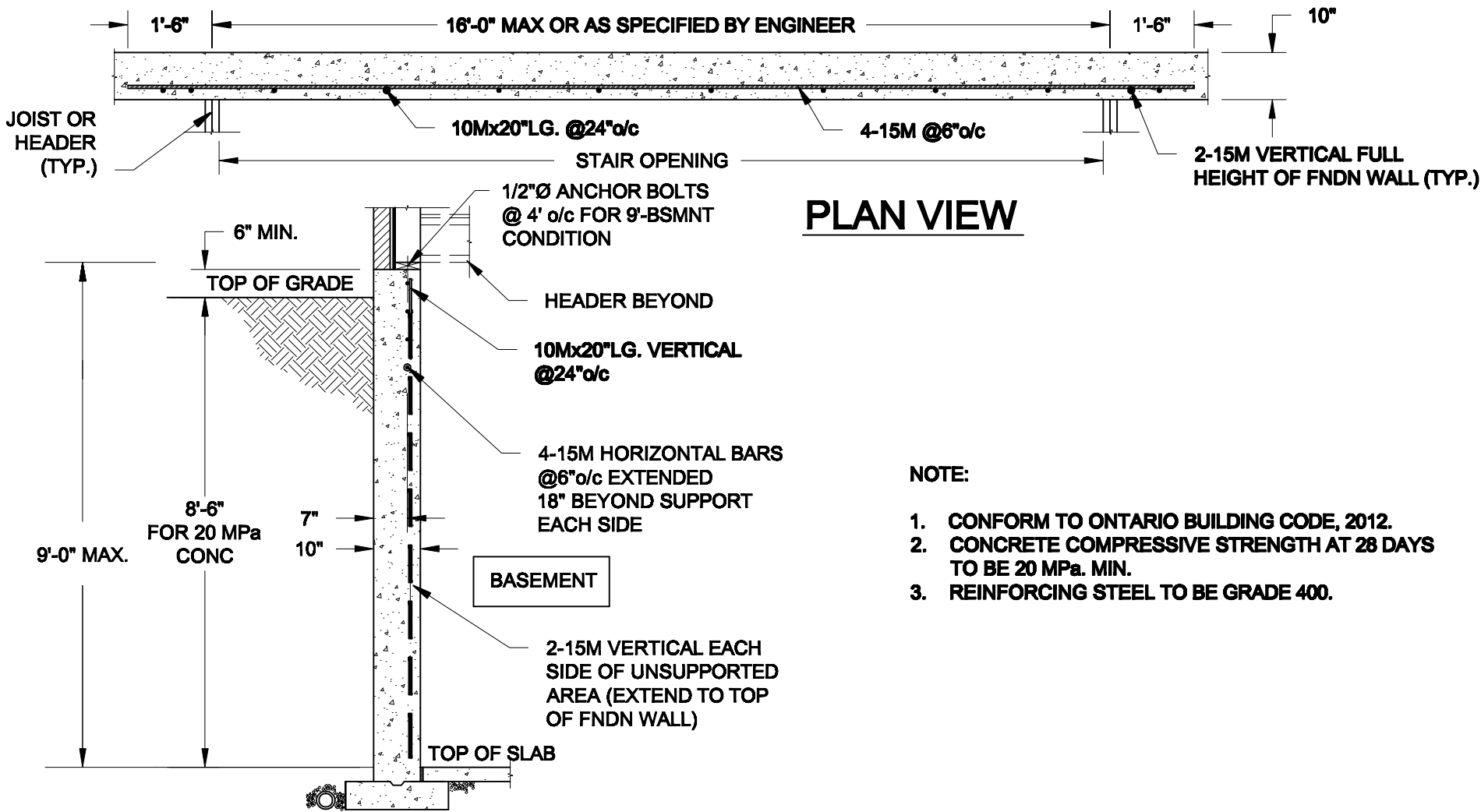


10⁹ GROUND

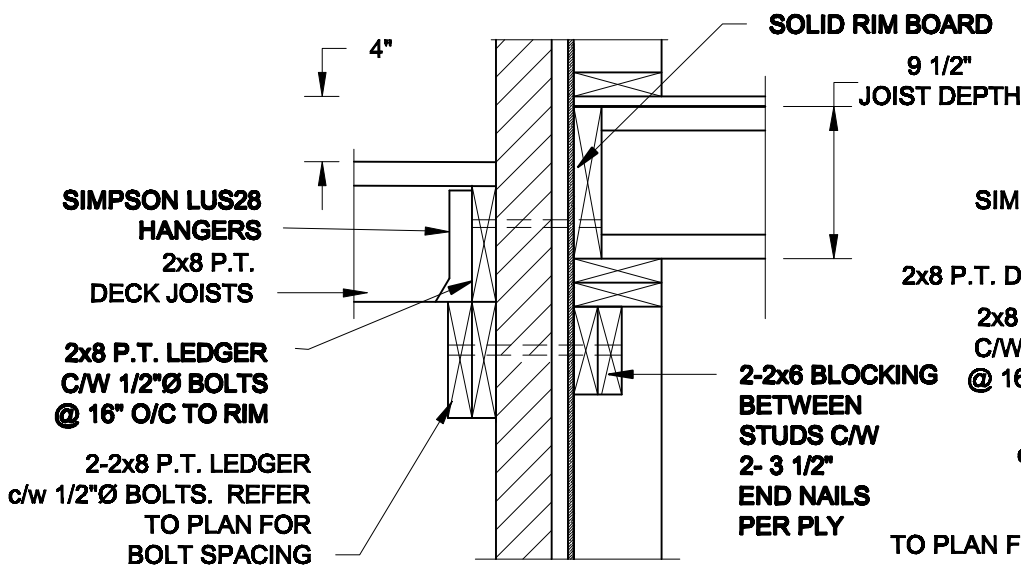
