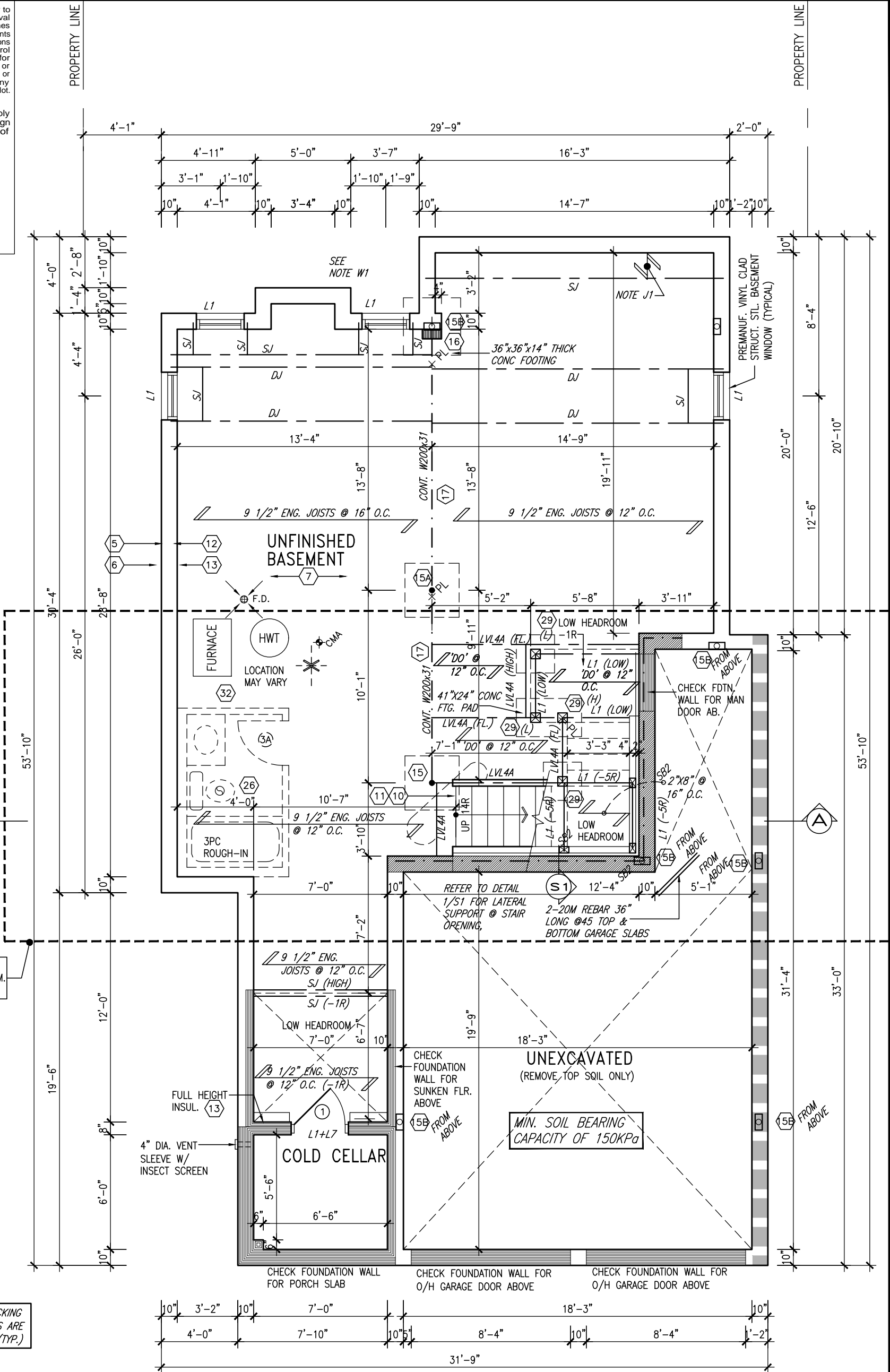


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10' GROUND

PART. PLAN FOR
SUNKEN MUD RM.
SEE PAGE 7



NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

AREA CHART ON PAGE 5

BASEMENT PLAN 'A'



MAR 24, 2022

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
signature
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
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va3design.com

BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date JAN. 2017	drawn by SB	checked by 3/16" = 1'-0"	scale 16023-S38-1-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:35 PM		drawing no. 1	

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10' GROUND

PART. PLAN FOR
SUNKEN MUD RM.
SEE PAGE 7



MAR 24, 2022

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL
REBARS EACH SIDE OF OPENING +
2-15M HORIZ. REBARS BELOW AND
EXTEND 24" BEYOND OPENING PROVIDE
3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or
SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION
& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN 'A' (9'-0" BASEMENT)

ELEV. 'B' & 'C' SIMILAR

INDICATES REDUCED SIDE YARD

AREA CHART ON PAGE 5

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR E.L.C	MAR 18-19	RC
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**VA3
DESIGN**

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

**S38-1
BAROSSA 1**

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date JAN. 2017	checked by SB	scale 3/16" = 1'-0"
file name 16023-S38-1-10GRND	drawing no. 1A	
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10' GROUND



MAR 24, 2022

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST. 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

9	.	.	.
8	.	.	.
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name registration information BCIN

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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name GREEN VALLEY EAST municipality BRADFORD project no. 16023

date JAN. 2017 drawing no. 16023-S38-1-10GRND

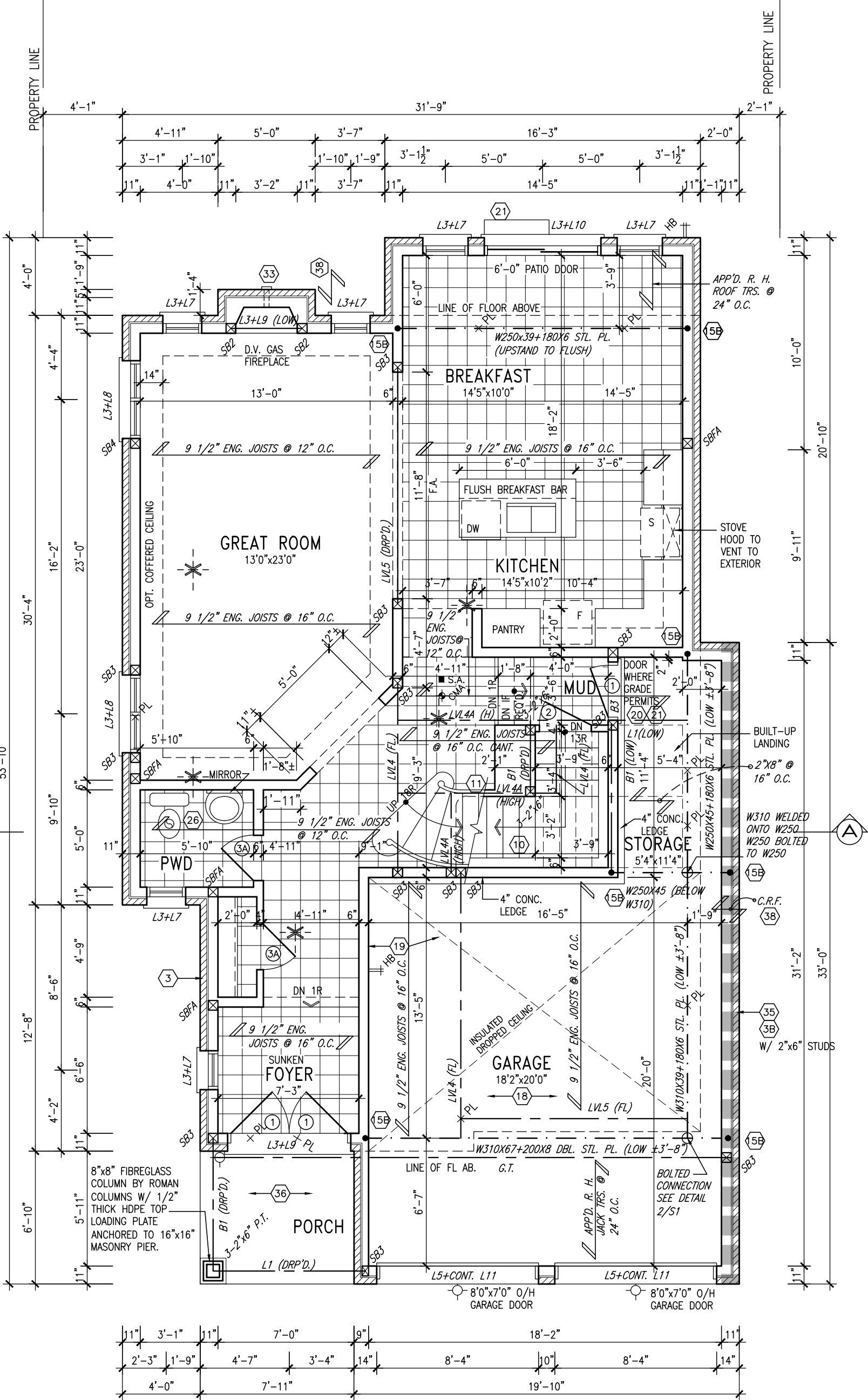
drawn by SB checked by 3/16" = 1'-0" scale file name 16023-S38-1-10GRND

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GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER



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10 GROUND



MAR 24, 2022

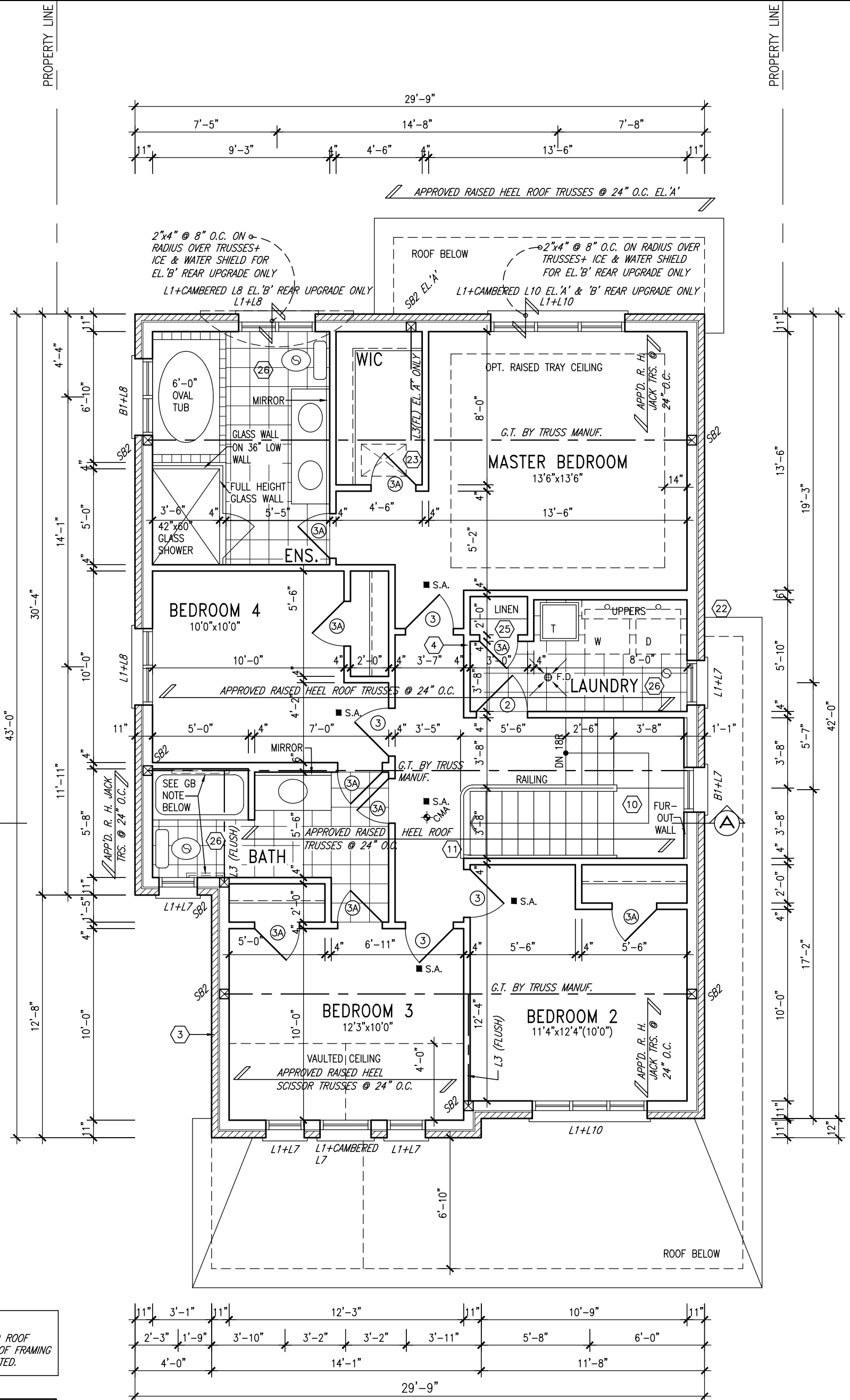
NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg



SECOND FLOOR PLAN 'A'

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	BAYVIEW WELLINGTON		S38-1 BAROSSA 1		
8	.	.				project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023		
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC	qualification information Wellington Jno-Baptiste		name Wellington Jno-Baptiste	signature 	BCIN 25591	drawing no. 3	
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC			registration information VA3 Design Inc.		42658	SECOND FLOOR PLAN 'A'	
5	10' GROUND FLOOR	MAY 13-21	KL			date JAN. 2017	checked by SB	scale 3/16" = 1'-0"	file name 16023-S38-1-10GRND	
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM				
3	REV ROOF STRUCT. FOR UPG. REAR E.L.C	MAR 18-19	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC							
1	ISSUED FOR CLIENT REVIEW	.	.							
no.	description	date	by							

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10 GROUND

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



MAR 24, 2022

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

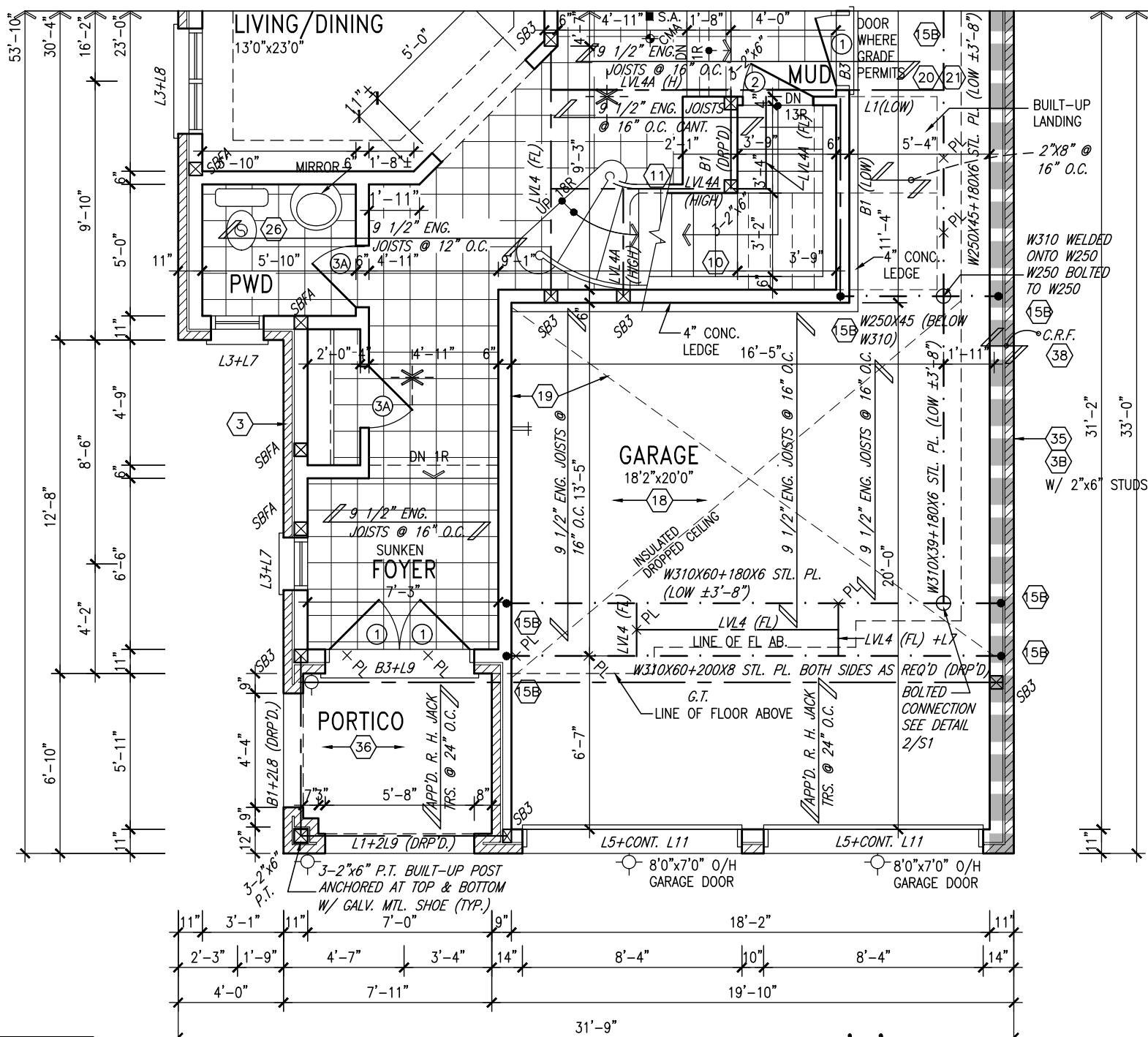
NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
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OUTDOOR AIR INTAKE SEPARATION

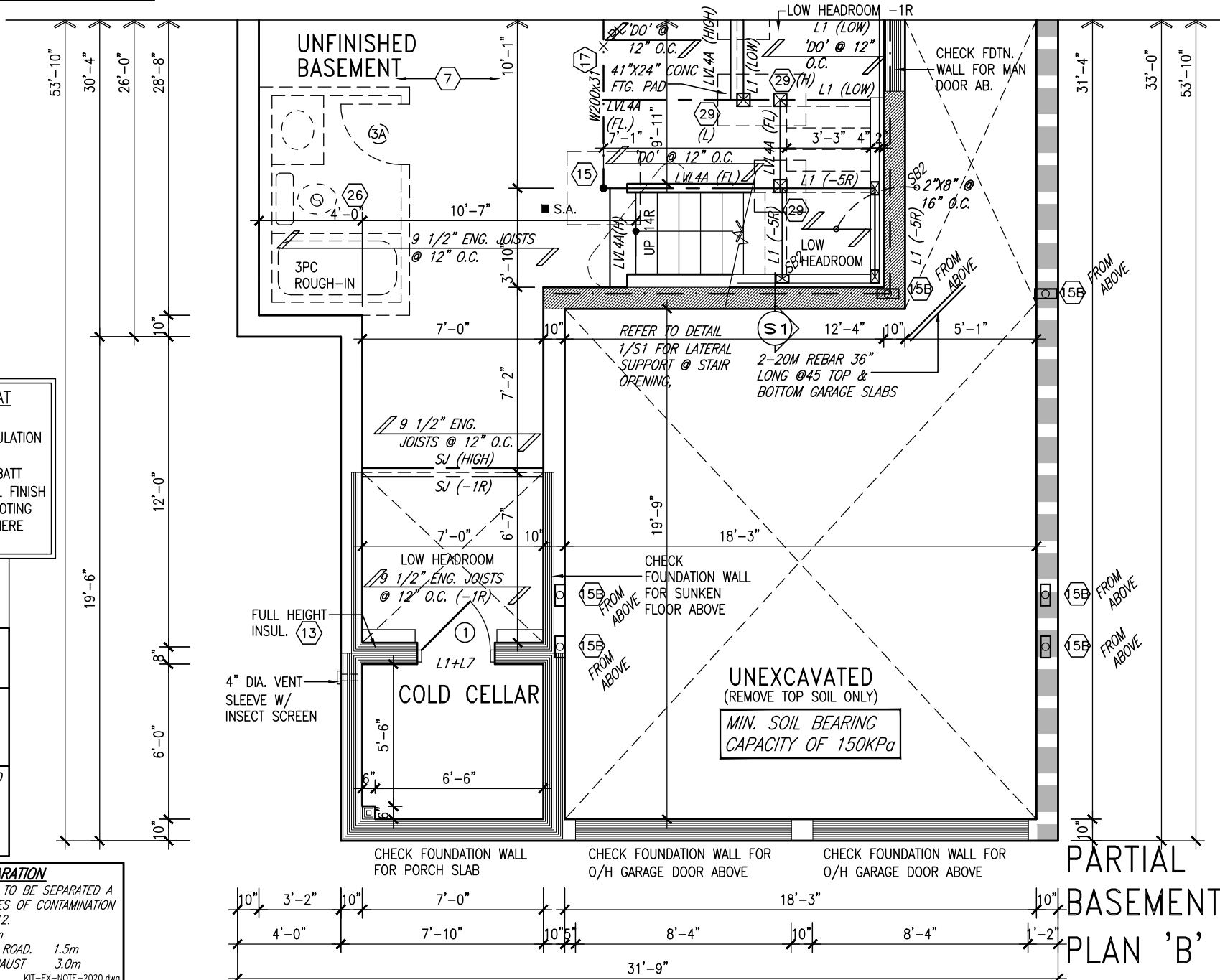
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dw



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL
BASEMENT
PLAN 'B'

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	RE ROOF STRUCT. FOR UPG. REAR EL.C	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	municipality
GREEN VALLEY EAST	BRADFORD

16023 project no.

date
JAN. 2017

PARTIAL PLANS ELEVATION 'B'

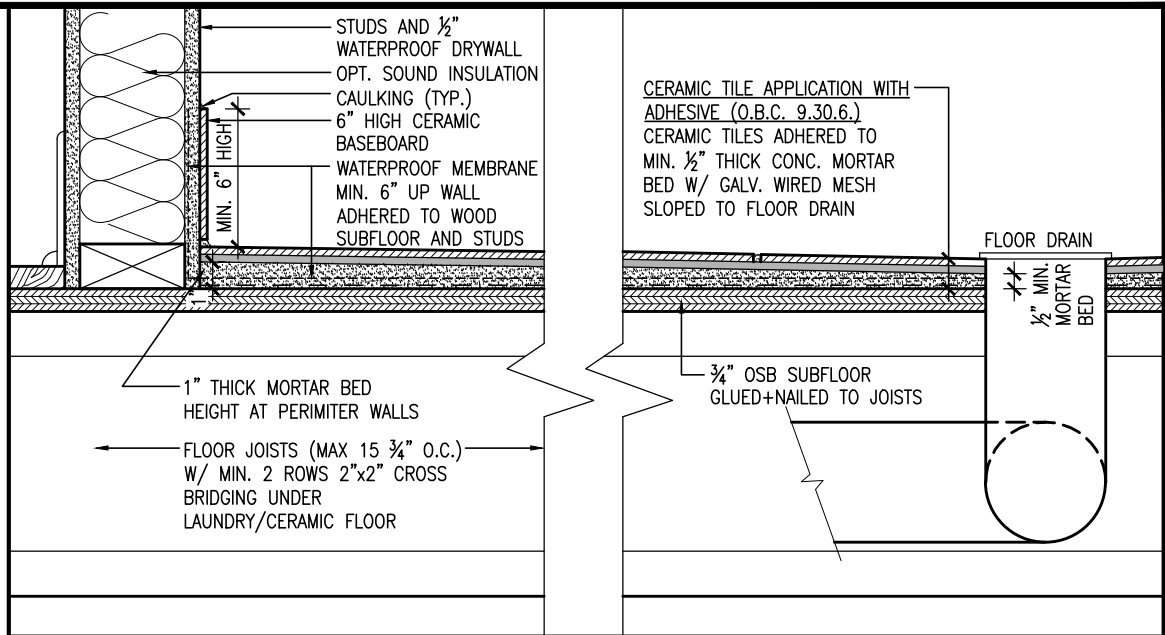
drawn by checked by scale file name
SB . 3/16" = 1'-0" 16023-S38-1-10GRND

drawing no.

