

10' GROUND

BASEMENT PLAN 'A'

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.



MAR 24, 2022

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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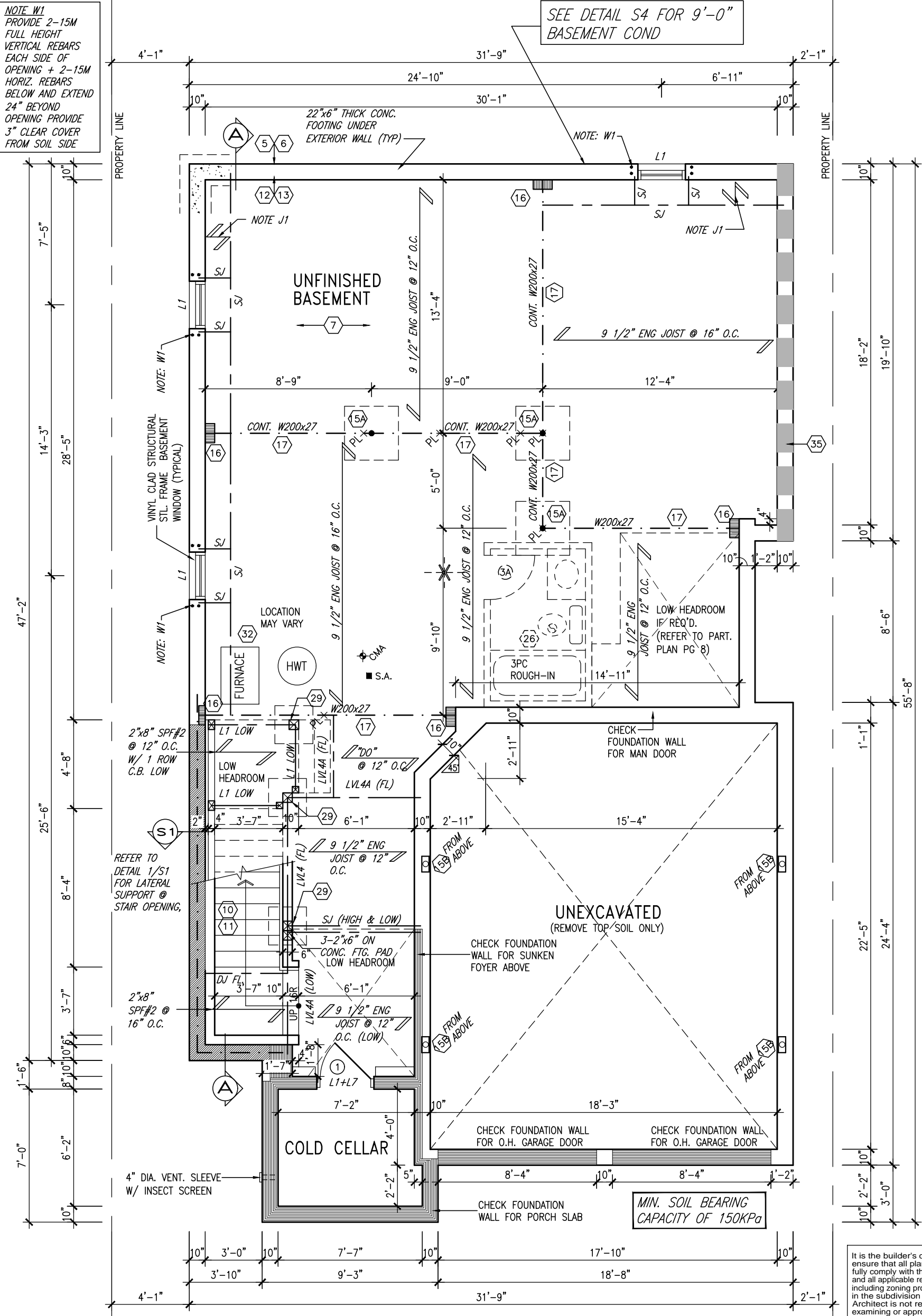
S38-3
BAROSSA 3

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
date
JANUARY, 2017
checked by
RC
scale
3/16" = 1'-0"

project no.
16023
drawing no.
1
file name
16023-S38-3-10GRND

BASEMENT PLAN ELEV. 'A'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



MAR 24, 2022

BASEMENT PLAN 'A'
(9'-0" BASEMENT)

ELEV. 'B' & 'C' SIMILAR

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S38-3
BAROSSA 3

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date JANUARY, 2017		drawing title BASEMENT PLAN ELEV. 'A'			drawing no. 1A
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-3-10GRND		
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INDICATES REDUCED SIDE YARD

CANOPY ABOVE FOR EL.'C' REAR UPG. ONLY

SEE CANOPY DETAIL CN-12 EL. 'C' REAR UPG. ONLY L3+L8

CANOPY ABOVE B3+L10

B3+L11

6'-0" PATIO DOOR

KITCHEN

8'10"x13'0"

BREAKFAST

8'7"x13'0"

GREAT ROOM

12'0"x18'0"

DINING

12'0"x14'4"

PWD

MIRROR

UPPERS

W

T

LAUNDRY

SUNKEN FOYER

OTA

FURR OUT 10"

UP 19R

L1+L7

3'-2"x8" 2 STOREY

3'-2"x8" 2 STOREY

3'-2"x8" 2 STOREY

3'-2"x8" 2 STOREY

3'-2"x8" 2 STOREY

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OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

GROUND FLOOR PLAN 'A' (10'-0" GROUND)

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CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

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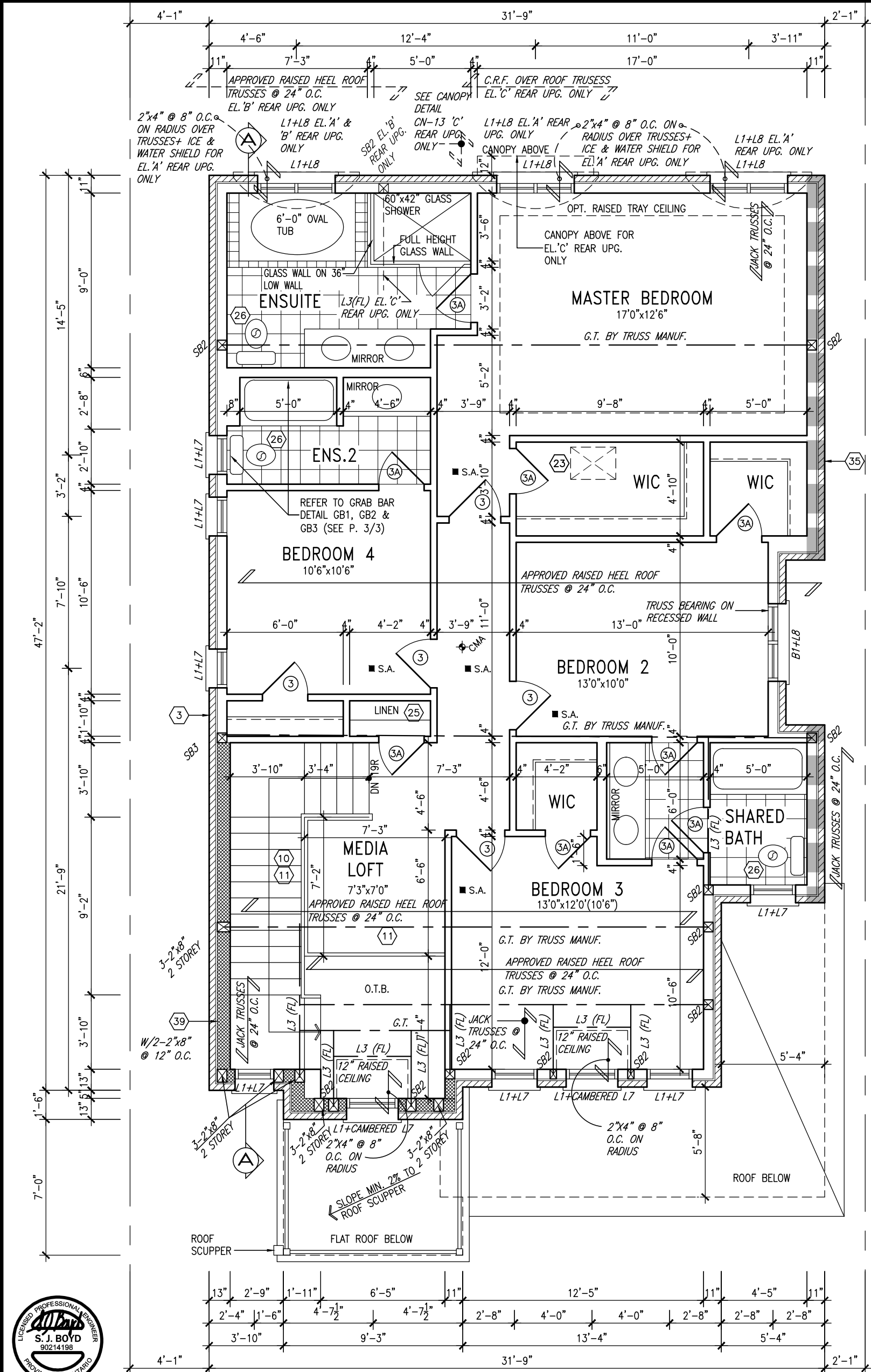
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S38-3

BAROSSA 3

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drawn by	WT	file name	16023-S38-3-10GRND	drawing no.	2
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10' GROUND

SECOND FLOOR PLAN 'A'



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GRAB BAR NOTE:

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GB-NOTE-2020.dwg

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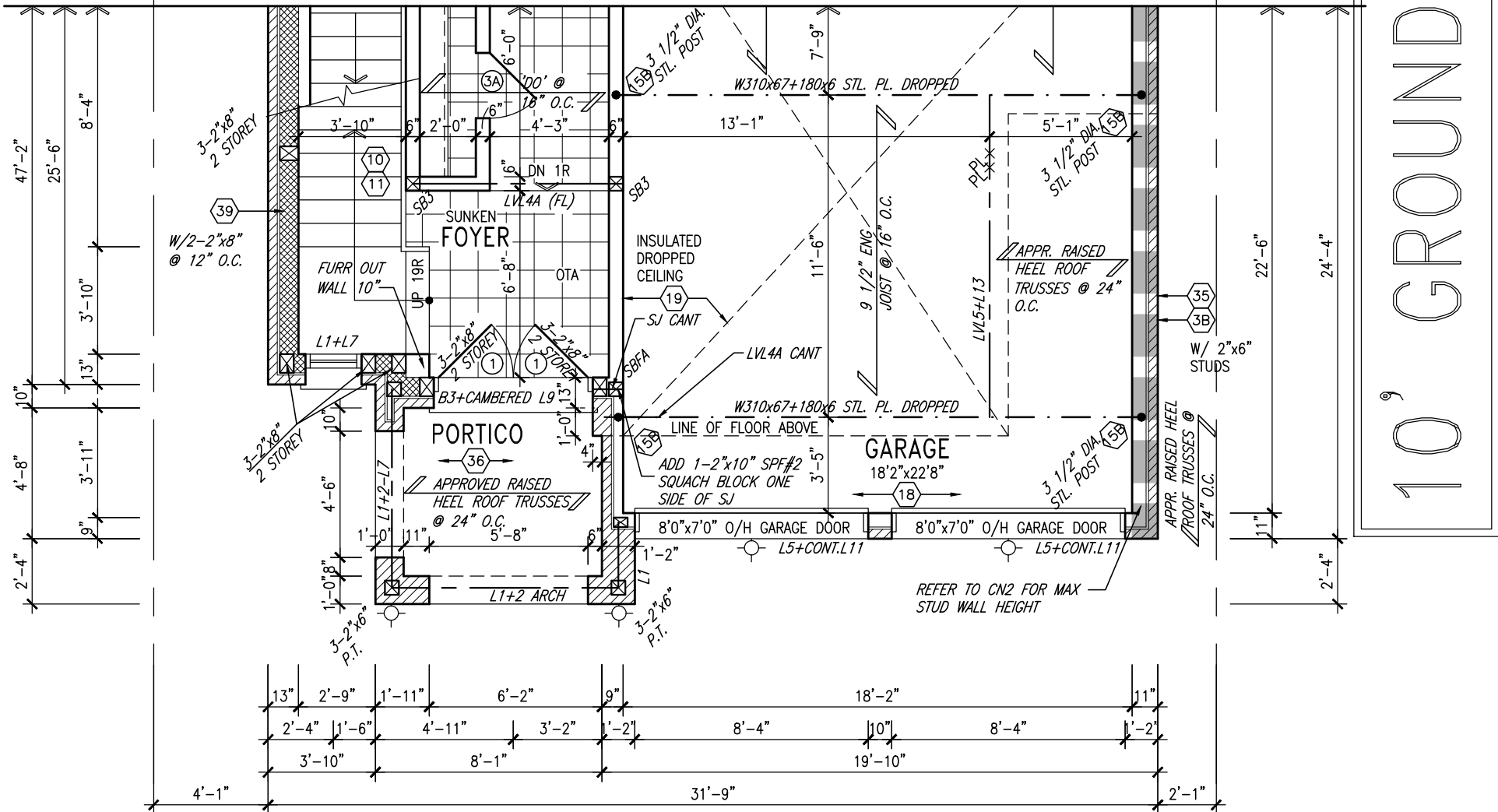
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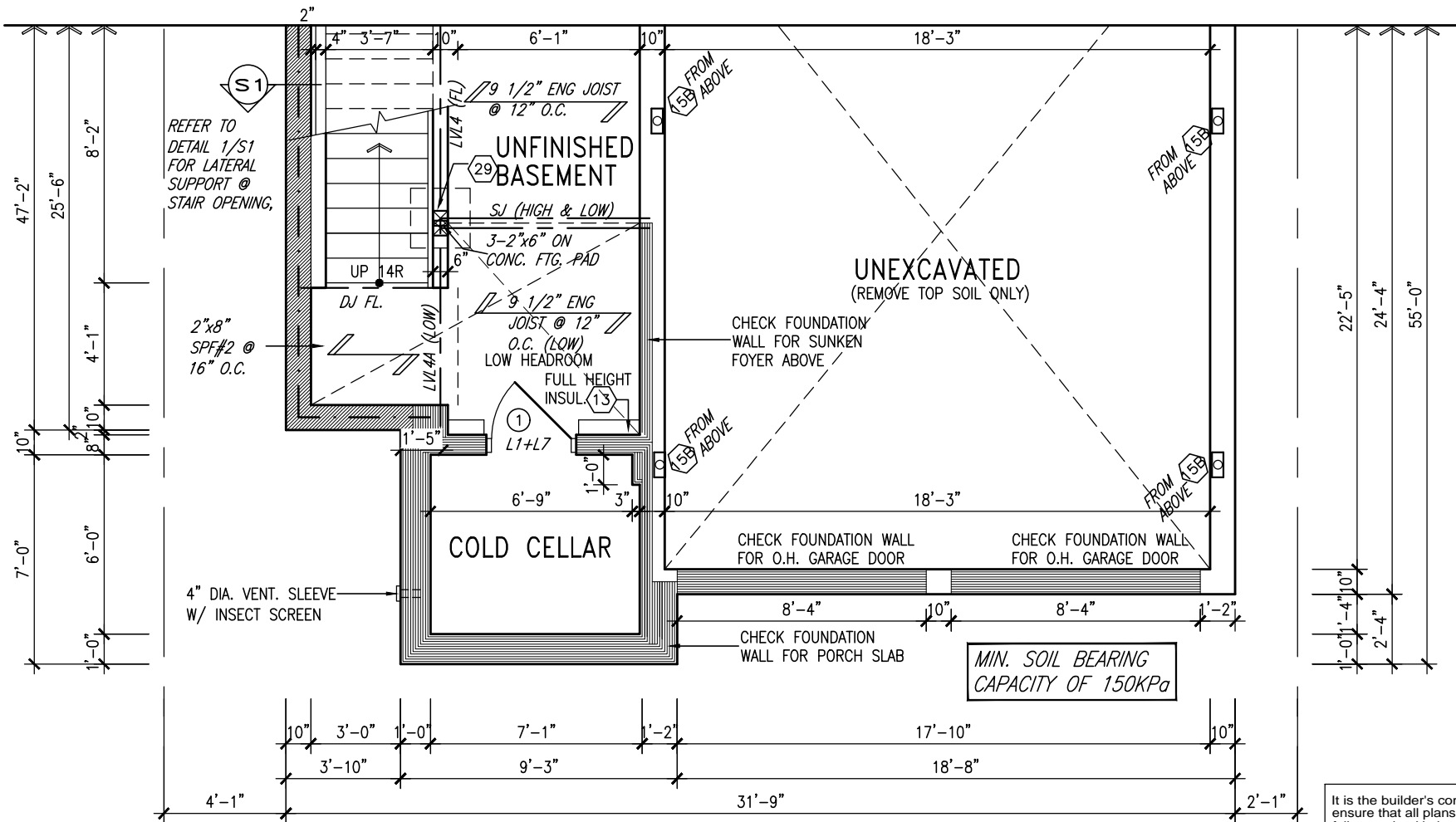
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

PARTIAL GROUND FLOOR PLAN 'B'
(10'-0" GROUND)



PARTIAL BASEMENT PLAN 'B'

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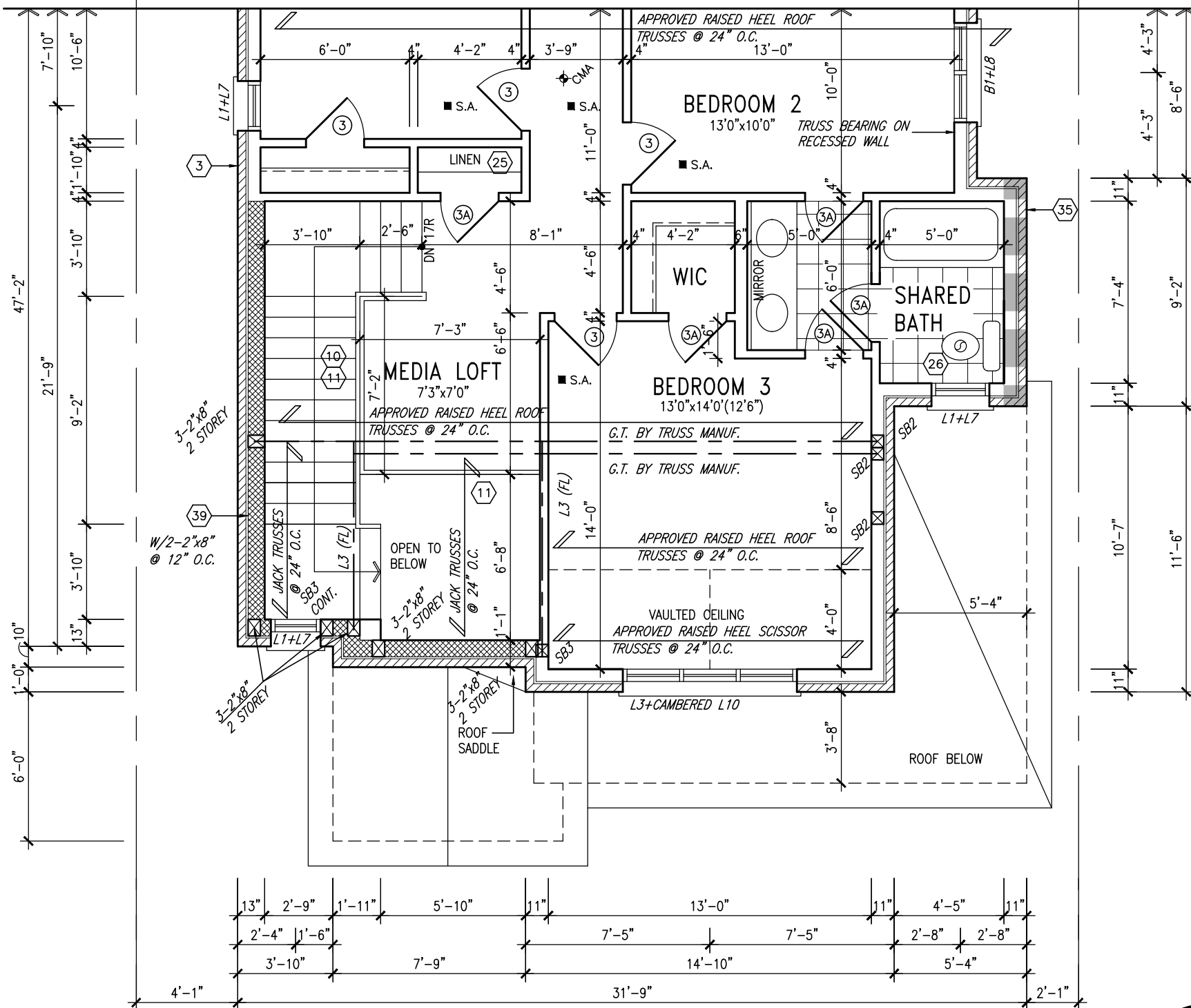
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10' GROUND



PARTIAL SECOND FLOOR PLAN 'B'



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GRAB BAR NOTE:

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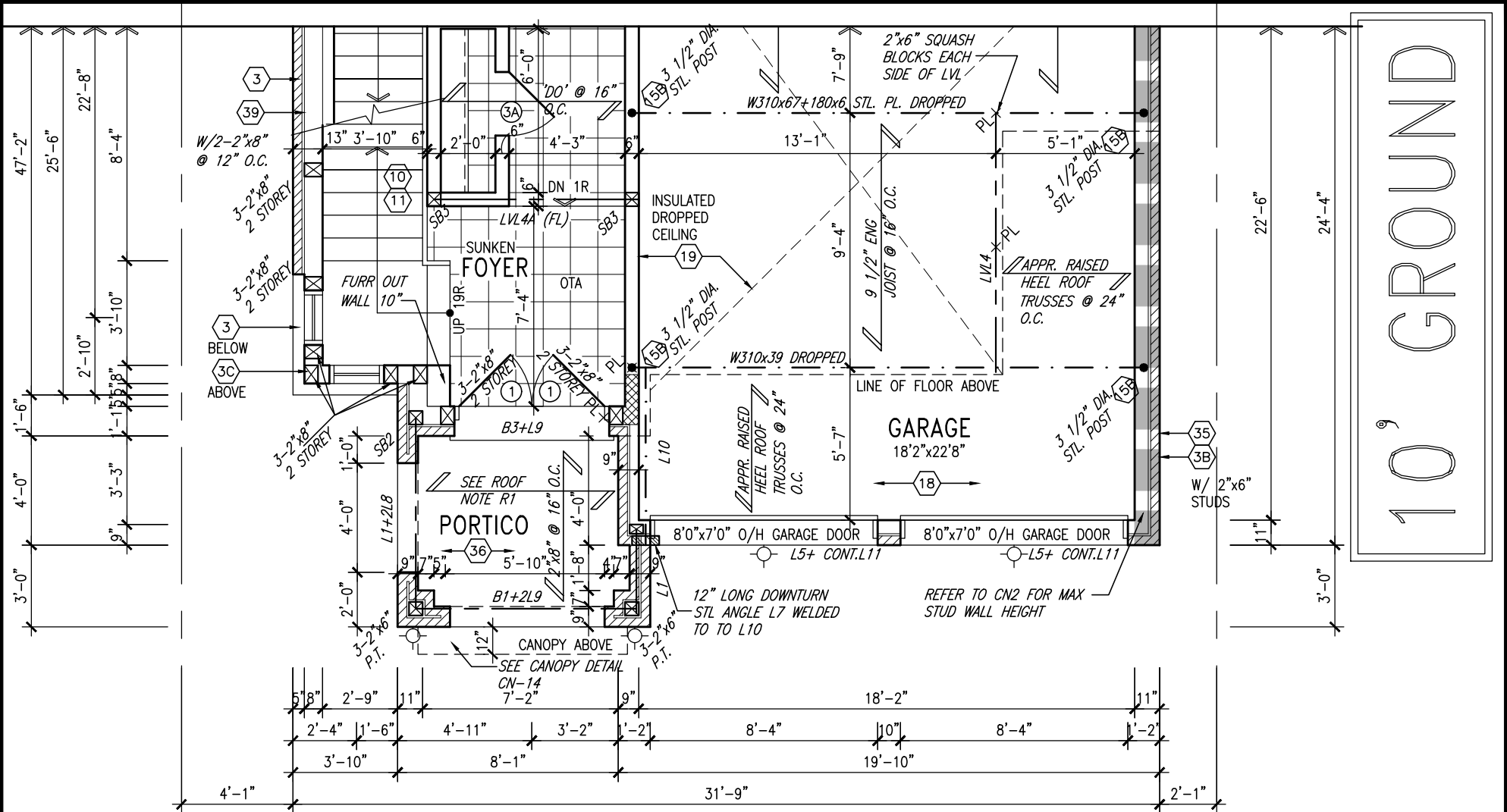


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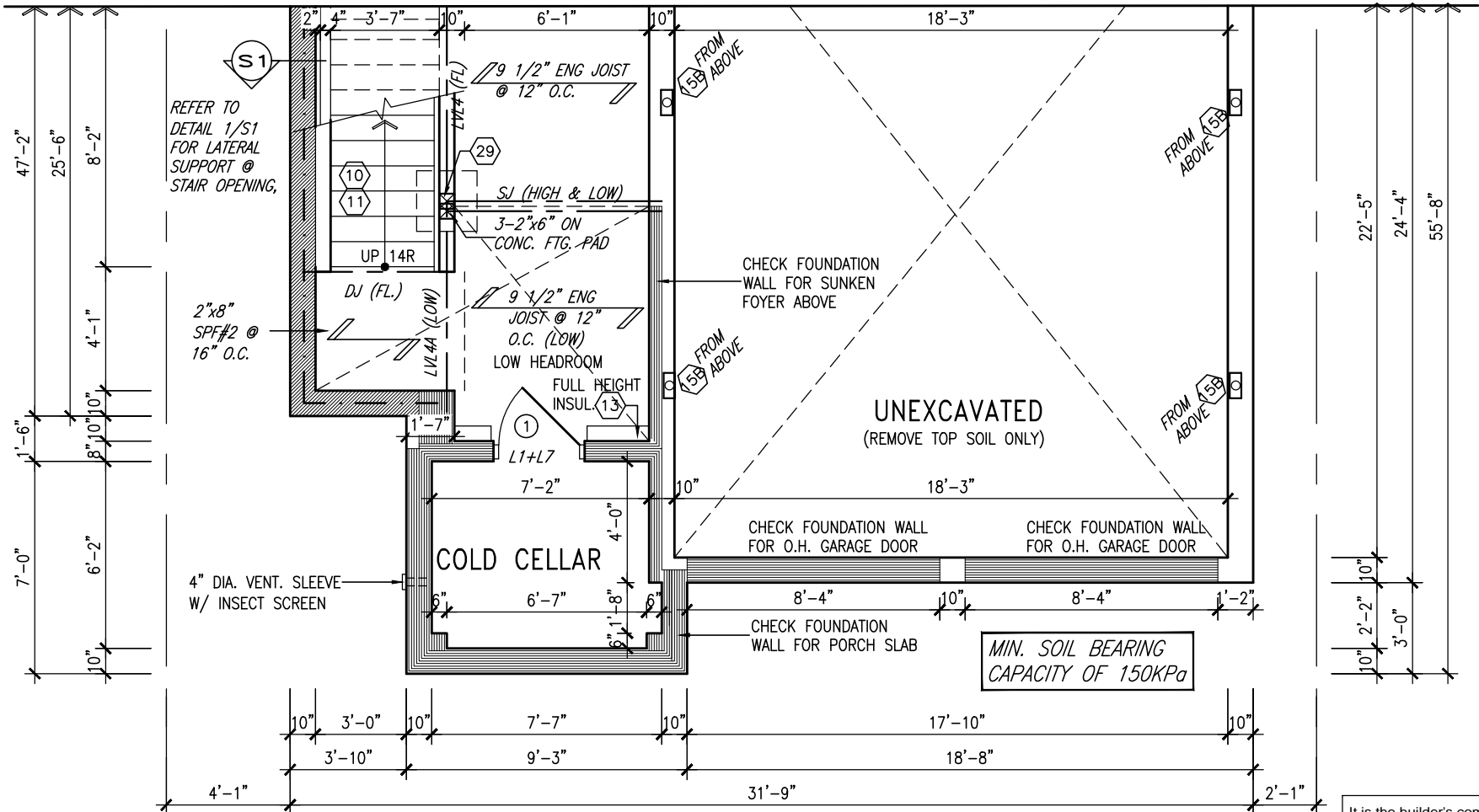
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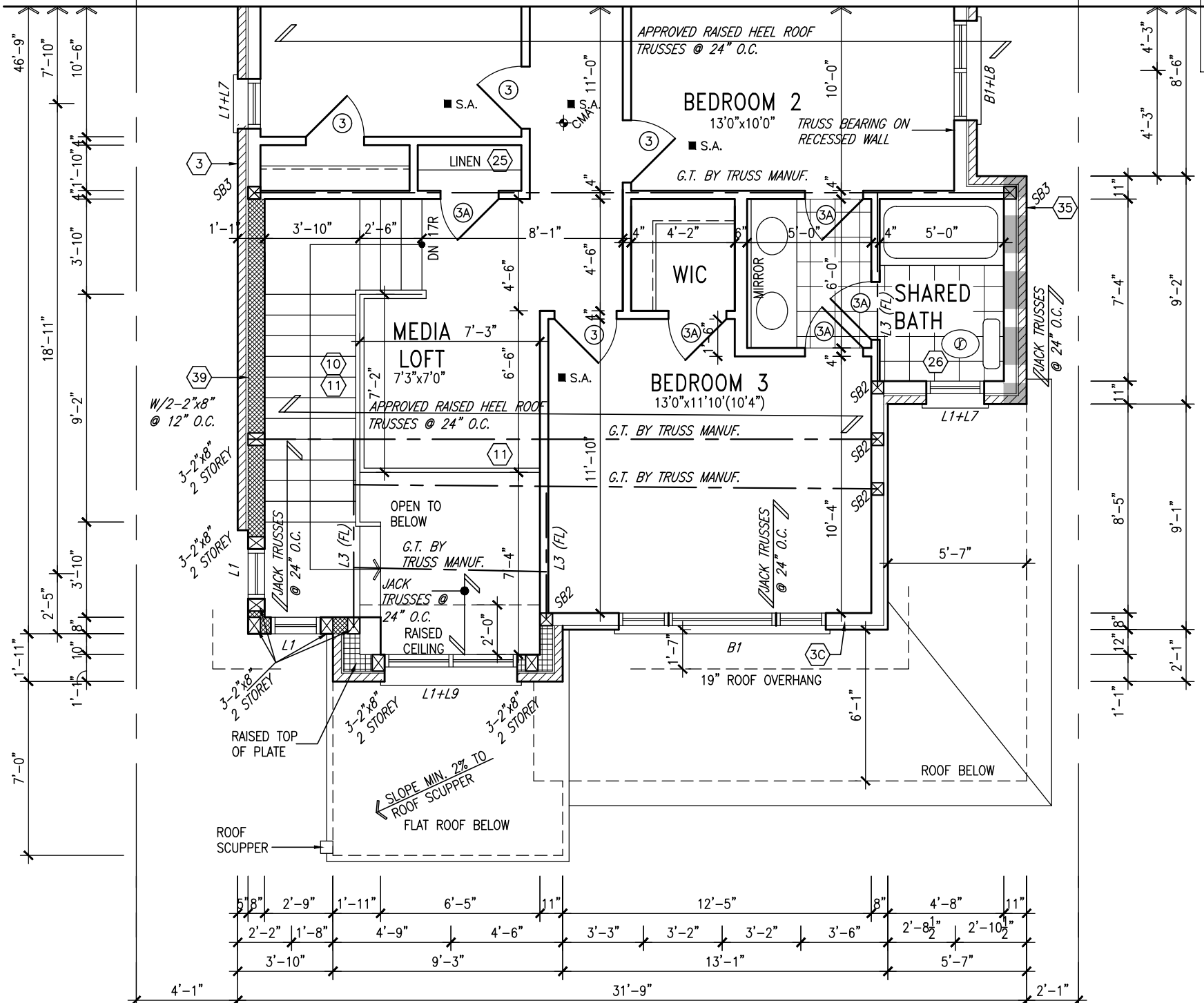
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10' GROUND



PARTIAL SECOND FLOOR PLAN 'C'

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



MAR 24, 2022

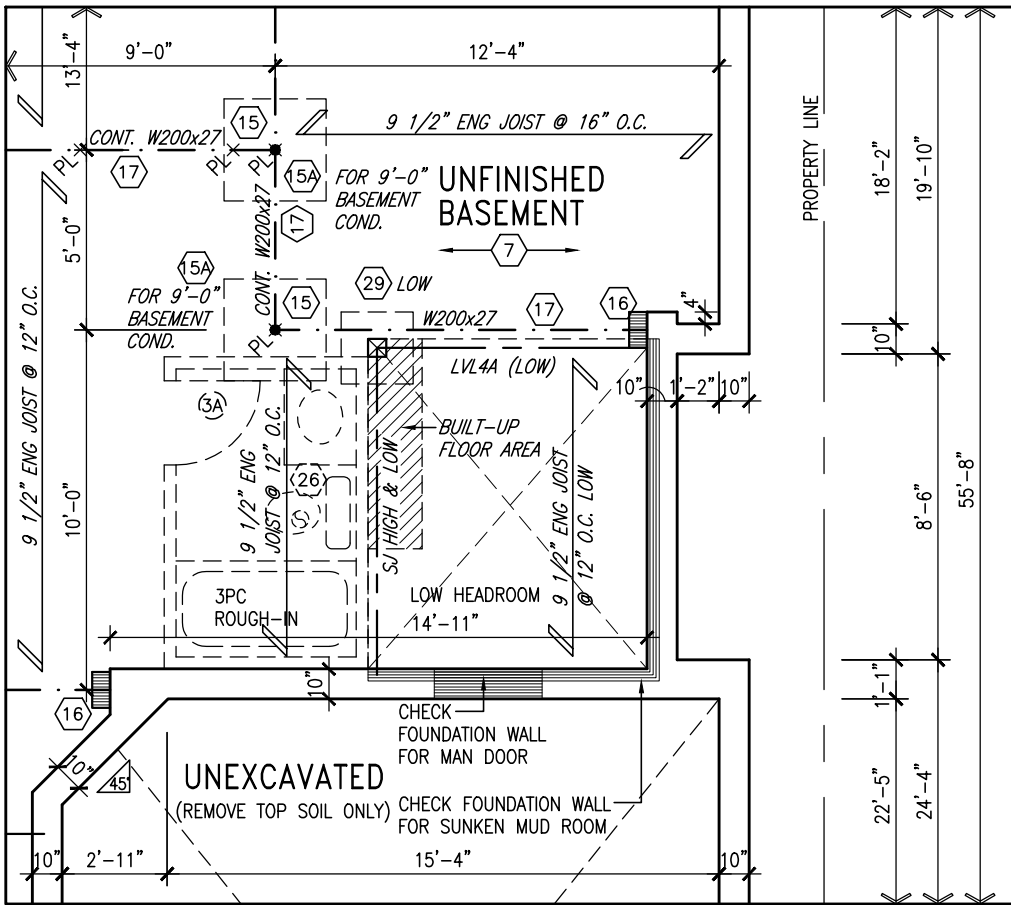
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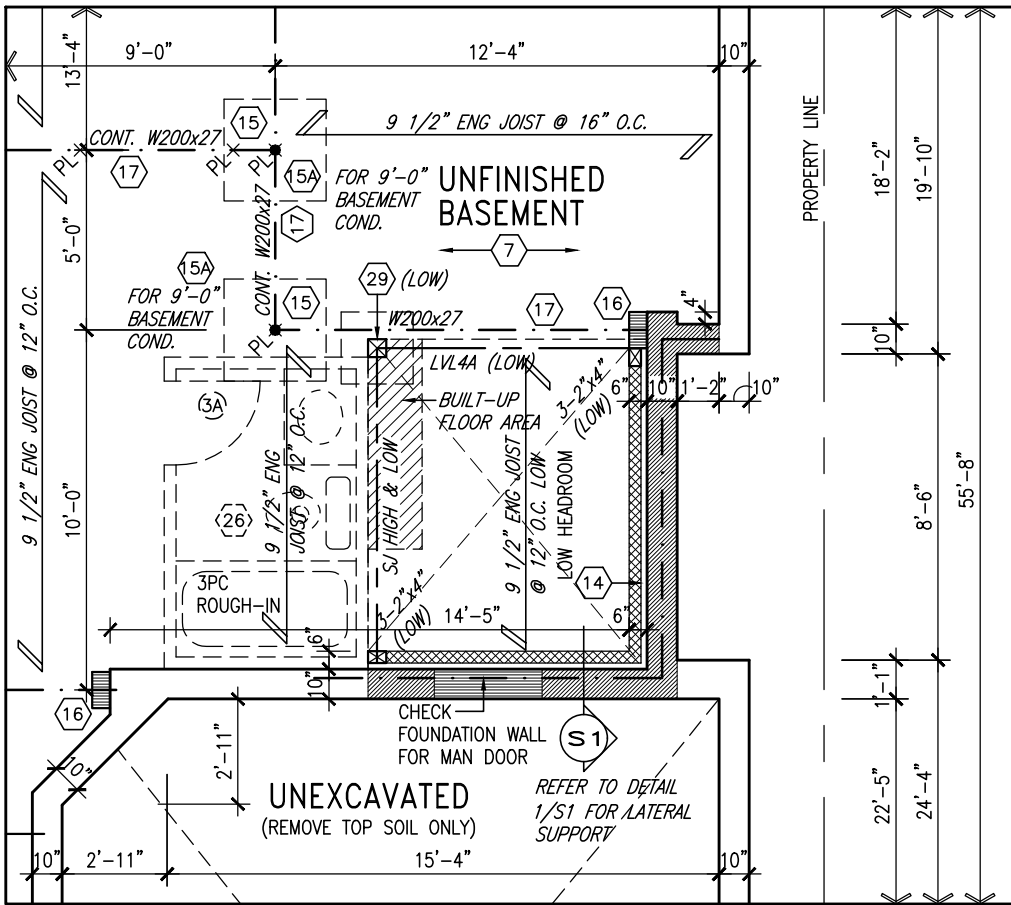
9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

BAYVIEW WELLINGTON		S38-3 BAROSSA 3	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	JANUARY, 2017	part. second floor plan elev. 'C'	drawing no. 7
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S38-3-10GRND
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10' GROUND



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 1R
CONDITION



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 2R-3R
CONDITION



MAR 24, 2022

AREA CALCULATIONS

	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1151.8 SF	1145.9 SF	1151.8 SF
SECOND FLOOR AREA	1440.6 SF	1462.6 SF	1425.9 SF
SUBTOTAL	2592.5 SF	2608.6 SF	2577.7 SF
DEDUCT ALL OPENINGS	48.7 SF	44.4 SF	48.7 SF
TOTAL NET AREA	2544 SF	2564 SF	2529 SF
	236.3 m ²	238.2 m ²	234.9 m ²
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2544 SF	2564 SF	2529 SF
W/ FIN BSMT	236.3 m ²	238.2 m ²	234.9 m ²
COVERAGE W/O PORCH	1601.7 SF	1596.4 SF	1601.7 SF
	148.8 m ²	148.3 m ²	148.8 m ²
COVERAGE W/PORCH	1661.8 SF	1655.7 SF	1661.8 SF
	154.4 m ²	153.8 m ²	154.4 m ²

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC	Wellington Jno-Baptiste 25591
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC	name
5	10' GROUND FLOOR	MAY 10-21	RC	registration information
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC	VA3 Design Inc. 42658
3	ADD OPT. 9' BASEMENT	APR 06-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

**S38-3
BAROSSA 3**

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-3-10GRND	drawing no.	8
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3-10GRND.dwg - Wed - Mar 23, 2022 - 2:38 PM					

10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	674.08 S.F.	162.86 S.F.	24.16 %
LEFT SIDE	1022.00 S.F.	59.67 S.F.	5.84 %
RIGHT SIDE	1022.00 S.F.	27.28 S.F.	2.67 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3384.83 S.F.	414.98 S.F.	12.26 %
TOTAL SQ. M.	314.46 S.M.	38.55 S.M.	12.26 %

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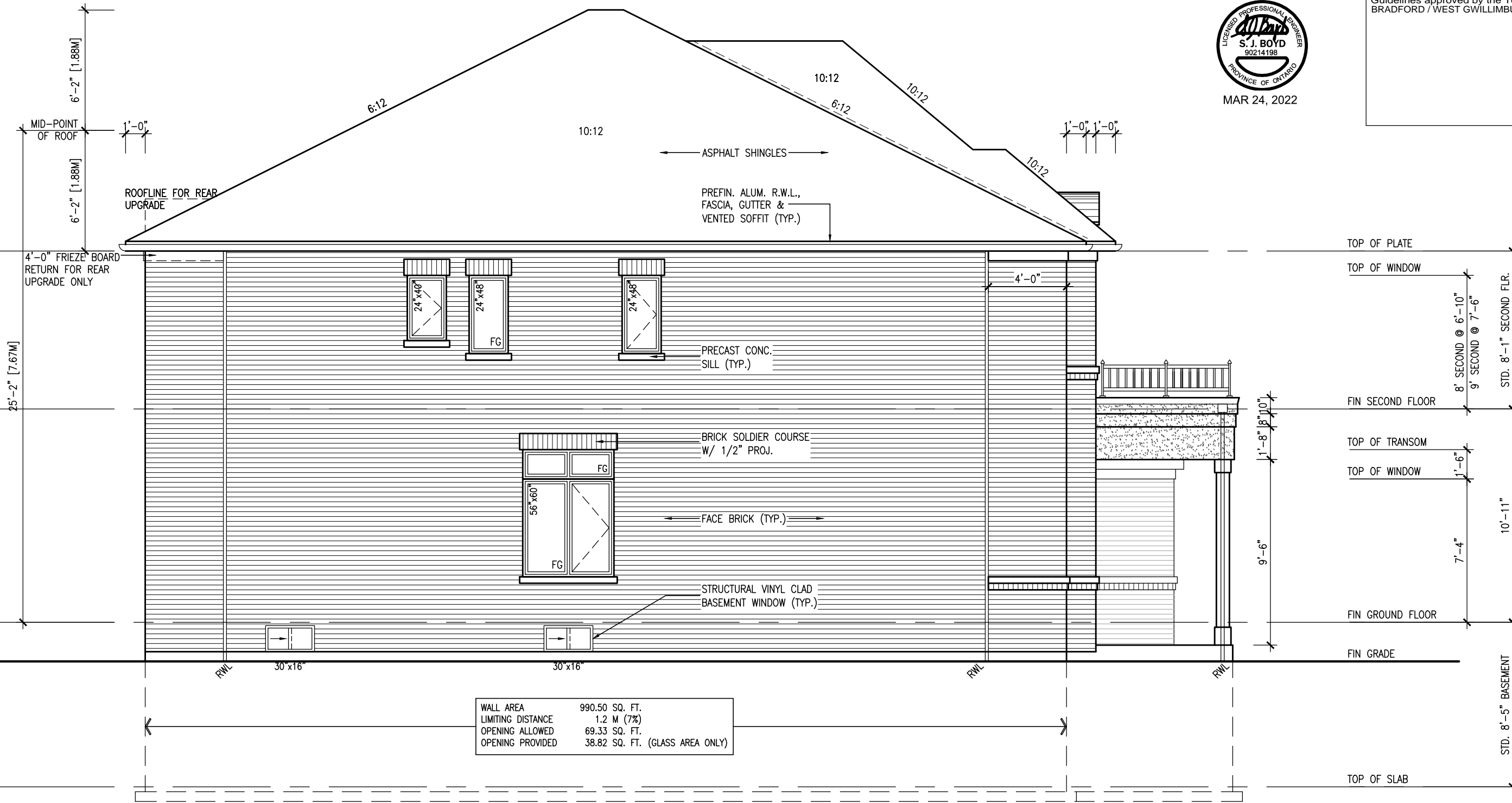
10' GROUND



MAR 24, 2022

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TOP OF SLAB
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE

8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
7'-4"
1'-6"
1'-8" @ 8" @ 10"

STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

WALL AREA	990.50 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	69.33 SQ. FT.
OPENING PROVIDED	38.82 SQ. FT. (GLASS AREA ONLY)

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

LEFT SIDE ELEVATION 'A'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

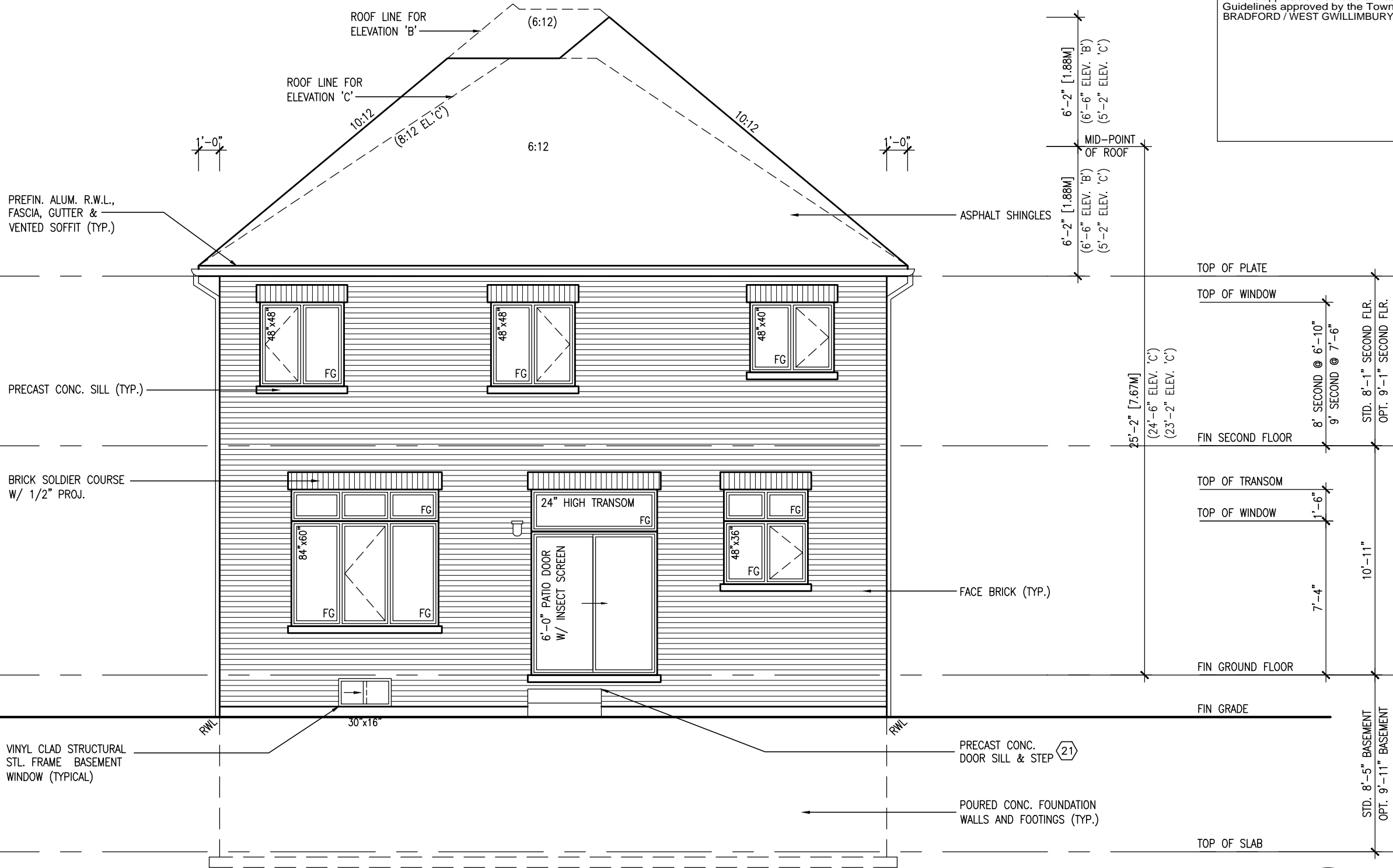
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

BAYVIEW WELLINGTON		S38-3 BAROSSA 3	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	10
date	JANUARY, 2017	scale	3/16" = 1'-0"
checked by	RC	drawn by	WT
LEFT SIDE ELEVATION 'A'			
16023-S38-3-10GRND.dwg - Wed - Mar 23 2022 - 2:38 PM			
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VA3 DESIGN			
255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591 BCN			
VA3 Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		

10' GROUND

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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES



MAR 24, 2022

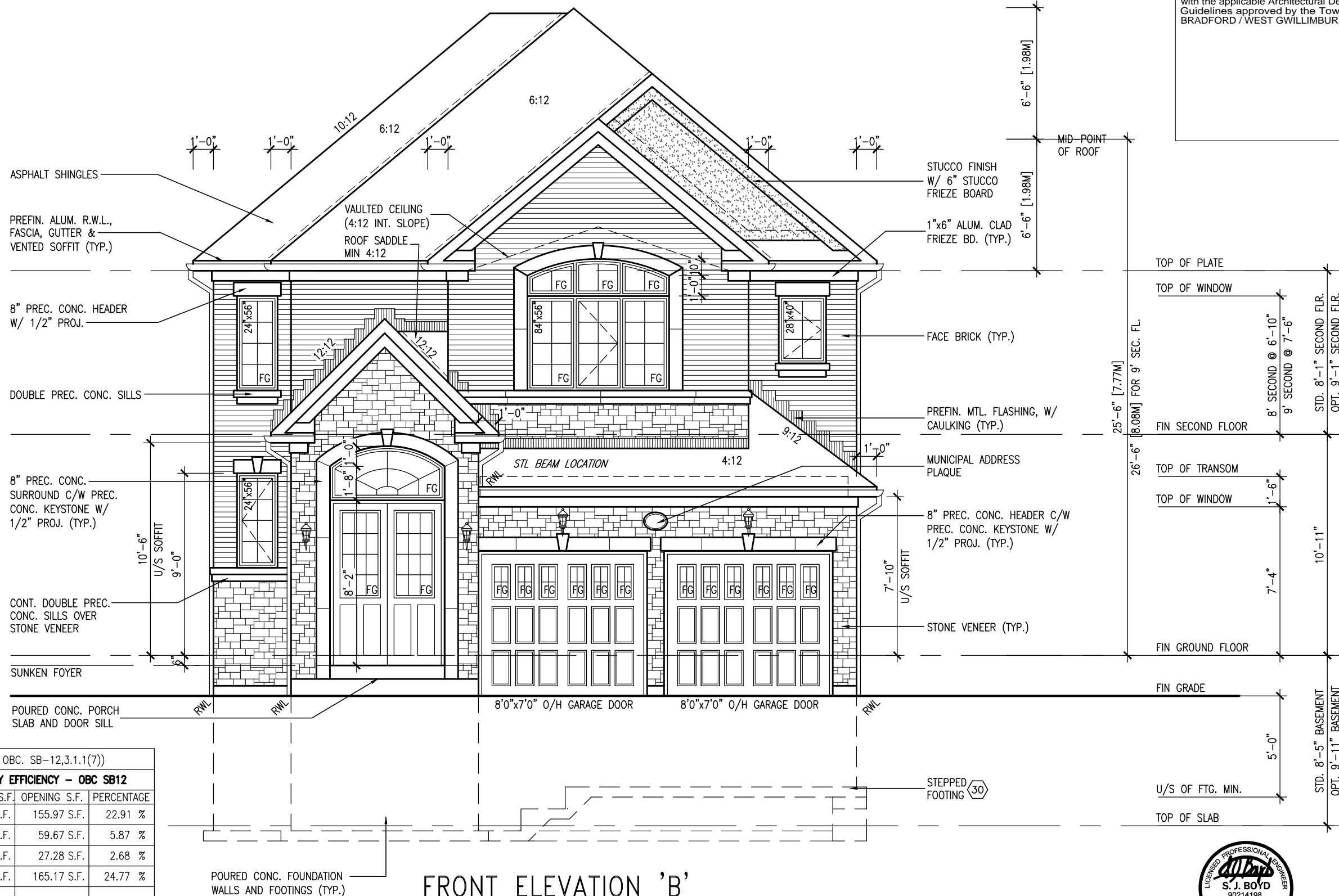
project name		project no.	
BAYVIEW WELLINGTON		S38-3	
GREEN VALLEY EAST		BAROSSA 3	
date		drawing no.	
JANUARY, 2017		16023	
checked by		municipality	
RC		BRADFORD, ONT.	
scale		REAR ELEVATION 'A'	
3/16" = 1'-0"		file name	
down by		16023-S38-3-10GRND	
WT		drawing no.	
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Wellington Jno-Baptiste	25591
name	BCIN
VAS Design Inc.	42658
registration information	
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no.	description
9	
8	
7	REVISED AS PER ENG'S COMMENTS
6	REVISED AS PER FLOOR LAYOUTS
5	10' GROUND FLOOR
4	REVISED AS PER ENG COMMENTS
3	ADD OPT. 9' BASEMENT
2	REVISED AS PER ENG'S COMMENTS
1	ISSUED FOR CLIENT REVIEW
	date
	by



10⁹ GROUND

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MAR 24. 2022

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B/B REAR UPG. W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	680.83 S.F.	155.97 S.F.	22.91 %
LEFT SIDE	1017.00 S.F.	59.67 S.F.	5.87 %
RIGHT SIDE	1016.92 S.F.	27.28 S.F.	2.68 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3381.50 S.F.	408.09 S.F.	12.07 %
TOTAL SQ. M.	314.15 S.M.	37.91 S.M.	12.07 %

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information
Wellington Uno-Baptiste
Name
Registration Information
Signature
BCIN
42568

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10⁹ GROUND

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

LEFT SIDE ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



MAR 24, 2022

[illegible]

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255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date JANUARY, 2017 drawn by WT checked by RC scale 3/16" = 1'-0" file name 16023-S38-3-10GRND LEFT SIDE ELEVATION 'B' drawing no. 14



<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C/C REAR UPG. W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3388.58 S.F.	461.66 S.F.	13.62 %
TOTAL SQ. M.	314.81 S.M.	42.89 S.M.	13.62 %

10⁹ GROUND

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[illegible]

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BAYVIEW WELLINGTON	S38-3 BAROSSA 3
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
date JANUARY, 2017	project no. 16023
dwn by WT	drawing no. 17
checked by RC	scale 3/16" = 1'-0"
units RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\S38\16023-S38-3-10GRND.dwg - Wed	file name 16023-S38-3-10GRND
left side elevation 'C'	right side elevation 'D'

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>Registration information</p>	<p>Wellington Jno-Baptiste</p>	<p>25591</p>
	<p>name</p> <p>registration information</p> <p>signature</p>	<p>BCIN</p> <p>42658</p>

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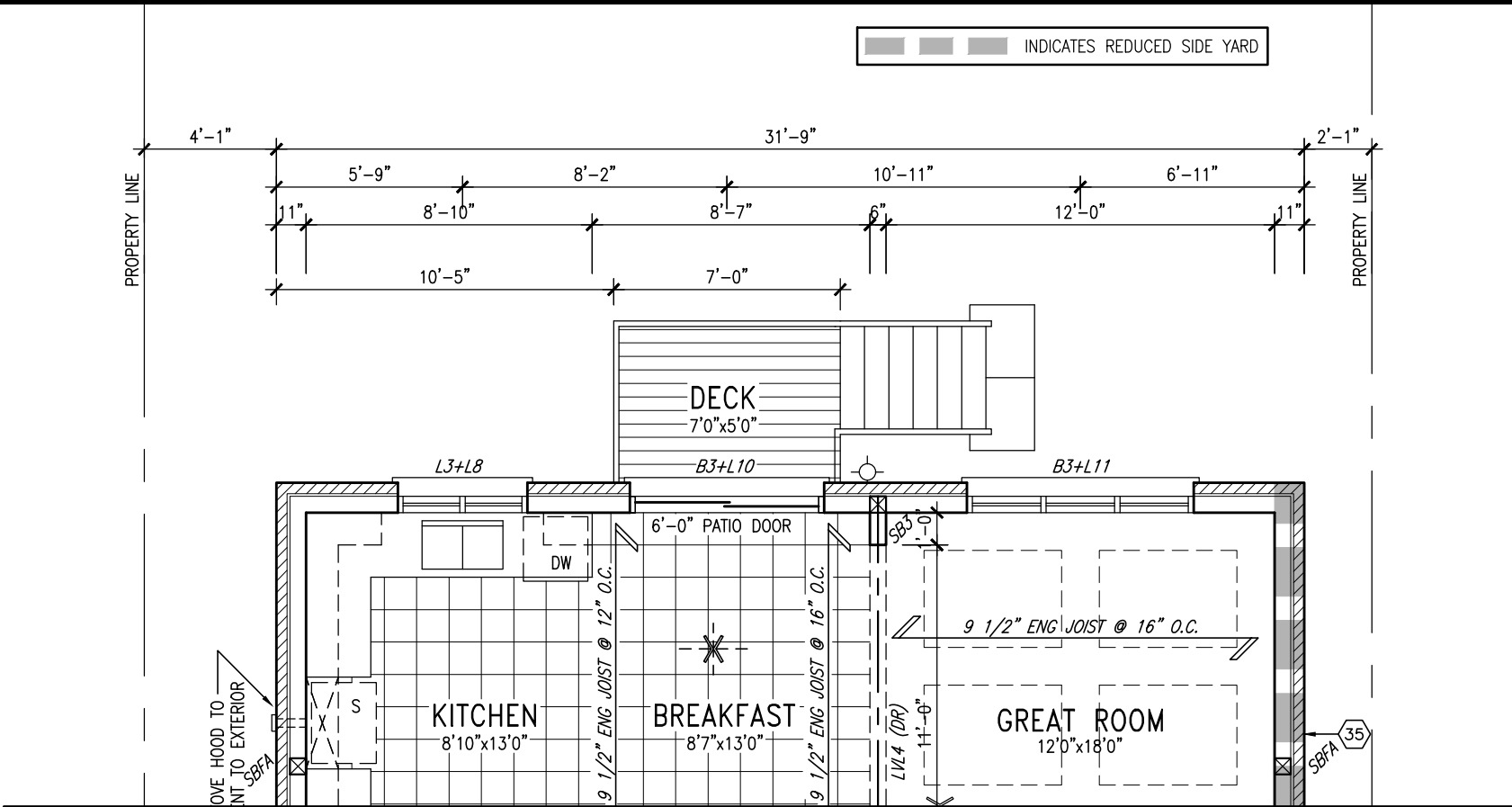
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

LEFT SIDE ELEVATION 'C'

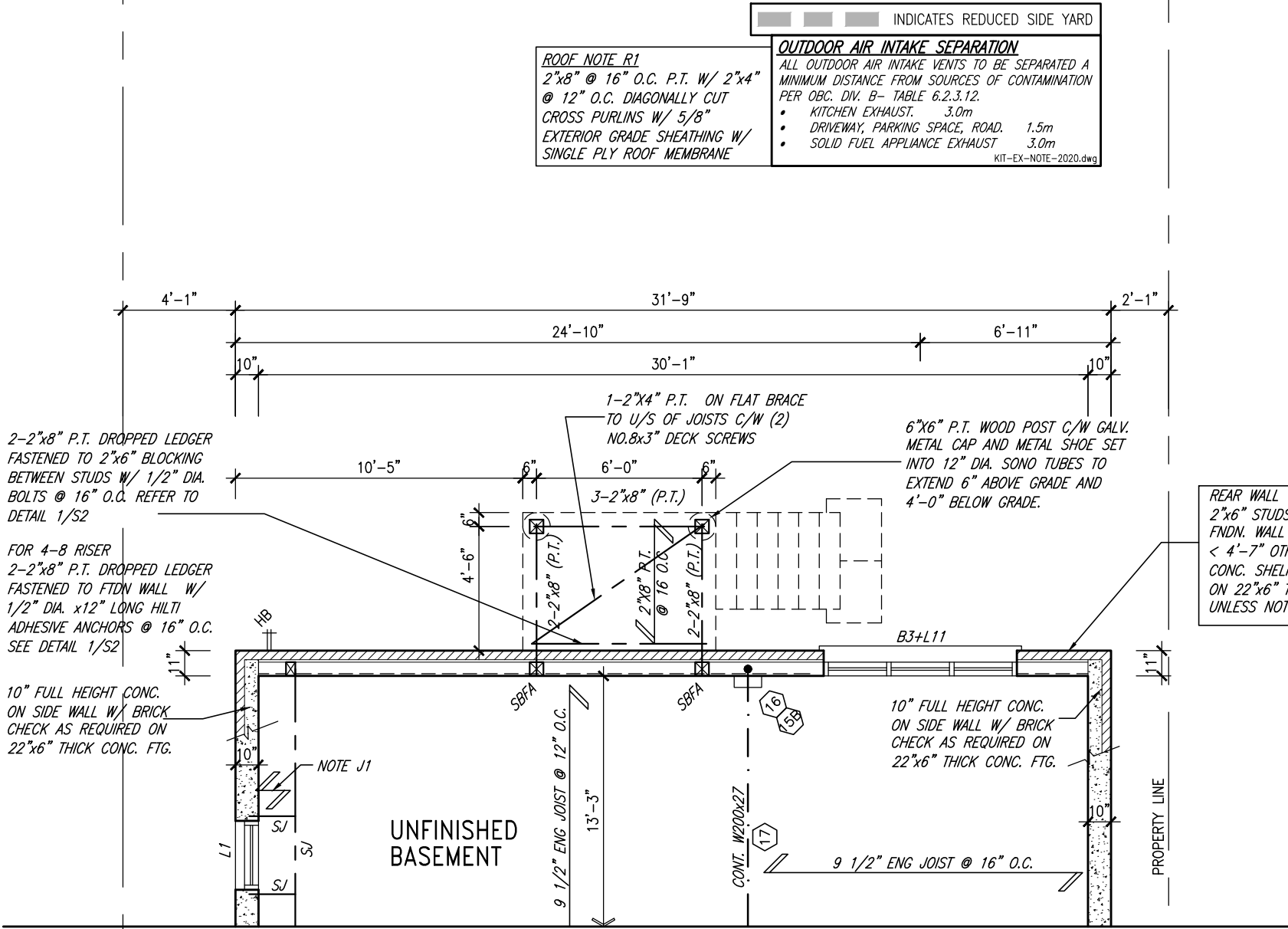
R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

[illegible]



GROUND FLOOR PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



BASEMENT PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



MAR 24, 2022

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

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8	.	.	.
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5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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qualification information			
name	Wellington Jno-Baptiste	25591	BCIN
registration information	VA3 Design Inc.	42658	
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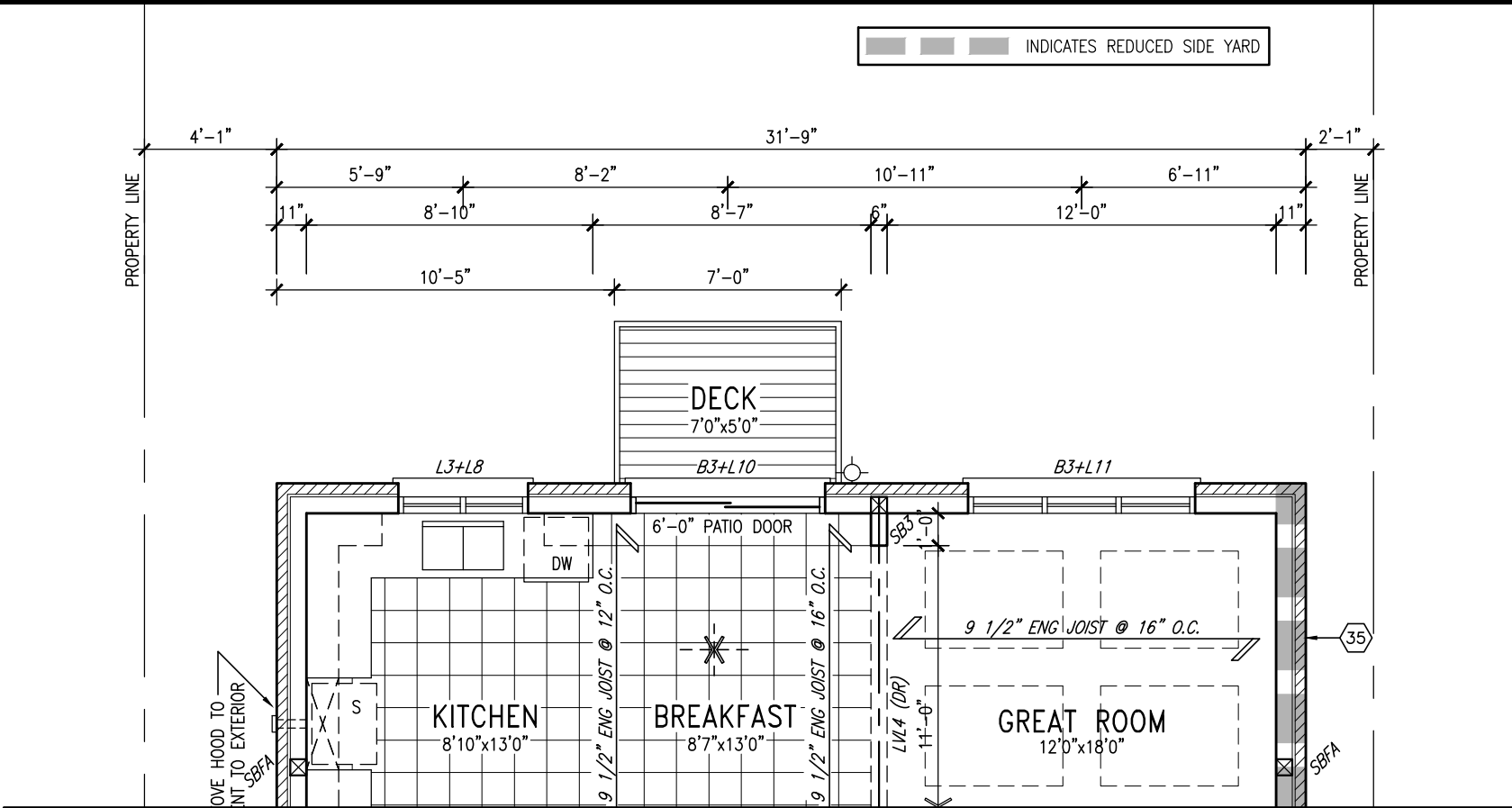
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

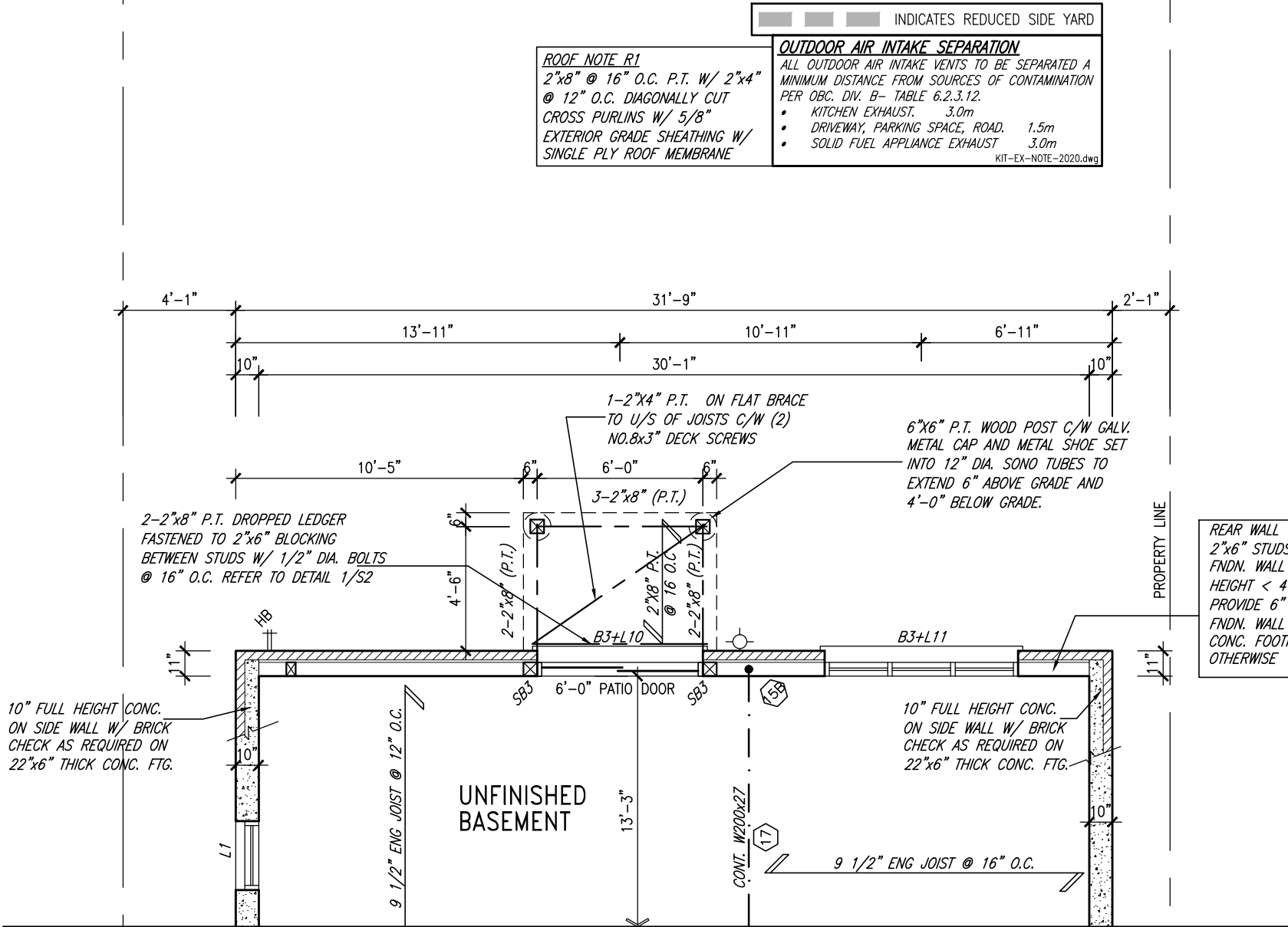
S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S38-3-10GRND		

project no.	16023
drawing no.	19



GROUND FLOOR PLAN 'A' - W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR



BASEMENT PLAN 'A' - W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR



MAR 24, 2022

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information		42658	
VA3 Design Inc.			
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project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
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S38-3
BAROSSA 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

project no.
16023

drawing no.

21

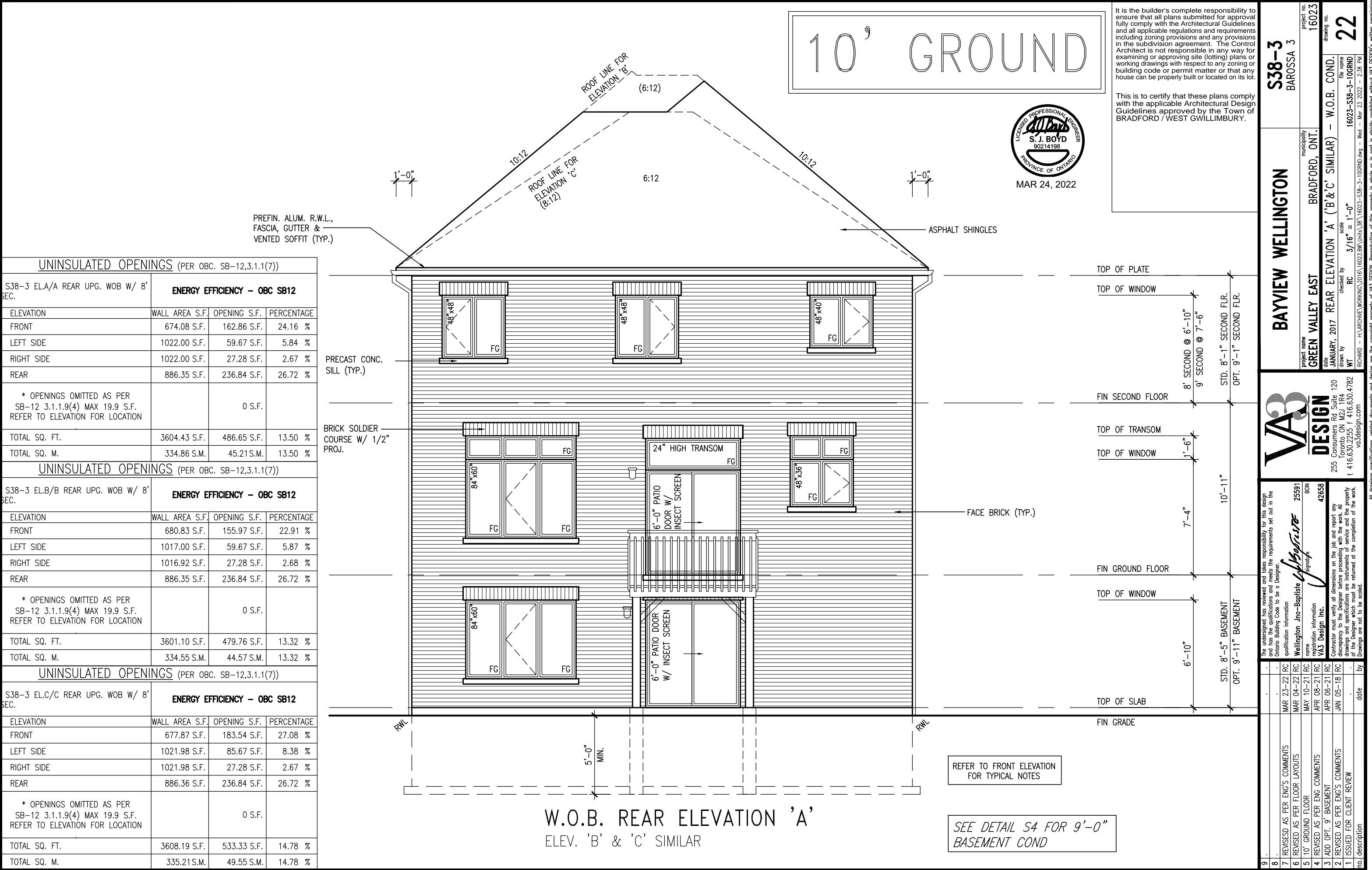


Table with 4 columns: ELEVATION, WALL AREA S.F., OPENING S.F., PERCENTAGE. It contains three sections of data for 'UNINSULATED OPENINGS' for elevations A, B, and C, detailing window and door areas and percentages.



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Project information block containing: Project name (BAYVIEW WELLINGTON), Municipality (BRADFORD, ONT.), Project no. (S38-3 BAROSSA 3), Drawing no. (22), Date (JANUARY, 2017), and a list of revision dates and descriptions.

10⁹ GROUND



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S38-3
BAROSSA 3

project no.
16023

N 'A-A'	drawing no.
file name	23
-3-10GRND	

2:22 - 2:39 PM

BAYVIEW WELLINGTON


VALLEY EAST
BRADFORD, ONT.
municipality

2017

checked by RC scale $3/16'' = 1'-0''$

\\ARCHIVE\WORKING\2016\16023.BW\Units\36\16023-S38-3-10GRND.dwg - Wed

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

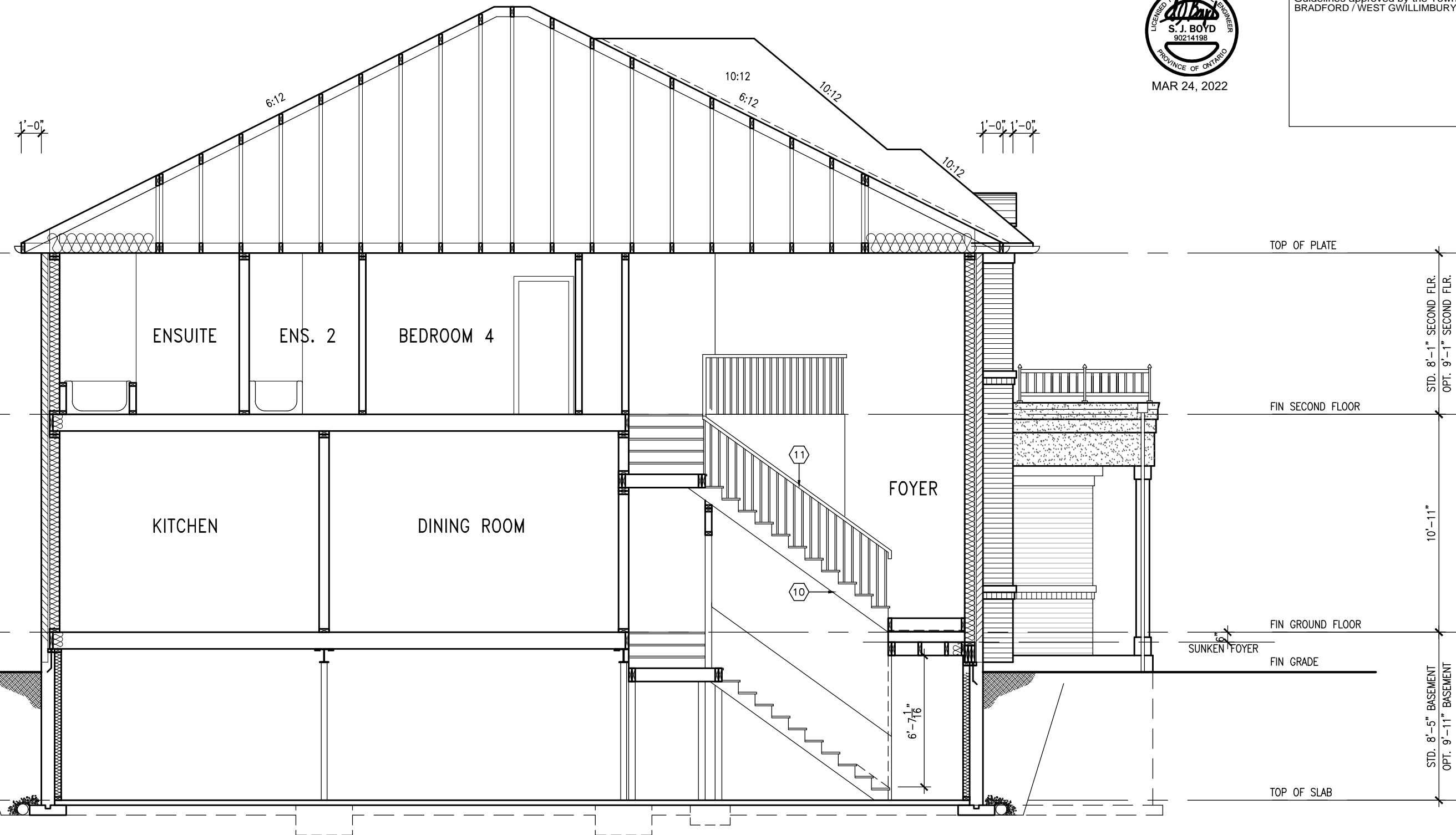
<p> The undersigned has reviewed and takes responsibility for this design and the information provided. The undersigned understands that the requirements set out in the Ontario Building Code to be a Designer. </p> <p> qualification information </p> <p> Wellington Jno-Baptiste </p> <p> name </p> <p> registration information </p> <p> VAS Design Inc. </p>	<p>  </p> <p> signature </p> <p> 2559 </p> <p> BCI# </p> <p> 425555 </p>
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Drawings are not to be scaled.

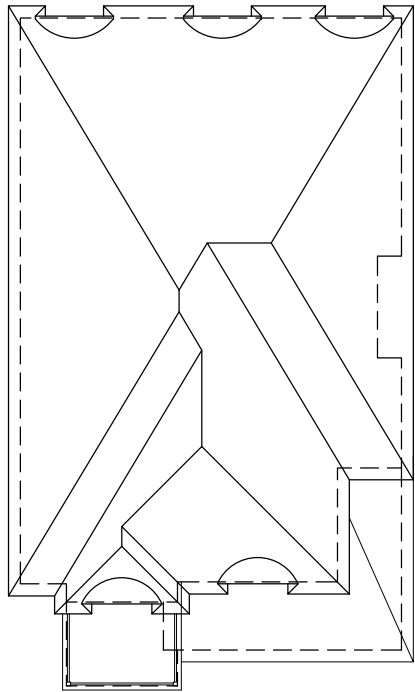
9	7	REVISED AS PER ENG'S COMMENTS	MAR 23--22	RC
8	6	REVISED AS PER FLOOR LAYOUTS	MAR 04--22	RC
7	5	10' GROUND FLOOR	MAY 10--21	RC
6	4	REVISED AS PER ENG COMMENTS	APR 08--21	RC
5	3	ADD OPT. 9' BASEMENT	APR 06--21	RC
4	2	REVISED AS PER ENG'S COMMENTS	JAN 05--18	RC
3	1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
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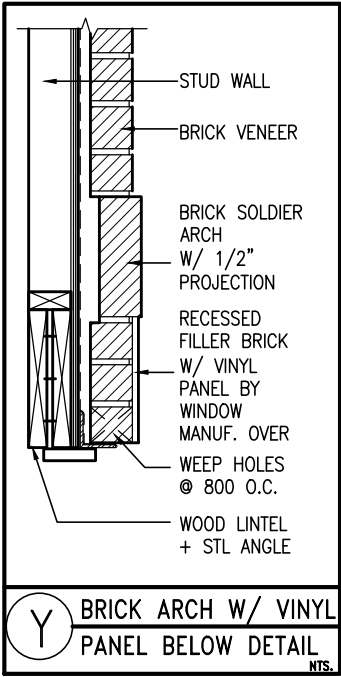
© 2011 ARCHITECTS WORKING 2016 | R0223-2W UNITS D06 | R0223-2S03-3-1 URGENT.DWG - Wed - Mar 23 2022 - 2:39 PM



SECTION A-A



ROOF PLAN 'A'
W/ REAR UPGRADE



2"x4" @ 6'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

DOUBLE BRICK ROWLOCK
ARCH OVER ROWLOCK
STACKS W/ 1/2" PROJ.

PRECAST CONC. SILL ON
BRICK ROWLOCK

DOUBLE BRICK ROWLOCK
COURSE OVER ROWLOCK
STACKS W/ 1/2" PROJ.

VINYL CLAD STRUCTURAL
STL. FRAME BASEMENT
WINDOW (TYPICAL)

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

10' GROUND

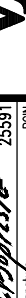


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UPGRADED REAR ELEVATION 'A'

9	.	.	MAR 23-22	RC	qualification information	25591		BCIN
8	.	.	MAR 04-22	RC	Wellington Jno-Baptiste	25591		
7	REVISED AS PER ENG'S COMMENTS				registration information	42658		
6	REVISED AS PER FLOOR LAYOUTS				VA3 Design Inc.			
5	10' GROUND FLOOR				name			
4	REVISED AS PER ENG COMMENTS				signature			
3	ADDED OPT. 9' BASEMENT				registration information			
2	REVISED AS PER ENG'S COMMENTS				VA3 Design Inc.			
1	ISSUED FOR CLIENT REVIEW				name			
no.	description				signature			

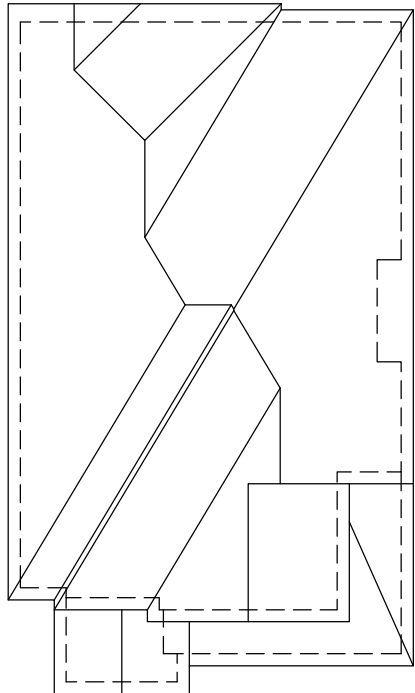
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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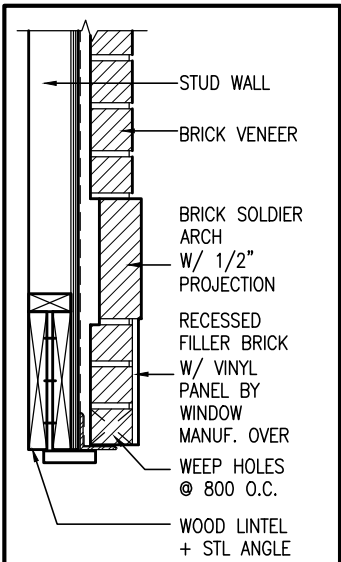
VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
va3design.com

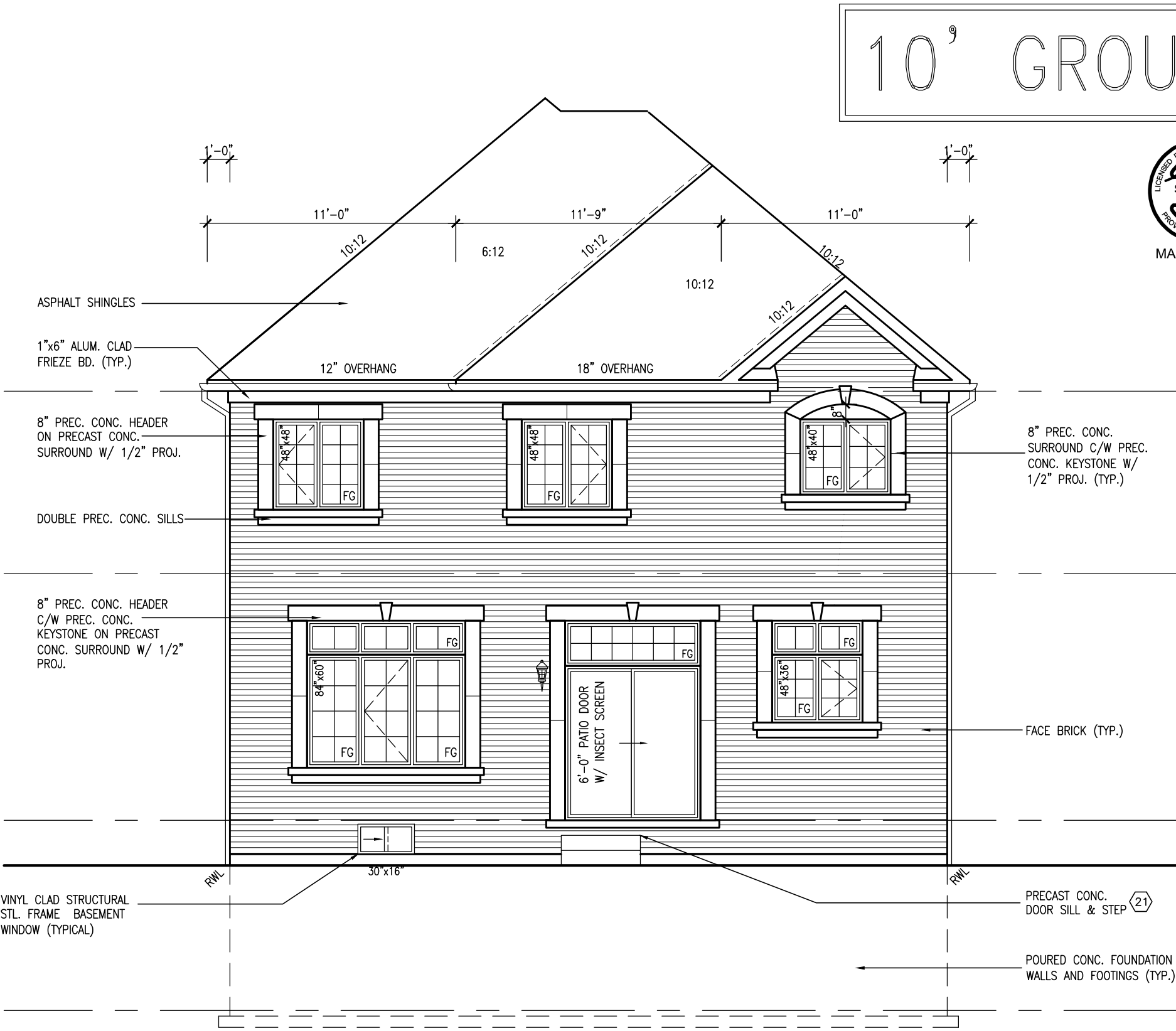
S38-3 BAROSSA 3		BAYVIEW WELLINGTON		project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
				date JANUARY, 2017		UPGRADED REAR ELEVATION 'A'		drawing no. 24	
				drawn by WT		checked by RC		file name 16023-S38-3-10GRND	
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				date JANUARY, 2017					
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				date JANUARY, 2017					
				checked by RC					



ROOF PLAN 'B'
W/ REAR UPGRADE



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

10' GROUND



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BAYVIEW WELLINGTON		S38-3 BAROSSA 3	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	25
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
UPGRADED REAR ELEVATION 'B'			
16023-S38-3-10GRND			
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-3-10GRND.dwg - Wed - Mar 23 2022 - 2:39 PM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591 BCN			
name registration information VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
9	.	.	date
8	.	.	by
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	.	.



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

10⁹ GROUND



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Diagram illustrating the vertical dimensions of a building facade section, showing levels from TOP OF SLAB to TOP OF PLATE.

Key Levels and Dimensions:

- TOP OF PLATE**
- TOP OF WINDOW**
- FIN SECOND FLOOR**
- TOP OF TRANSOM**
- TOP OF WINDOW**
- FIN GROUND FLOOR**
- FIN GRADE**
- TOP OF SLAB**

Vertical Dimensions (from TOP OF SLAB to TOP OF PLATE):

- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- 1'-6"
- 7'-4"
- 10'-11"

Horizontal Dimensions (from TOP OF SLAB to TOP OF PLATE):

- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.

BAYVIEW WELLINGTON

project name **BAYVIEW GREEN VALLEY EAST**

VA

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste
 name
 registration information
 VA3 Design Inc.
 signature
 BCIN
 25591
 42658

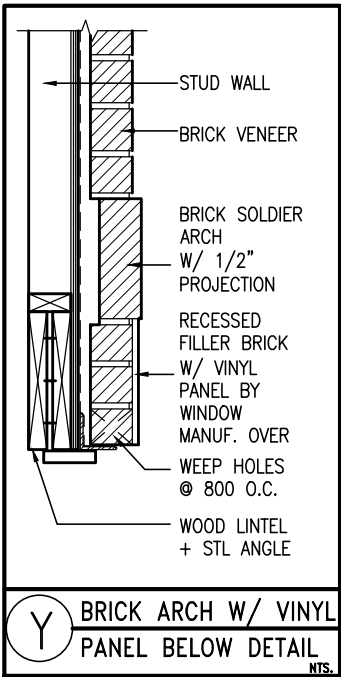
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1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
3	ADD OPT. 9' BASEMENT	APR 08-21	RC
4	REVISED AS PER ENG COMMENTS	MAY 10-21	RC
5	10' GROUND FLOOR	MAR 04-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 23-22	RC
7	REVISED AS PER ENG'S COMMENTS		
8			
9			

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Wellington Jno-Baptiste
 name
 registration information
 V33 Design Inc.
 signature
 BCIN 42658
 25591

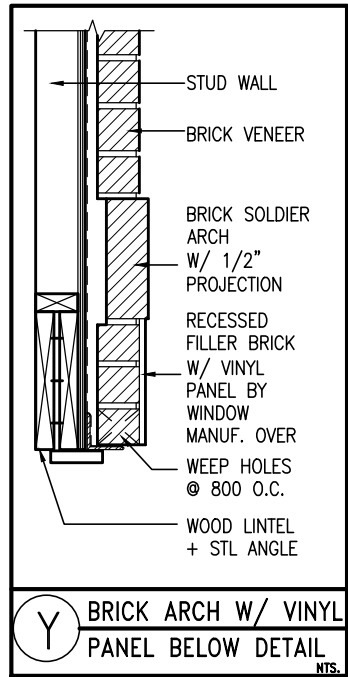
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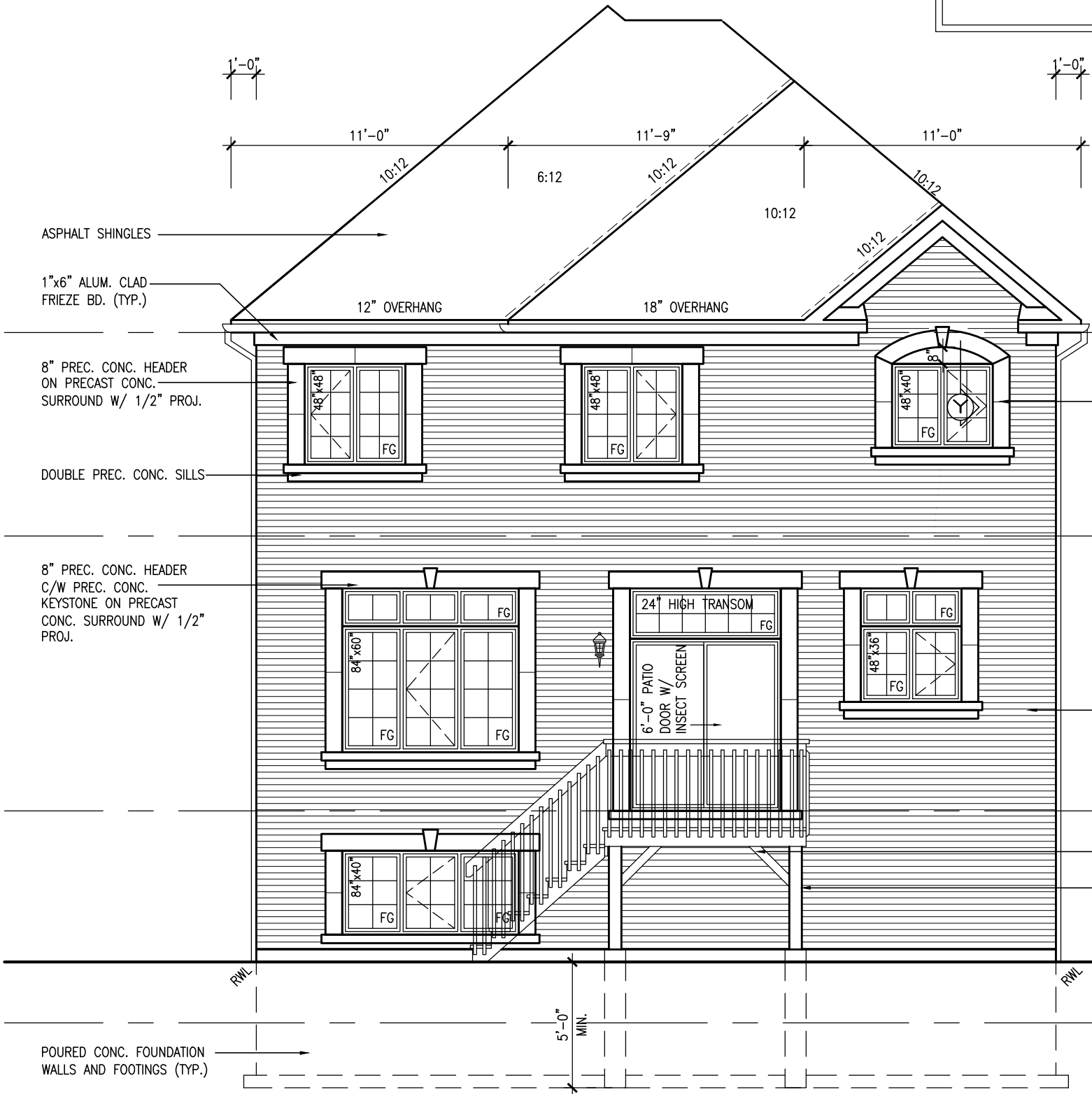
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S38-3		BAYVIEW WELLINGTON		GREEN VALLEY EAST		UPGRADED REAR ELEVATION 'A' - W.O.D. COND.		16023-S38-3-10GRND		27	
BAROSSA 3		BRADFORD, ONT.		MUNICIPALITY		MUNICIPALITY		16023-S38-3-10GRND		16023-S38-3-10GRND	
project no.		project name		date		checked by		drawn by		file name	
16023		JANUARY, 2017		RC		WT		RC		16023-S38-3-10GRND	
drawing no.		scale		checked by		drawn by		file name		16023-S38-3-10GRND	
		3/16" = 1'-0"		RC		WT		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
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		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
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		checked by		drawn by		file name		16023-S38-3-10GRND.dwg		16023-S38-3-10GRND.dwg	
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		checked by									

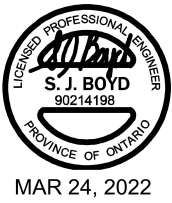


REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



10' GROUND



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8" PREC. CONC. SURROUND C/W PREC. CONC. KEYSTONE W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

2"x6" P.T. CROSS BRACING (TYP.)
6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
FIN GRADE
TOP OF SLAB

8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
7'-4"
10'-11"
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT
SEE NOTE

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591		BCIN	
9	.	.	MAR 23-22	RC	
8	.	.	MAR 04-22	RC	
7	REVISED AS PER ENG'S COMMENTS				
6	REVISED AS PER FLOOR LAYOUTS				
5	10' GROUND FLOOR		MAY 10-21	RC	
4	REVISED AS PER ENG COMMENTS		APR 08-21	RC	
3	ADD OPT. 9' BASEMENT		APR 06-21	RC	
2	REVISED AS PER ENG'S COMMENTS		JAN 05-18	RC	
1	ISSUED FOR CLIENT REVIEW		.	.	
no.	description		date	by	

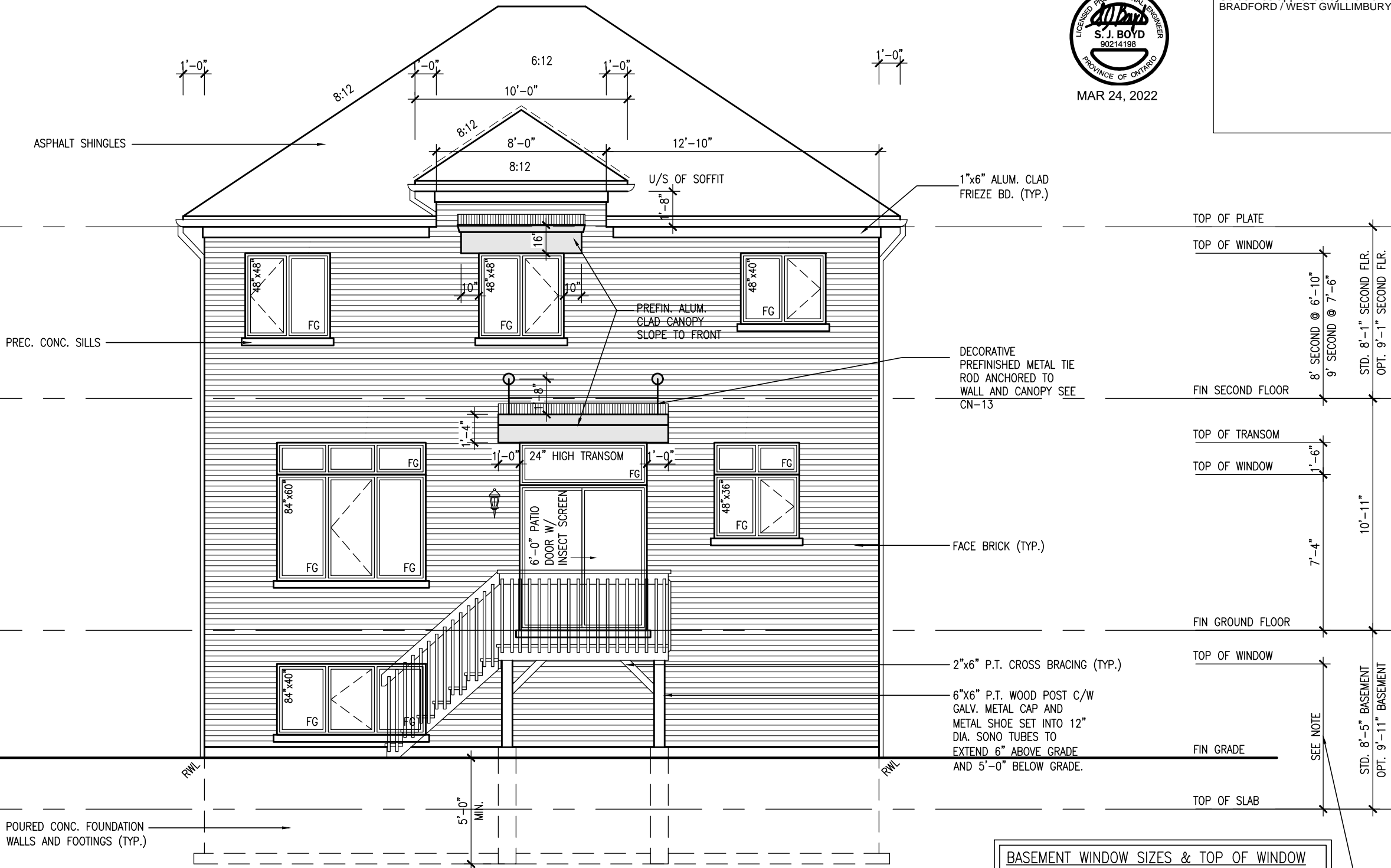
VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
BAYVIEW WELLINGTON		UPGRADED REAR ELEVATION 'B' - W.O.D. COND.	
GREEN VALLEY EAST		file name	
BRADFORD, ONT.		16023-S38-3-10GRND	
project name		checked by	
GREEN VALLEY EAST		RC	
date		scale	
JANUARY, 2017		3/16" = 1'-0"	
drawn by		WT	
project no.		drawing no.	
16023		28	
BAROSSA 3		16023-S38-3-10GRND dwg - Wed - Mar 23 2022 - 2:39 PM	

10' GROUND



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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW

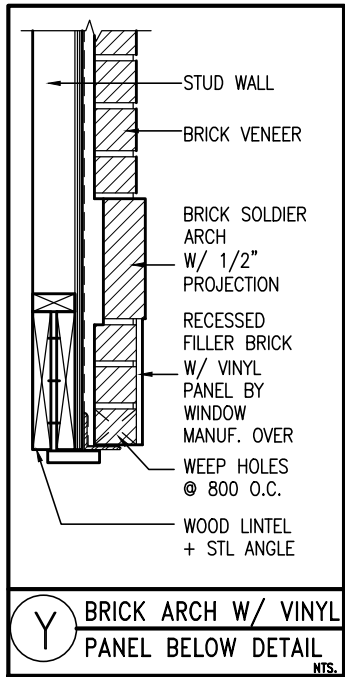
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10' GROUND



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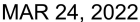
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.) REFER TO FRONT ELEVATION FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

UPGRADED REAR ELEVATION 'A' W.O.B. CONDITION

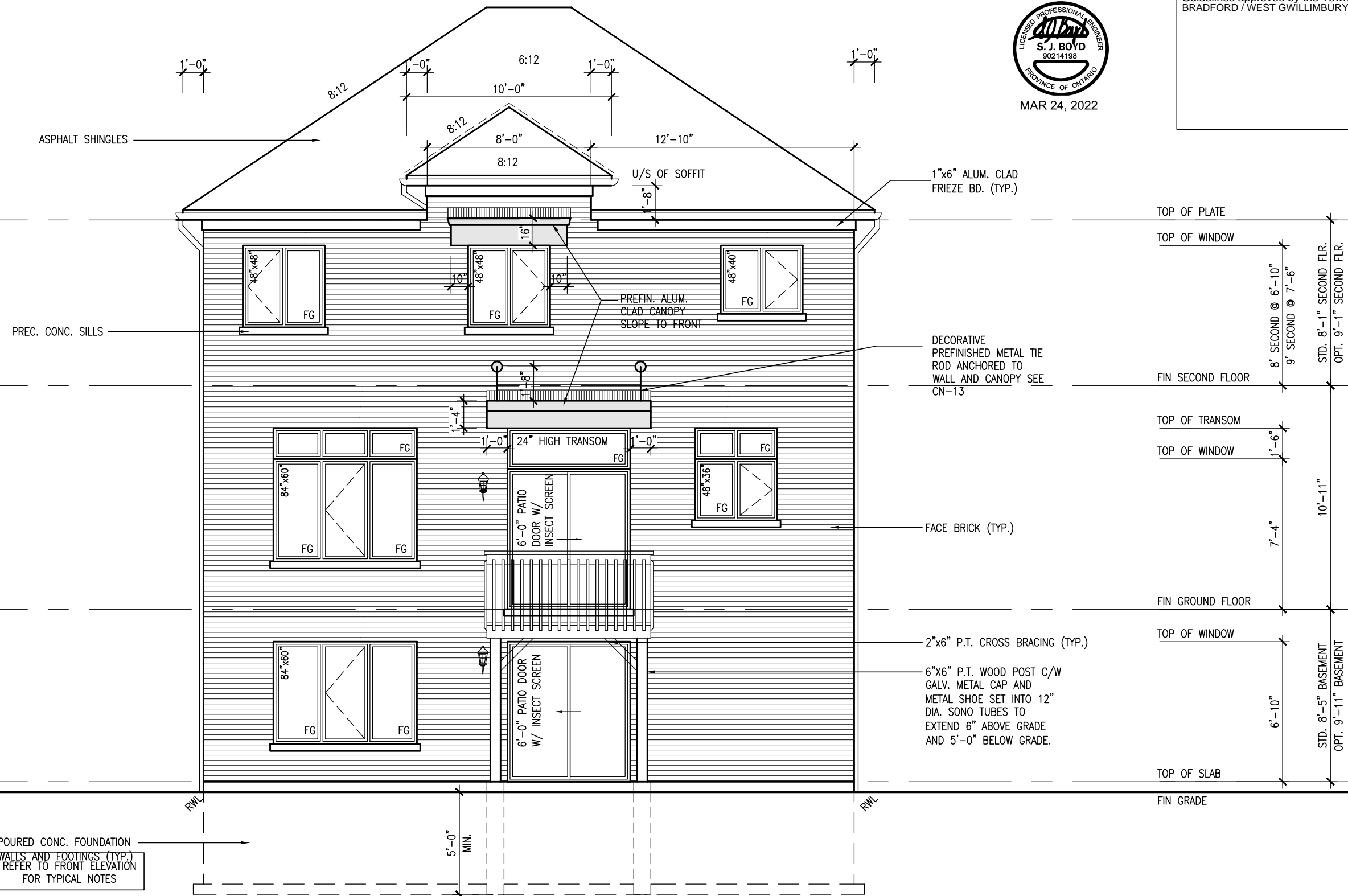
							
				255 Consumers Rd. Suite 120 Toronto, ON M2J 1Y4 t 416.630.2255 f 416.630.4782 v3design.com			
				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
				Wellington Jno-Baptiste		25591	
				signature		BCN	
				VA3 Design Inc.		42658	
				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
				date		by	