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))		
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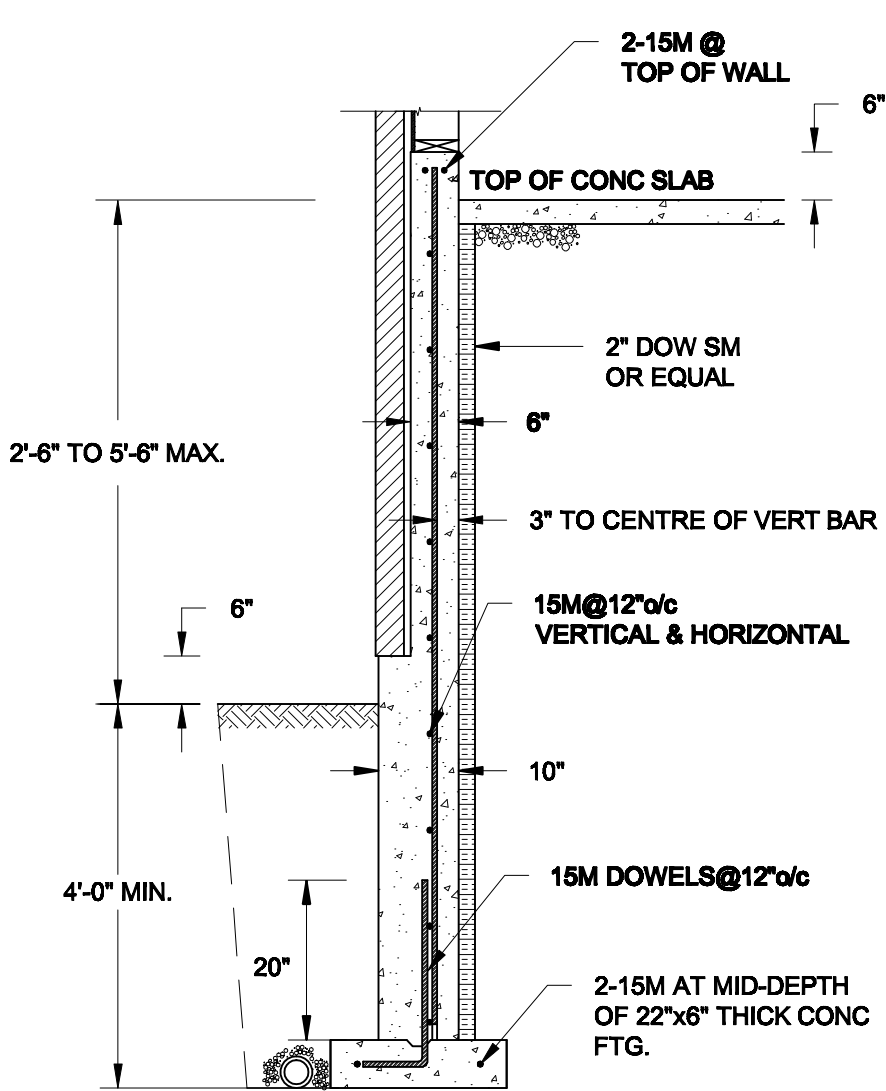
