

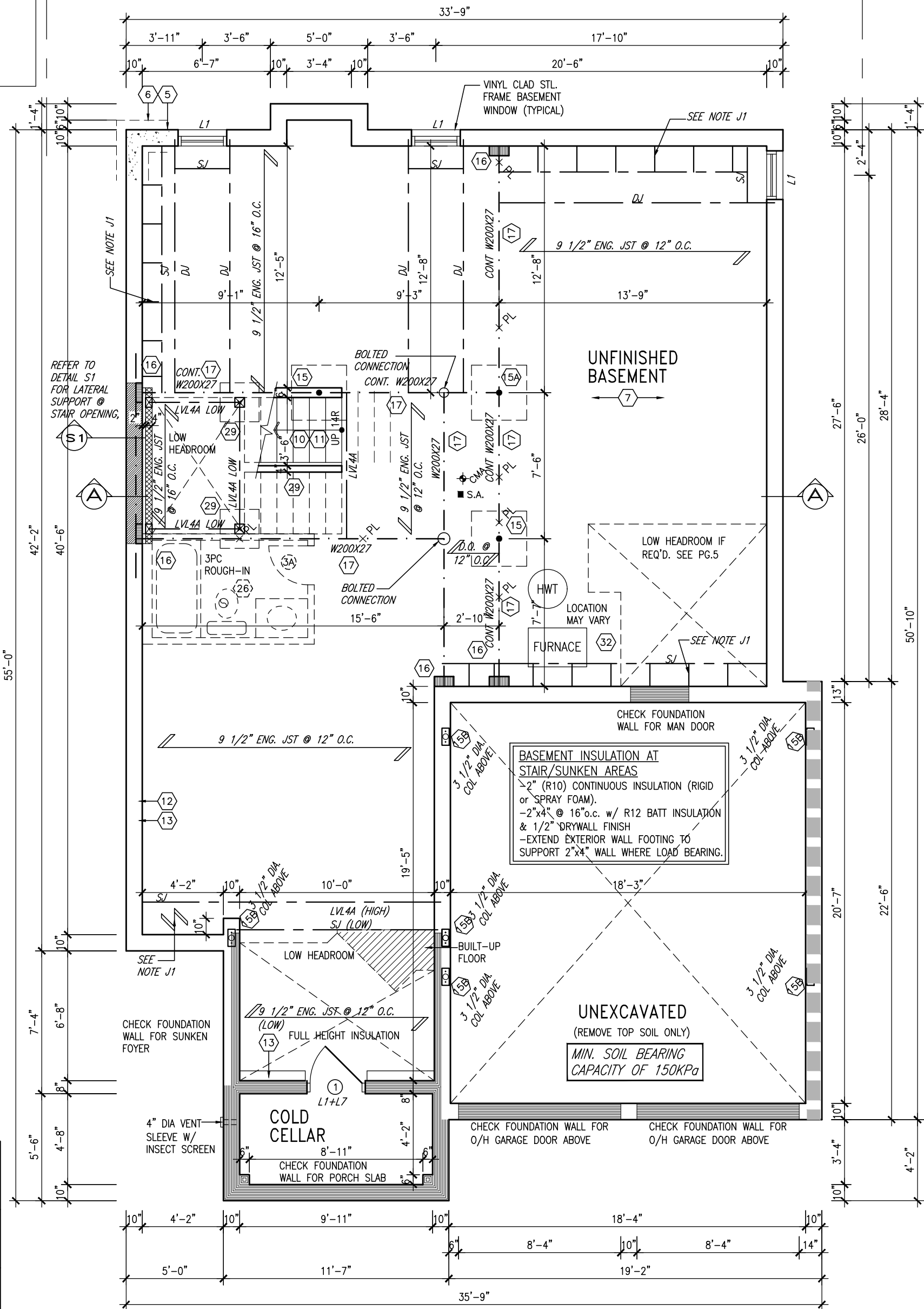
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PROPERTY LINE

PROPERTY LINE

10' GROUND



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 4

BASEMENT PLAN 'A'

INDICATES REDUCED SIDE YARD

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUN 21-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21 KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON		S42-16 RIDEAU 16	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	JAN. 2017	project no.	16023
drawn by	SB	checked by	scale
			3/16" = 1'-0"
BASEMENT PLAN 'A'		file name	16023-S42-16-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:44 AM		drawing no.	1

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10' GROUND

SEE DETAIL S4
FOR 9'-0"
BASEMENT COND

NOTE W1
PROVIDE 2-15M FULL HEIGHT
VERTICAL REBARS EACH SIDE
OF OPENING + 2-15M HORIZ.
REBARS BELOW AND EXTEND
24" BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

NOTE: FLOOR FRAMING INFO
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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

date
JAN. 2017

drawn by
SB

checked by
.

scale
3/16" = 1'-0"

BASEMENT PLAN 'A'

file name
16023-S42-16-10GRND

drawing no.
1A

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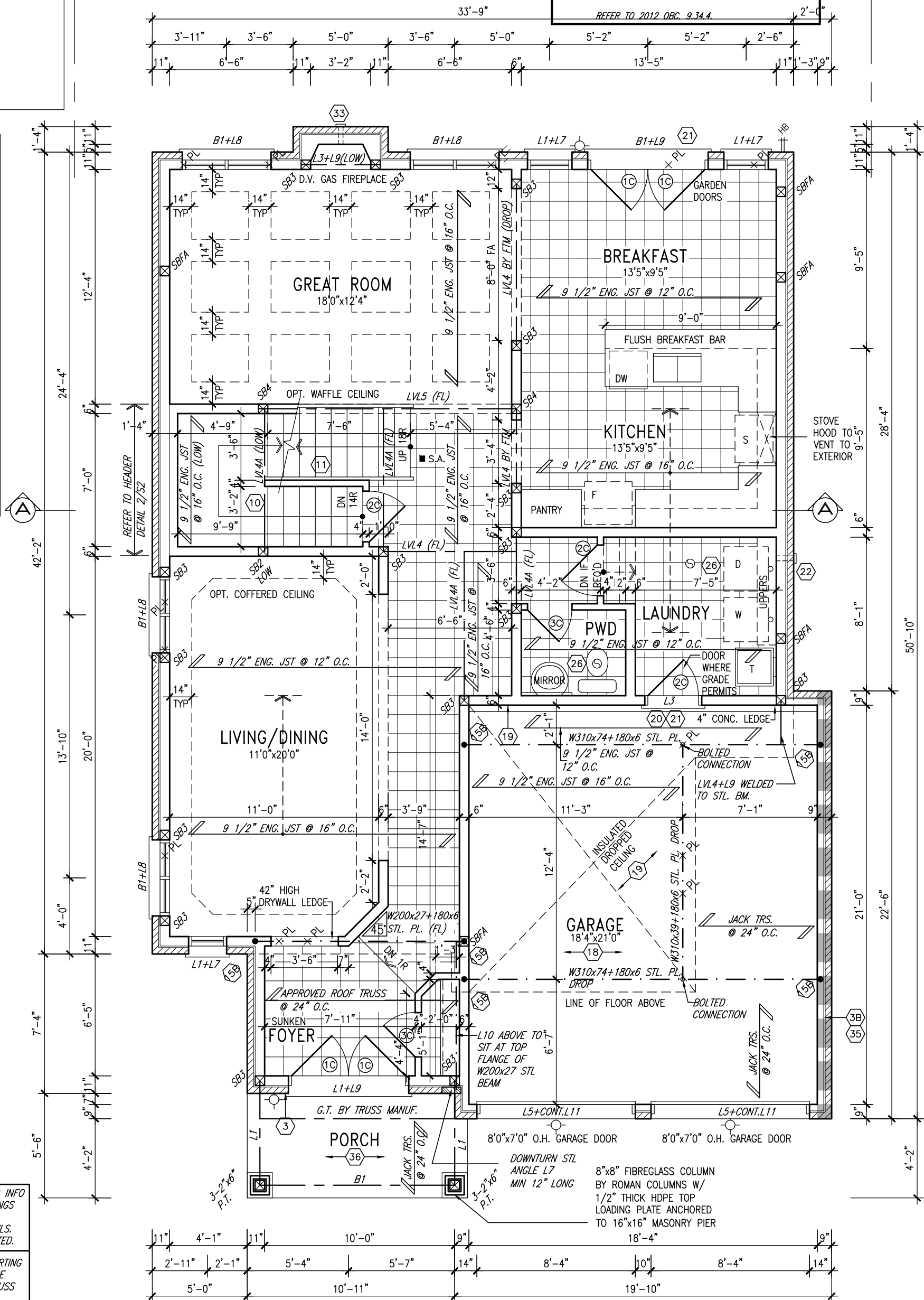
PROPERTY LINE

EVC5 **ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)**

ROUGH IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
COMPARTMENT/CONTAINMENT SEPARATION
ROUGH IN FOR FUTURE VENTS TO BE SEPARATED A
MINIMUM 100mm (4") FROM EXHAUSTS FOR CONTAMINATION
PER CODE THAT IS AT LEAST 2" **1 1/16" (27mm)**
• 12" HIGH EXHAUST 3.0m
• 12" HIGH PARKING SPACE ROAD 1.5m
• A 3" DIA. 1" LONG EXHAUST 3.0m
• electrical outlet box
KIT - EX-NOTE - 2020.dwg
Fumeproofed Electrical outlet box to be installed
in the Garage or carport or adjacent to
driveway.

PROPERTY LINE

10 Ground



NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

INDICATES REDUCED SIDE YARD

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		drawing no. 2			
GROUND FLOOR PLAN 'A'					
drawn by SB		checked by .		scale 3/16" = 1'-0"	
				file name 16023-S42-16-10GRND	
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10' GROUND

GRAB BAR NOTE:

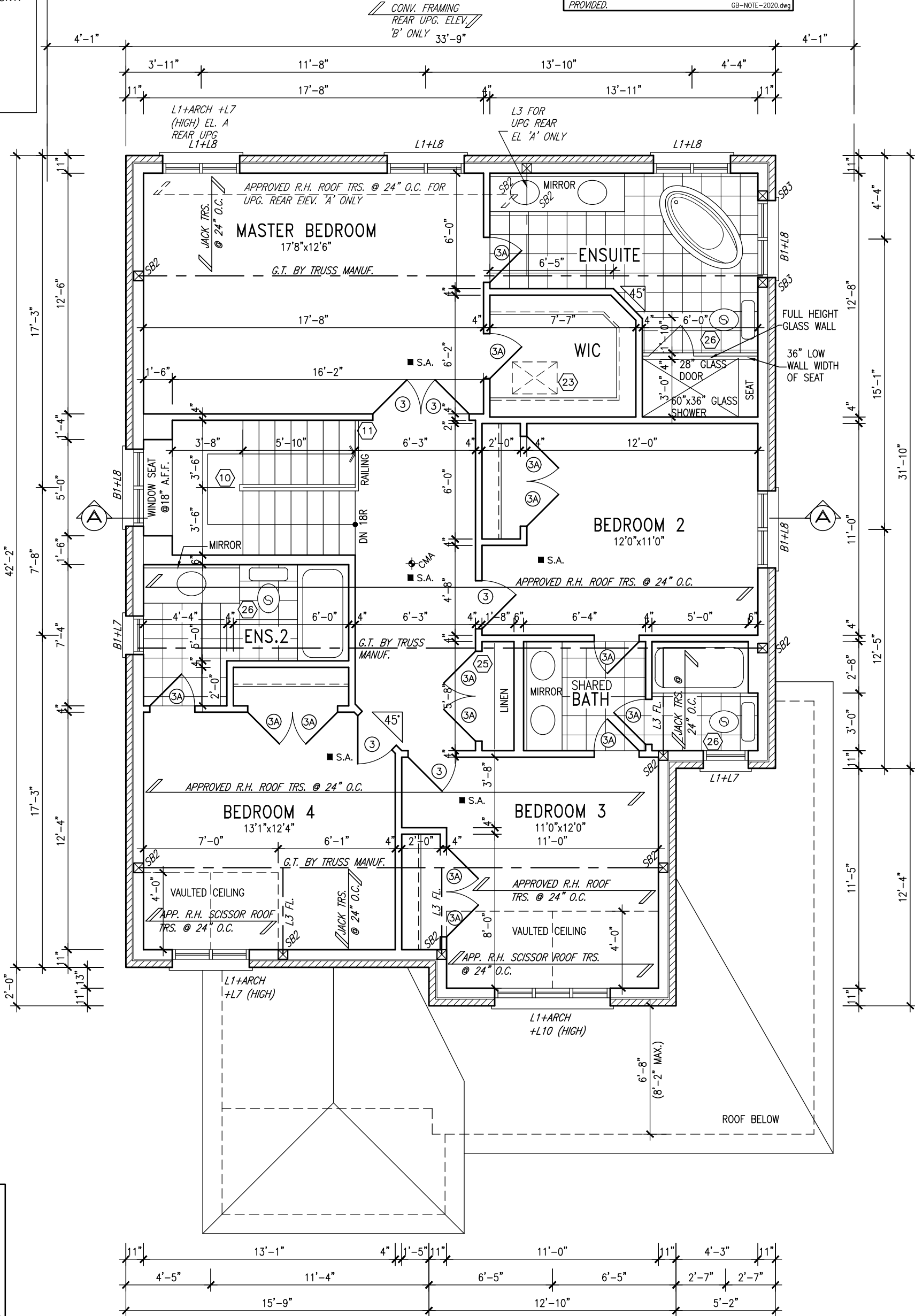
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

PROPERTY LINE

PROPERTY LINE



NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

SECOND FLOOR PLAN 'A'

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
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BAYVIEW WELLINGTON		S42-16 RIDEAU 16	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date JAN. 2017	drawn by SB	checked by scale 3/16" = 1'-0"	file name 16023-S42-16-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:44 AM		drawing no. 3	

