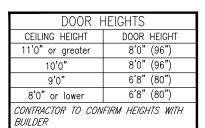
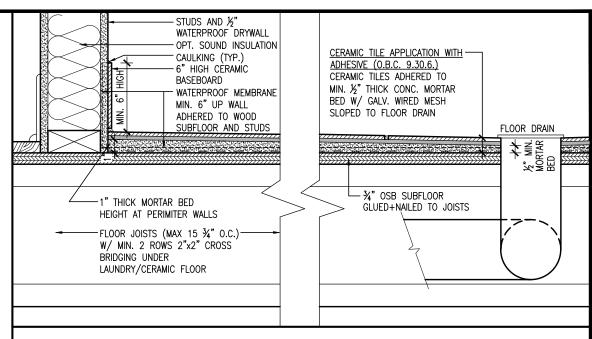


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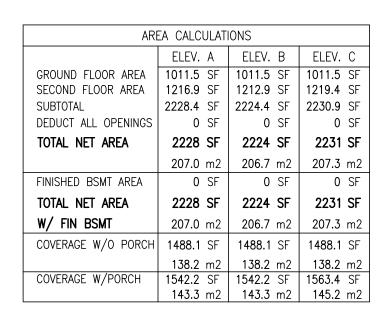
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

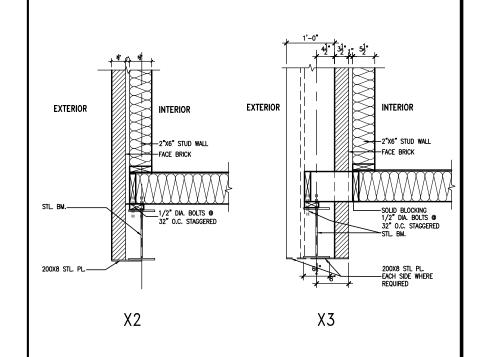
# 



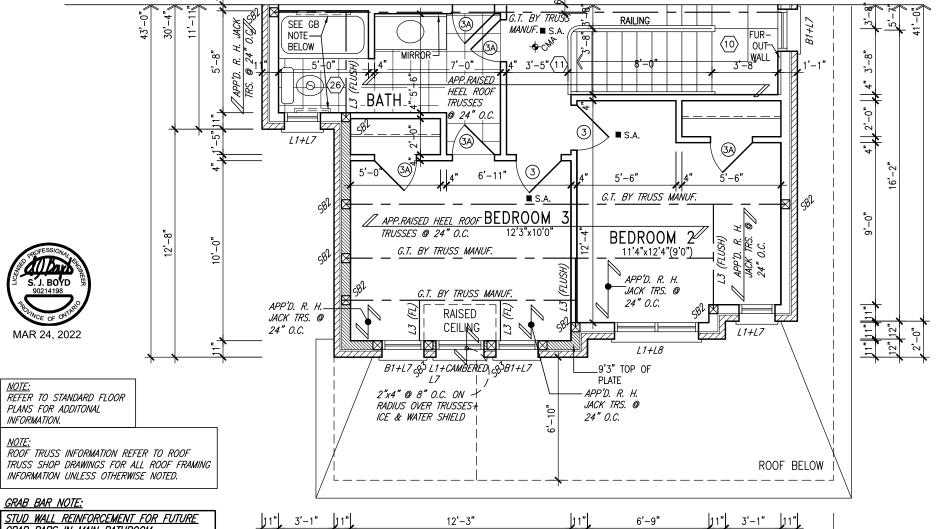


## DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY





12" WALL JOG SCALE: N.T.S.



GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3 REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS

PROVIDED.

9	•			Ine
8	•			and Ont
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC	que
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC	We
5	10' GROUND FLOOR	MAY 13-21	KL	nar
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL	reg VA
3	REV ROOF STRUCT. FOR UPG. REAR EL.C	MAR 18-19	RC :	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC	Cor
1	ISSUED FOR CLIENT REVIEW			dra of
nο	description	date	hv	Dro

ne undersigned has reviewed and taken nd has the qualifications and meets ntario Building Code to be a Designe

4'-0"

3'-10'

alification information Tellington Jno-Baptiste 2559 gistration informatio A3 Design Inc. 42658

ontractor must verify all dimensions on the job and report any iscrepancy to the Designer before proceeding with the work. All rawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. rawings are not to be scaled.



va3design.com

29'-9"

14'-1"

**BAYVIEW WELLINGTON** BRADFORD **GREEN VALLEY EAST** 

'B'

3'-10"

7'-8"

3'-10"

S38 - 1BAROSSA 1

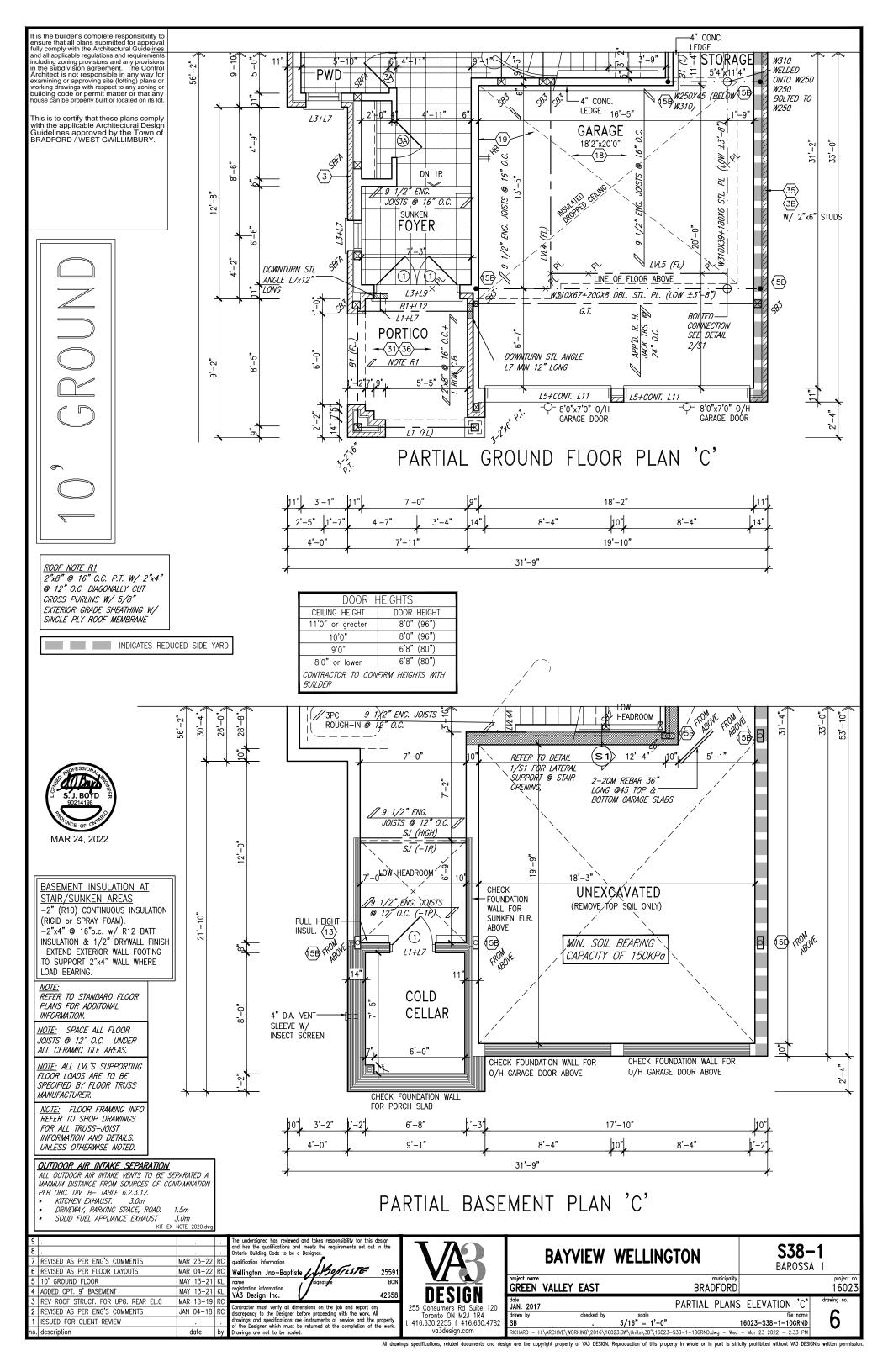
16023

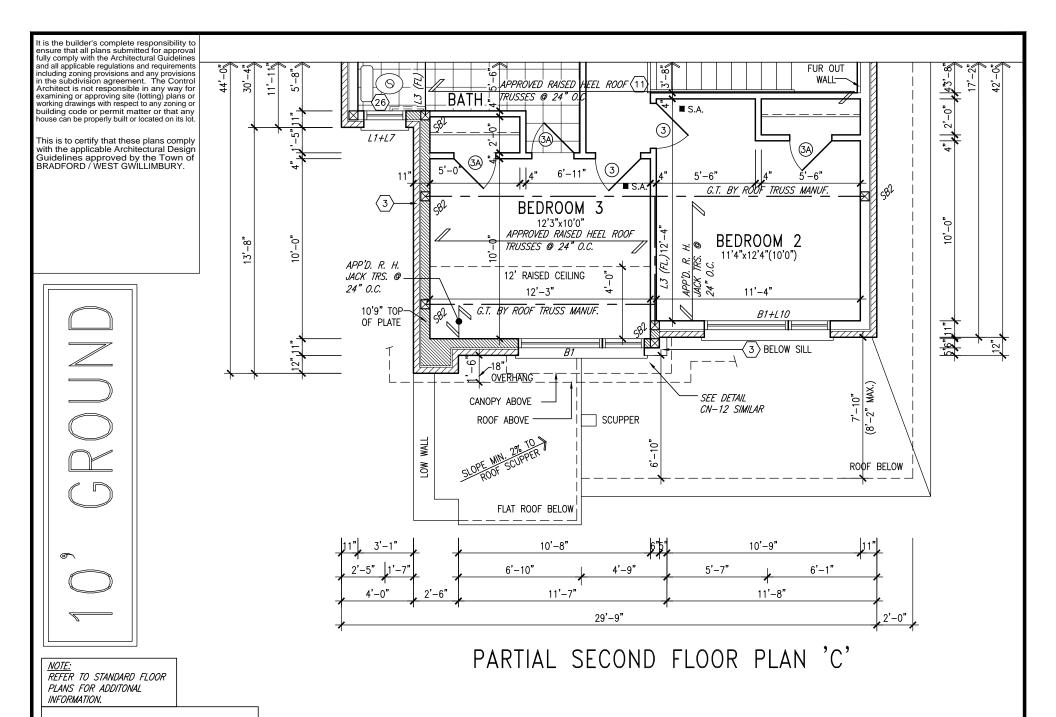
5

JAN. 2017 PARTIAL PLANS ELEVATION 'B' drawn by 3/16" = 1'-0" 16023-S38-1-10GRND

4'-0"

2'-0"





<u>GRAB BAR NOTE:</u>

STUD WALL REINFORCEMENT FOR FUTURE

ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B—9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB—NOTE—2020.dwg



BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).

-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE

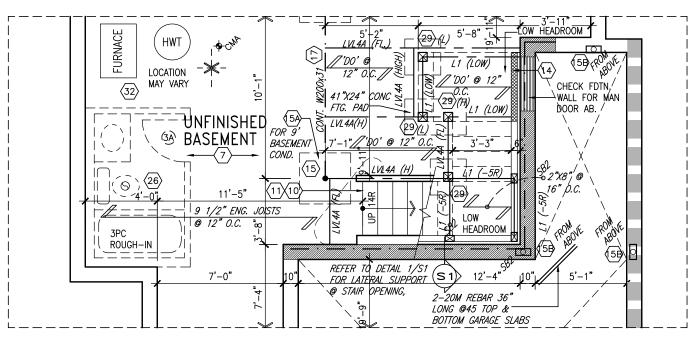
NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITONAL INFORMATION.

LOAD BEARING.

<u>NOTE:</u> SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

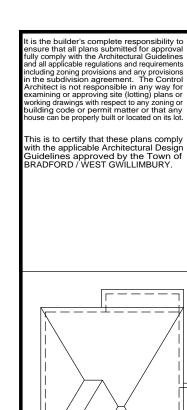
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

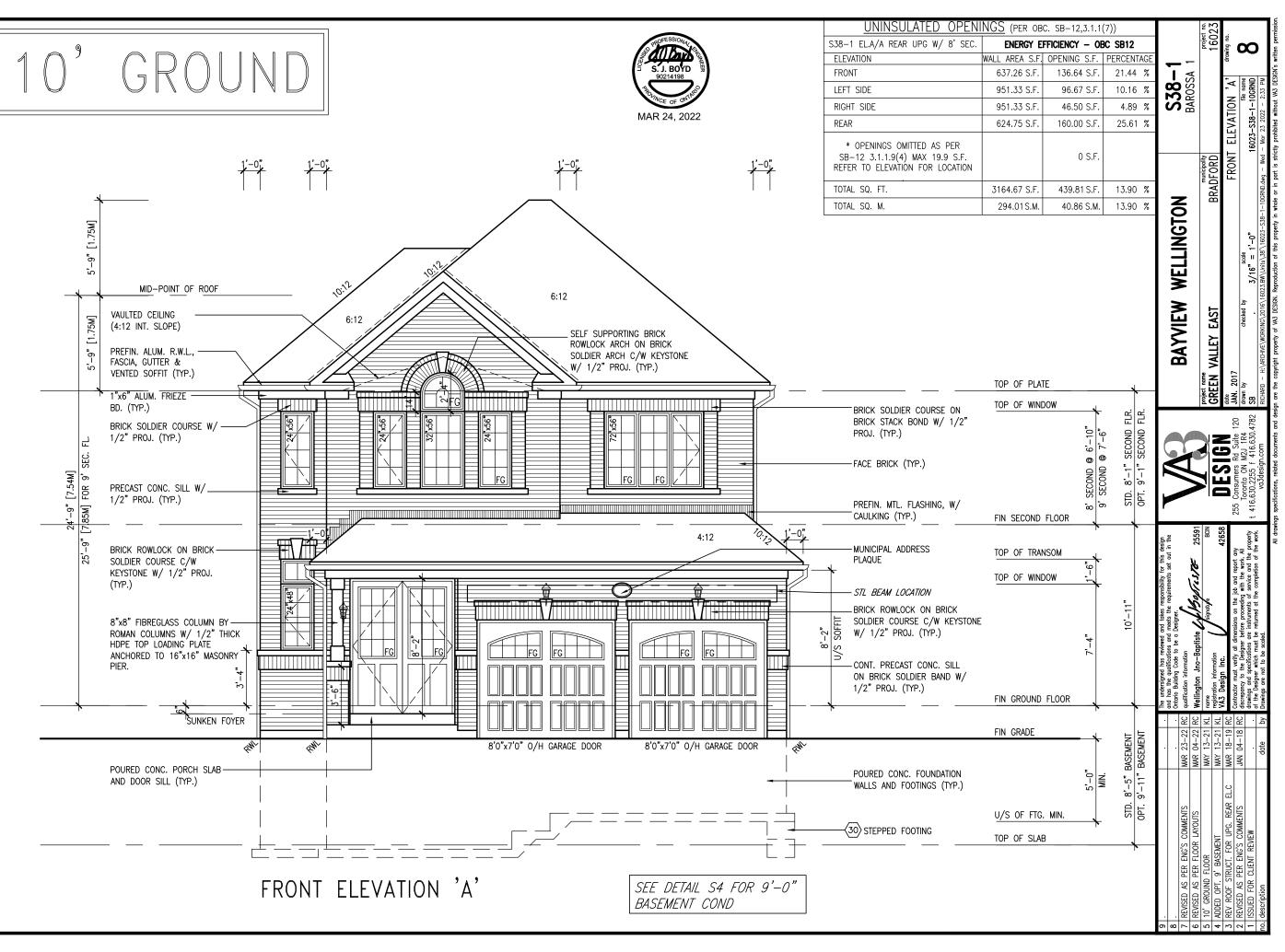


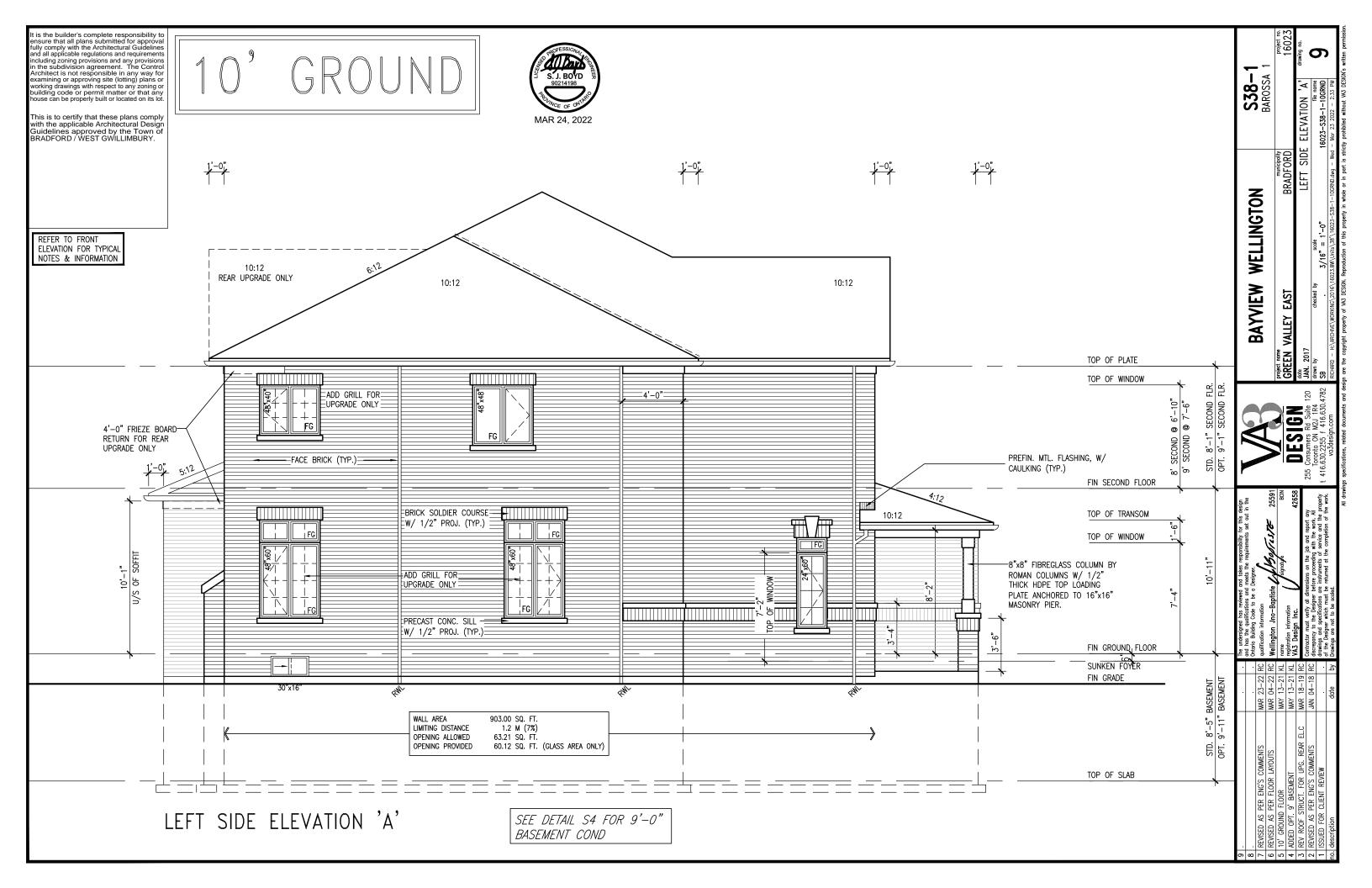
PARTIAL PLAN FOR 1R SUNKEN MUD ROOM COND.

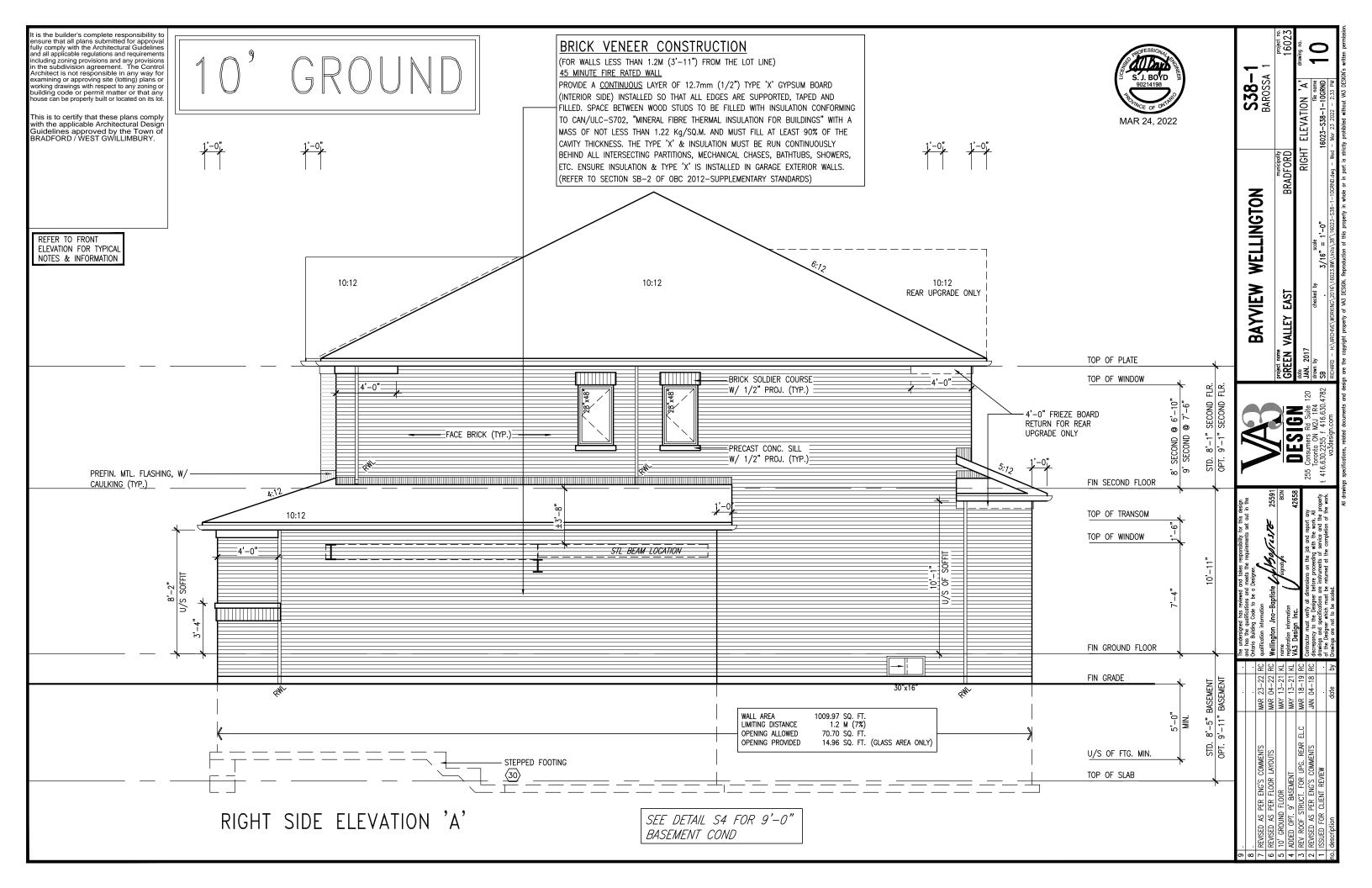
9   . 8   . 7   REVISED AS PER ENG'S COMMENTS 6   REVISED AS PER FLOOR LAYOUTS	MAR 23-22 RG	<b>-</b>		BAYVIEW	WELLINGTON	<b>S38-1</b> BAROSSA 1
5 10' GROUND FLOOR 4 ADDED OPT. 9' BASEMENT	MAY 13-21 KI MAY 13-21 KI	L name signature BC	DECION I	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
3 REV ROOF STRUCT. FOR UPG. REAR EL.C 2 REVISED AS PER ENG'S COMMENTS	MAR 18-19 RO	Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120	date JAN. 2017	PARTIAL PLANS	S ELEVATION 'C' drawing no.
1 ISSUED FOR CLIENT REVIEW		iscrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782			file name 16023-S38-1-10GRND
no. description	date by	y Drawings are not to be scaled.	va3design.com		16023.BW\Units\38"\16023-S38-1-10GRND.dwg - Wed	

