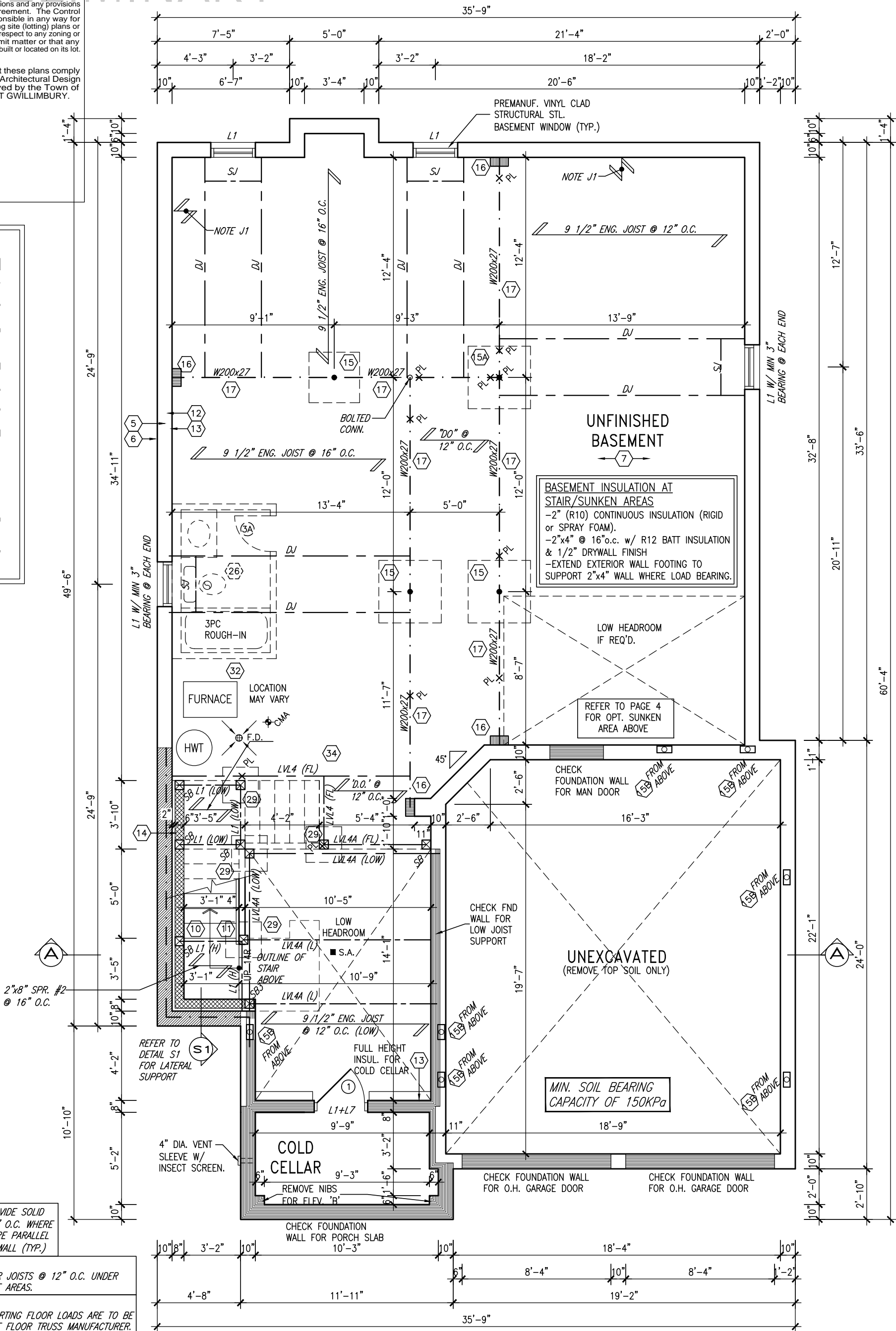


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10' GROUND



NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

AREA CHART ON PAGE 4

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4.	10' GROUND FLOOR	JUN 17-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

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BAYVIEW WELLINGTON

S42-17  
RIDEAU 17

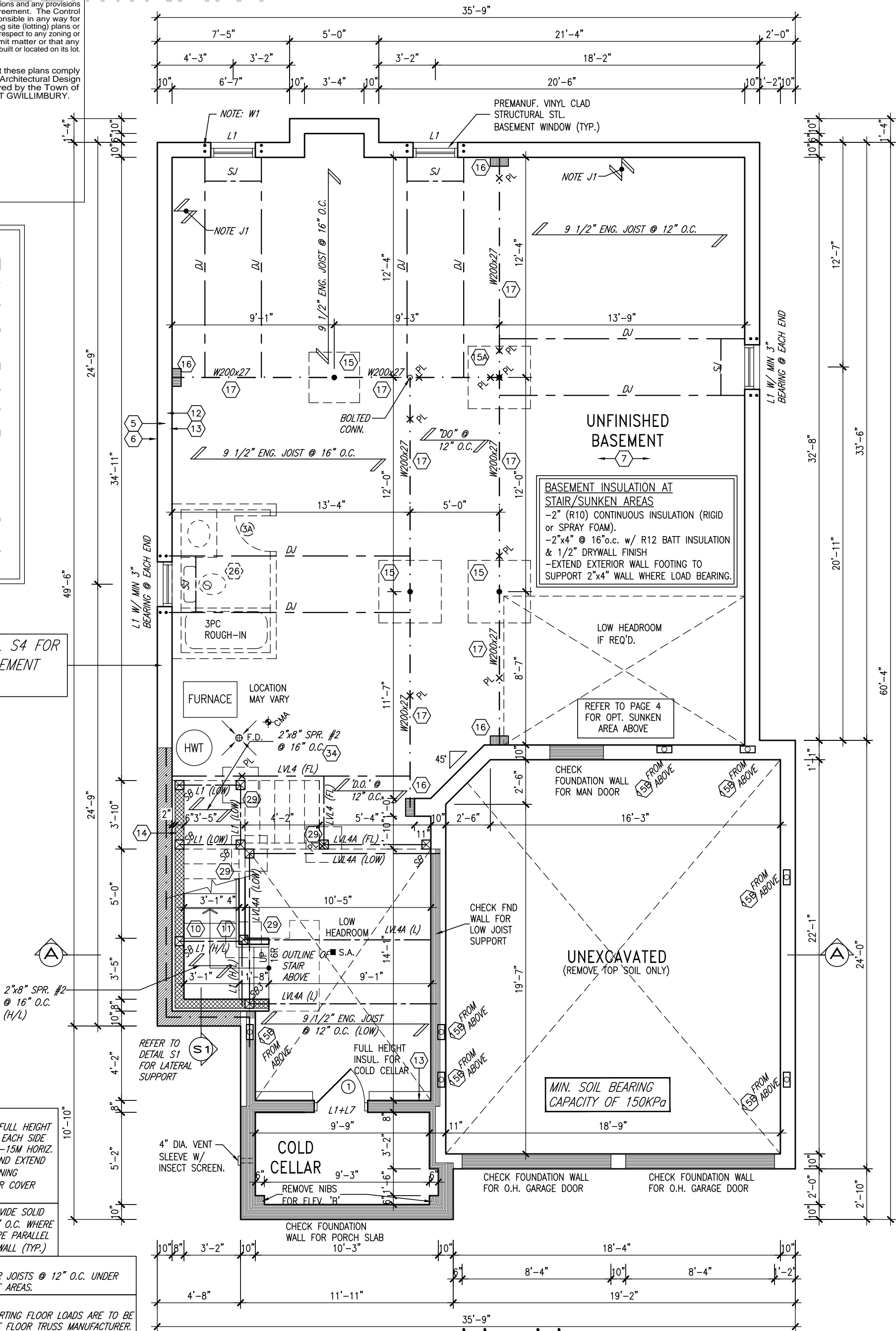
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	drawn by	BD.BIM	checked by	scale
					3/16" = 1'-0"
					16023-S42-17-10GRND
					1

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10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



**NOTE W1:**  
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING  
PROVIDE 3" CLEAR COVER FROM SOIL SIDE

**NOTE J1:** PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

**NOTE:**  
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**NOTE:**  
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BASEMENT PLAN 'A' & 'B'  
(9'-0" BASEMENT) ELEV. 'C' SIMILAR

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va3design.com

**BAYVIEW WELLINGTON**

**S42-17**  
RIDEAU 17

project name  
**GREEN VALLEY EAST**

municipality  
**BRADFORD, ON.**

project no.  
**13045**

date  
**SEPT 2016**

BASEMENT PLAN 'A' & 'B'

drawing no.

drawn by  
**BD.BIM**

checked by

scale

**3/16" = 1'-0"**

file name

**16023-S42-17-10GRND**

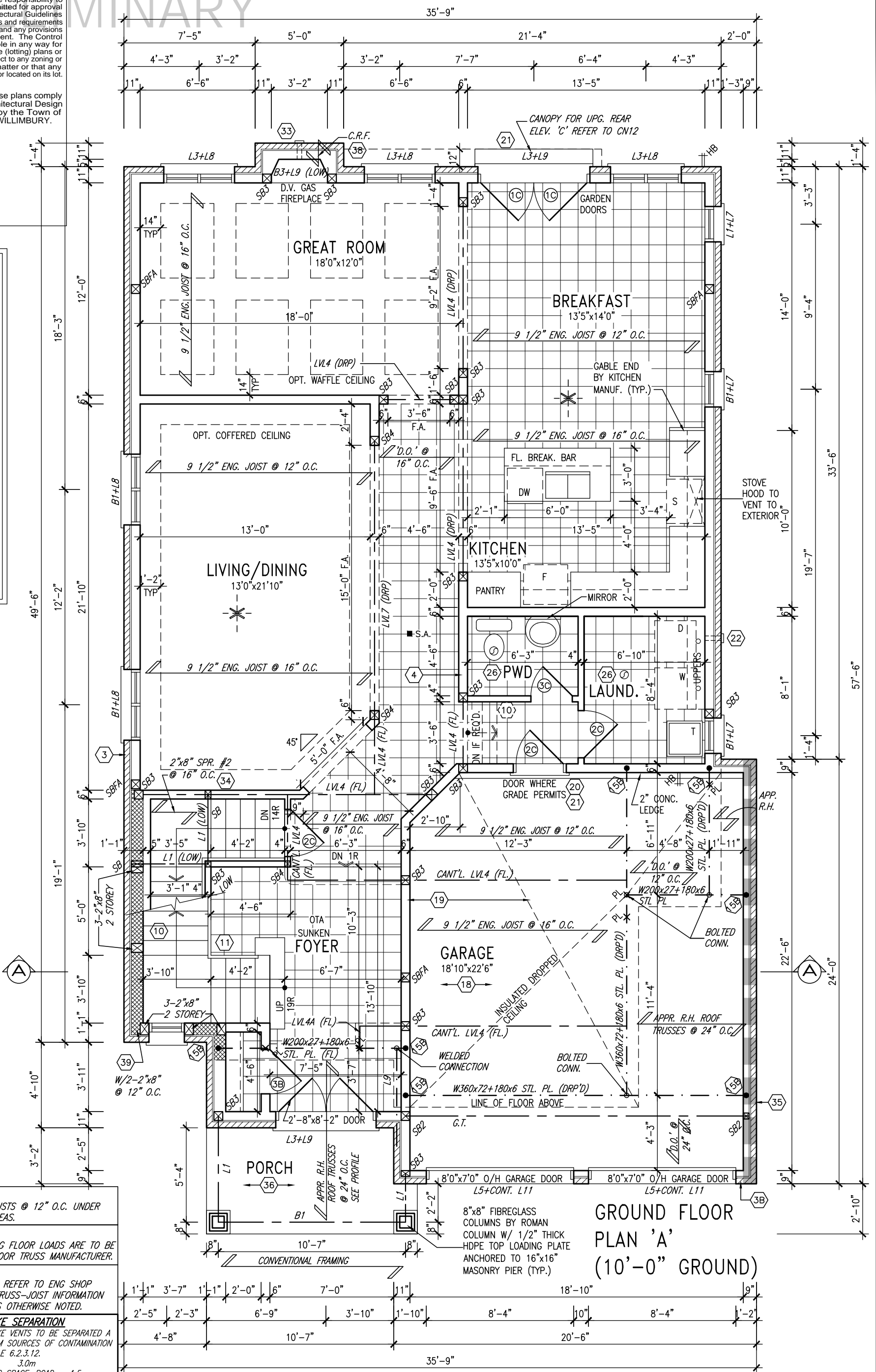
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10' GROUND



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**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

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3.	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
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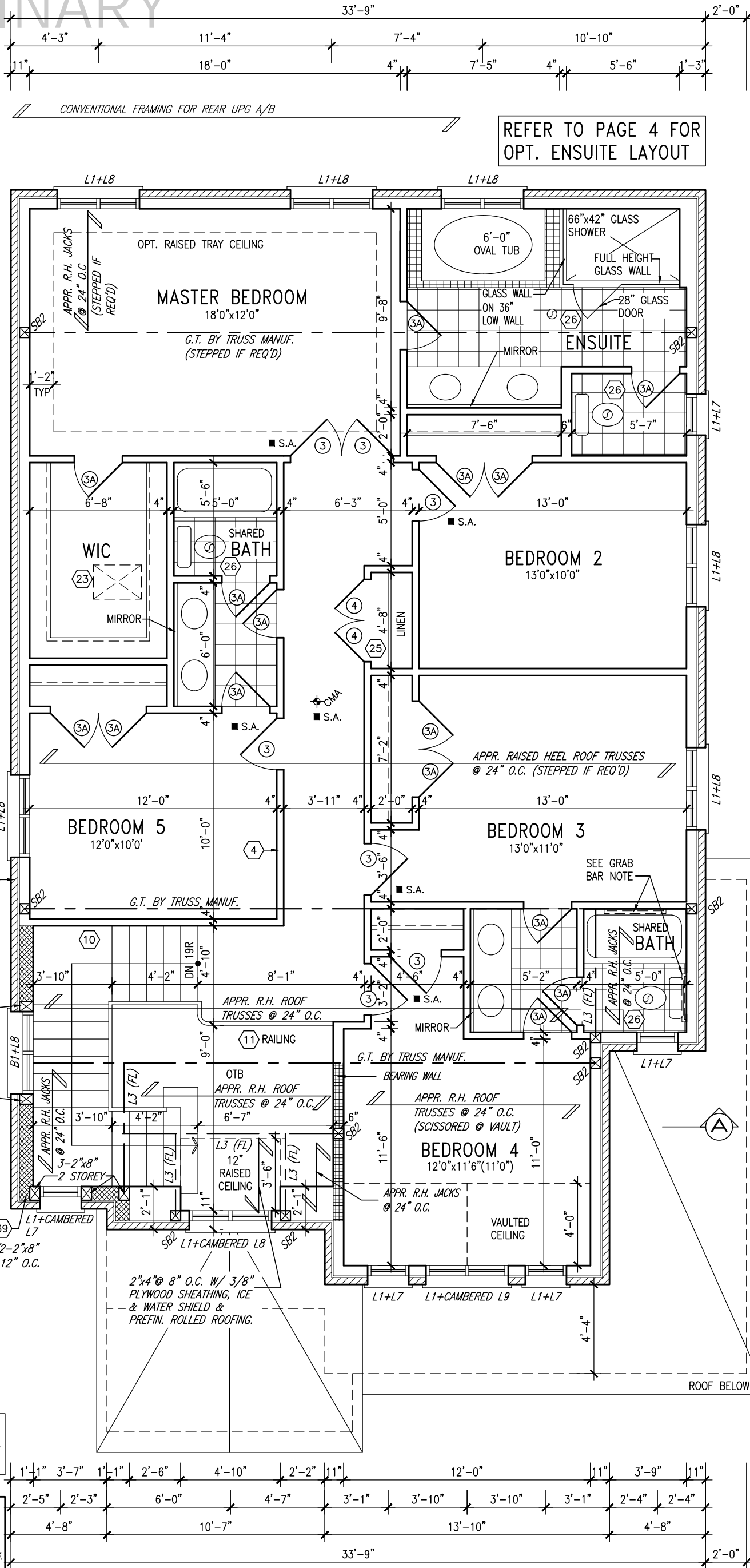
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<b>BAYVIEW WELLINGTON</b>		<b>S42-17</b> RIDEAU 17	
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD, ON.</b>	project no. <b>13045</b>	
date <b>SEPT 2016</b>	checked by <b>BD.BIM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S42-17-10GRND</b>
drawing no. <b>2</b>		drawing no. <b>2</b>	
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10' GROUND



NOTE: ROOF FRAMING  
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:  
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

SECOND FLOOR PLAN 'A'

9.	.	.	.
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4.	10' GROUND FLOOR	JUN 17-21	KL
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S42-17  
RIDEAU 17

project name GREEN VALLEY EAST municipality BRADFORD, ON.

project no. 13045

date SEPT 2016

SECOND FLOOR PLAN 'A'

drawing no.

drawn by BD.BIM

checked by

scale

3/16" = 1'-0"

16023-S42-17-10GRND

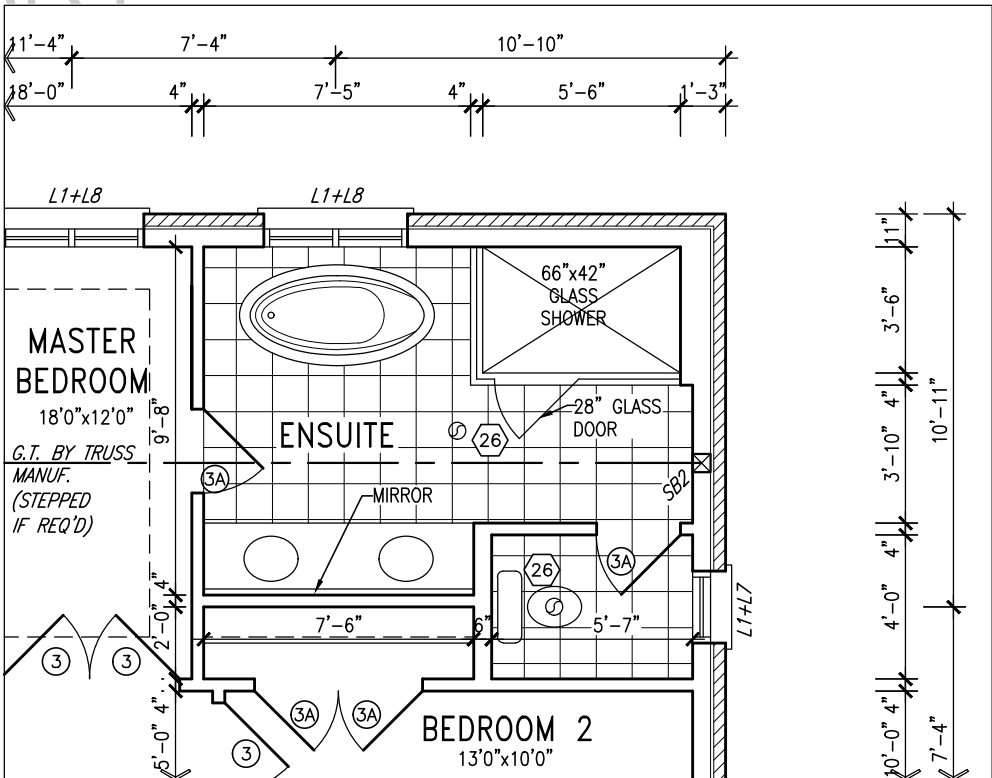
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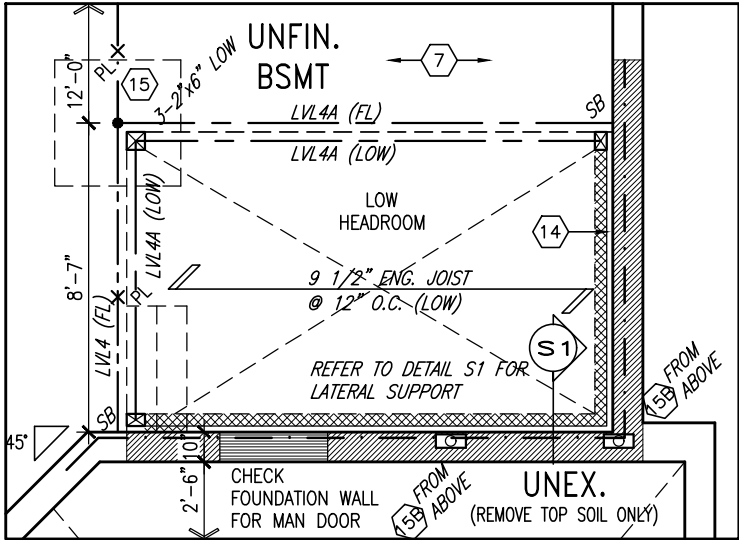
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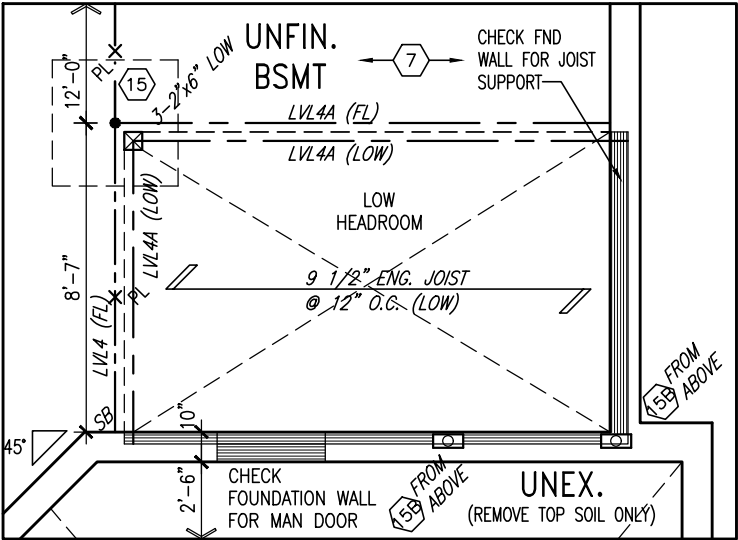
NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PART. OPT. SECOND FLOOR  
W/ ALT. ENSUITE LAYOUT  
REFER TO STANDARD PLAN FOR STRUCTURE,  
DIMENSIONS & CONSTRUCTION NOTES



PART. BSMT PLAN  
LAUNDRY SUNKEN >1R



PART. BSMT PLAN  
LAUNDRY SUNKEN 1R

NOTE J1: PROVIDE SOLID  
BLOCKING @ 24" O.C. WHERE  
FLOOR JOISTS ARE PARALLEL  
TO FOUNDATION WALL (TYP.)

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

NOTE:  
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SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION  
AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ROOF FRAMING  
ROOF TRUSS INFORMATION REFER TO ROOF  
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1468.7 SF	1468.7 SF	1468.7 SF
SECOND FLOOR AREA	1696.2 SF	1694.0 SF	1694.0 SF
SUBTOTAL	3164.9 SF	3162.7 SF	3162.7 SF
DEDUCT ALL OPENINGS	76.2 SF	76.2 SF	77.0 SF
TOTAL NET AREA	3089 SF	3087 SF	3086 SF
FINISHED BSMT AREA	287.0 SF	286.8 SF	286.7 SF
TOTAL NET AREA W/ FIN BSMT	3376.0 SF	3373.8 SF	3373.4 SF
COVERAGE W/O PORCH	1924.4 SF	1924.4 SF	1924.4 SF
COVERAGE W/PORCH	1991.7 SF	1991.7 SF	1991.7 SF

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5.	.	.
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**BAYVIEW WELLINGTON**

**S42-17**  
RIDEAU 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	checked by	scale	file name	
drawn by	BD.BIM	-	3/16" = 1'-0"	16023-S42-17-10GRND	4
PARTIAL PLANS & AREA CHART					
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REFER TO 2012 OBC. 9.34.4.

**NOTE:**  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

**NOTE:**  
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**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

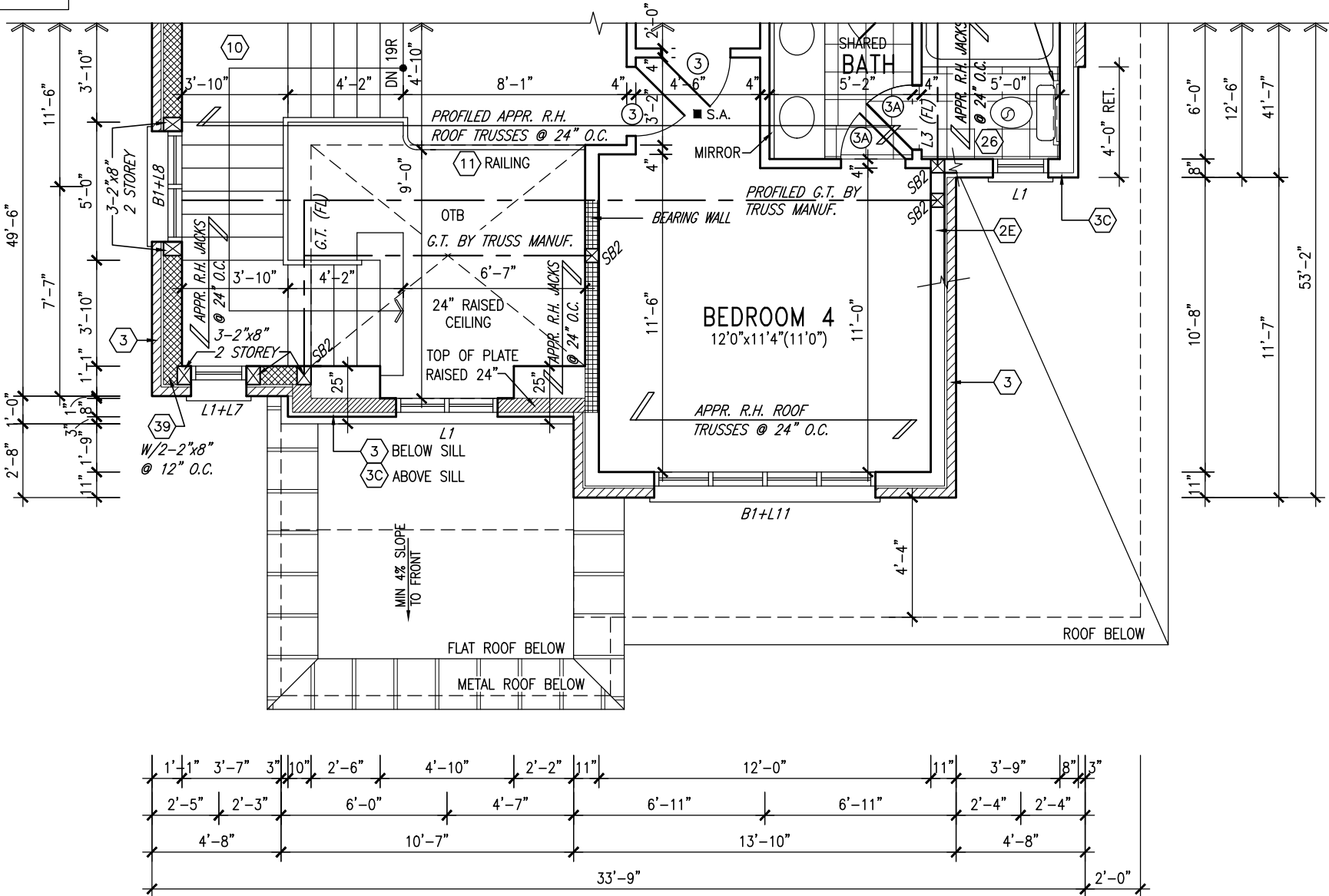
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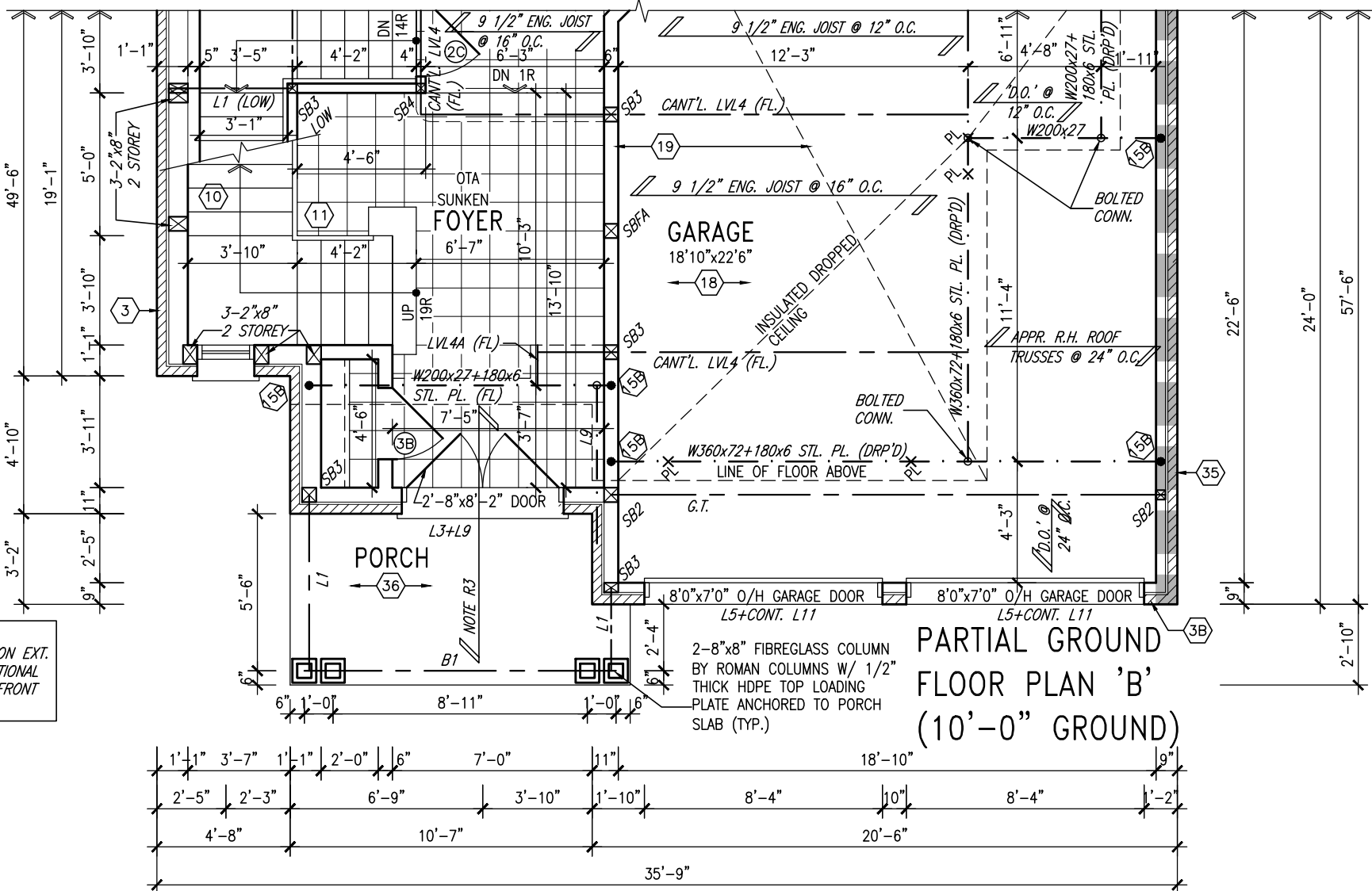
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**NOTE:**  
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PART. SECOND FLOOR PLAN 'B'



**NOTE R3**  
2 PLY ROOF MEMBRANE ON EXT. SHEATHING OVER CONVENTIONAL FRAMING TOP SLOPE TO FRONT MIN 4% SLOPE

PARTIAL GROUND FLOOR PLAN 'B' (10'-0" GROUND)

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<b>BAYVIEW WELLINGTON</b>		<b>S42-17</b> RIDEAU 17	
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD, ON.</b>	project no. <b>13045</b>	drawing no. <b>5</b>
date <b>SEPT 2016</b>	checked by <b>BD.BIM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S42-17-10GRND</b>
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REFER TO 2012 OBC. 9.34.4.

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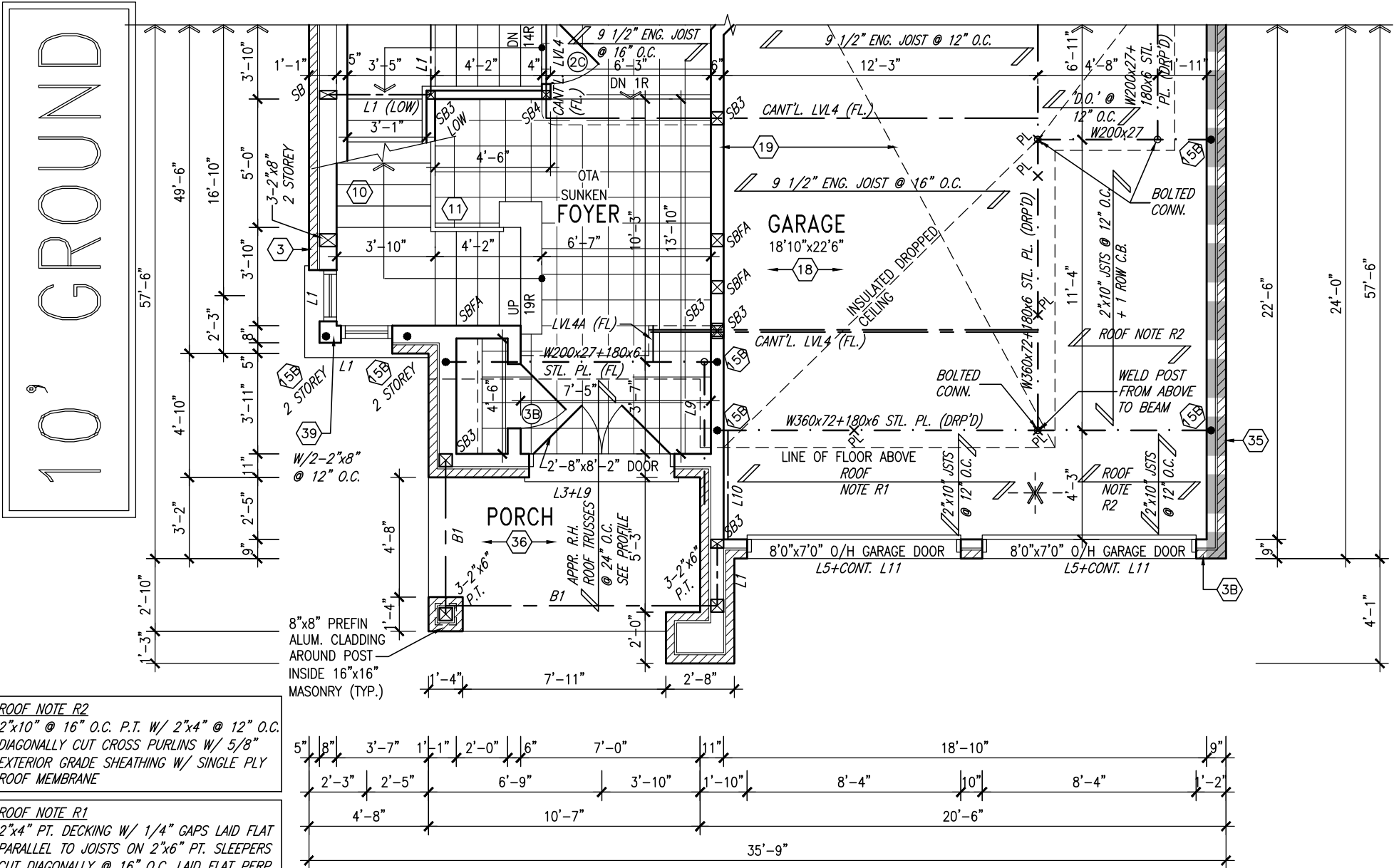
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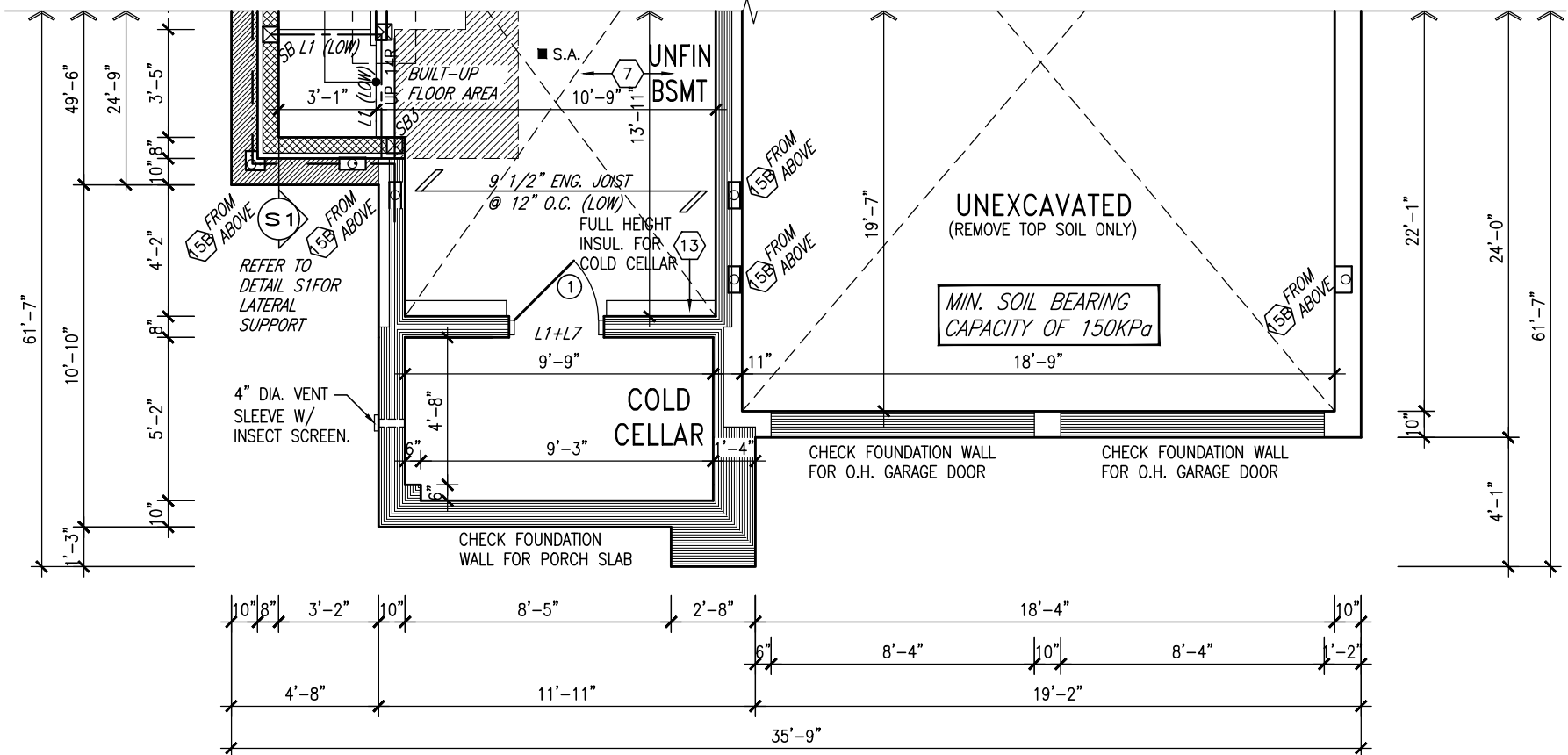
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- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE:  
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PART. GROUND FLOOR PLAN 'C'  
(10'-0" GROUND)



PART. BASEMENT PLAN 'C'

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S42-17  
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project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	drawn by	BD.BIM	checked by	scale
					3/16" = 1'-0"
					16023-S42-17-10GRND
					file name
					16023-S42-17-10GRND
					16023-S42-17-10GRND.dwg
					Thru - Jul 29 2021 - 10:50 AM

PARTIAL PLANS ELEV. 'C'

drawing no.

6



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MINIARY

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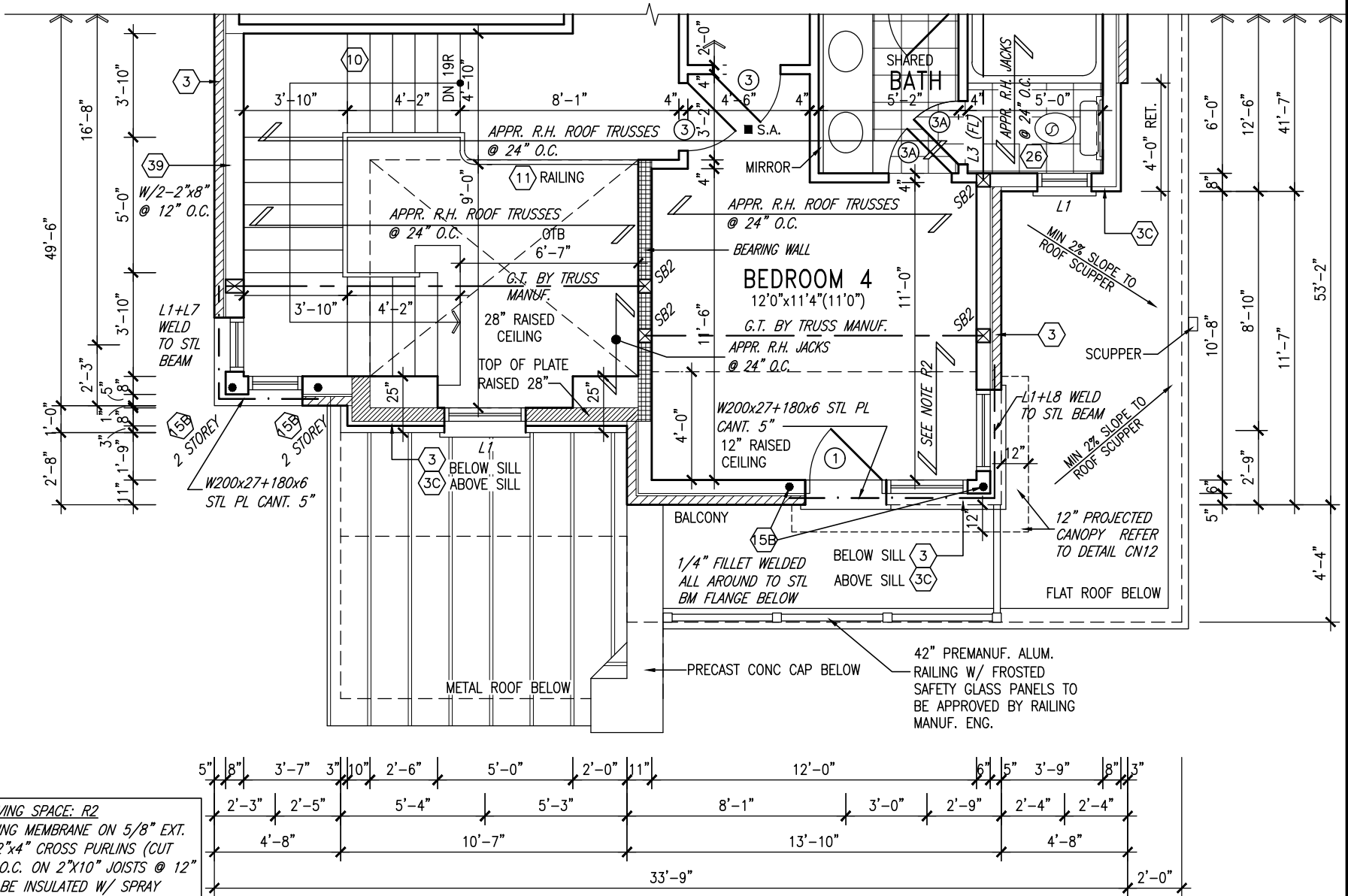
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GB-NOTE-2020.dwg

10' GROUND



FLAT ROOF OVER LIVING SPACE: R2  
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT. GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12" o.c. FLAT ROOF TO BE INSULATED W/ SPRAY INSULATION (RSI 5.46 (R31)) MIN SLOPE 2:12

PART. SECOND FLOOR PLAN 'C'

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no.	description	date	by

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t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON

S42-17  
RIDEAU 17

project name		municipality		project no.	
GREEN VALLEY EAST		BRADFORD, ON.		13045	
date		PARTIAL PLANS ELEV. 'C'			drawing no.
SEPT 2016					7
drawn by		checked by		scale	
BD.BIM		-		3/16" = 1'-0"	
				file name	
				16023-S42-17-10GRND	
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ROOF PLAN 'A'

N.T.S.

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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**S42-17**  
RIDEAU 17

**BAYVIEW WELLINGTON**

project name  
**GREEN**



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**All dra**

**I**

FRONT ELEVATION 'A'

# 10<sup>9</sup> GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

PRELIMINARY

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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FOR REAR  
UPGRADE ONLY

FRIEZE BOARD  
FOR REAR  
UPGRADE ONLY

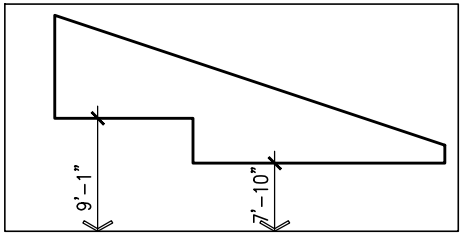
BRICK SOLDIER HEADER W/  
1/2" PROJ. (TYP.)

PRECAST CONC. SILL  
(TYP.)

WALL AREA 1106.82 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
OPENING ALLOWED 77.48 SQ. FT.  
OPENING PROVIDED 54.82 SQ. FT.(GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'

10' GROUND



ROOF PROFILE  
FOR PORCH  
& FOYER

VALLEY FLASHING (TYP.)

PREFIN. MTL FLASHING W/  
CAULKING TO MATCH  
MASONRY (TYP.)

PREFIN. MTL. FLASHING  
BEHIND STUCCO (TYP.)

8"x8" FIBREGLASS COLUMNS BY  
ROMAN COLUMN W/ 1/2" THICK  
HDPE TOP LOADING PLATE  
ANCHORED TO 16"x16" MASONRY  
PIER (TYP.)

POURED CONC. FOUNDATION  
WALLS AND FOOTINGS (TYP.)

BAYVIEW WELLINGTON

S42-17  
RIDEAU 17

project name GREEN VALLEY EAST

project no. 13045

drawing no. 9

file name 16023-S42-17-10GRND

checked by BD,BIM

scale 3/16" = 1'-0"

date SEPT 2016

drawn by BD,BIM

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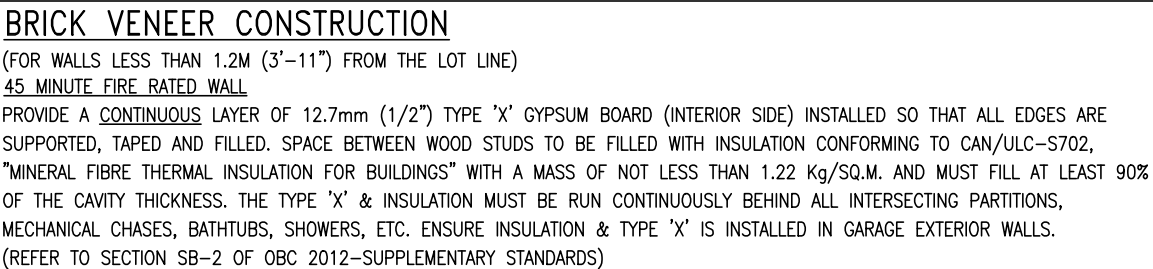
no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	10' GROUND FLOOR	JUN 17-21 KL	
3.	ADDED OPT. 9' BASEMENT	JUN 17-21 KL	
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	

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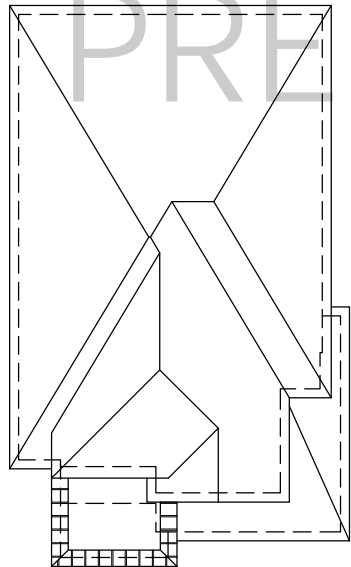
REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 13045 drawing no. 11
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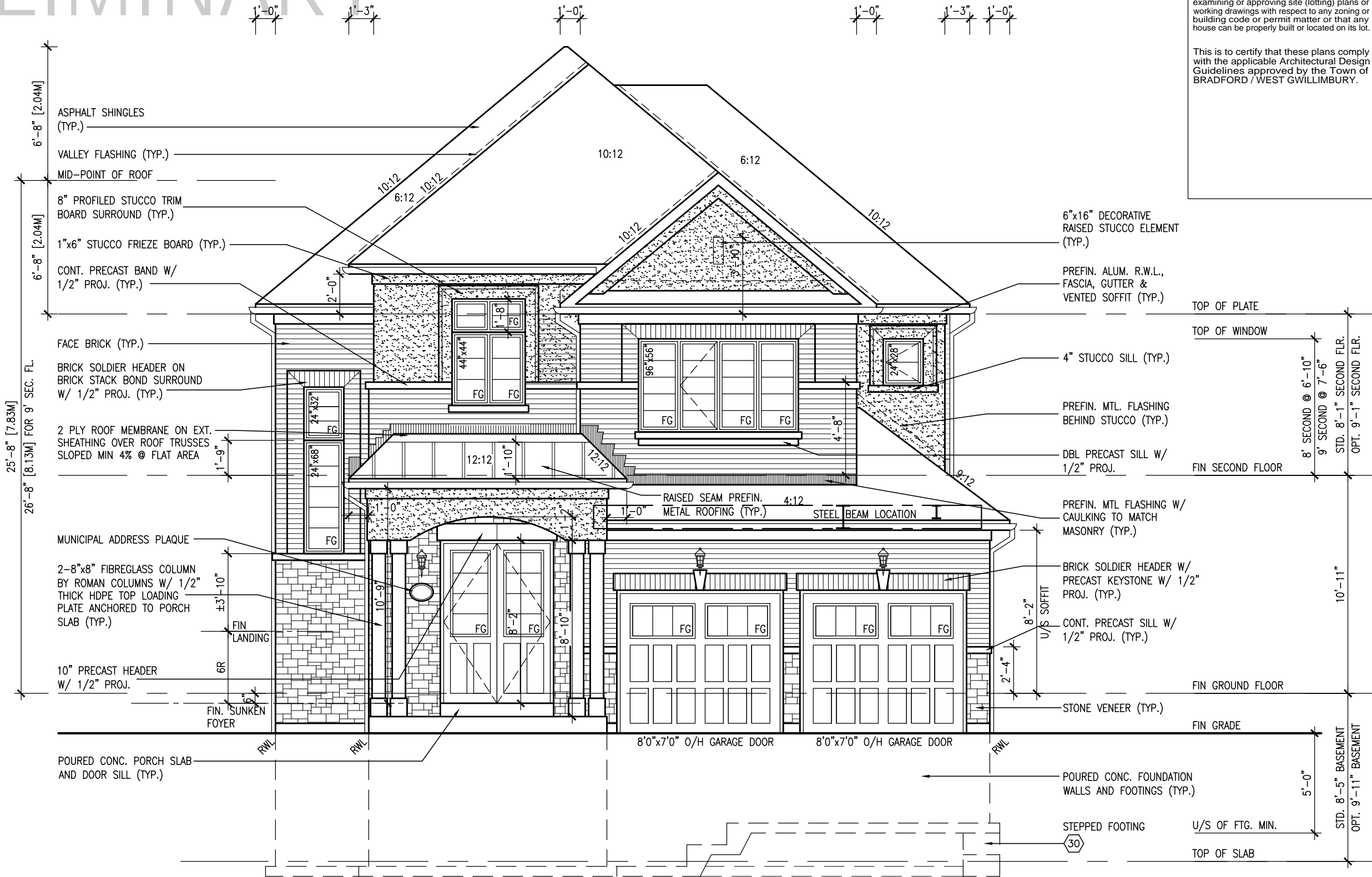


### RIGHT SIDE ELEVATION 'A'

				<p><b>VA3 DESIGN</b>          255 Consumers Rd, Suite 120          Toronto, ON M2J 1R4          t 416.630.2265 f 416.630.4782  <a href="mailto:vo3design@gmail.com">vo3design@gmail.com</a></p>	
		<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>			
no.	description	date	by		
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC		
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL		
4	10' GROUND FLOOR	JUN 17-21	KL		
5					
6					
7					
8					
9					



ROOF PLAN 'B'  
N.T.S.



FRONT ELEVATION 'B'

10' GROUND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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S42-17 RIDEAU 17		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON.	
project no.	13045	municipality	BRADFORD, ON.	project name	GREEN VALLEY EAST	date	SEPT 2016
drawing no.	12	front elevation	'B'	scale	3/16" = 1'-0"	checked by	BD,BIM
file name	16023-S42-17-10GRND	drawn by	BD,BIM	date	SEPT 2016	checked by	BD,BIM
no.	description	date	by	no.	description	date	by
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB	1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL	3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
4	10' GROUND FLOOR	JUN 17-21	KL	4	10' GROUND FLOOR	JUN 17-21	KL

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 13045 drawing no. 13
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# 10<sup>9</sup> GROUND

[illegible]

PRELIMINARY

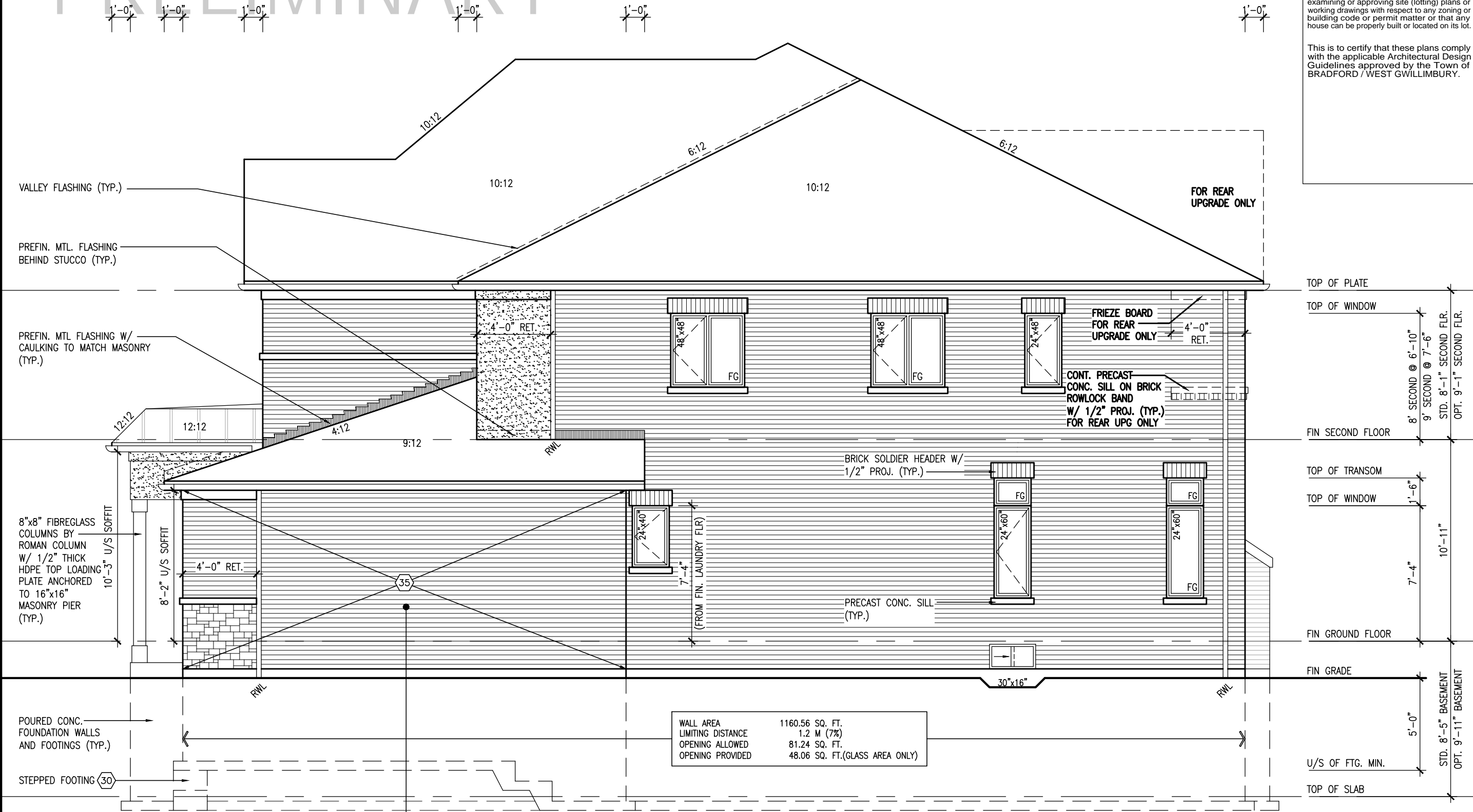
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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### BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

#### 45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	1160.56 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	81.24 SQ. FT.
OPENING PROVIDED	48.06 SQ. FT.(GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON

S42-17  
RIDEAU 17

BRADFORD, ON.

GREEN VALLEY EAST

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9 .  
8 .  
7 .  
6 .  
5 .  
4 10' GROUND FLOOR  
3 ADDED OPT. 9' BASEMENT  
2 REVISED AS PER ENG'S COMMENTS  
1 REVISED BASEMENT WALLS TO BE 10"

JUN 17-21 KL  
JUN 17-21 KL  
FEB 12-18 RC  
OCT 21/16 SB

no. description

project no. 13045  
drawing no. 14  
date SEPT 2016  
drawn by BD,BIM  
checked by -  
scale 3/16" = 1'-0"

project name GREEN VALLEY EAST  
municipality BRADFORD, ON.  
RIGHT SIDE ELEVATION 'B'

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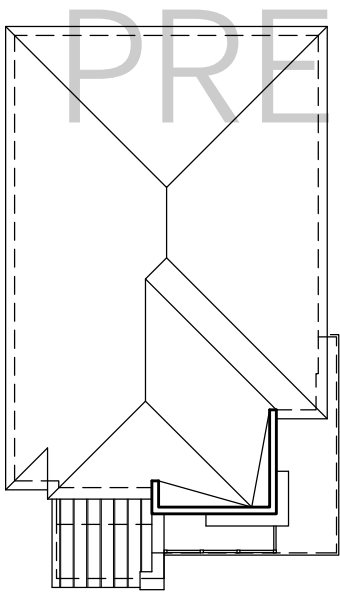
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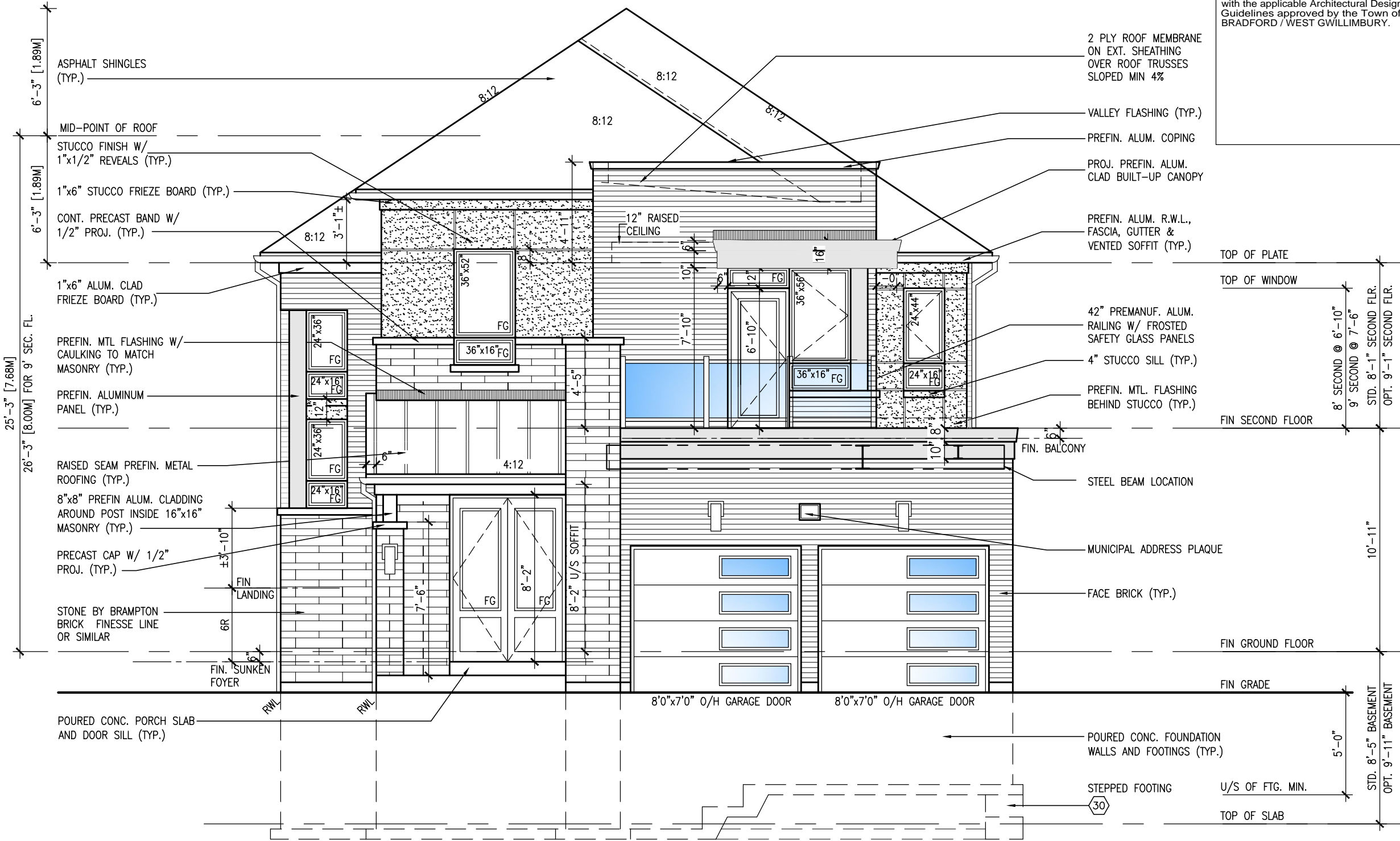
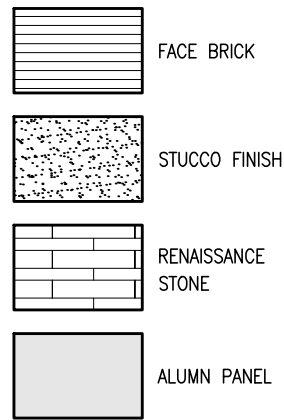
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ROOF PLAN 'C'  
N.T.S.



FRONT ELEVATION 'C'

10' GROUND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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S42-17 RIDEAU 17		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON.	
project no.	13045	municipality	BRADFORD, ON.	date	SEPT 2016	checked by	BD,BIM
drawing no.	15	file name	16023-S42-17-10GRND	scale	3/16" = 1'-0"	checked by	BD,BIM
FRONT ELEVATION 'C'		16023-S42-17-10GRND.dwg		16023-S42-17-10GRND.dwg		16023-S42-17-10GRND.dwg	
10' GROUND FLOOR		JUN 17-21 KL		JUN 17-21 KL		JUN 17-21 KL	
3. ADDED OPT. 9' BASEMENT		FEB 12-18 RC		FEB 12-18 RC		FEB 12-18 RC	
2. REVISED AS PER ENG'S COMMENTS		OCT 21/16 SB		OCT 21/16 SB		OCT 21/16 SB	
1. REVISED BASEMENT WALLS TO BE 10"		OCT 21/16 SB		OCT 21/16 SB		OCT 21/16 SB	
no. description		date		date		date	

1' - 0"

$$\begin{array}{c} 1' - 0'' \\ \hline \end{array}$$
$$\frac{1}{2} - 0''$$

1'-3"

Architectural elevation drawing of a building facade. The drawing shows a gabled roof with an 8:12 pitch. The facade features several windows: a central 48" x 48" window, two 48" x 60" windows, and a series of smaller windows (24" x 36" and 24" x 16") on the right side. The drawing includes various structural details and dimensions:

- Roof pitch: 8:12
- Window dimensions: 48" x 48", 48" x 60", 24" x 36", 24" x 16"
- Structural details: BRICK SOLDIER HEADER W/ 1/2" PROJ. (TYP.), PRECAST CONC. SILL (TYP.), PREFIN. MTL FLASH, CAULKING TO MATCH MASONRY (TYP.), PRECAST CONC. C.
- Dimensions: 3'-1", 4'-11", 1'-0", 4'-12", 4'-0" RET., 8'-8" U/S SOFFIT, 7'-6"
- Labels: RWL, 30" x 16"

WALL AREA	1106.82 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.48 SQ. FT.
OPENING PROVIDED	54.24 SQ. FT.(GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

# 10<sup>9</sup> GROUND

A diagram showing a stepped profile. The vertical height of the first step is labeled  $9'-1''$ . The horizontal distance of the second step is labeled  $7'-10''$ .

# ROOF PROFILE FOR PORCH & FOYER

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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**BAYVIEW WELLINGTON**

**S42-17**  
RIDEAU 17

project name	project no.
GREEN VALLEY EAST	13045
BRADFORD, ON.	

date **SEPT 2016** LEFT SIDE ELEVATION 'C'

file name	scale	checked by	drawn by
16023-S42-17-10GRND	3/16" = 1'-0"	-	BD.BIM
- H:\ARCHIVE\WORKING\2016\16023.DWG Update 42" 16023-S42-17-10GRND.dwg -- Thu Jul 29 2021 -- 10:50 AM			

11. [PACIFIC](#) / [WORMING](#) / [2010](#) / [10025.0M](#) / [01m3672](#) / [10025.0M](#) / [10025.0M](#)

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Drawings are not to be scaled.

**10.11.2019**

PRELIMINARY

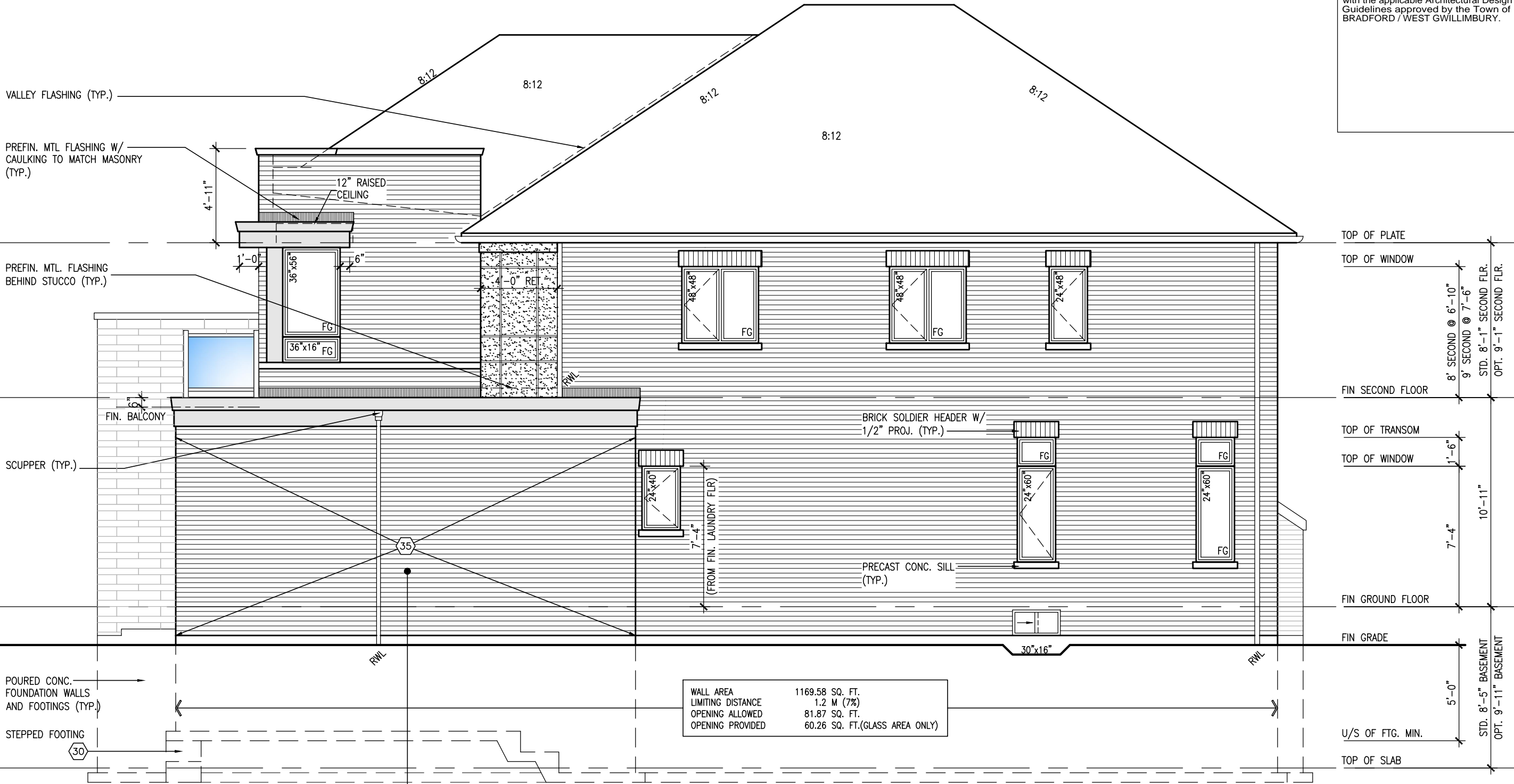
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 'C'

project no.		project name		municipality		date		checked by		drawn by		scale		file name	
13045		S42-17		BRADFORD, ON.		SEPT 2016		BD.BIM		BD.BIM		3/16" = 1'-0"		16023-S42-17-10GRND	
drawing no.		RIDEAU 17		BAYVIEW WELLINGTON		RIGHT SIDE ELEVATION 'C'		17							
no.		description		date		by									
9		10' GROUND FLOOR		JUN 17-21 KL											
8		3' ADDED OPT. 9' BASEMENT		JUN 17-21 KL											
7		2' REVISED AS PER ENG'S COMMENTS		FEB 12-18 RC											
6		1' REVISED BASEMENT WALLS TO BE 10"		OCT 21/16 SB											
5															
4															
3															
2															
1															

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NOTE J1: PROVIDE SOLID  
BLOCKING @ 24" O.C. WHERE  
FLOOR JOISTS ARE PARALLEL  
TO FOUNDATION WALL (TYP.)

**NOTE:**  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

**NOTE:**  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

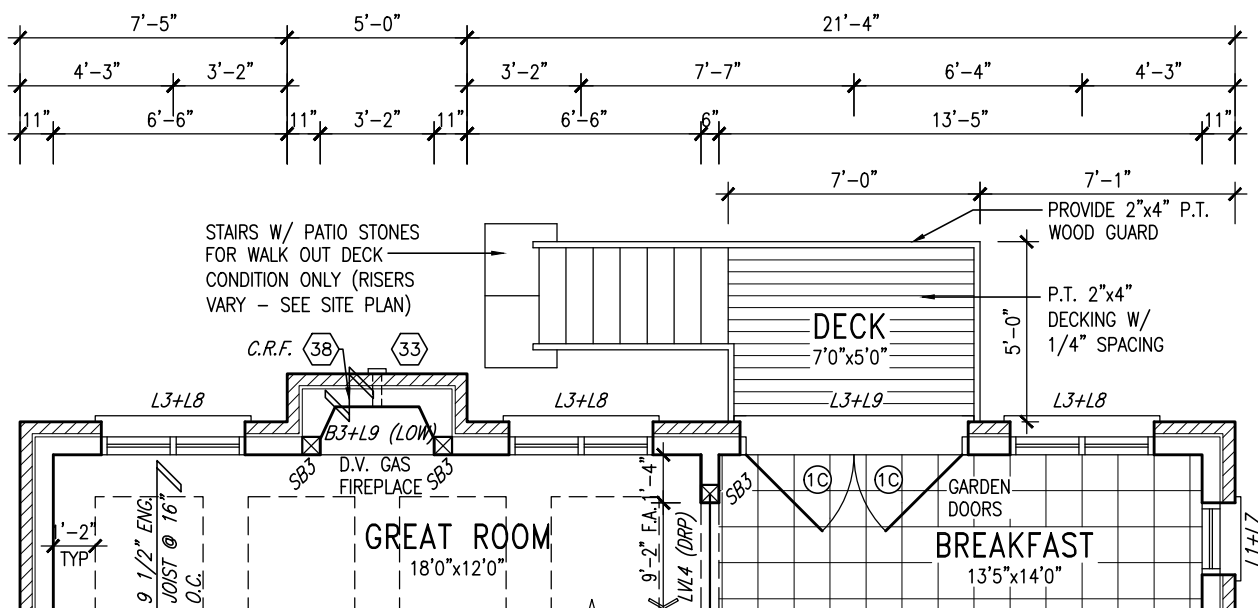
**NOTE:**  
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

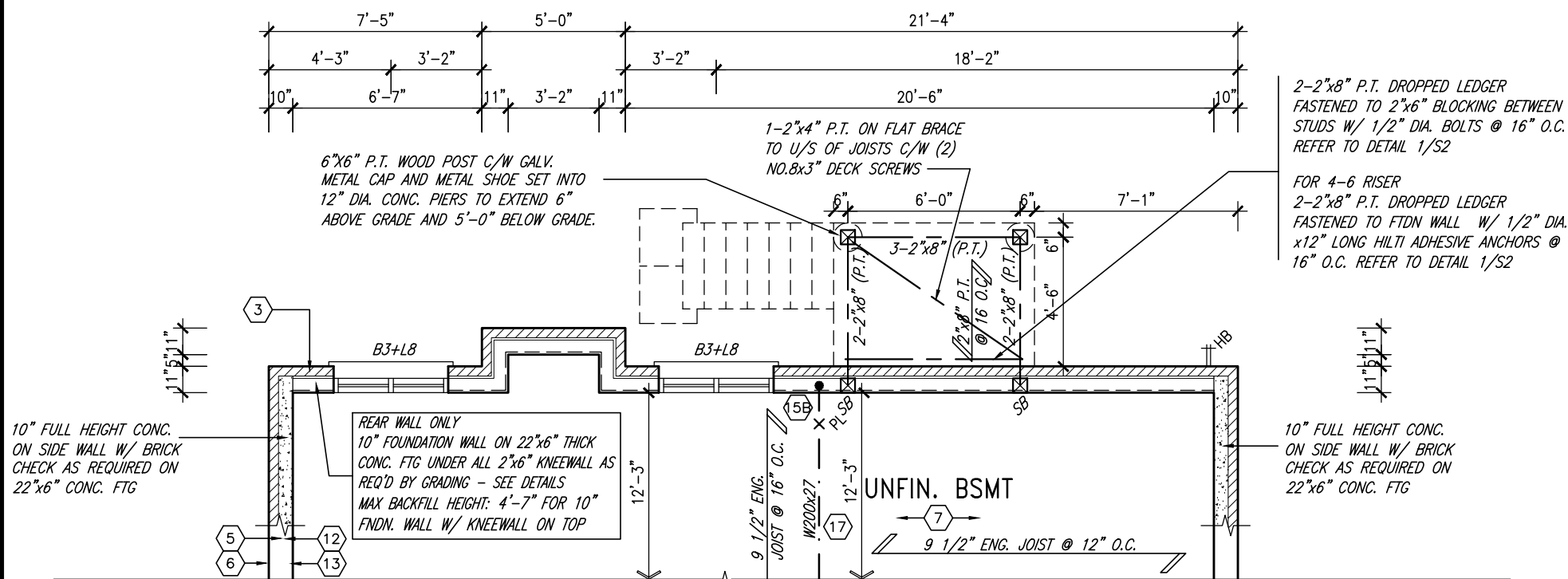
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PART. GRND FLOOR PLAN  
W.O.D. CONDITION



PART. BASEMENT PLAN  
W.O.D. CONDITION

[illegible]

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NOTE J1: PROVIDE SOLID  
BLOCKING @ 24" O.C. WHERE  
FLOOR JOISTS ARE PARALLEL  
TO FOUNDATION WALL (TYP.)

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

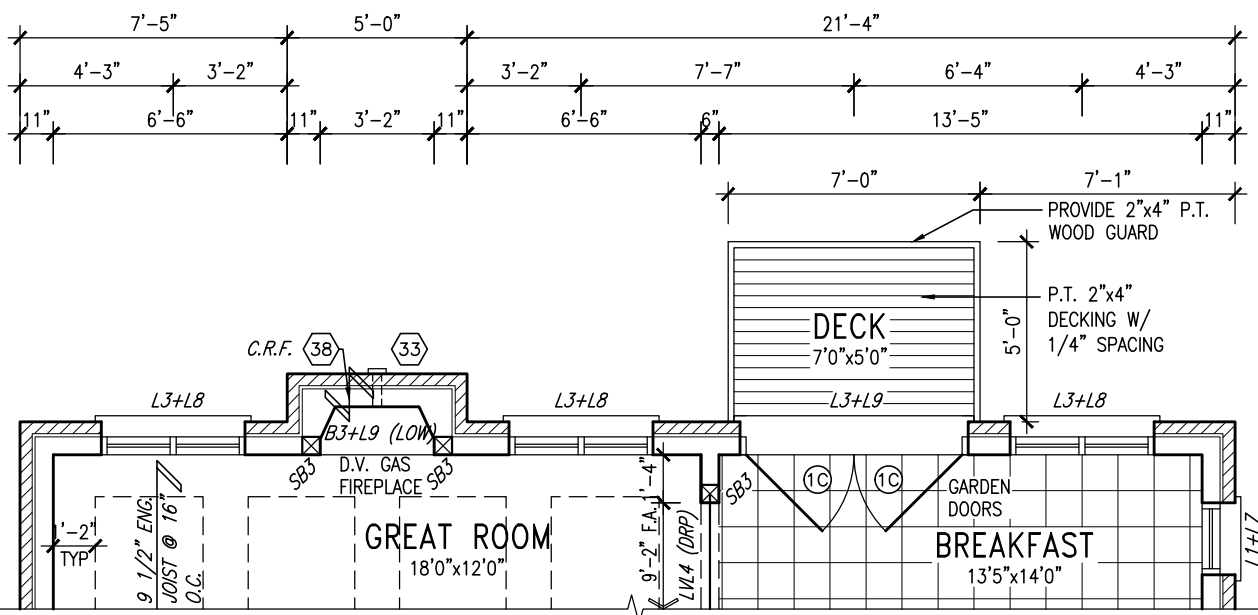
NOTE:  
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NOTE:  
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DRAWINGS FOR ALL TRUSS-JOIST INFORMATION  
AND DETAILS. UNLESS OTHERWISE NOTED.

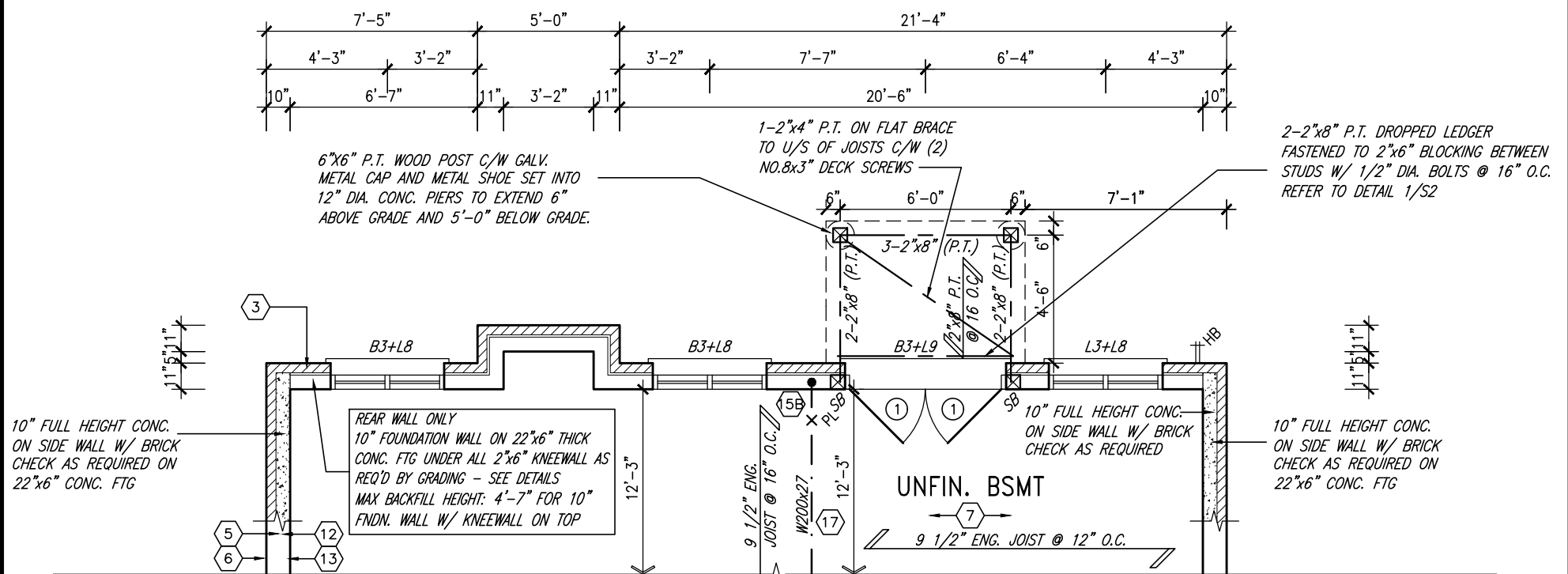
**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PART. GRND FLOOR PLAN  
W.O.B. CONDITION



PART. BASEMENT PLAN  
W.O.B. CONDITION

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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Toronto ON M2J 1R4  
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vg3design.com

## BAYVIEW WELLINGTON

**S42-17**  
RIDEAU 17

project name	municipality
GREEN VALLEY EAST	BRADFORD, ON.

project no.  
13045

date  
SEPT 2016

PARTIAL PLANS – W.O.B. CONDITION

Drawing no.

drawn by	checked by	scale	file name
BD.BIM	-	3/16" = 1'-0"	16023-S42-17-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42"\16023-S42-17-10GRND.dwg - Thu - Jul 29 2021 - 10:51 AM			

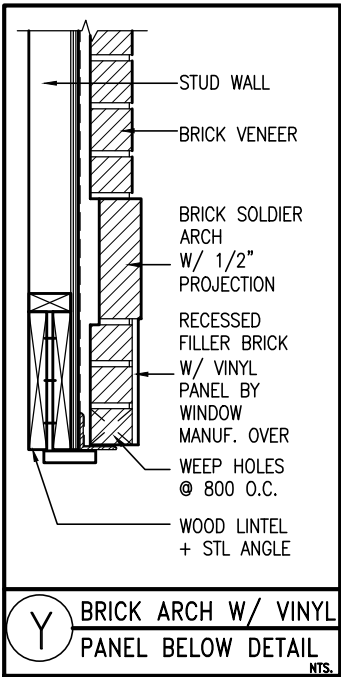
21



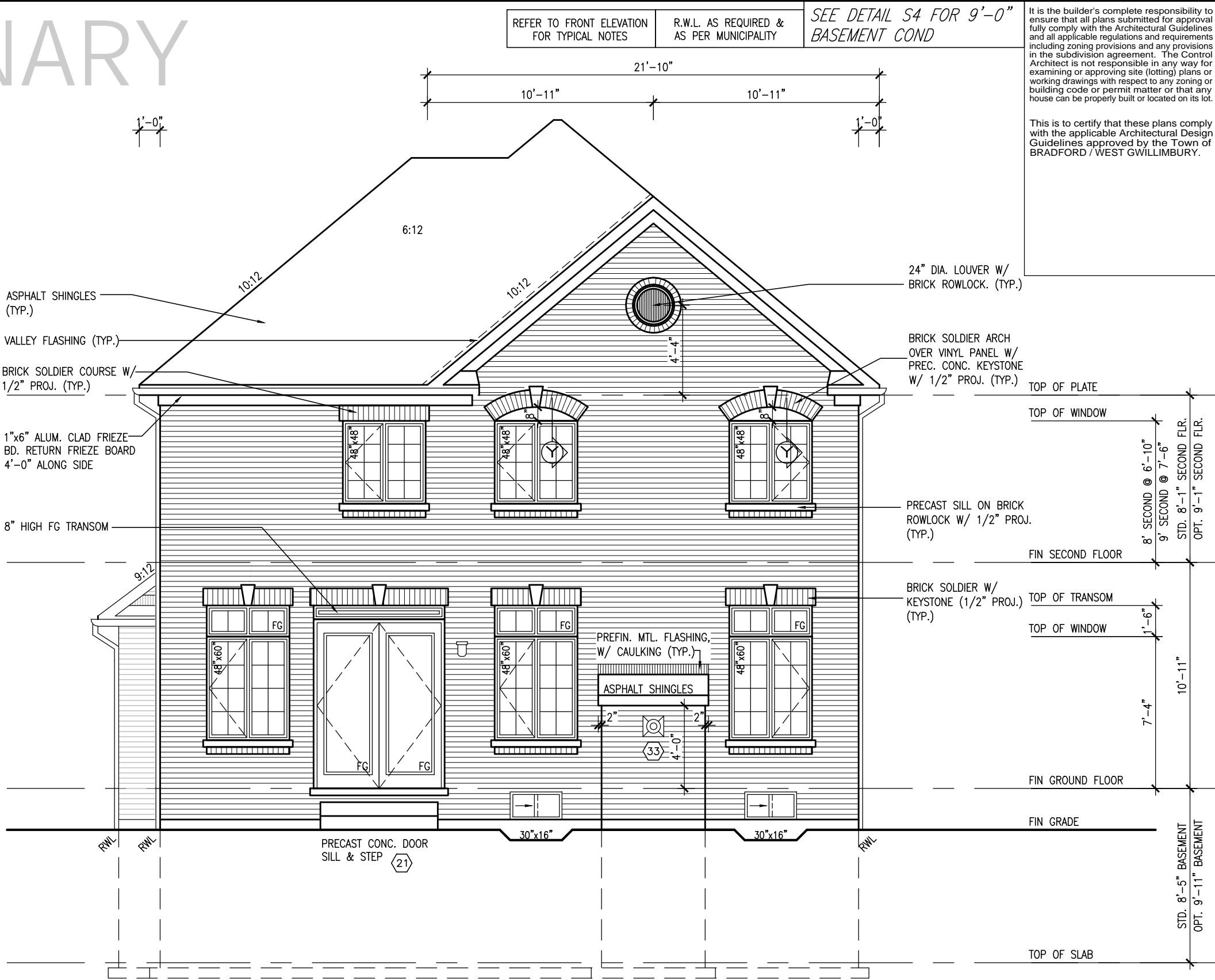


PRELIMINARY

ROOF PLAN 'A'  
N.T.S.



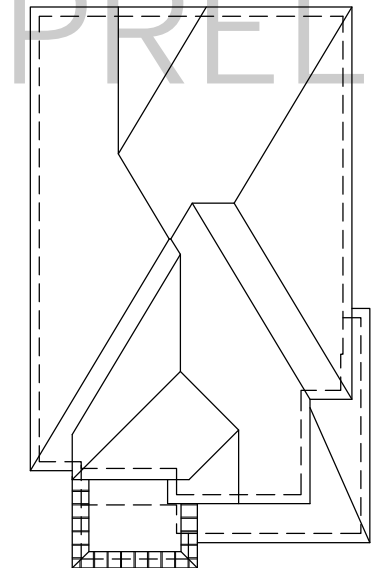
REAR UPGRADE ELEVATION 'A'



REFER TO FRONT ELEVATION FOR TYPICAL NOTES		R.W.L. AS REQUIRED & AS PER MUNICIPALITY		SEE DETAIL S4 FOR 9'-0" BASEMENT COND		It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.	
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.		project no. 13045		drawing no. 23		file name 16023-S42-17-10GRND	
checked by BD,BIM		scale 3/16" = 1'-0"		date SEPT 2016		municipality BRADFORD, ON.	
drawn by BD,BIM		project name GREEN VALLEY EAST		project no. S42-17		drawing no. RIDEAU 17	
date OCT 21/16		project name ELEVATION 'A' REAR UPGRADE		project no. 13045		drawing no. 23	
no. description		date		no. description		date	
1 REVISED BASEMENT WALLS TO BE 10"		OCT 21/16		1 REVISED BASEMENT WALLS TO BE 10"		OCT 21/16	
2 REVISED AS PER ENG'S COMMENTS		FEB 12-18		2 REVISED AS PER ENG'S COMMENTS		FEB 12-18	
3 ADDED OPT. 9' BASEMENT		JUN 17-21		3 ADDED OPT. 9' BASEMENT		JUN 17-21	
4 10' GROUND FLOOR		JUN 17-21		4 10' GROUND FLOOR		JUN 17-21	
9 .		.		9 .		.	
8 .		.		8 .		.	
7 .		.		7 .		.	
6 .		.		6 .		.	
5 .		.		5 .		.	
4 .		.		4 .		.	
3 .		.		3 .		.	
2 .		.		2 .		.	
1 .		.		1 .		.	

ROOF PLAN 'B'

N.T.S.



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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**S42-17**  
RIDEAU 17

**BAYVIEW WELLINGTON**

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ON.	13045

date **SEPT 2016** ELEVATION 'B' REAR UPGRADE drawing no. **1**

24

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All data

## REAR UPGRADE ELEVATION 'B'

# 10<sup>9</sup> GROUND



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# 1

**1**

433

100

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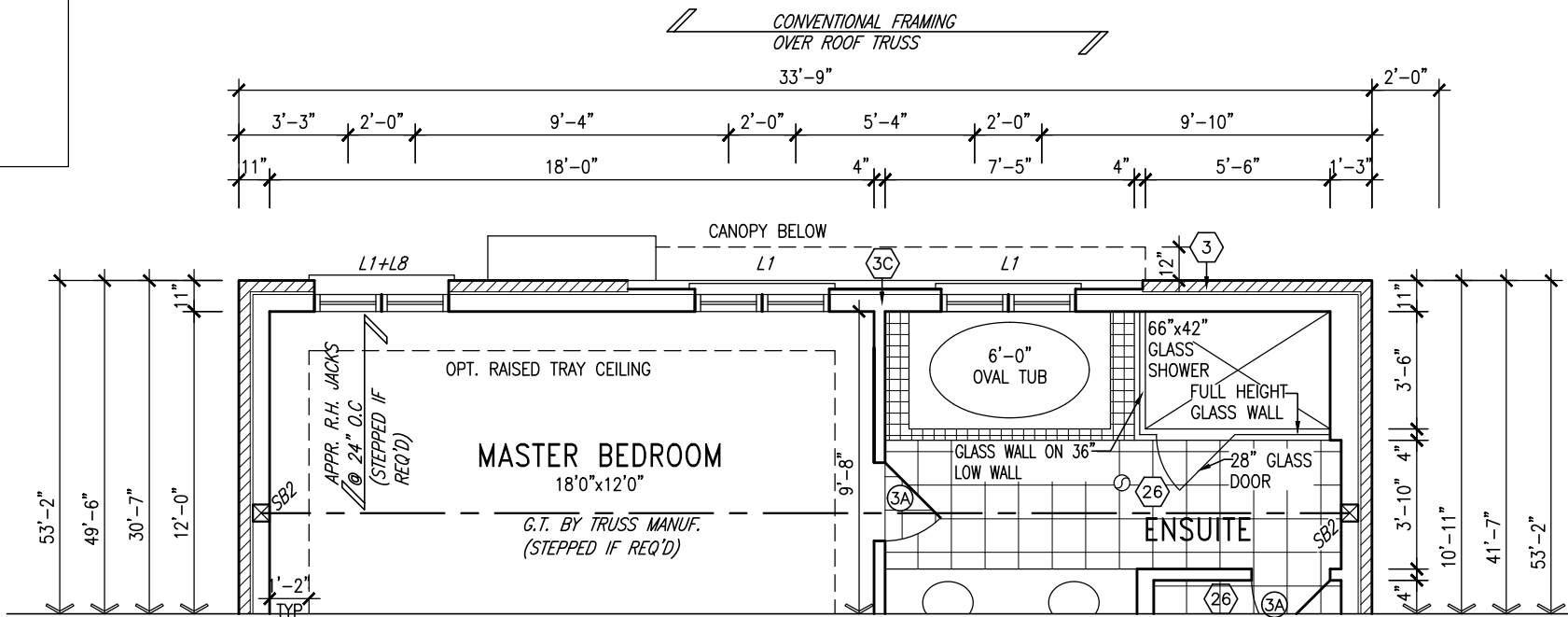
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

MINIARY

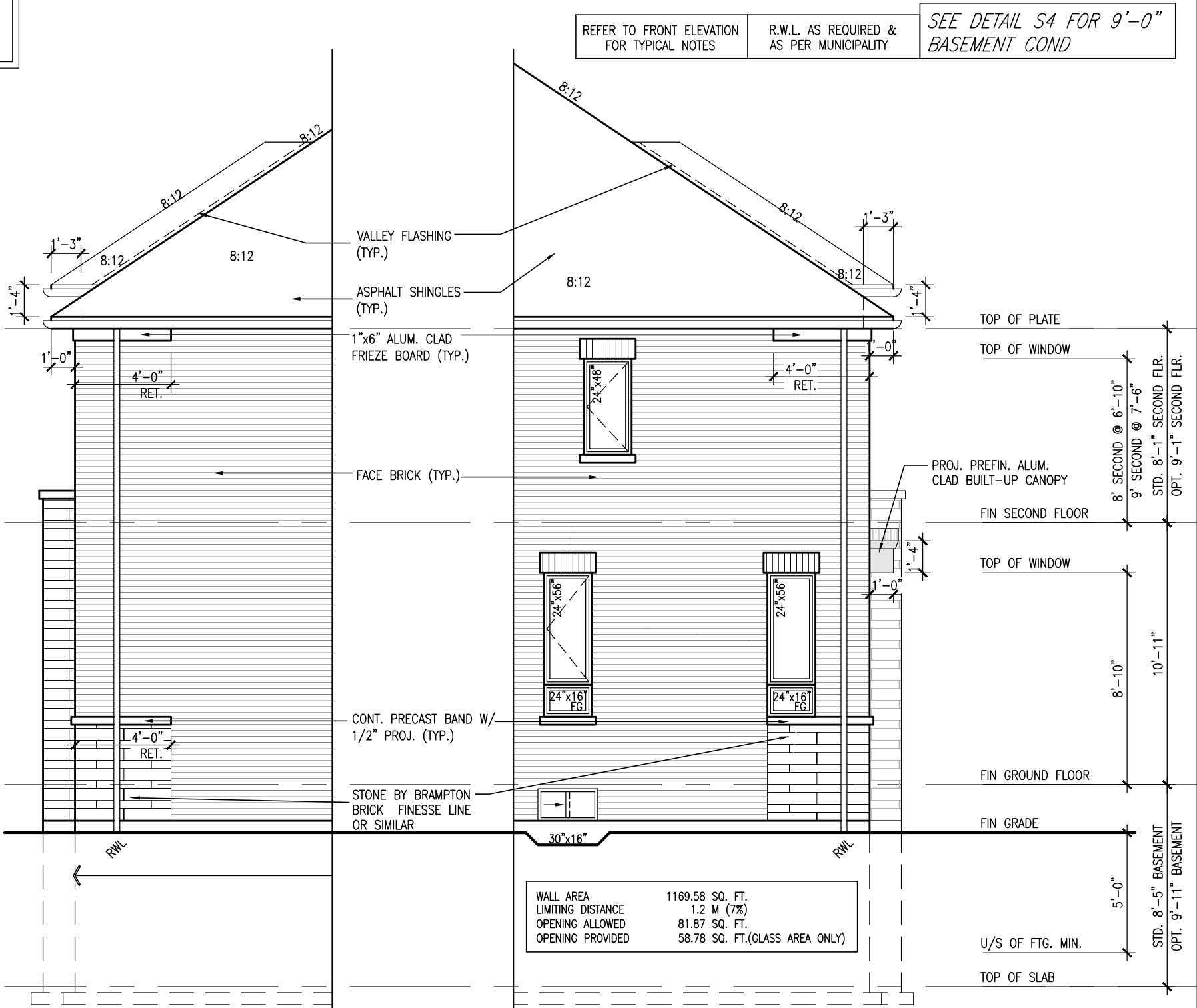
NOTE: ROOF FRAMING  
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:  
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL SECOND FLOOR PLAN  
ELEVATION 'C' REAR UPGRADE



PARTIAL LEFT SIDE ELEV. 'C'  
W/ REAR UPGRADE

PARTIAL RIGHT SIDE ELEV 'C'  
W/ REAR UPGRADE

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4	10' GROUND FLOOR	JUN 17-21 KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21 KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB
no.	description	date by

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BAYVIEW WELLINGTON

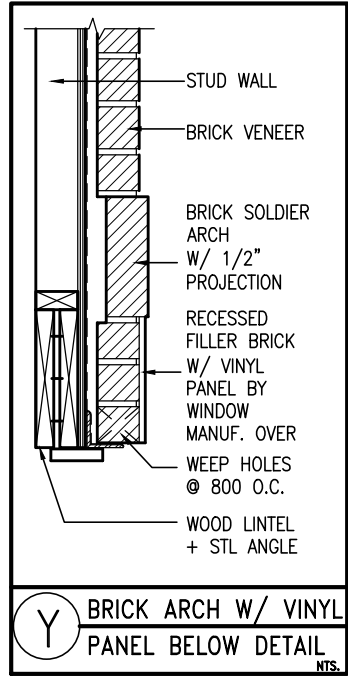
S42-17  
RIDEAU 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	ELEV 'C' REAR UPG SEC FL PLAN AND SIDE ELEV		drawing no.	26
drawn by	BD.BIM	checked by		scale	3/16" = 1'-0"
file name	16023-S42-17-10GRND				
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Jul 29 2021 - 10:51 AM					

REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 13045 drawing no. 27
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL

FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4"

TOP OF WINDOW

- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

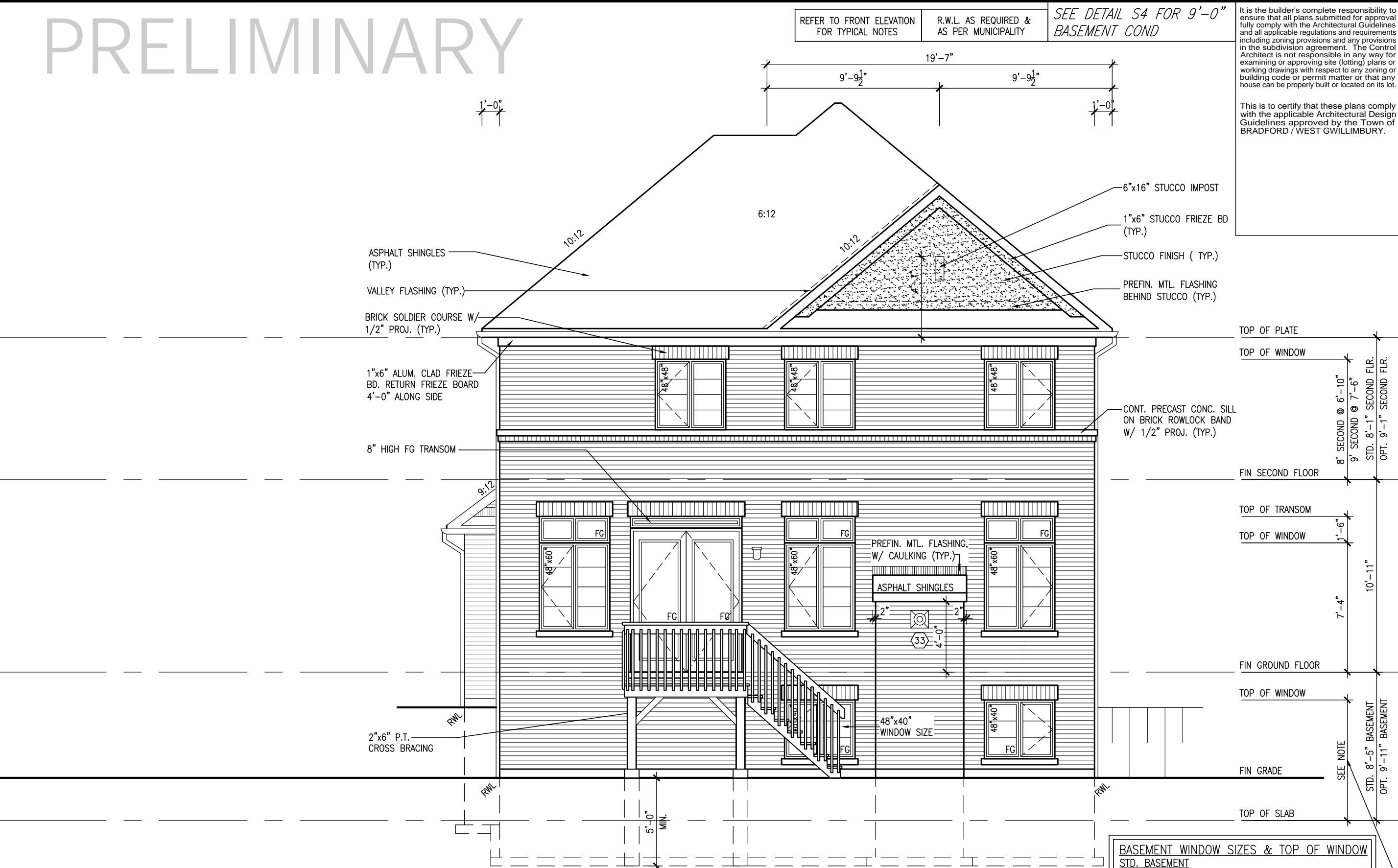
REAR UPGRADE ELEVATION 'A' W.O.D.