10⁹ GROUND



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POURED CONC. FOUNDATION -
WALLS AND FOOTINGS (TYP.)
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

UPGRADED REAR ELEVATION 'C'
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[illegible]

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3545.67 S.F.	414.98 S.F.	11.70 %
TOTAL SQ. M.	329.40 S.M.	38.55 S.M.	11.70 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B/B REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3543.00 S.F.	408.09 S.F.	11.52 %
TOTAL SQ. M.	329.15 S.M.	37.91 S.M.	11.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C/C REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3549.42 S.F.	461.66 S.F.	13.01 %
TOTAL SQ. M.	329.75 S.M.	42.89 S.M.	13.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. WOD W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3672.67 S.F.	433.98 S.F.	11.82 %
TOTAL SQ. M.	341.20 S.M.	40.32 S.M.	11.82 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELB/B REAR UPG. WOD W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.37 S.F.	5.57 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3670.00 S.F.	426.79 S.F.	11.63 %
TOTAL SQ. M.	340.95 S.M.	39.65 S.M.	11.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELC/C REAR UPG. WOD W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3676.42 S.F.	480.66 S.F.	13.07 %
TOTAL SQ. M.	341.55 S.M.	44.65 S.M.	13.07 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. WOB W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3765.27 S.F.	486.65 S.F.	12.92 %
TOTAL SQ. M.	349.80 S.M.	45.21 S.M.	12.92 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B/B REAR UPG. WOB W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3762.60 S.F.	479.76 S.F.	12.75 %
TOTAL SQ. M.	349.55 S.M.	44.57 S.M.	12.75 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C/C REAR UPG. WOB W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3769.02 S.F.	533.33 S.F.	14.15 %
TOTAL SQ. M.	350.15 S.M.	49.55 S.M.	14.15 %

[illegible]

10⁹ GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. WOB W/ 9' BSM+8' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	674.08 S.F.	162.86 S.F.	24.16 %
LEFT SIDE	1022.00 S.F.	59.67 S.F.	5.84 %
RIGHT SIDE	1022.00 S.F.	27.28 S.F.	2.67 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3652.06 S.F.	486.65 S.F.	13.33 %
TOTAL SQ. M.	339.28 S.M.	45.21 S.M.	13.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B/B REAR UPG. WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	680.83 S.F.	155.97 S.F.	22.91 %
LEFT SIDE	1017.00 S.F.	59.67 S.F.	5.87 %
RIGHT SIDE	1016.92 S.F.	27.28 S.F.	2.68 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3648.73 S.F.	479.76 S.F.	13.15 %
TOTAL SQ. M.	338.98 S.M.	44.57 S.M.	13.15 %

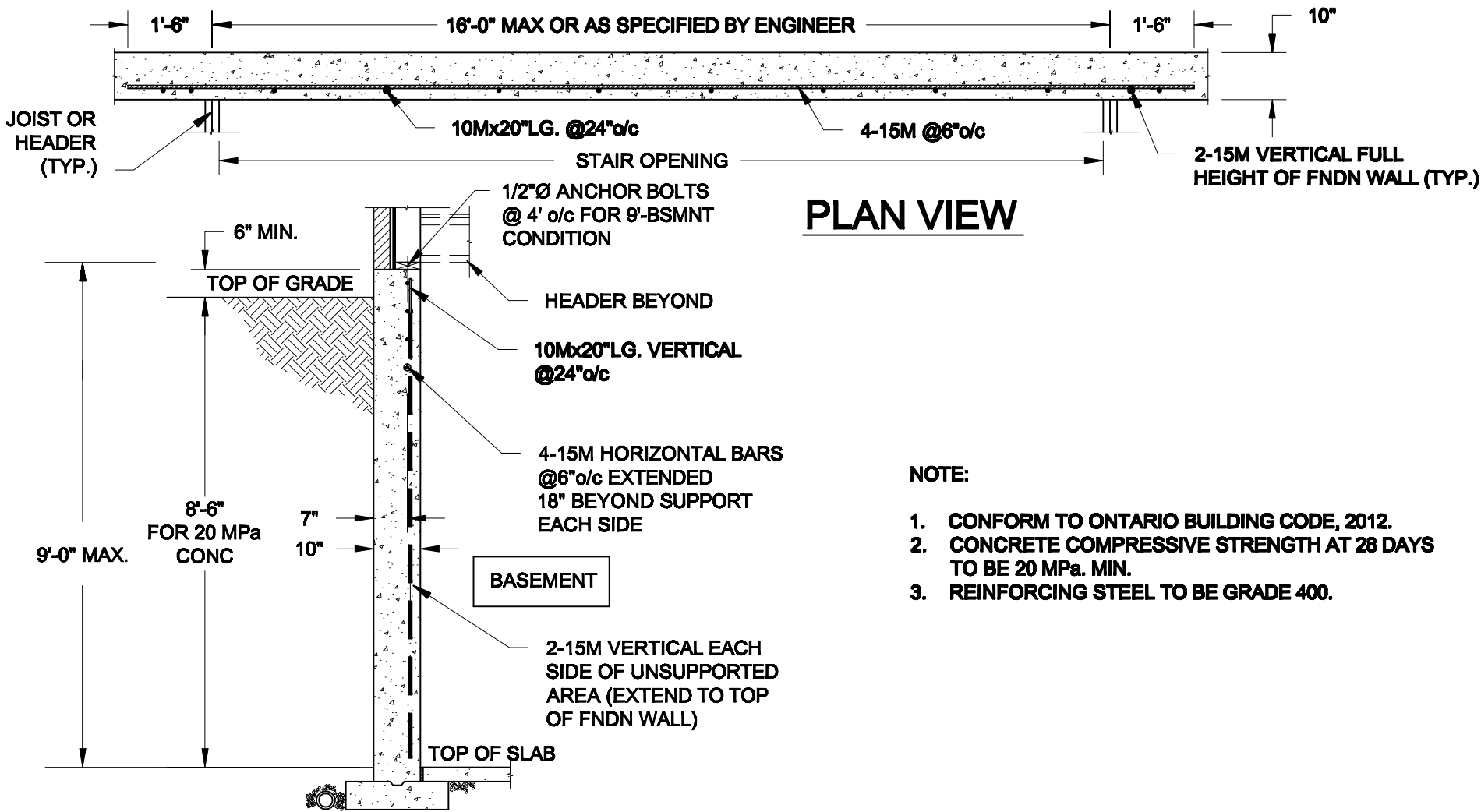
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C/C REAR UPG. WOB W/ 9' BSM+8' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3655.81 S.F.	533.33 S.F.	14.59 %
TOTAL SQ. M.	339.63 S.M.	49.55 S.M.	14.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELA/A REAR UPG. WOB W/ 9' BSM+9' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3812.90 S.F.	486.65 S.F.	12.76 %
TOTAL SQ. M.	354.23 S.M.	45.21 S.M.	12.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B/B REAR UPG. WOB W/ 9' BSM+9' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3810.23 S.F.	479.76 S.F.	12.59 %
TOTAL SQ. M.	353.98 S.M.	44.57 S.M.	12.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C/C REAR UPG. WOB W/ 9' BSM+9' 2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3816.65 S.F.	533.33 S.F.	13.97 %
TOTAL SQ. M.	354.58 S.M.	49.55 S.M.	13.97 %

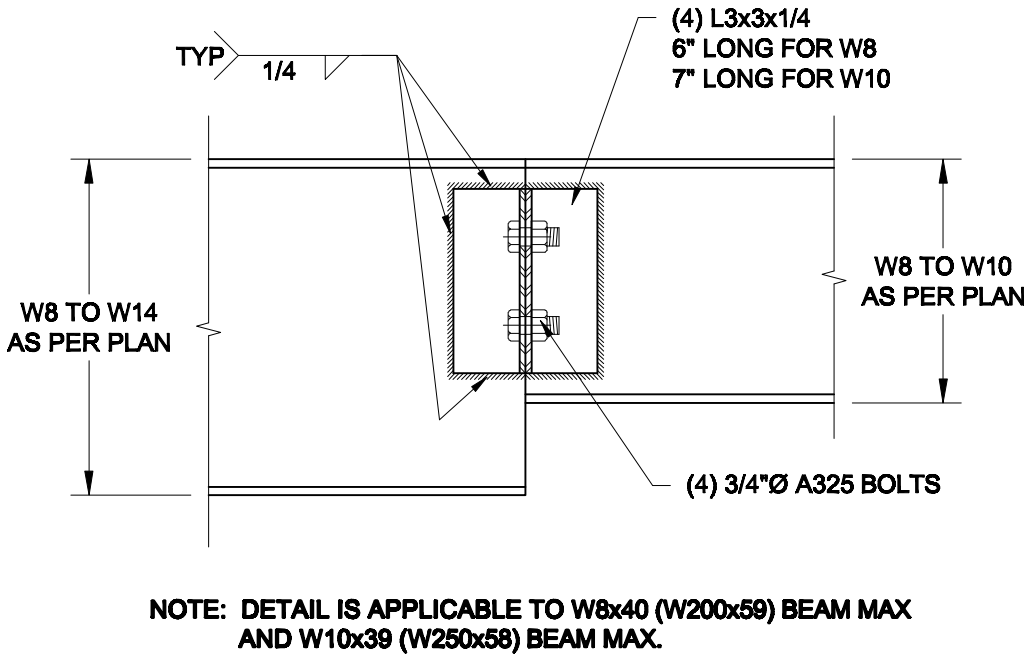
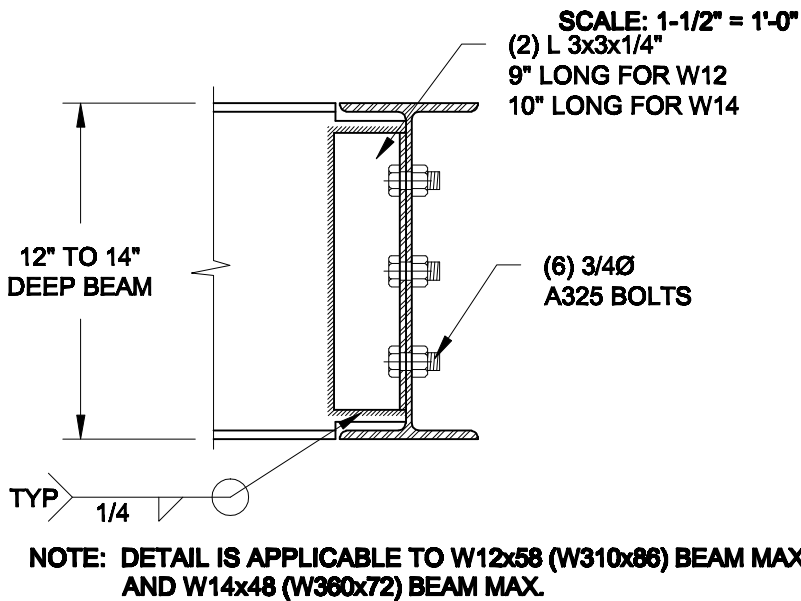
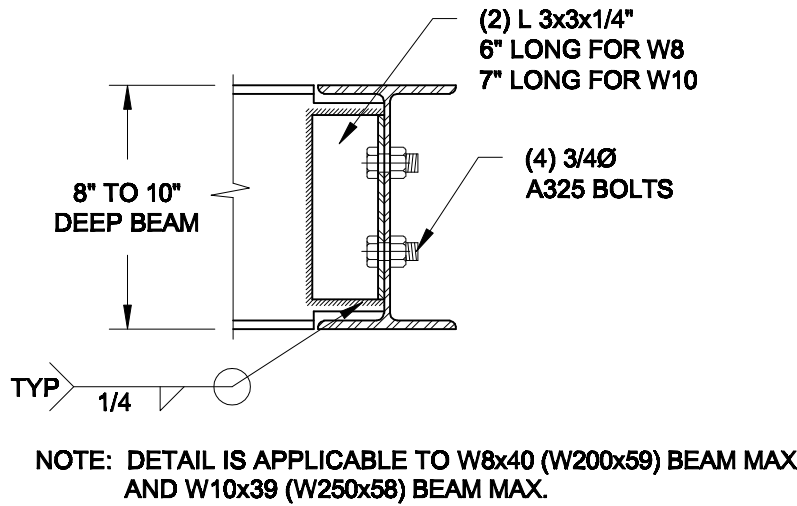
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1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

STEEL BEAM CONNECTION DETAILS

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

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38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

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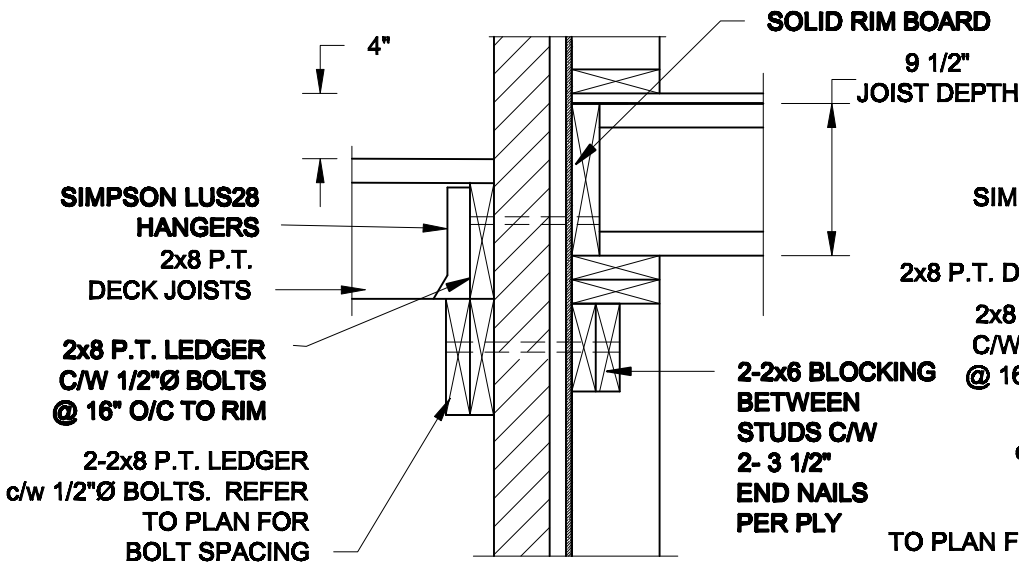
Project:
BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:
21-038

Drawing No.:
S1

FOR 9 1/2" JOIST DEPTH



1A
S2

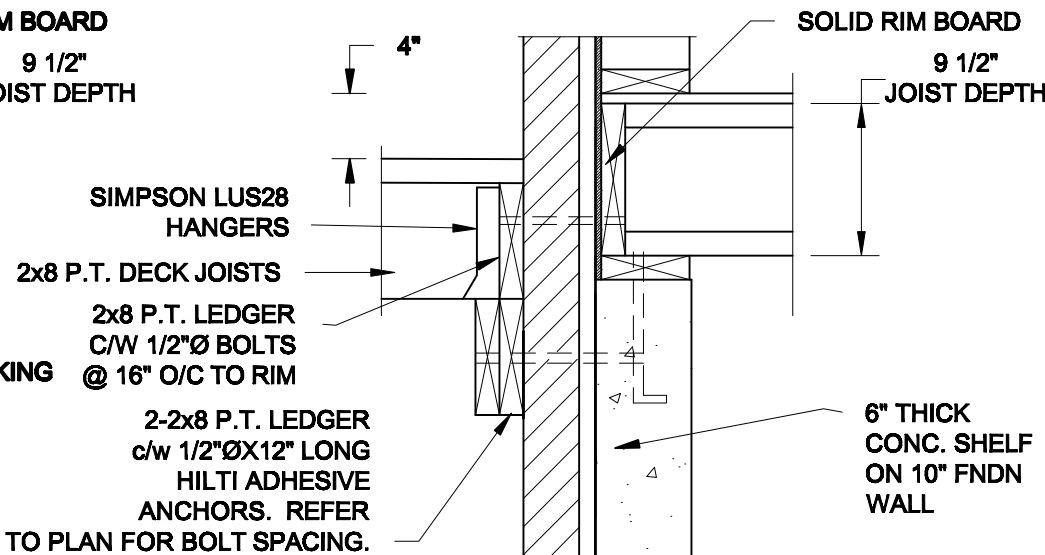
DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

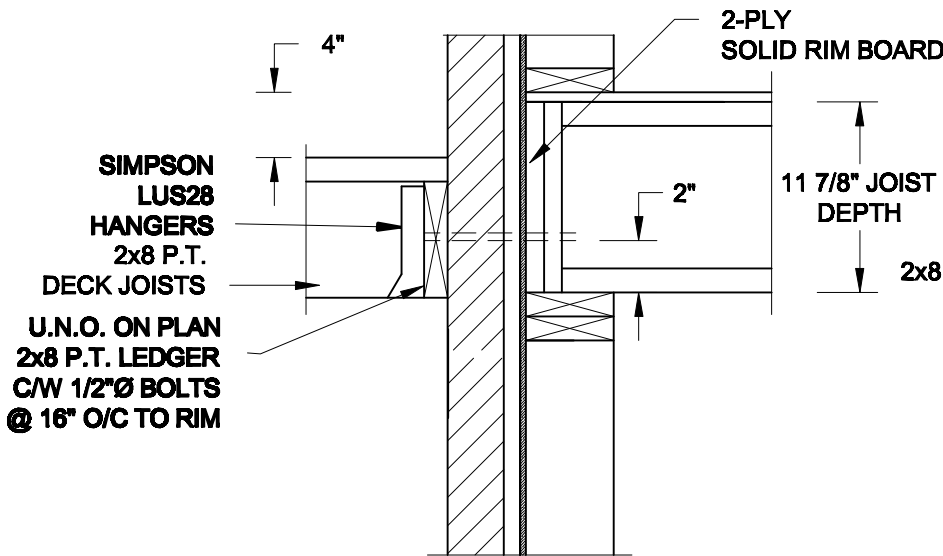
1B
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



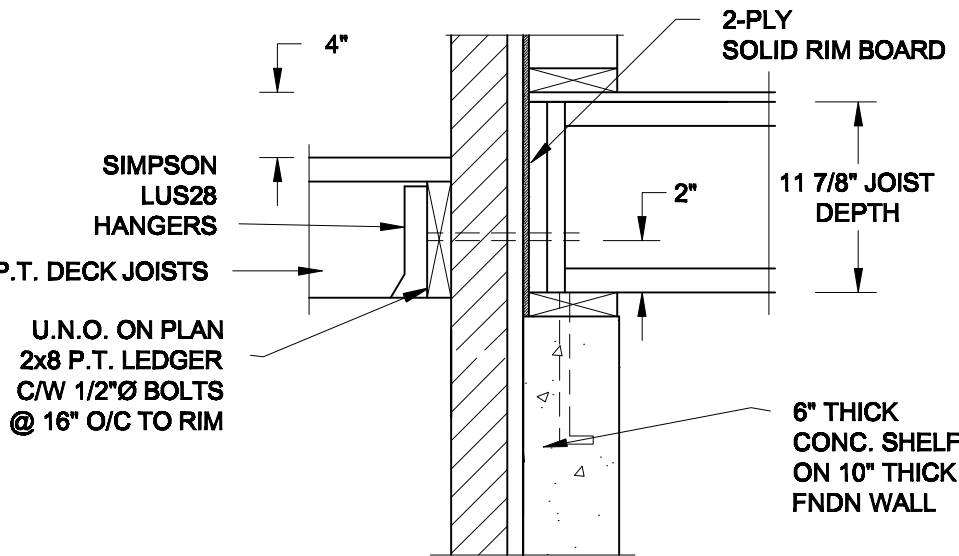
FOR 11 7/8" JOIST DEPTH



1C
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



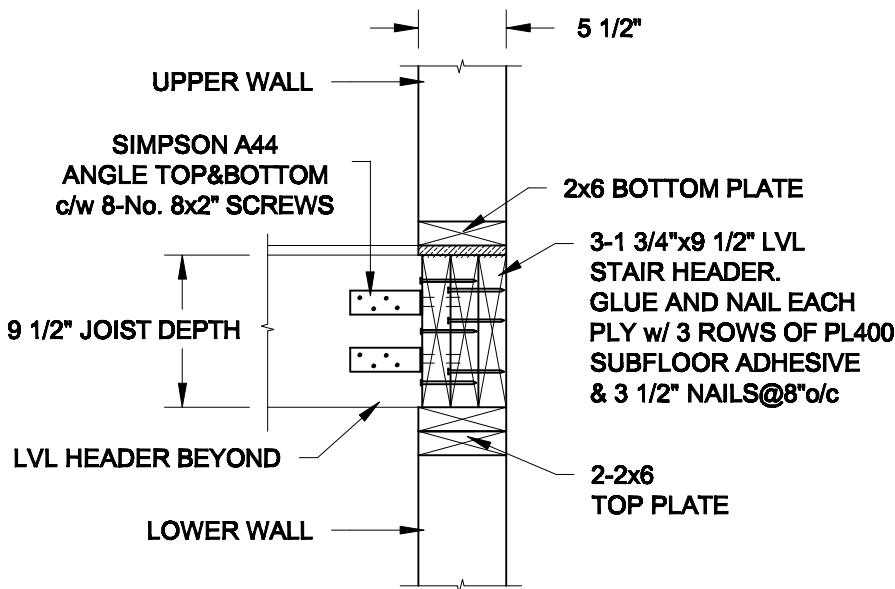
1D
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH

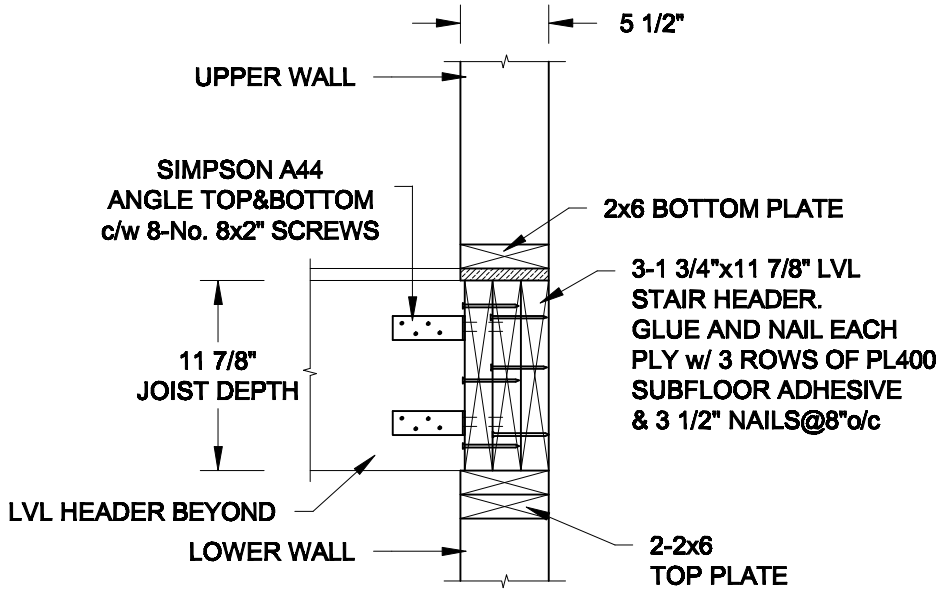


2A
S2

STAIR HEADER

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2

STAIR HEADER

SCALE: 1" = 1'-0"

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

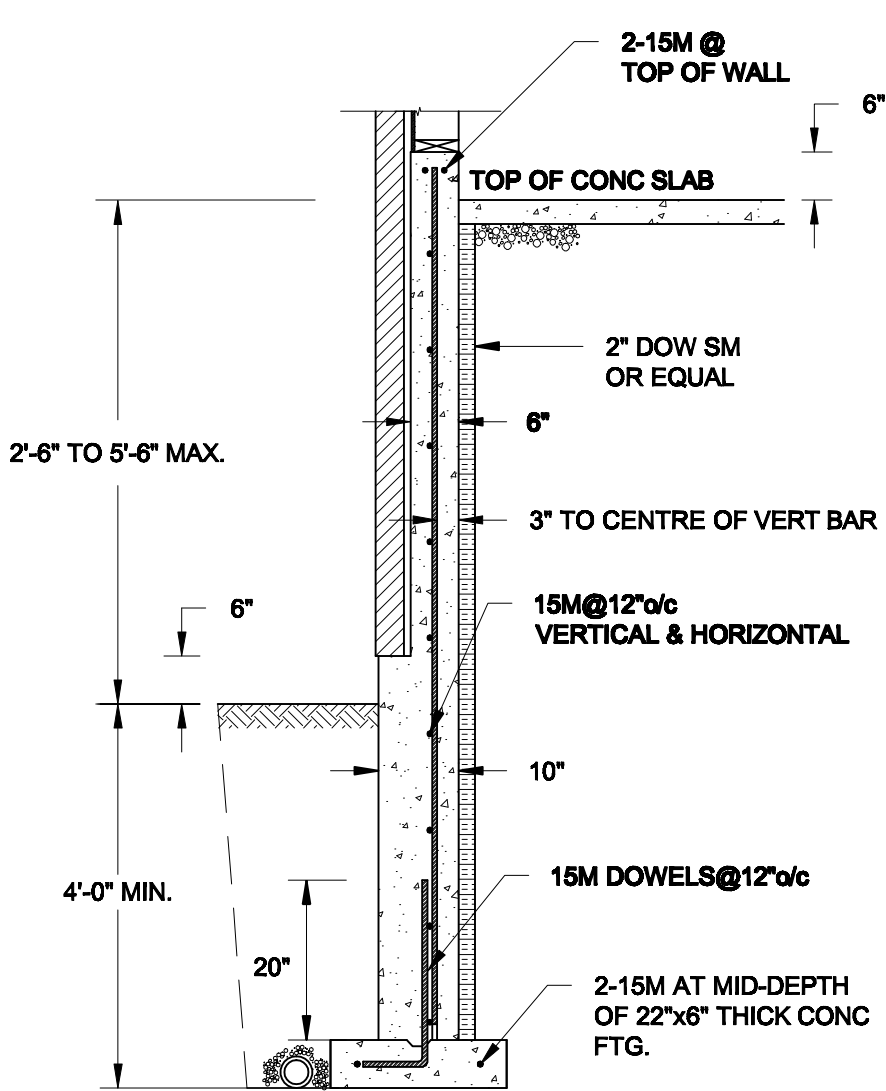
TYPICAL STRUCTURAL DETAILS

Project No.:

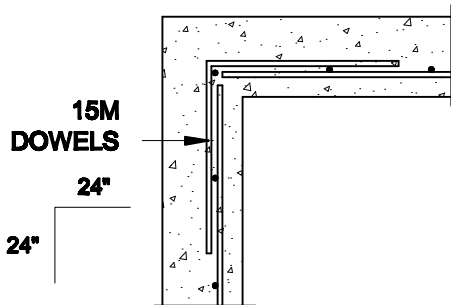
21-038

Drawing No.:

S2



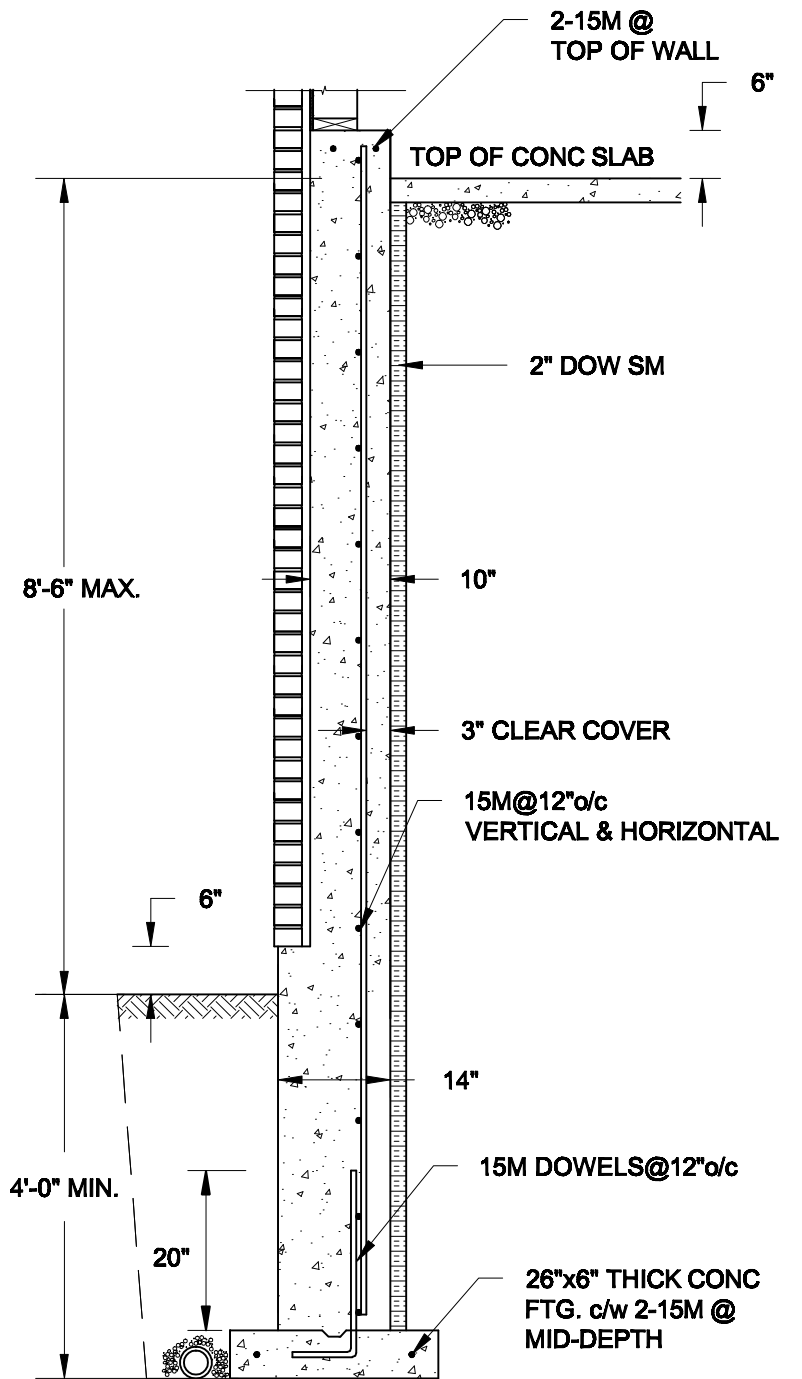
1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



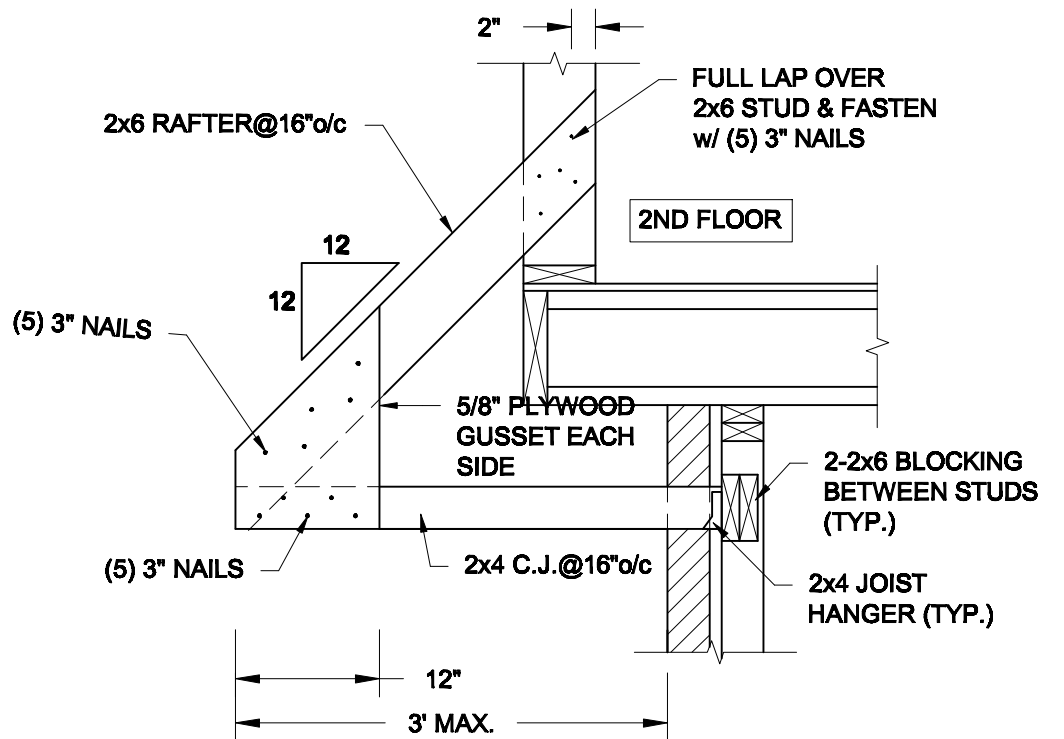
1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

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FEB 24, 2022

Project:

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BRADFORD, ONTARIO

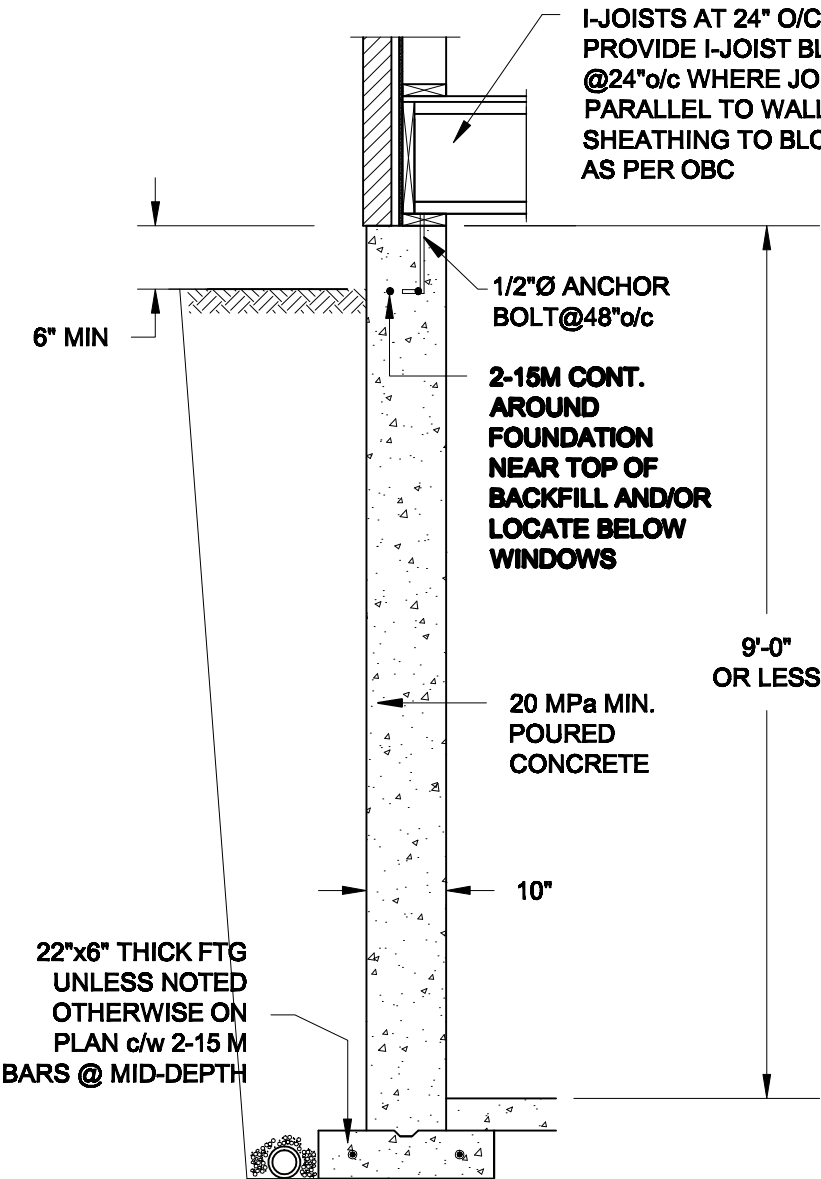
TYPICAL STRUCTURAL DETAILS

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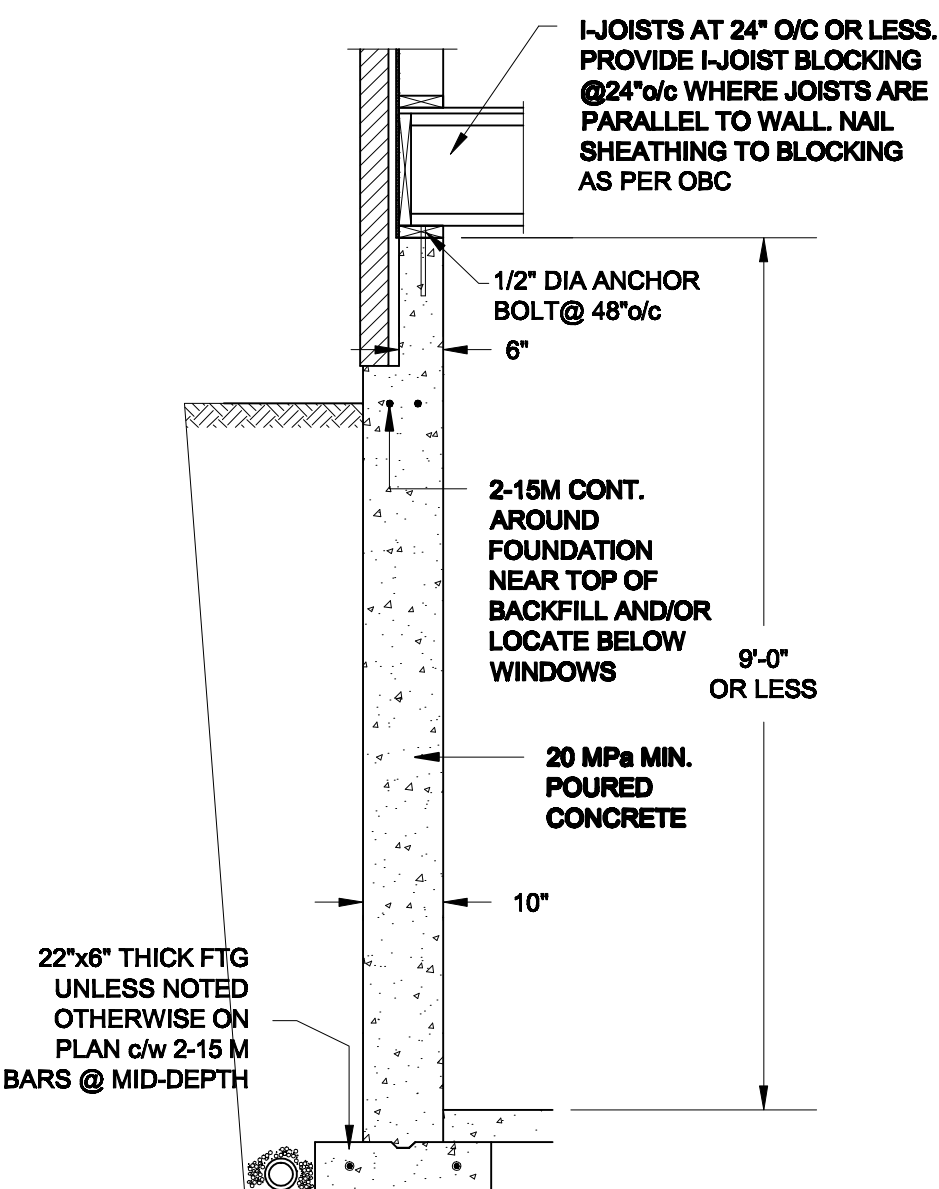
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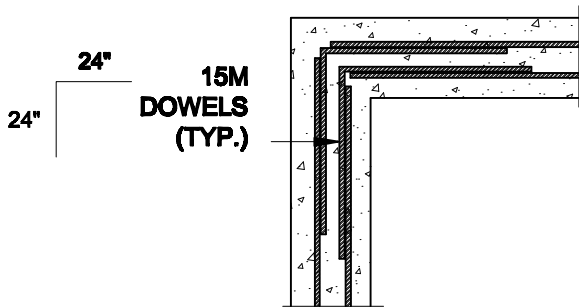
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STORES SUPPORTED |W/ MASONRY VENEER |W/ SIDING ONLY

118" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

18" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").

-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b). 9.16.4.5.(1). 9.25.3.3.(15)

80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- (PRIVATE STAIRS)

UNIFORM RISE 5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS

-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7-7/8")

MIN. RUN = 255 (10") (NOSING TO NOSING/)

MAX. TREAD = RUN + 25 (1")

MAX. NOSING = 25 (1")

MIN. HEADROOM = 1950 (6'-5")

RAIL @ LANDING = 900 (2'-11")

RAIL @ STAIR = 865 (2'-10") TO 1070 (3'-6")

MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)

MIN. RUN AT INNER RADIUS = 150 (6")

MIN. RUN AT 300 (12") = 255 (10")

11. HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS -OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE -OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7). 9.25.2.3. 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.1.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HAATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 4x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-8 TABLE 6.2.3.12..

33. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.-). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.-

AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6).

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS

DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-8 9.6.1.3.

GENERAL: 1)

MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8. 6.2.2. SEE MECHANICAL DRAWINGS.

2)

ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3)

ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4)

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. 8-9.5.2.3 & DETAIL PROVIDED.

5)

ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6)

ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

7)

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-8 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1)

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2)

STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3)

LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4)

ALL LAMINATED VENEER LUMBER (L.V.L) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5)

LVL BEAMS SHALL BE 2.0E-2950Fb MIN.. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4-9 1/2- 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6)

PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7)

JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8)

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1)

STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3.

2)

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1)

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT

DUPLEX OUTLET (12" ABOVE SURFACE)

WEATHERPROOF DUPLEX OUTLET

POT LIGHT

LIGHT FIXTURE (PULL CHAIN)

SWITCH

FLOOR DRAIN

SINGLE JOIST

DOUBLE JOIST

TRIPLE JOIST

LAMINATED VENEER LUMBER

POINT LOAD FROM ABOVE

FLAT ARCH

CURVED ARCH

M.C.C.

MEDICINE CABINET (RECESSED)

DOUBLE VOLUME WALL. SEE NOTE 39

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

EXHAUST FAN TO EXTERIOR

DUPLEX OUTLET (HEIGHT A.F.F)

GFI DUPLEX OUTLET (HEIGHT A.F.F)

HEAVY DUTY OUTLET (220 volt)

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

HOSE BIB (NON-FREEZE)

P.T. PRESSURE TREATED LUMBER

G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

CONCRETE BLOCK WALL

WARM AIR

RETURN AIR DUCT

HEAT PIPE

PLUMBING (TOILET)

PLUMBING (BATH, SINK, SHOWER)

SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL.

The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

2022

VA3 REFERENCE NUMBER

A1

no. description

date

by

1

ISSUE FOR CLIENT REVIEW

AUG 04-17

RC

2

UPDATE TO 2018

FEB 24-20

RC

3

UPDATE TO 2020

JAN 11-22

RC

4

UPDATE TO 2022

JAN 11-22

RC

5

6

7

8

9

1

ISSUE FOR CLIENT REVIEW

AUG 04-17

RC

2

UPDATE TO 2018

FEB 24-20

RC

3

UPDATE TO 2020

JAN 11-22

RC

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UPDATE TO 2022

JAN 11-22

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date

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ISSUE FOR CLIENT REVIEW

AUG 04-17

RC

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FEB 24-20

RC

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UPDATE TO 2020

JAN 11-22

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JAN 11-22

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JAN 11-22

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UPDATE TO 2020

JAN 11-22

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UPDATE TO 2022

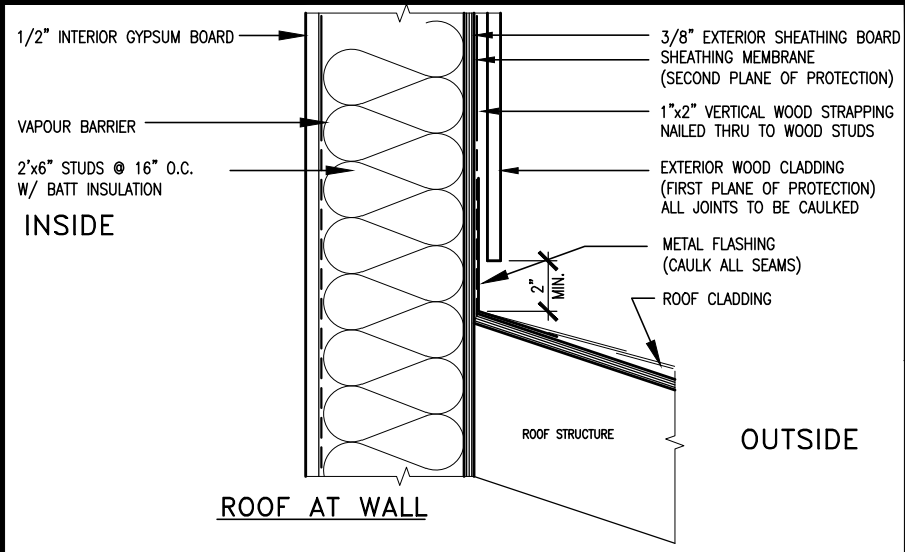
JAN 11-22

RC

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<



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

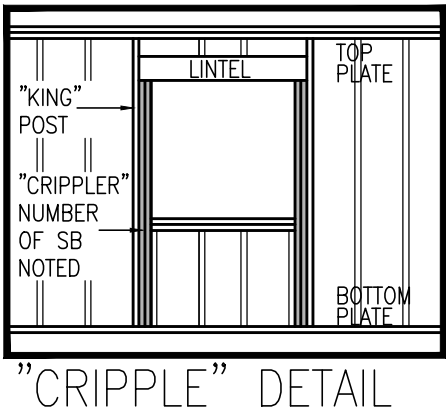
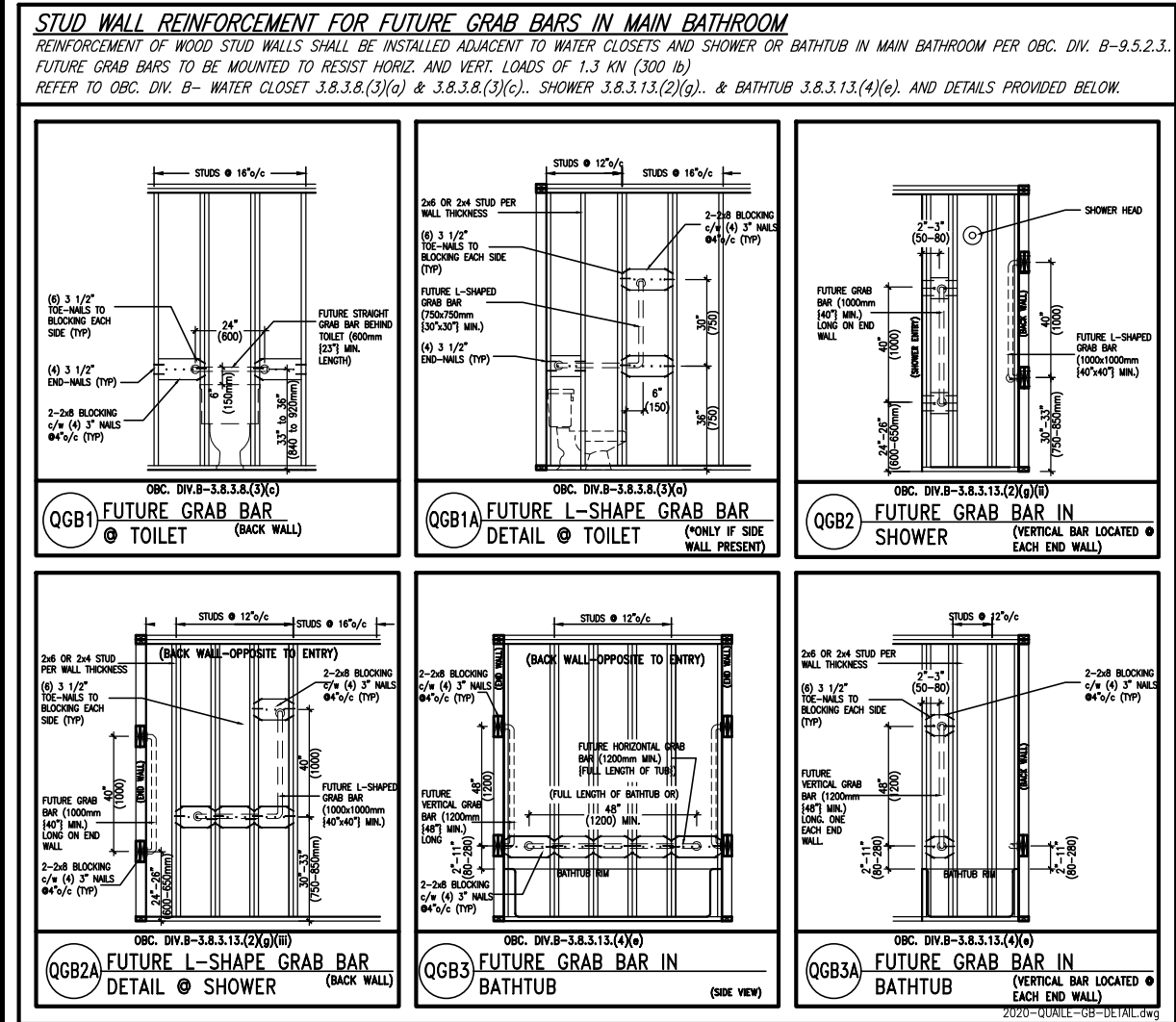
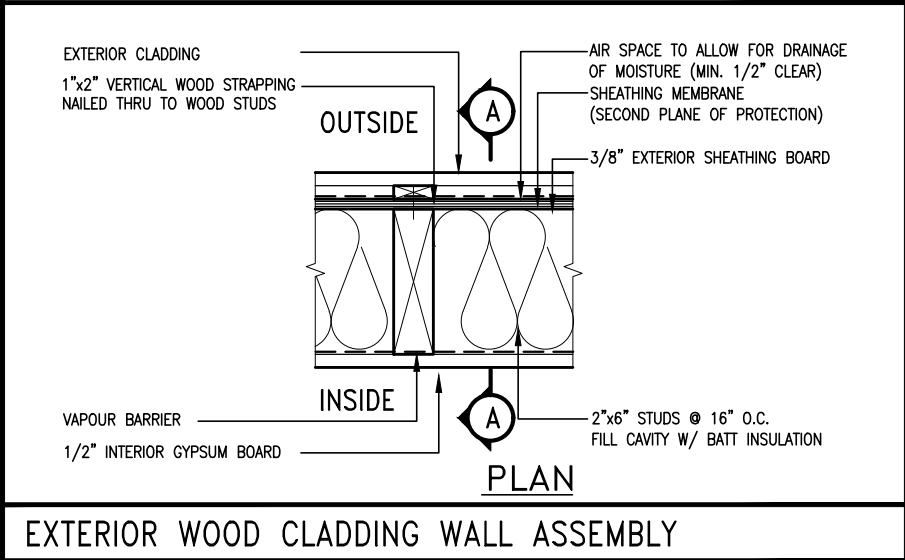
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

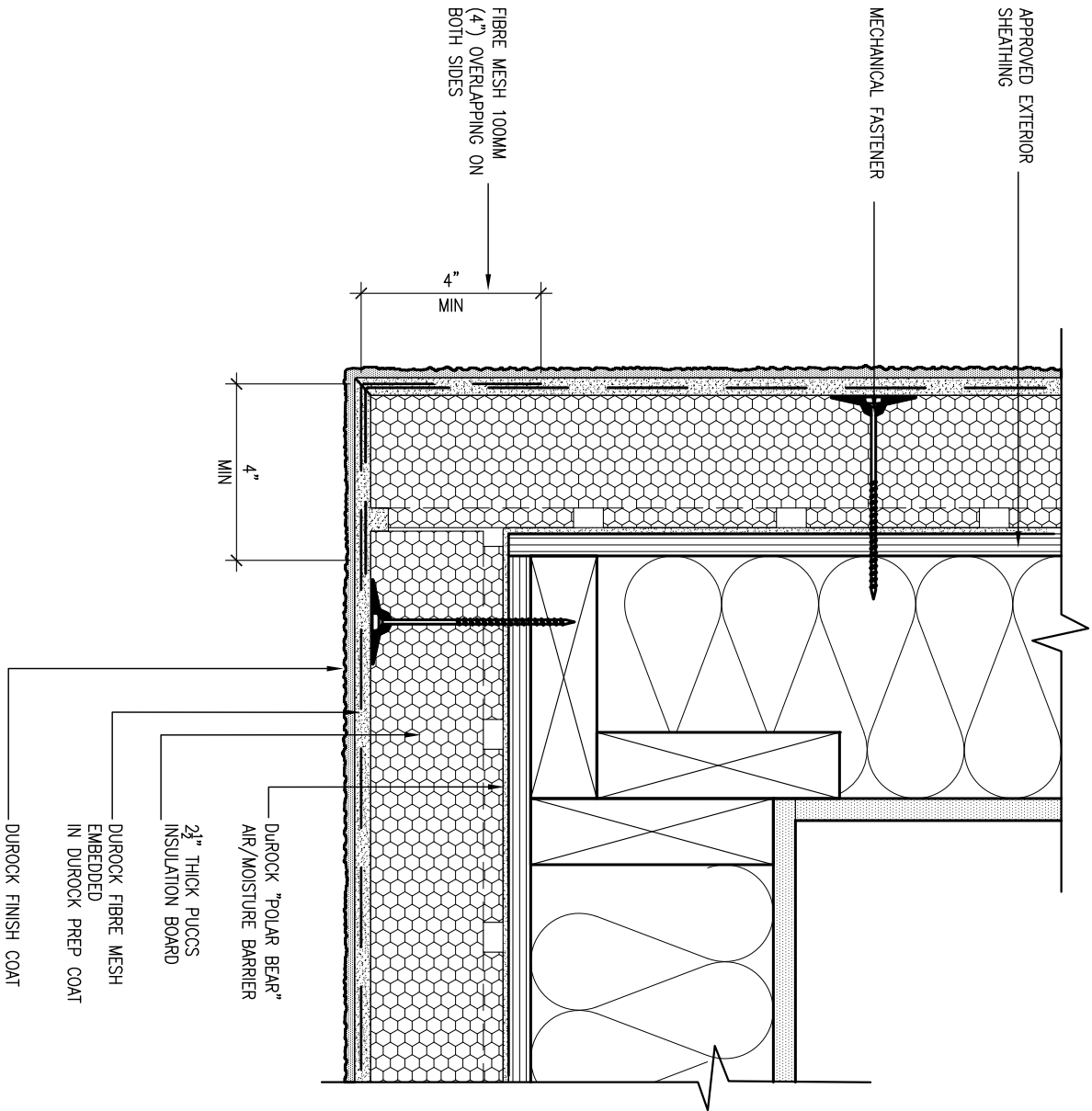


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY EAST			project no. 16023	
municipality BRADFORD				
date MAY 2016			drawing no.	
CONSTRUCTION NOTES			CN2	
drawn by RC				
checked by -				
scale 3/16" = 1'-0"				
file name 16023-CN-2022-A1				
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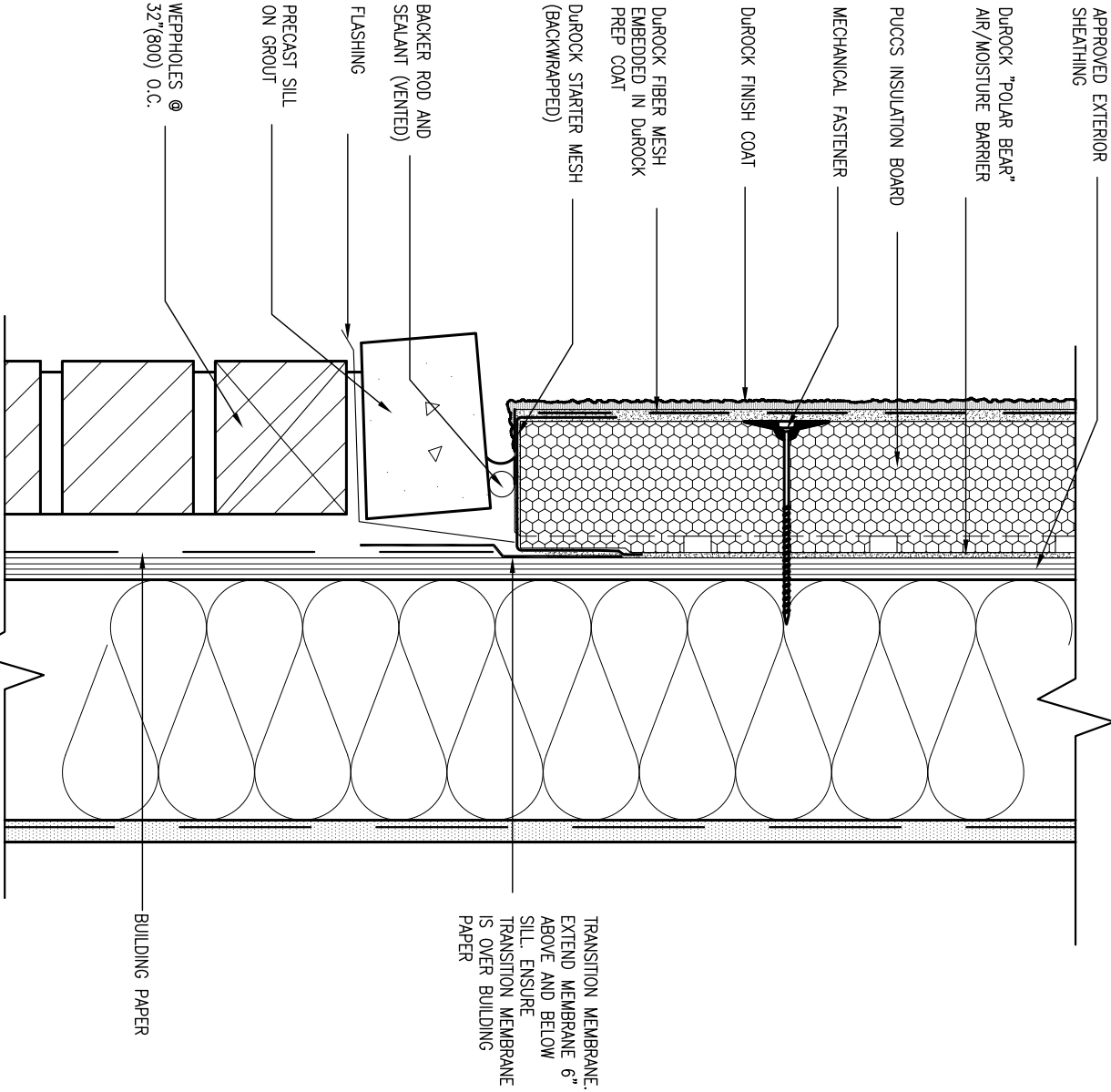


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



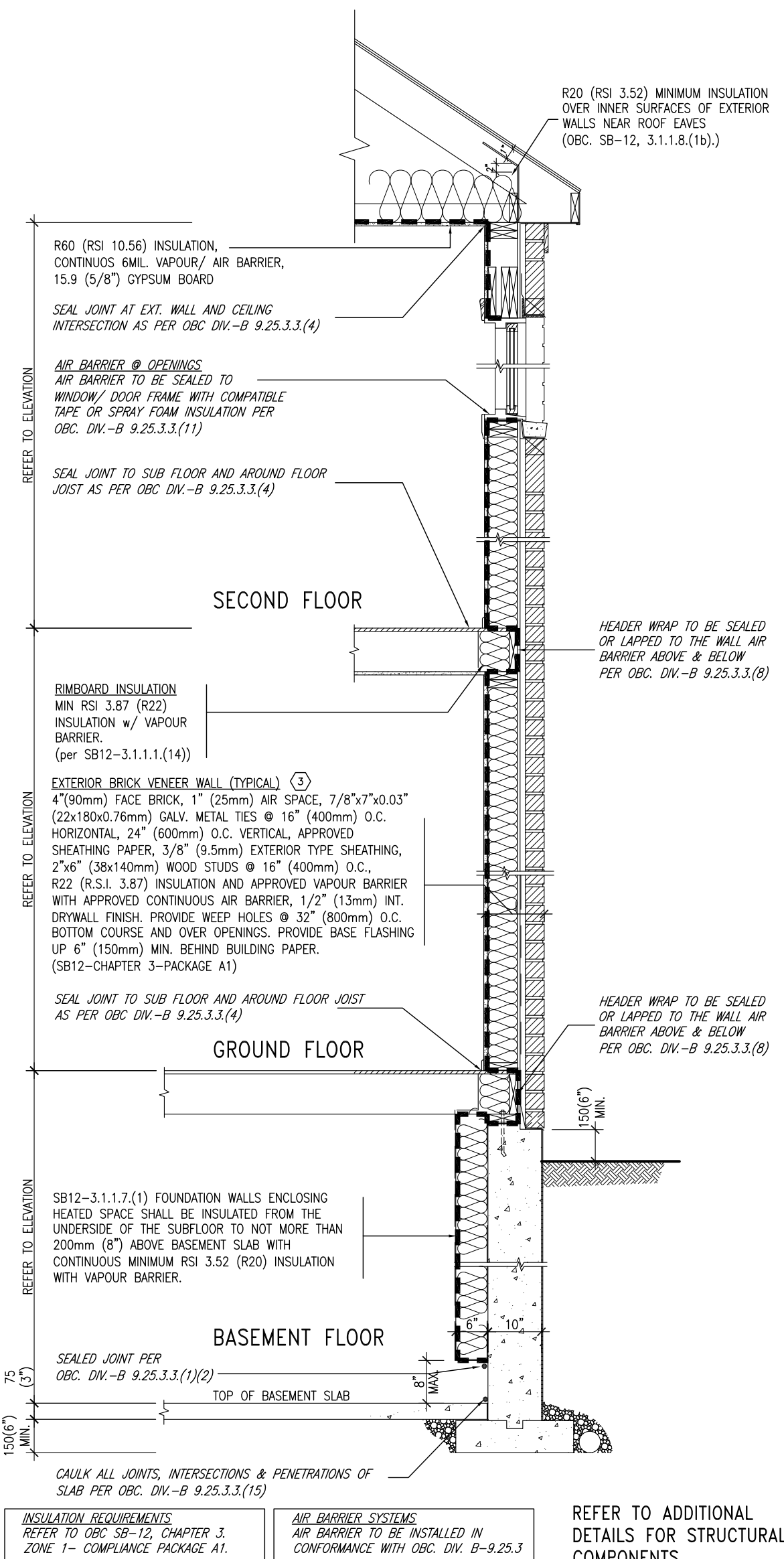
6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

9 .			<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>signature</div> <div>name registration information</div> <div>VA3 Design Inc. 42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>			<div>VA3 DESIGN</div> <div>255 Consumers Rd Suite 120</div> <div>Toronto ON M2J 1R4</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>			BAYVIEW WELLINGTON			CONST NOTE					
8 .									project name			municipality			project no.		
7 .									GREEN VALLEY EAST			BRADFORD			16023		
6 .									date			CONSTRUCTION NOTES			drawing no.		
5 .									MAY 2016								
4 UPDATE TO 2022			JAN 11-22 RC			drawn by			checked by			scale			file name		
3 UPDATE TO 2020			FEB 24-20 RC			RC			-			3/16" = 1'-0"			16023-CN-2022-A1		
2 UPDATE TO 2018			JAN 11-18 RC														
1 ISSUE FOR CLIENT REVIEW			AUG 04-17 RC														
no. description			date by														

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SB12-COMPLIANCE PACKAGE 'A1'



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

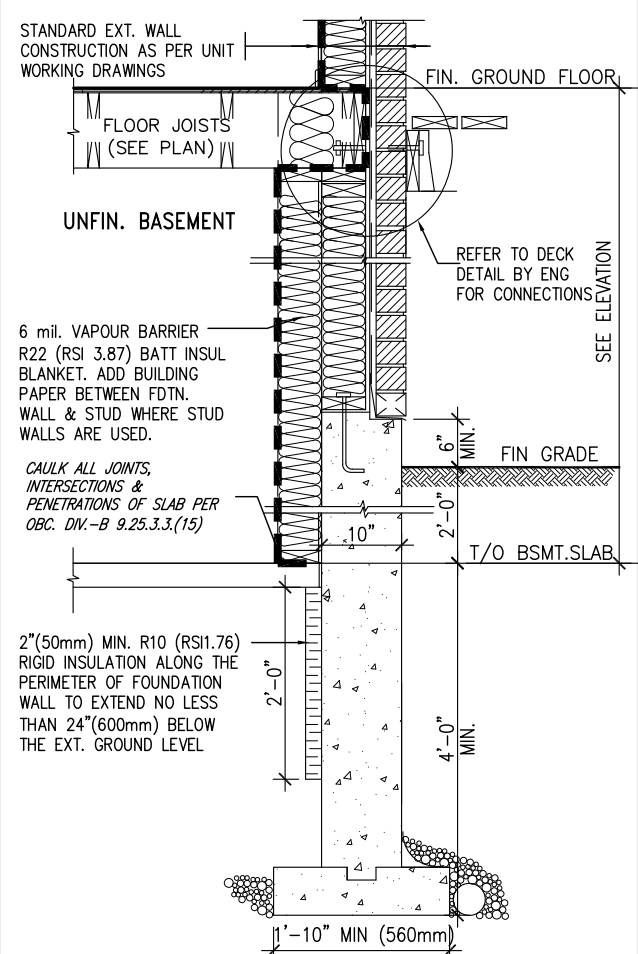
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



JAN 26, 2022



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name signature BCIN
8	.	.	.	
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4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	



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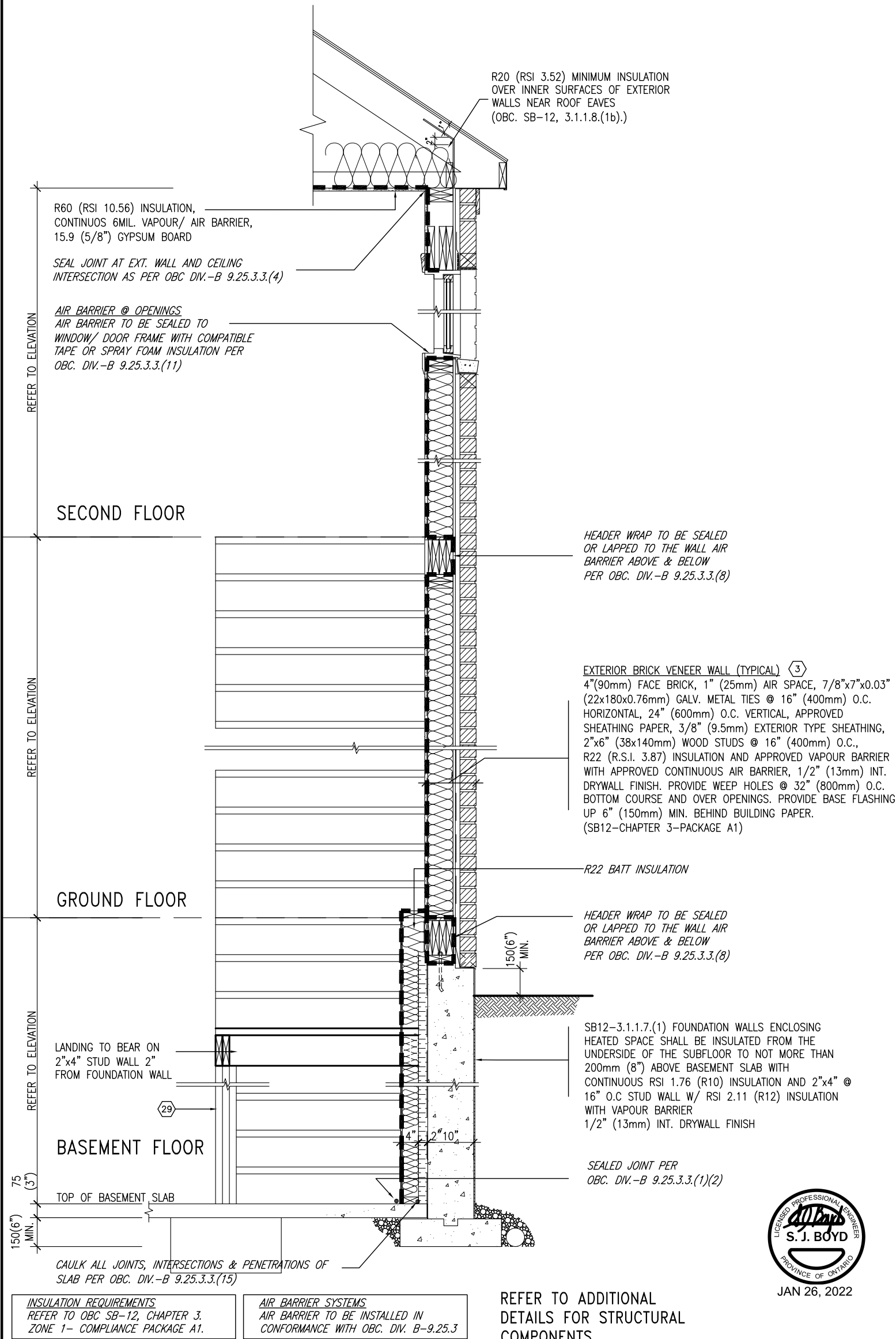
BAYVIEW WELLINGTON

CONST NOTE

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MAY 2016		CONSTRUCTION NOTES			drawing no.
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1		CN6
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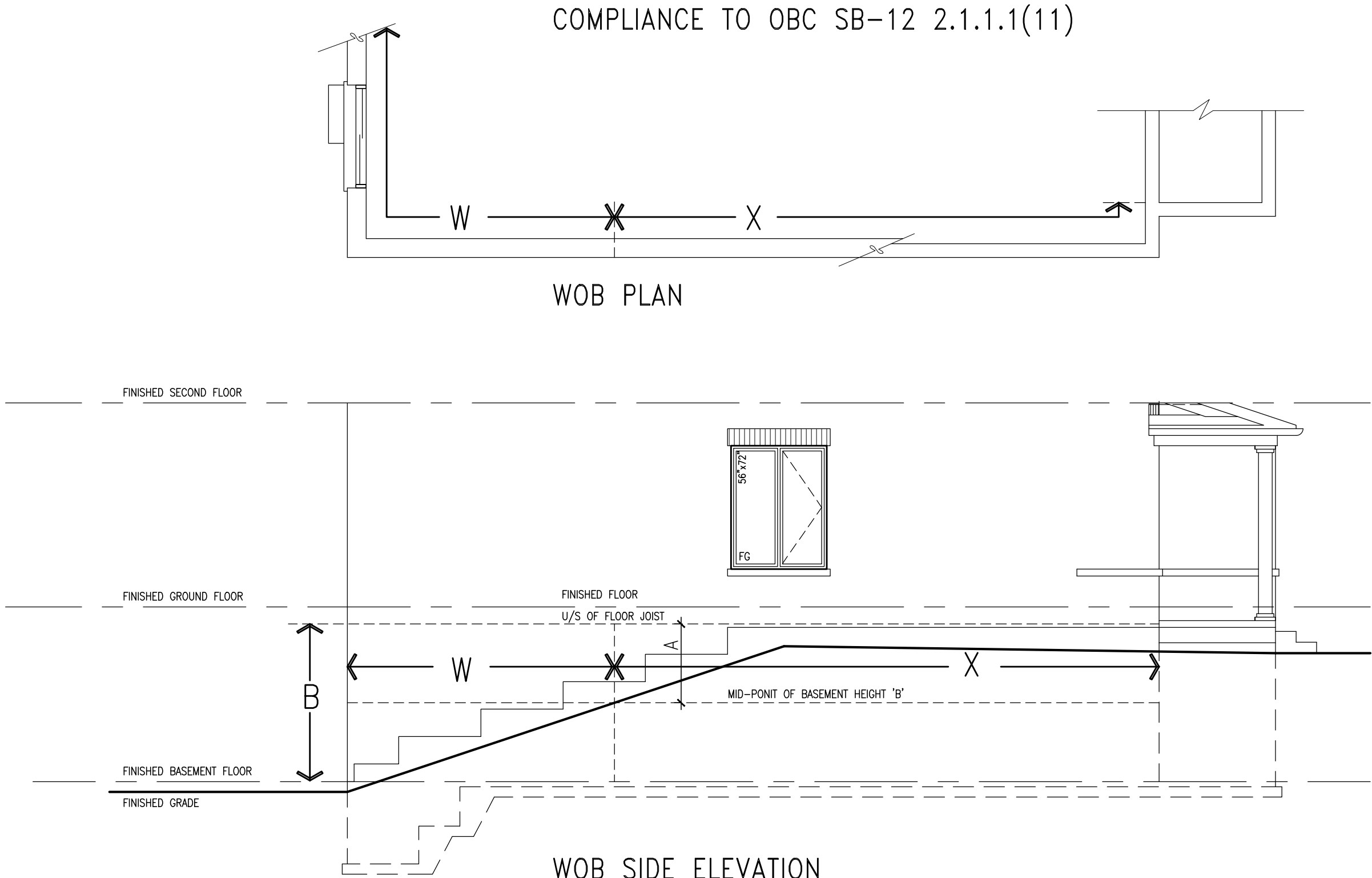
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SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	CONST NOTE
8	.	.	.	qualification information Wellington Jno-Baptiste 25591 signature BCIN						
7	.	.	.	registration information VA3 Design Inc. 42658						
6	.	.	.							
5	.	.	.							
4	UPDATE TO 2022	JAN 11-22	RC				date MAY 2016			CONSTRUCTION NOTES
3	UPDATE TO 2020	FEB 24-20	RC				drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
2	UPDATE TO 2018	JAN 11-18	RC							
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by	Drawings are not to be scaled.						CN7



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

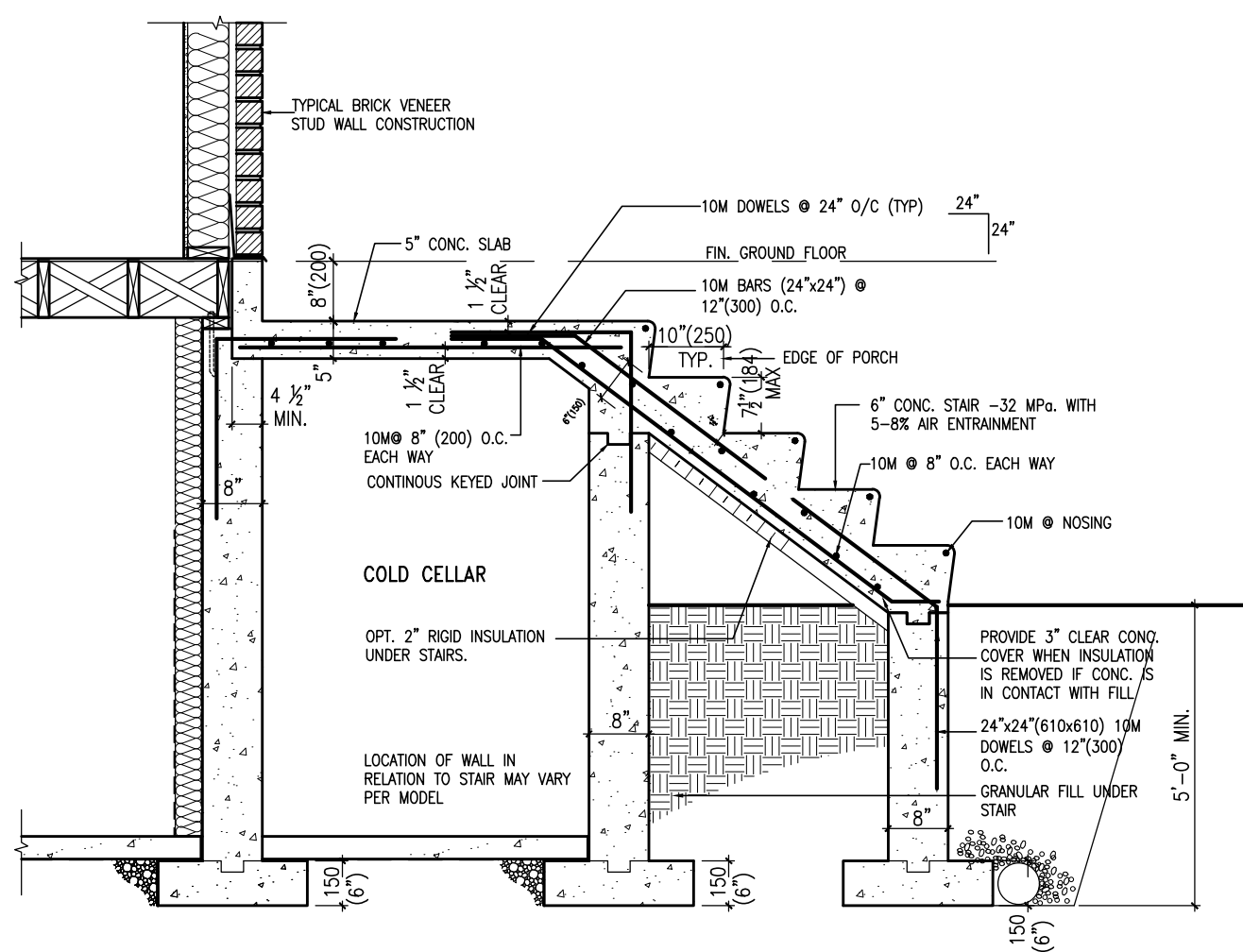
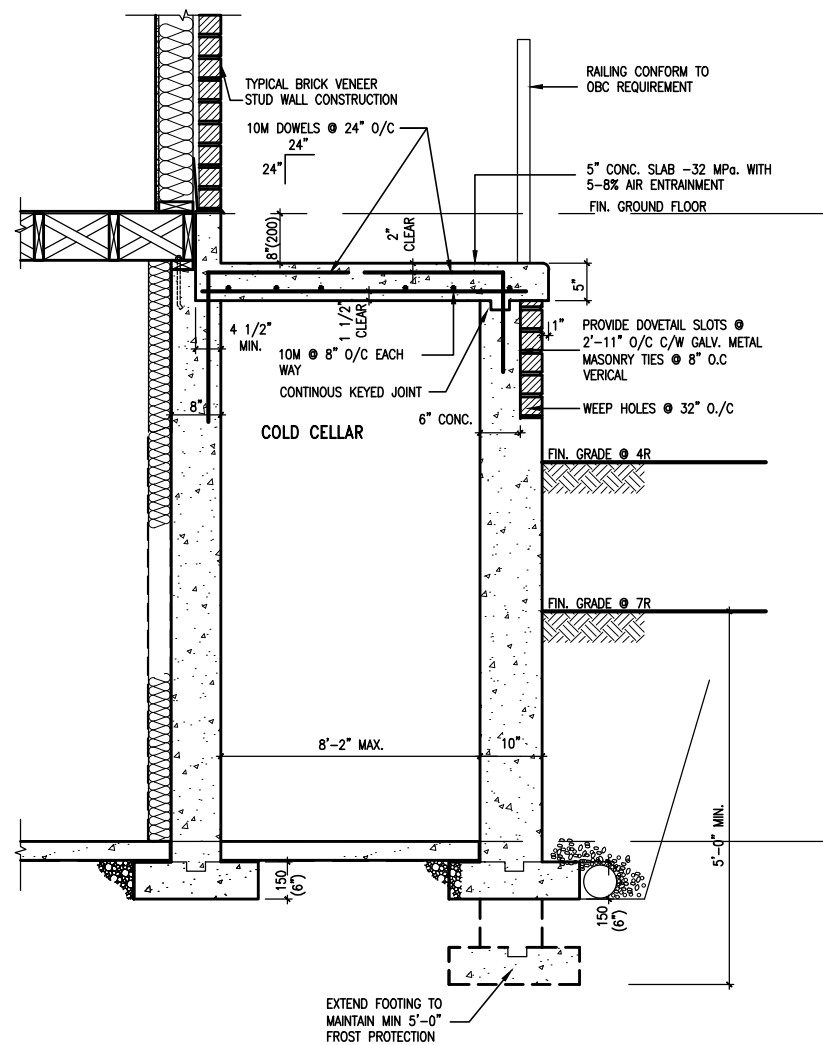
registration information

VAS Design Inc. 42658

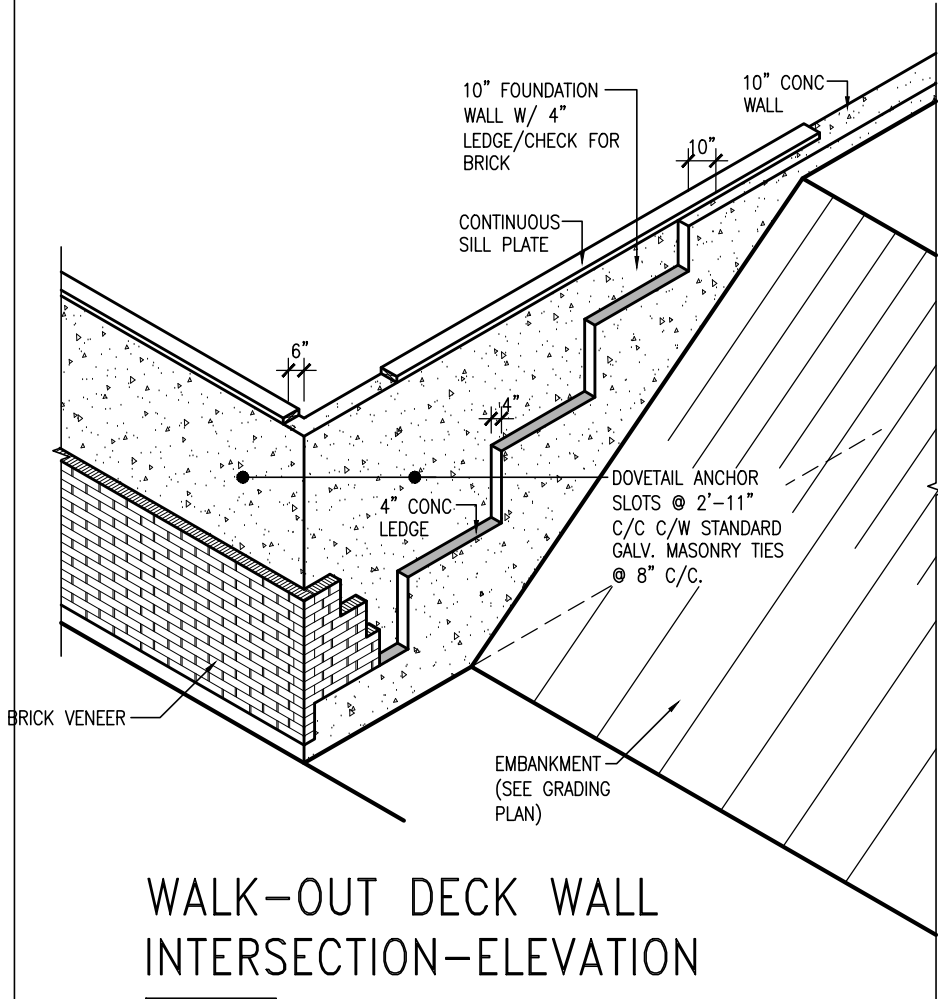
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN8
CONSTRUCTION NOTES			
date	drawn by	checked by	scale
MAY 2016	RC	-	3/16" = 1'-0"
CONST NOTE			

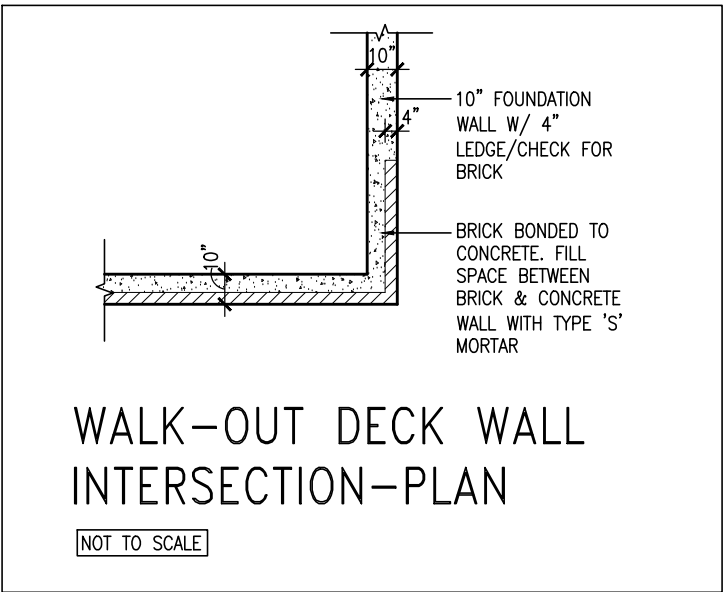


9	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	qualification information	Wellington Jno-Baptiste	25591
8	.				
7	.				
6	.				
5	.				
4	UPDATE TO 2022	RC	name	BCIN	
3	UPDATE TO 2020	RC	registration information	V43 Design Inc.	42658
2	UPDATE TO 2018	RC	signature		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled		
no.	description	date	by		



WALK-OUT DECK WALL
INTERSECTION-ELEVATION

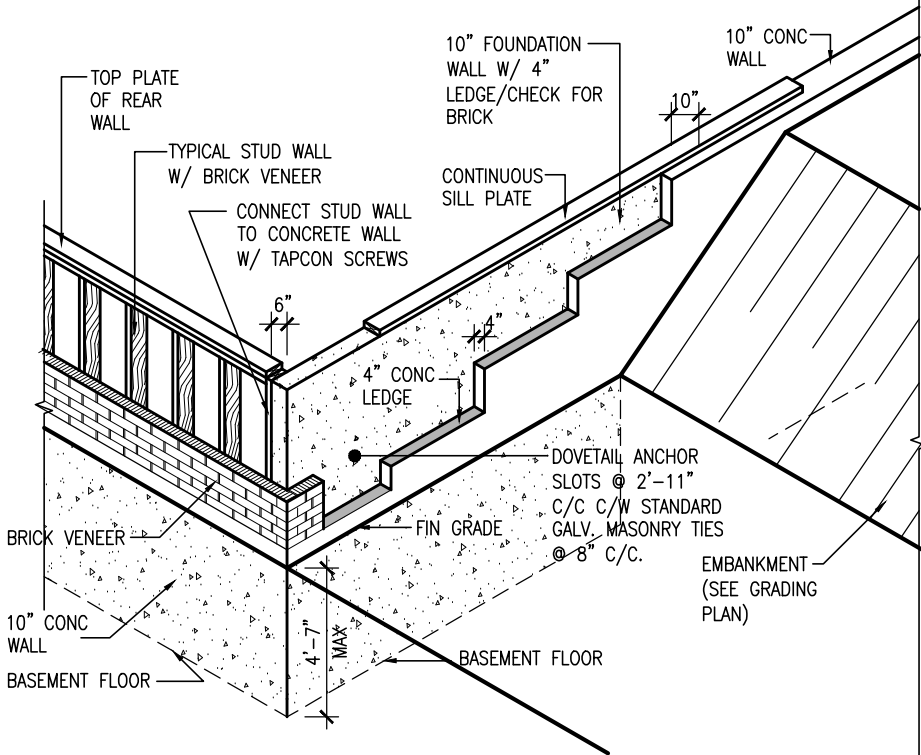
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

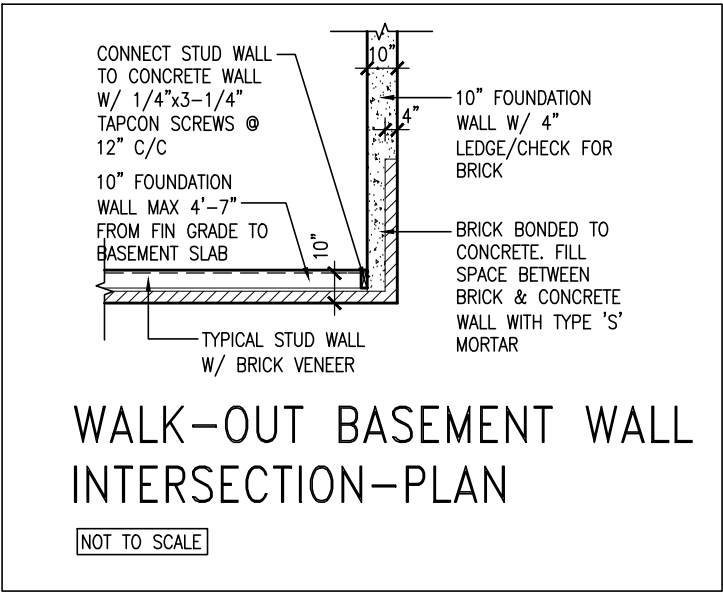
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



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Wellington Jno-Baptiste 25591
signature BCIN

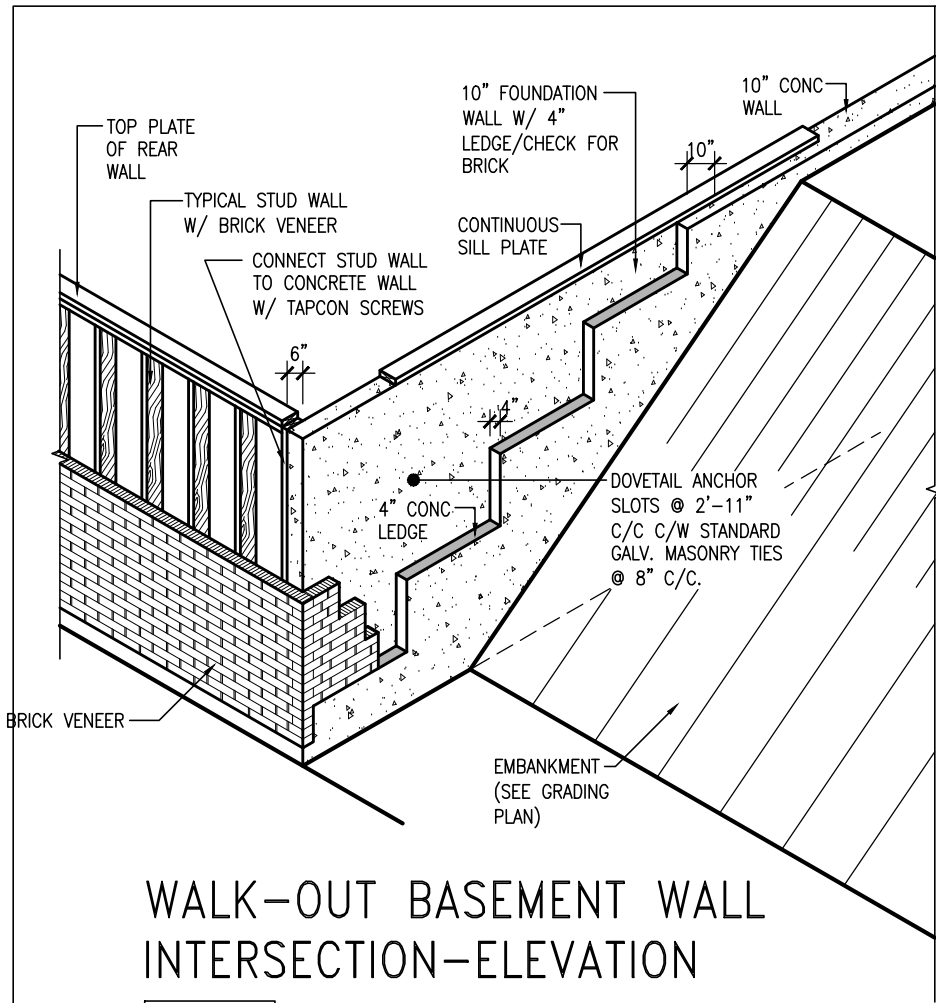
VA3 Design Inc. 42658
name registration information

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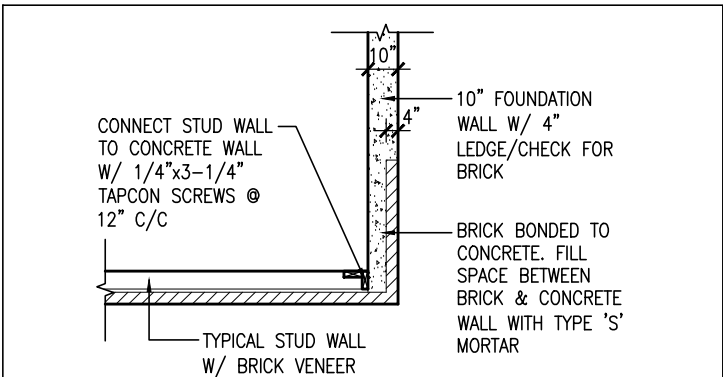
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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	CN10
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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

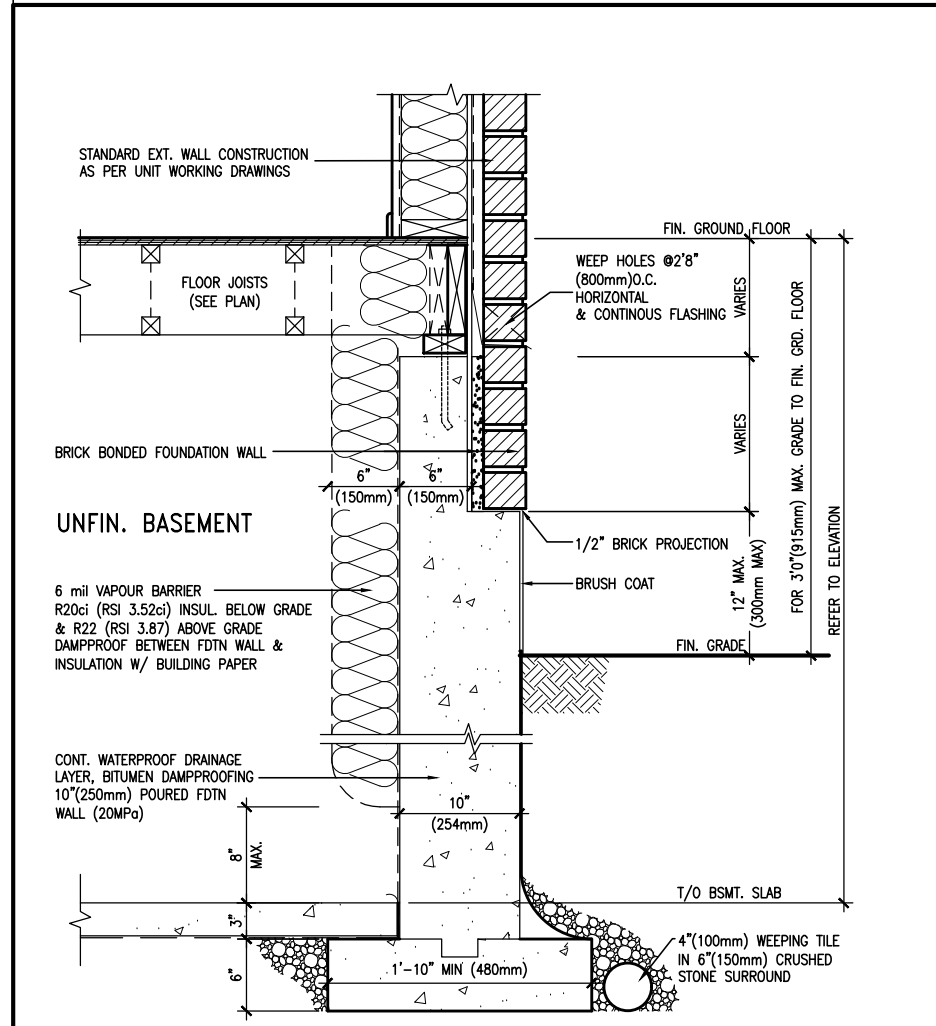
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

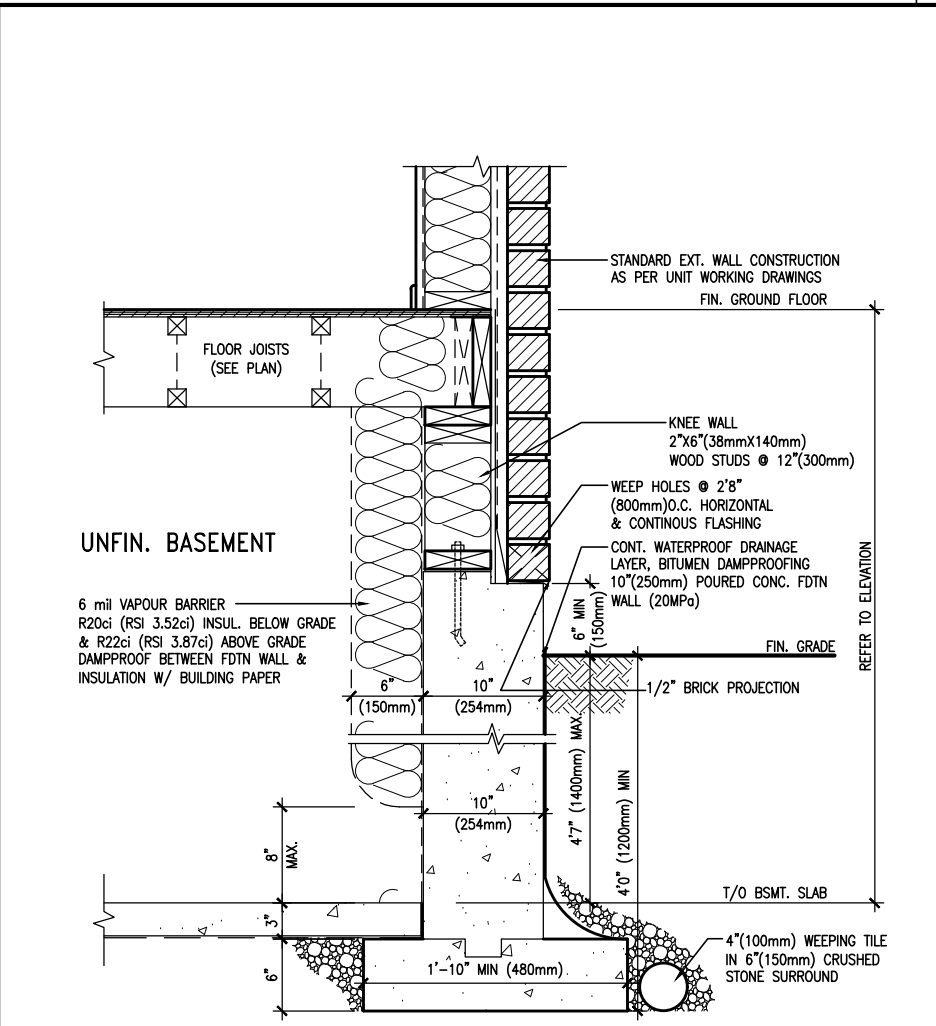
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm) MAX.
HEIGHT DIFFERENCE

SCALE: N.T.S.



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
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5	.	.	.	registration information
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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
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CN11

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

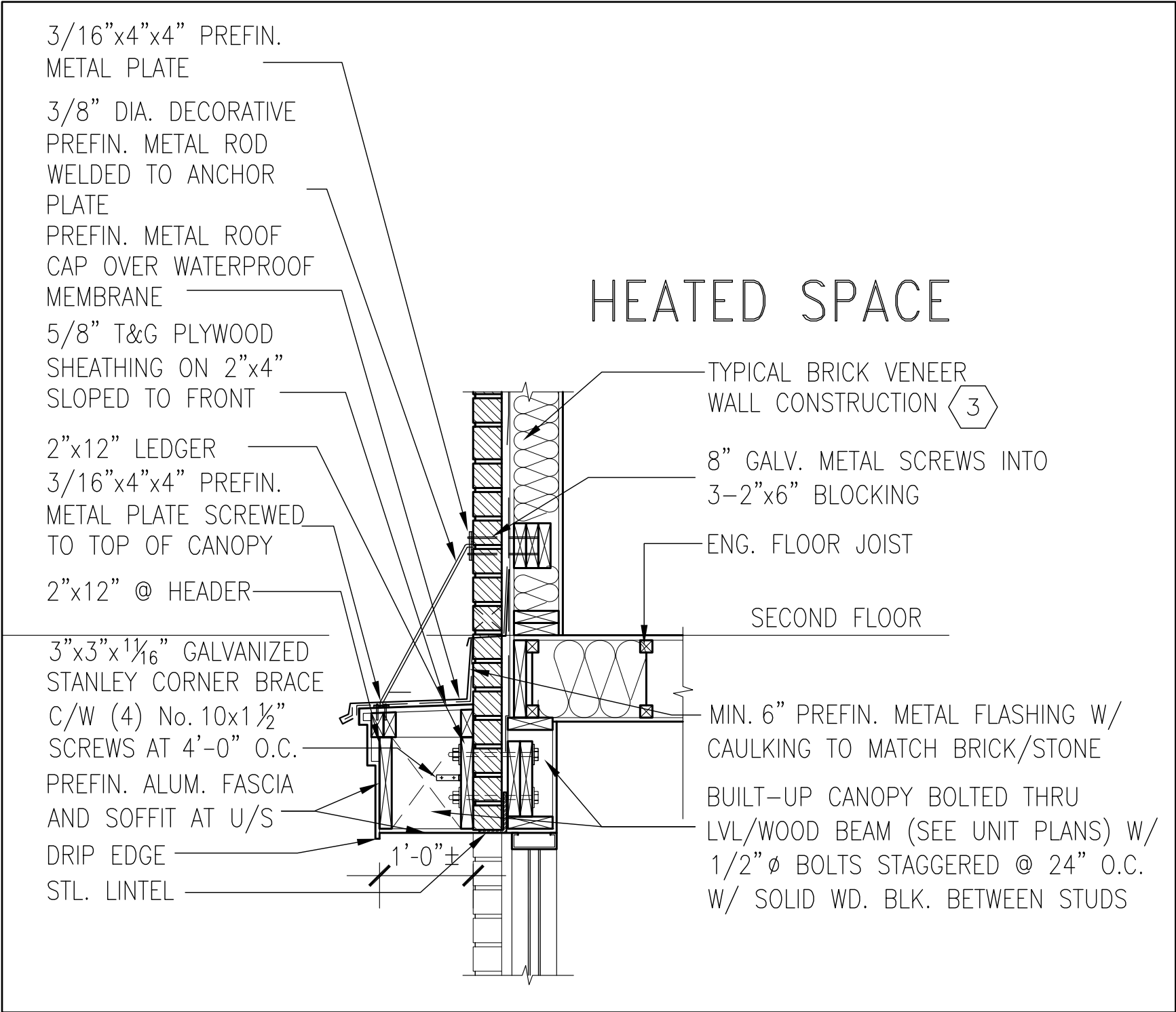
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>name registration information VA3 Design Inc. 42658</div> <div>signature</div> <div>BCIN</div>	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	.			project name	municipality	project no.	
7	.	.	.			GREEN VALLEY EAST	BRADFORD	16023	
6	.	.	.			CONSTRUCTION NOTES			
5	.	.	.			date	checked by	drawing no.	
4	UPDATE TO 2022	JAN 11-22	RC	MAY 2016	scale	file name			
3	UPDATE TO 2020	FEB 24-20	RC	drawn by	3/16" = 1'-0"	16023-CN-2022-A1			
2	UPDATE TO 2018	JAN 11-18	RC	RC	-	CN12			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM					
no.	description	date	by						



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



JAN 26, 2022

9	-	-	-	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste <i>Jno Baptiste</i> 25591</div> <div>name signature BCIN</div> <div>registration information VA3 Design Inc. 42658</div>	<div>VA3</div> <div>DESIGN</div> <div>255 Consumers Rd Suite 120</div> <div>Toronto ON M2J 1R4</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>	BAYVIEW WELLINGTON		CONST NOTE			
8	-	-	-			project name		municipality		project no.	
7	-	-	-			GREEN VALLEY EAST		BRADFORD		16023	
6	-	-	-			date		checked by		scale	
5	-	-	-			MAY 2016		RC		3/16" = 1'-0"	
4	UPDATE TO 2022	JAN 11-22	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>	CONSTRUCTION NOTES				drawing no.		
3	UPDATE TO 2020	FEB 24-20	RC		file name				CN13		
2	UPDATE TO 2018	JAN 11-18	RC		16023-CN-2022-A1						
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM						
no.	description	date	by								

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST NOTE	
8	.	.	qualification information				
7	.	.	Wellington Jno-Baptiste 25591 name signature BCIN				
6	.	.	registration information VA3 Design Inc. 42658				
5	.	.					
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
3	UPDATE TO 2020	FEB 24-20	RC				
2	UPDATE TO 2018	JAN 11-18	RC				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				
no.	description		date				

date MAY 2016			CONSTRUCTION NOTES		drawing no. CN14
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1		
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