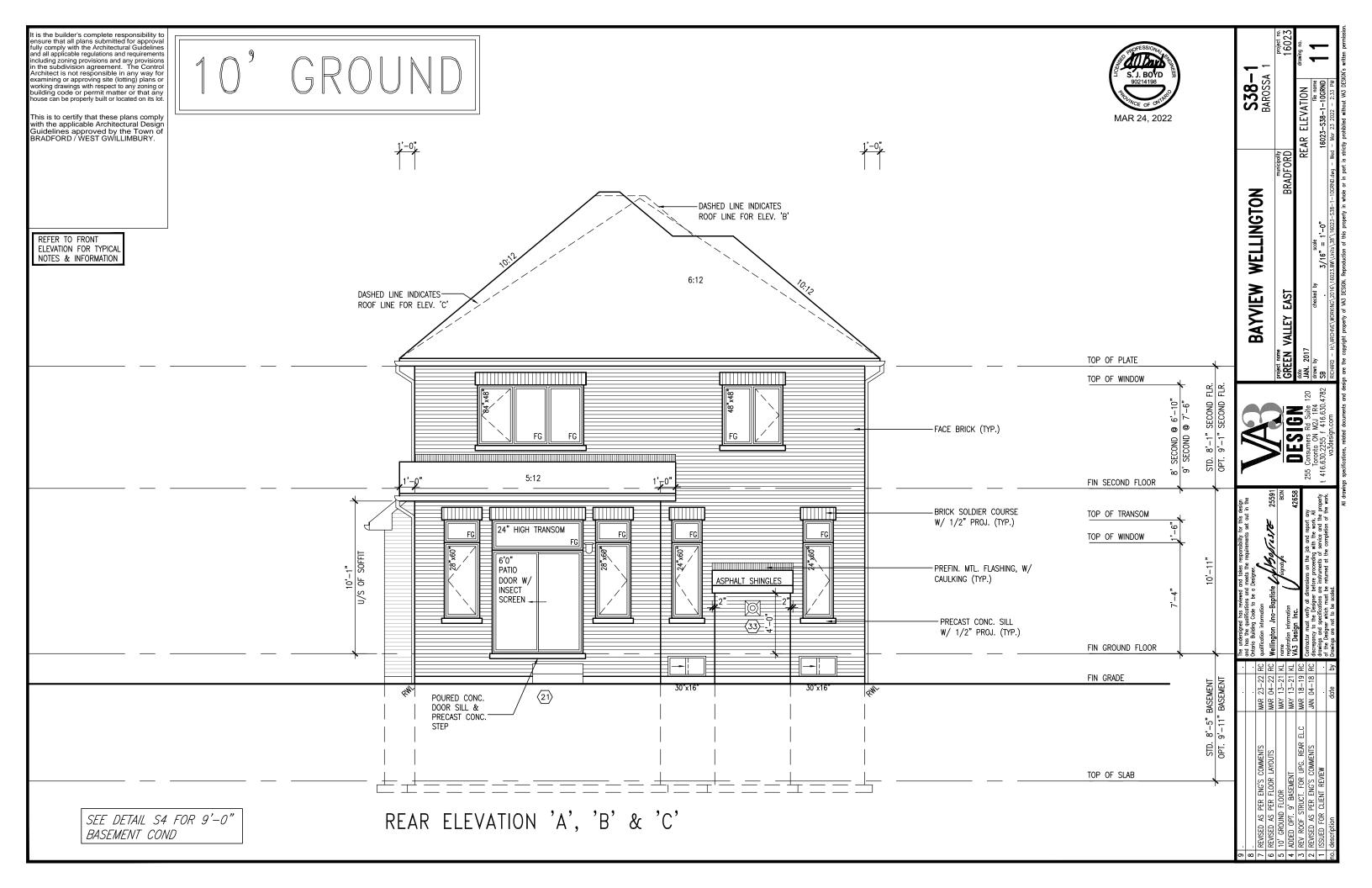


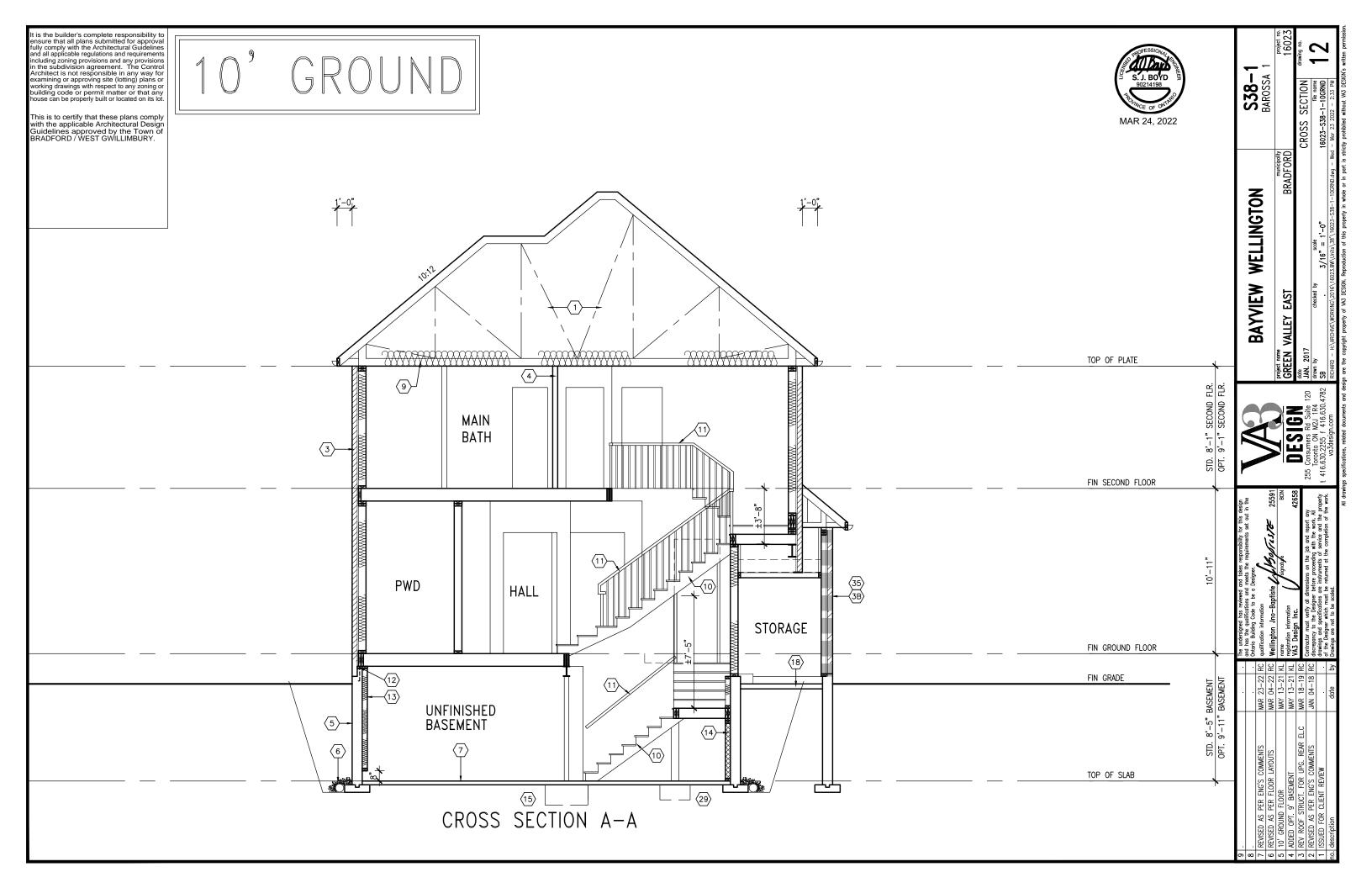


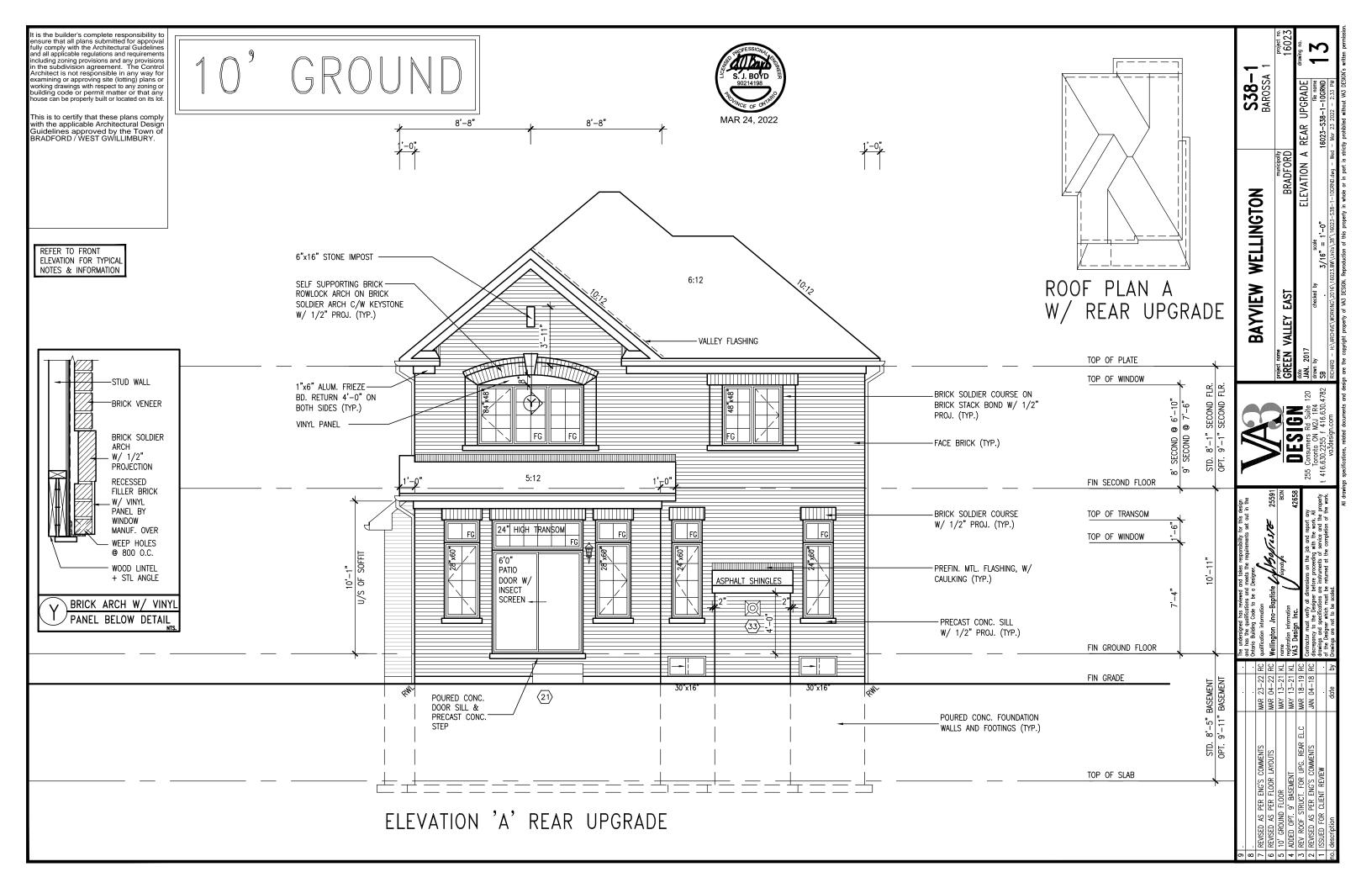










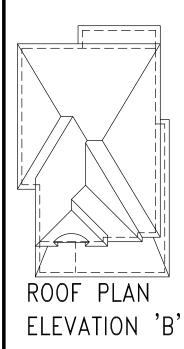


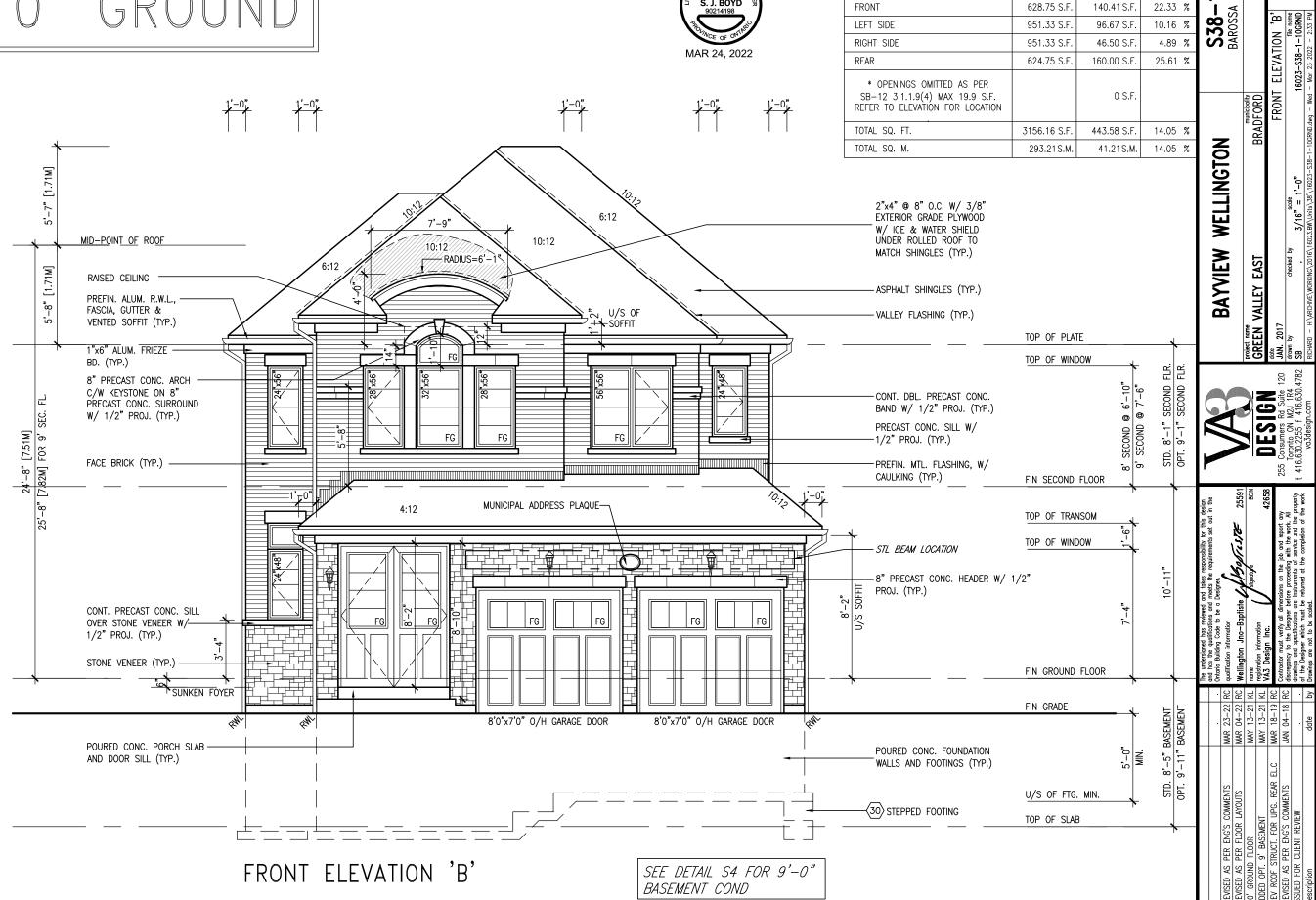


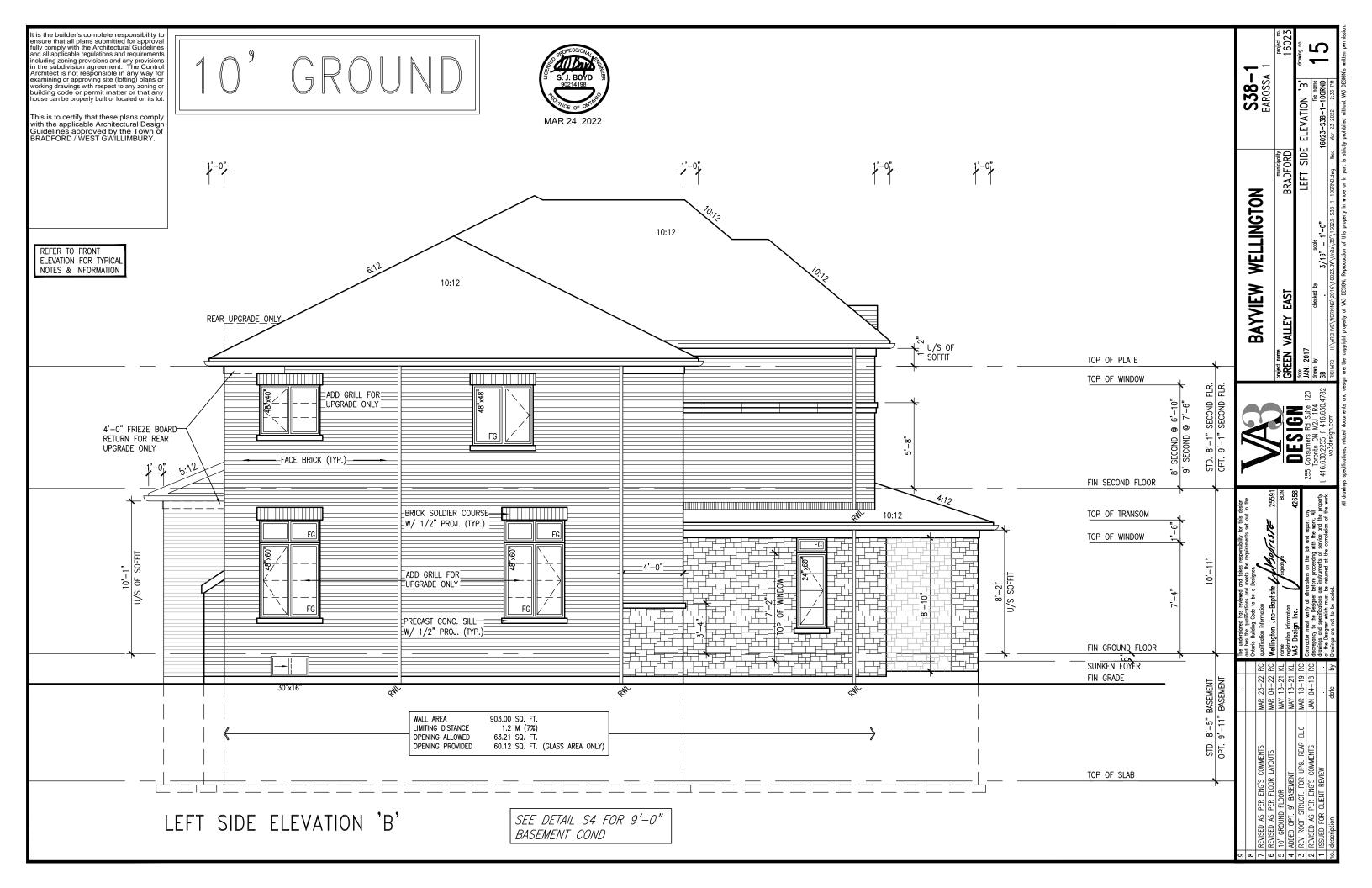
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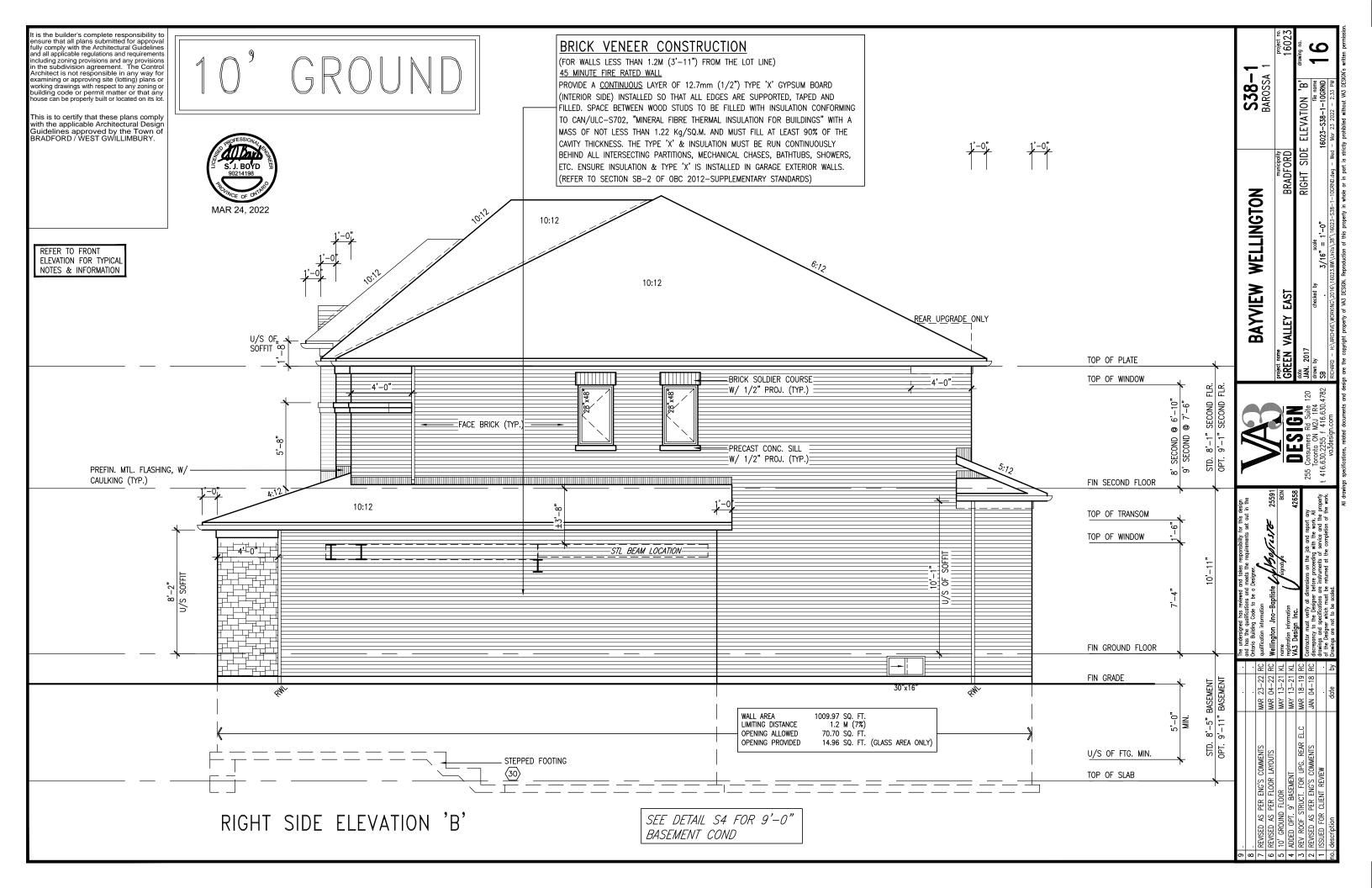


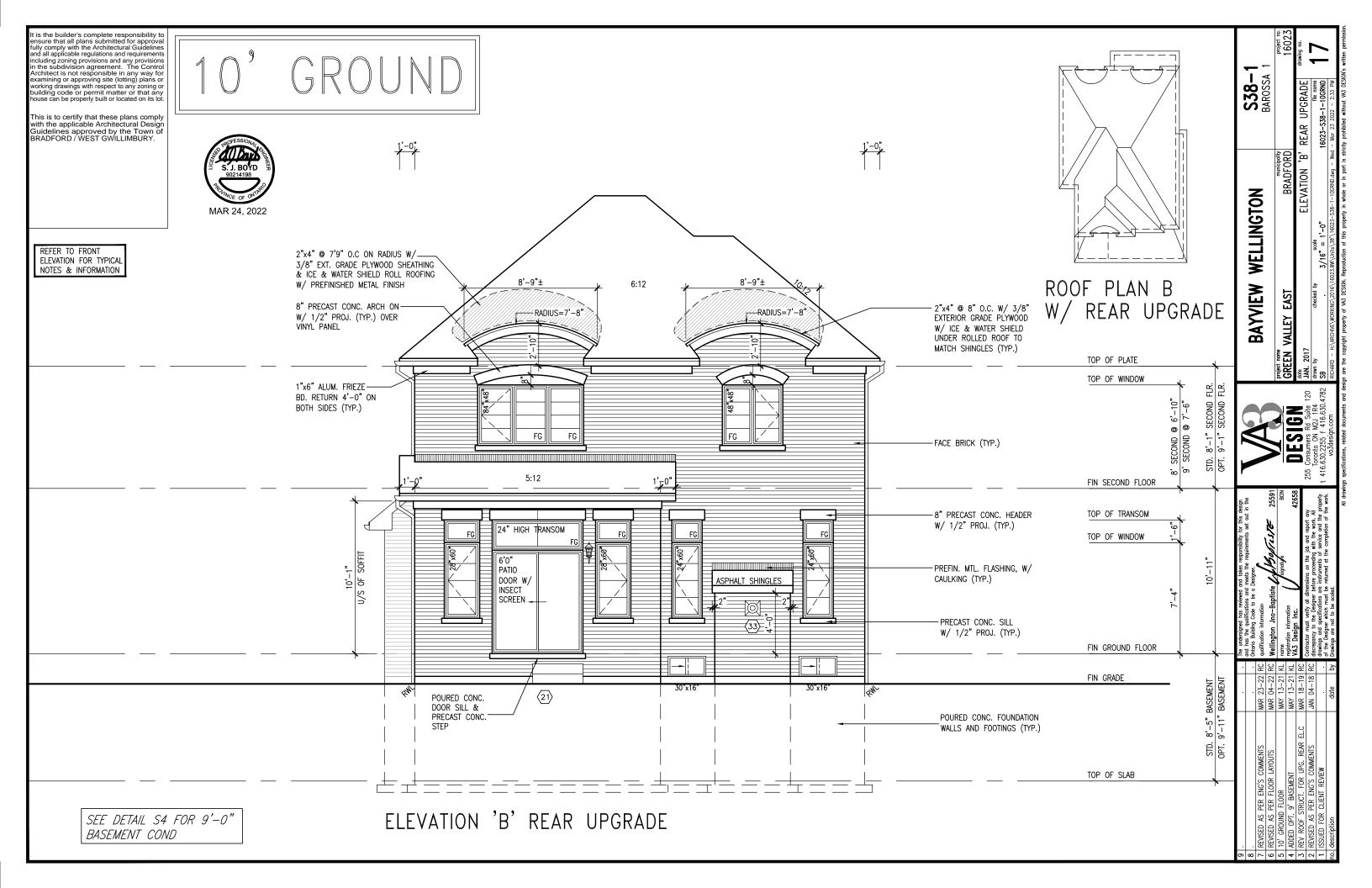
<u>UNINSULATED OPENI</u>	<u>INGS</u> (PER OB	C. SB-12,3.1.1	(7))	
S38-1 EL.B/B REAR UPG. W/ 8' SEC.	ENERGY E	FFICIENCY - OF	3C SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	_
FRONT	628.75 S.F.	140.41 S.F.	22.33 %	
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %	023
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %	U
REAR	624.75 S.F.	160.00 S.F.	25.61 %	
* OPENINGS OMITTED AS PER				
SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		







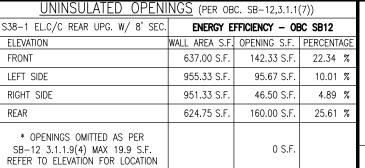




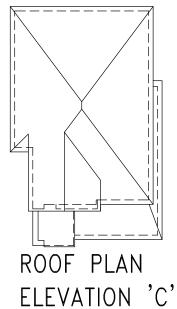


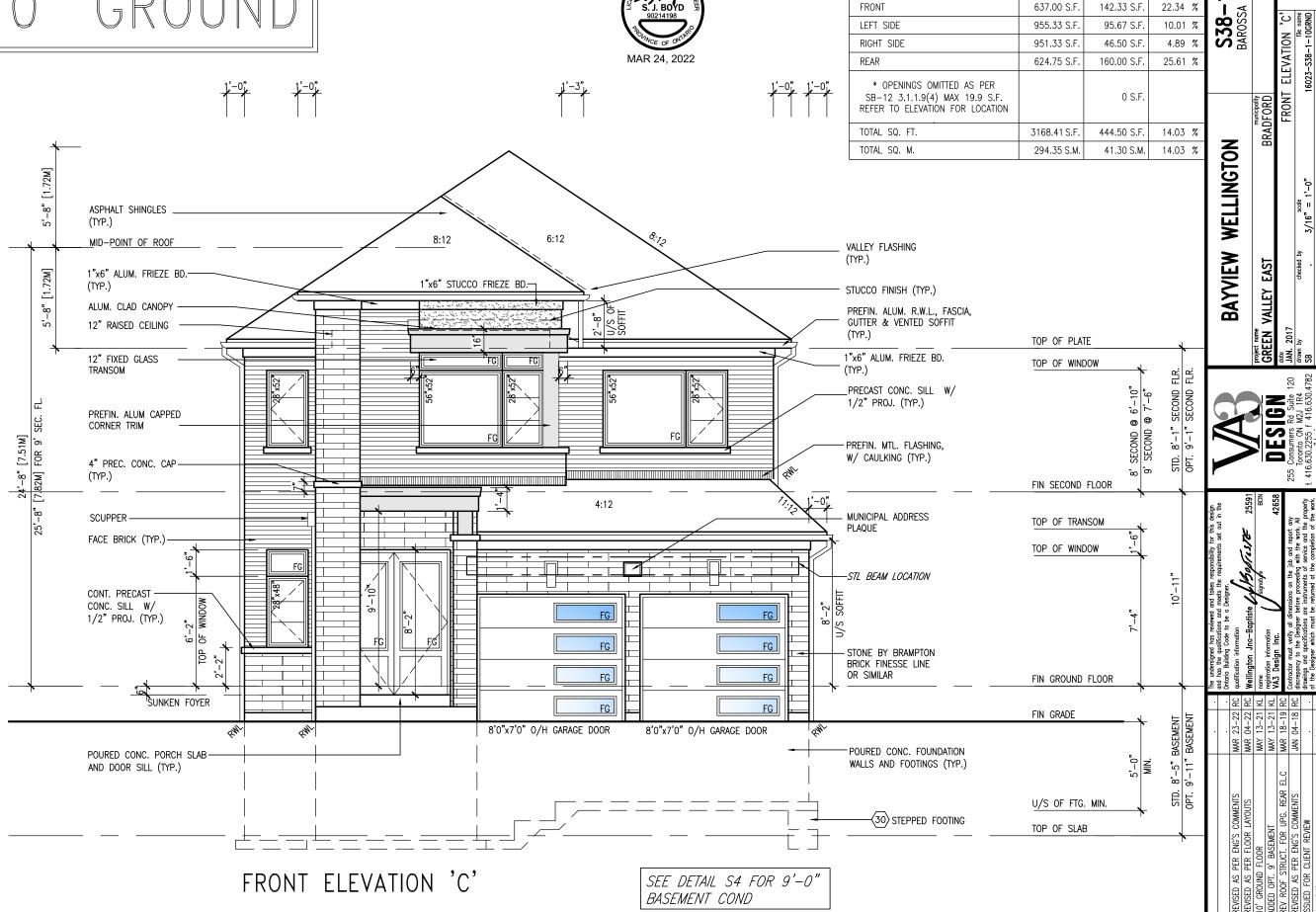


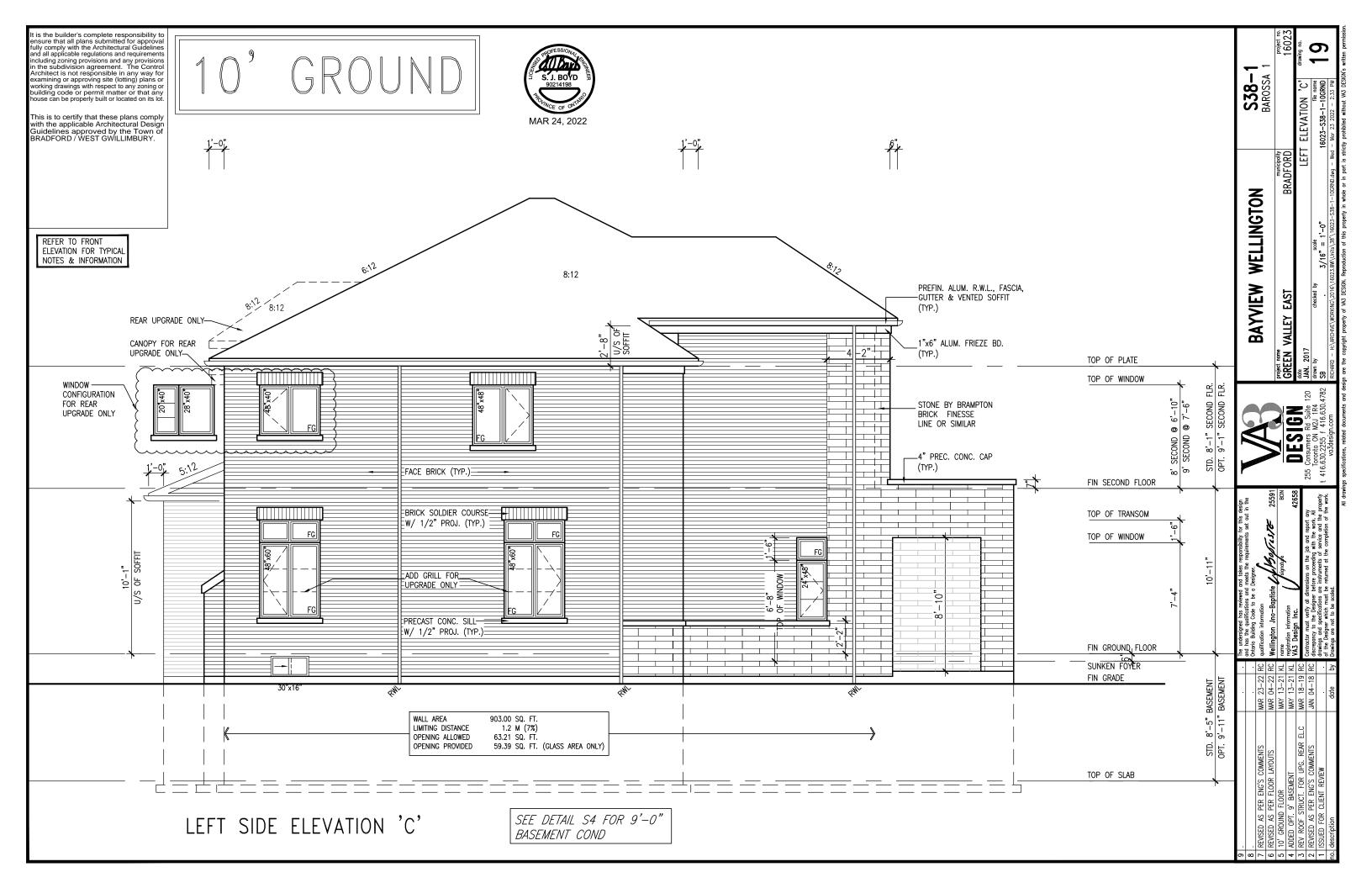


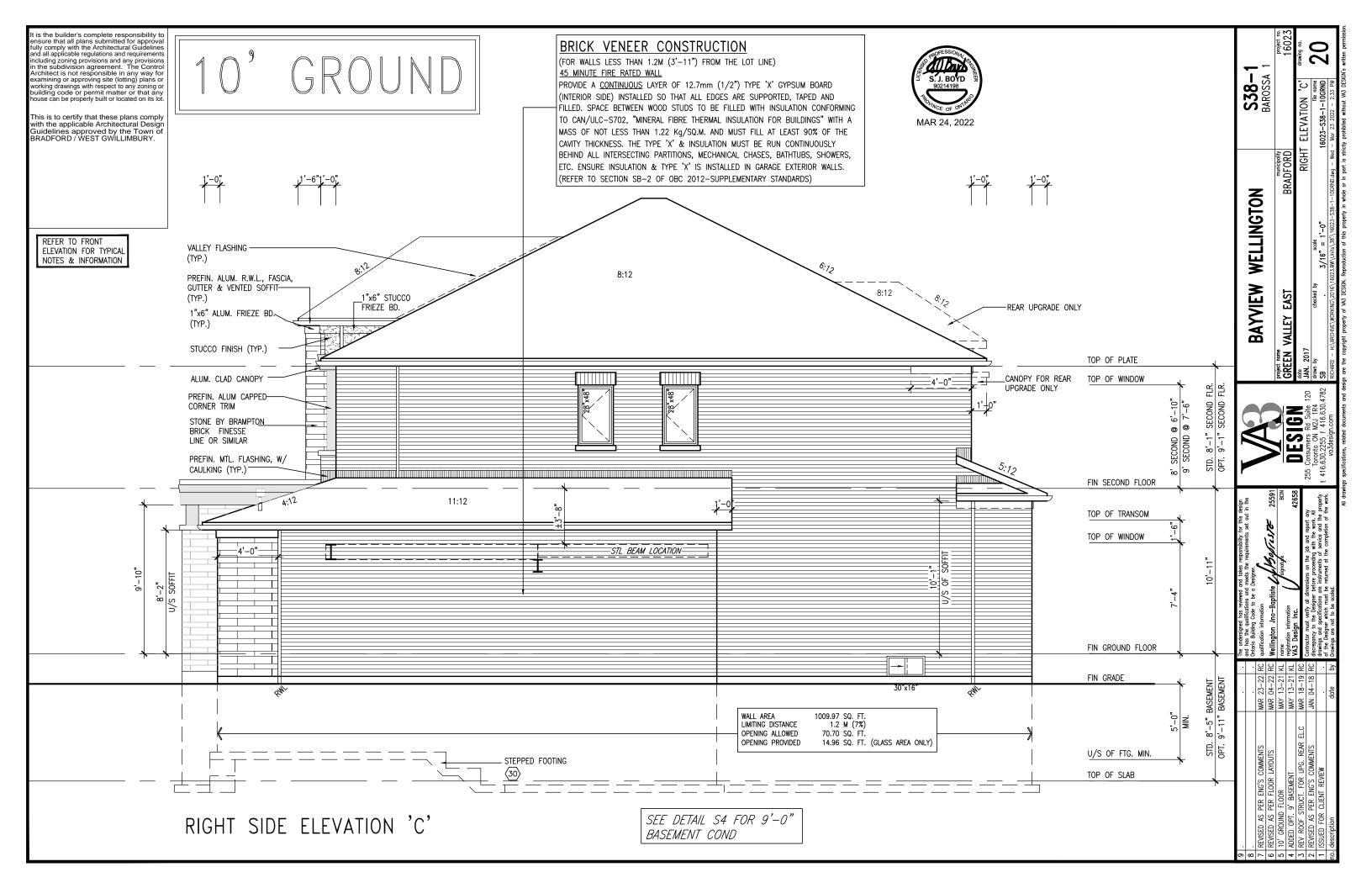


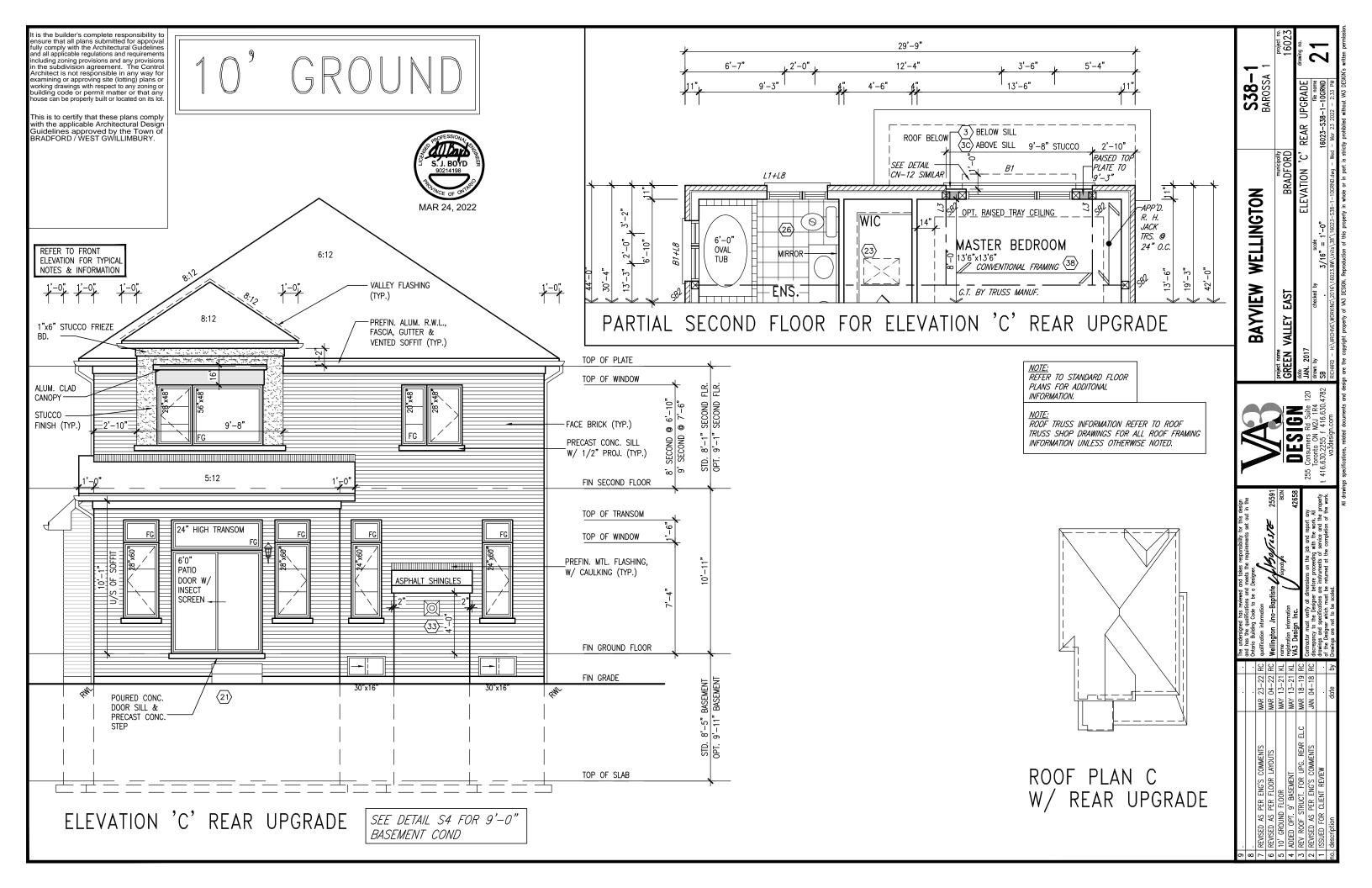
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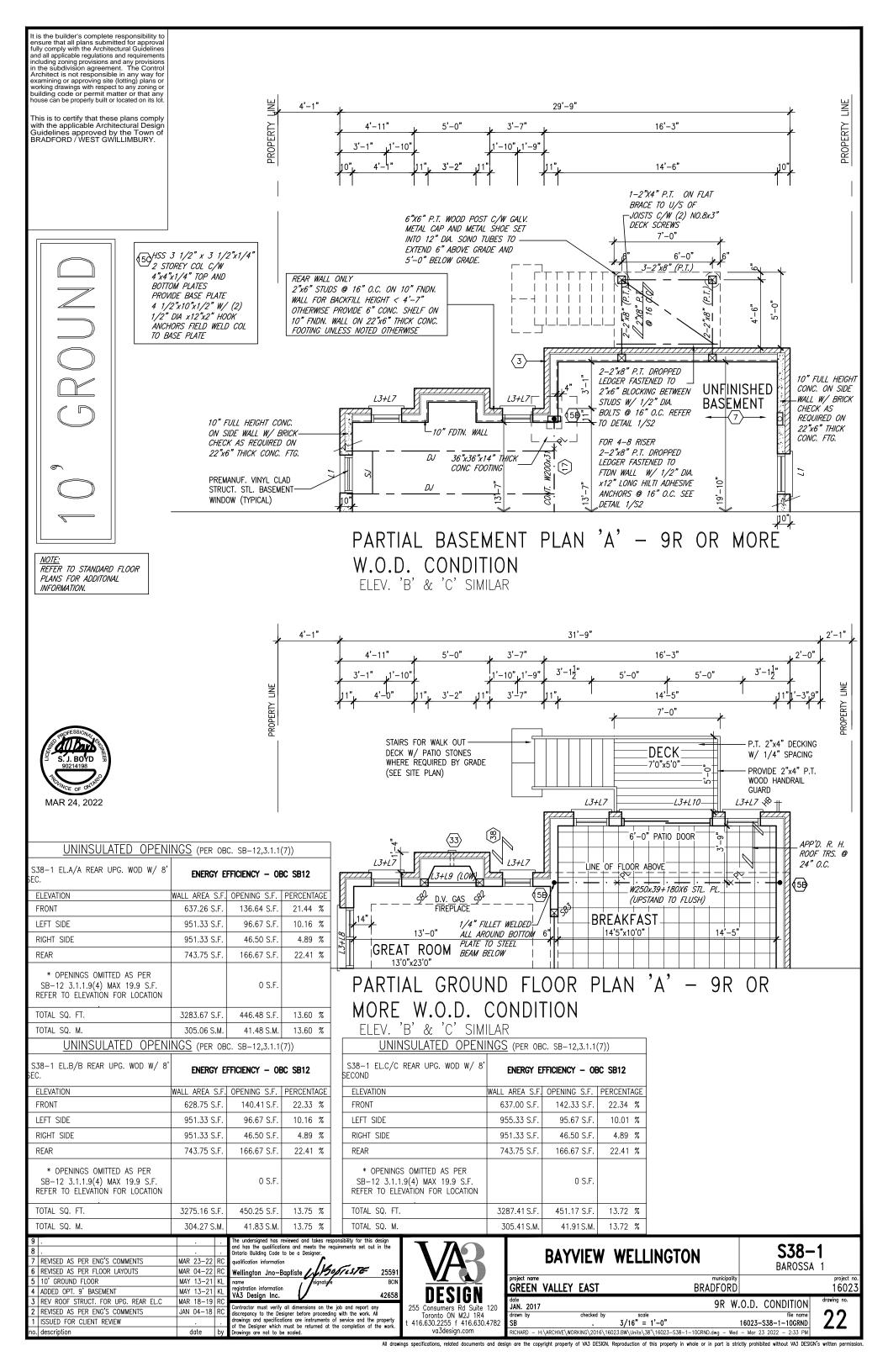


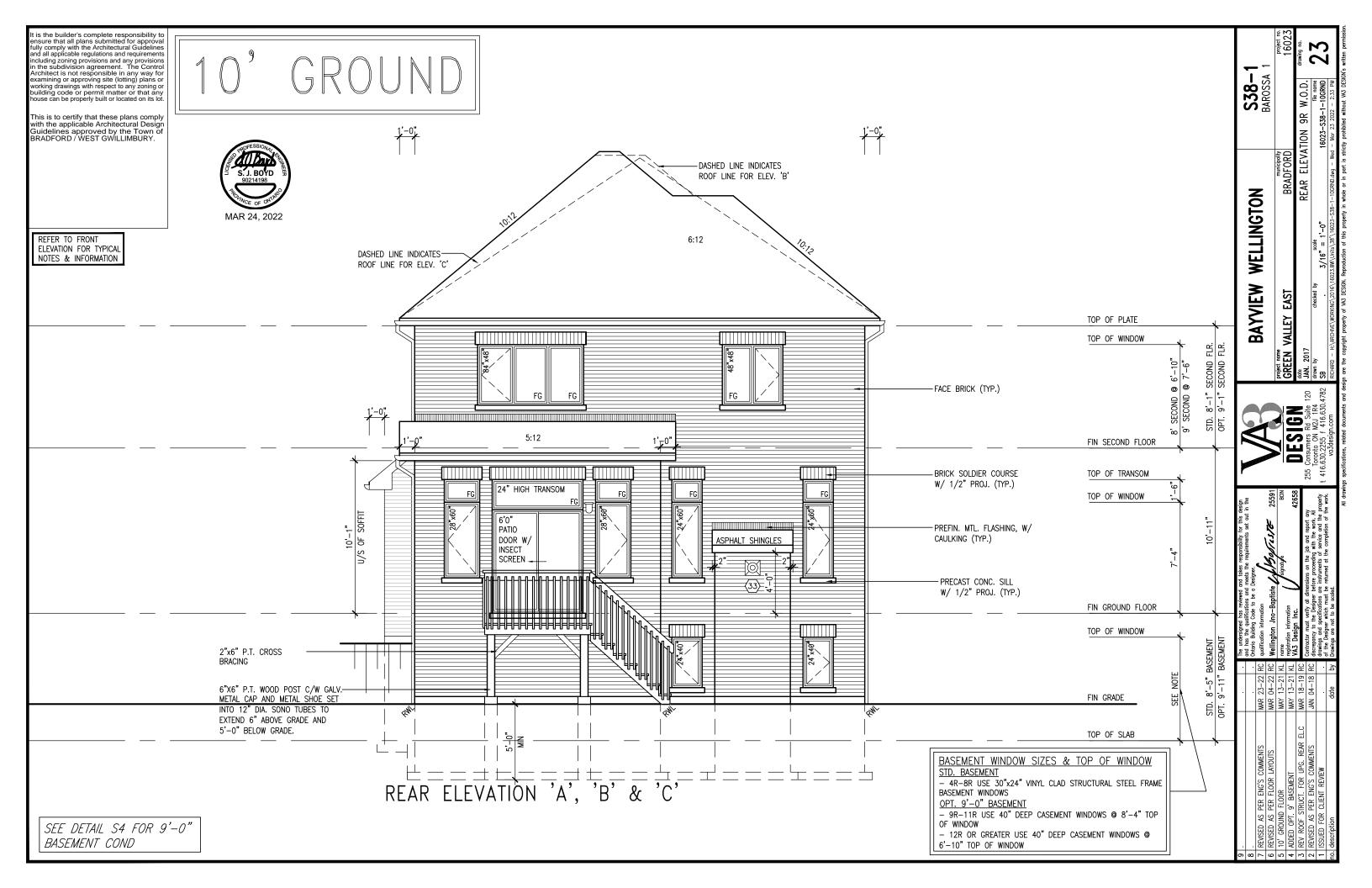


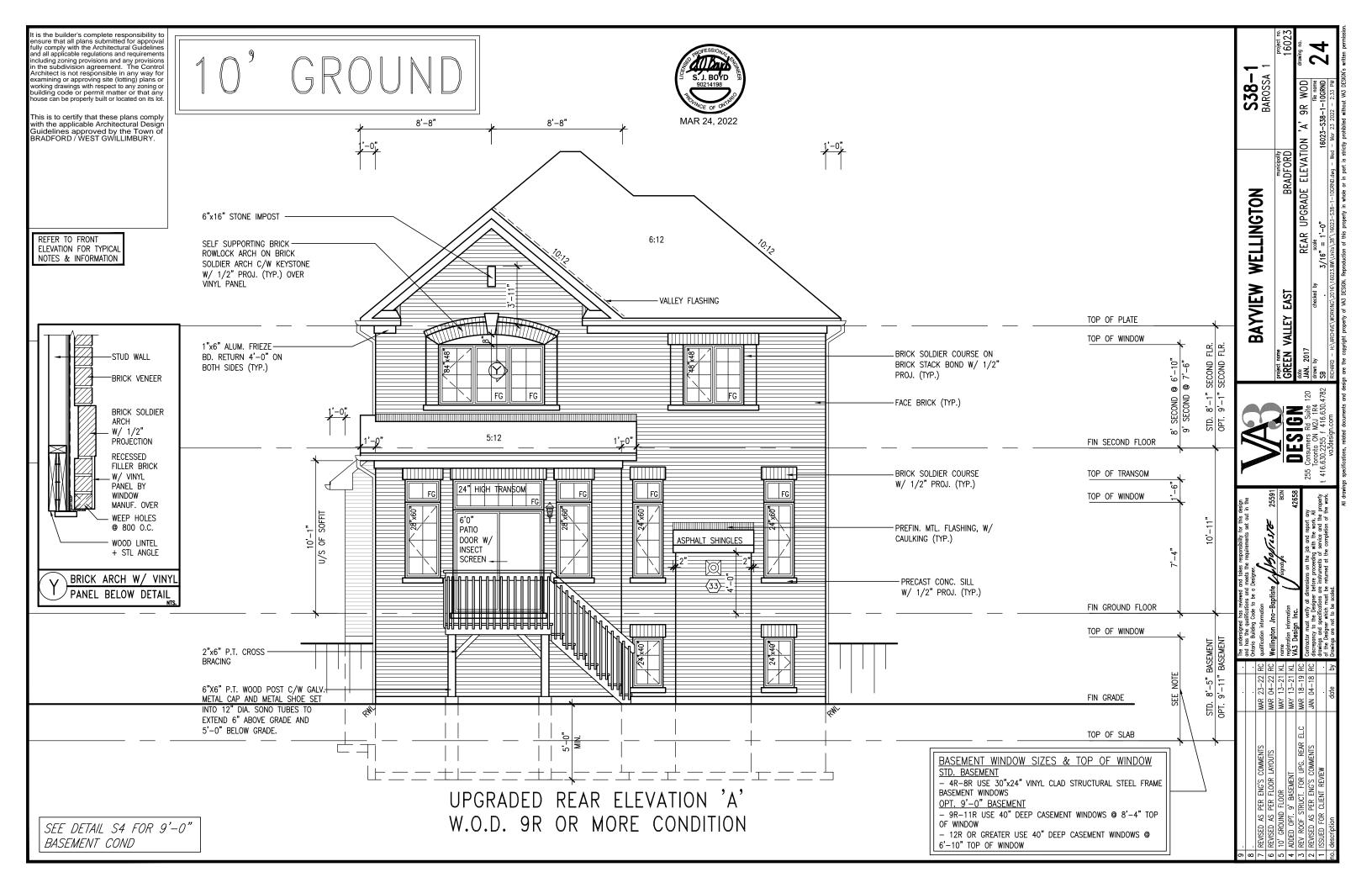


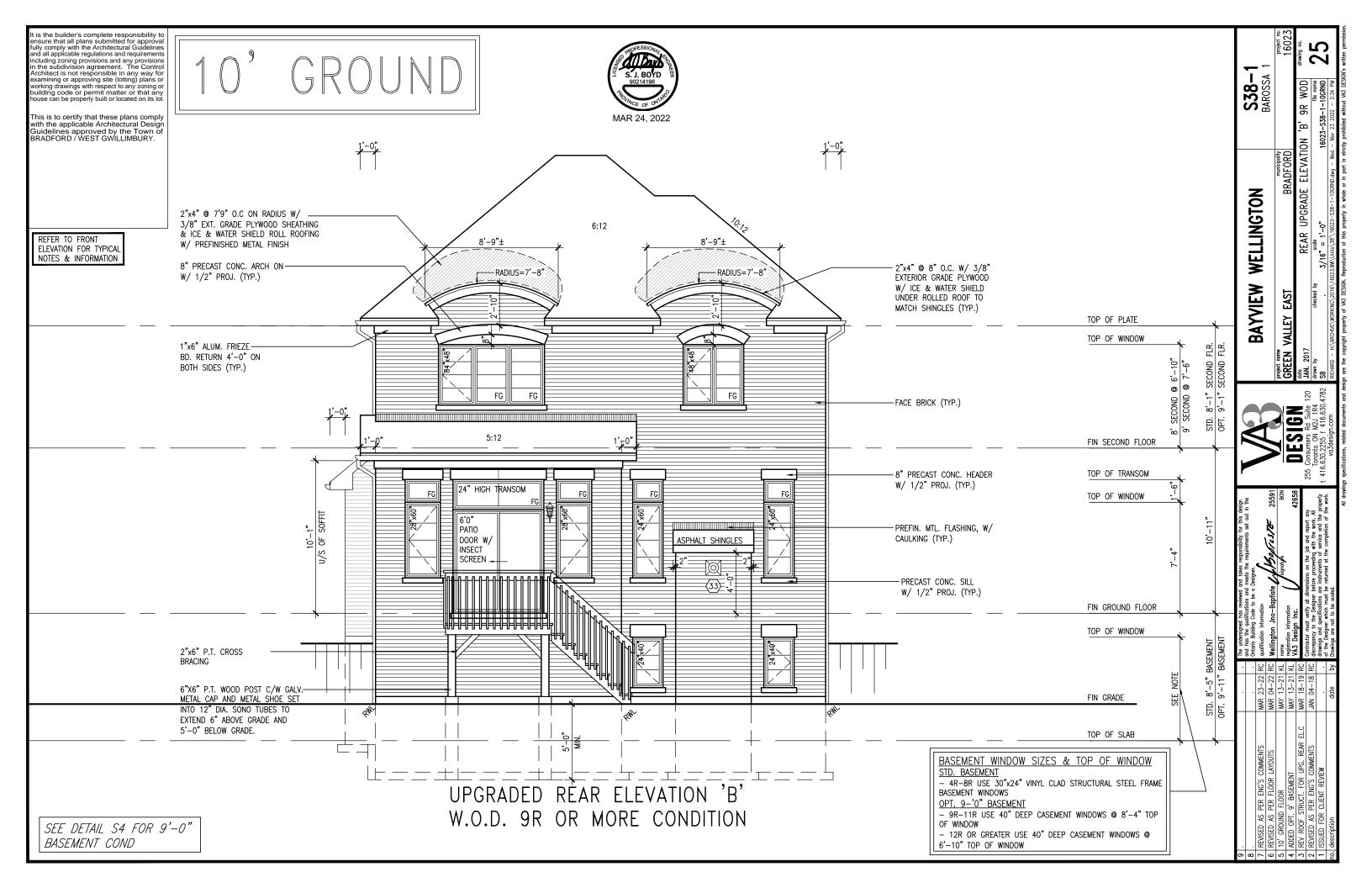


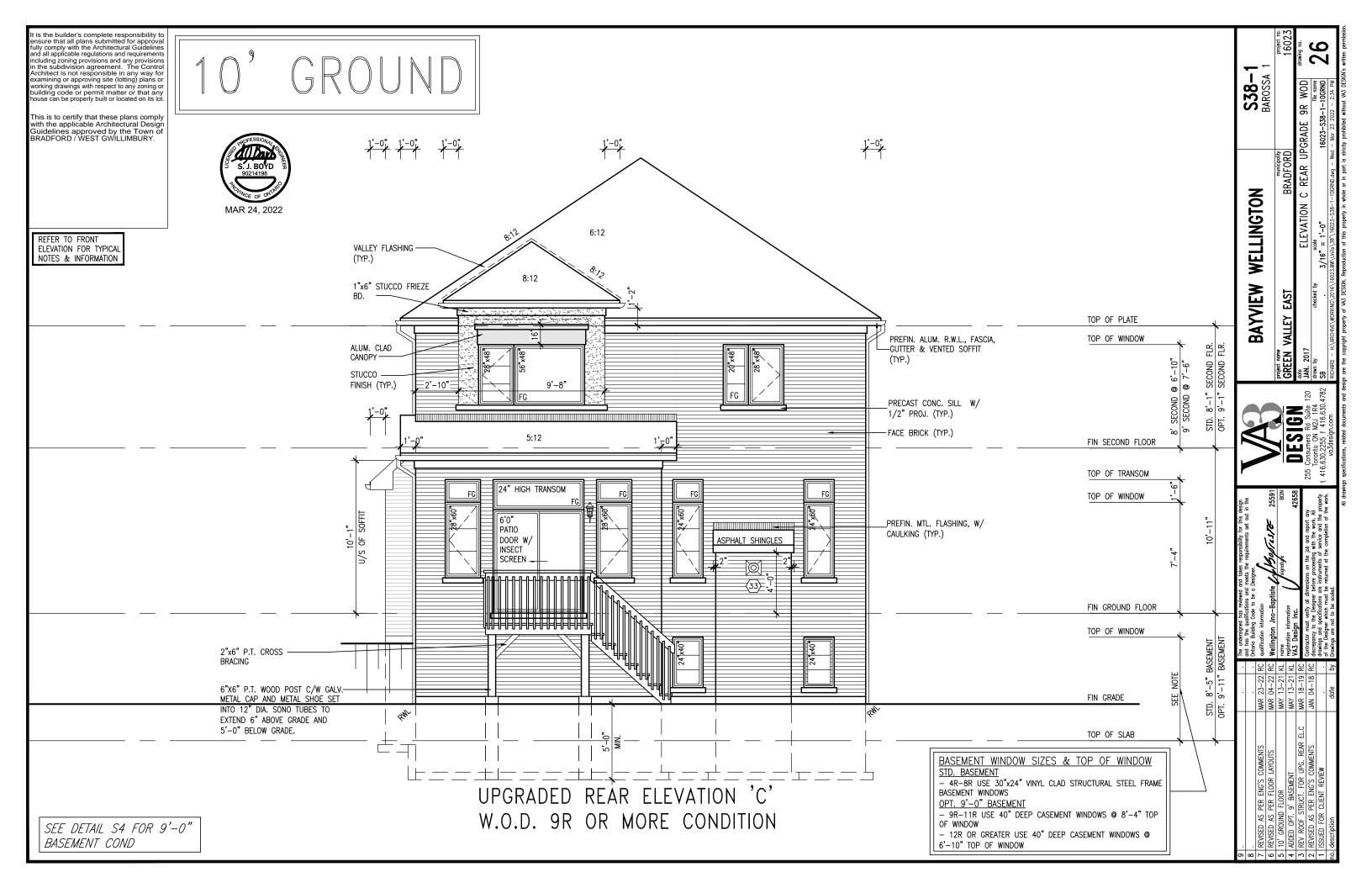


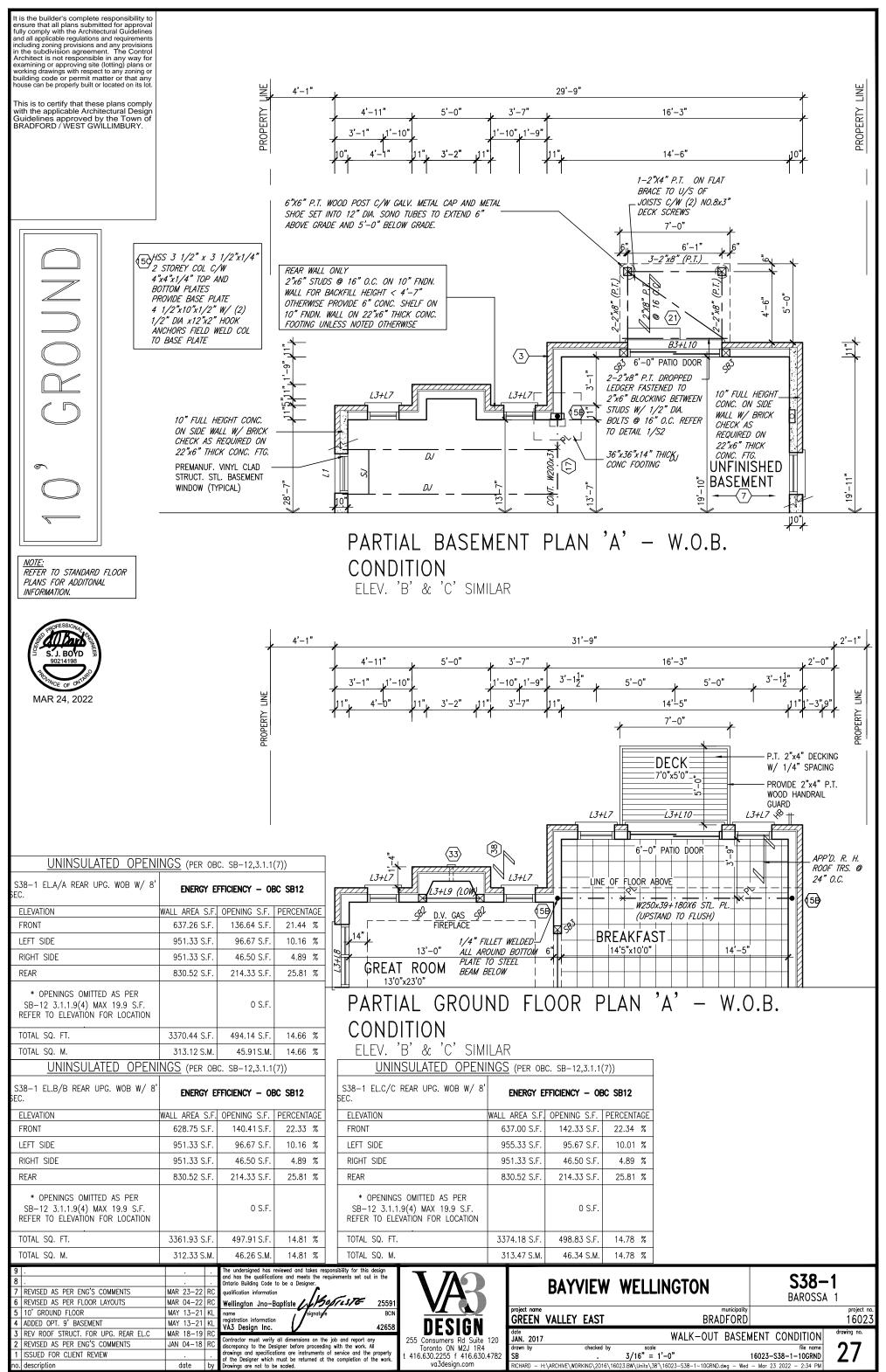


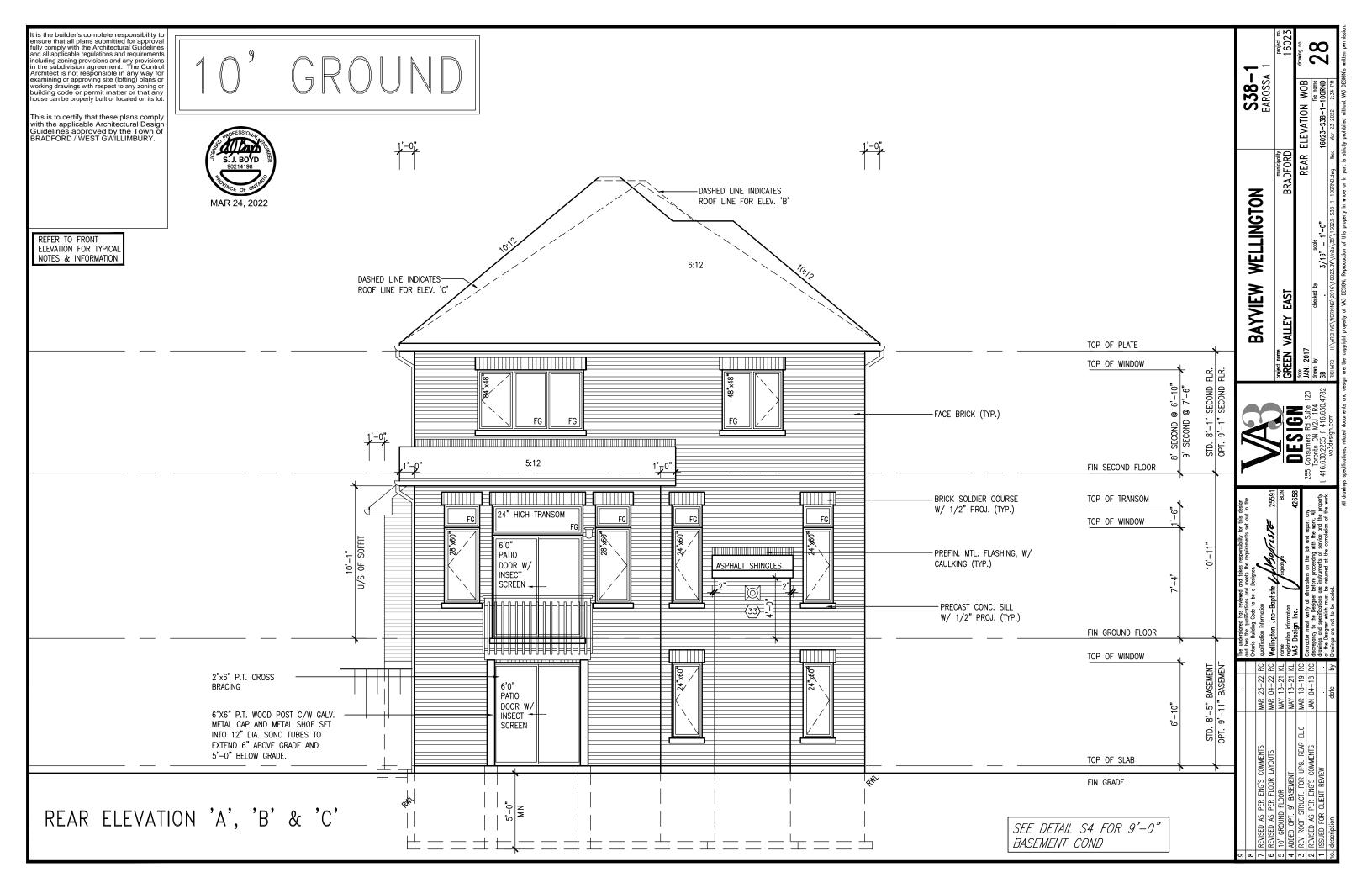


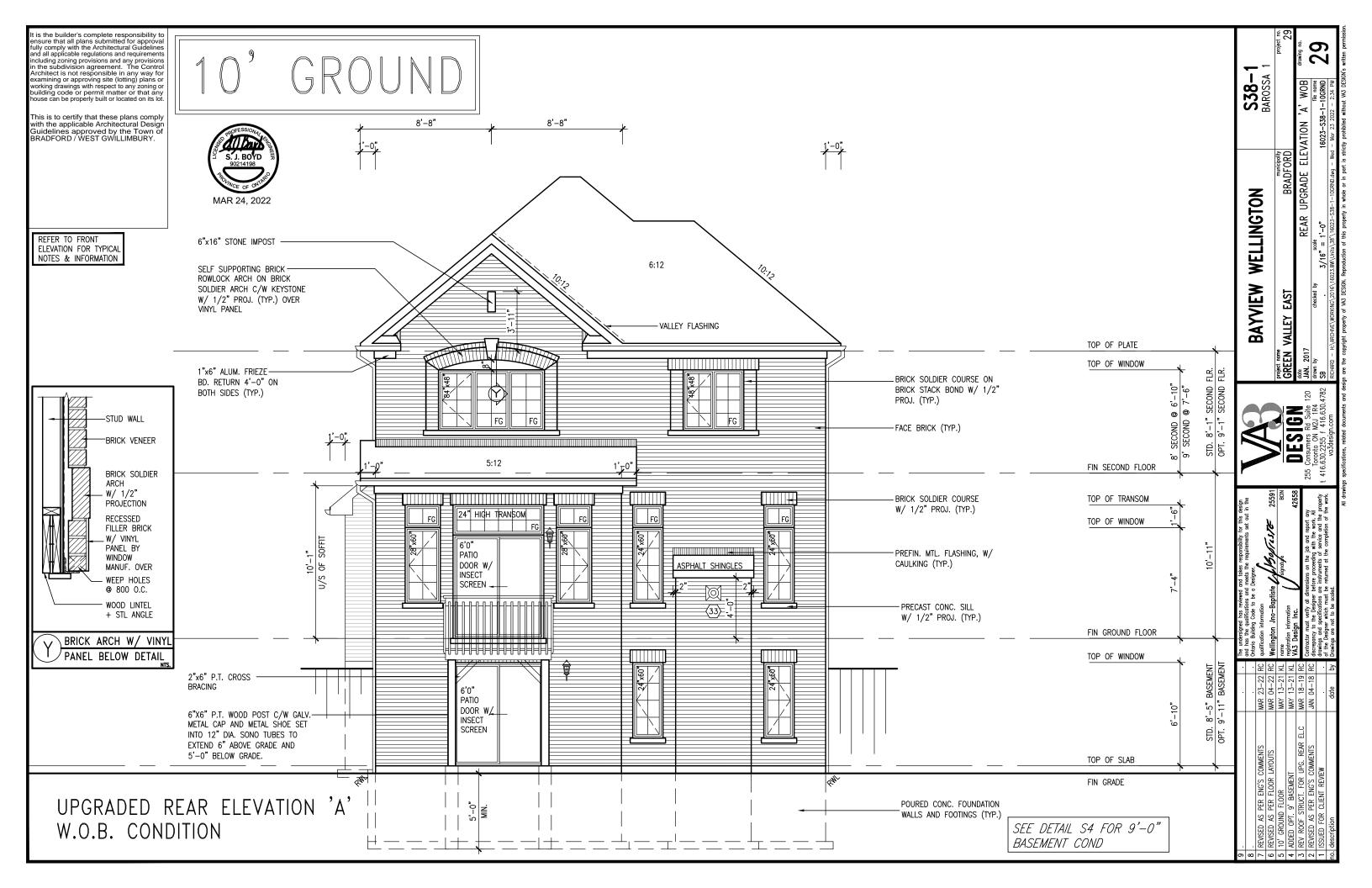


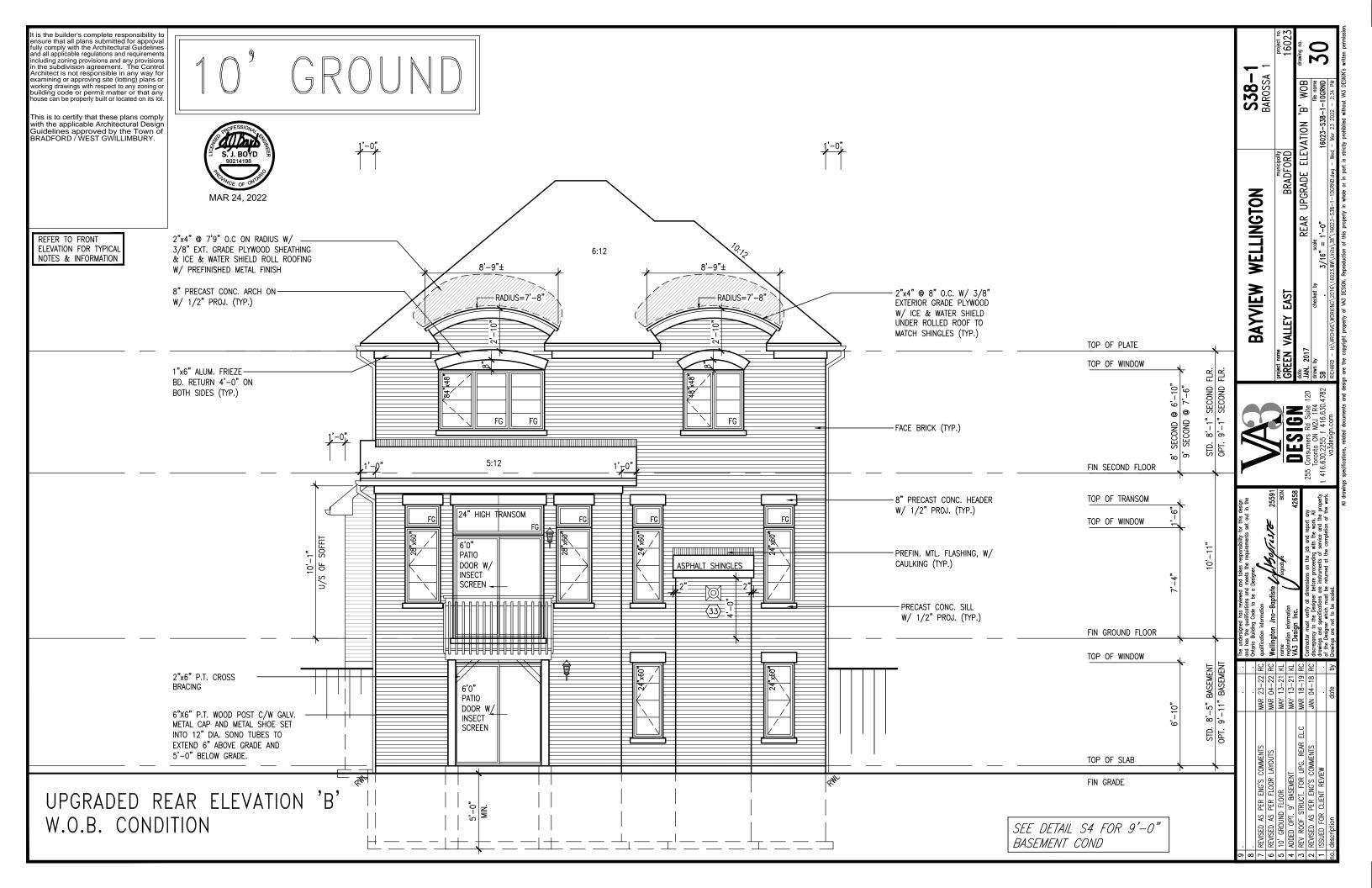


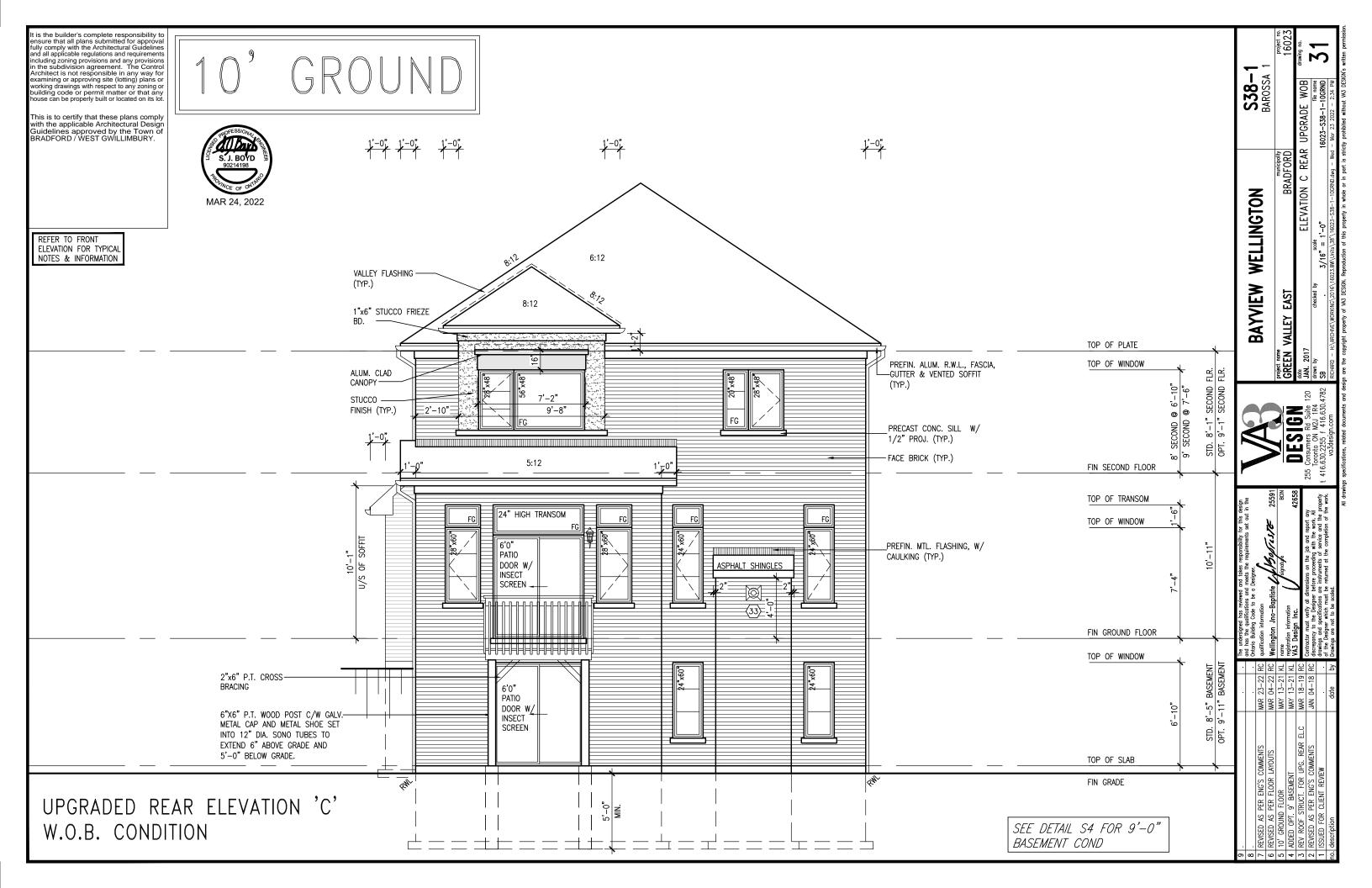












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# 10° GROUND

INGS (PER OR	C. SB-12.3.1.1	(7))	
WALL AREA S.F.	OPENING S.F.	PERCENTA	4GE
667.01 S.F.	136.64 S.F.	20.49	%
994.33 S.F.	96.67 S.F.	9.72	%
994.33 S.F.	46.50 S.F.	4.68	%
654.50 S.F.	160.00 S.F.	24.45	%
	0 S.F.		
3310.17 S.F.	439.81 S.F.	13.29	%
307.52 S.M.	40.86 S.M.	13.29	%
INGS (PER OB	C. SB-12,3.1.1	(7))	
ENERGY E	FFICIENCY - OF	3C SB12	
WALL AREA S.F.	OPENING S.F.	PERCENTA	4GE
658.50 S.F.	140.41 S.F.	21.32	%
994.33 S.F.	96.67 S.F.	9.72	%
994.33 S.F.	46.50 S.F.	4.68	%
654.50 S.F.	160.00 S.F.	24.45	%
	0 S.F.		
3301.66 S.F.	443.58 S.F.	13.44	%
306.73 S.M.	41.21S.M.	13.44	%
INGS (PER OB	C. SB-12,3.1.1	(7))	
ENERGY E	FFICIENCY - OE	SC SB12	
WALL AREA S.F.	OPENING S.F.	PERCENTA	4GE
666.75 S.F.	142.33 S.F.	21.35	%
998.33 S.F.	95.67 S.F.	9.58	%
994.33 S.F.	46.50 S.F.	4.68	%
654.50 S.F.	160.00 S.F.	24.45	%
	0 S.F.		
3313.91 S.F.	444.50 S.F.	13.41	%
	### ENERGY E  ###################################	ENERGY EFFICIENCY — OF WALL AREA S.F. OPENING S.F. 667.01 S.F. 136.64 S.F. 994.33 S.F. 96.67 S.F. 654.50 S.F. 160.00 S.F. 0 S.F. 160.00 S.	WALL AREA S.F. OPENING S.F. PERCENT, 667.01 S.F. 136.64 S.F. 20.49 994.33 S.F. 96.67 S.F. 9.72 994.33 S.F. 46.50 S.F. 4.68 654.50 S.F. 160.00 S.F. 24.45  O S.F. 3310.17 S.F. 439.81 S.F. 13.29 307.52 S.M. 40.86 S.M. 13.29  NGS (PER OBC. SB-12,3.1.1(7))  ENERGY EFFICIENCY - OBC SB12  WALL AREA S.F. OPENING S.F. PERCENT, 658.50 S.F. 140.41 S.F. 21.32 994.33 S.F. 96.67 S.F. 9.72 994.33 S.F. 46.50 S.F. 4.68 654.50 S.F. 160.00 S.F. 24.45  O S.F. 3301.66 S.F. 443.58 S.F. 13.44 306.73 S.M. 41.21 S.M. 13.44  NGS (PER OBC. SB-12,3.1.1(7))  ENERGY EFFICIENCY - OBC SB12  WALL AREA S.F. OPENING S.F. PERCENT, 666.75 S.F. 142.33 S.F. 21.35 998.33 S.F. 95.67 S.F. 9.58 994.33 S.F. 95.67 S.F. 9.58 994.33 S.F. 160.00 S.F. 24.45

UNINSULATED OPEN	NGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.A/A REAR UPG. WOD W/ 9' SECOND	ENERGY E	FFICIENCY - OF	BC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3429.17 S.F.	446.48 S.F.	13.02 %
TOTAL SQ. M.	318.58 S.M.	41.48 S.M.	13.02 %
UNINSULATED OPEN	NGS (PER OF	IC. SB-12,3.1.1	(7))
S38-1 EL.B/B REAR UPG. WOD W/ 9' SECOND	ENERGY E	FFICIENCY - OF	BC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3420.66 S.F.	450.25 S.F.	13.16 %
TOTAL SQ. M.	317.79 S.M.	41.83 S.M.	13.16 %
UNINSULATED OPEN	NGS (PER OB	IC. SB-12,3.1.1	(7))
S38-1 EL.C/C REAR UPG. WOD W/ 9'SEC.	ENERGY E	FFICIENCY - OF	BC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
DICHT CIDE	994.33 S.F.	46.50 S.F.	4.68 %
RIGHT SIDE			
REAR REAR	773.50 S.F.	166.67 S.F.	21.55 %
		166.67 S.F. 0 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F.			21.55 %
REAR  * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	773.50 S.F.	0 S.F.	

UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1	(7))	
S38-1 EL.A/A REAR UPG. WOB W/ 9' SECOND	ENERGY E	FFICIENCY - OF	BC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT	AGE
FRONT	667.01 S.F.	136.64 S.F.	20.49	%
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72	%
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68	%
REAR	860.27 S.F.	214.33 S.F.	24.91	%
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3515.94 S.F.	494.14 S.F.	14.05	%
TOTAL SQ. M.	326.64 S.M.	45.91S.M.	14.05	%
UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1	(7))	
S38-1 EL.B/B REAR UPG. WOB W/ 9' SECOND	ENERGY E	FFICIENCY - OF	3C SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT	AG
FRONT	658.50 S.F.	140.41 S.F.	21.32	%
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72	%
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68	%
REAR	860.27 S.F.	214.33 S.F.	24.91	%
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3507.43 S.F.	497.91 S.F.	14.20	%
TOTAL SQ. M.	325.85 S.M.	46.26 S.M.	14.20	%
UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1	(7))	
S38-1 EL.C/C REAR UPG. WOB W/ 9' SECOND	ENERGY E	FFICIENCY - OF	BC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT.	AG
FRONT	666.75 S.F.	142.33 S.F.	21.35	%
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58	%
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68	%
REAR	860.27 S.F.	214.33 S.F.	24.91	%
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3519.68 S.F.	498.83 S.F.	14.17	%

-	<u> </u>	projec	-	drawing no.	7	?		l's written pe
-828	BAROSSA			SECOND FLOOR	ille name	16023-S38-1-10GRND	4 - Mar 23 2022 - 2:34 PM	ictly prohibited without VA3 DESIGN
WELLINGTON	DAIVIEW WELLINGION	municipality	BRADFORD	SB12 - W/ OPT 9' SECOND FLOOR	S IS /II. Z I GO	3/16" = 1'-0"	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38'\16023-S38-1-10GRND.dwg - Wed - Mor 23 2022 - 2:34 PM	All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written per
Maimara	DAIVIEW	project name	GREEN VALLET EASI	date	JAN. 2017 drawn hv checked hv	G	RICHARD - H:\ARCHIVE\WORKING\2016\1	an are the copyright property of VA3 DESIGN
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9V \	<b> </b>	7 7	חבוכוב		255 Consumers Rd Suite 120 Toronto ON M21 184	t 416.630.2255 f 416.630.4782	va3design.com	igs specifications, related docume
the undersigned has reviewed and tokes responsibility for this design of her qualifications and metals the requirements set out in the ratio Building Code to be a Definition 2009.	Judication information	signative	GIOTAL Inscient Inc.	00071	and report any th the work. All	ervice and the property	retained at the completion of the more.	All drawings specifications, related docume
. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	Mahiste	signative		00071	and report any th the work. All	ervice and the property	completion of the work.	All drawings specifications, related docume
The undersigned has reviewed and tokes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	Mahiste	signative	MAY 13-21 KL registration information / A3558 DECID	00071	and report any h the work. All	ervice and the property	retained at the completion of the more.	All drawings specifications, related docume

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

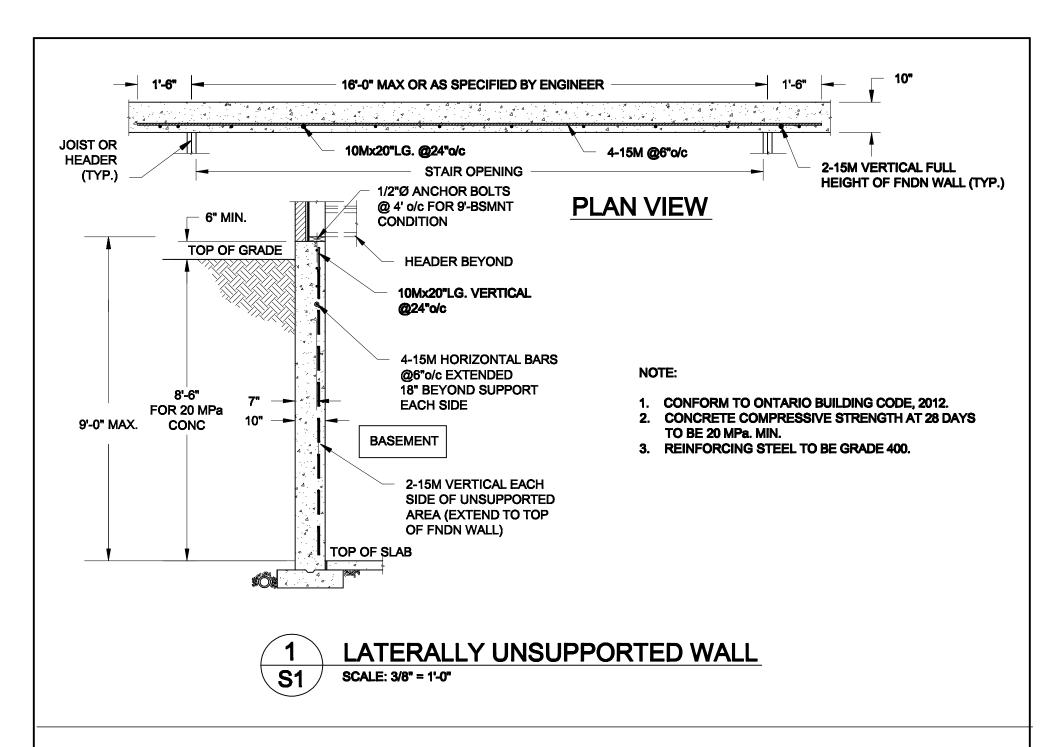
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

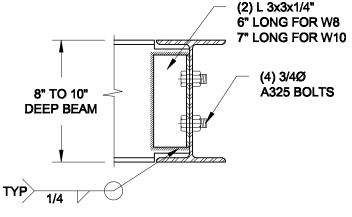
# 10° GROUND

<u>UNINSULATED</u> OPEN	INGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.A/A REAR UPG. WOB W/ 9' 3SMT+8' 2ND	ENERGY E	FFICIENCY - OF	3C SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3415.07 S.F.	494.14 S.F.	14.47 %
TOTAL SQ. M.	317.27 S.M.	45.91S.M.	14.47 %
UNINSULATED OPEN	INGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.B/B REAR UPG. WOB W/ 9' 3SMT+8' 2ND	ENERGY E	FFICIENCY - OF	3C SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3406.56 S.F.	497.91 S.F.	14.62 %
TOTAL SQ. M.	316.48 S.M.	46.26 S.M.	14.62 %
UNINSULATED OPEN	INGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.C/C REAR UPG. WOB W/ 9' SSMT+8' 2ND	ENERGY E	FFICIENCY — OF	3C SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3418.81 S.F.	498.83 S.F.	14.59 %
TOTAL SQ. M.	317.62 S.M.	46.34 S.M.	14.59 %
	•	•	

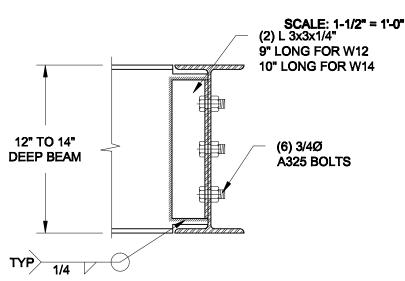
UNINSULATED OPEN	INGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.A/A REAR UPG. WOB W/ 9' BSMT+9' 2ND	ENERGY E	FFICIENCY - O	3C SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3560.57 S.F.	494.14 S.F.	13.88 %
TOTAL SQ. M.	330.79 S.M.	45.91S.M.	13.88 %
UNINSULATED OPEN	<u>INGS</u> (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.B/B REAR UPG. WOB W/ 9' 3SMT+9' 2ND	ENERGY E	FFICIENCY - OF	BC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3552.06 S.F.	497.91 S.F.	14.02 %
TOTAL SQ. M.	329.99 S.M.	46.26 S.M.	14.02 %
UNINSULATED OPEN	INGS (PER OB	C. SB-12,3.1.1	(7))
S38-1 EL.C/C REAR UPG. WOB W/ 9' 3SMT+9' 2ND	ENERGY E	FFICIENCY - O	BC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
			27.00.07
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	904.90 S.F.	214.33 S.F. 0 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F.	904.90 S.F. 3564.31 S.F.		14.00 %

. 6		The undersigned has reviewed and takes responsibility for this design				
. 8		and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		DAVVIEW WELLINGTON	828 -828 -	
7 REVISED AS PER ENG'S COMMENTS	MAR 23-22 R	MAR 23-22 RC qualification information	Y7/	DAIVIEW WELLINGION	*000a*a	
6 REVISED AS PER FLOOR LAYOUTS	MAR 04-22 R	MAR 04-22 RC Wellington Jno-Baptiste /// Jaffe 15591			٥	
5   10' GROUND FLOOR	MAY 13-21   KI	name signaty BCIN	project name		municipality	project no.
4 ADDED OPT. 9' BASEMENT	MAY 13-21 KI	MAY 13-21 KL VA 7 Design Inc.		GREEN VALLET EASI	BKADFORD	16025
3 REV ROOF STRUCT. FOR UPG. REAR EL.C		AND Design me:		SET OPT 9' RASEMENT W/ R' 2ND OR 9' 2ND	/ 8' 2ND OR 9' 2ND	drawing no.
2 REVISED AS PER ENG'S COMMENTS	JAN 04-18 R	JAN $04-18$ RC discrepancy to the Designer before proceeding with the work. All	255 Consumers Rd Suite 120 JAN 2017 Toronto ON M21 1R4 drawn by	<u> </u>	GNZ C NO GNZ C	77
1 SSUED FOR CLIENT REVIEW	•	drawings and specifications are instruments of service and the property	4782		16023-S38-1-10GRND	つ つ つ
no. description	date b	by Drawings are not to be scaled.	va3design.com	RICHARD — H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\\16023-538-1-10GRND.dwg — Wed — Mar 23 2022 — 2:34 PM	wg - Wed - Mar 23 2022 - 2:34 PM	

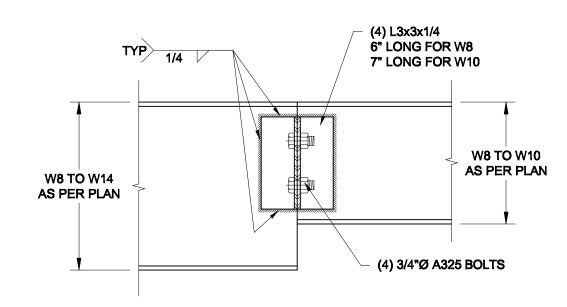




NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



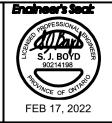
NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W8X40 (W200X59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



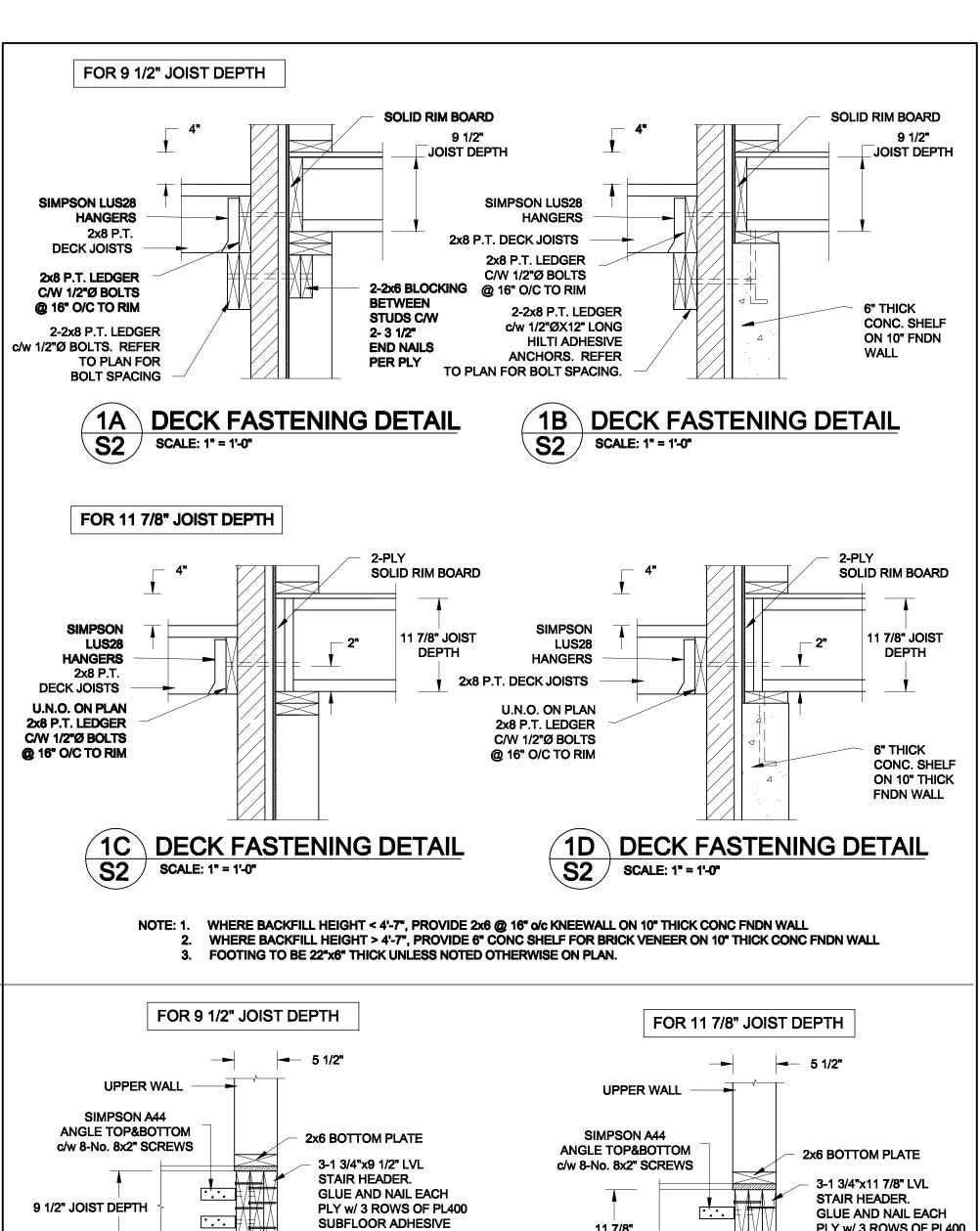
Scale: AS NOTED	QUAILE ENGINEERING LTD.
Date: PB-17-2022	38 Parkside Drive, UNIT 7 Newmarket, ON 13Y 8.19
Drawn: Check	T: 905-853-8547 E: qualle.eng@rogers.com

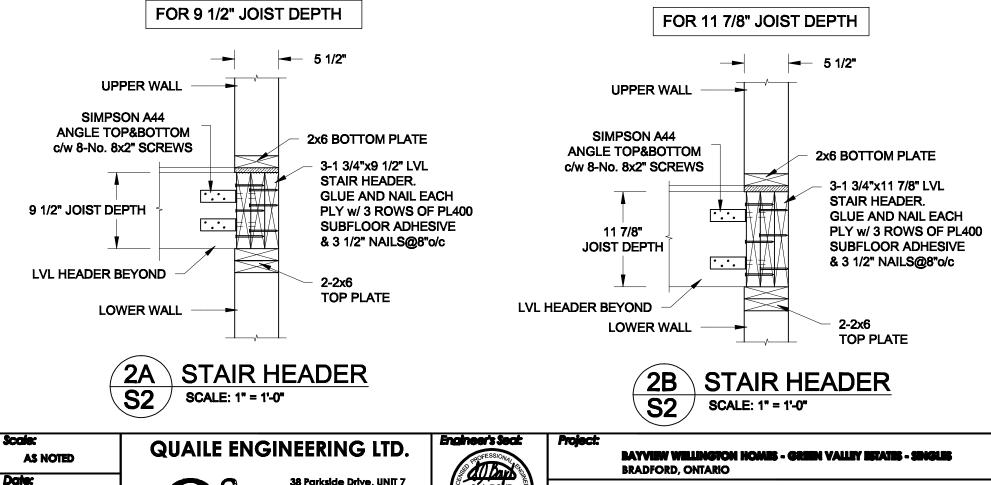


Project: DAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO

**TYPICAL STRUCTURAL DETAILS** 

Project No.: Drawing No.: 21-038 **S1** 





S. J. BOYD

MAR 30, 2021

Project No.:

21-038

**TYPICAL STRUCTURAL DETAILS** 

Drawing No.:

**S2** 

MAR-18-2021

Checked

SJB

Drawn:

SC

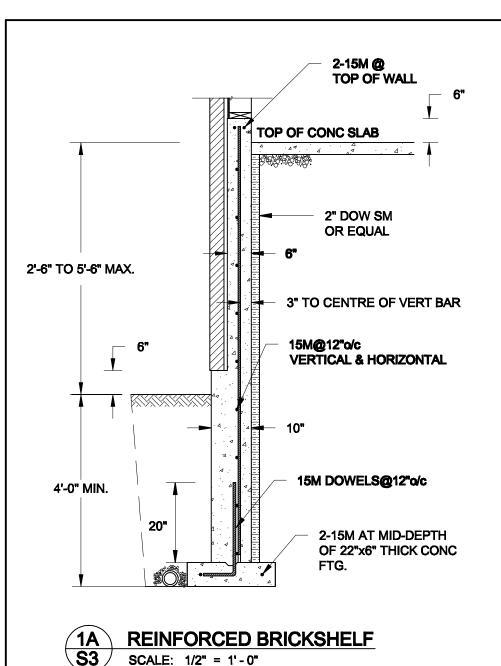
38 Parkside Drive, UNIT 7

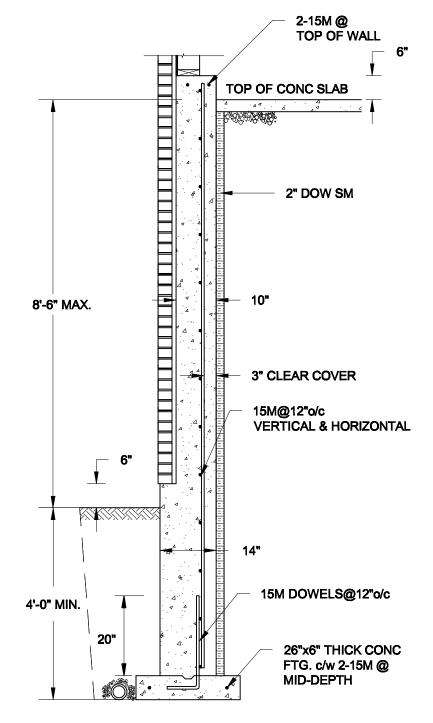
E: qualle.eng@rogers.com

Newmarket, ON

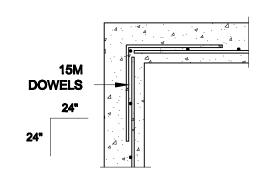
T: 905-853-8547

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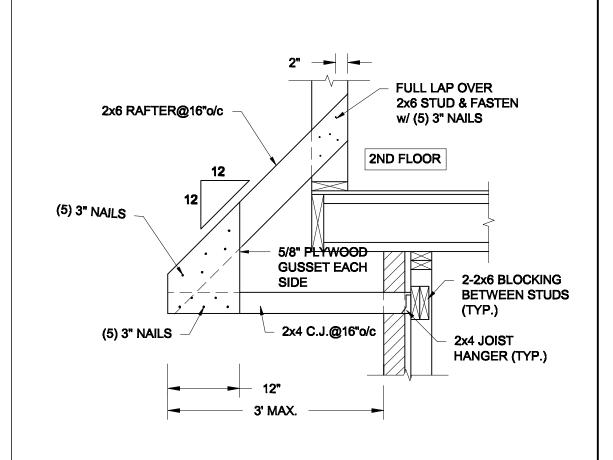
1B REINFORCED BRICKSHELF S3 SCALE: 1/2" = 1'-0"

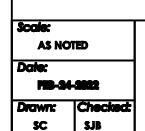


S3 SCALE: 1/2" = 1'-0"

#### NOTES:

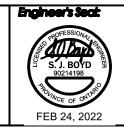
- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS SEE DETAIL 1C/S3.
- 5. PROVIDE 3" COVER TO SOIL MINIMUM.
- 6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.





### **QUAILE ENGINEERING LTD.**

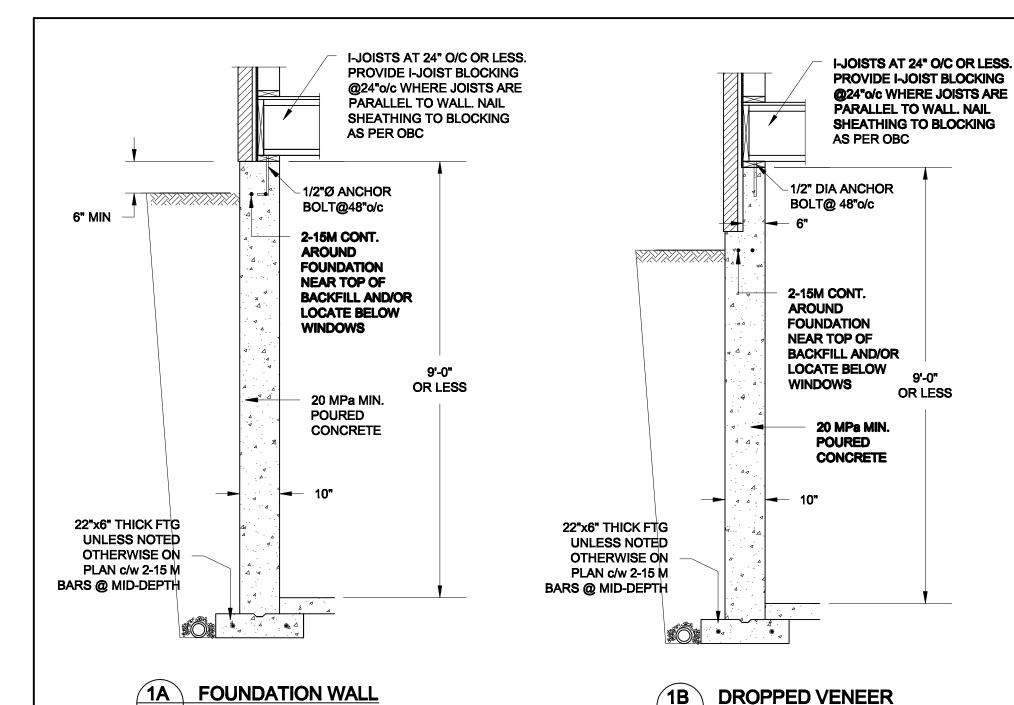
38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: qualle.eng@rogers.com



Project: BAYVIEW WELLINGTON HOME BRADFORD, ONTARIO	8 - GREEN VALLEY ESTATES - SINGLES
TYPICAL STRUCTURAL DETAILS	
Project No.:	Drawing No.:
21-038	<b>S3</b>

CANOPY ROOF OVER GARAGE

P:\SamC-06\2021\21-096 BAYVEW WELLINGTON GREEN VALLEY SINGLES\21-098.dwg



24" 15M DOWELS (TYP.)

SCALE: 1/2" = 1'-0"

1C TYP. PLAN VIEW AT CORNER SALE: 1/2" = 1'-0"

NOTE: AT ALL WINDOW OPENINGS, PROVIDE 2-15M VERTICALLY AT EACH SIDE + 2-15M HORIZONTALLY 2" BELOW & EXTEND 24" BEYOND OPENING

#### NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS SEE DETAIL 1C/S4.
- 5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
- 6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
- 7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOT	rED	QUAILE ENG	SINEERING LTD.	Engineer's Sect:	Project:  BAYVIEW WELLINGTON HO BRADFORD, ONTAISO	MES - GREEN VALLEY ESTATES - SINGLES
Date: MAR-16	J-2021		38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9	S. J. BOYD 90214198	TYPICAL STRUCTURAL DETA	ILS
Drawn: SC	Checked: SJB		T: 905-853-8547 E: qualle.eng@rogers.com	MAR 30, 2021	Project No.: 21-038	Drawing No.: \$4

SCALE: 1/2" = 1'-0"

**S4** 

CONSTRUCTION NOTES (Unless otherwise noted) ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

ROOF CONSTRUCTION
NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD
SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm
(24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT, PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBG 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN, SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

FRAME WALL CONSTRUCTION (2"x4")— GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (1/6") O.C. (MAX. HEIGHT 3000mm (2B) (9'-10"), WITH APPR, DIAGONAL WALL BRACING, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE

(2D)

STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO 0.8.C. 9.27.1.1.(2) &
9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") AROVÉ FINISH GRADE

WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER (2E.) AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL

MASONRY VENEER CONSTRUCTION (2"x6")(SB-12-TABLE 3.1.1. 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR, VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER. 13mm (1/2") INTERIOR DRYWALL FINISH PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER, REFER TO GOS. SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

RESERVED

MASONRY VENEER CONSTRUCTION (2"x4")— GARAGE WALLS 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL (3B.) 600mm (24") O.C. VERTICAL APPR, SHEATHING PAPER, 9,5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR, DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COLIRSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.[2] &
9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE
CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN ARI/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (1/4") C.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC 58-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2
STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2'x4") @ 600mm (24") O.C. PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2'x6") STUDS/PLATES WHERE NOTED.

FOUNDATION WALL/FOOTINGS:
250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH
BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FOTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FOTN. WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN.

BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES

NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED

STOREYS SUPPORTED W/ MASONRY VENEER W/ SIDING ONLY

1 18" WIDE x 6" DEEP 18" WIDE x 6" DEEP 22" WIDE x 6" DEEP 28" WIDE x 9" DEEP 22" WIDE x 6" DEEP 22" WIDE x 6" DEEP

-SEE OBC 9.15.3 -MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS

AS FOLLOWS: 2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.
100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED (6.) STONE OVER AND AROUND DRAINAGE TILES.

BASEMENT SLAB 0BC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)
PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)
RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED
VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED
EQUAL, RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

STAIRS/EXTERIOR STAIRS -OBC. 9.8.-

(PRIVATE STAIRS)
UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

= 200 (7-7/8") = 255 (10") (NOSING TO NOSING) = RUN + 25 (1") MAX. RISE MIN. RUN MAX. TREAD MAX. NOSING

= 25 (1") = 1950 (6'-5") MIN. HEADROOM RAIL @ LANDING = 900 (2'-11") = 865 (2'-10") to 1070 (3'-6") RAIL @ STAIR HTOW STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)
MIN. RUN AT INNER RADIUS = 150 (6") = 150 (6") = 255 (10") MIN. RUN AT 300 (12")

HANDRAILS -OBC. 9.8.7.FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4")
BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE (35) BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION

INTERIOR GUARDS -OBC. 9.8.8.-INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS — OBC. 9.8.8.
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN.
GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS
REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE — OBC. 9.23.7.

38x89 (2'x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS

200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @

2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL

BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBELOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER, RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") STUD AMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7"-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16.000lbs.) AT A MAX. EXTENSION OF 2318mm (7"-7 1/2") CONFORMING TO CAN/CGSB-7.2-94, AND WITH 150x150x9-5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x850x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpg. MINIMUM AND AS PER SOILS REPORT.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm(3-1/2") DIA x 4.78mm(, 188) FIXED STL. COL. WITH 150x150x9.5
(6"x6"x8") STL. TOP & BOTTOM PLATE ON 1070x1070x460
(42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR
ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpd. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6'x6'x3)8") STEEL TOP PLATE, & BOTTOM PLATE, BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

GARAGE CEILINGS/INTERIOR WALLS
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN
HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER
O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SEL CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

EXTERIOR STEP
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

DRYER EXHAUST (0BC-6.2.3.8.(7) & 6.2.4.11.)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)
ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 ATTIC ACCESS HATCH WITH MIN, DIMENSION OF 343X610TT 1/2'x24") & A MIN, AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL, BACKING.

FIREPLACE CHIMNEYS OBC. 9.21.
TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10

STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND
280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING
ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x
200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED
MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC

9.17.4.2(2). RESERVED

BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)
3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

STEPPED FOOTINGS OBC 9.15.3.9.
MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

MAX. VEXT. SIGE – 600(1111) [24]

SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4")

COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH
PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa

[4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE, WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

3.1.1.2A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

DIRECT VENTING GAS FURNACE / H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A

NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE,
FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO

BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER

TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12...

DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE, VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS

SUBFLOOR, JOIST STRAPPING AND BRIDGING
16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS, FOR
CERAMIC TILE APPLICATION (\* SEE DSIC 9,30.6. \*) 6mm (1/4") PANEL
TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (\* SEE OBC 9.30.2.\*). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO OBC 7.30.2. ], FLOOR JOIST WITH SPANS OVER 2100/IIII [6-11] TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100/mm [6-11"] O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (\* SEE OBC 9.23.9.4. \*)



EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"), WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

COLD CELLAR PORCH SLAB (OBC 9.39.)
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.),
125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. ENTRAINMENT, REINY, WITH 10M BARS © 20011111 (77/8) 10.0.

EACH WAY IN BOTTOM HIRD OF SLAB, MIN. 30mm (1 1/4")

COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS © 600mm (23 5/8") 0.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL, SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN, WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR

CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11'-7" \$PAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") © 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24")

O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY

**GENERAL NOTES** 

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3")

2) WINDOW GUARDS - OBC. 9.8.8.1,16.),
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7') ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.3. & SB12-3.1.1.9

GLASS—STRUCTURAL SUFFICIENCY OF GLASS
 DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE
 ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE
 WITH OBC DIV-8 9.6.1.3.

**GENERAL:** 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B, 6.2.2. SEE MECHANICAL DRAWINGS.

ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PEI OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. B- 9.5.2.3 & DETAIL

PROVIDED.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-B 9.25.3.

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-B 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

MANUFACTURER.

LVL BEAMS SHALL BE 2.0E -2950Fb MIN.. NAIL EACH PLY OF LVL
WITH 897mm [3 1/2"] LONG COMMON WIRE NAILS @ 300mm
(12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm [7
1/4", 9 1/2", 11 7/8"] DEPTHS AND STAGGERED IN 3 ROWS FOR
GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm [1/2"]
DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, WOUD FRAMING NOT IREATED WITH A WOUD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, NO. 50 (45)lbs.), ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm [6") ABOVE THE GROUND. 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21

STEEL: STRUCTURAL STEEL STALL COUNTY OF THE COUNTY

GRADE 400K.

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR: THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED, ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS
SPECIFICATIONS. STUCCO: 1)

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LEGEND 0 CLASS 'B' VENT DUPLEX OUTLET (HEIGHT A.F.F) DUPLEX OUTLET (12" ABOVE SURFACE) GFI DUPLEX OUTLET (HEIGHT A.F.F)

WEATHERPROOF DUPLEX OUTLET POT LIGHT

LIGHT FIXTURE (PULL CHAIN) Д« SWITCH √ FLOOR DRAIN `⊗

SINGLE JOIST DOUBLE JOIST

TJ TRIPLE JOIST LVL

→ HOSE BIB (NON-FREEZE) PRESSURE TREATED LUMBER GIRDER TRUSS BY ROOF TRUSS MANUF.

EXHAUST FAN TO EXTERIOR

HEAVY DUTY OUTLET (220 volt)

■ SA

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

LAMINATED VENEER POINT LOAD FROM ABOVE F.A. CURVED ARCH

M.C.
MEDICINE CABINET
(RECESSED)
DOUBLE VOLUME
WALL. SEE NOTE 39
CONCRETE
BLOCK WALL

SOLID WOOD BEARING (SPRUCE No. 2).
SOLID BEARING TO BE AS WIDE AS
SUPPORTED MEMBER OR AS DIRECTED BY
STRUCTURAL ENGINEER.
SOLID BEARING TO BE MINIMUM 2 PIECES. SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED

AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK, ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK, ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED

(39) TWO STOREY VOLUME SPACES
FOR A MAXIMUM 5490 mm (18-0") HEIGHT AND MAXIMUM
SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"%") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 381410 (2'x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. <u>OR</u> 38x89 (2"x4") STUDS @ 300mm

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12—3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR)
UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE
DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO
SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE
DWELLING UNIT. DDES NOT APPLY IF THERE ARE NO SHOWERS
OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC Amendment O. Reg. 88/19 Includes amendments effect WOOD LINTELS AND BUILT-UP WOOD BEAMS 2/38 × 184 (2/2" × 8") SPR.#2 3/38 × 184 (3/2" × 8") SPR.#2 4/38 × 184 (4/2" × 8") SPR.#2 5/38 × 184 (5/2" × 8") SPR.#2 2/38 × 235 (2/2" × 10") SPR.#2 3/38 × 235 (3/2" × 10") SPR.#2 4/38 × 235 (4/2" × 10") SPR.#2 В3

2/38 x 286 (2/2" x 12") SPR.#2 3/38 x 286 (3/2" x 12") SPR.#2 4/38 x 286 (4/2" x 12") SPR.#2 LOOSE STEEL LINTELS

89 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4"L) 89 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L) 102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L) 127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L) 152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L) 152 x 102 x 11.0L (6"x 4" x 7/16"L) 178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LAMINATED VENEER LUMBER (LV
LVL1A 1-1 3/4"x7 1/4" (1-45x184)
LVL1 2-1 3/4"x7 1/4" (2-45x184)
LVL2 3-1 3/4"x7 1/4" (3-45x184)
LVL3 4-1 3/4"x7 1/4" (3-45x184)
LVL4A 1-1 3/4"x9 1/2" (1-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 4-1 3/4"x9 1/2" (4-45x240)
LVL6A 1-1 3/4"x1 1 7/8" (1-45x300)
LVL6A 1-1 3/4"x11 7/8" (3-45x300)
LVL7 3-1 3/4"x11 7/8" (3-45x300)
LVL8 4-1 3/4"x11 7/8" (3-45x300)

DOOR SCHEDULE

2'-8" WIDE **EXTERIOR** DOOR INSULATED MIN. RSI 0.7 (R4) 2'-10" WIDE INSULATED MIN. RSI 0.7 (R4) (1A) DOOR 1B EXTERIOR DOOR 3'-0" WIDE INSULATED MIN. RSI 0.7 (R4) EXTERIOR DOOR 3'-2" WIDE INSULATED MIN. RSI 0.7 (R4) (1C)

2'-8" wide 2A EXTERIOR DOOR 20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DEVICE. INSULATED MIN. RSI 0.7 (R4

2'-8" WIDE 2. INTERIOR 2'-8" WIDE INTERIOR DOOR

(2B) (COLD CELLAR) (WEATHERSTRIPPING INSTALLED) (2C) INTERIOR 3'-0" WIDE DOOR 2'-6" WIDE

3.) INTERIOR DOOR INTERIOR 2'-4" WIDE (3A) INTERI 4. INTERIOR DOOR

INTERIOR 2'-2" WIDE (4A) INTERI INTERIOR 1'-6" WIDE

(5.) REFER TO ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS

MECHANICAL SYMBOLS -0 HEAT PIPE WARM AIR PLUMBING (TOILET) RETURN AIR DUCT --ð PLUMBING (BATH, SINK, SHOWER)

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SMOKE ALARM (REFER TO OBC 9.10.19) PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS

TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.
BATTERY BACK-UP REQUIRED, SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING
UNIT, A CARBON MONOXIDE ALARM CONFORMING TO
CANL/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS I
THE BUILDING IF REQUIRED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL.