4

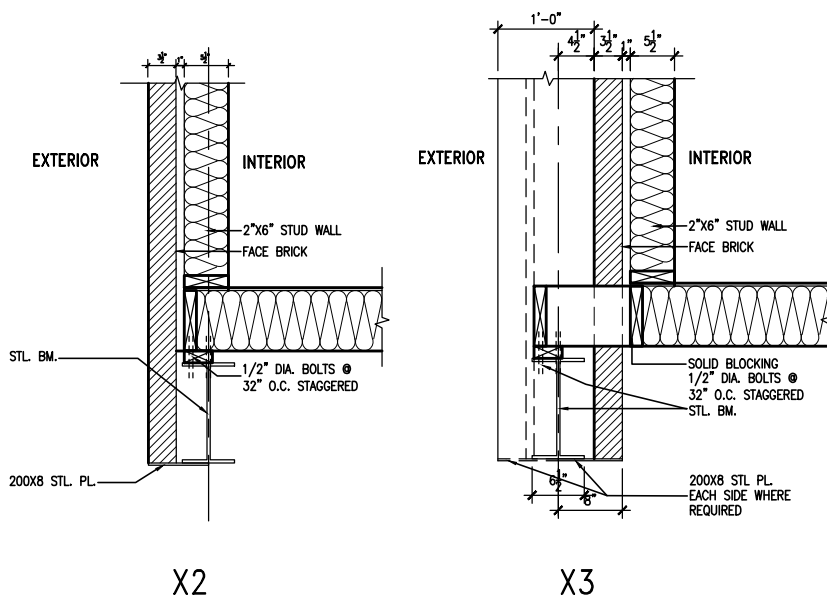
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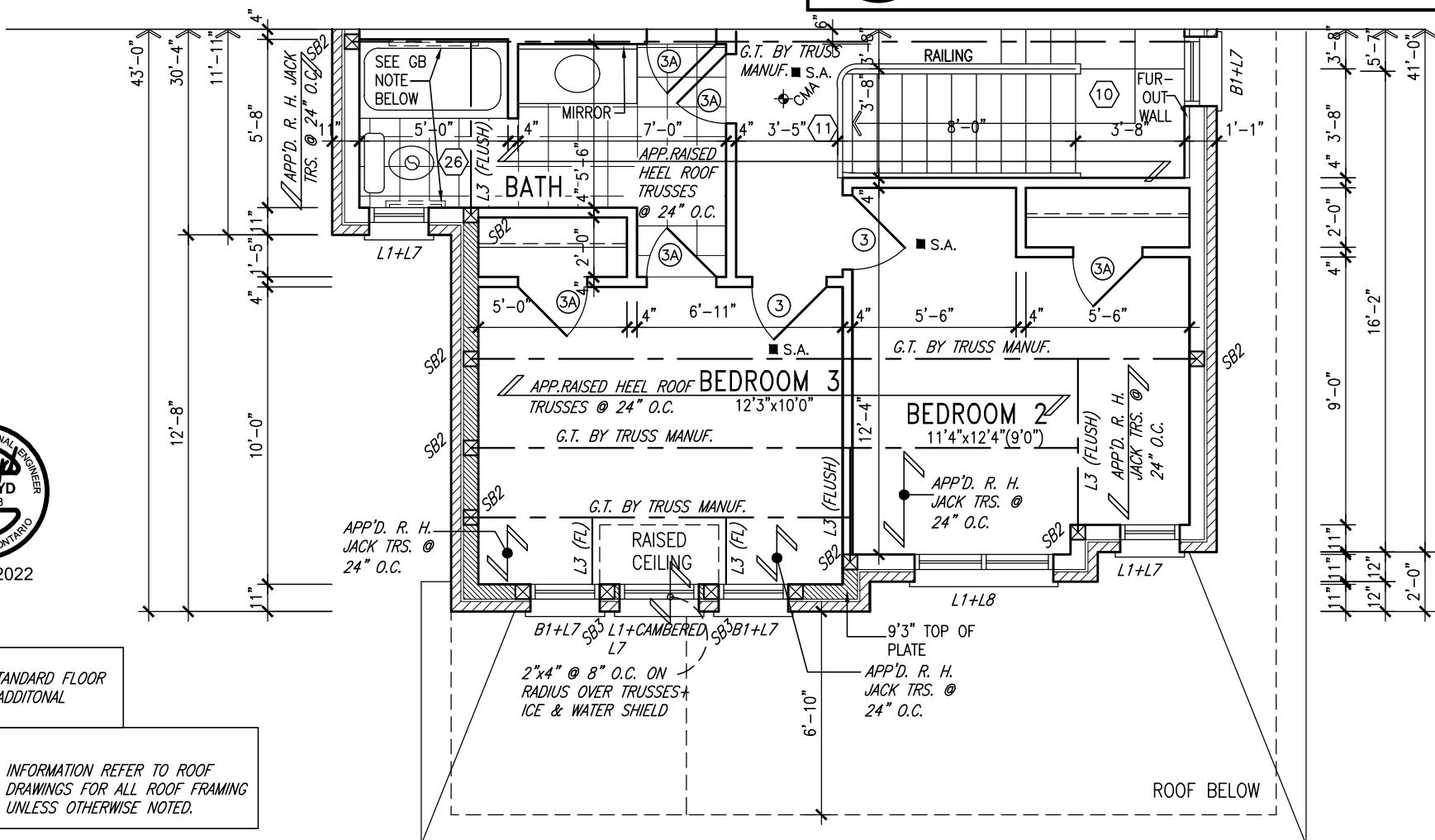


DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1011.5 SF	1011.5 SF	1011.5 SF
SECOND FLOOR AREA	1216.9 SF	1212.9 SF	1219.4 SF
SUBTOTAL	2228.4 SF	2224.4 SF	2230.9 SF
DEDUCT ALL OPENINGS	0 SF	0 SF	0 SF
TOTAL NET AREA	2228 SF	2224 SF	2231 SF
	207.0 m2	206.7 m2	207.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2228 SF	2224 SF	2231 SF
W/ FIN BSMT	207.0 m2	206.7 m2	207.3 m2
COVERAGE W/O PORCH	1488.1 SF	1488.1 SF	1488.1 SF
	138.2 m2	138.2 m2	138.2 m2
COVERAGE W/PORCH	1542.2 SF	1542.2 SF	1563.4 SF
	143.3 m2	143.3 m2	145.2 m2



M11a 12" WALL JOG
SCALE: N.T.S.



PARTIAL SECOND FLOOR PLAN 'B'



MAR 24, 2022

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

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qualification information

Wellington Jno-Baptiste	25591
name	signature
registration information	BCIN
VA3 Design Inc.	42658

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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

date

JAN. 2017

PART II

PARTIAL PLANS ELEVATION 'B'

S ELEVATION B

drawing no.

5

no.	description	date	by
-----	-------------	------	----

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10' GROUND

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

INDICATES REDUCED SIDE YARD



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
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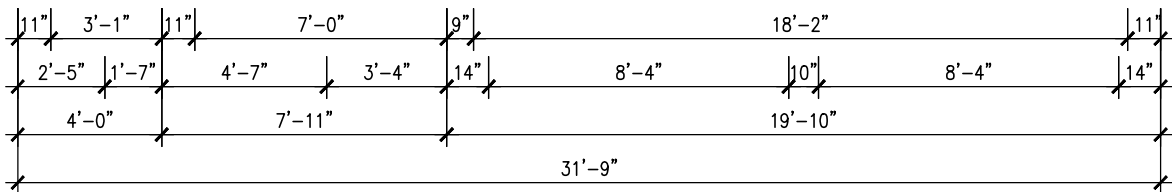
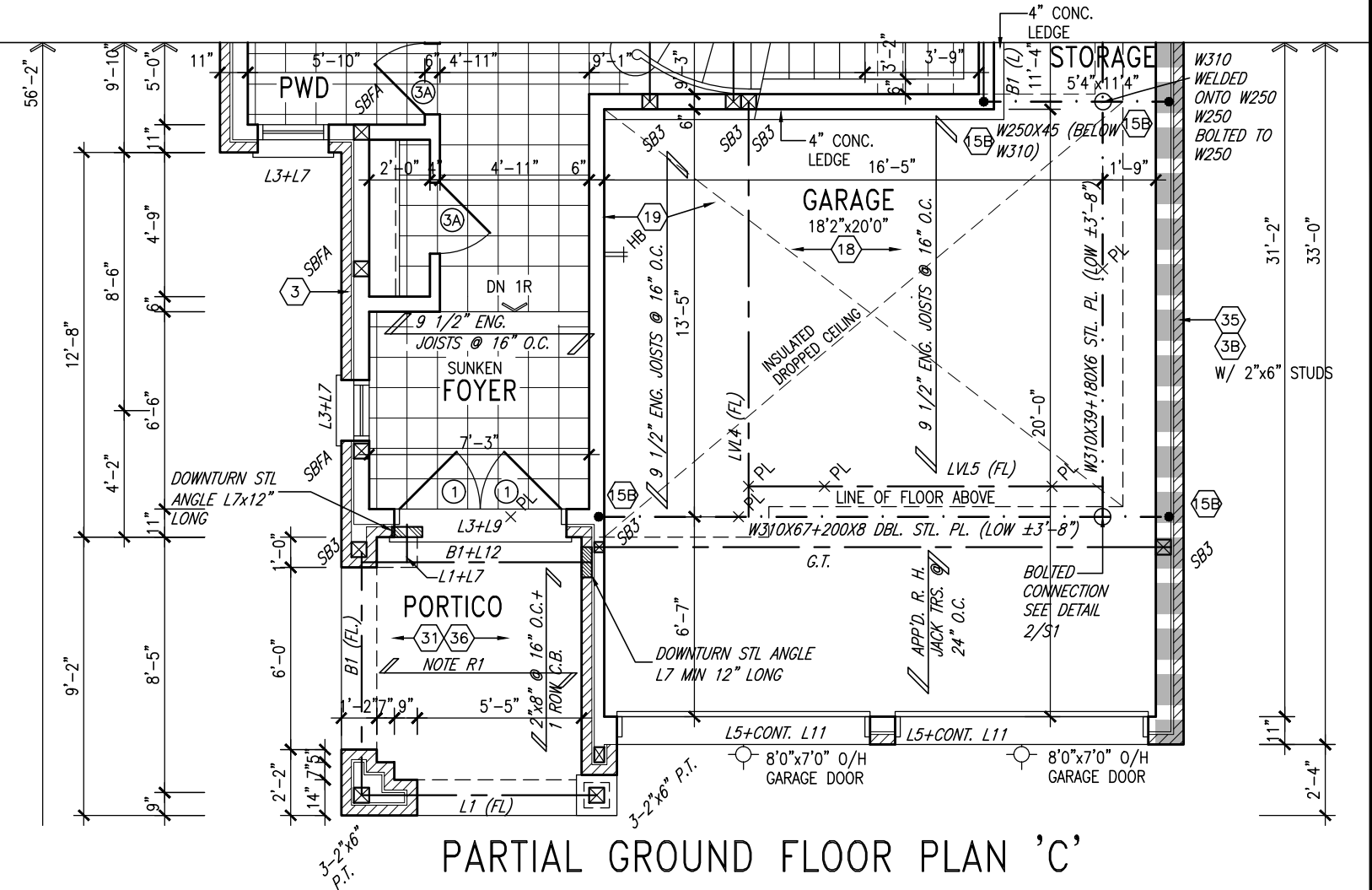
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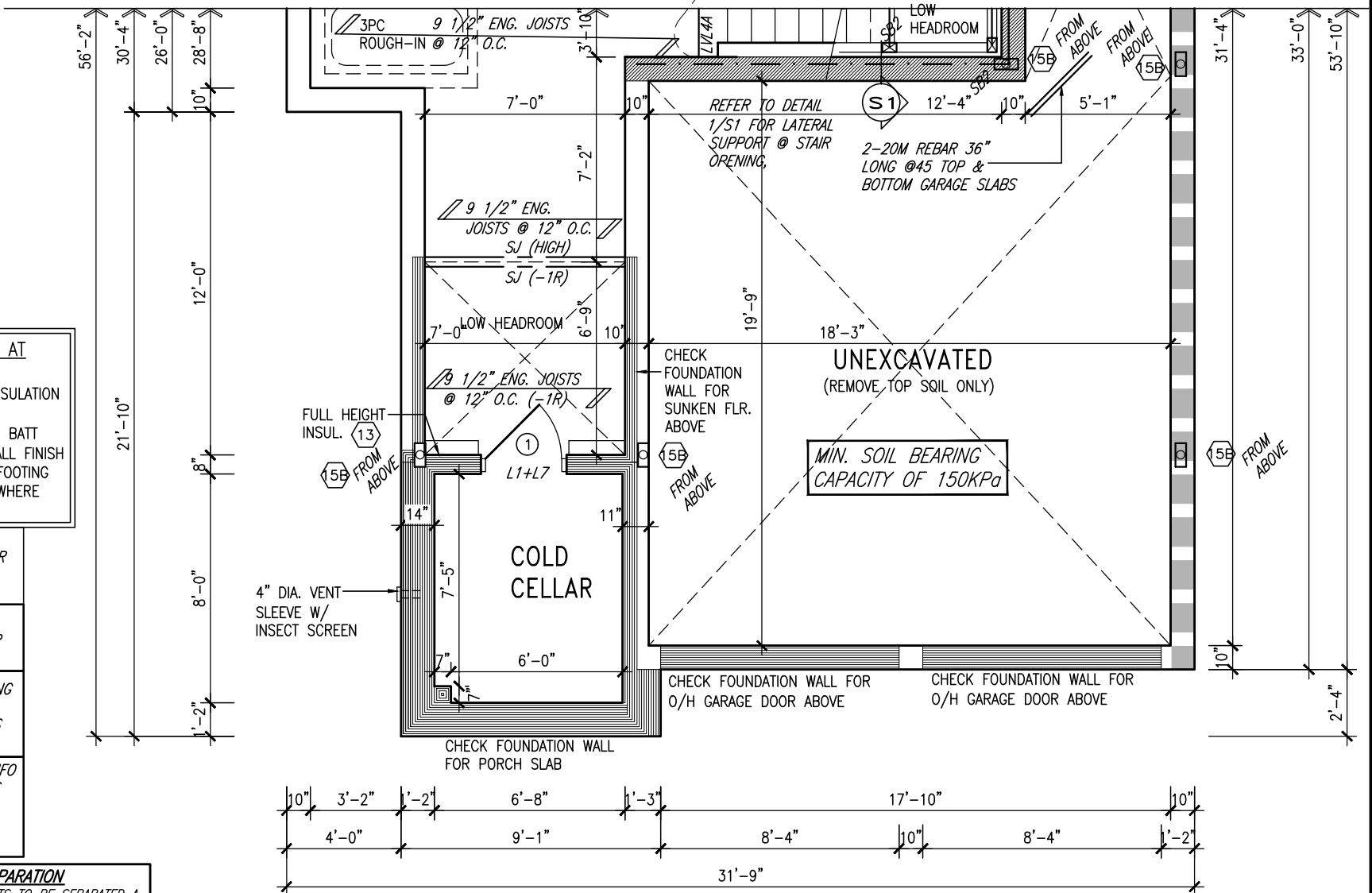
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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
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• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg



DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	



PARTIAL BASEMENT PLAN 'C'

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
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name
signature
registration information
VA3 Design Inc. 42658
BCIN

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BAYVIEW WELLINGTON		S38-1 BAROSSA 1
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date JAN. 2017	checked by SB	scale 3/16" = 1'-0"
PARTIAL PLANS ELEVATION 'C'		file name 16023-S38-1-10GRND
drawing no. 6		drawing no. 6
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM		

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10' GROUND

NOTE:
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PLANS FOR ADDITIONAL
INFORMATION.

NOTE:
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TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg



MAR 24, 2022

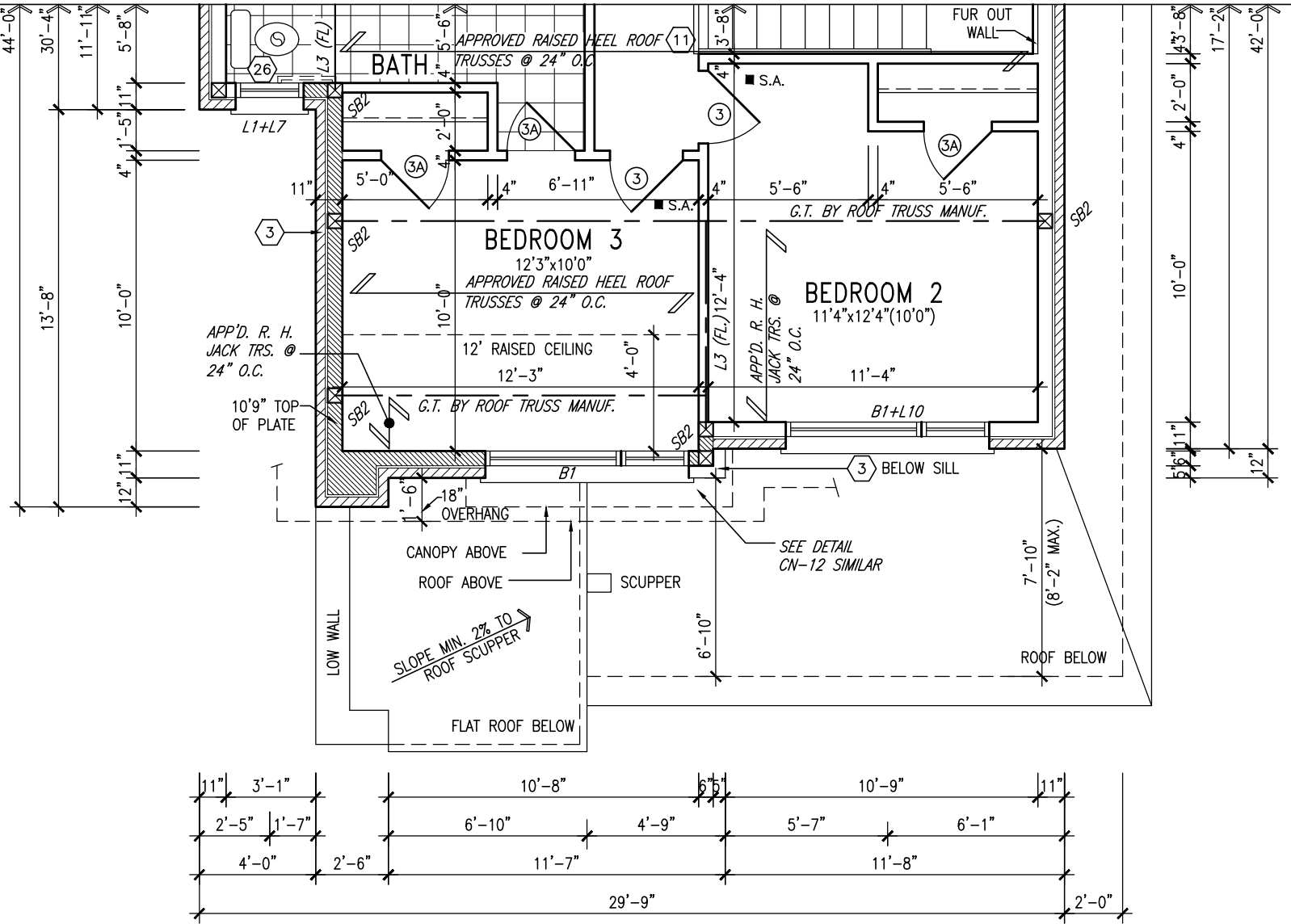
**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING
TO SUPPORT 2"x4" WALL WHERE
LOAD BEARING.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

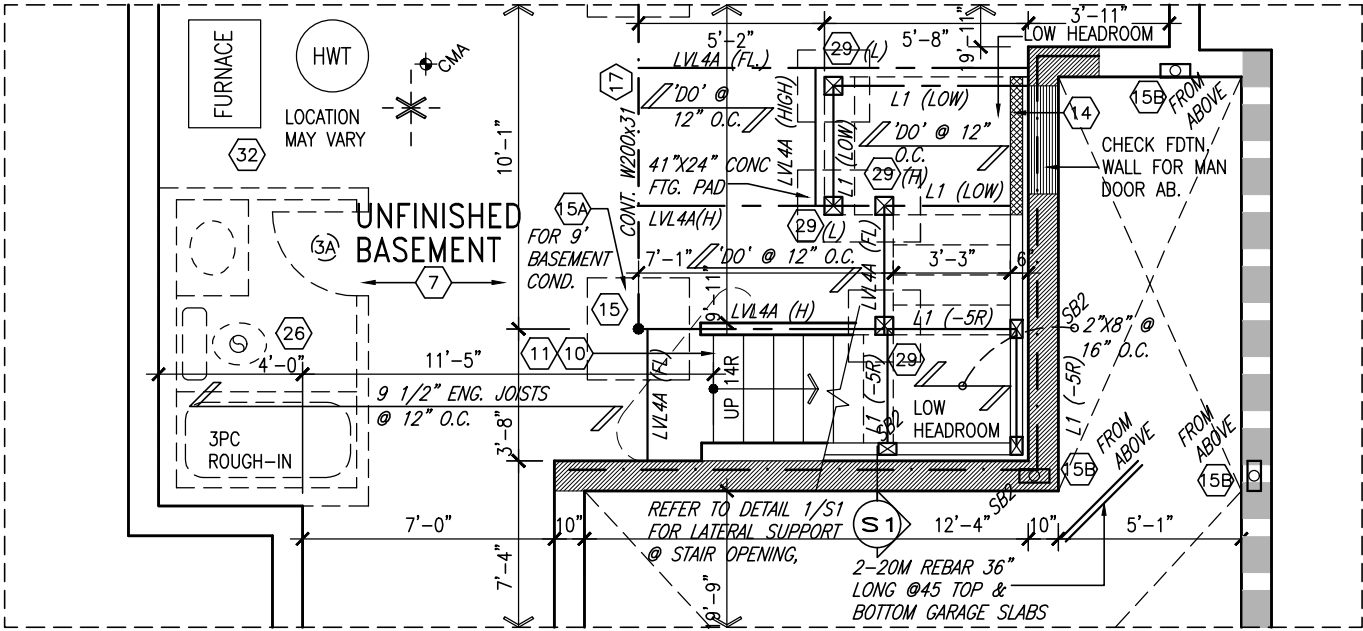
NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



PARTIAL SECOND FLOOR PLAN 'C'



PARTIAL PLAN FOR 1R SUNKEN MUD ROOM COND.

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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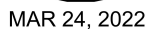
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	drawn by	SB	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	file name	16023-S38-1-10GRND	drawing no.	7
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM					

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA/A REAR UPG W/ 8' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3164.67 S.F.	439.81 S.F.	13.90 %
TOTAL SQ. M.	294.01 S.M.	40.86 S.M.	13.90 %

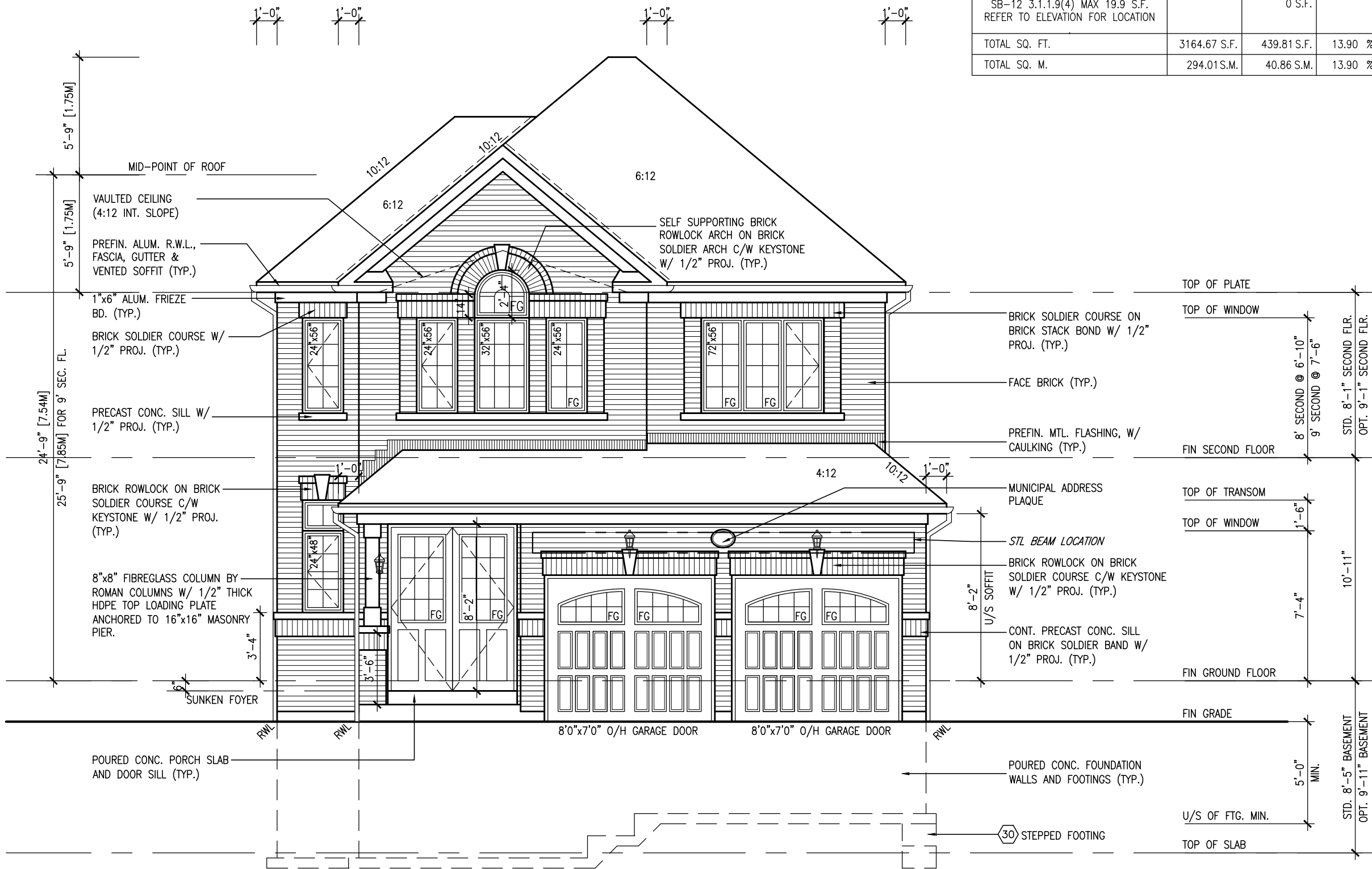
BAYVIEW WELLINGTON	S38-1 BAROSSA 1
project name GREEN VALLEY EAST	municipality BRADFORD
date JAN. 2017	project no. 16023
drawn by	drawing no.
checked by	FRONT ELEVATION 'A'
scale 3/16" = 1'-0"	file name 16023-S38-1-10GRND
SB	
RICHARD - H:\ARCHIVE\WORKING 2016\16023-BW Units 3B\16023-S38-1-10GRND.dwg -- Wed - Mar 23 2022 -- 2:33 PM	

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste 25591</p> <p>name registration information</p> <p>signature BCIN</p> <p>2658</p>	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>
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9.
8.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC	
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC	
5	10' GROUND FLOOR	MAY 13-21	KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL	
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC	
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10⁹ GROUND



MAR 24, 2022



LEFT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

[illegible]

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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	project no.
GREEN VALLEY EAST	16023
drawn by	drawing no.
JUAN, 2017	16023
date	
scale	
checked by	
3/16" = 1'-0"	
SB	
drawn by	
JUAN, 2017	
date	
scale	
checked by	
3/16" = 1'-0"	
SB	
drawn by	
JUAN, 2017	
date	
scale	
checked by	
3/16" = 1'-0"	
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drawn by	
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3/16" = 1'-0"	
SB	
drawn by	
JUAN, 2017	
date	
scale	
checked by	

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND

BRICK VENEER CONSTRUCTION

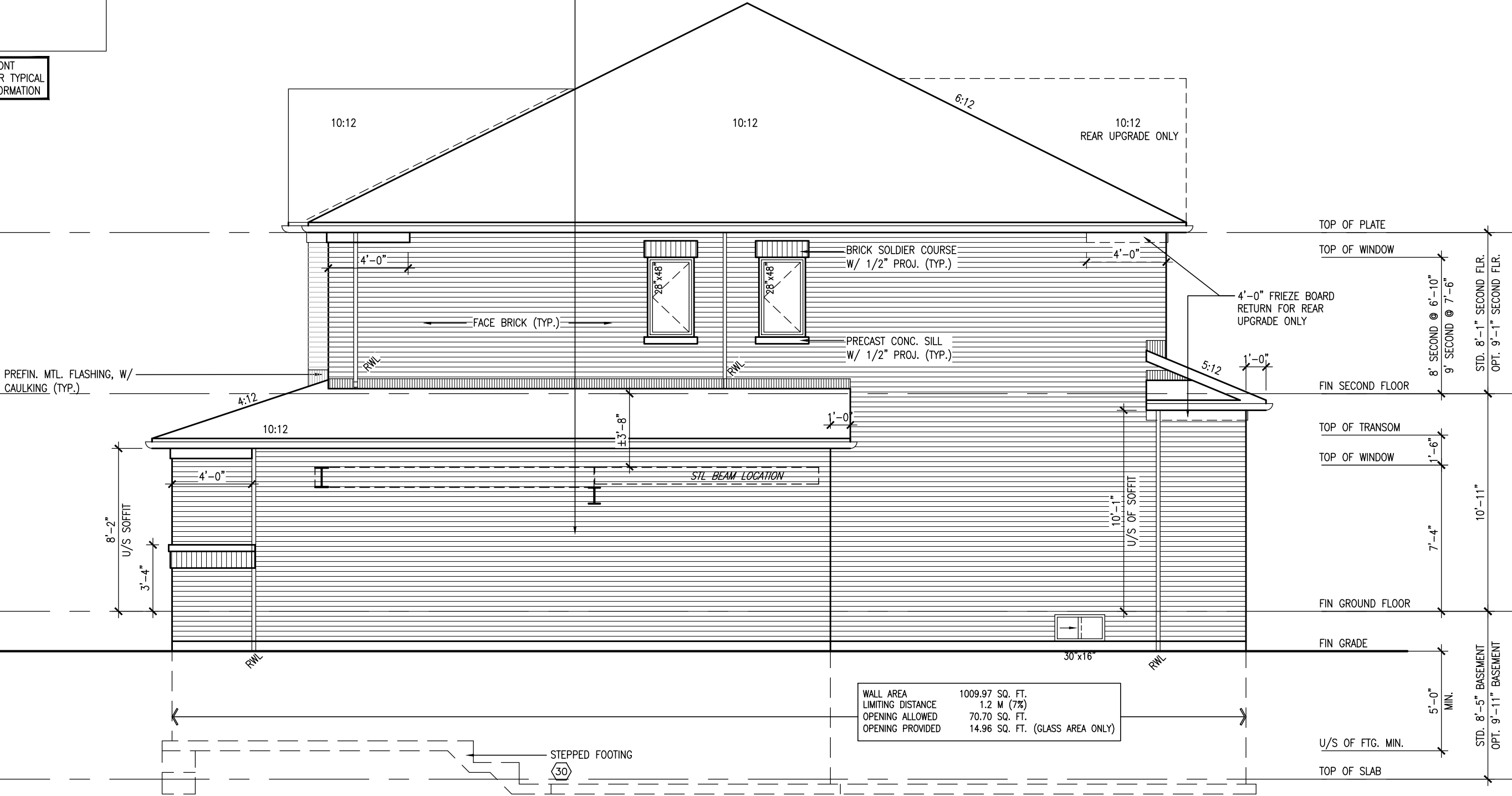
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



MAR 24, 2022



RIGHT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

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Wellington Jno-Baptiste 25591 BCIN
VAS Design Inc. 42658
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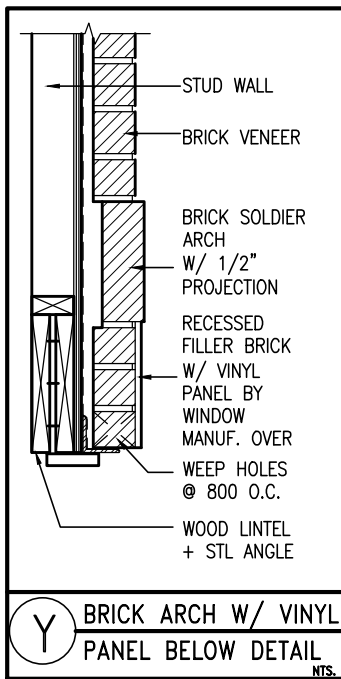
no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
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3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		

project name
GREEN VALLEY EAST
municipality
BRADFORD
project no.
S38-1
BAROSSA 1
drawing no.
16023
file name
16023-S38-1-1-10CRND
drawn by
SB
checked by
JAN. 2017
scale
3/16" = 1'-0"
drawn by
SB
checked by
JAN. 2017
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3/16" = 1'-0"
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checked by
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scale
3/16" = 1'-0"

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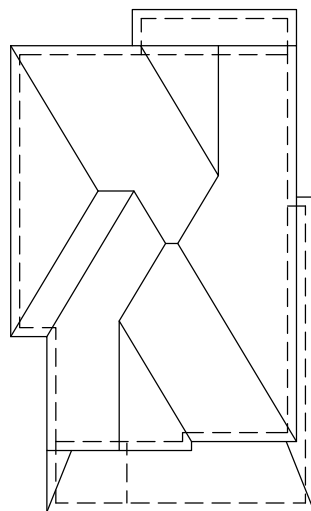
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



10⁹ GROUND



MAR 24, 2022

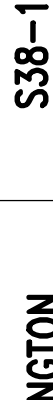


ROOF PLAN A
W/ REAR UPGRADE



ELEVATION 'A' REAR UPGRADE

9	.	.	.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.		qualification information
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22 RC			
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22 RC			
5	10' GROUND FLOOR	MAY 13-21 KL			Wellingdon Jno-Baptiste signature
4	ADDED OPT. 9' BASEMENT	MAY 13-21 KL			name BCIN 25591
3	REV ROOF STRUCT. FOR UPC. REAR E.L.C	MAR 18-19 RC			registration information VA3 Design Inc.
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC			42658
1	ISSUED FOR CLIENT REVIEW	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
pro.	description	date	by		

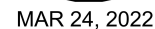


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va3design.com

BAYVIEW WELLINGTON		S38-1	
		BAROSSA 1	
project name	municipality	project no.	
GREEN VALLEY EAST	BRADFORD	16023	
date	ELEVATION A REAR UPGRADE	drawing no.	
JAN. 2017		13	
drawn by	file name		
SB	16023-S38-1-10GRND		
checked by	scale		
	$\frac{3}{16}" = 1'-0"$		
DRAWN BY: H:\ARCHIVE\WORKING\2016\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM			

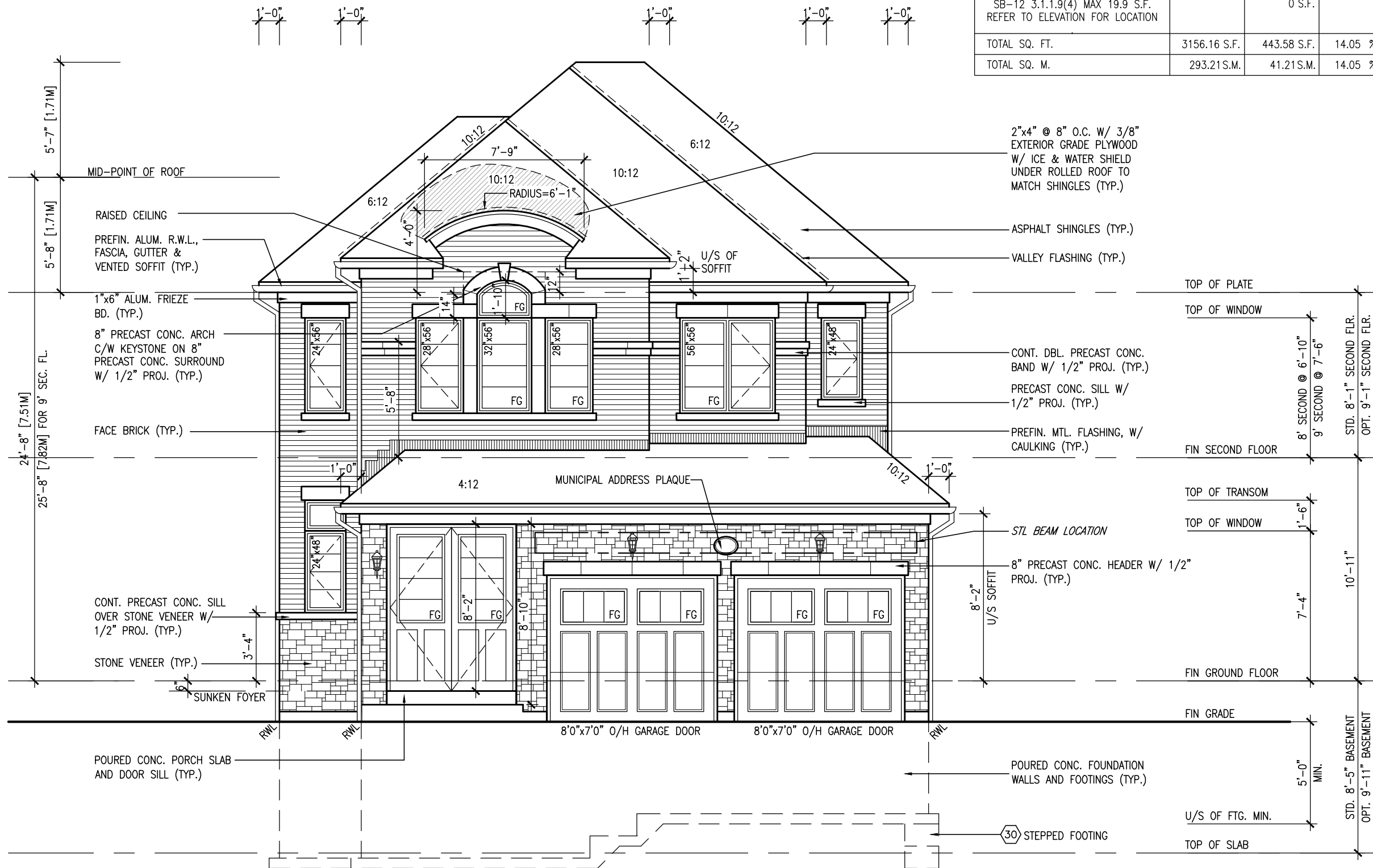
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10⁹ GROUND



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3156.16 S.F.	443.58 S.F.	14.05 %
TOTAL SQ. M.	293.21 S.M.	41.21 S.M.	14.05 %

ROOF PLAN
ELEVATION 'B'



FRONT ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

[illegible]

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND



MAR 24, 2022

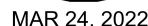


LEFT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

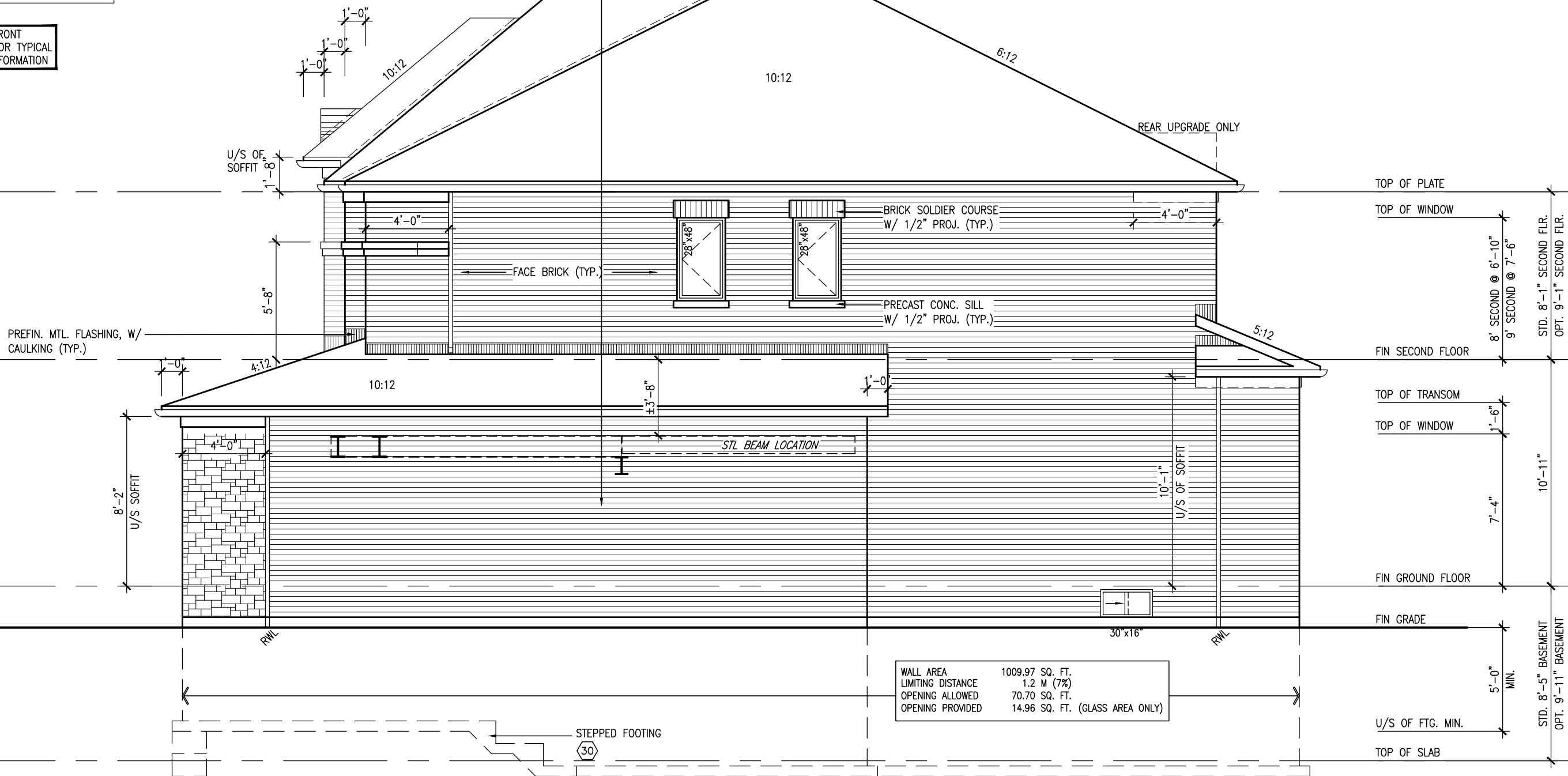
BAYVIEW WELLINGTON		S38-1	
GREEN VALLEY EAST		BAROSSA 1	
project name	BRADFORD	project no.	16023
date	JAN. 2017	drawing no.	15
drawn by	SB	file name	16023-S38-1-1-10GRND
checked by		scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units_38\16023-S38-1-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM			
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Wellington Jno-Baptiste		25591	
V3 Design Inc.		42658	
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8	.	.	by
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

9	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	qualification information
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MAR 24, 2022

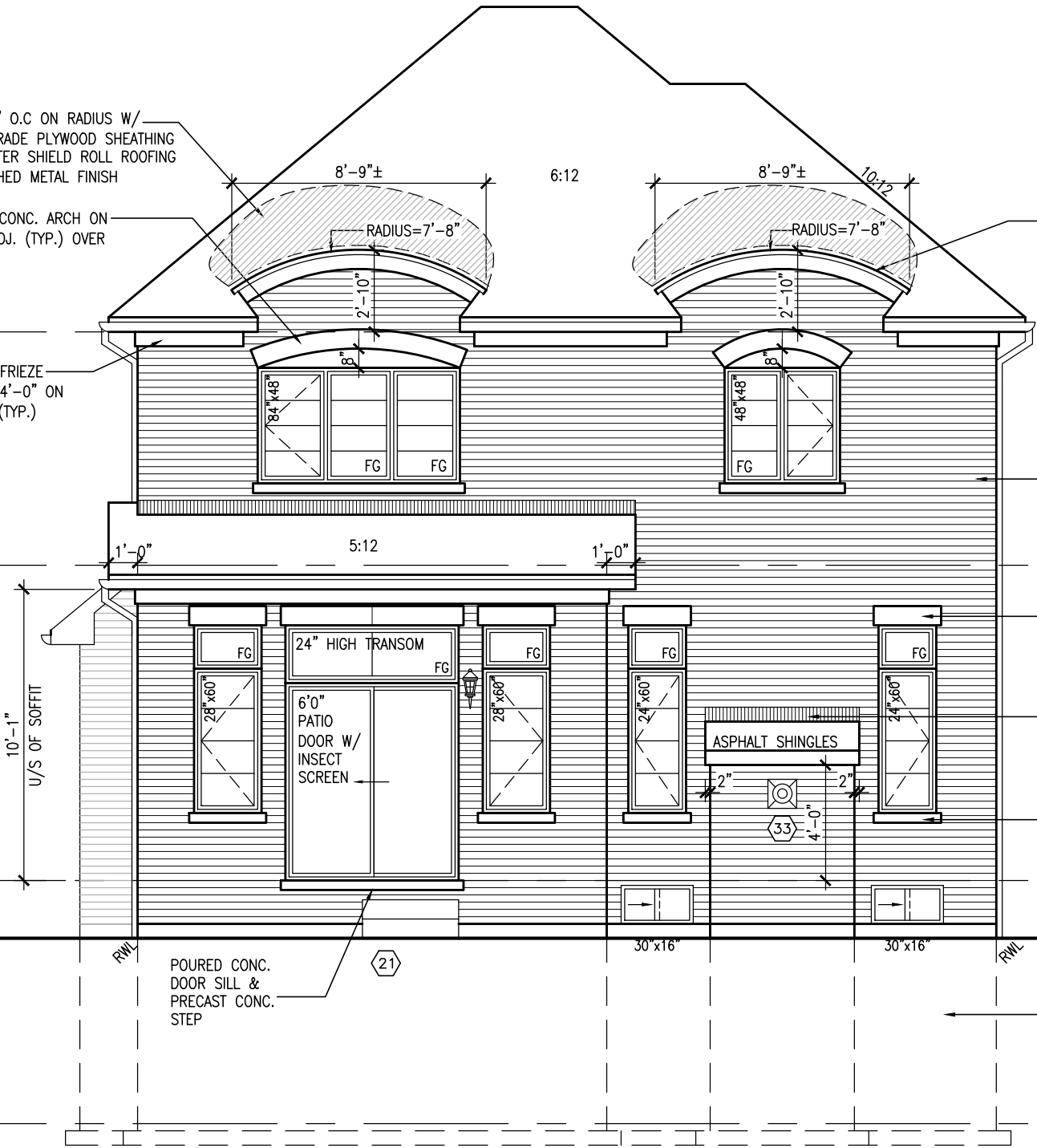
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10' GROUND

2"x4" @ 7'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.) OVER
VINYL PANEL

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)



2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD
W/ ICE & WATER SHIELD
UNDER ROLLED ROOF TO
MATCH SHINGLES (TYP.)