10⁹ GROUND

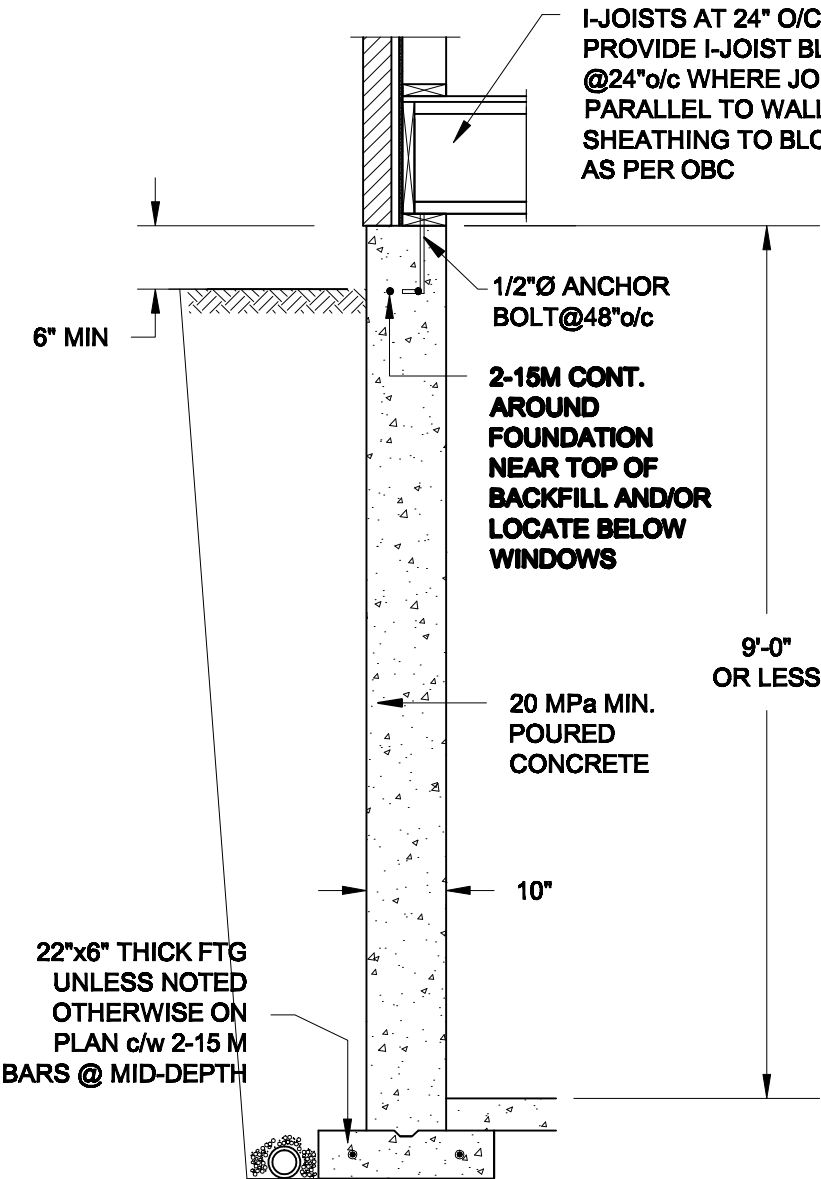
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))		