# 10<sup>9</sup> GROUND

[illegible]

PRELIMINARY

10' GROUND



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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TOP OF PLATE

TOP OF WINDOW

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

STD. 8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

1'-6"

7'-4"

10'-11"

FIN GROUND FLOOR

TOP OF WINDOW

SEE NOTE

STD. 8'-5" BASEMENT

OPT. 9'-11" BASEMENT

FIN GRADE

TOP OF SLAB

BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

project no.		13045	
drawing no.		28	
project name		S42-17 RIDEAU 17	
municipality		BRADFORD, ON.	
date		ELEVATION 'B' REAR UPGRADE W.O.D.	
drawn by		16023-S42-17-10GRND	
checked by		3/16" = 1'-0"	
scale		16023-S42-17-10GRND.dwg - Thu - Jul 29 2021 - 10:51 AM	
drawn by		BD,BM	
checked by		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-17-10GRND.dwg - Thu - Jul 29 2021 - 10:51 AM	
date		JUN 17-21 KL	
no.		description	
9			
8			
7			
6			
5			
4	10' GROUND FLOOR		
3	ADDED OPT. 9' BASEMENT		
2	REVISED AS PER ENG'S COMMENTS		
1	REVISED BASEMENT WALLS TO BE 10"		

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 13045 drawing no. 30
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Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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1'-0"

10'-11"

21'-10"

10'-11"

1'-0"

6:12

10:12

10:12

4'-4"

24" DIA. LOUVER W/ BRICK ROWLOCK. (TYP.)

BRICK SOLDIER ARCH OVER VINYL PANEL W/ PREC. CONC. KEYSTONE W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

STD. 8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

FIN SECOND FLOOR

8" HIGH FG TRANSOM

1"x6" ALUM. CLAD FRIEZE BD. RETURN FRIEZE BOARD 4'-0" ALONG SIDE

BRICK SOLDIER W/ KEYSTONE (1/2" PROJ.) (TYP.)

TOP OF TRANSOM

TOP OF WINDOW

1'-6"

10'-11"

7'-4"

FIN GROUND FLOOR

TOP OF WINDOW

6'-10"

STD. 8'-5" BASEMENT

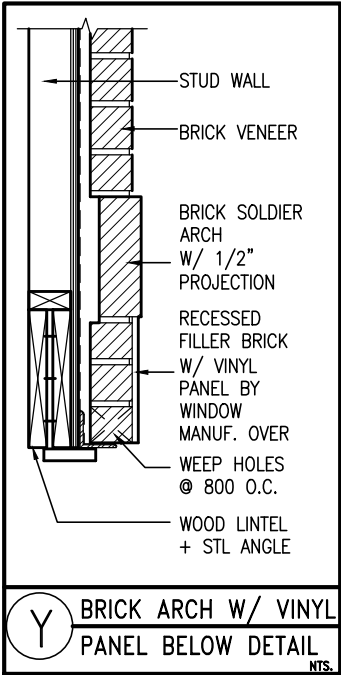
OPT. 9'-11" BASEMENT

TOP OF SLAB

FIN GRADE

5'-0" MIN.

REAR UPGRADE ELEVATION 'A' W.O.B.



REAR UPGRADE ELEVATION 'A' W.O.B.

# 10<sup>9</sup> GROUND

**BAYVIEW WELLINGTON**

**S42-17**  
RIDEAU 17

project name  
**GREEN VALLEY EAST**

BRADFORD, ON.

project no.  
13045

date  
SEPT 2016

PGRADE W.O.B..

drawn by	checked by
BD,BIM	-

$$\text{scale} = 1'-0''$$

30

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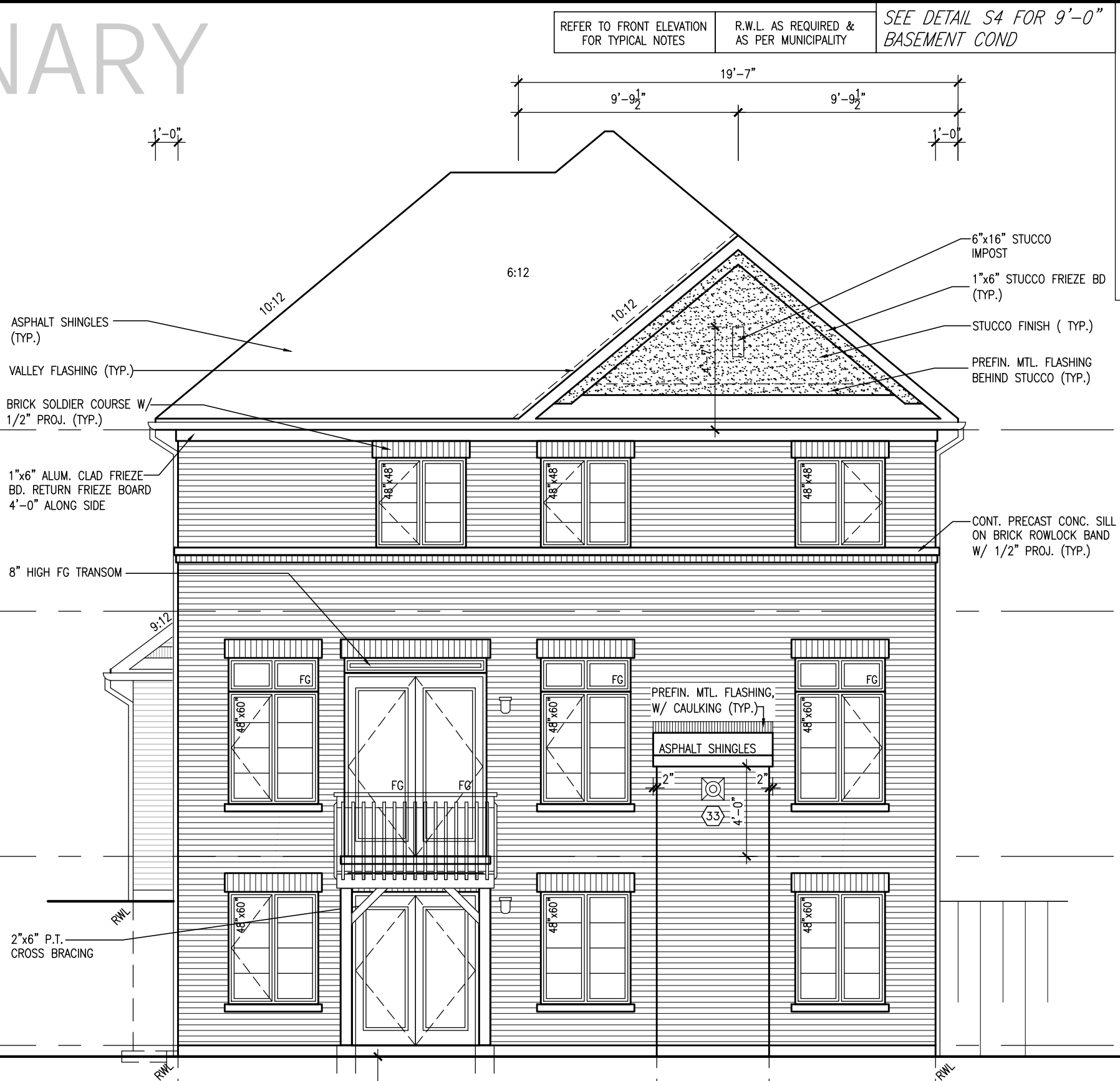
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4	10' GROUND FLOOR	JUN 17-21	KL	
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB	
no.	description	date	by	

PRELIMINARY

10' GROUND

REAR UPGRADE ELEVATION 'B' W.O.B.



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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project no.		project name		municipality		project no.	
13045		BAYVIEW WELLINGTON		BRADFORD, ON.		13045	
drawing no.		ELEVATION 'B' REAR UPGRADE		W.O.B.		31	
date		SEPT 2016		file name		16023-S42-17-10GRND	
drawn by		BD,BIM		checked by		3/16" = 1'-0"	
checked by		-		scale		16023-S42-17-10GRND.dwg - Thu - Jul 29, 2021 - 10:51 AM	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
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drawn by		BD,BIM		checked by		-	
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drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
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checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
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drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
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drawn by		BD,BIM		checked by		-	
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drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
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checked by		-		scale		3/16" = 1'-0"	
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drawn by		BD,BIM		checked by		-	
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checked by		-		scale		3/16" = 1'-0"	
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checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
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checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-		scale		3/16" = 1'-0"	
drawn by		BD,BIM		checked by		-	
checked by		-					



PRELIMINARY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3874.88 S.F.	505.61 S.F.	13.05 %	
TOTAL SQ. M.	359.99 S.M.	46.97 S.M.	13.05 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3869.12 S.F.	498.27 S.F.	12.88 %	
TOTAL SQ. M.	359.45 S.M.	46.29 S.M.	12.88 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 E.L.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3896.15 S.F.	525.22 S.F.	13.48 %	
TOTAL SQ. M.	361.96 S.M.	48.79 S.M.	13.48 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'c' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	742.50 S.F.	182.61 S.F.	24.59 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3896.15 S.F.	521.89 S.F.	13.40 %	
TOTAL SQ. M.	361.96 S.M.	48.48 S.M.	13.40 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4009.88 S.F.	525.61 S.F.	13.11 %	
TOTAL SQ. M.	372.53 S.M.	48.83 S.M.	13.11 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4004.12 S.F.	518.27 S.F.	12.94 %	
TOTAL SQ. M.	371.99 S.M.	48.15 S.M.	12.94 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 E.L.C W/ WOD 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4031.15 S.F.	545.22 S.F.	13.53 %	
TOTAL SQ. M.	374.50 S.M.	50.65 S.M.	13.53 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'c' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	877.50 S.F.	202.61 S.F.	23.09 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4031.15 S.F.	541.89 S.F.	13.44 %	
TOTAL SQ. M.	374.50 S.M.	50.34 S.M.	13.44 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4108.32 S.F.	597.67 S.F.	14.55 %	
TOTAL SQ. M.	381.67 S.M.	55.52 S.M.	14.55 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4102.56 S.F.	590.33 S.F.	14.39 %	
TOTAL SQ. M.	381.14 S.M.	54.84 S.M.	14.39 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 E.L.C W/ WOB 9' SECOND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4129.59 S.F.	617.28 S.F.	14.95 %	
TOTAL SQ. M.	383.65 S.M.	57.35 S.M.	14.95 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'c' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	975.94 S.F.	274.67 S.F.	28.14 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4129.59 S.F.	613.95 S.F.	14.87 %	
TOTAL SQ. M.	383.65 S.M.	57.04 S.M.	14.87 %	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

9

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1

no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

JUN 17-21 KL

JUN 17-21 KL

FEB 12-18 RC

OCT 21/16 SB

GREEN VALLEY EAST

BAYVIEW WELLINGTON

S42-17

RIDEAU 17

BRADFORD, ON.

OPT. 9' SECOND FLOOR

SB12 – W/

project name

municipality

project no.

drawing no.

date

checked by

drawn by

scale

file name

SEPT 2016

BD,BIM

BD,BIM

3/16" = 1'-0"

16023-S42-17-10GRND

VA3

DESIGN

255 Consumers Rd. Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vo3design.com

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project no.

13045

drawing no.

33

16023-S42-17-10GRND.dwg - Thu - Jul 29 2021 - 10:52 AM

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

JUN 17-21 KL

JUN 17-21 KL

FEB 12-18 RC

OCT 21/16 SB

no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

JUN 17-21 KL

JUN 17-21 KL

FEB 12-18 RC

OCT 21/16 SB

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<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12.3.1.1(7))		<u>U</u>
S42-17 FL A WOB W/9' BSMT+8' 2ND	<b>ENERGY EFFICIENCY – OBC SB12</b>	S42-17 FL

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 ELA WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3983.94 S.F.	597.67 S.F.	15.00 %
TOTAL SQ. M.	370.12 S.M.	55.52 S.M.	15.00 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3979.35 S.F.	590.33 S.F.	14.83 %
TOTAL SQ. M.	369.69 S.M.	54.84 S.M.	14.83 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4005.22 S.F.	617.28 S.F.	15.41 %
TOTAL SQ. M.	372.09 S.M.	57.35 S.M.	15.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	992.81 S.F.	274.67 S.F.	27.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4005.22 S.F.	613.95 S.F.	15.33 %
TOTAL SQ. M.	372.09 S.M.	57.04 S.M.	15.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.A WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	765.92 S.F.	156.34 S.F.	20.41 %
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4158.94 S.F.	597.67 S.F.	14.37 %
TOTAL SQ. M.	386.37 S.M.	55.52 S.M.	14.37 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.33 S.F.	149.00 S.F.	19.57 %
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4153.18 S.F.	590.33 S.F.	14.21 %
TOTAL SQ. M.	385.84 S.M.	54.84 S.M.	14.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	781.31 S.F.	156.61 S.F.	20.04 %
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4180.21 S.F.	617.28 S.F.	14.77 %
TOTAL SQ. M.	388.35 S.M.	57.35 S.M.	14.77 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	781.31 S.F.	156.61 S.F.	20.04 %
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %
REAR	1026.56 S.F.	274.67 S.F.	26.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4180.21 S.F.	613.95 S.F.	14.69 %
TOTAL SQ. M.	388.35 S.M.	57.04 S.M.	14.69 %


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4	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21 KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB
no.	description	date by

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**VA3  
DESIGN**

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[vo3design.com](http://vo3design.com)

<h1>BAYVIEW WELLINGTON</h1>	<b>S42-17</b> RIDEAU 17
	project name <b>GREEN VALLEY EAST</b>
	municipality <b>BRADFORD, ON.</b>
	project no. <b>13045</b>
date <b>SEPT 2016</b>	drawing no. <b>34</b>
drawn by <b>BD.BM</b>	file name <b>16023-S42-17-10CRND</b>
checked by <b>-</b>	scale <b>3/16" = 1'-0"</b>
<b>SB12 - OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND</b>	
<small>RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-17-10CRND.dwg - Thu Jul 29 2021 - 10:52 AM</small>	

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