The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

ADDDITIONAL REQUIREMENTS.

16023

JAN 11-22 UPDATE TO 2022 UPDATE TO 2020 FEB 24-20 RC UPDATE TO 2018 ISSUE FOR CLIENT REVIEW AUG 04-17 RC description

ntario Building Code to be a Designe ualification information

Wellington Jno-Baptiste 2559 BC VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

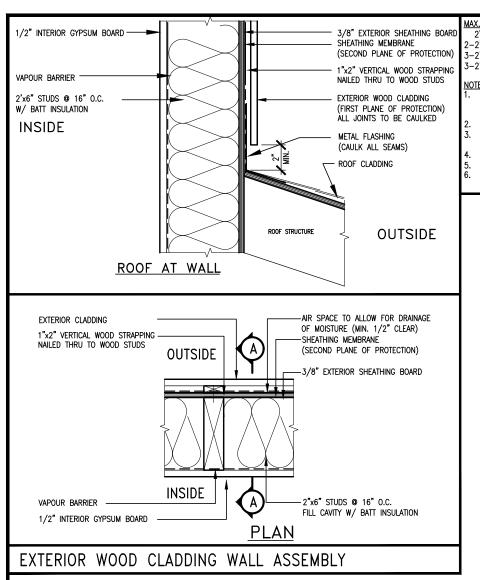


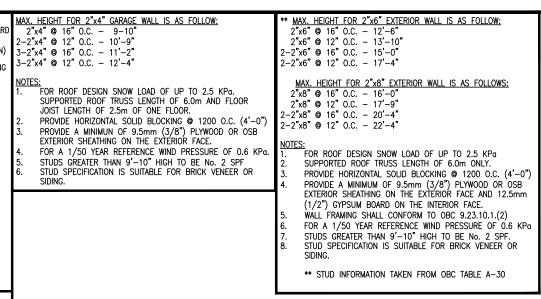
va3design.com

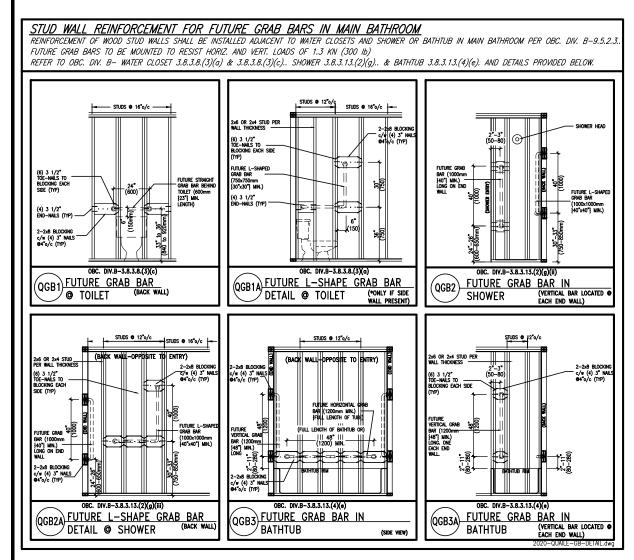
**BAYVIEW WELLINGTON** 

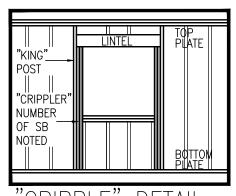
CONST NOTE

**GREEN VALLEY EAST** BRADFORD CONSTRUCTION NOTES MAY 2016 3/16" = 1'-0" 16023-CN-2022-A1





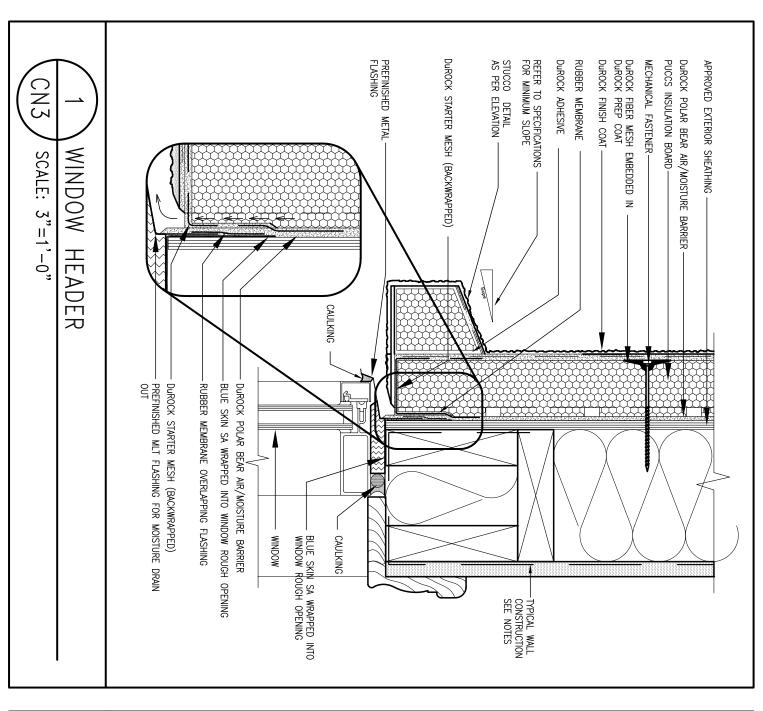


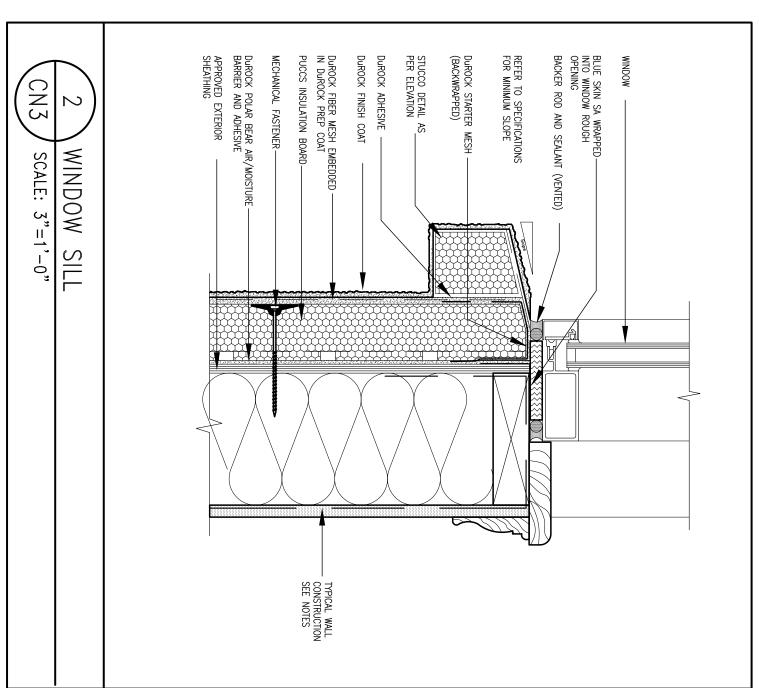


"CRIPPLE" DETAIL



9 8 7 6				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste	VAR		BAYVIEW	WELLINGTON	CONST	NOTE
5 4	UPDATE TO 2022	JAN 11-22	PC	name signatu/e BCIN registration information VA3 Design Inc. 42658	DECLON	project name GREEN	VALLEY EAST	municipalit BRADFORI		project no. 16023
2	UPDATE TO 2020 UPDATE TO 2018	FEB 24-20 JAN 11-18	RC : RC	Contractor must verify all dimensions on the job and report only discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	MAY 2016 drawn by	6 checked by	scale	TRUCTION NOTES	drawing no.
_	ISSUE FOR CLIENT REVIEW description	AUG 04-17	RC	of the Designer which must be returned at the completion of the work.  Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782 va3design.com		H:\ARCHIVE\WORKING\2016\160	3/16" = 1'-0" 023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - We	16023-CN-2022-A1 d - Jan 26 2022 - 12:05 PM	CNZ





4 UPDATE TO 2022 JAN 11-22 R 3 UPDATE TO 2020 FEB 24-20 RC 2 UPDATE TO 2018 JAN 11-18 RC 1 ISSUE FOR CLIENT REVIEW AUG 04-17 RC . description

EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

BEHIND THE CLADDING WITH POSITIVE DRAINAGE

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

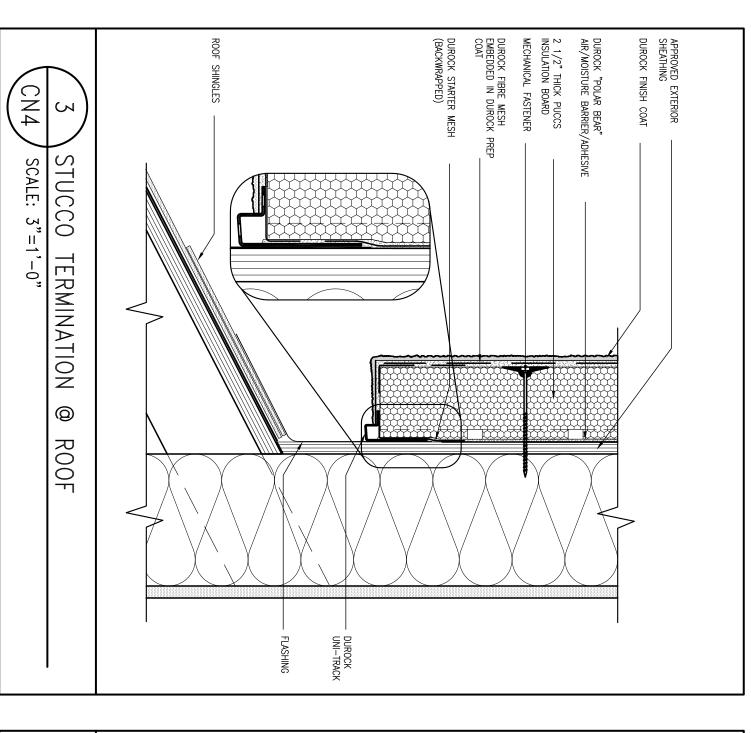
qualification information Wellington Jno-Baptiste UNBOFILSTE VA3 Design Inc.

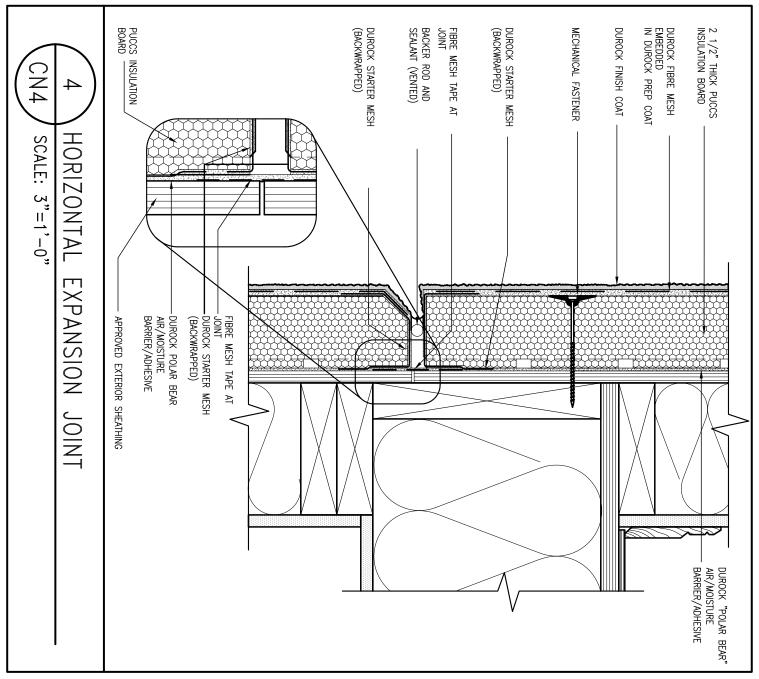
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



BCI

**CONST NOTE BAYVIEW WELLINGTON** BRADFORD GREEN VALLEY EAST 16023 MAY 2016 CONSTRUCTION NOTES drawn by 3/16" = 1'-0" file name 16023-CN-2022-A1





BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

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qualification information

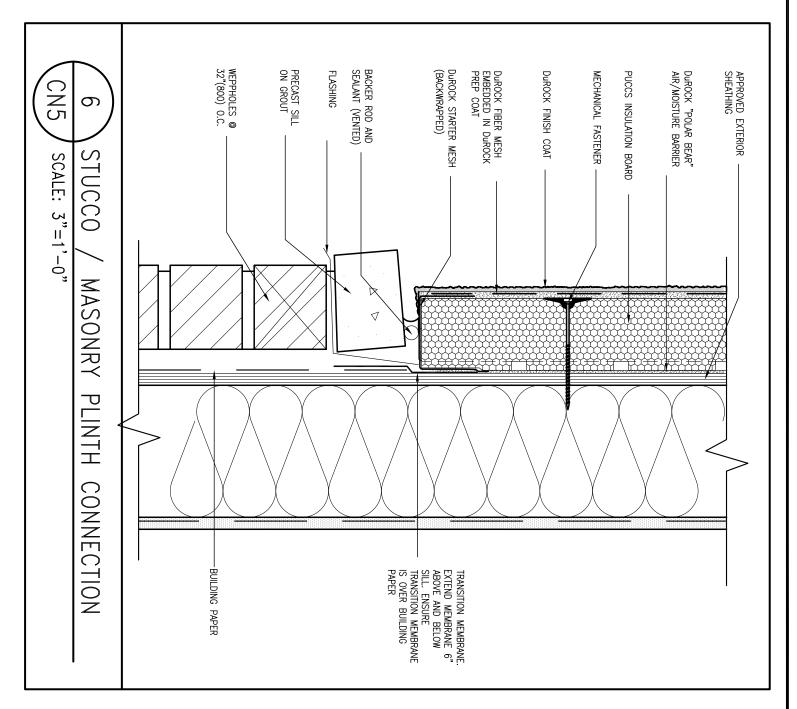
Wellington Jno-Baptiste / 50/15/75 25591
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



	ST_NOTE
project name GREEN	project n 1602
date MAY 2016 drawn by	OTES drawing no.
MAY 2016	101F2

APPROVED SCHEAD ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

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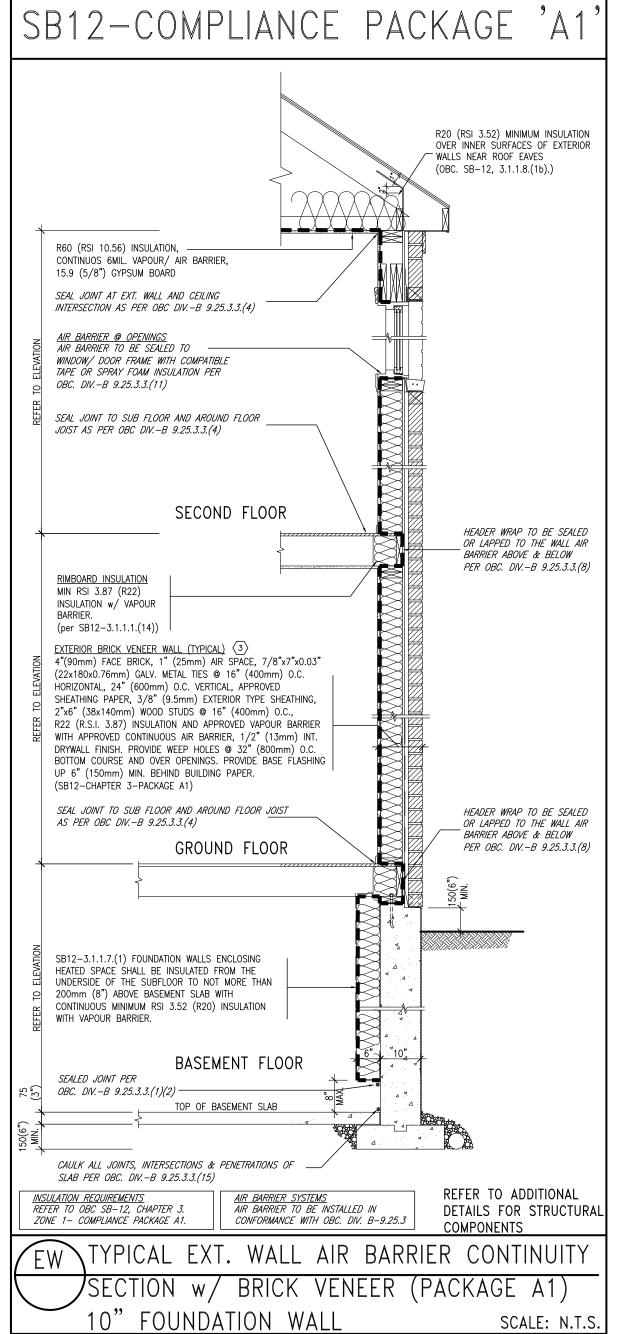
qualification information

Wellington Jno-Baptiste / 150/1/5/76 25591
name registration information
VA3 Design Inc. 42658

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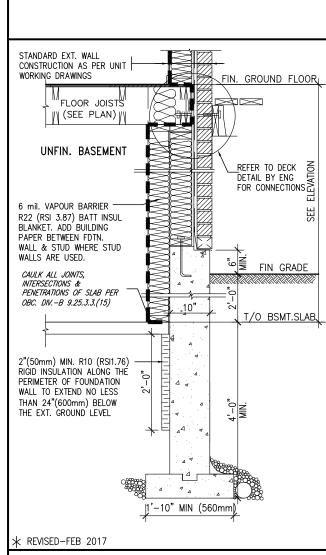
ВА	YVIEW	WELLINGTON	CONST	NOTE
project name GREEN VALL	EY EAST	municipali BRADFOR		project no. 16023
MAY 2016			TRUCTION NOTES	
RC	checked by	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1	CNO



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

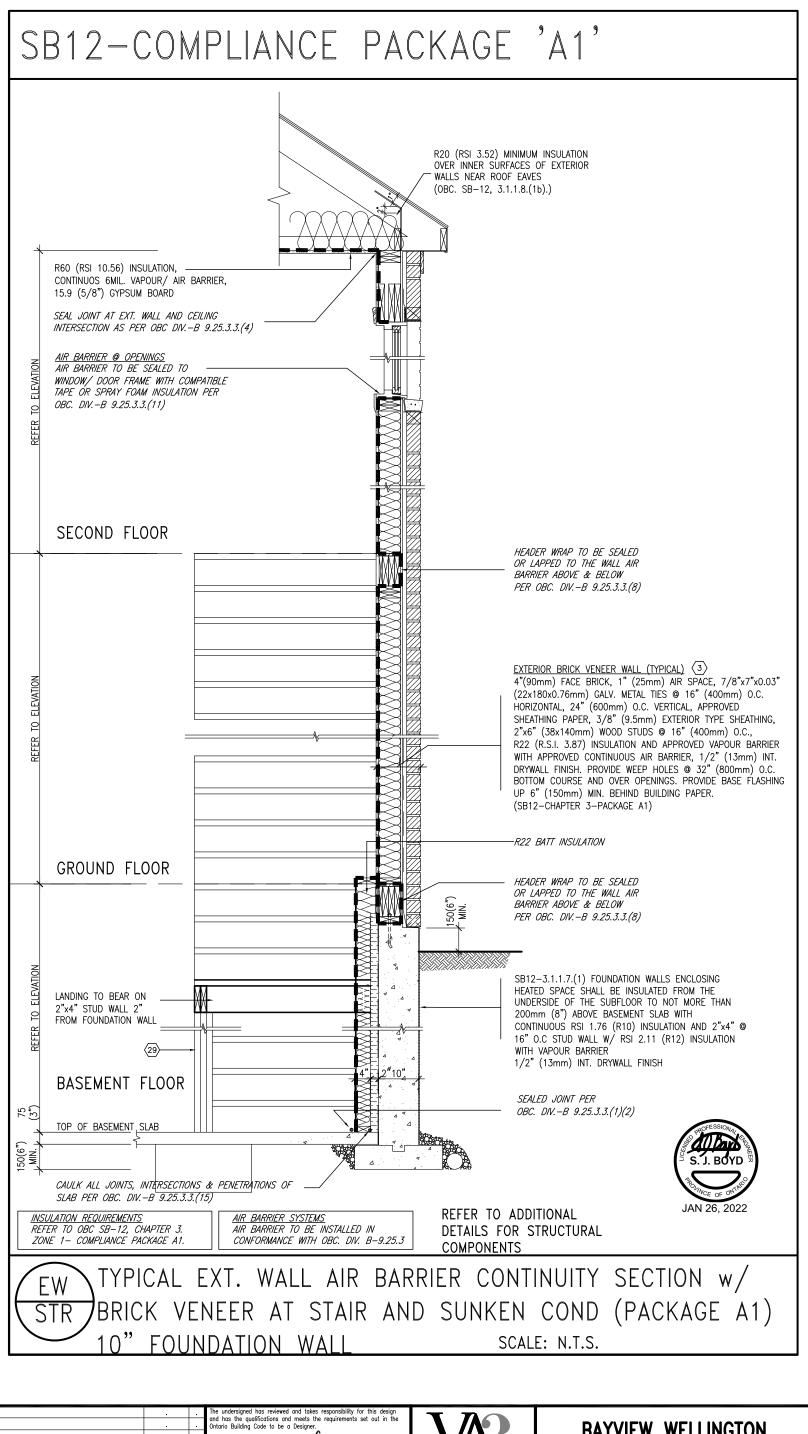
USE SB-12 COMPLIANCE PACKAGE (A1):								
COMPONENT	A1	Notes:						
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls						
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY						
Exposed FLoor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY						
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT						
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.						
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL						
Windows & Sliding glass Doors Maximum U—value	1.6							
Skylights Maximum U-value	2.8U							
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS						
Hot Water Heater Minimum EF	0.8	NATURAL GAS						
HRV Minimum Efficiency	75%	_						
Drain Water Heat Recovery Unit (DWHR)	Dependent on n	Maximum 2 Required. number of showers installed. 3.1.1.12 for information						
ci— Denotes Continuous Insu	lation withou	t framing interruption.						



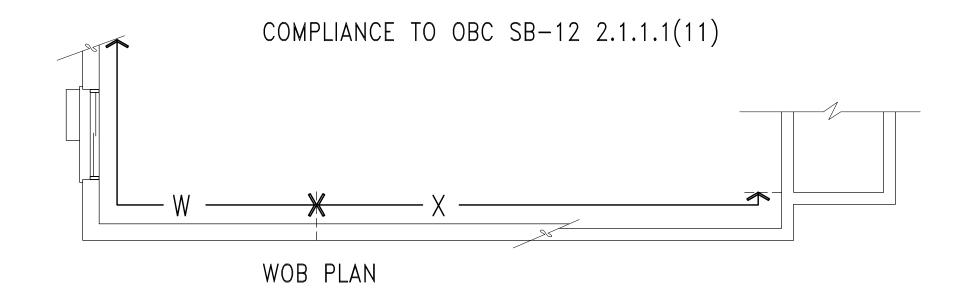


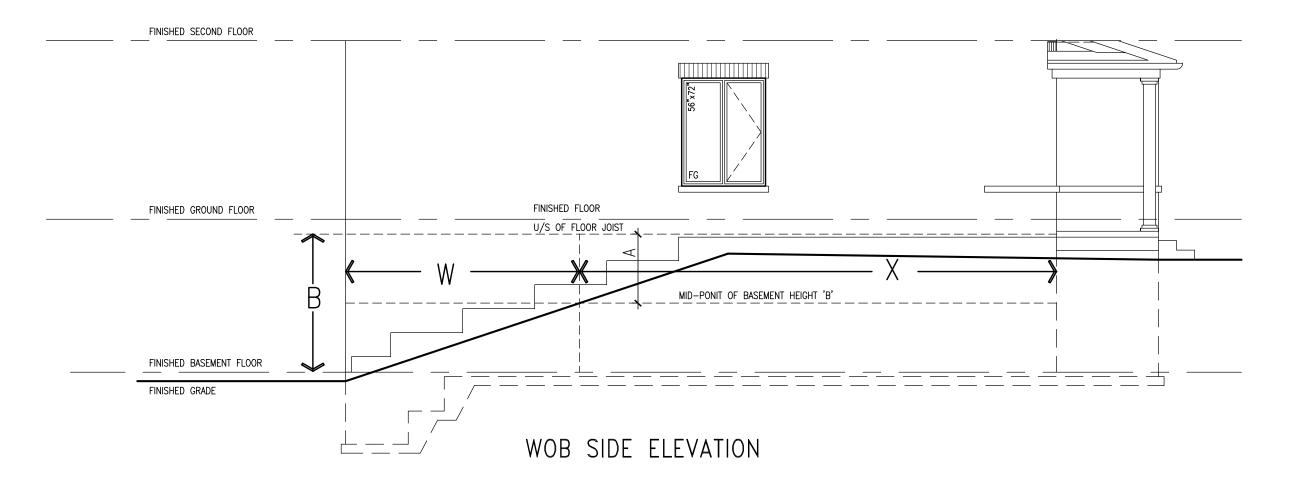
SECTION AT W.O.D/W.O.B.

9 . 8 . 7 . 6 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellinaton Jno-Baptiste / JBOJC 1575 25591	VAR		BAYVIEW	WELLINGTON	1	CONST	NOTE
5 . 4 UPDATE TO 2022	JAN 11-22	RC	name signature BCIN	DESIGN	project name GREEN	VALLEY EAST		municipality BRADFORD		proje 160
3 UPDATE TO 2020 2 UPDATE TO 2018	FEB 24-20 JAN 11-18	RC	Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	date MAY 2016 drawn by	checked by	scale	CONST	RUCTION NOTES	
1 ISSUE FOR CLIENT REVIEW no. description	AUG 04-17	RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782 va3design.com		- H:\ARCHIVE\WORKING\2016\160	3/16" = 1'-0" 023.BW\Units\CN NOTES\16023-CN-20	22-A1.dwg - Wed	16023-CN-2022-A1 - Jan 26 2022 - 12:08 PM	



5	8       .       .       .         7       .       .       .         6       .       .       .	Ine undersigned has reviewed and takes responsibility for this design and host the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste / JBOTOSTE 25591		BAYVIEW	WELLINGTON	CONST_NOTE
2 UPDATE TO 2018 JAN 11-18 RC discrepancy to the Designer before proceeding with the work. All ISSUE FOR CLIENT REVIEW AUG 04-17 RC of the Designer which must be returned at the completion of the work.  1 ISSUE FOR CLIENT REVIEW AUG 04-17 RC of the Designer which must be returned at the completion of the work.  255 Consumers Rd Suite 120 Toronto ON M2J 1R4 of the MAY 2016 drawn by checked by scale file name of the work. All of the Designer which must be returned at the completion of the work.  275 Consumers Rd Suite 120 Toronto ON M2J 1R4 of the MAY 2016 drawn by checked by scale file name of the work. All of the Designer which must be returned at the completion of the work.	5	name signature BCIN		project name GREEN VALLEY EAST		project no. 16023
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WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%

OF BASEMENT WALL HEIGHT "B"

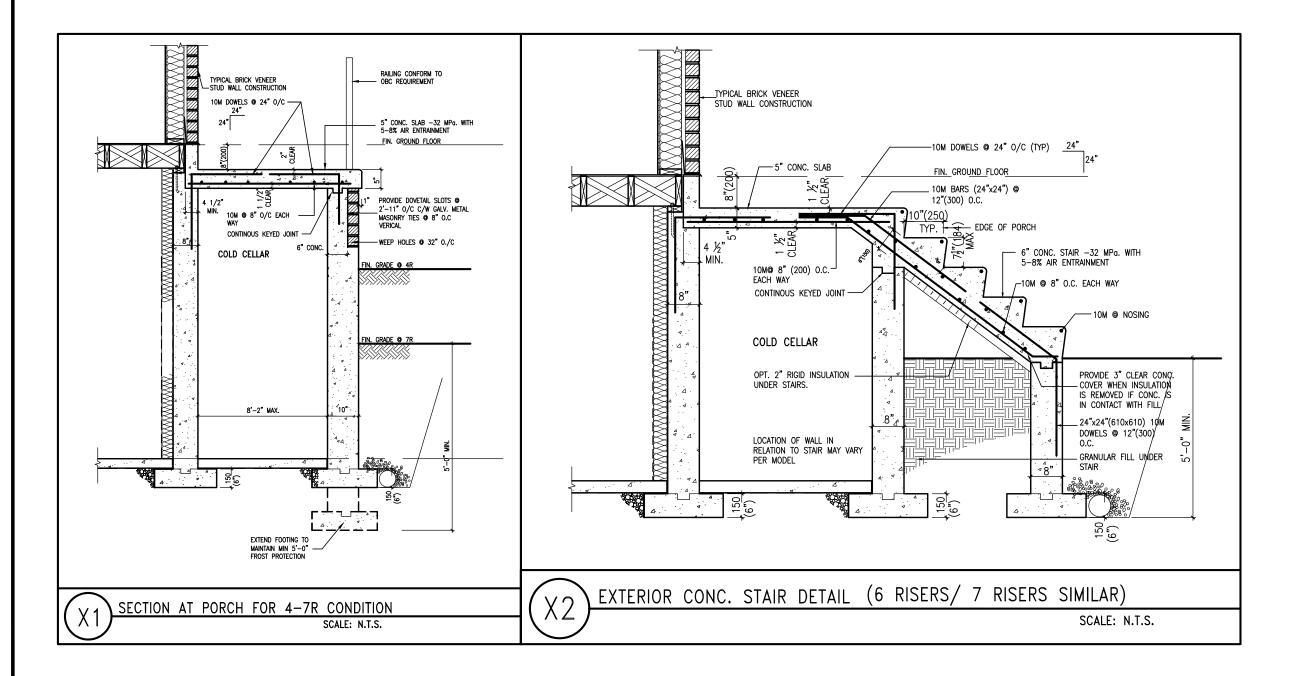
INSULATION VALUE FOR WALL IN SECTION "X"

IS NOT LESS THAN BASEMENT WALL AS

REQUIRED BY TABLE 2.1.1.2A

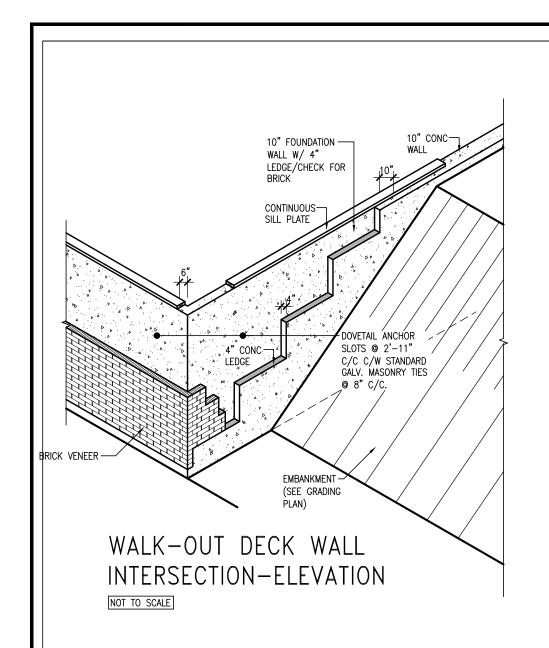


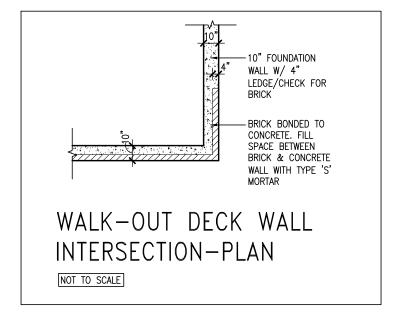
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DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 1 416.630.225.5 f 416.630.4782 vo3design.com	DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 1 416.630.225.5 f 416.630.4782 vo3design.com
t 2	t 2
	to supplie has requirements set out in the logal more the qualifications and metals the requirements set out in the location information  Inglor Jno-Baptiste  Signator  Design Inc.  Design Inc.  125591  A2658  PORTAGE  A26



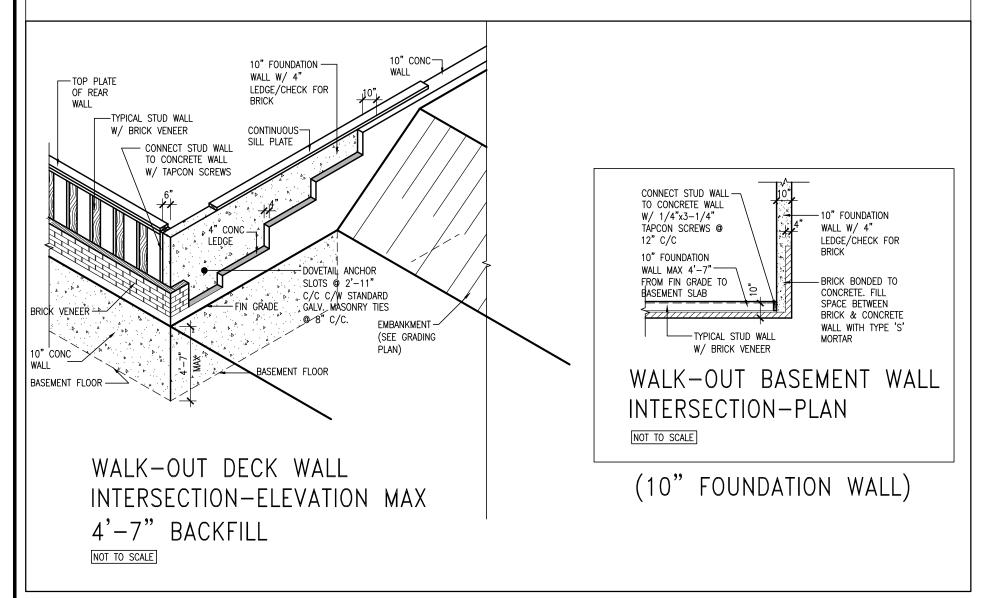
CONST	25591 BCN 42658 255 Consumers Rd Suite 120 Toronto ON M2. 1R4 t 416.530.2255 f 416.530.4782 va3design.com	DESIGN 255 Consumers Rd Suite 120 Toronto ON W2J 1R4 t 416.530.2255 f 416.530.4782
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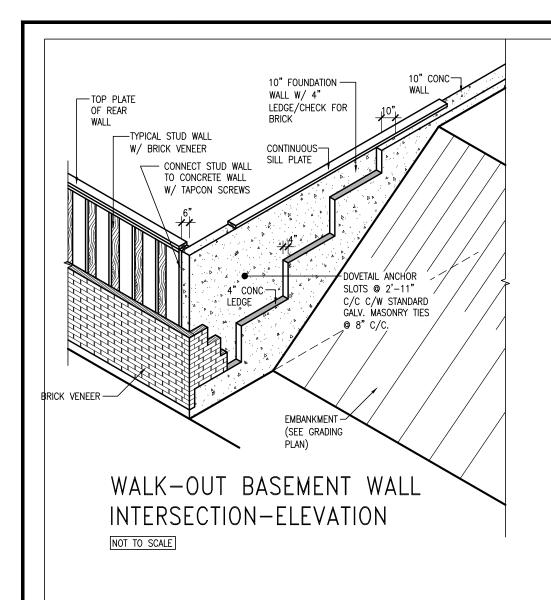


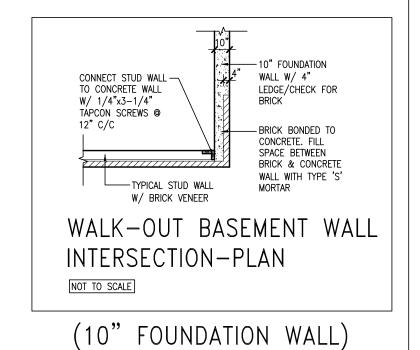
(10" FOUNDATION WALL)

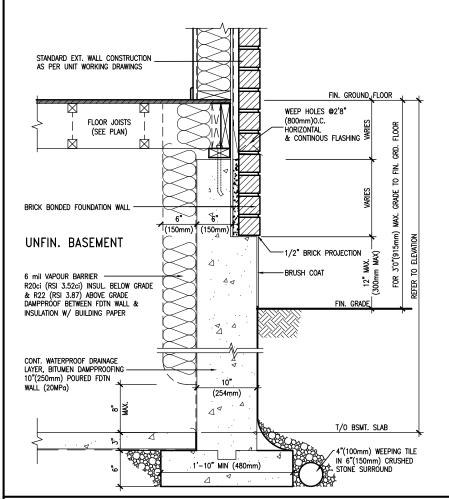


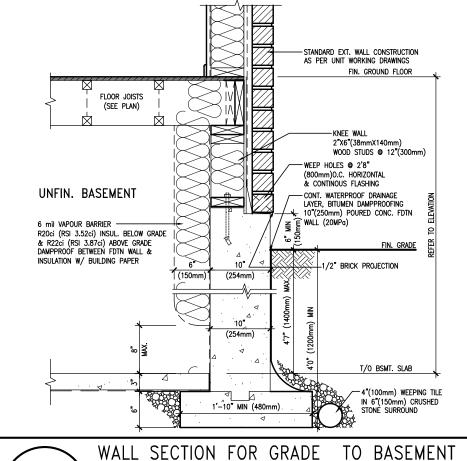


8			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste	VAR	BAYVIEW	WELLINGTON	CONST_NOTE
_		JAN 11-22 RC	name signature BCIN	DECION	project name GREEN VALLEY EAST	municipality BRADFORD	
2	UPDATE TO 2018 ISSUE FOR CLIENT REVIEW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782		3/16" = 1'-0"	RUCTION NOTES  file name 16023-CN-2022-A1
n	description		of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	va3design.com		BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	









WALL SECTION FOR GRADE TO FIN. FLOOR MORE THAN 4'7" (1400mm) HEIGHT DIFFERENCE SCALE: N.T.S.

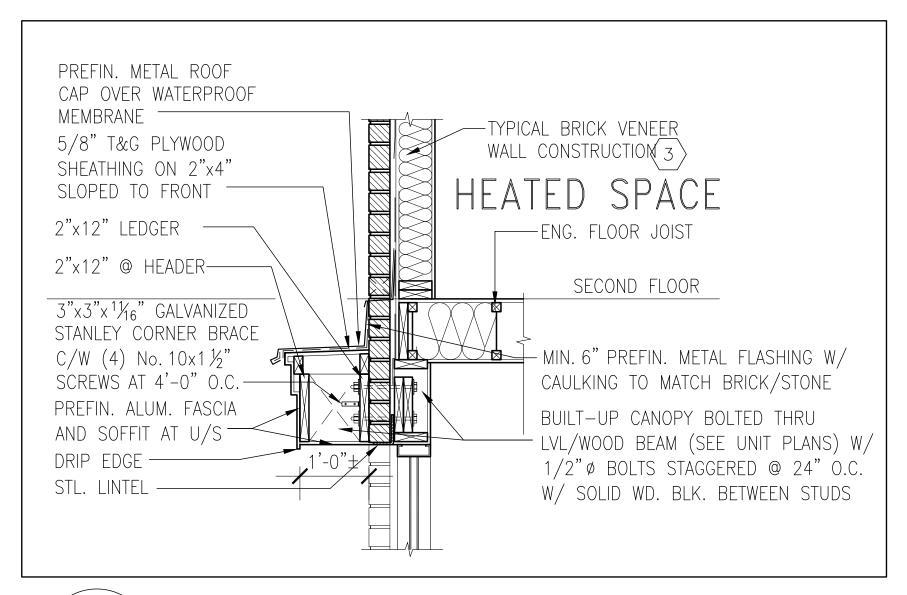
EW3.06x

WALL SECTION FOR GRADE
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.

S. J. BOYD

F	9   . 8   .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			BAYVIEW	WFIII
	7 .	•		qualification information Wellington Jno-Baptiste			DAIVIEW	WELL
ŀ	5 . 4 UPDATE TO 2022		DC	registration information	DECION	project name	VALLEY EAST	
ŀ	3 UPDATE TO 2020	FEB 24-20	RC :	The bengin mer	I DESIGN I	date MAY 2016		
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r	no. description	date	by	Drawings are not to be scaled.	va3design.com	RICHARD - I	H:\ARCHIVE\WORKING\2016\1602	23.BW\Units\CN_N

BAYVIEW	WELLINGTON	CONST	NOTE
project name GREEN VALLEY EAST	municipality BRADFORD		project no. 16023
date MAY 2016	CONST	RUCTION NOTES	drawing no.
drawn by checked by RC -	3/16" = 1'-0"	file name 16023-CN-2022-A1	CN11



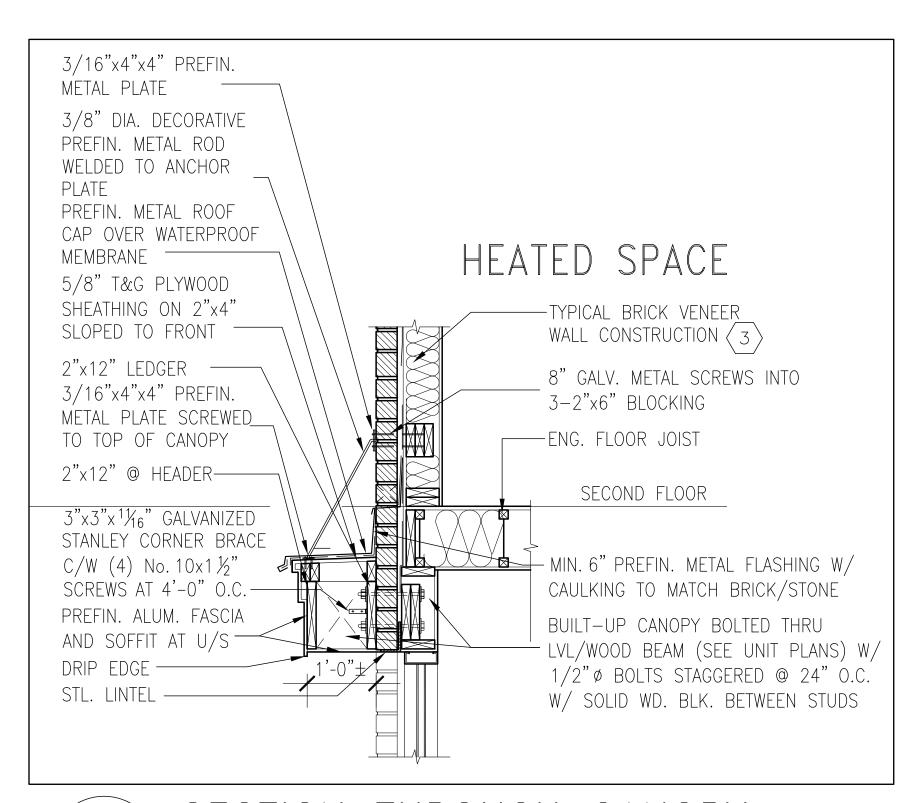
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## SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



	9 . 3 . 7 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  qualification information	<b>V</b>	BAYVIEW	WELLINGTON	CONST_NOTE
3	6 . 5 . 4 UPDATE TO 2022			Wellington Jno-Baptiste / 1/30/10576 25591 name registration information / signature BCIN		project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
Ŀ	O   UPDATE TO ZUZU	FEB 24-20	KU	registration information VA3 Design Inc.  Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All	255 Consumers Rd Suite 120	date MAY 2016		RUCTION NOTES file name  CN110
L	1 ISSUE FOR CLIENT REVIEW o. description	AUG 04-17 date	RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		scale 3/16" = 1'-0" 123.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	16023-CN-2022-A1 UNIZ

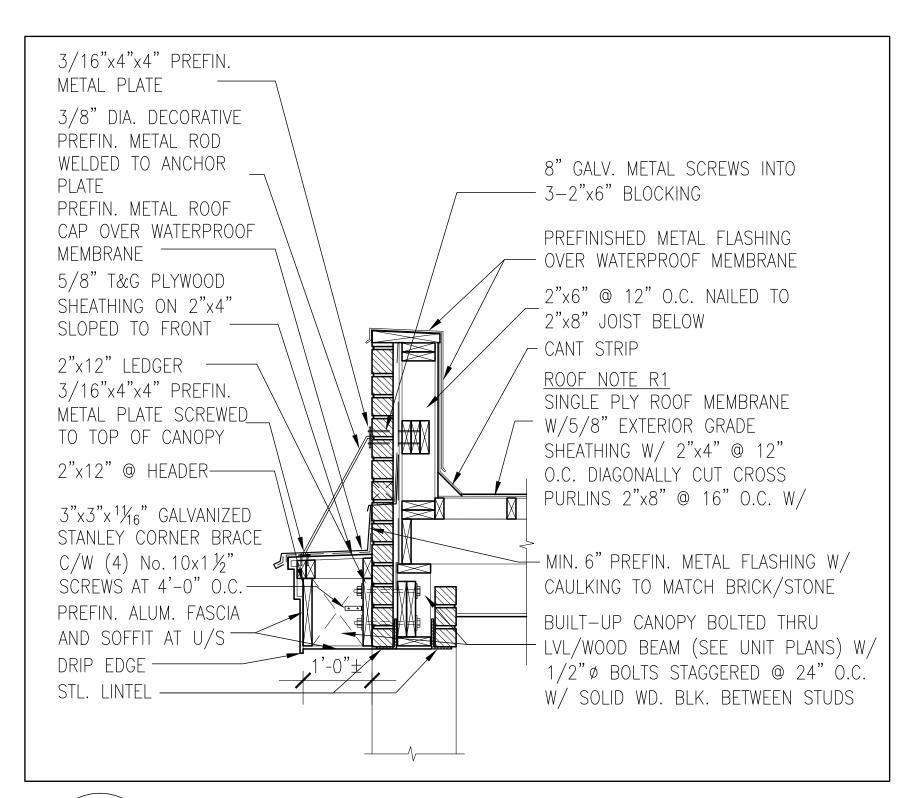


1 CN13

# SECTION THROUGH CANOPY W/ DECORATIVE ROD SCALE 1/2" = 1'-0"



8				The undersigned has reviewed and tokes responsibility for this design and has the qualifications and meets the requirements set out in the Ontorio Building Code to be a Designer.  qualification information  Wellington Jno-Baptiste		BAYVIEW	WELLINGTON	CONST_NOTE
_	. UPDATE TO 2022	JAN 11-22	RC	name signative BCIN VA3 Design Inc. 42658	DECION	project name GREEN VALLEY EAST	municipality BRADFORD	desirter
1	UPDATE TO 2018	FEB 24-20 JAN 11-18 AUG 04-17 date	RC RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		\$\frac{\text{scale}}{3/16" = 1'-0"} 223.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed	16023-CN-2022-A1



1 CN14

## SECTION THROUGH CANOPY

W/DECORATIVE ROD SCALE 1/2" = 1'-0"



9 8			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		RAYVIFW	WELLINGTON	CONST NOTE
7			qualification information	I <b>\</b> / <del>\</del>	DAIVIEW	WELLINGTON	
6			Wellington Jno-Baptiste 180516576 25591	V/ &			
5			name / signature BCIN		project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
4	UPDATE TO 2022	JAN 11-22 RC	registration information VA3 Design Inc. 42658	l design		DRAUFORD	
3	UPDATE TO 2020	FEB 24-20 RC	·		date MAY 2016	CONST	RUCTION NOTES drawing no.
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	t 416.630.2255 f 416.630.4782		3/16" = 1'-0"	16023-CN-2022-A1 (N 4
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