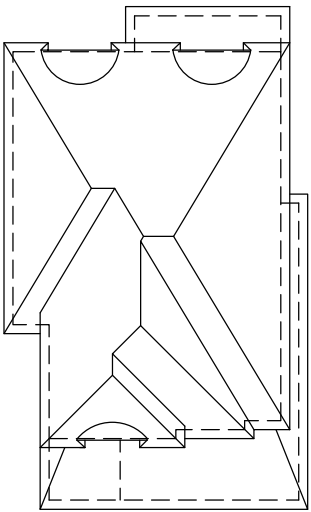
FACE BRICK (TYP.)

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)



ROOF PLAN B
W/ REAR UPGRADE

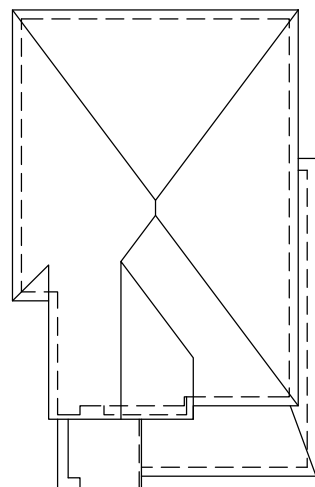
TOP OF PLATE	8' SECOND @ 6'-10"	STD. 8'-1" SECOND FLR.
TOP OF WINDOW	9' SECOND @ 7'-6"	OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR		
TOP OF TRANSOM	10'-11"	
TOP OF WINDOW	7'-4"	
FIN GROUND FLOOR		
FIN GRADE		
TOP OF SLAB		

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

ELEVATION 'B' REAR UPGRADE

BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
GREEN VALLEY EAST		BRADFORD	
project name		project no.	
date		drawing no.	
JAN. 2017		16023	
drawn by		17	
checked by		16023-S38-1-10GRND	
scale		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:33 PM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		V3 DESIGN	
255 Consumers Rd Suite 120		BCIN	
Toronto, ON M2J 1P4		42658	
t 416.630.2255 f 416.630.4782		V3 Design Inc.	
no.		description	
9	.	date	by
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



ROOF PLAN ELEVATION 'C'

10⁹ GROUND



MAR 24, 2022

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3168.41 S.F.	444.50 S.F.	14.03 %
TOTAL SQ. M.	294.35 S.M.	41.30 S.M.	14.03 %

Architectural elevation drawing of a two-story house with a gabled roof. The drawing includes detailed annotations for materials, dimensions, and structural elements.

Materials and Finishes:

- ASPHALT SHINGLES (TYP.)
- 1"x6" ALUM. FRIEZE BD. (TYP.)
- ALUM. CLAD CANOPY
- 12" RAISED CEILING
- 12" FIXED GLASS TRANSOM
- PREFIN. ALUM CAPPED CORNER TRIM
- 4" PREC. CONC. CAP (TYP.)
- FACE BRICK (TYP.)
- CONT. PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
- STUCCO FINISH (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. FRIEZE BD. (TYP.)
- PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)
- MUNICIPAL ADDRESS PLAQUE
- STONE BY BRAMPTON BRICK FINESSE LINE OR SIMILAR

Dimensions and Structural Details:

- Roof Pitch: 8:12, 6:12, 8:12
- Valley Flashing (TYP.)
- 2'-8" U/S OF SOFFIT
- 16"
- 28"x52"
- 56"x52"
- 28"x52"
- 56"x52"
- 28"x52"
- 4:12
- 11:12
- 1'-0"
- 8'-2" U/S SOFFIT
- 8'-0"x7'-0" O/H GARAGE DOOR
- 8'-0"x7'-0" O/H GARAGE DOOR
- 30" STEPPED FOOTING
- 5'-0" MIN.
- U/S OF FTG. MIN.
- TOP OF SLAB

Notes:

- * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION

Table:

	3168.41 S.F.	444.50 S.F.	14.03 %
TOTAL SQ. FT.	3168.41 S.F.	444.50 S.F.	14.03 %
TOTAL SQ. M.	294.35 S.M.	41.30 S.M.	14.03 %

FRONT ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

9	.	.	.	
8	.	.	.	
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC	
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC	
5	10' GROUND FLOOR	MAY 13-21	KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL	
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC	
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

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qualification information

Wellington Jno-Baptiste

name

registration information

VAS3 Design Inc.

BCIN

42658

signature

[Signature]

25591

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VA³

DESIGN
5 Consumers Rd Suite
Toronto ON M2J 1R4
16.630.2255 f 416.630.
vo3design.com

project name
BAYVIEW GREEN VALLEY EAST

date JAN. 2017
drawn by checked by
SB

S38-1
BAROSSA 1

ION 'C'	file name	1-10GRND	2 - 2:33 PM
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BAYVIEW WELLINGTON

VALLEY EAST	BR
checked by	scale
ARCHMET, WORKING [2016] 16023.BW Units 38	$3/16'' = 1'-0''$
ARCHMET, WORKING [2016] 16023-538-1-10GR	

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK-
CHECK AS REQUIRED ON
22"x6" THICK CONC. FTG.

PREMANUF. VINYL
STRUCT. STL. BAS
WINDOW (TYPICAL)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO —
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT
BRACE TO U/S OF
-JOISTS C/W (2) NO.8x3"
DECK SCREWS

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO —
2"x6" BLOCKING BETWEEN
STUDS W/ 1/2" DIA.
BOLTS @ 16" O.C. REFER
TO DETAIL 1/S2

FOR 4-8 RISER
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO
FTDN WALL W/ 1/2" DIA
x12" LONG HILTI ADHESIVE
ANCHORS @ 16" O.C. SEE
DETAIL 1/S2

10" FULL HEIGHT
CONC. ON SIDE
-WALL W/ BRICK
CHECK AS
REQUIRED ON
22"x6" THICK
CONC. FTG.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.



MAR 24, 2022

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

S38-1 ELA/A REAR UPG. WOD W/ 8' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3283.67 S.F.	446.48 S.F.	13.60 %
TOTAL SQ. M.	305.06 S.M.	41.48 S.M.	13.60 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 EL.B/B REAR UPG. WOD W/ 8' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3275.16 S.F.	450.25 S.F.	13.75 %
TOTAL SQ. M.	304.27 S.M.	41.83 S.M.	13.75 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELC/C REAR UPG. WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3287.41 S.F.	451.17 S.F.	13.72 %
TOTAL SQ. M.	305.41 S.M.	41.91 S.M.	13.72 %

PARTIAL GROUND FLOOR PLAN 'A' - 9R OR
MORE W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10" GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR EL.C	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	2559
name	BC
registration information	
VA3 Contractor Inc.	4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
55 Consumers Rd Suite 120
Toronto ON M2J 1R4
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va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		9R W.O.D. CONDITION		drawing no. 22	
drawn by SB		checked by 3/16" = 1'-0"		file name 16023-S38-1-10GRND	
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22

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND



MAR 24, 2022



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCIN
name registration information
VAS Design Inc. 42658
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no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	S38-1 BAROSSA 1
date	JAN. 2017	drawn by	SB	drawn no.	16023
checked by		scale	3/16" = 1'-0"	file name	16023-S38-1-10GRND
drawn by	SB	checked by		drawn no.	23

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND



MAR 24, 2022

2"x4" @ 7'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

1'-0"

1'-0"



2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD
W/ ICE & WATER SHIELD
UNDER ROLLED ROOF TO
MATCH SHINGLES (TYP.)

FACE BRICK (TYP.)

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

TOP OF PLATE
TOP OF WINDOW
8" SECOND @ 6'-10"
9" SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-6"
7'-4"
10'-11"
FIN GROUND FLOOR
TOP OF WINDOW
SEE NOTE
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT
FIN GRADE
TOP OF SLAB

UPGRADED REAR ELEVATION 'B'
W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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Wellington Jno-Baptiste 25591 BCIN
V3 Design Inc. 42658
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no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22 RC	
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22 RC	
5	10' GROUND FLOOR	MAY 13-21 KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21 KL	
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project name
GREEN VALLEY EAST
municipality
BRADFORD
project no.
16023
drawing no.
25
date
JAN. 2017
checked by
SB
scale
3/16" = 1'-0"
drawn by
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S38-1
BAROSSA 1
REAR UPGRADE ELEVATION 'B' 9R WOD
16023-S38-1-10GRND

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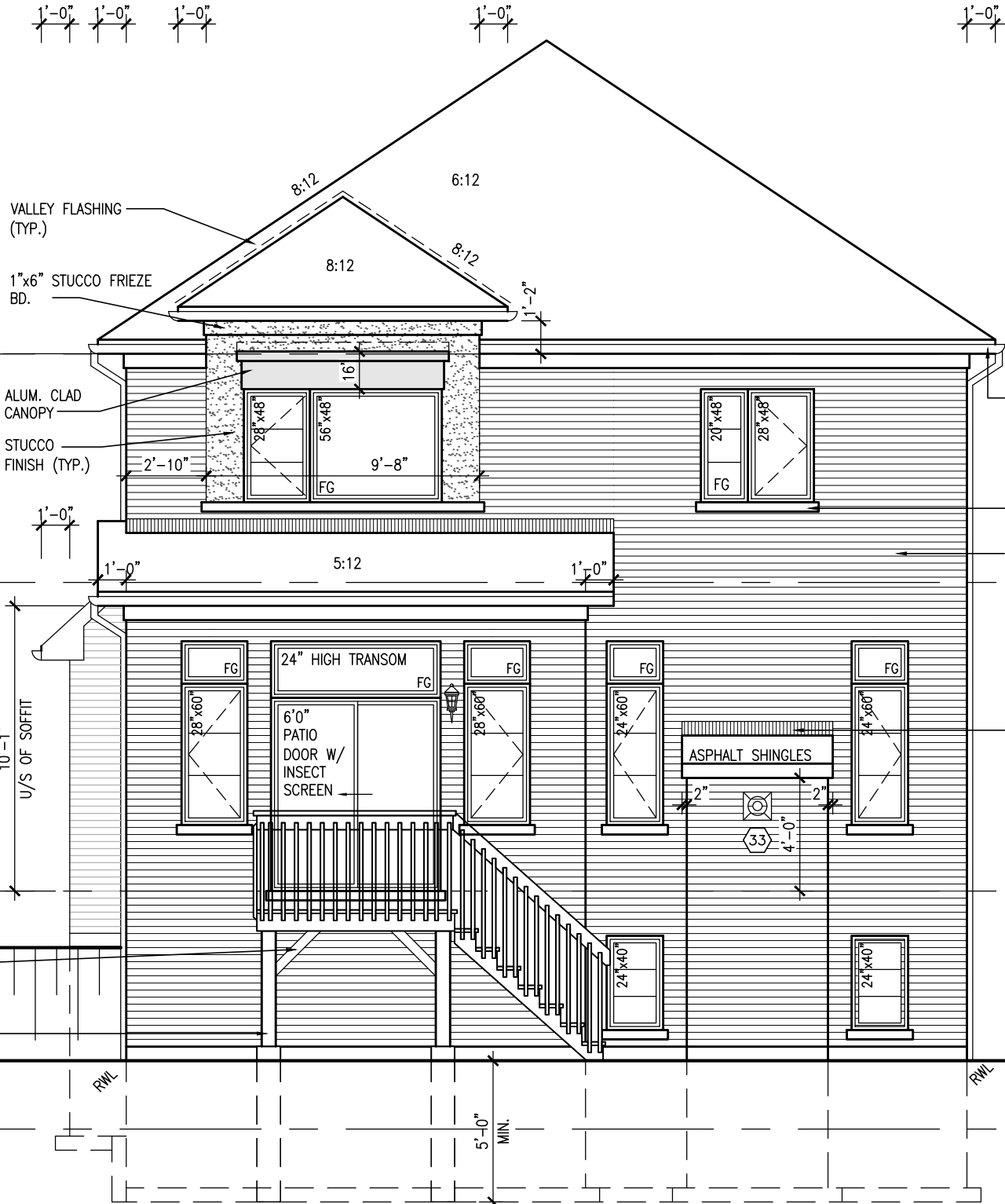
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10' GROUND



MAR 24, 2022



UPGRADED REAR ELEVATION 'C'
W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW



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Wellington Jno-Baptiste 25591 BCN
name registration information
VAS Design Inc. 42658
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no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
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5	10' GROUND FLOOR	MAY 13-21	KL
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3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		

BAYVIEW WELLINGTON
GREEN VALLEY EAST
S38-1
BAROSSA 1
project no. 16023
drawing no. 26
municipality BRADFORD
elevation C REAR UPGRADE 9R WOD
date JAN. 2017
checked by SB
scale 3/16" = 1'-0"
drawn by SB
16023-S38-1-10GRND
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10' GROUND

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.



MAR 24, 2022

50 HSS 3 1/2" x 3 1/2"x1/4"
2 STOREY COL C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" THICK CONC. FTG.

PREMANUF. VINYL CLAD
STRUCT. STL. BASEMENT
WINDOW (TYPICAL)

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL
SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6"
ABOVE GRADE AND 5'-0" BELOW GRADE.

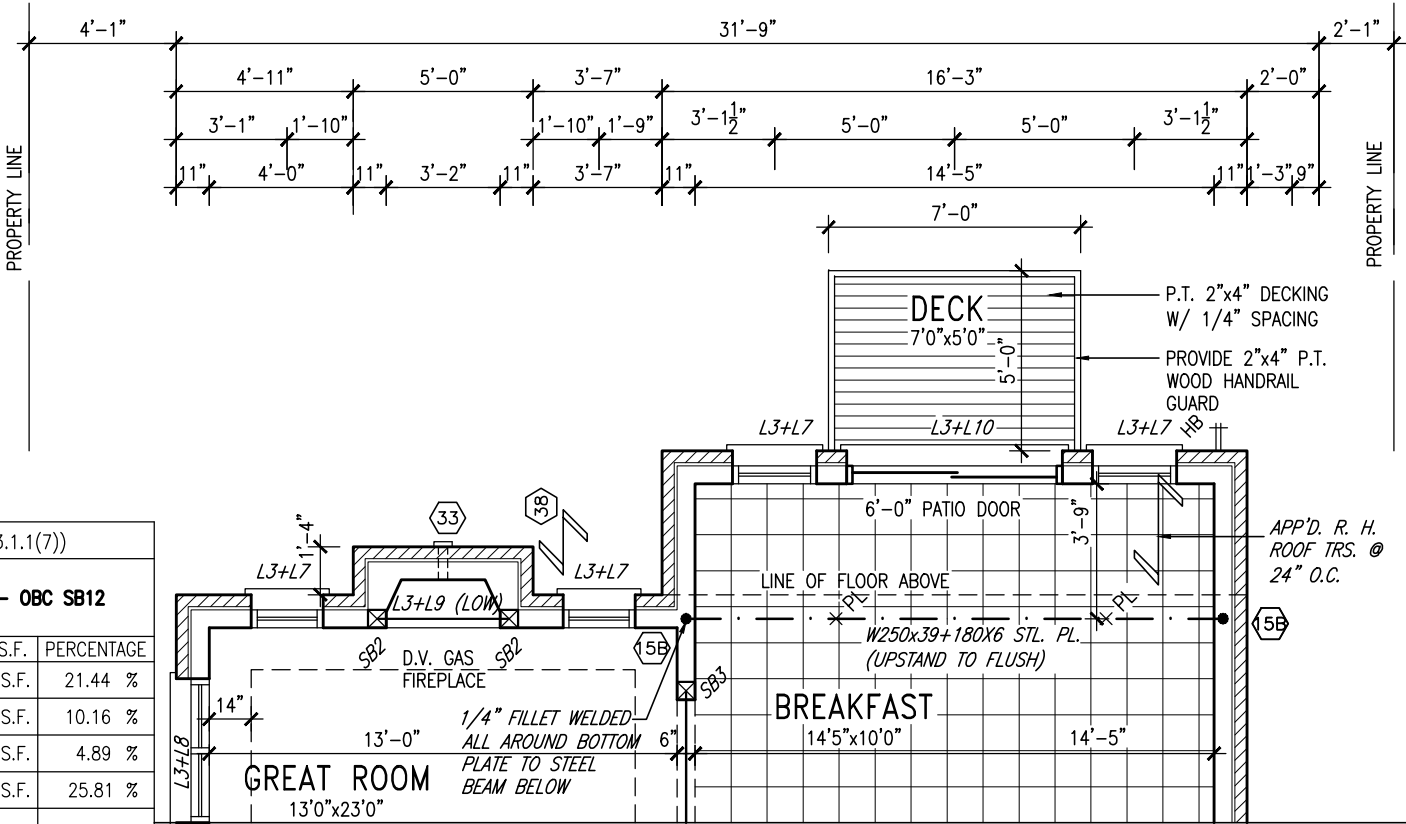
1-2"x4" P.T. ON FLAT
BRACE TO U/S OF
JOISTS C/W (2) NO.8x3"
DECK SCREWS

6'-0" PATIO DOOR
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO
2"x6" BLOCKING BETWEEN
STUDS W/ 1/2" DIA.
BOLTS @ 16" O.C. REFER
TO DETAIL 1/S2

36"x36"x14" THICK
CONC FOOTING

10" FULL HEIGHT
CONC. ON SIDE
WALL W/ BRICK
CHECK AS
REQUIRED ON
22"x6" THICK
CONC. FTG.
UNFINISHED
BASEMENT

PARTIAL BASEMENT PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR



PARTIAL GROUND FLOOR PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.A/A REAR UPG. WOB W/ 8' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3370.44 S.F.	494.14 S.F.	14.66 %
TOTAL SQ. M.	313.12 S.M.	45.91 S.M.	14.66 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. WOB W/ 8' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3361.93 S.F.	497.91 S.F.	14.81 %
TOTAL SQ. M.	312.33 S.M.	46.26 S.M.	14.81 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. WOB W/ 8' SEC.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3374.18 S.F.	498.83 S.F.	14.78 %
TOTAL SQ. M.	313.47 S.M.	46.34 S.M.	14.78 %

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
signature
registration information
VA3 Design Inc. 42658
BCIN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name		municipality	project no.
GREEN VALLEY EAST		BRADFORD	16023
date	drawn by	checked by	scale
JAN. 2017	SB	.	3/16" = 1'-0"
WALK-OUT BASEMENT CONDITION		file name	drawing no.
16023-S38-1-10GRND		16023-S38-1-10GRND	27
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:34 PM			

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10⁹ GROUND



REAR ELEVATION 'A', 'B' & 'C'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
--------------	-------------------	--------------	----------	-------------	-------

DATE	READ	ELEVATION	WORK	DRAWING NO.
date				

CIVILIZATION WORD

ELEVATION	WUB
file name	

o

5

VA

DESIGN

DELOIN
255 Consumers Rd Suite 120

Toronto ON M2J 1R4
416 630 2255 f 416 630 4782

+10.000.2233 1 +10.000.4702
va3design.com

specifications, related documents and data

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
-------------------------	-------

name	registration information	signature	BCIN

VA3 Design Inc.	42658
-----------------	-------

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All draw

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH W/ 1/2" PROJECTION

RECESSED FILLER BRICK W/ VINYL PANEL BY WINDOW MANUF. OVER

WEEP HOLES @ 800 O.C.

WOOD LINTEL + STL ANGLE

Y

BRICK ARCH W/ VINYL PANEL BELOW DETAIL

NTS



6"x16" STONE IMPOST

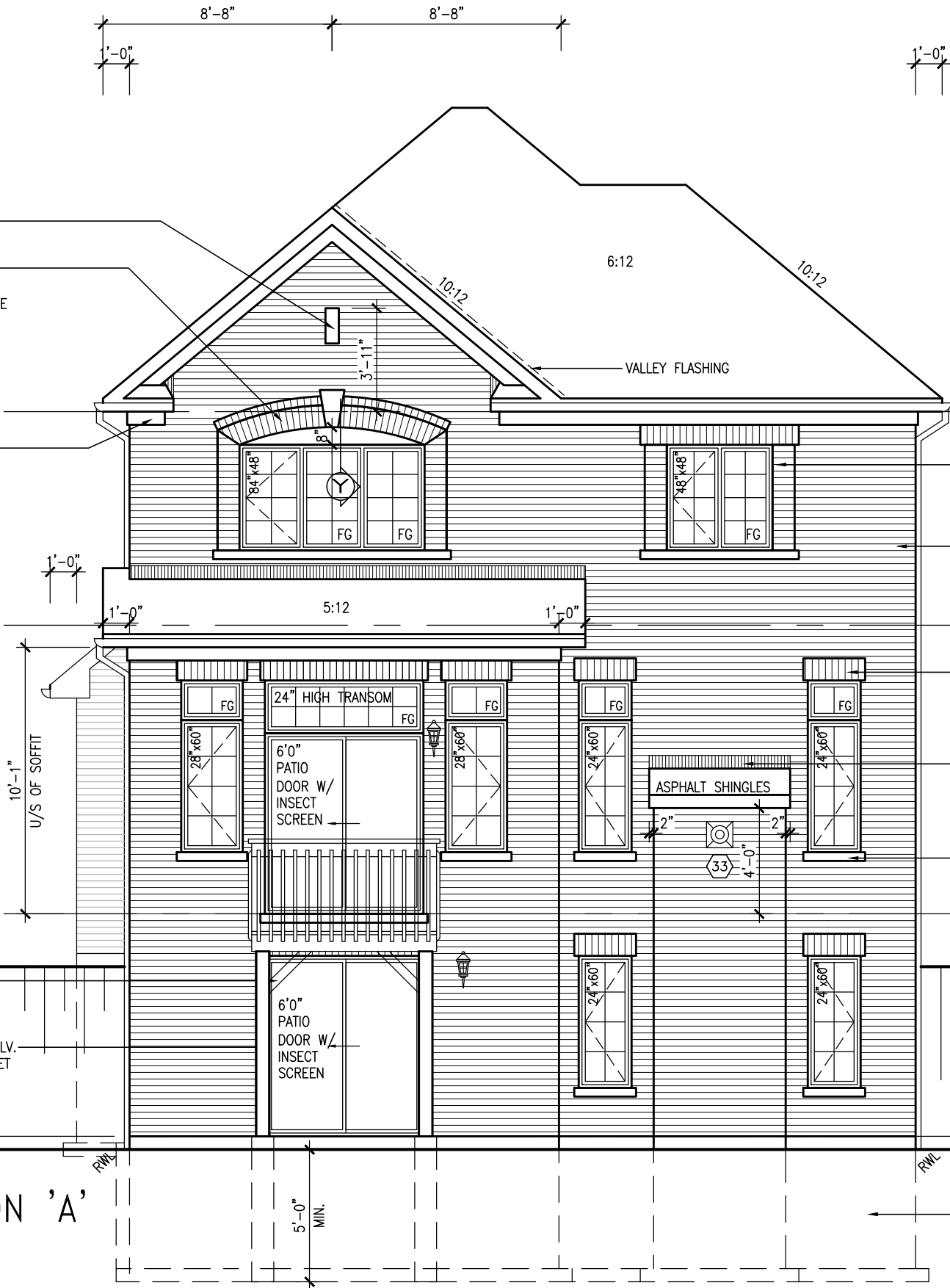
SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.) OVER VINYL PANEL

1"x6" ALUM. FRIEZE BD. RETURN 4'-0" ON BOTH SIDES (TYP.)

2"x6" P.T. CROSS BRACING

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'A' W.O.B. CONDITION



POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

TOP OF PLATE	
TOP OF WINDOW	
8' SECOND @ 6'-10"	
9' SECOND @ 7'-6"	
STD. 8'-1" SECOND FLR.	
OPT. 9'-1" SECOND FLR.	
FIN SECOND FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
1'-6"	
7'-4"	
10'-11"	
FIN GROUND FLOOR	
TOP OF WINDOW	
6'-10"	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
TOP OF SLAB	
FIN GRADE	

BAYVIEW WELLINGTON

GREEN VALLEY EAST

S38-1

BAROSSA 1

project name

project no.

project no.

drawing no.

BRADFORD

REAR UPGRADE ELEVATION 'A' WOB

16023-S38-1-1-10GRND

3/16" = 1'-0"

date

checked by

drawn by

scale

JAN. 2017

SB

16023-S38-1-1-10GRND

3/16" = 1'-0"

VAS

DESIGN

255 Consumers Rd. Suite 120

Toronto, ON M2J 1P4

t 416.630.2255 f 416.630.4782

vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN

name registration information VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22 RC	
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22 RC	
5	10' GROUND FLOOR	MAY 13-21 KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21 KL	
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

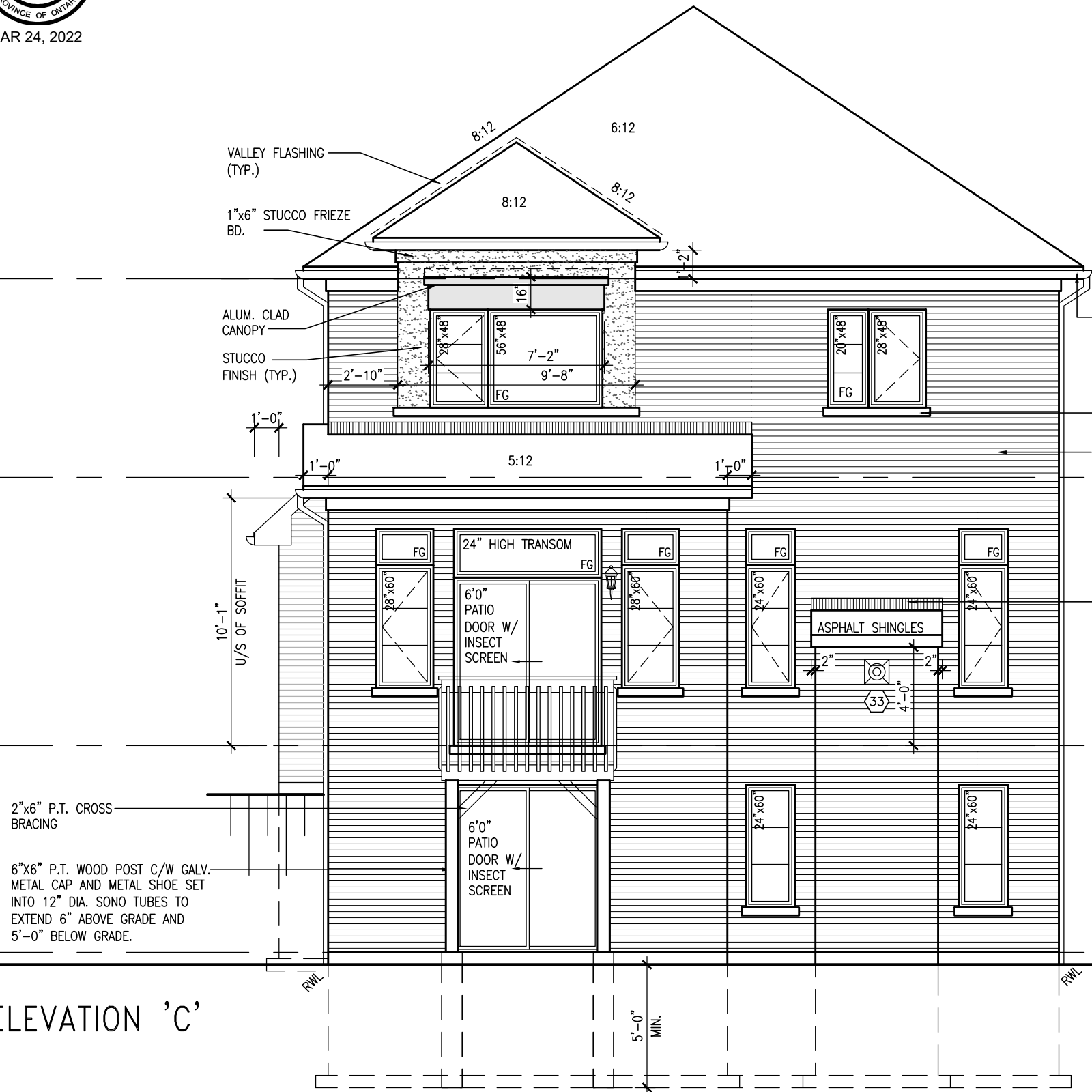
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MAR 24, 2022

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

Diagram showing vertical dimensions for the second floor and ground floor:

- TOP OF PLATE
- TOP OF WINDOW
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- 7'-4"
- 10'-11"
- FIN GROUND FLOOR
- TOP OF WINDOW
- 6'-10"
- 6'-10"
- TOP OF SLAB
- FIN GRADE
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT

BAYVIEW WELLINGTON	S38-1 BAROSSA 1
project name GREEN VALLEY EAST	municipality BRADFORD
project no. 16023	project no. 16023
date JAN. 2017	drawing no. 31
scale 3/16" = 1'-0"	file name 16023-S38-1-10GRND
checked by SB	drawn by RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:34 PM
ELEVATION C REAR UPGRADE WOB	



					The undersigned has reviewed and takes responsibility for this design
		.	.	.	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
9	8	7	6	5	qualification information
REVISÉ PAR PER ENG'S COMMENTS	REVISED AS PER ENG'S COMMENTS	REVISED AS PER FLOOR LAYOUTS	REVISED AS PER FLOOR LAYOUTS	KL	BCIN
10' GROUND FLOOR	ADDED OPT. 9' BASEMENT	REV. ROOF STRUCT. FOR UPG. REAR ELC	REVISED AS PER ENG'S COMMENTS	KL	signature
ISSUED FOR CLIENT REVIEW	description	date	by		

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA/A REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3310.17 S.F.	439.81 S.F.	13.29 %
TOTAL SQ. M.	307.52 S.M.	40.86 S.M.	13.29 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3301.66 S.F.	443.58 S.F.	13.44 %
TOTAL SQ. M.	306.73 S.M.	41.21 S.M.	13.44 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3313.91 S.F.	444.50 S.F.	13.41 %
TOTAL SQ. M.	307.87 S.M.	41.30 S.M.	13.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA/A REAR UPG. WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3429.17 S.F.	446.48 S.F.	13.02 %
TOTAL SQ. M.	318.58 S.M.	41.48 S.M.	13.02 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3420.66 S.F.	450.25 S.F.	13.16 %
TOTAL SQ. M.	317.79 S.M.	41.83 S.M.	13.16 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. WOD W/ 9' SEC.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3432.91 S.F.	451.17 S.F.	13.14 %
TOTAL SQ. M.	318.93 S.M.	41.91 S.M.	13.14 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA/A REAR UPG. WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3515.94 S.F.	494.14 S.F.	14.05 %
TOTAL SQ. M.	326.64 S.M.	45.91 S.M.	14.05 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3507.43 S.F.	497.91 S.F.	14.20 %
TOTAL SQ. M.	325.85 S.M.	46.26 S.M.	14.20 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 ELC/C REAR UPG. WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3519.68 S.F.	498.83 S.F.	14.17 %
TOTAL SQ. M.	326.99 S.M.	46.34 S.M.	14.17 %

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10⁹ GROUND

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA/A REAR UPG. WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3415.07 S.F.	494.14 S.F.	14.47 %
TOTAL SQ. M.	317.27 S.M.	45.91 S.M.	14.47 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELB/B REAR UPG. WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3406.56 S.F.	497.91 S.F.	14.62 %
TOTAL SQ. M.	316.48 S.M.	46.26 S.M.	14.62 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	875.15 S.F.	214.33 S.F.	24.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3418.81 S.F.	498.83 S.F.	14.59 %
TOTAL SQ. M.	317.62 S.M.	46.34 S.M.	14.59 %

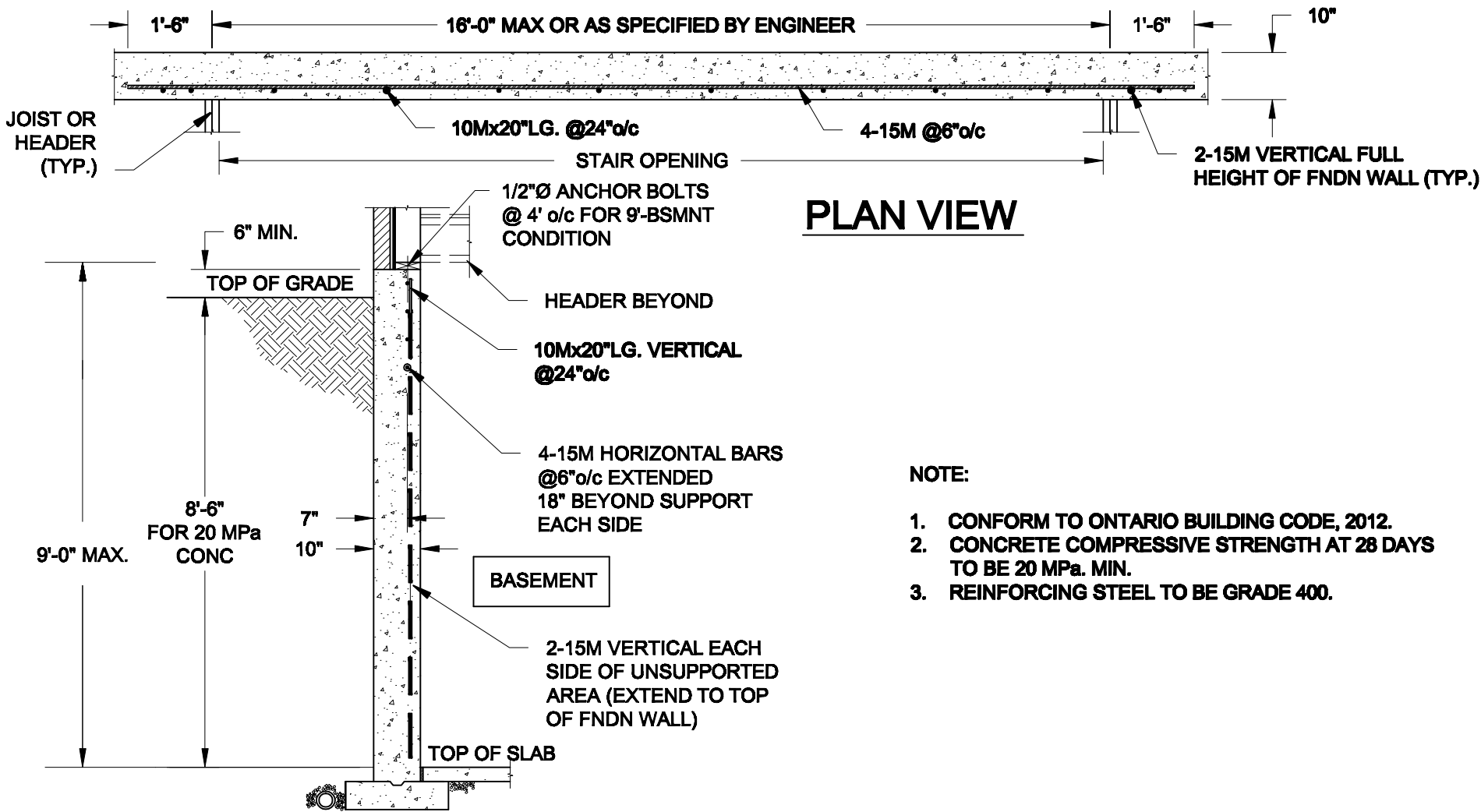
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.A/A REAR UPG. WOB W/ 9' BSMT+9' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3560.57 S.F.	494.14 S.F.	13.88 %
TOTAL SQ. M.	330.79 S.M.	45.91 S.M.	13.88 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B/B REAR UPG. WOB W/ 9' BSMT+9' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3552.06 S.F.	497.91 S.F.	14.02 %
TOTAL SQ. M.	329.99 S.M.	46.26 S.M.	14.02 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C/C REAR UPG. WOB W/ 9' BSMT+9' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	904.90 S.F.	214.33 S.F.	23.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3564.31 S.F.	498.83 S.F.	14.00 %
TOTAL SQ. M.	331.13 S.M.	46.34 S.M.	14.00 %

9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	MAR 23-22	RC
6	REVISED AS PER FLOOR LAYOUTS	MAR 04-22	RC
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name signature BCIN registration information VAS3 Design Inc. 42558			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			

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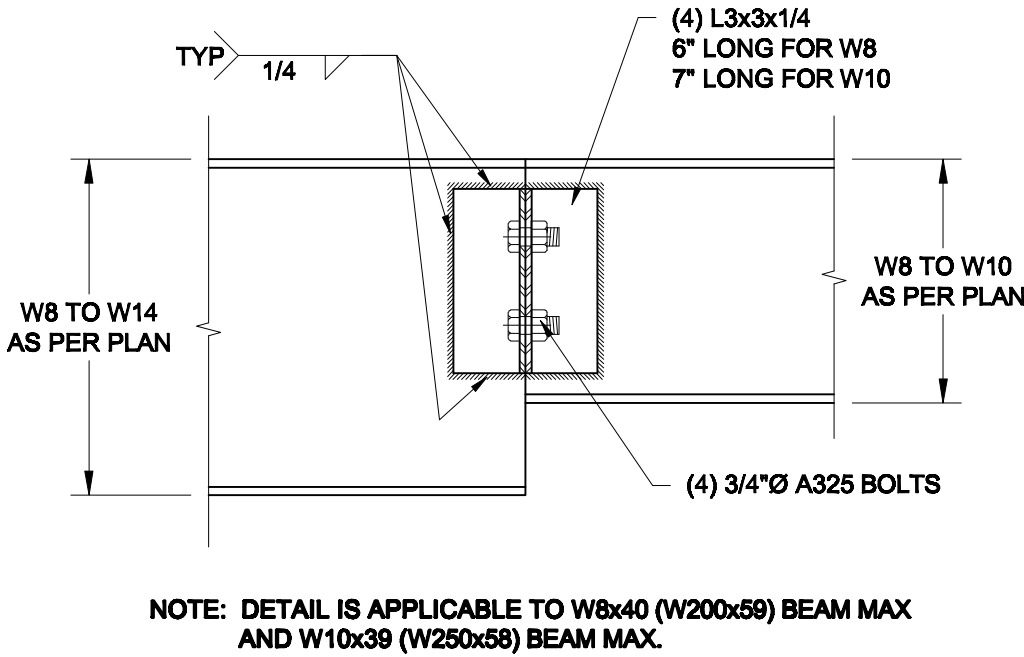
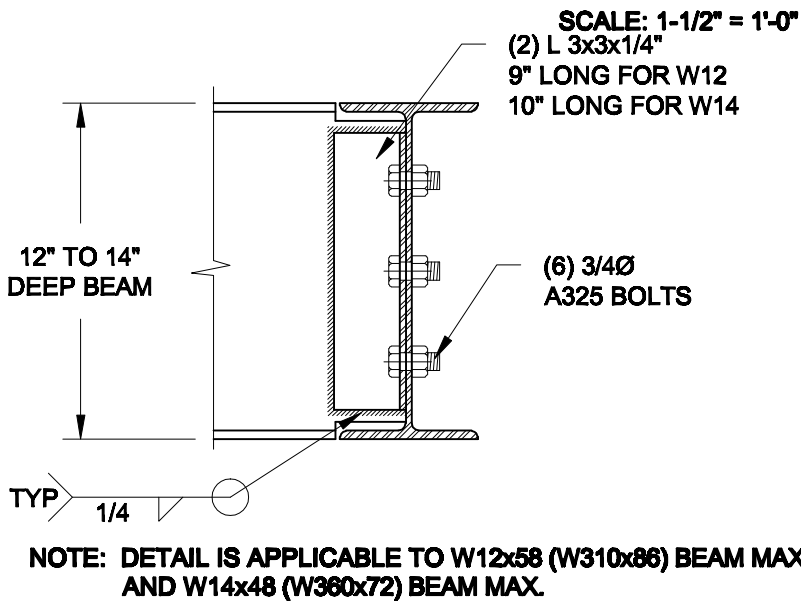
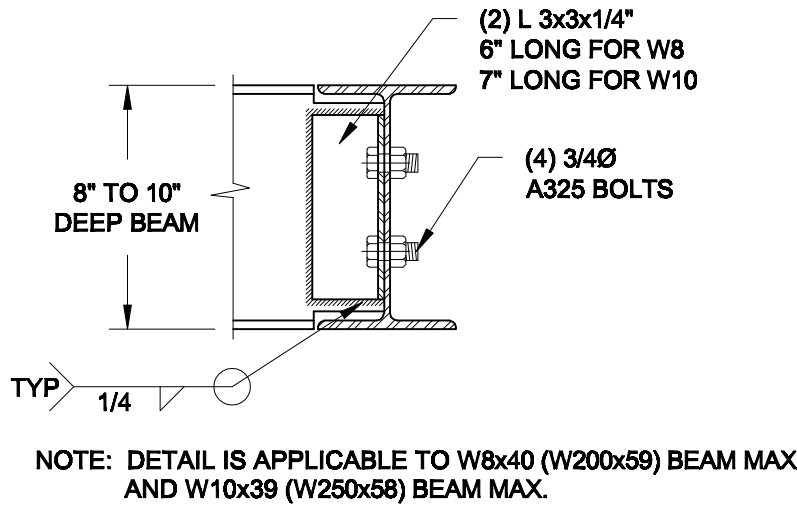
BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 33
date JAN. 2017	SBT12 - OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND	file name 16023-S38-1-10GRND	
drawn by SB	scale checked by 3/16" = 1'-0"		
RICHLAND - H:\ARCHIVE\WORKING\2016\16023.BM\Units\38\16023-S38-1-10GRND.dwg - Wed - Mar 23 2022 - 2:34 PM			



1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

STEEL BEAM CONNECTION DETAILS

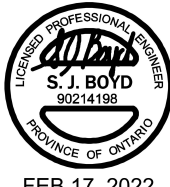
Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



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E: quaile.eng@rogers.com

Engineer's Seal



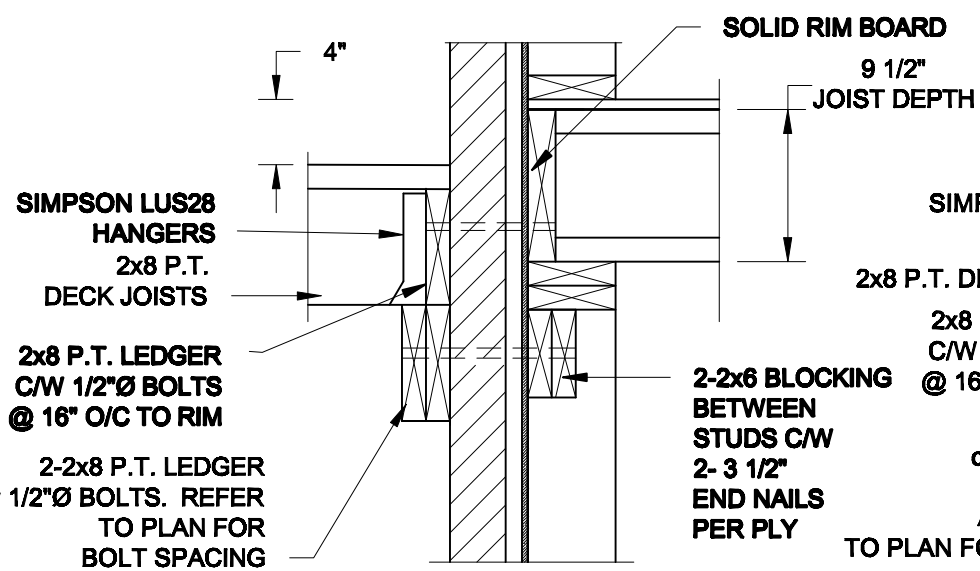
Project:
BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

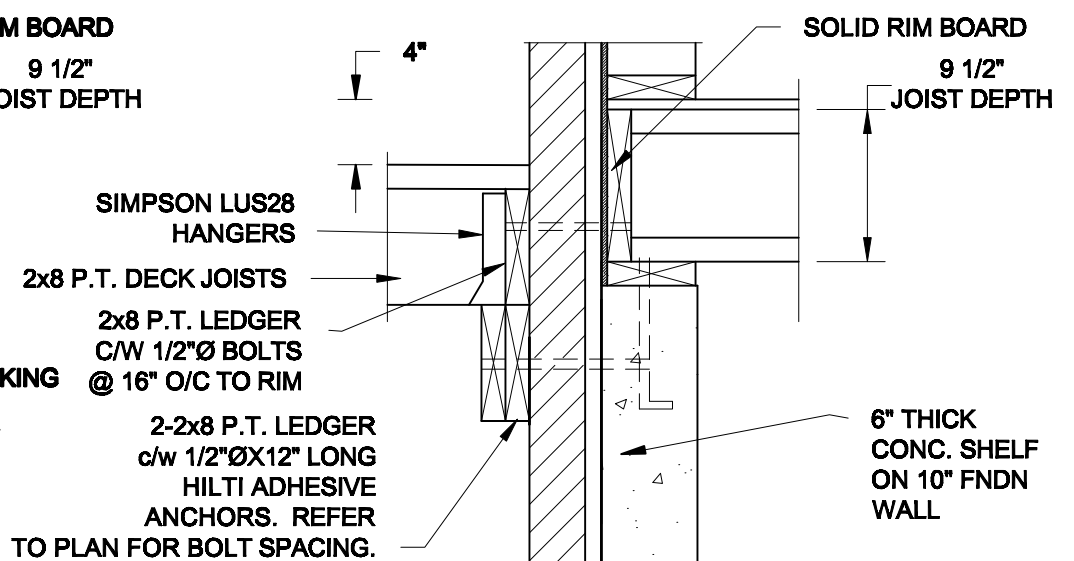
Project No.:
21-038

Drawing No.:
S1

FOR 9 1/2" JOIST DEPTH



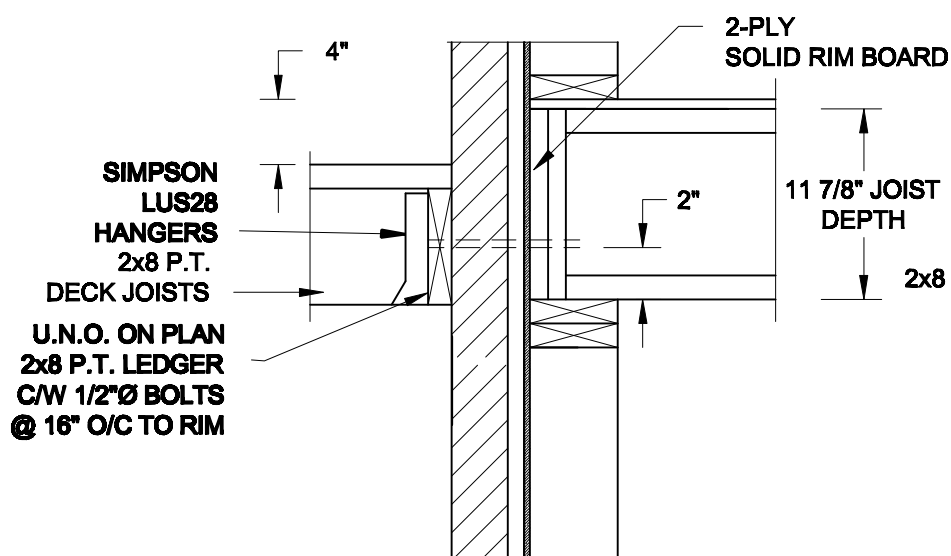
1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



1B DECK FASTENING DETAIL

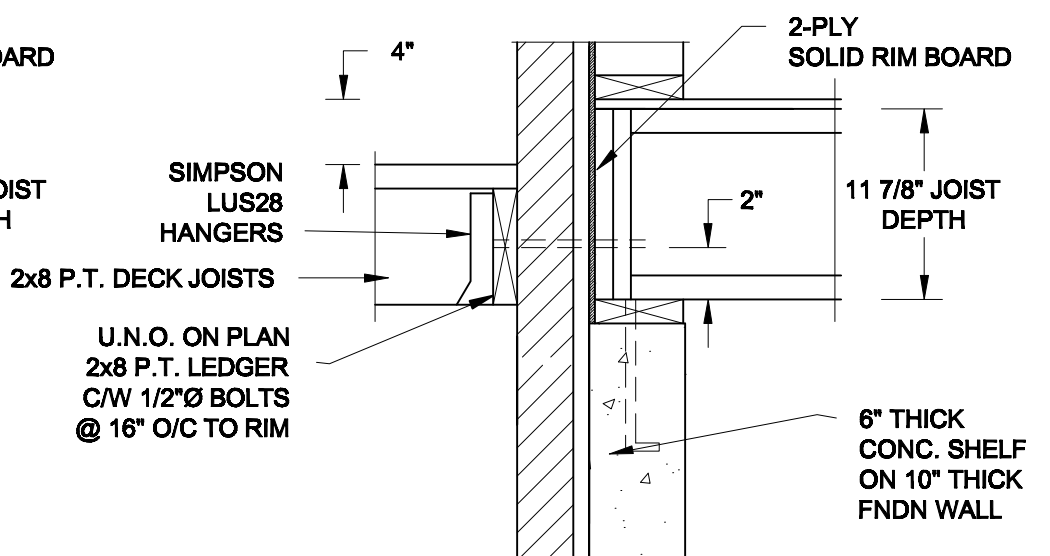
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

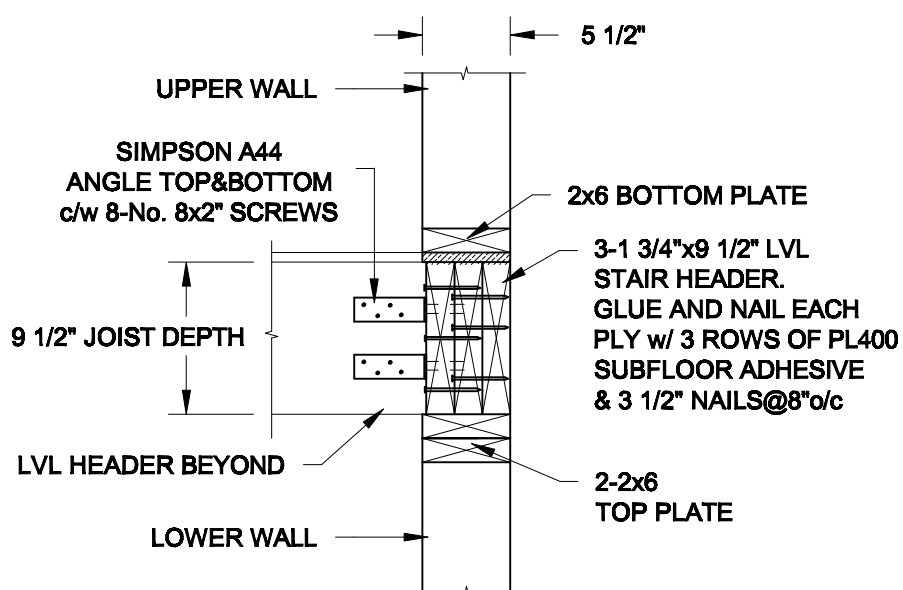


1D DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

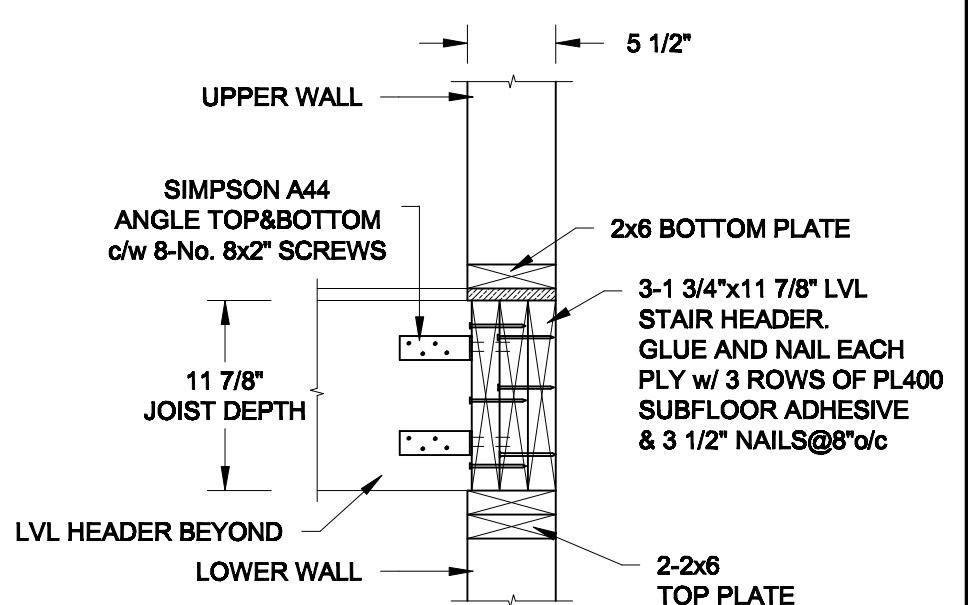
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B **STAIR HEADER**
S2 **SCALE: 1" = 1'-0"**

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn: SC	Checked: SJB
---------------------	------------------------

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
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E: qualle.eng@rogers.com**

Engineer's Sect



MAR 30. 2021

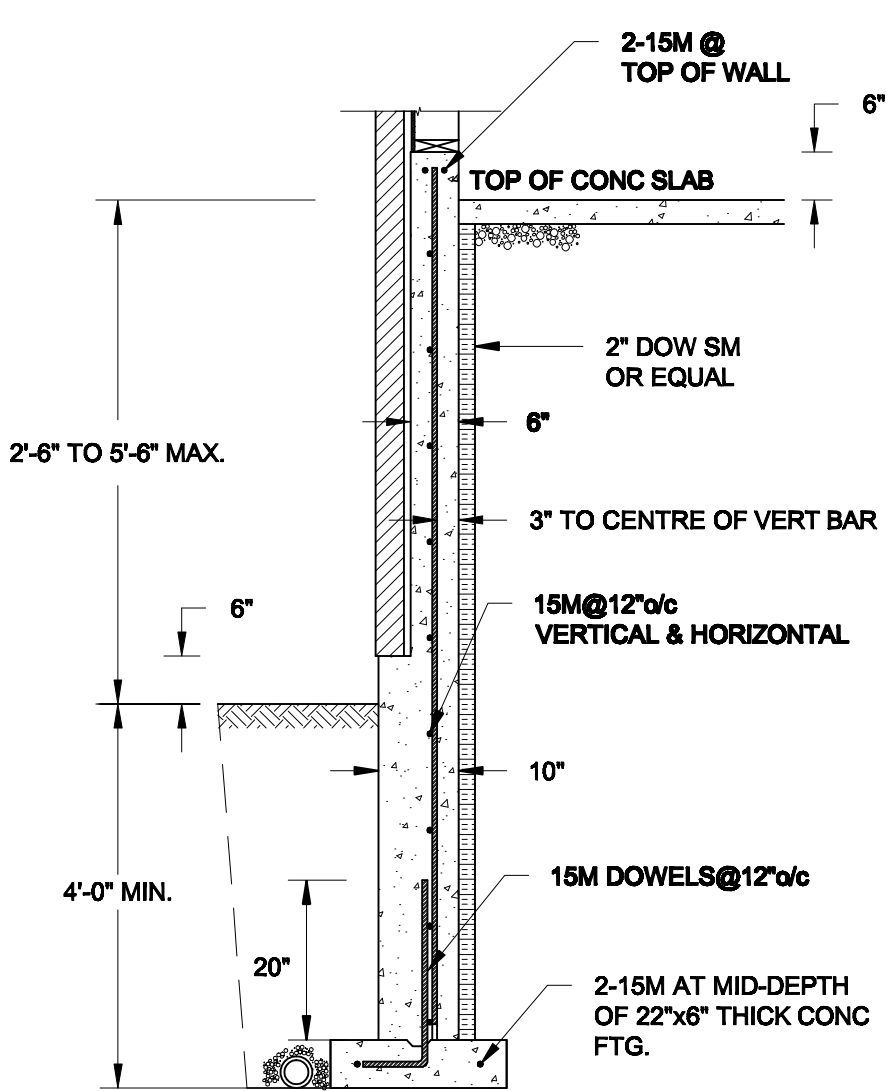
Project

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATE - SINGLE
BRADFORD, ONTARIO

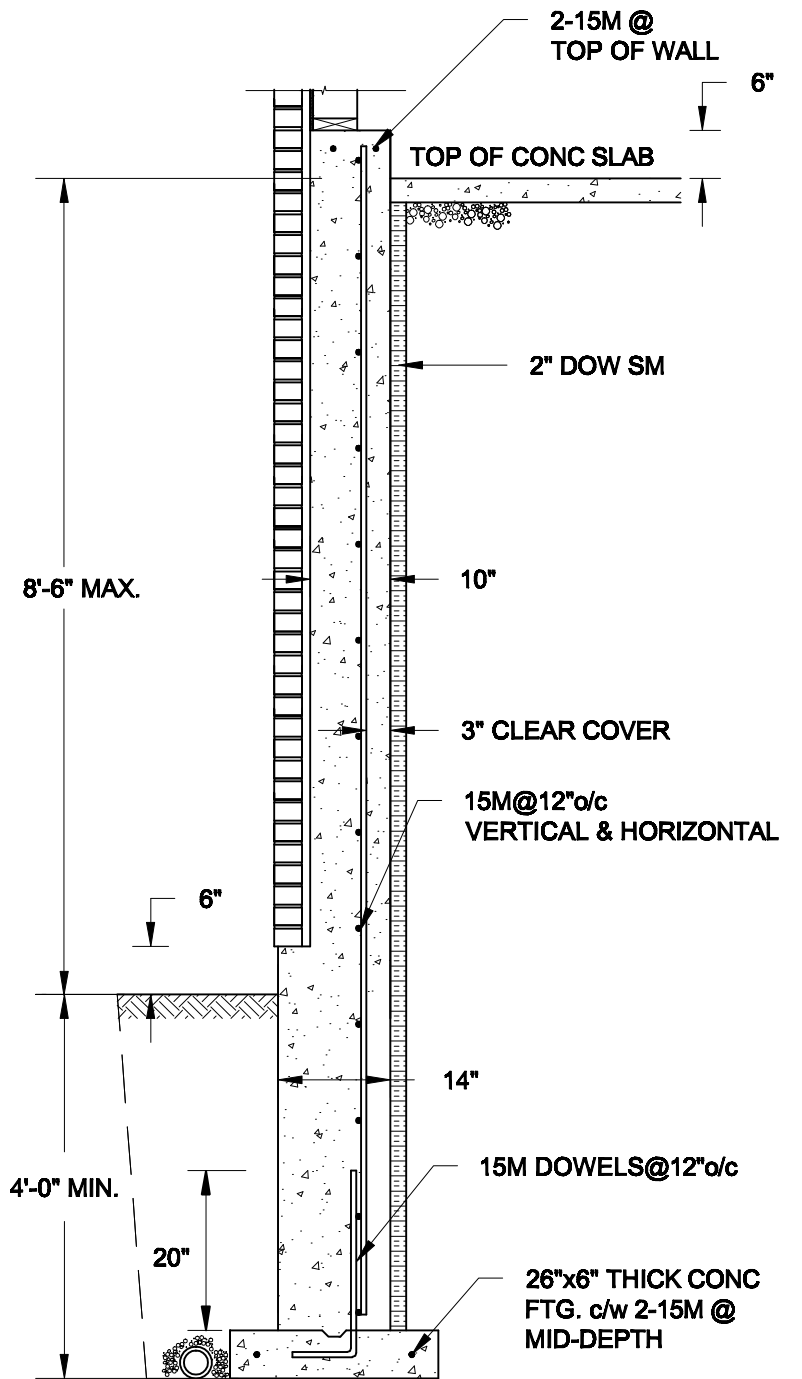
TYPICAL STRUCTURAL DETAILS

Project No.:
21-038

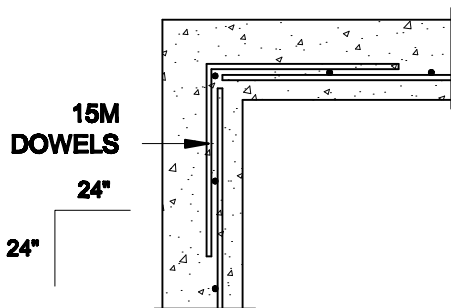
Drawing No.: **S2**



1A
S3 **REINFORCED BRICKSHEFF**
SCALE: 1/2" = 1' - 0"



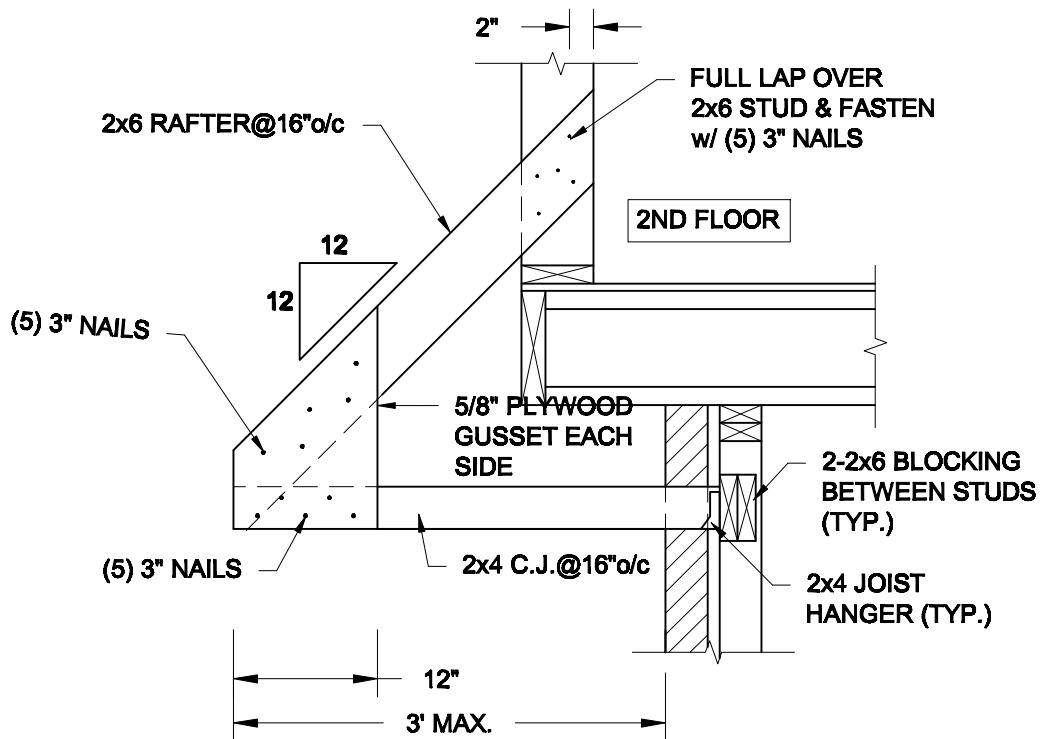
1B
S3 **REINFORCED BRICKSHEFF**
SCALE: 1/2" = 1' - 0"



1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:
SC

Checked:
SJB

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Engineer's Seal



FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

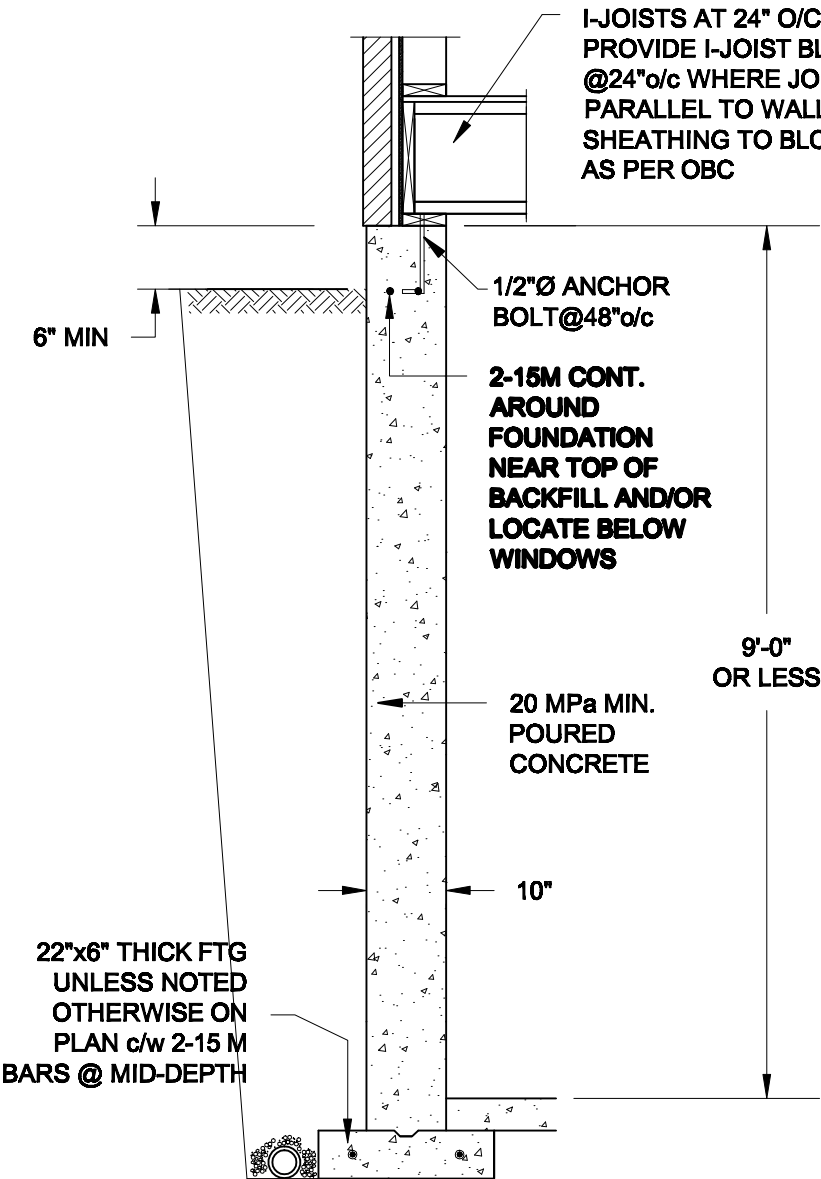
TYPICAL STRUCTURAL DETAILS

Project No.:

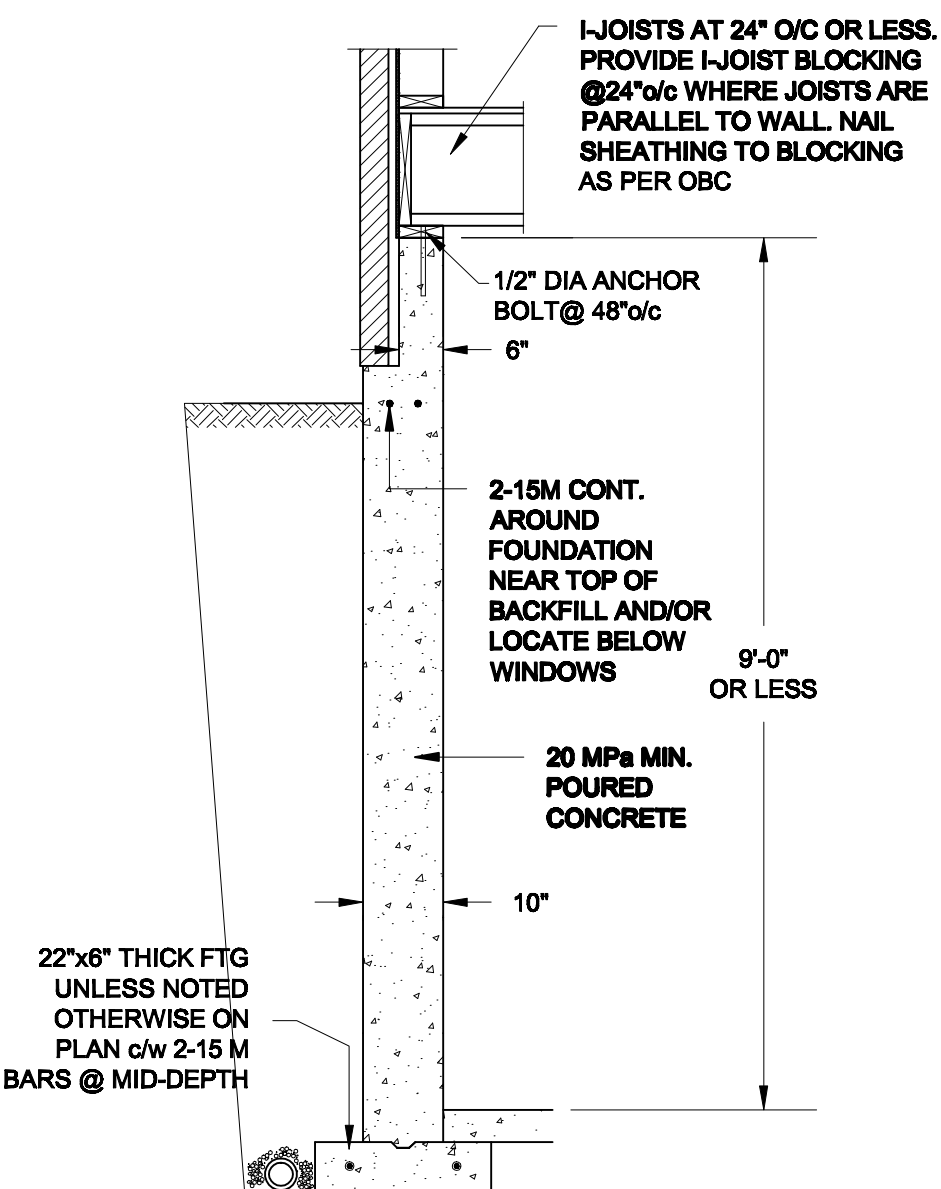
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Drawing No.:

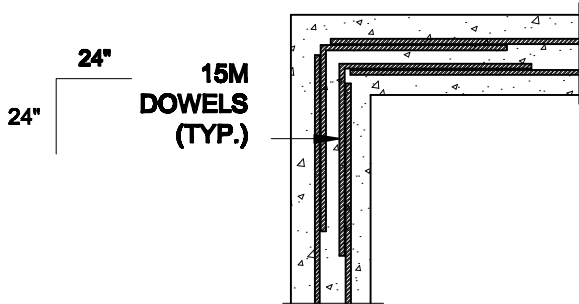
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





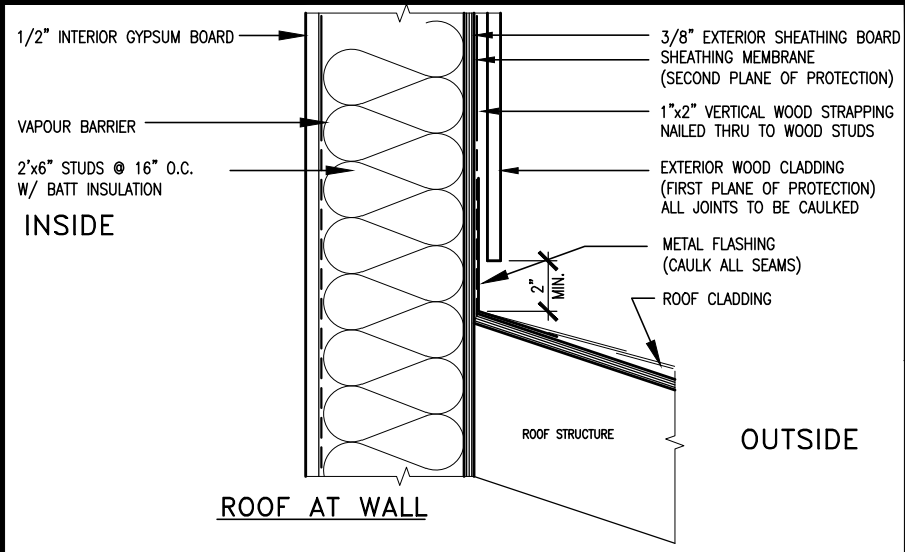
1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

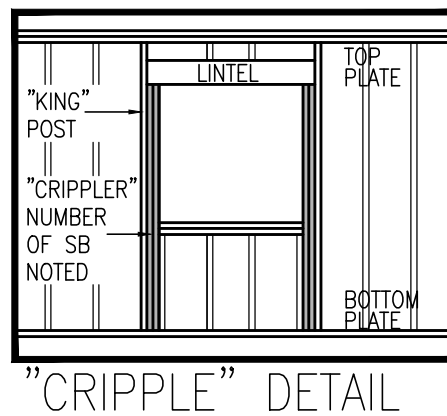
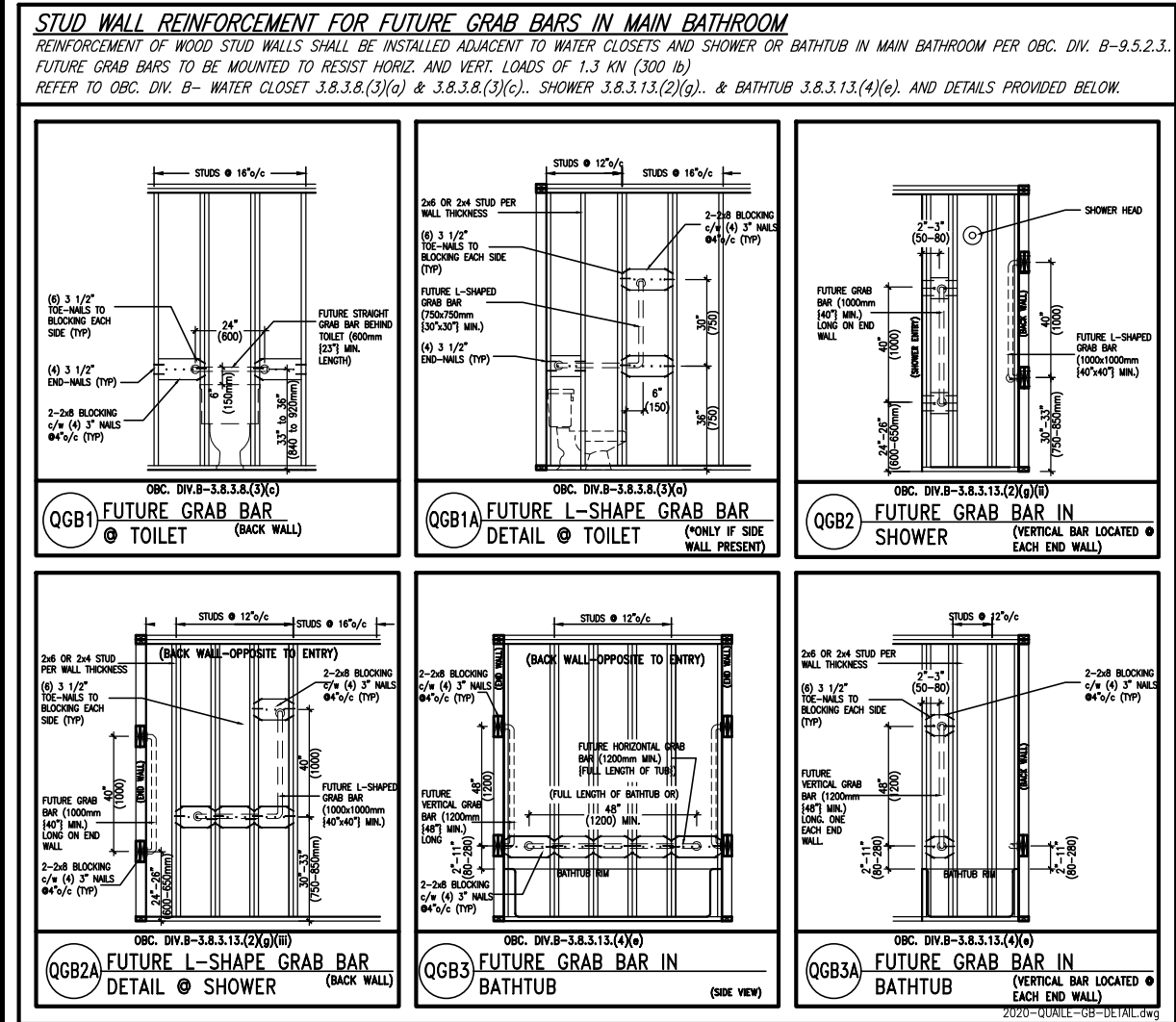
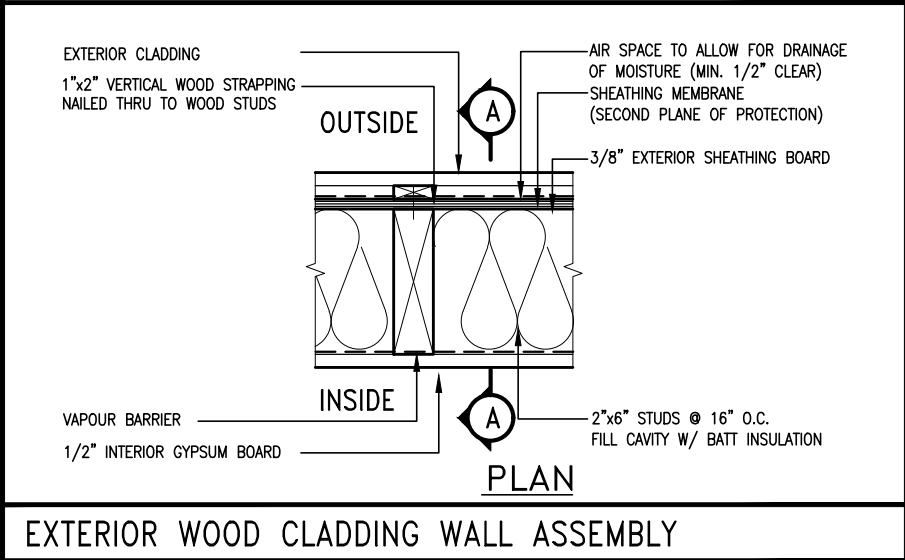
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



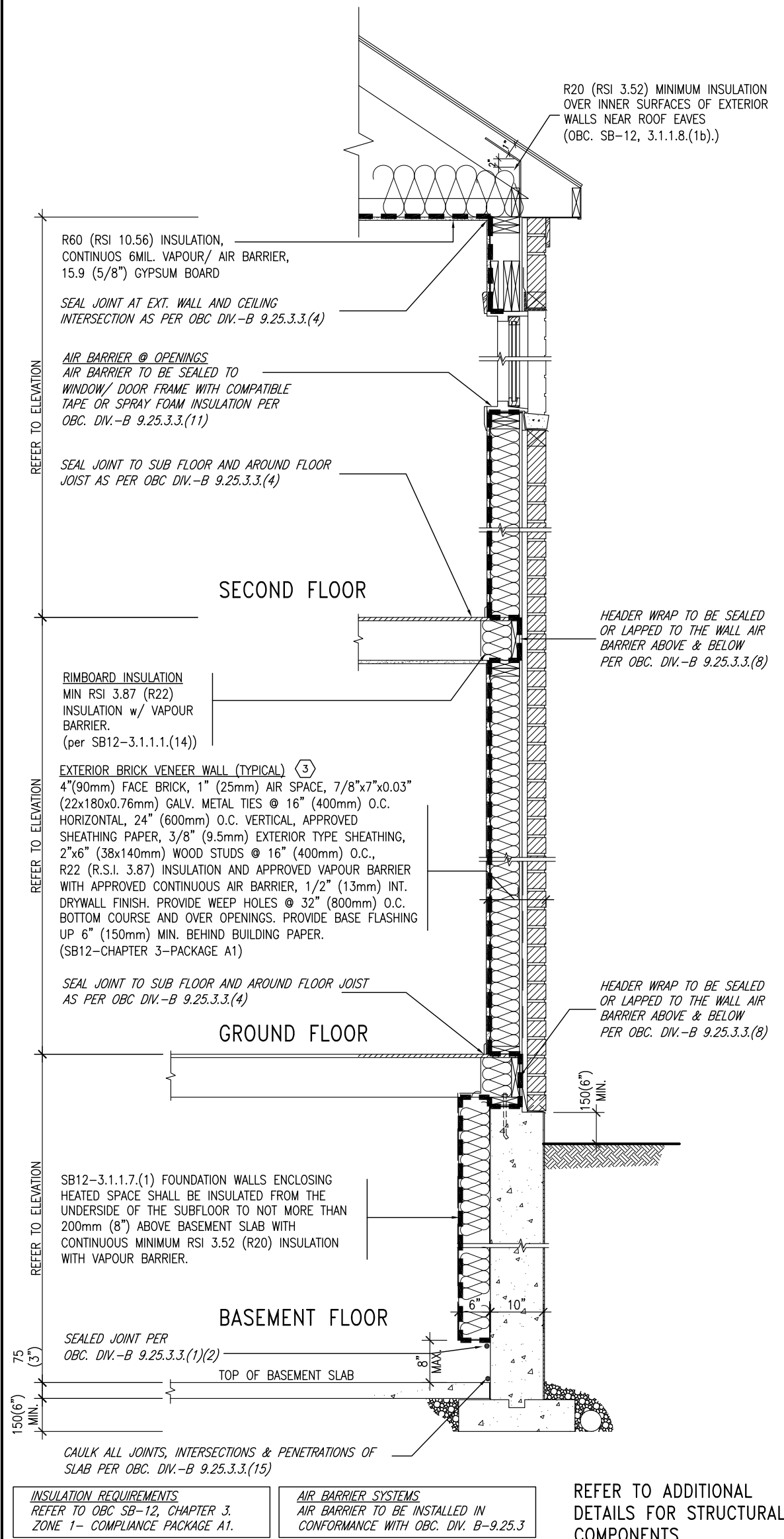
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY EAST			municipality BRADFORD	
			project no. 16023	
date MAY 2016			CONSTRUCTION NOTES	
drawing no.				
drawn by RC			file name 16023-CN-2022-A1	
checked by -			scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM				

SB12-COMPLIANCE PACKAGE 'A1'

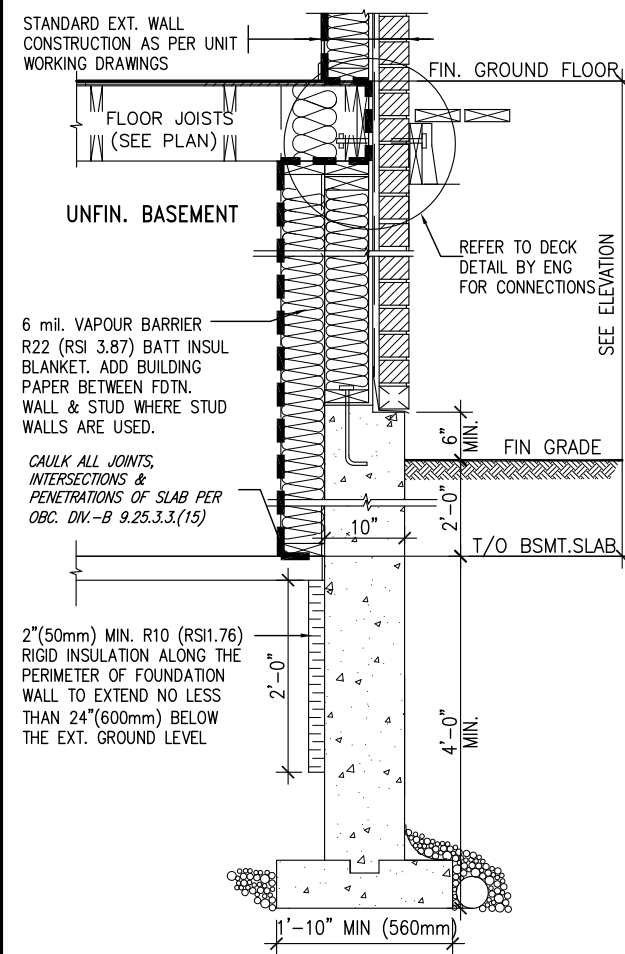


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

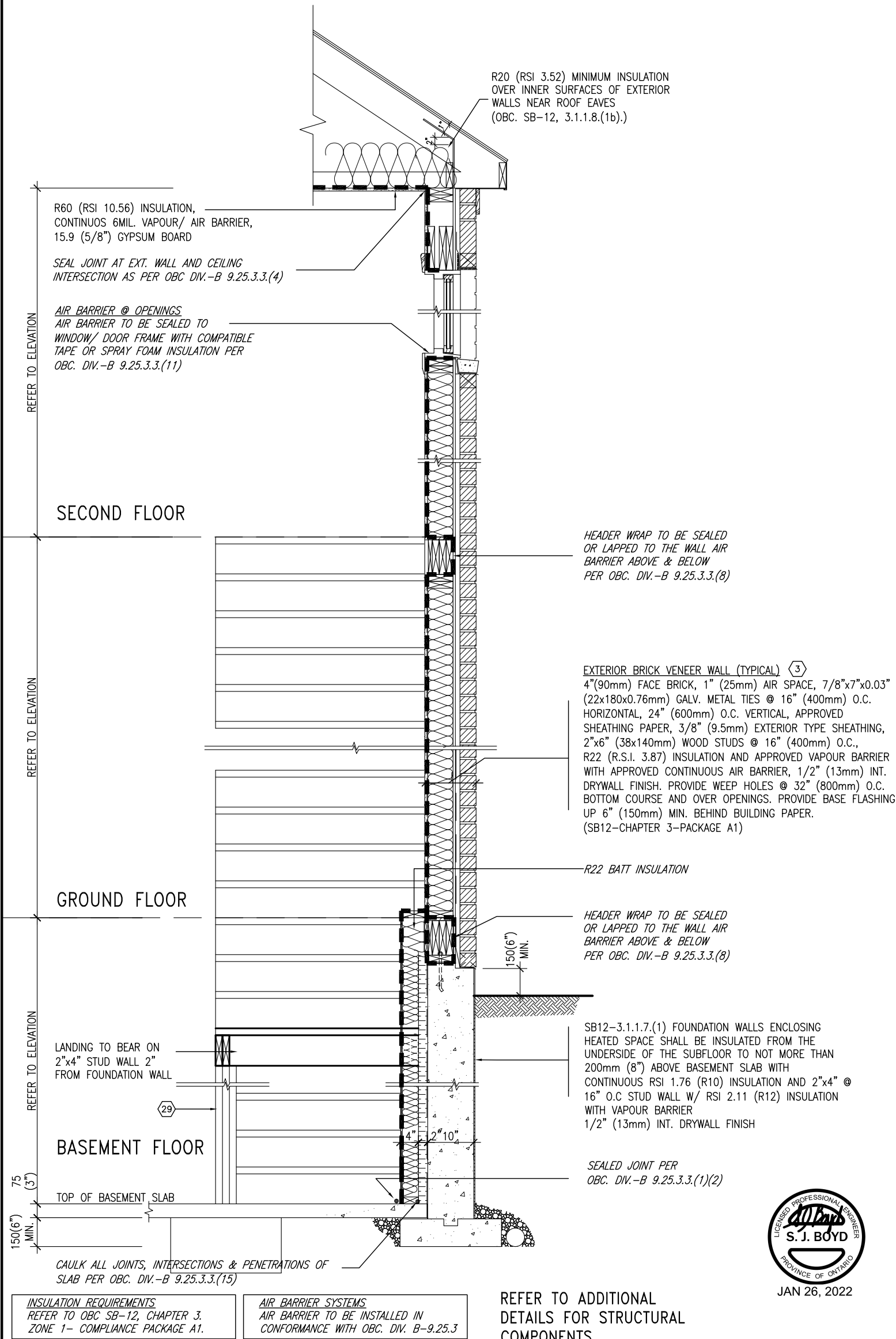


* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	CONST NOTE
8	.	.	.	qualification information						
7	.	.	.	Wellington Jno-Baptiste 25591 signature BCIN						
6	.	.	.	registration information VA3 Design Inc. 42658						
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1	CONSTRUCTION NOTES	drawing no. CN6
4	UPDATE TO 2022	JAN 11-22	RC							
3	UPDATE TO 2020	FEB 24-20	RC							
2	UPDATE TO 2018	JAN 11-18	RC							
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by							

SB12-COMPLIANCE PACKAGE 'A1'

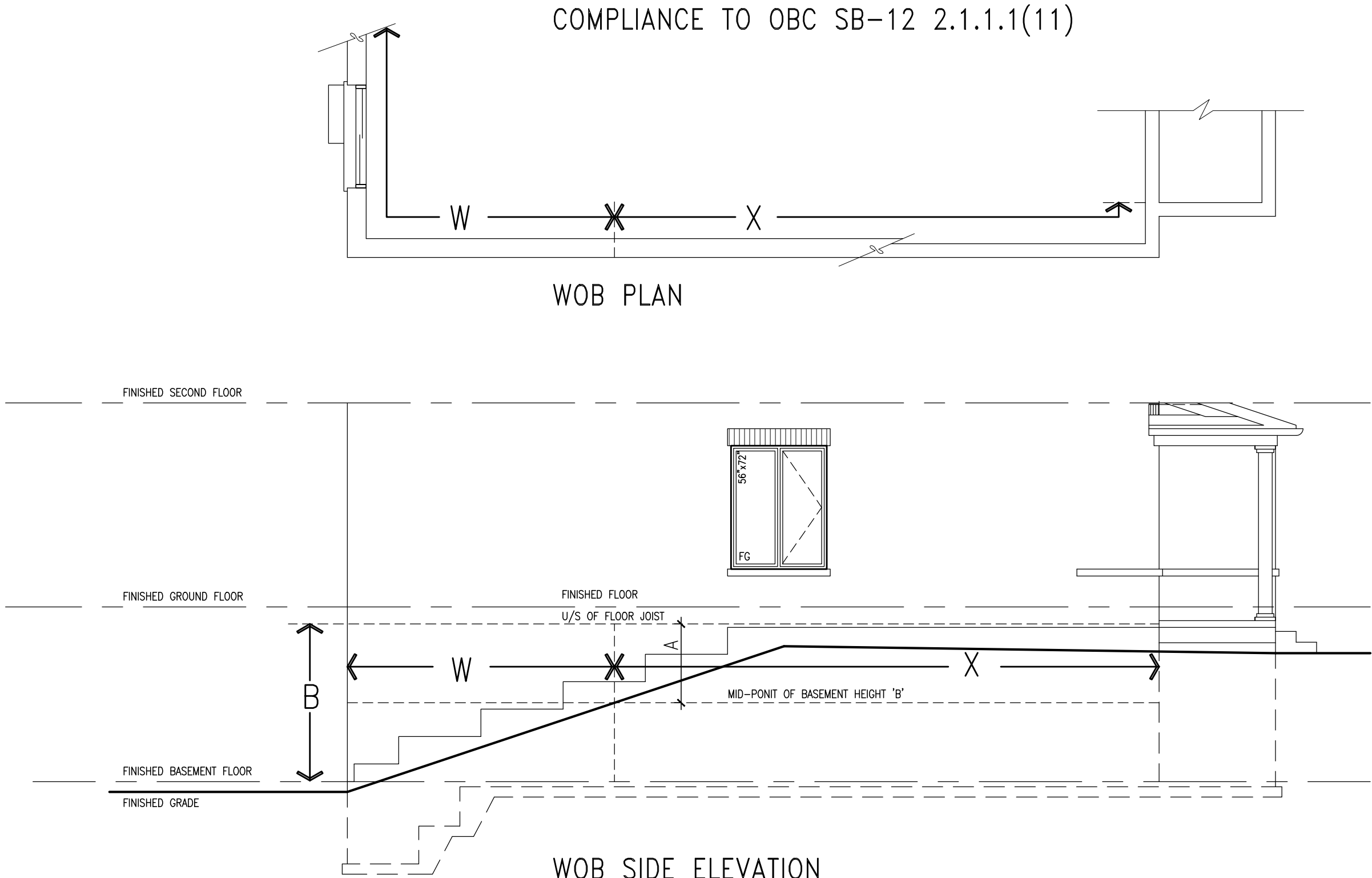


JAN 26, 2022



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

<div><div>9</div><div>8</div><div>7</div><div>6</div><div>5</div><div>4</div><div>3</div><div>2</div><div>1</div></div> <div><div>.</div><div>.</div><div>.</div><div>.</div><div>.</div><div>UPDATE TO 2022</div><div>UPDATE TO 2020</div><div>UPDATE TO 2018</div><div>ISSUE FOR CLIENT REVIEW</div></div> <div><div>.</div><div>.</div><div>.</div><div>.</div><div>.</div><div>JAN 11-22</div><div>FEB 24-20</div><div>JAN 11-18</div><div>AUG 04-17</div></div> <div><div>.</div><div>.</div><div>.</div><div>.</div><div>.</div><div>RC</div><div>RC</div><div>RC</div><div>RC</div></div>			<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste25591BCINsignature</div> <div>registration information</div> <div>VA3 Design Inc.42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>			<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120</div><div>Toronto ON M2J 1R4</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>			<div>BAYVIEW WELLINGTON</div> <div>project name</div> <div>GREEN VALLEY EAST</div> <div>municipality</div> <div>BRADFORD</div> <div>date</div> <div>MAY 2016</div> <div>drawn by</div> <div>RC</div> <div>checked by</div> <div>-</div> <div>scale</div> <div>3/16" = 1'-0"</div>			<div>CONST NOTE</div> <div>-</div> <div>project no.</div> <div>16023</div> <div>CONSTRUCTION NOTES</div> <div>file name</div> <div>16023-CN-2022-A1</div> <div>drawing no.</div> <div>CN7</div>
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WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

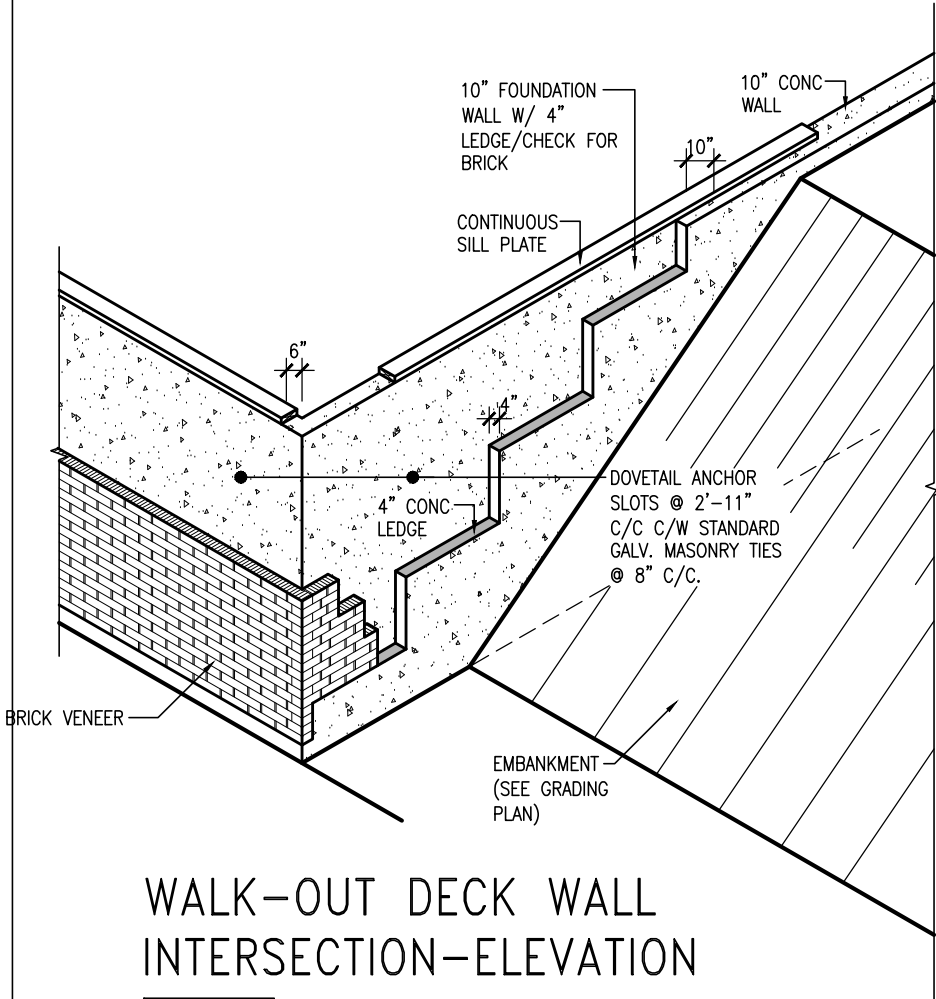
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN8
CONSTRUCTION NOTES			
drawn by	checked by	scale	file name
RC	-	3/16" = 1'-0"	16023-CN-2022-A1
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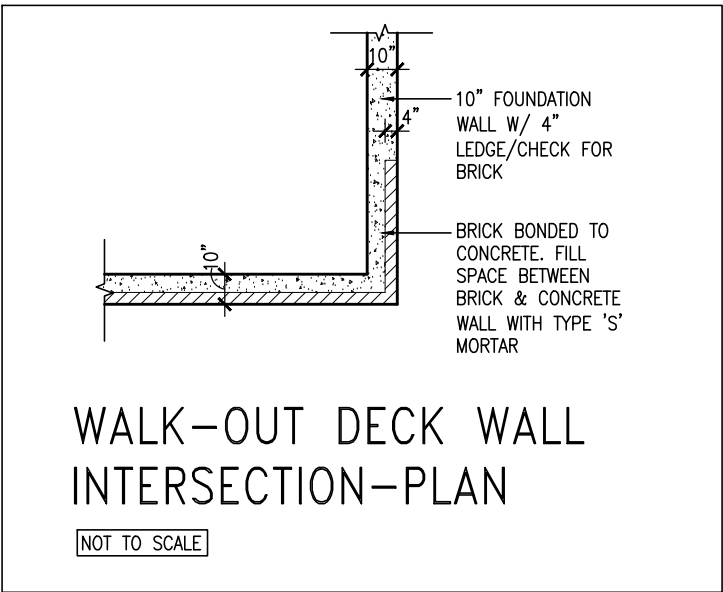
BAYVIEW WELLINGTON

CONST NOTE



WALK-OUT DECK WALL
INTERSECTION-ELEVATION

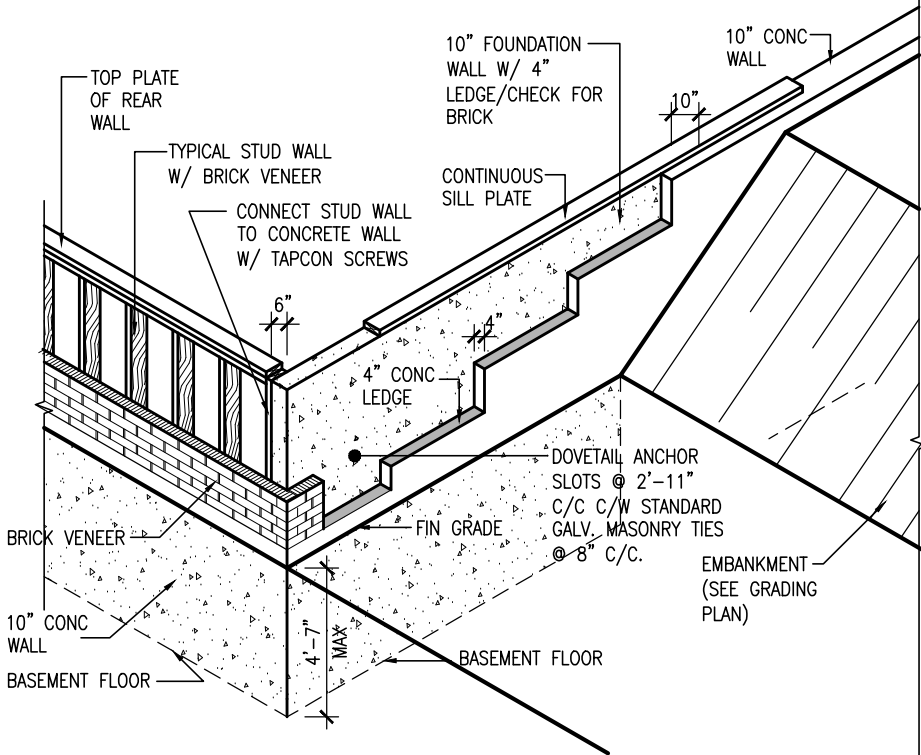
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

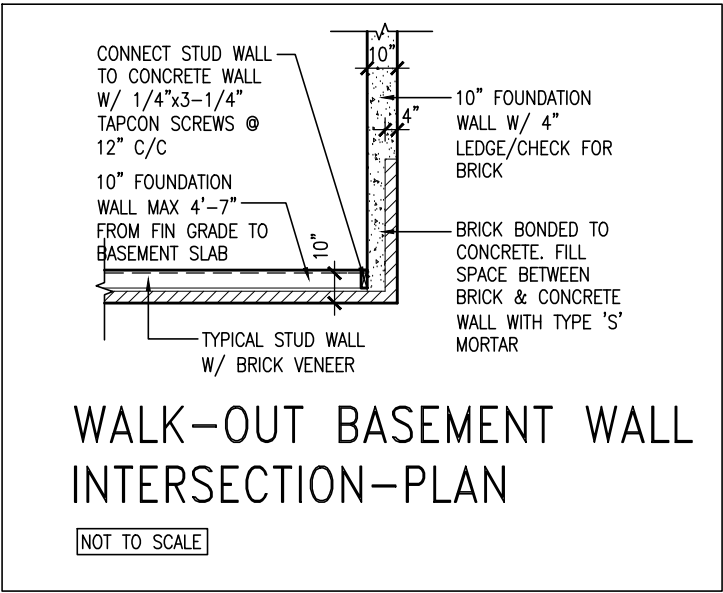
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



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3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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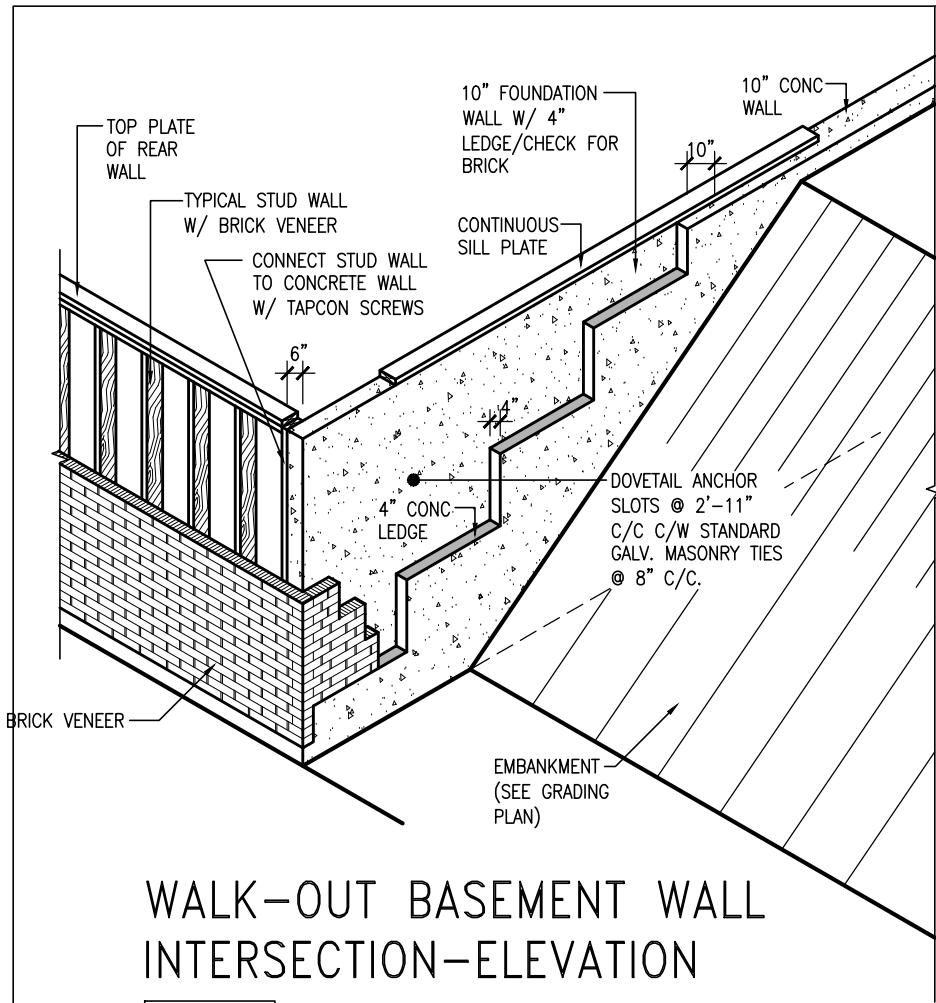
Wellington Jno-Baptiste 25591
name signature BCIN
registration information
VA3 Design Inc. 42658

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DESIGN**

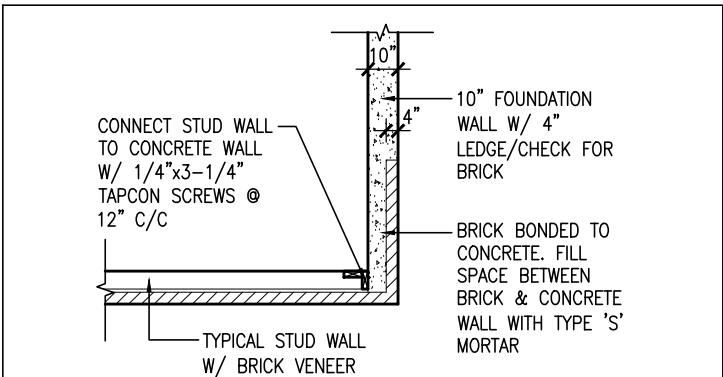
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	CN10
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		16023-CN-2022-A1	



WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

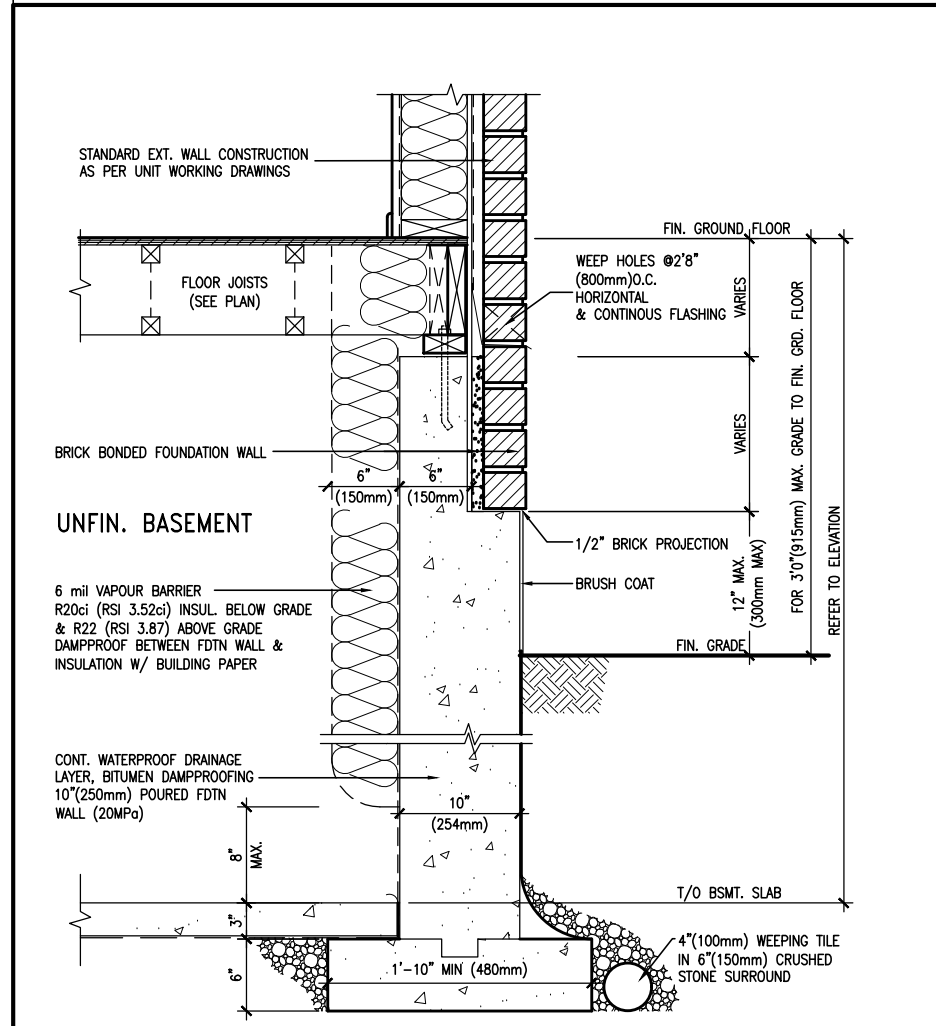
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

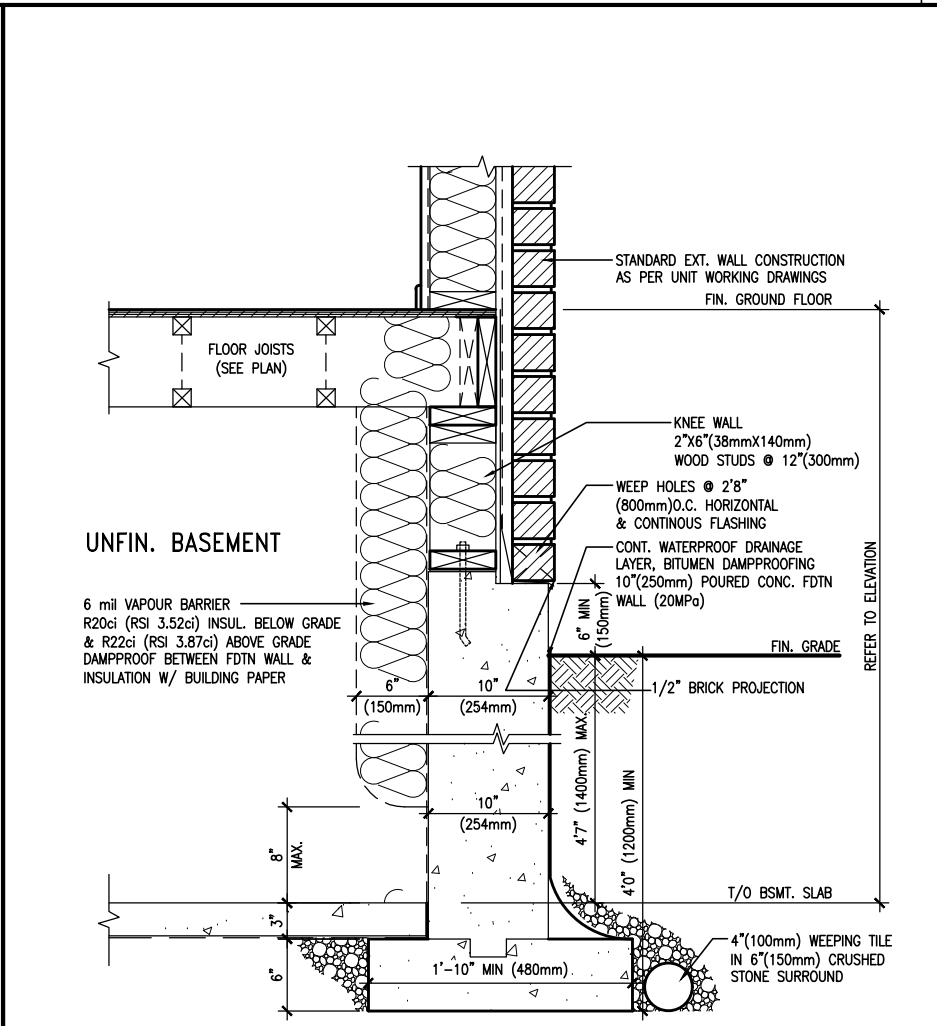
(10" FOUNDATION WALL)



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		CN11	

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

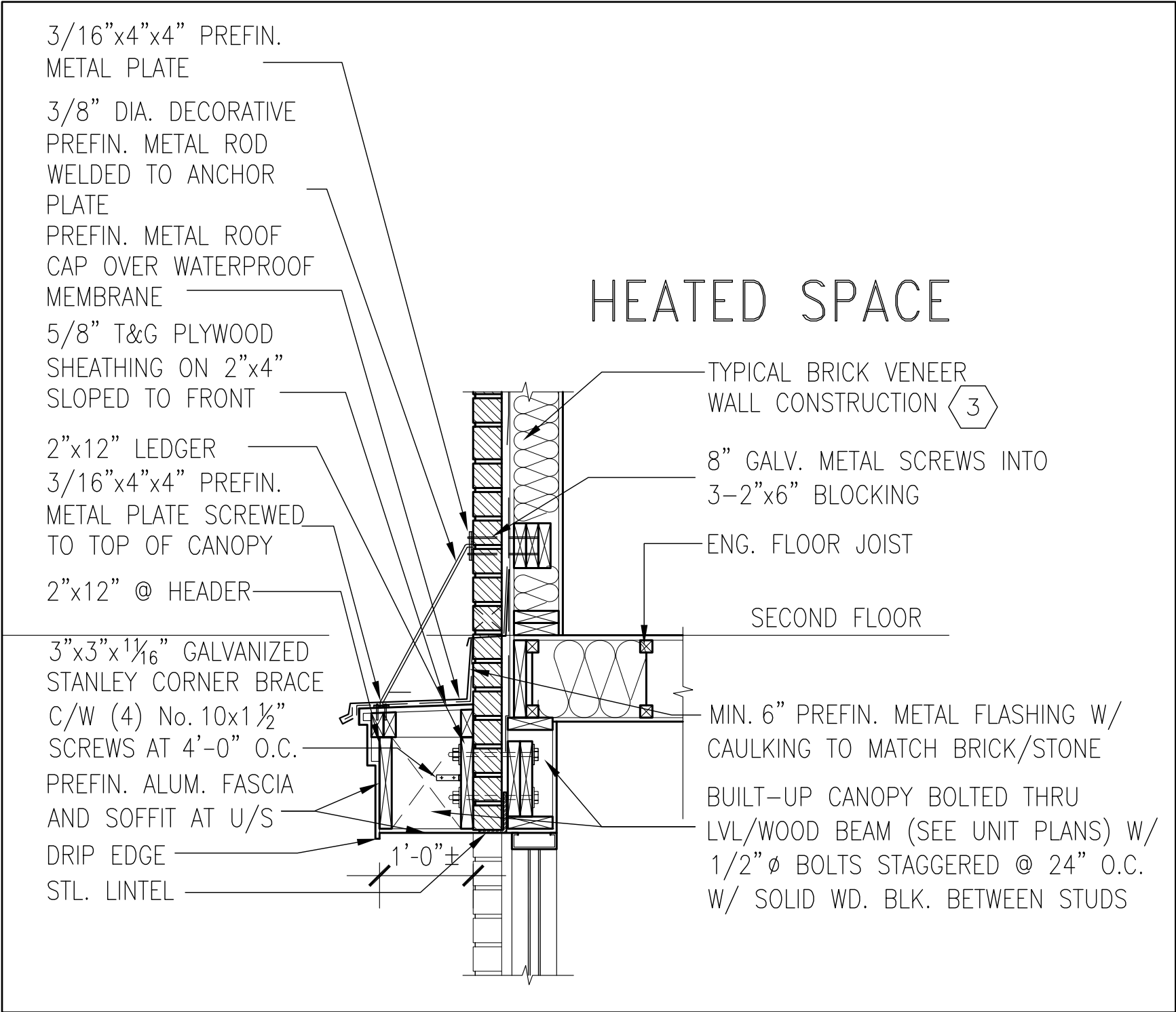
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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8	.	.	.			project name		municipality		project no.	
7	.	.	.			GREEN VALLEY EAST		BRADFORD		16023	
6	.	.	.			date		CONSTRUCTION NOTES		drawing no.	
5	.	.	.			MAY 2016				CN12	
4	UPDATE TO 2022	JAN 11-22	RC	drawn by		checked by	scale	file name			
3	UPDATE TO 2020	FEB 24-20	RC	RC		-	3/16" = 1'-0"	16023-CN-2022-A1			
2	UPDATE TO 2018	JAN 11-18	RC	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM							
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC								
no.	description		date	by							



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



9	-	-	-	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>signature</div> <div>BCIN</div> <div>42658</div>	<div>VA3</div> <div>DESIGN</div> <div>255 Consumers Rd Suite 120</div> <div>Toronto ON M2J 1R4</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>	<div>BAYVIEW WELLINGTON</div>	<div>CONST NOTE</div> <div>-</div>			
8	-	-	-							
7	-	-	-							
6	-	-	-							
5	-	-	-							
4	UPDATE TO 2022	JAN 11-22	RC	<div>name</div> <div>registration information</div> <div>VA3 Design Inc.</div>		<div>project name</div> <div>GREEN VALLEY EAST</div>	<div>municipality</div> <div>BRADFORD</div>	<div>project no.</div> <div>16023</div>		
3	UPDATE TO 2020	FEB 24-20	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>		<div>date</div> <div>MAY 2016</div>	<div>CONSTRUCTION NOTES</div>		<div>drawing no.</div>	
2	UPDATE TO 2018	JAN 11-18	RC			<div>drawn by</div> <div>RC</div>	<div>checked by</div> <div>-</div>	<div>scale</div> <div>3/16" = 1'-0"</div>	<div>file name</div> <div>16023-CN-2022-A1</div>	<div>CN13</div>
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			<div>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM</div>				
no.	description	date	by							

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



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6	.	.	.	name registration information									
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3	UPDATE TO 2020	FEB 24-20	RC						date MAY 2016	CONSTRUCTION NOTES		drawing no. <div>CN14</div>	
2	UPDATE TO 2018	JAN 11-18	RC						drawn by RC	checked by -	scale 3/16" = 1'-0"		file name 16023-CN-2022-A1
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				
no.	description	date	by										

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