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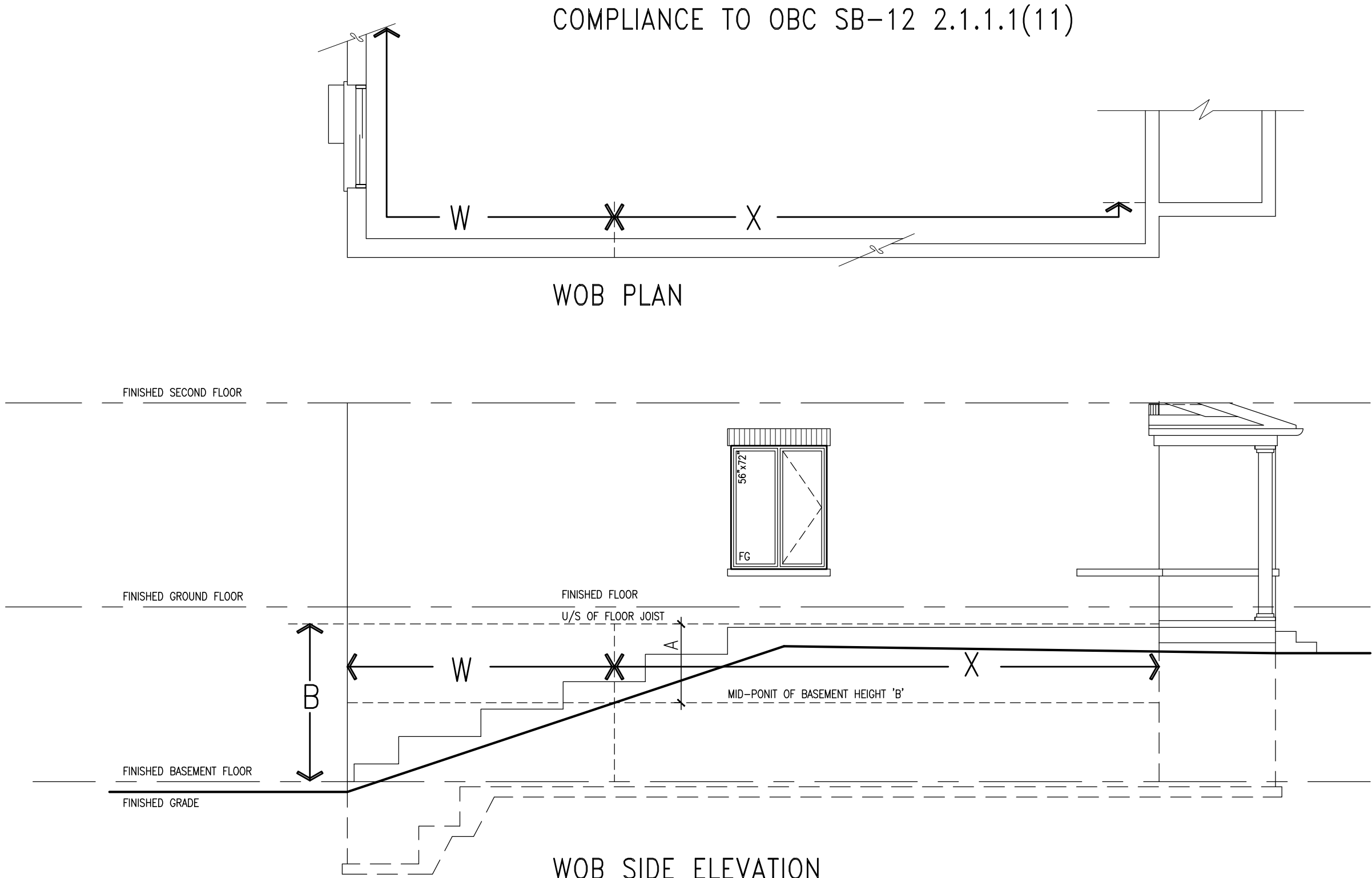