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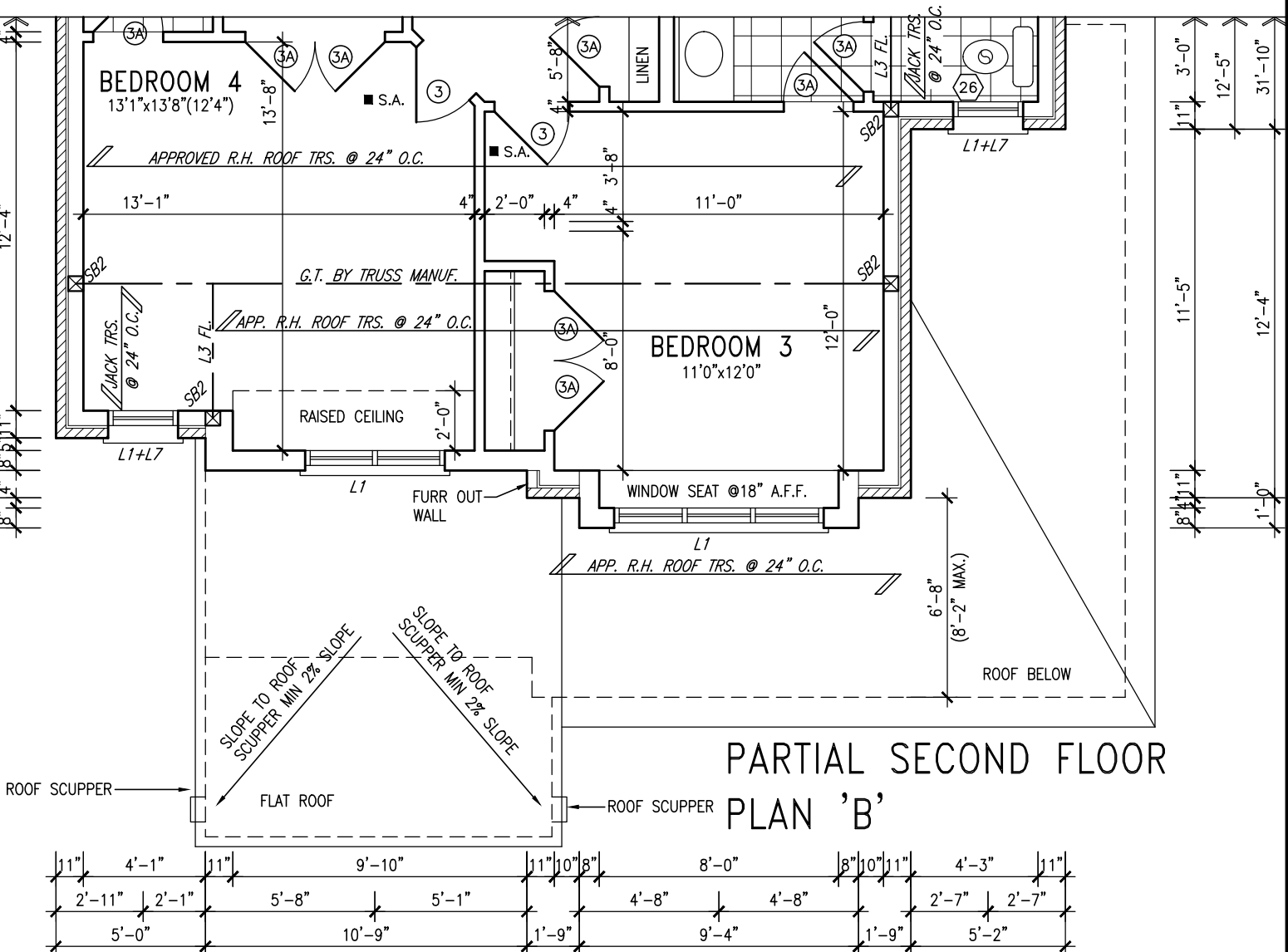
AREA CALCULATIONS

	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1291.8 SF	1291.8 SF	1291.8 SF
SECOND FLOOR AREA	1395.4 SF	1416.4 SF	1405.5 SF
SUBTOTAL	2687.2 SF	2708.2 SF	2697.3 SF
DEDUCT ALL OPENINGS	0 SF	0 SF	0 SF
TOTAL NET AREA	2687 SF	2708 SF	2697 SF
	249.7 m2	251.6 m2	250.6 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2687 SF	2708 SF	2697 SF
W/ FIN BSMT	249.7 m2	251.6 m2	250.6 m2
COVERAGE W/O PORCH	1709.4 SF	1709.5 SF	1709.5 SF
	158.8 m2	158.8 m2	158.8 m2
COVERAGE W/PORCH	1772.2 SF	1778.0 SF	1778.0 SF
	164.6 m2	165.2 m2	165.2 m2

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

10' GROUND

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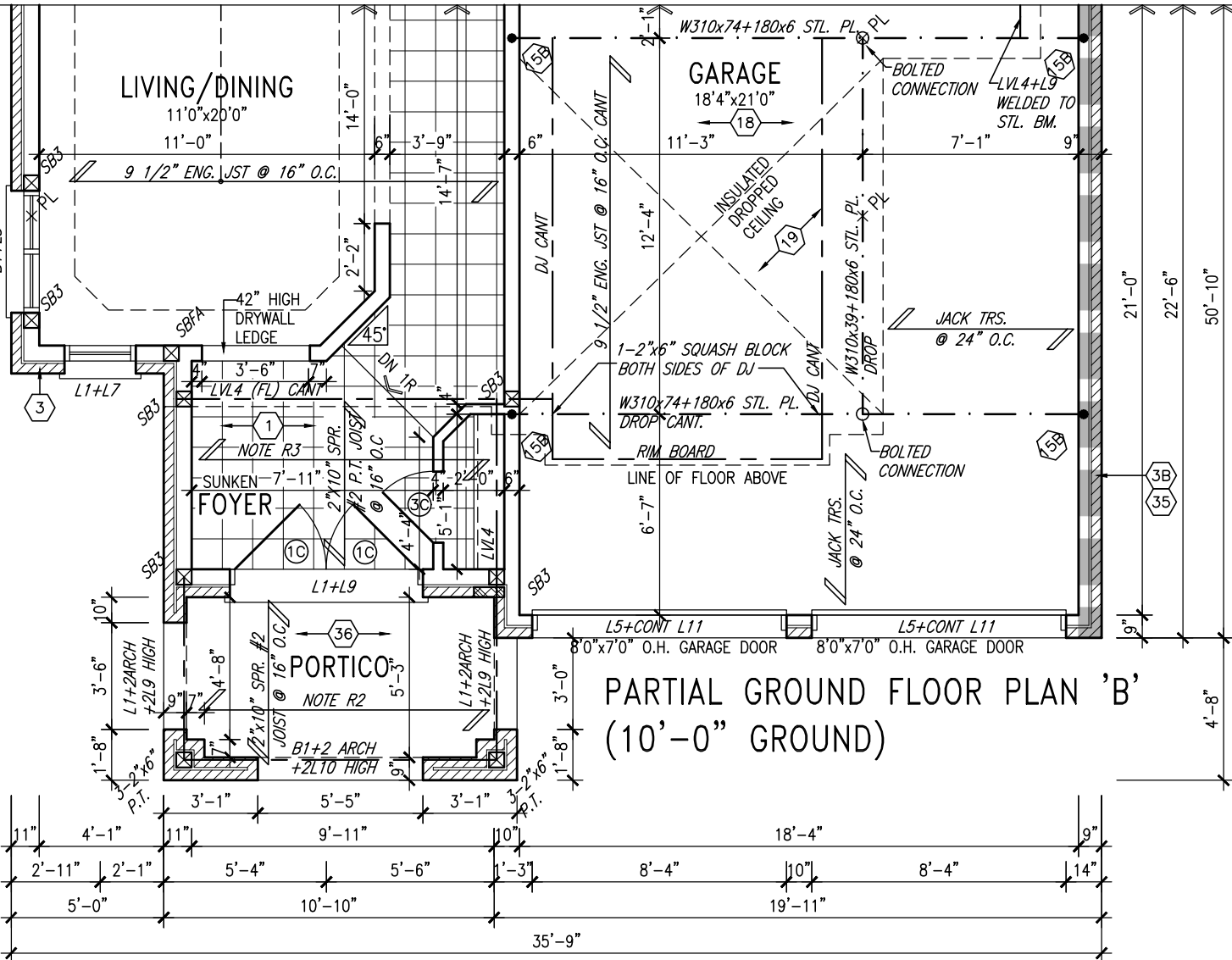
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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE R2:
TWO PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x10" SPF. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE R3:
TWO PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x10" SPF. JOISTS @ 16" O.C. W/ SPRAY FOAM INSULATION R31 A/V BARRIER 5/8" GYPSUM BOARD

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg



INDICATES REDUCED SIDE YARD

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4	10' GROUND FLOOR	JUN 21-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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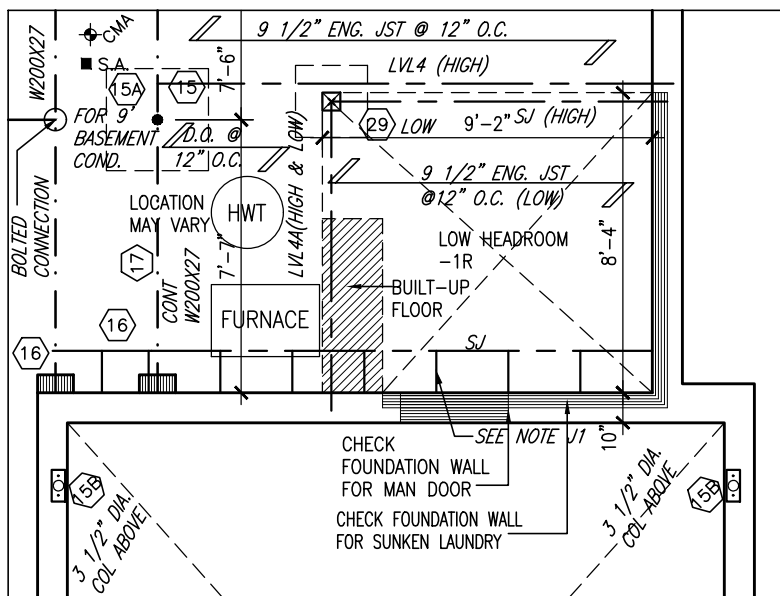
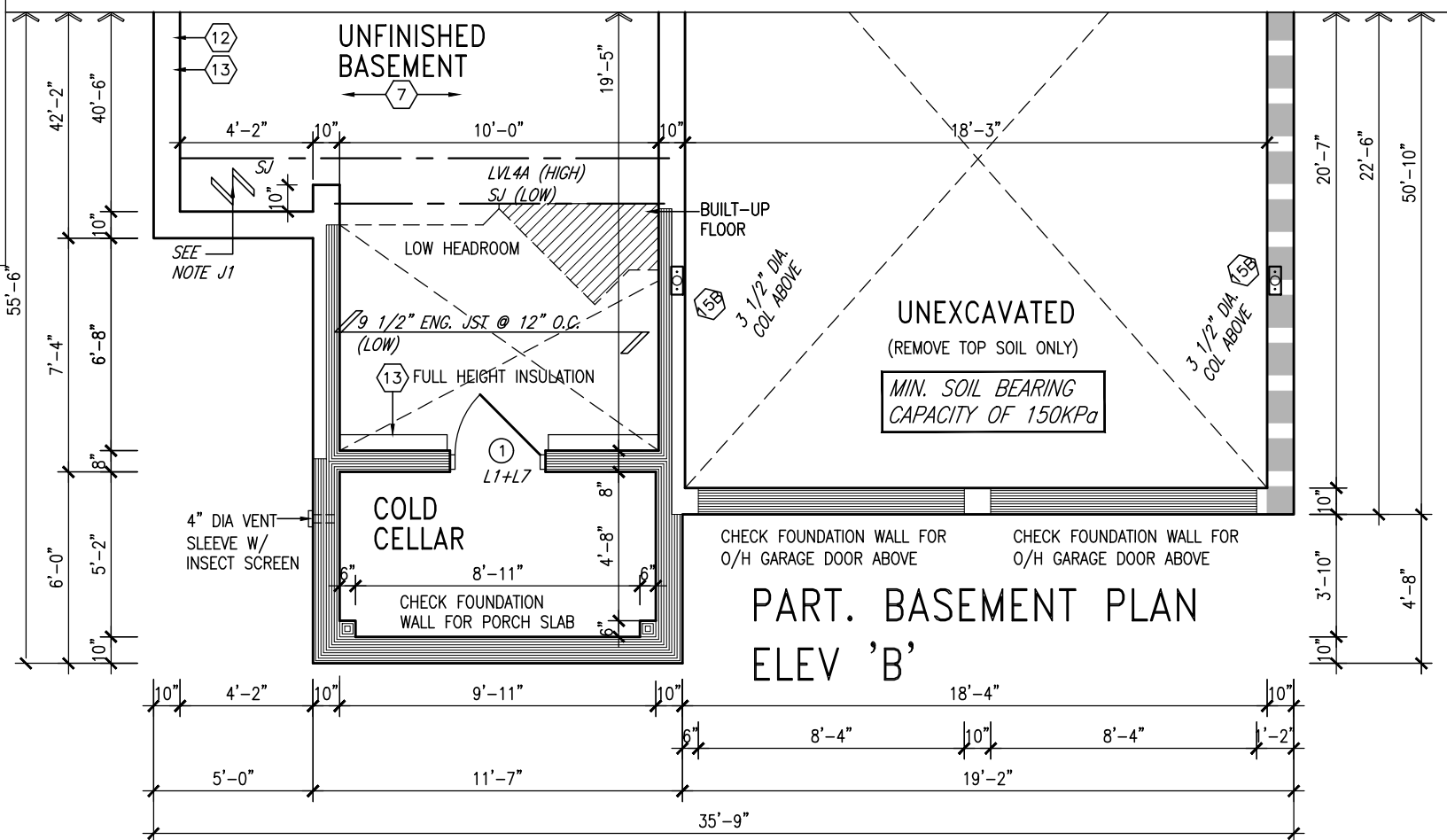
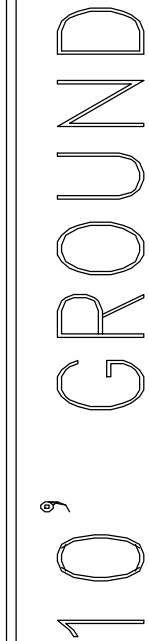
BAYVIEW WELLINGTON

S42-16
RIDEAU 16

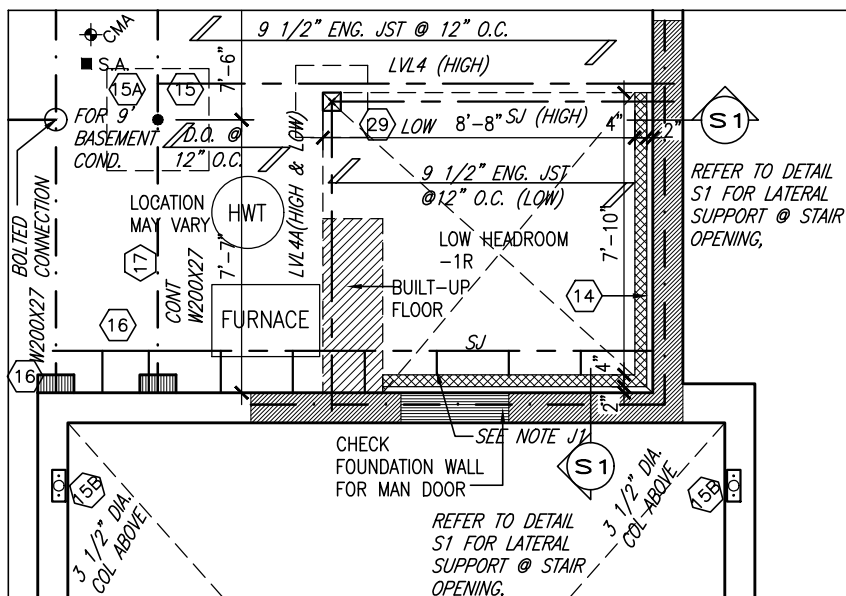
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date JAN. 2017	drawn by SB	checked by .
scale 3/16" = 1'-0"	file name 16023-S42-16-10GRND	drawing no. 4
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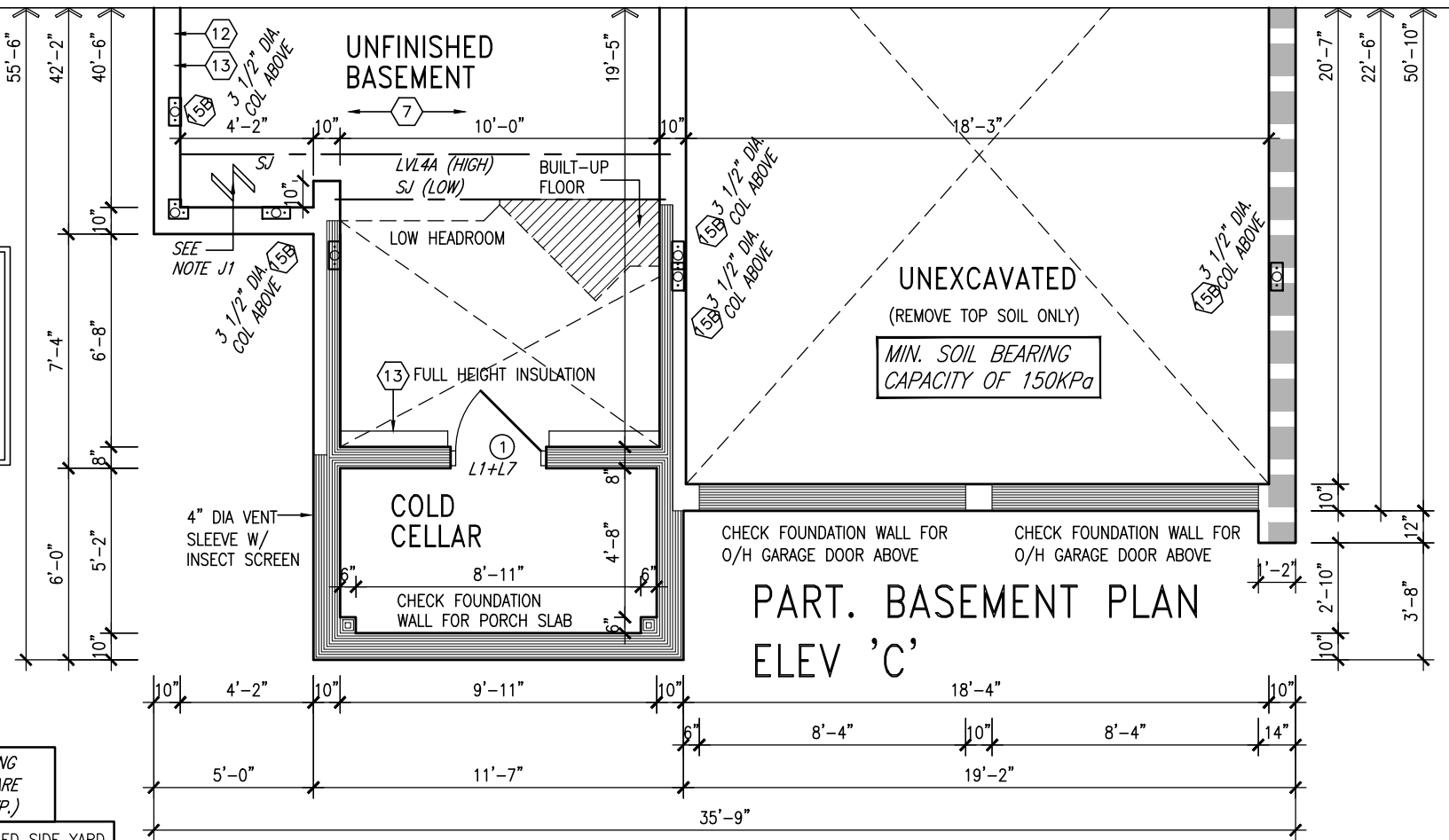
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES



PARTIAL SUNKEN LAUNDRY
1R CONDITION



PARTIAL SUNKEN LAUNDRY
2-3R CONDITION



BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING
TO SUPPORT 2"x4" WALL WHERE
LOAD BEARING.

NOTE: FLOOR FRAMING INFO
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NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

INDICATES REDUCED SIDE YARD

9	.	.	.
8	.	.	.
7	.	.	.
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5	.	.	.
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3	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
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The logo for VA3 DESIGN, featuring the letters 'VA3' in a large, bold, serif font, with 'DESIGN' in a smaller, bold, sans-serif font below it, separated by a horizontal line.

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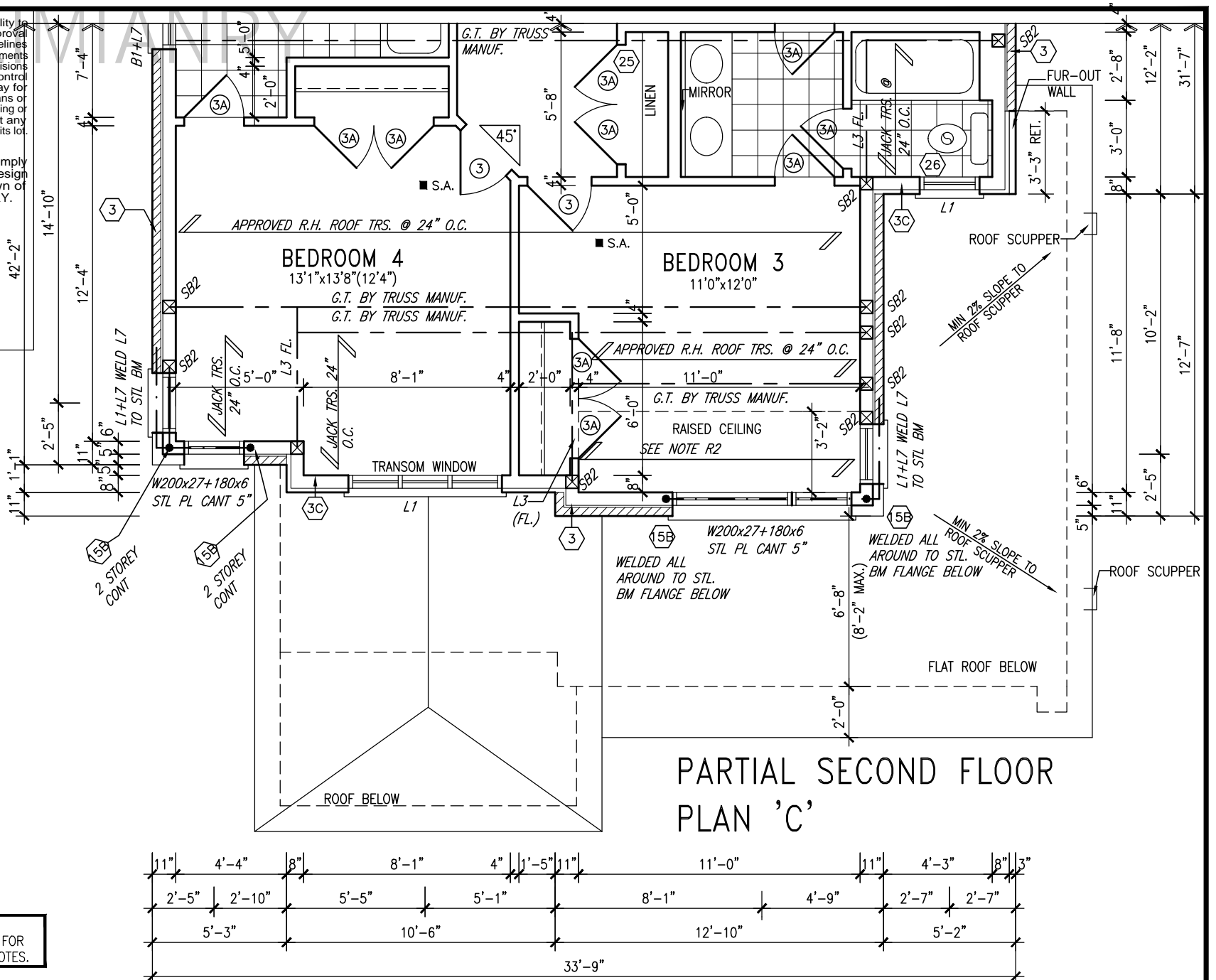
S42-16
RIDEAU 16

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		PARTIAL BASEMENT PLANS			
drawing no. 5		drawing no.			
drawn by SB		checked by 3/16" = 1'-0"		scale 16023-S42-16-10GRND	
file name RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-16-10GRND.dwg		Thu - Jul 29 2021 - 10:44 AM			

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INDICATES REDUCED SIDE YARD

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		PARTIAL PLANS ELEVATION 'C'			drawing no. 6
drawn by SB		checked by 3/16" = 1'-0"		file name 16023-S42-16-10GRND	
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STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH
W/ 1/2" PROJECTION

RECESSED FILLER BRICK
W/ VINYL PANEL BY WINDOW MANUF. OVER

WEEP HOLES @ 800 O.C.

WOOD LINTEL + STL ANGLE

Y

BRICK ARCH W/ VINYL PANEL BELOW DETAIL

NTS



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-16

RIDEAU 16

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

municipality

BRADFORD

project name

REAR ELEVATION 'A' UPGRADE

date

JAN. 2017

drawn by

SB

checked by

scale

3/16" = 1'-0"

file name

16023-S42-16-10GRND

drawing no.

11

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no.

description

date

by

9

8

7

6

5

4

10' GROUND FLOOR

JUN 21-21

KL

3

ADDED OPT. 9' BASEMENT

JUN 21-21

KL

2

REVISED AS PER ENG'S COMMENTS

FEB 08-18

RC

1

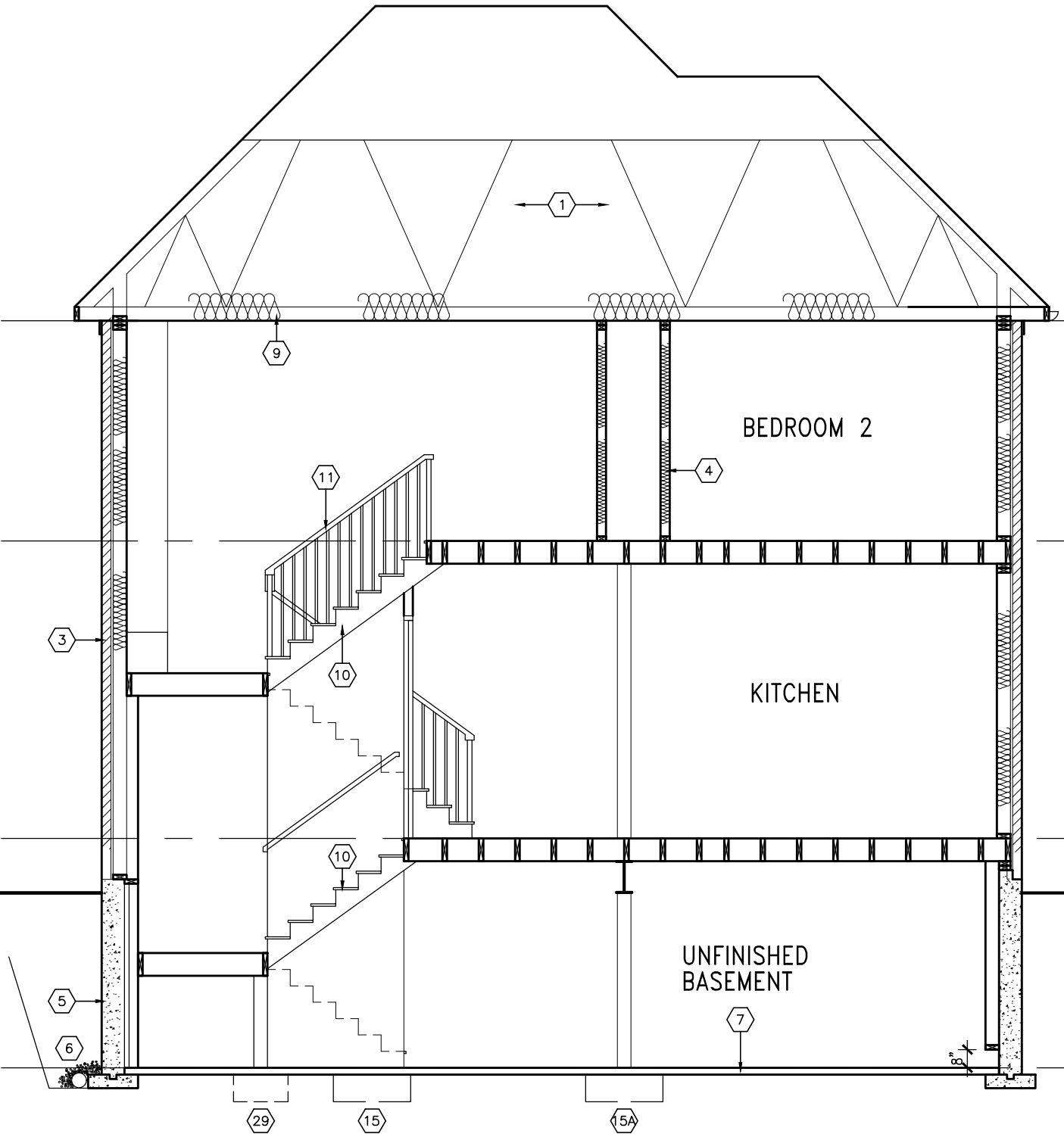
ISSUED FOR CLIENT REVIEW

PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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SECTION 'A-A'

10' GROUND

BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name
GREEN VALLEY EAST
municipality
BRADFORD
project no.
16023
drawing no.
12

VA3
DESIGN

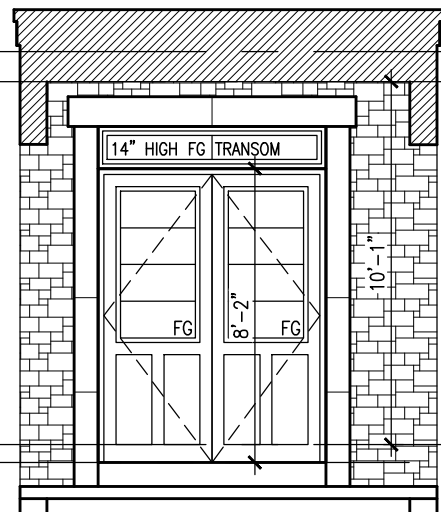
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no.	description	date	by
9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 21-21 KL	KL
3	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	RC
1	ISSUED FOR CLIENT REVIEW	.	.

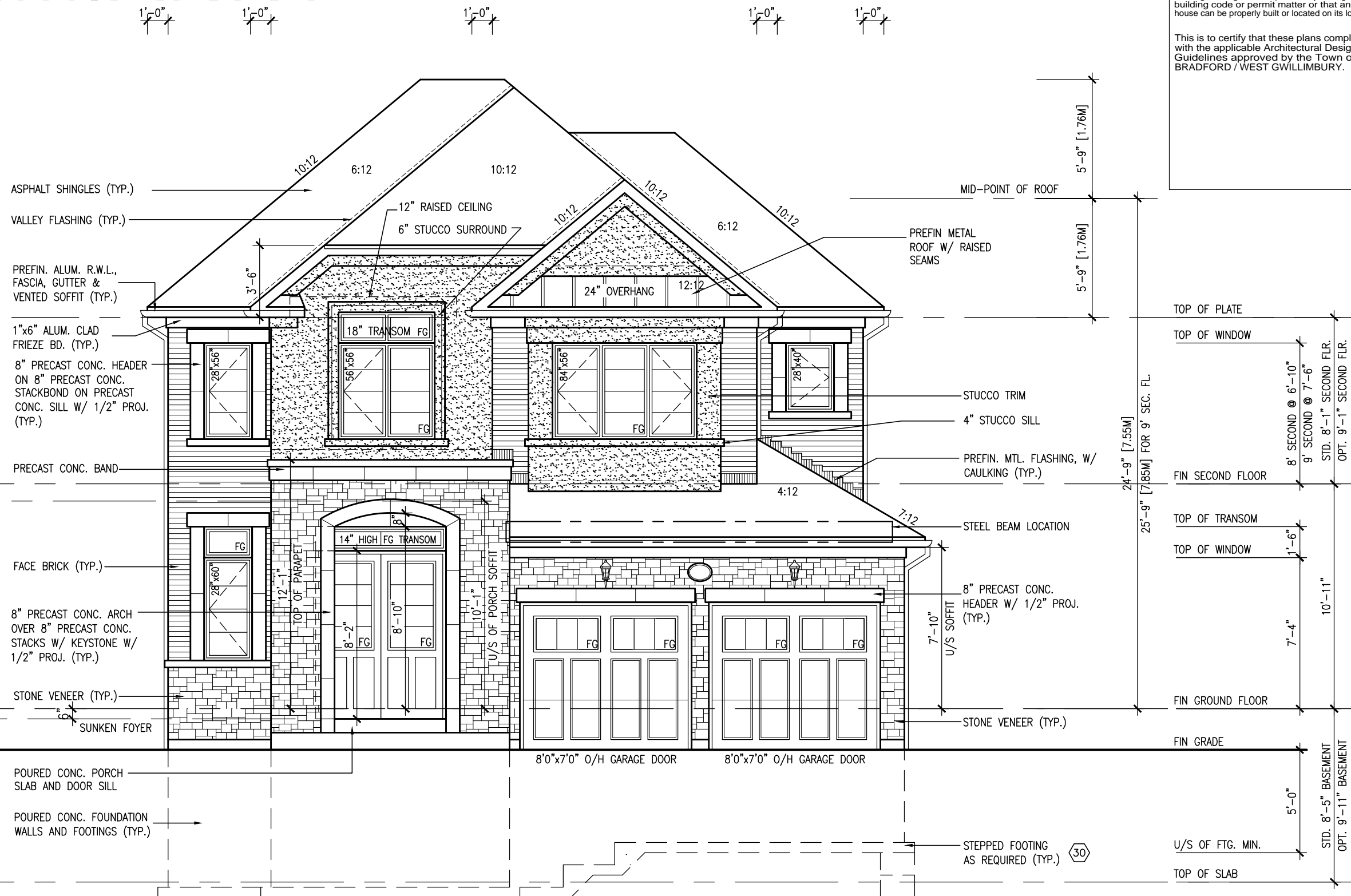
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ROOF PLAN 'B'



INSIDE VIEW OF
PORTICO
ELEVATION 'B'

10⁹ GROUND



FRONT ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD	
municipality	

DATE	DRAWING NO.	ELEVATION 'P'	DRAWING NO.

drawn by	checked by	scale	file name
JUAN. 2017			FRONT ELEVATION B

16023-S42-16-10GRND	3/16" = 1'-0"	16023-S42-16-10GRND
16023-S42-16-10GRND	16023-S42-16-10GRND	16023-S42-16-10GRND

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specifications, related documents and drawings.

of

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Drawings are not to be scaled.

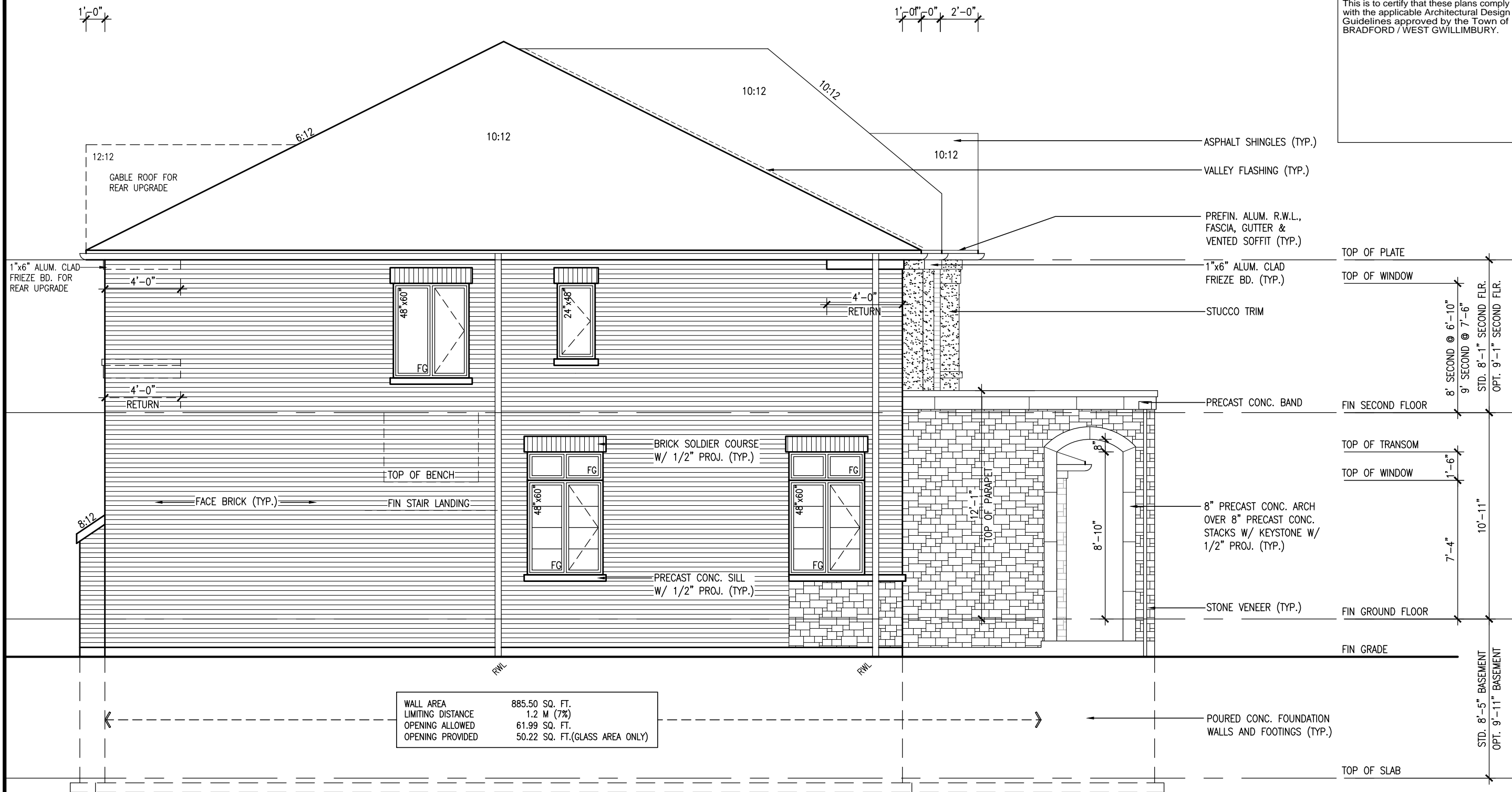
	9	.	JUN 21-21 KL
	8	.	JUN 21-21 KL
	7	.	FEB 08-18 RC
	6	.	
	5	.	
	4	10' GROUND FLOOR	
	3	ADDED OPT. 9' BASEMENT	
	2	REVISED AS PER ENG'S COMMENTS	
	1	ISSUED FOR CLIENT REVIEW	
		date	by
		description	

no.	description	date	by
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND
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LEFT SIDE ELEVATION 'B'

10⁹ GROUND

9	.	.	.
8	.	.	.
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4	10' GROUND FLOOR	JUN 21-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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Drawings are not to be scaled.



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vo3design.com

project no. 16023

project name GREEN VALLEY EAST

date JAN. 2017

checked by SB

scale 3/16" = 1'-0"

file name 16023-S42-16-10GRND

drawing no. 14

RICHARD - H:\ARCHIVE\WORKING\16023\BWA\Units\S42\16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:45 AM

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no. 16023

project name GREEN VALLEY EAST

date JAN. 2017

checked by SB

scale 3/16" = 1'-0"

file name 16023-S42-16-10GRND

drawing no. 14

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project no. 16023

project name GREEN VALLEY EAST

date JAN. 2017

checked by SB

scale 3/16" = 1'-0"

file name 16023-S42-16-10GRND

drawing no. 14

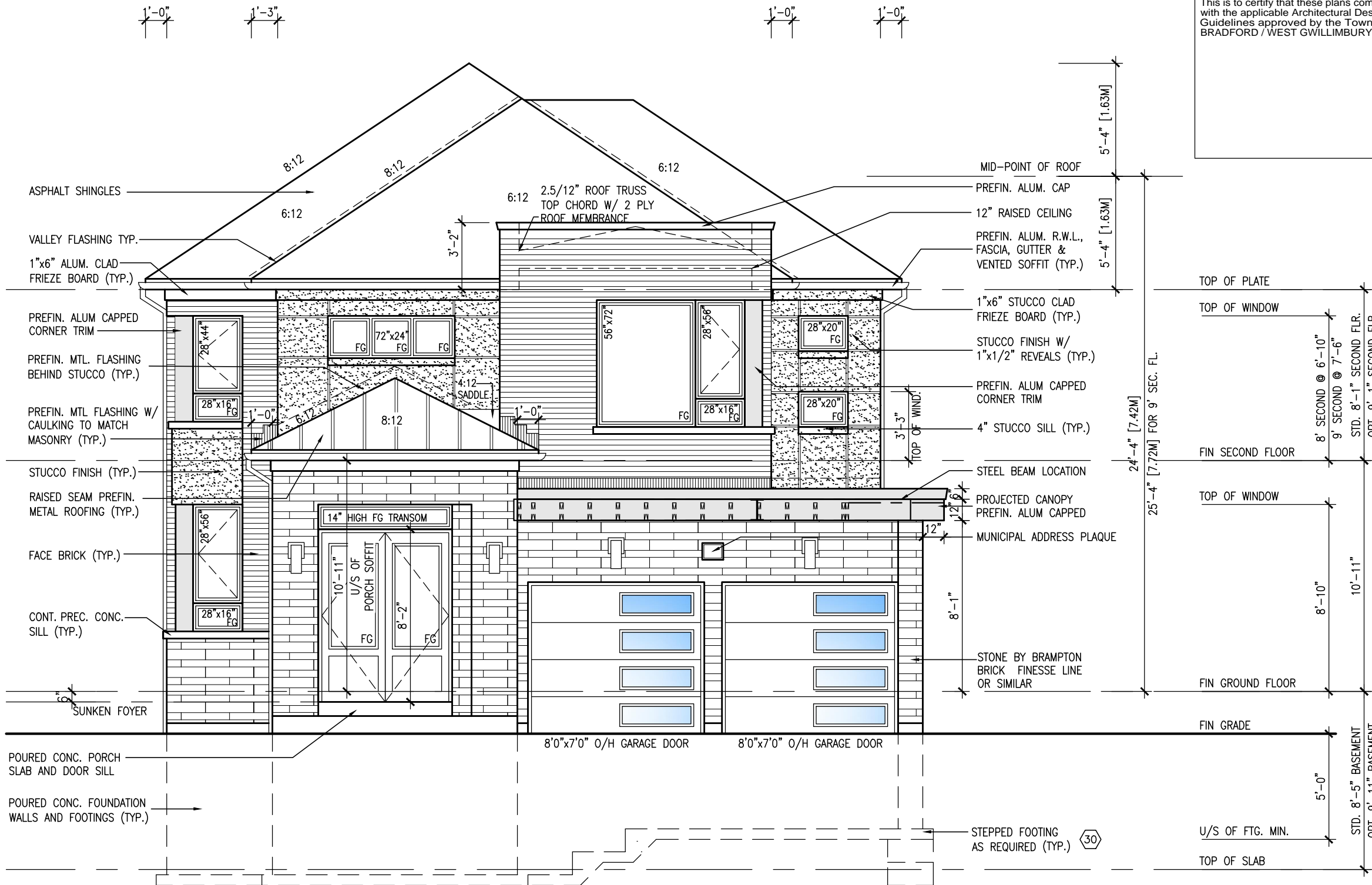
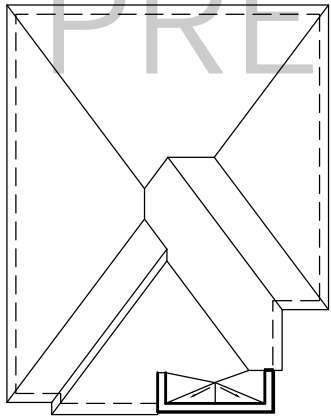
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5.	.	.
4.	10' GROUND FLOOR	JUN 21-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21 KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC
1.	ISSUED FOR CLIENT REVIEW	
no.	description	date

D. 8'-5" BA

PRELIMINARY

ROOF PLAN 'C'



FRONT ELEVATION 'C'

10' GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project no. 16023
municipality BRADFORD
project name GREEN VALLEY EAST

date JAN. 2017
checked by SB
drawn by SB
scale 3/16" = 1'-0"

drawing no. 17
file name 16023-S42-16-10GRND

drawn by SB
checked by SB
scale 3/16" = 1'-0"

drawn by SB
checked by SB
scale 3/16" = 1'-0"

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no.	description	date	by
9			
8			
7			
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5			
4	10' GROUND FLOOR	JUN 21-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
1	ISSUED FOR CLIENT REVIEW		

[illegible]

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-16
RIDEAU 16

project no.
16023

ring no.

၁

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

date JAN. 2017

drawn by
SB

SB

are the copy



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Toronto ON M2J 1R4

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specifications, related documents and d

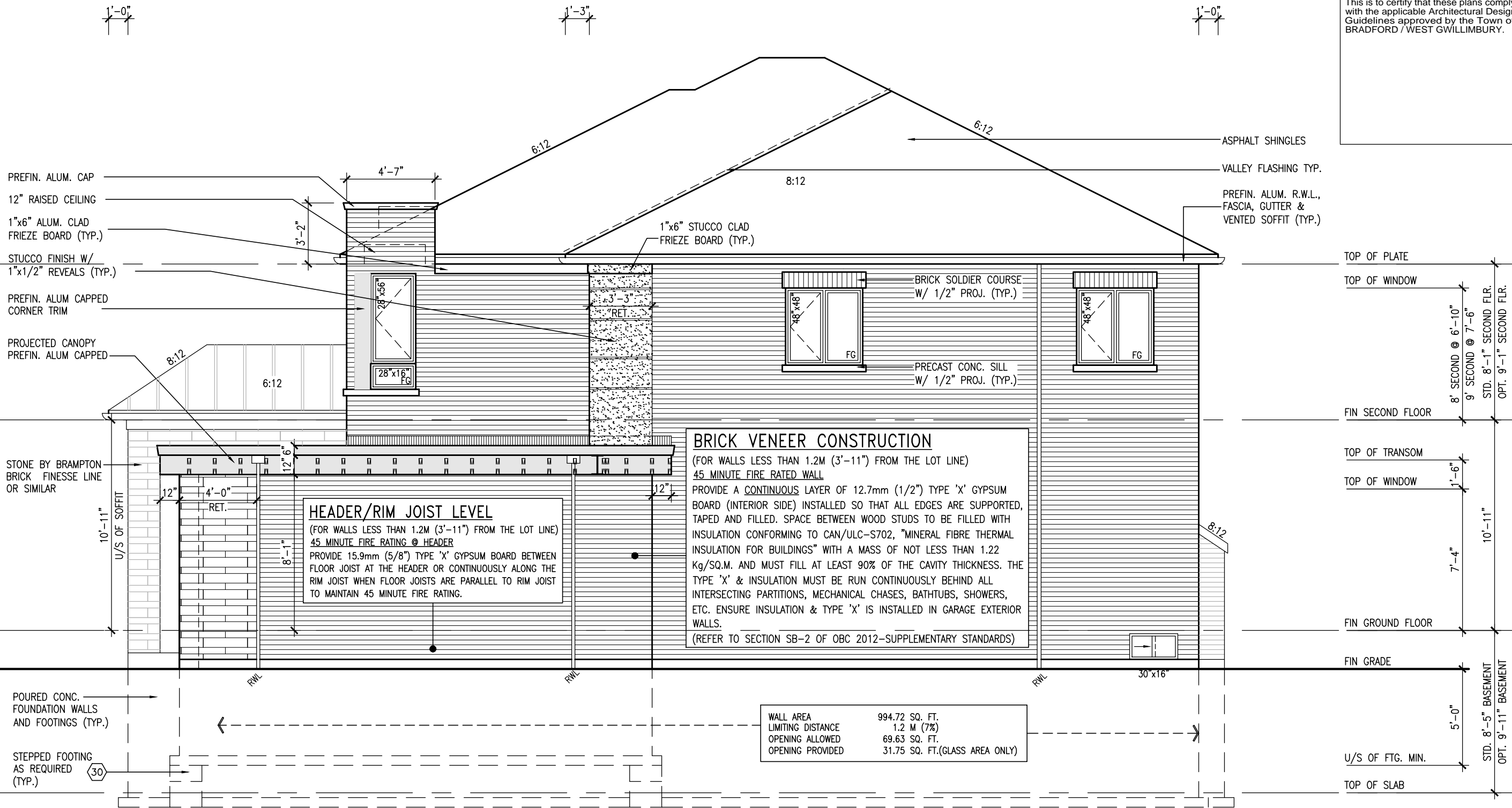
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the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All dra

no.	description	date	by
1	10' GROUND FLOOR	JUN 21-21 KL	
2	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	
3	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
4	ISSUED FOR CLIENT REVIEW		

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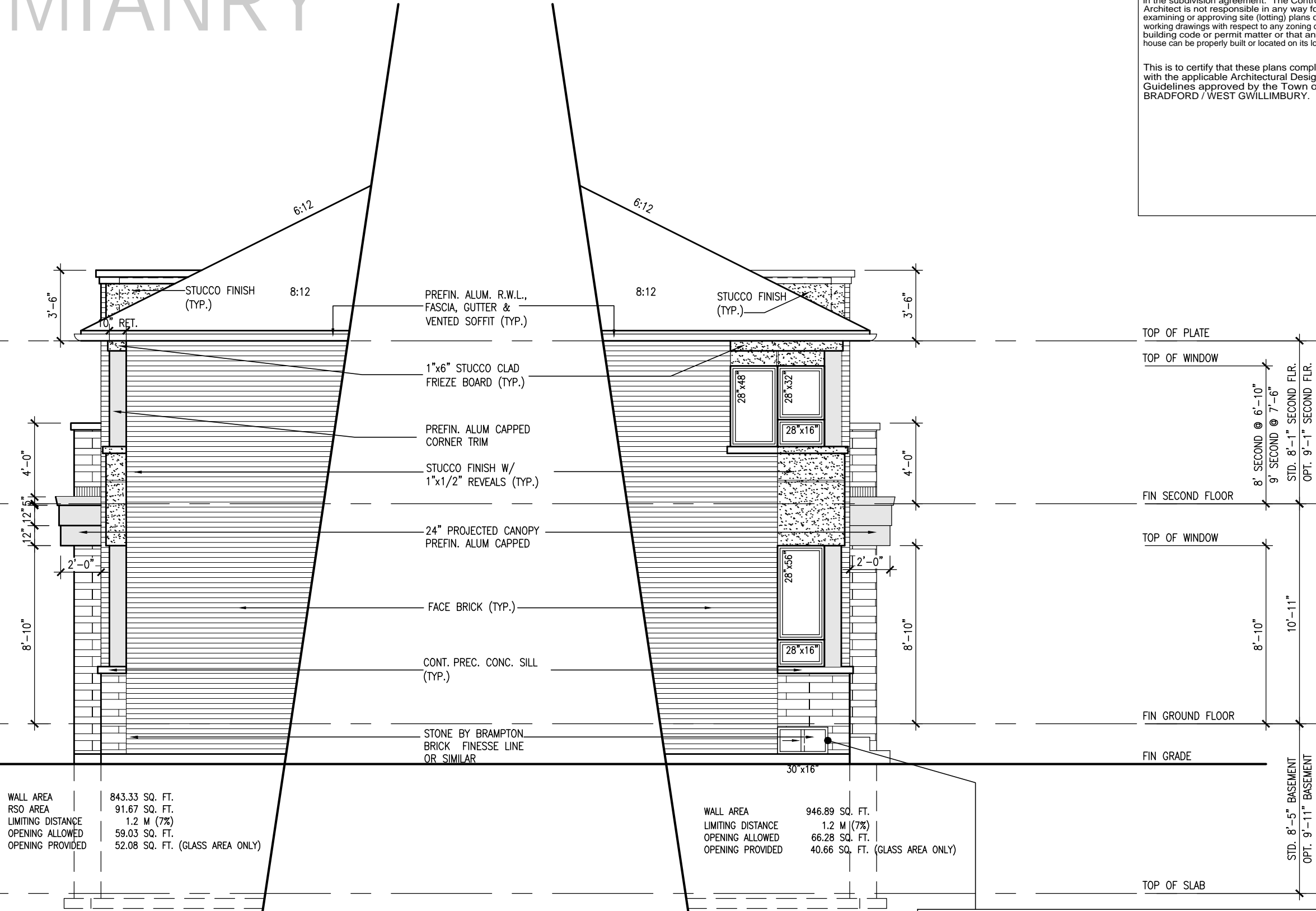


10⁹ GROUND

RIGHT SIDE ELEVATION 'C'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 16023 drawing no. 21
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



10⁹ GROUND

PART. LEFT SIDE ELEV. 'C'
W/ REAR UPGRADE

PART. RIGHT SIDE ELEV. 'C'
W/ REAR UPGRADE

BASEMENT WINDOW SIZES & TOP OF WINDOW

W.O.D. STD. BASEMENT

- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

W.O.D. OPT. 9'-0" BASEMENT

- 9R-11R USE 28"x40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 28"x40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

W.O.B. STD./OPT. 9'-0" BASEMENT

- USE 28"x60" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

[illegible]

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PRELIMINARY

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION
AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC. DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

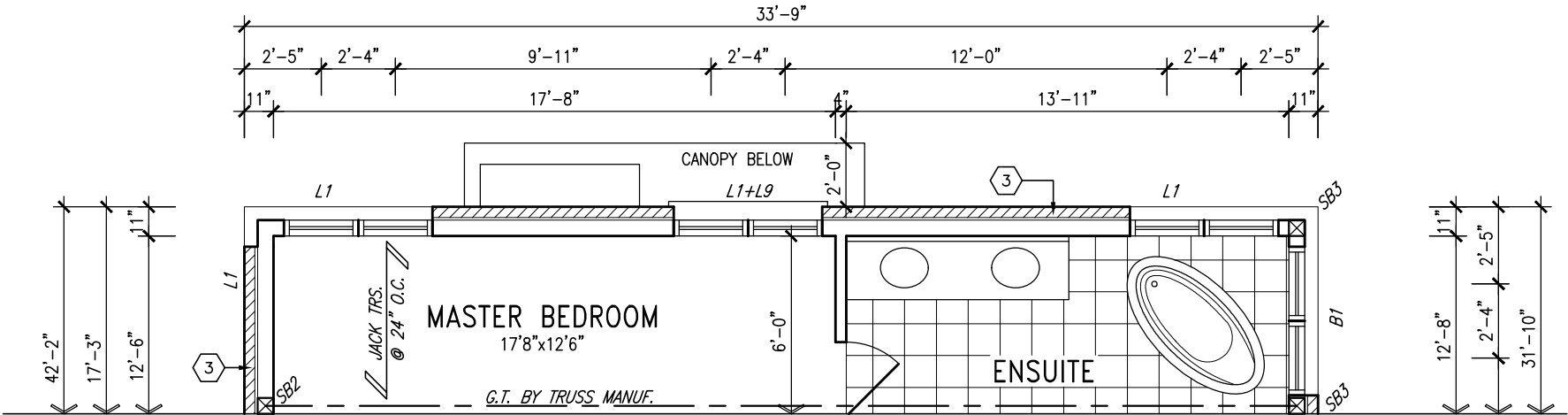
NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

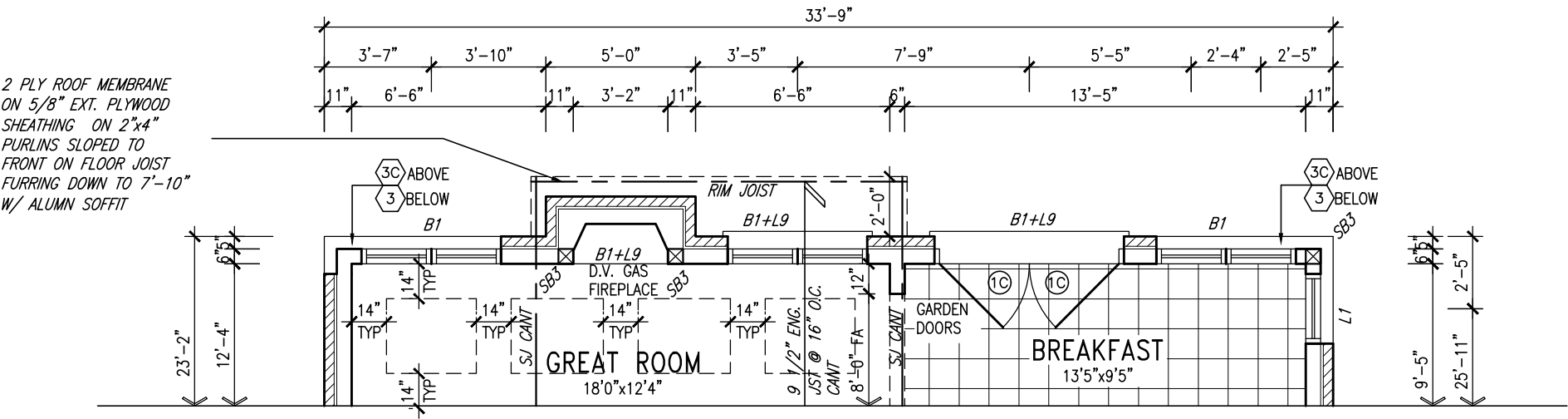
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg

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BRADFORD / WEST GWILLIMBURY.



PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE

10' GROUND

project name		project no.	
BAYVIEW WELLINGTON		S42-16	
GREEN VALLEY EAST		RIDEAU 16	
municipality		BRADFORD	
date		drawing no.	
JAN. 2017		16023	
drawn by		file name	
SB		16023-S42-16-10GRND	
checked by		scale	
.		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:45 AM		16023-S42-16-10GRND	
255 Consumers Rd Suite 120		VO3DESIGN.COM	
Toronto, ON M2J 1P4		t 416.630.2255 f 416.630.4782	
vo3design.com		All drawings specifications, related documents and design are the copyright property of VO3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VO3 DESIGN's written permission.	
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9 .		date	
8 .		by	
7 .		date	
6 .		by	
5 .		date	
4 10' GROUND FLOOR		JUN 21-21 KL	
3 ADDED OPT. 9' BASEMENT		JUN 21-21 KL	
2 REVISED AS PER ENG'S COMMENTS		FEB 08-18 RC	
1 ISSUED FOR CLIENT REVIEW		.	

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MIANRY

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

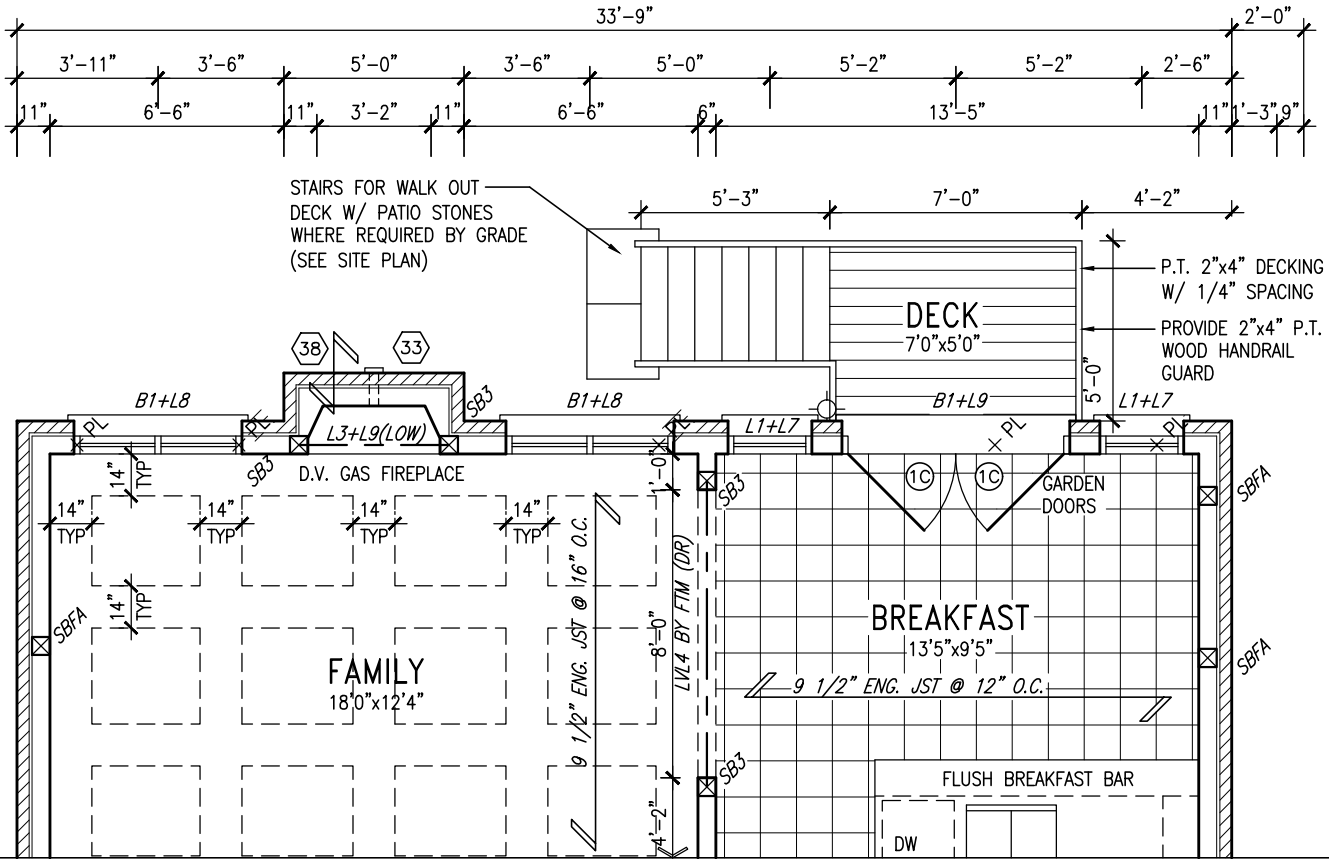
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

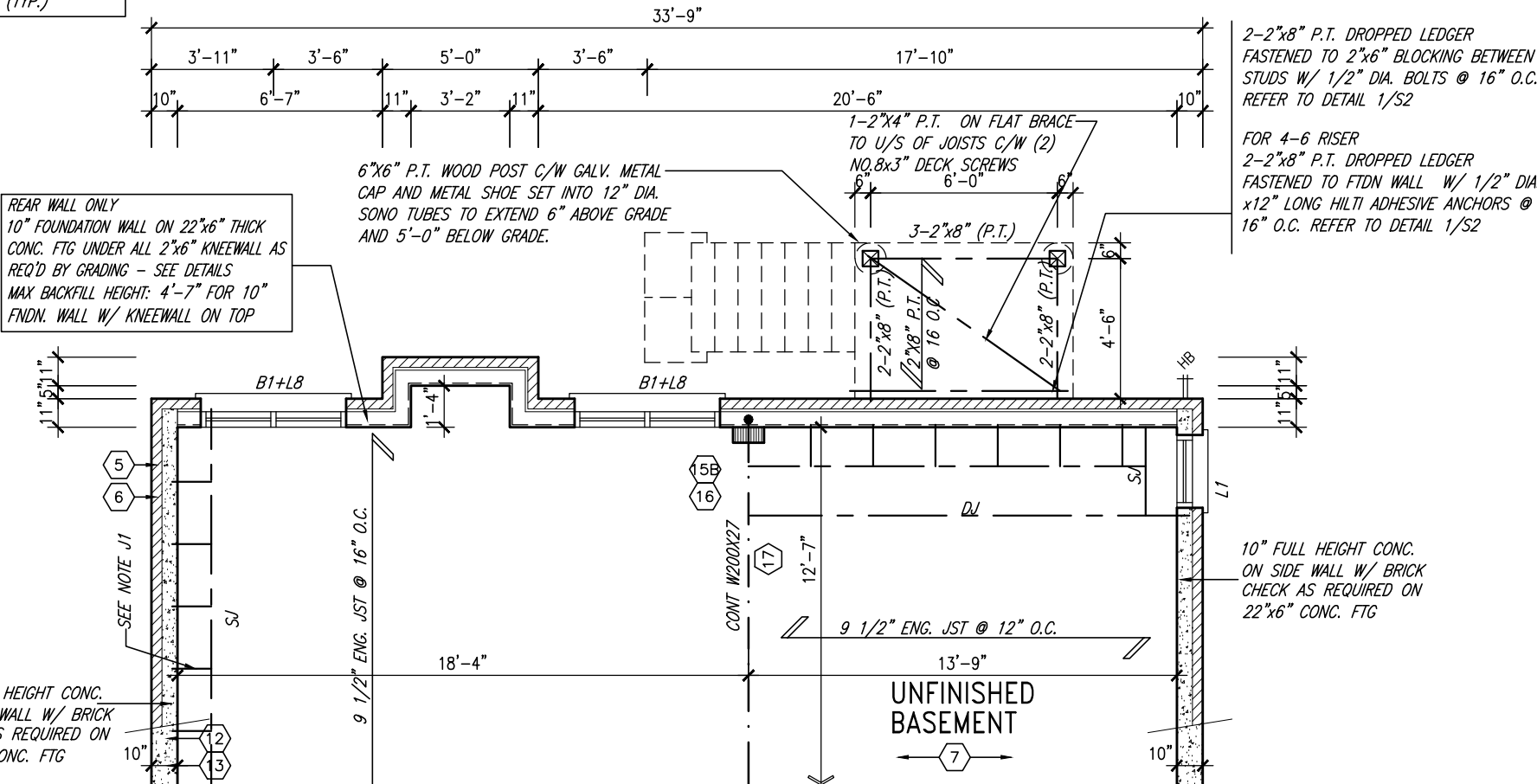
NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



GROUND FLOOR PLAN ELEV 'A' - W.O.D.
ELEV. 'B' & 'C' SIMILAR
ELEV 'A' & 'B' UPGRADE SIMILAR

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. @ FIRST JOIST SPACE FOR FLOOR JOISTS RUNNING PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN ELEV 'A' - W.O.D.
ELEV. 'B' & 'C' SIMILAR
ELEV 'A' & 'B' UPGRADE SIMILAR

9.	.	.	.
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6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUN 21-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-16-10GRND
					file name
					16023-S42-16-10GRND.dwg
					Thu - Jul 29 2021 - 10:46 AM

PARTIAL PLANS FOR 9R WOD.

drawing no.

23

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	730.00 S.F.	160.98 S.F.	22.05 %
LEFT SIDE	991.94 S.F.	80.00 S.F.	8.07 %
RIGHT SIDE	991.94 S.F.	35.33 S.F.	3.56 %
REAR	843.75 S.F.	226.06 S.F.	26.79 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3557.63 S.F.	502.37 S.F.	14.12 %
TOTAL SQ. M.	330.51 S.M.	46.67 S.M.	14.12 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	716.83 S.F.	178.89 S.F.	24.96 %
LEFT SIDE	1000.86 S.F.	80.00 S.F.	7.99 %
RIGHT SIDE	1000.86 S.F.	35.33 S.F.	3.53 %
REAR	843.75 S.F.	226.06 S.F.	26.79 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3562.30 S.F.	520.28 S.F.	14.61 %
TOTAL SQ. M.	330.95 S.M.	48.34 S.M.	14.61 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	719.75 S.F.	171.06 S.F.	23.77 %
LEFT SIDE	991.94 S.F.	79.67 S.F.	8.03 %
RIGHT SIDE	991.94 S.F.	49.33 S.F.	4.97 %
REAR	843.75 S.F.	226.06 S.F.	26.79 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3547.38 S.F.	526.12 S.F.	14.83 %
TOTAL SQ. M.	329.56 S.M.	48.88 S.M.	14.83 %

10' GROUND

PARTIAL REAR ELEV.'C'

PROVIDE 42" HIGH P.T. RAILING C/W PICKETS SPACED @ 4" BETWEEN MAX. (TYP.)

REAR ELEVATION 'A', 'B', 'C' W.O.D.



BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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S42-16 RIDEAU 16	
BAYVIEW WELLINGTON	GREEN VALLEY EAST
project no. 16023	municipality BRADFORD
drawing no. 24	REAR ELEVATION STD. 9R WOD
file name 16023-S42-16-10CRND	date JAN. 2017
scale 3/16" = 1'-0"	drawn by SB
checked by	checked by

VAD3 DESIGN	120 Consumers Rd. Suite 104
255 Consumers Rd. Suite 104	Scarborough, ON M1V 1B4
t 416.630.2255 f 416.630.4782	vo3design.com

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no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	10' GROUND FLOOR	JUN 21-21 KL	
3.	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
1.	ISSUED FOR CLIENT REVIEW		

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Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.

PROVIDE 42" HIGH P.T. _____
RAILING C/W PICKETS SPACED
@ 4" BETWEEN MAX. (TYP.)

6"x6" P.T. WOOD POST —
BOLTED TO METAL SHOE SET
INTO 12" DIA. CONC. PIER TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

10⁹ GROUND

UPGRADED REAR ELEVATION 'A' W.O.D.

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-16
RIDEAU 16

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	

date

JUN. 2017

drawn by

SR

checked by

.

scale

3/16" = 1'-0"

file name

16023-S42-16-10GRND

REAR ELEVATION 'A' UPGRADE 9R WOD

drawing no.

25

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4	10' GROUND FLOOR	JUN 21-21 KL	.
3	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	.
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	.
1	ISSUED FOR CLIENT REVIEW		.

no.	description	date	by
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BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

9	.	.	.
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4	10' GROUND FLOOR	JUN 21-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
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no.	description	date	by

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

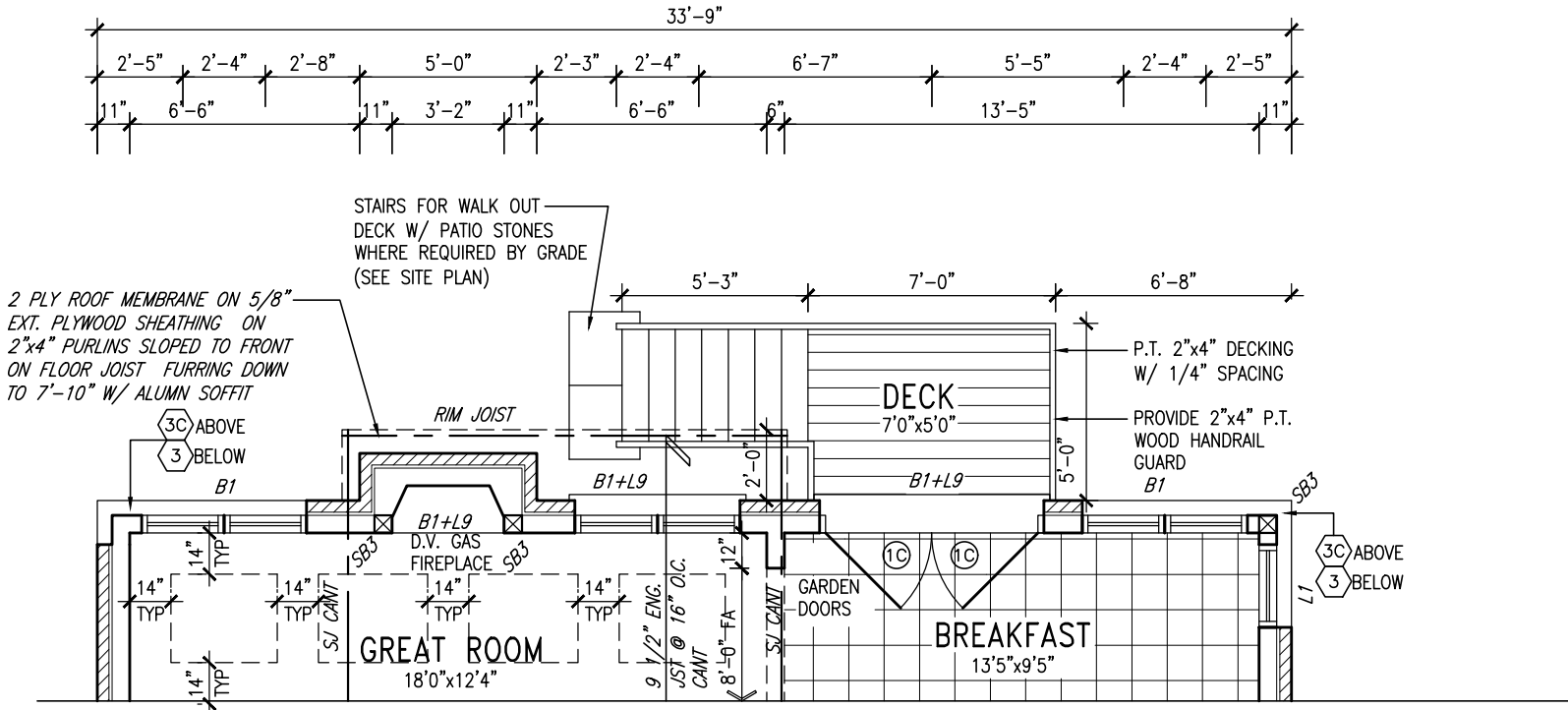
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST 3.0m
- DRIVEWAY, PARKING SPACE, ROAD 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

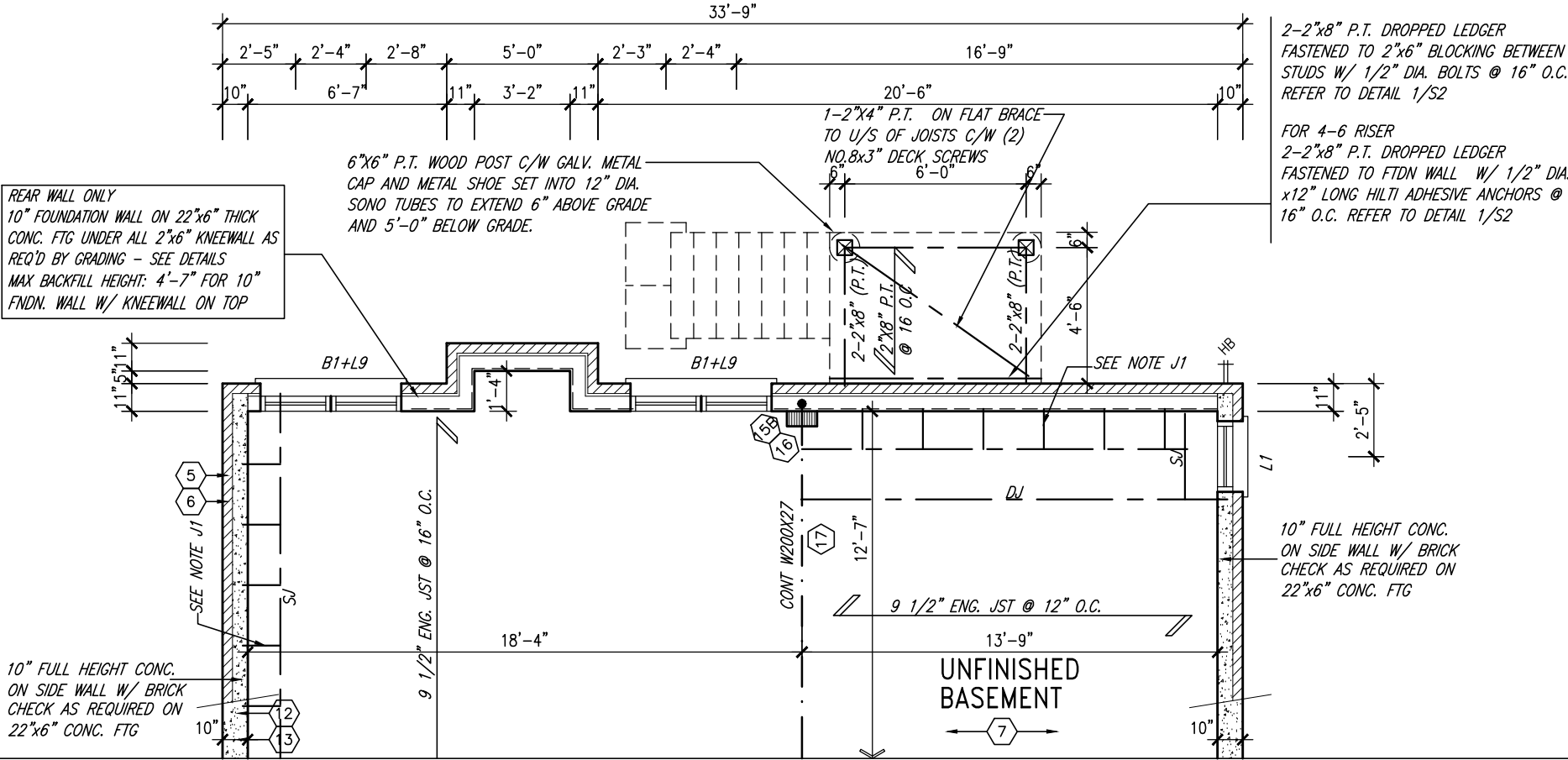
KIT-EX-NOTE-2020.dwg

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN 9R WOD ELEV. 'C' REAR UPGRADE



PARTIAL BASEMENT PLAN 9R WOD ELEV. 'C' REAR UPGRADE

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4.	10' GROUND FLOOR	JUN 21-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name GREEN VALLEY EAST municipality BRADFORD

project no. 16023

date JAN. 2017
drawn by SB
checked by
scale 3/16" = 1'-0"
file name 16023-S42-16-10GRND
drawing no. 27

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-16'C WOD W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY -- OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	719.75 S.F.	171.06 S.F.	23.77 %
LEFT SIDE	991.94 S.F.	79.67 S.F.	8.03 %
RIGHT SIDE	991.94 S.F.	66.00 S.F.	6.65 %
REAR	843.75 S.F.	227.06 S.F.	26.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3547.38 S.F.	543.79 S.F.	15.33 %
TOTAL SQ. M.	329.56 S.M.	50.52 S.M.	15.33 %

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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UPGRADED REAR ELEVATION 'C' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
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S42-16
RIDEAU 16

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

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no.	description	date	by
4	10' GROUND FLOOR	JUN 21-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no. 16023
drawing no. 28
municipality BRADFORD
date JAN. 2017
checked by SB
scale 3/16" = 1'-0"

REAR UPGRADE ELEVATION 'C' 9R WOD
16023-S42-16-10GRND
16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:46 AM

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MIANRY

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
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NOTE:
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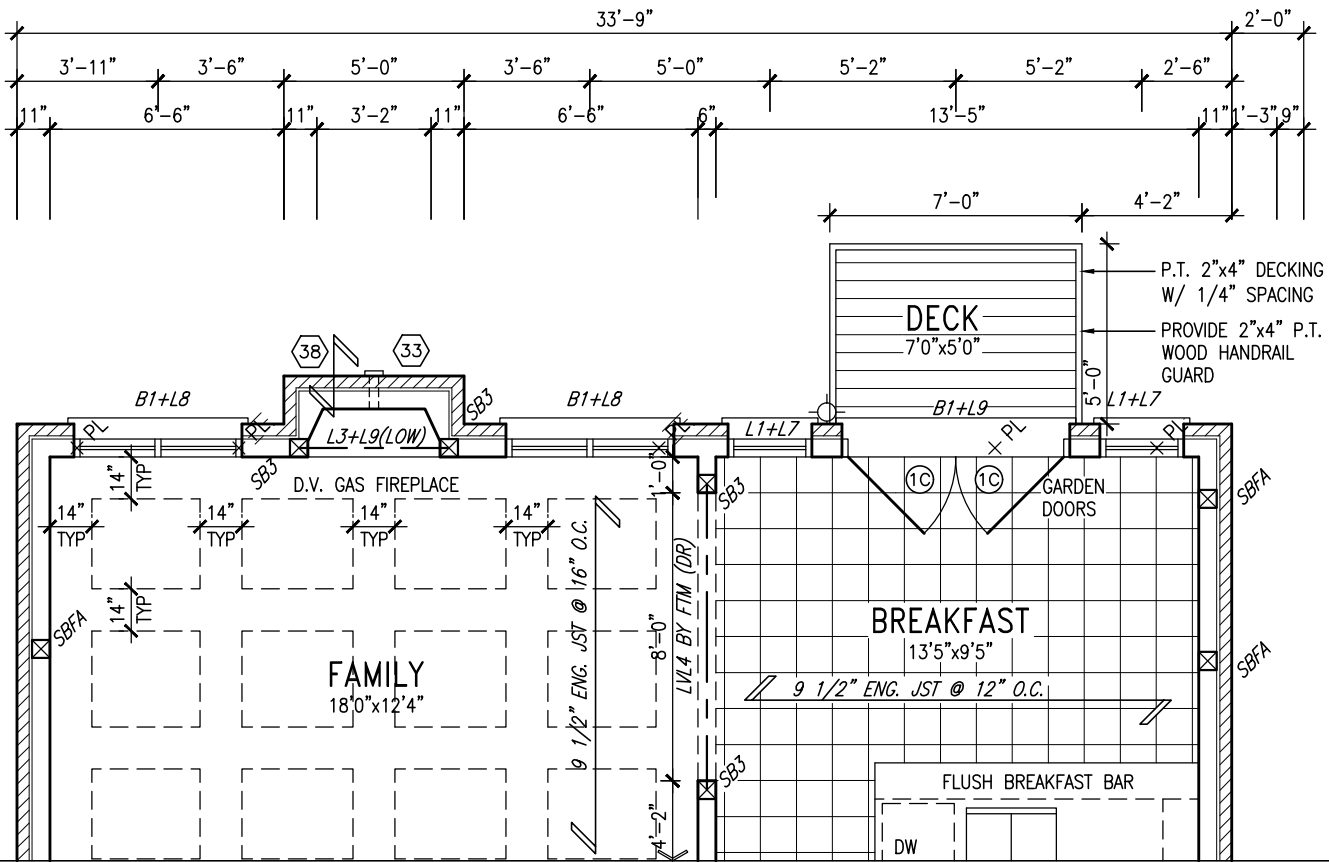
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

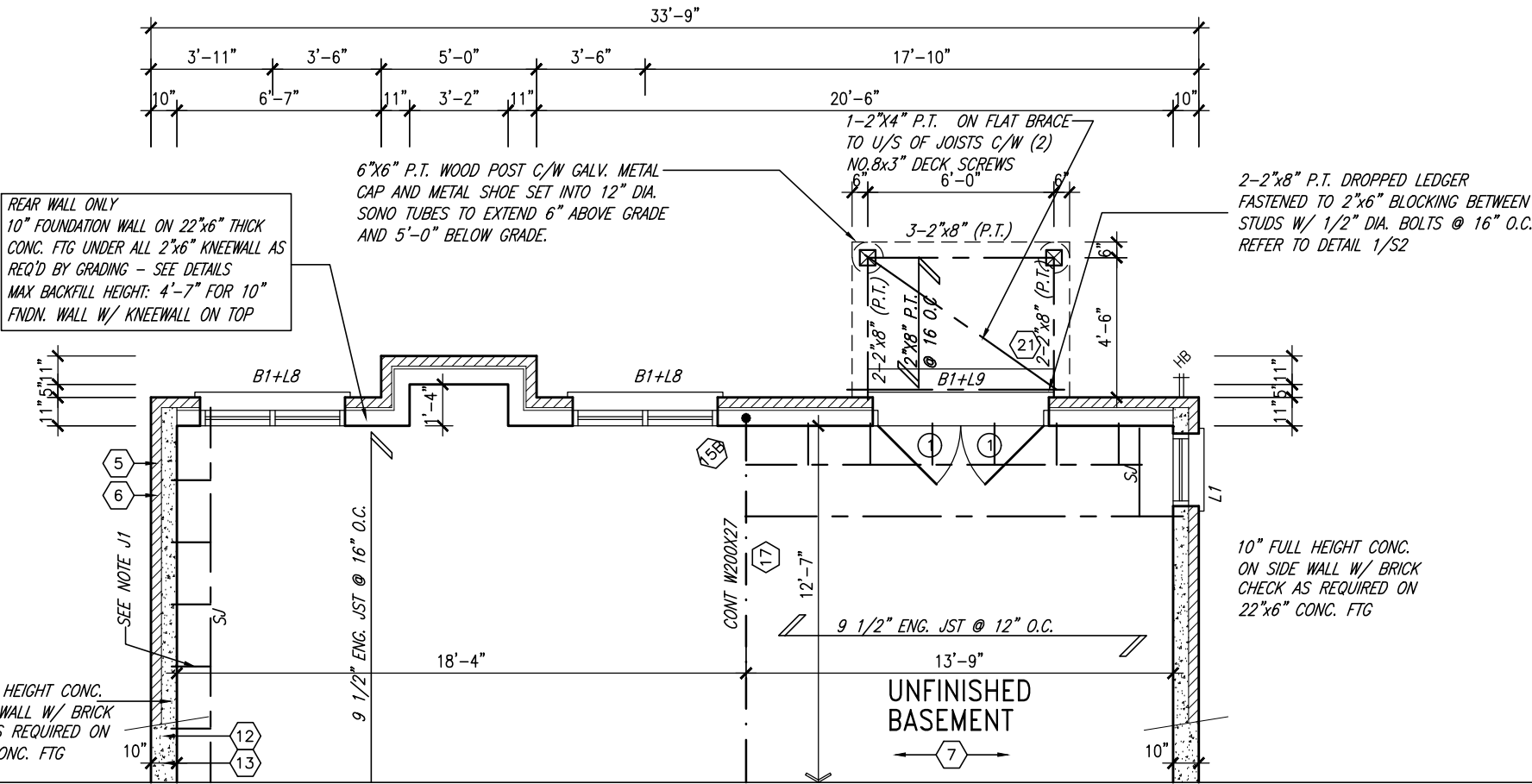
KIT-EX-NOTE-2020.dwg

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



GROUND FLOOR PLAN 'A' - W.O.B.
ELEV. 'B' & 'C' SIMILAR
ELEV 'A' & 'B' UPGRADE SIMILAR



BASEMENT PLAN 'A' - W.O.B.
ELEV. 'B' & 'C' SIMILAR
ELEV 'A' & 'B' UPGRADE SIMILAR

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4.	10' GROUND FLOOR	JUN 21-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-16-10GRND
					file name
					16023-S42-16-10GRND.dwg
					Thu - Jul 29 2021 - 10:46 AM

PARTIAL PLANS FOR WOB.

drawing no.

29

Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.

PROVIDE 42" HIGH P.T. _____
RAILING C/W PICKETS SPACED
@ 4" BETWEEN MAX. (TYP.)

2"x6" P.T. DIAG.
BRACING

6"x6" P.T. WOOD POST —
BOLTED TO METAL SHOE SET
INTO 12" DIA. CONC. PIER TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

10⁹ GROUND

UPGRADED REAR ELEVATION 'A' W.O.B.

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-16
RIDEAU 16

BAYVIEW WELLINGTON

BAYVIEW

project name **GREEN VALLEY EAST**



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Drawings are not to be scaled.

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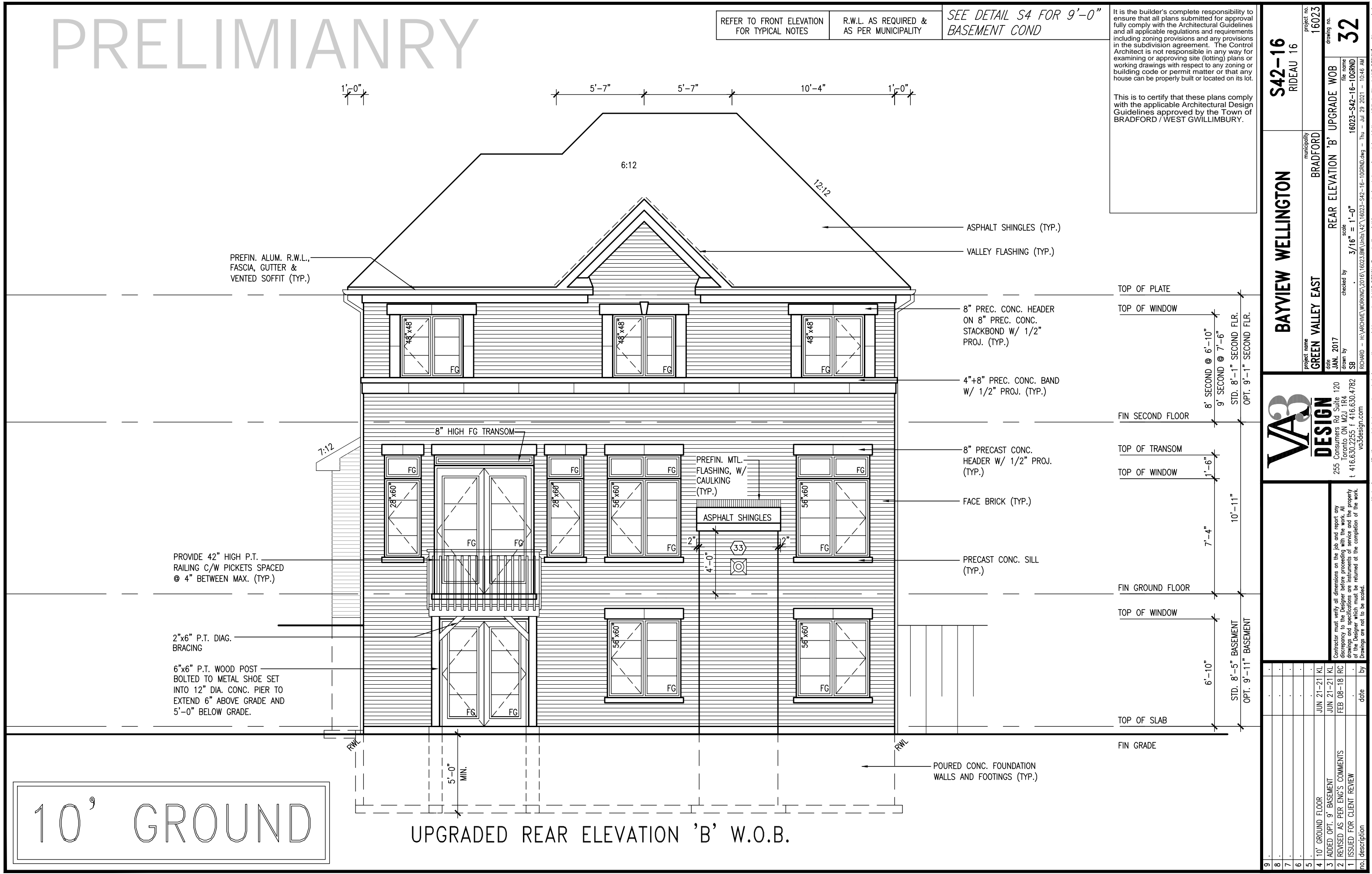
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11

World

10. **Q. How can I tell if my child has a learning disability?**



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MIANRY

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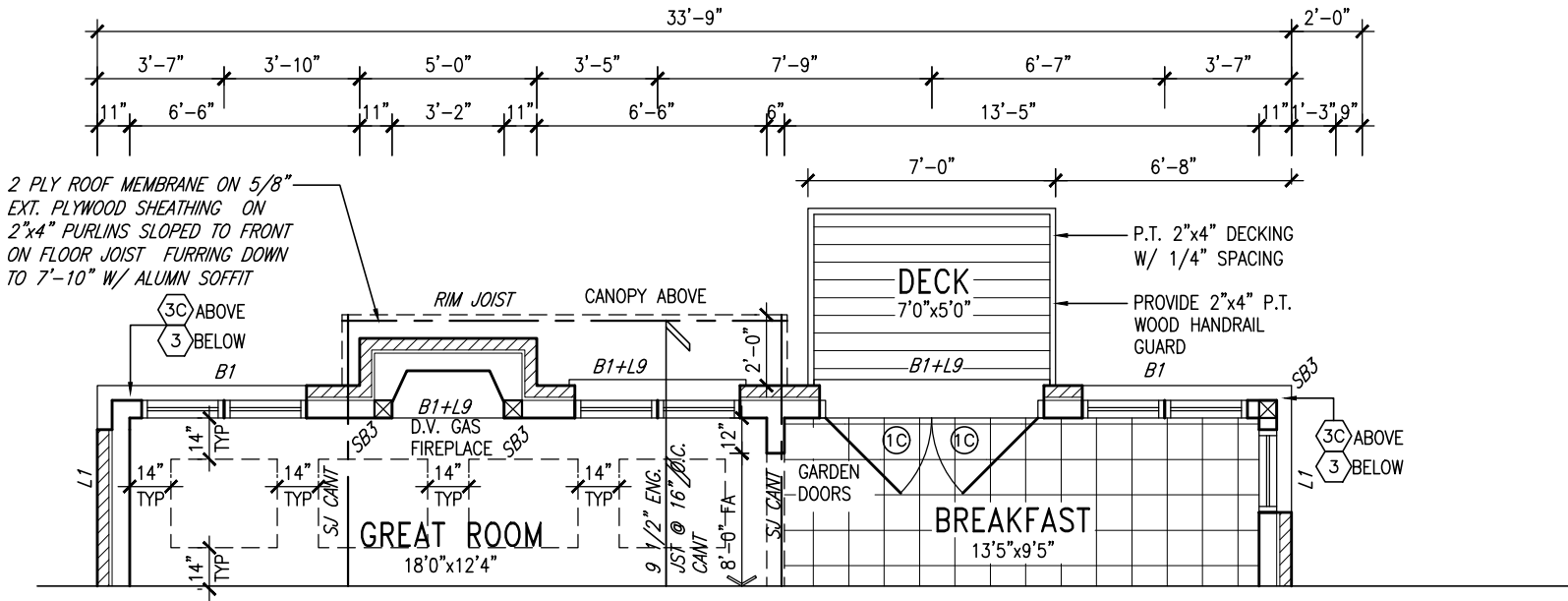
NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

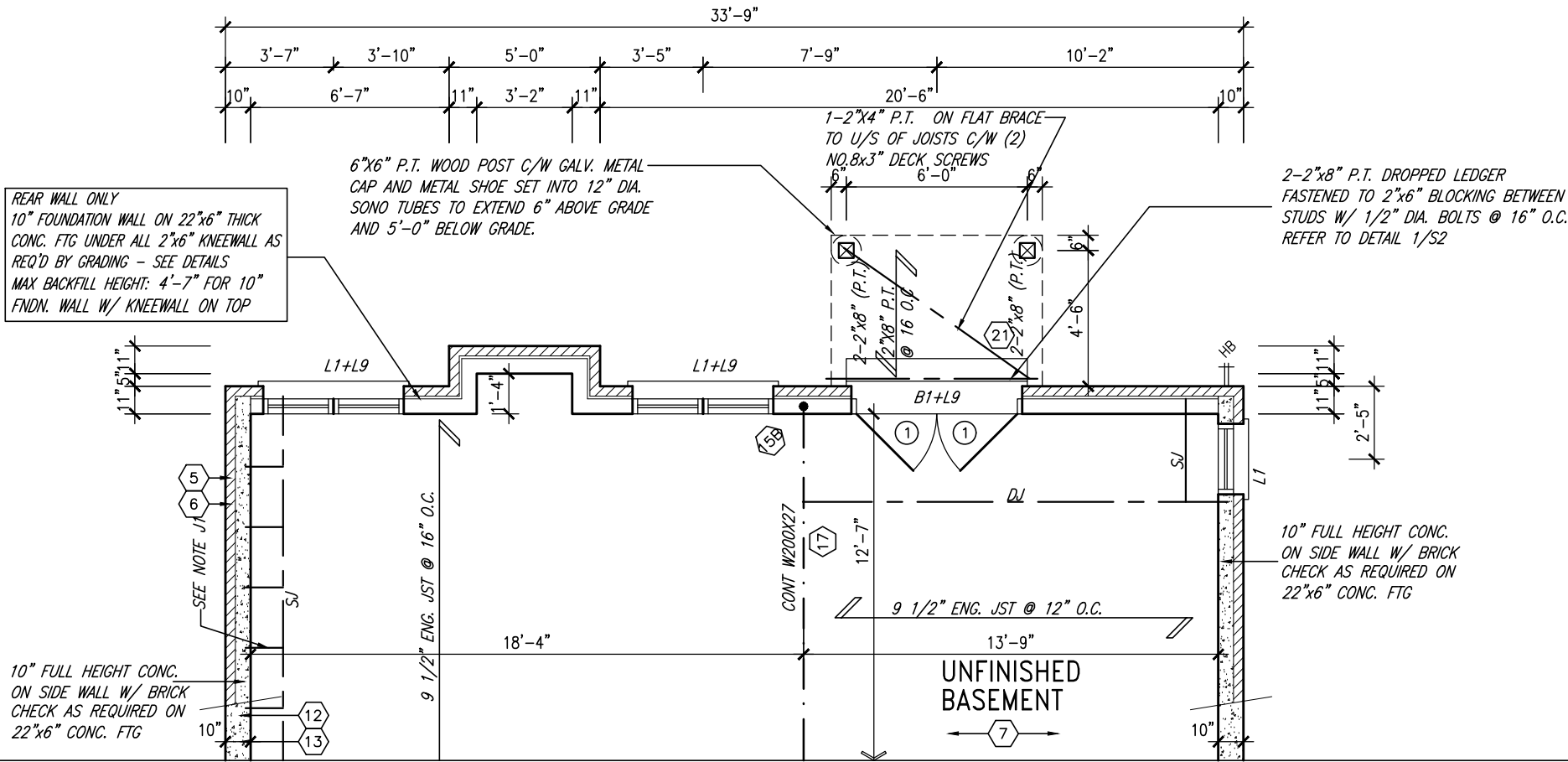
- KITCHEN EXHAUST 3.0m
- DRIVEWAY, PARKING SPACE, ROAD 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

10' GROUND



PARTIAL GROUND FLOOR PLAN WOB ELEVATION 'C' REAR UPGRADE



PARTIAL BASEMENT PLAN WOB ELEVATION 'C' REAR UPGRADE

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4.	10' GROUND FLOOR	JUN 21-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 21-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-16-10GRND
					file name
					16023-S42-16-10GRND.dwg
					Thu - Jul 29 2021 - 10:46 AM

33

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-16'C WOB W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY -- OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	719.75 S.F.	171.06 S.F.	23.77 %
LEFT SIDE	991.94 S.F.	79.67 S.F.	8.03 %
RIGHT SIDE	991.94 S.F.	66.00 S.F.	6.65 %
REAR	942.19 S.F.	281.33 S.F.	29.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3645.82 S.F.	598.06 S.F.	16.40 %
TOTAL SQ. M.	338.70 S.M.	55.56 S.M.	16.40 %

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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UPGRADED REAR ELEVATION 'C' W.O.B.

S42-16
RIDEAU 16

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no. 16023
drawing no. 34
municipality BRADFORD
date JAN. 2017
drawn by SB
checked by
scale 3/16" = 1'-0"

REAR UPGRADE ELEVATION 'C' WOB
16023-S42-16-10GRND
16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:46 AM
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no.	description	date	by
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4.	10' GROUND FLOOR	JUN 21-21 KL	
3.	ADDED OPT. 9' BASEMENT	JUN 21-21 KL	
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
1.	ISSUED FOR CLIENT REVIEW		

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 ELA W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	763.75 S.F.	160.98 S.F.	21.08 %
LEFT SIDE	1036.11 S.F.	80.00 S.F.	7.72 %
RIGHT SIDE	1036.11 S.F.	35.33 S.F.	3.41 %
REAR	742.50 S.F.	201.61 S.F.	27.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3578.47 S.F.	477.92 S.F.	13.36 %
TOTAL SQ. M.	332.45 S.M.	44.40 S.M.	13.36 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	750.58 S.F.	178.89 S.F.	23.83 %
LEFT SIDE	1046.03 S.F.	80.00 S.F.	7.65 %
RIGHT SIDE	1046.03 S.F.	35.33 S.F.	3.38 %
REAR	742.50 S.F.	201.61 S.F.	27.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3585.14 S.F.	495.83 S.F.	13.83 %
TOTAL SQ. M.	333.07 S.M.	46.06 S.M.	13.83 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 E.L.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	753.50 S.F.	171.06 S.F.	22.70 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	49.33 S.F.	4.76 %
REAR	742.50 S.F.	201.61 S.F.	27.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3568.22 S.F.	501.67 S.F.	14.06 %
TOTAL SQ. M.	331.50 S.M.	46.61 S.M.	14.06 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16'C' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735.50 S.F.	171.06 S.F.	23.26 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	66.00 S.F.	6.37 %
REAR	742.50 S.F.	202.61 S.F.	27.29 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3550.22 S.F.	519.34 S.F.	14.63 %
TOTAL SQ. M.	329.82 S.M.	48.25 S.M.	14.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	763.75 S.F.	160.98 S.F.	21.08 %
LEFT SIDE	1036.11 S.F.	80.00 S.F.	7.72 %
RIGHT SIDE	1036.11 S.F.	35.33 S.F.	3.41 %
REAR	877.50 S.F.	226.06 S.F.	25.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3713.47 S.F.	502.37 S.F.	13.53 %
TOTAL SQ. M.	344.99 S.M.	46.67 S.M.	13.53 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	750.58 S.F.	178.89 S.F.	23.83 %
LEFT SIDE	1046.03 S.F.	80.00 S.F.	7.65 %
RIGHT SIDE	1046.03 S.F.	35.33 S.F.	3.38 %
REAR	877.50 S.F.	226.06 S.F.	25.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3720.14 S.F.	520.28 S.F.	13.99 %
TOTAL SQ. M.	345.61 S.M.	48.34 S.M.	13.99 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 E.L.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	753.50 S.F.	171.06 S.F.	22.70 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	49.33 S.F.	4.76 %
REAR	877.50 S.F.	226.06 S.F.	25.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3703.22 S.F.	526.12 S.F.	14.21 %
TOTAL SQ. M.	344.04 S.M.	48.88 S.M.	14.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16'C' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735.50 S.F.	171.06 S.F.	23.26 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	66.00 S.F.	6.37 %
REAR	877.50 S.F.	227.06 S.F.	25.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3685.22 S.F.	543.79 S.F.	14.76 %
TOTAL SQ. M.	342.37 S.M.	50.52 S.M.	14.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 ELA WOB W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	763.75 S.F.	160.98 S.F.	21.08 %
LEFT SIDE	1036.11 S.F.	80.00 S.F.	7.72 %
RIGHT SIDE	1036.11 S.F.	35.33 S.F.	3.41 %
REAR	975.94 S.F.	280.33 S.F.	28.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3811.91 S.F.	556.64 S.F.	14.60 %
TOTAL SQ. M.	354.14 S.M.	51.71 S.M.	14.60 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	750.58 S.F.	178.89 S.F.	23.83 %
LEFT SIDE	1046.03 S.F.	80.00 S.F.	7.65 %
RIGHT SIDE	1046.03 S.F.	35.33 S.F.	3.38 %
REAR	975.94 S.F.	280.33 S.F.	28.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3818.58 S.F.	574.55 S.F.	15.05 %
TOTAL SQ. M.	354.75 S.M.	53.38 S.M.	15.05 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16 E.L.C WOB W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	753.50 S.F.	171.06 S.F.	22.70 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	49.33 S.F.	4.76 %
REAR	975.94 S.F.	280.33 S.F.	28.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3801.66 S.F.	580.39 S.F.	15.27 %
TOTAL SQ. M.	353.18 S.M.	53.92 S.M.	15.27 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-16'C' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735.50 S.F.	171.06 S.F.	23.26 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	66.00 S.F.	6.37 %
REAR	975.94 S.F.	281.33 S.F.	28.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3783.66 S.F.	598.06 S.F.	15.81 %
TOTAL SQ. M.	351.51 S.M.	55.56 S.M.	15.81 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

[illegible]

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.A WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	730.00 S.F.	160.98 S.F.	22.05 %
LEFT SIDE	991.94 S.F.	80.00 S.F.	8.07 %
RIGHT SIDE	991.94 S.F.	35.33 S.F.	3.56 %
REAR	992.81 S.F.	280.33 S.F.	28.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3706.69 S.F.	556.64 S.F.	15.02 %
TOTAL SQ. M.	344.36 S.M.	51.71 S.M.	15.02 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.B WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	716.83 S.F.	178.89 S.F.	24.96 %
LEFT SIDE	1000.86 S.F.	80.00 S.F.	7.99 %
RIGHT SIDE	1000.86 S.F.	35.33 S.F.	3.53 %
REAR	992.81 S.F.	280.33 S.F.	28.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3711.36 S.F.	574.55 S.F.	15.48 %
TOTAL SQ. M.	344.79 S.M.	53.38 S.M.	15.48 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	719.75 S.F.	171.06 S.F.	23.77 %
LEFT SIDE	991.94 S.F.	79.67 S.F.	8.03 %
RIGHT SIDE	991.94 S.F.	49.33 S.F.	4.97 %
REAR	992.81 S.F.	280.33 S.F.	28.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3696.44 S.F.	580.39 S.F.	15.70 %
TOTAL SQ. M.	343.41 S.M.	53.92 S.M.	15.70 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	719.75 S.F.	171.06 S.F.	23.77 %
LEFT SIDE	991.94 S.F.	79.67 S.F.	8.03 %
RIGHT SIDE	991.94 S.F.	66.00 S.F.	6.65 %
REAR	992.81 S.F.	281.33 S.F.	28.34 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3696.44 S.F.	598.06 S.F.	16.18 %
TOTAL SQ. M.	343.41 S.M.	55.56 S.M.	16.18 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.A WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	763.75 S.F.	160.98 S.F.	21.08 %
LEFT SIDE	1036.11 S.F.	80.00 S.F.	7.72 %
RIGHT SIDE	1036.11 S.F.	35.33 S.F.	3.41 %
REAR	1026.56 S.F.	280.33 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3862.53 S.F.	556.64 S.F.	14.41 %
TOTAL SQ. M.	358.84 S.M.	51.71 S.M.	14.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	750.58 S.F.	178.89 S.F.	23.83 %
LEFT SIDE	1046.03 S.F.	80.00 S.F.	7.65 %
RIGHT SIDE	1046.03 S.F.	35.33 S.F.	3.38 %
REAR	1026.56 S.F.	280.33 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3869.20 S.F.	574.55 S.F.	14.85 %
TOTAL SQ. M.	359.46 S.M.	53.38 S.M.	14.85 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	753.50 S.F.	171.06 S.F.	22.70 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	49.33 S.F.	4.76 %
REAR	1026.56 S.F.	280.33 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3852.28 S.F.	580.39 S.F.	15.07 %
TOTAL SQ. M.	357.89 S.M.	53.92 S.M.	15.07 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-16 EL.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735.50 S.F.	171.06 S.F.	23.26 %
LEFT SIDE	1036.11 S.F.	79.67 S.F.	7.69 %
RIGHT SIDE	1036.11 S.F.	66.00 S.F.	6.37 %
REAR	1026.56 S.F.	281.33 S.F.	27.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3834.28 S.F.	598.06 S.F.	15.60 %
TOTAL SQ. M.	356.21 S.M.	55.56 S.M.	15.60 %

10' GROUND

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S42-16

RIDEAU 16

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no. 16023

drawing no. 36

date JAN. 2017

drawn by SB

checked by

file name 16023-S42-16-10GRND

scale 3/16" = 1'-0"

10' GROUND FLOOR

3 ADDED OPT. 9' BASEMENT

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no. description

date

by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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V3 DESIGN

Richard - H:\ARCHIVE\WORKING\2016\16023-S42-16-10GRND.dwg - Thu - Jul 29 2021 - 10:47 AM

project no. 16023

drawing no. 36

project name S42-16

municipality BRADFORD

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10' GROUND FLOOR

3 ADDED OPT. 9' BASEMENT

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by

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