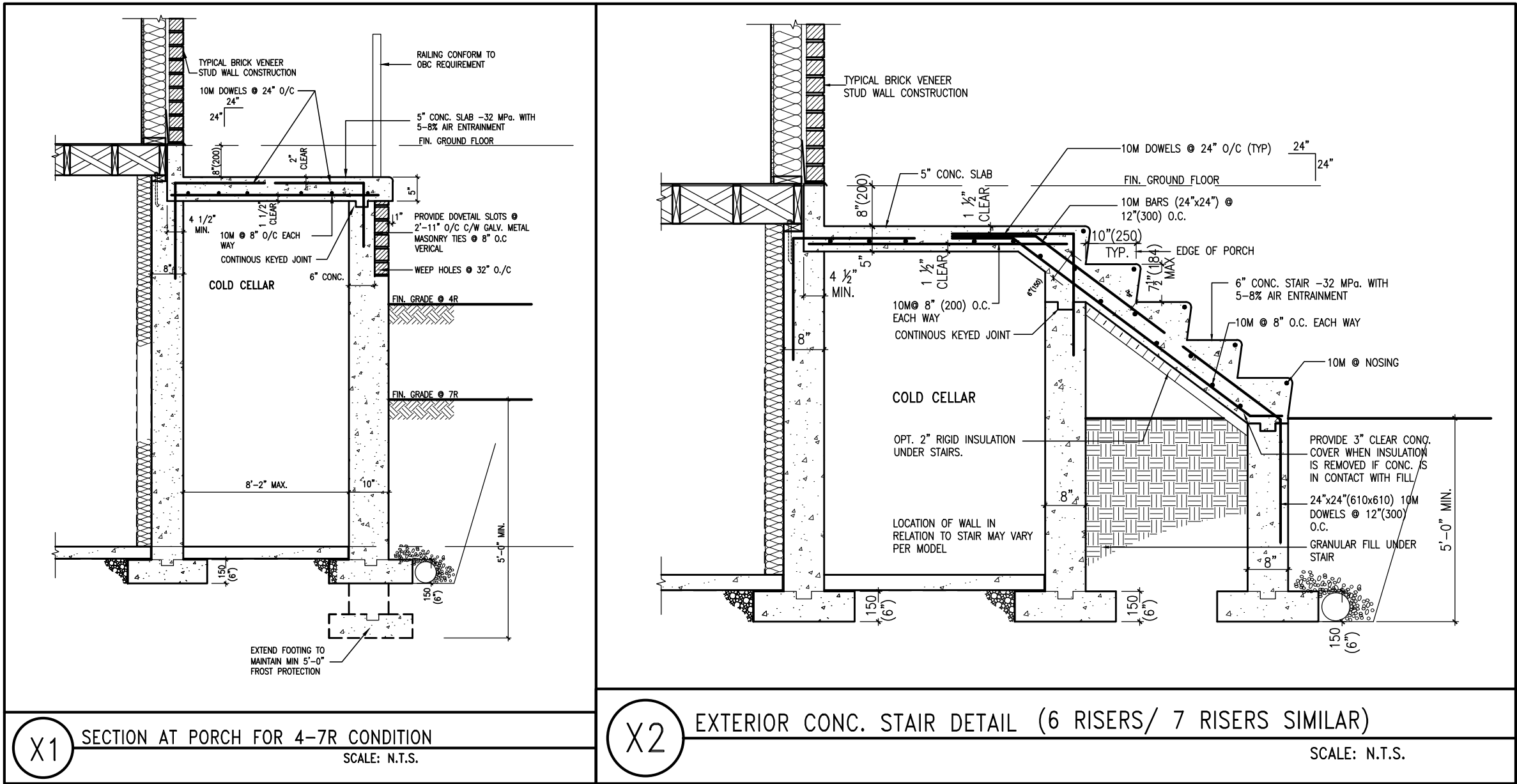
FOR 9 1/2" JOIST DEPTH





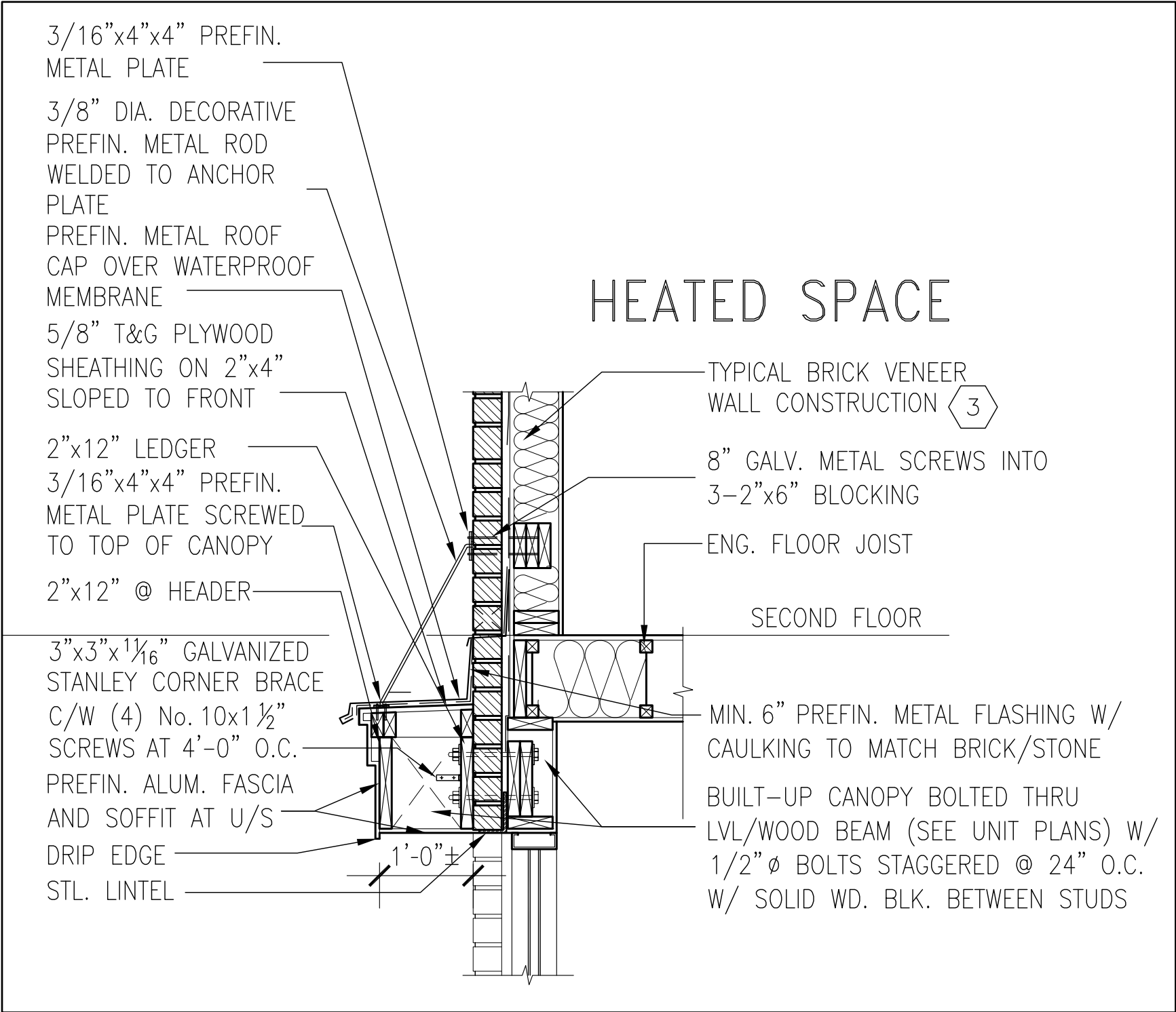






PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT



3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE