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10' GROUND

REFER TO  
PAGE 12  
FOR AREA  
CHART

NOTE J1: PROVIDE SOLID  
BLOCKING @ 24" O.C. WHERE  
FLOOR JOISTS ARE PARALLEL  
TO FOUNDATION WALL (TYP.)

NOTE:  
SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

NOTE:  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE  
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND  
DETAILS. UNLESS OTHERWISE NOTED.

9.	.	.	.
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5.	10' GROUND FLOOR	JUN 23-21	KL
4.	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3.	ADD OPT. 9' BASEMENT	APR 06-21	RC
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-15  
RIDEAU 15

project name GREEN VALLEY EAST municipality BRADFORD

project no. 16023

date MARCH 2017 BASEMENT PLAN ELEVATION 'A'

drawing no.

drawn by SB checked by 3/16" = 1'-0" scale 16023-S42-15-10GRND

1

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10' GROUND

SEE DETAIL S4  
FOR 9'-0"  
BASEMENT COND

**NOTE W1**  
PROVIDE 2-15M FULL HEIGHT  
VERTICAL REBARS EACH SIDE  
OF OPENING + 2-15M  
HORIZ. REBARS BELOW AND  
EXTEND 24" BEYOND OPENING  
PROVIDE 3" CLEAR COVER  
FROM SOIL SIDE

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date  
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drawn by  
SB

checked by  
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scale  
3/16" = 1'-0"










BASEMENT PLAN ELEVATION 'A'

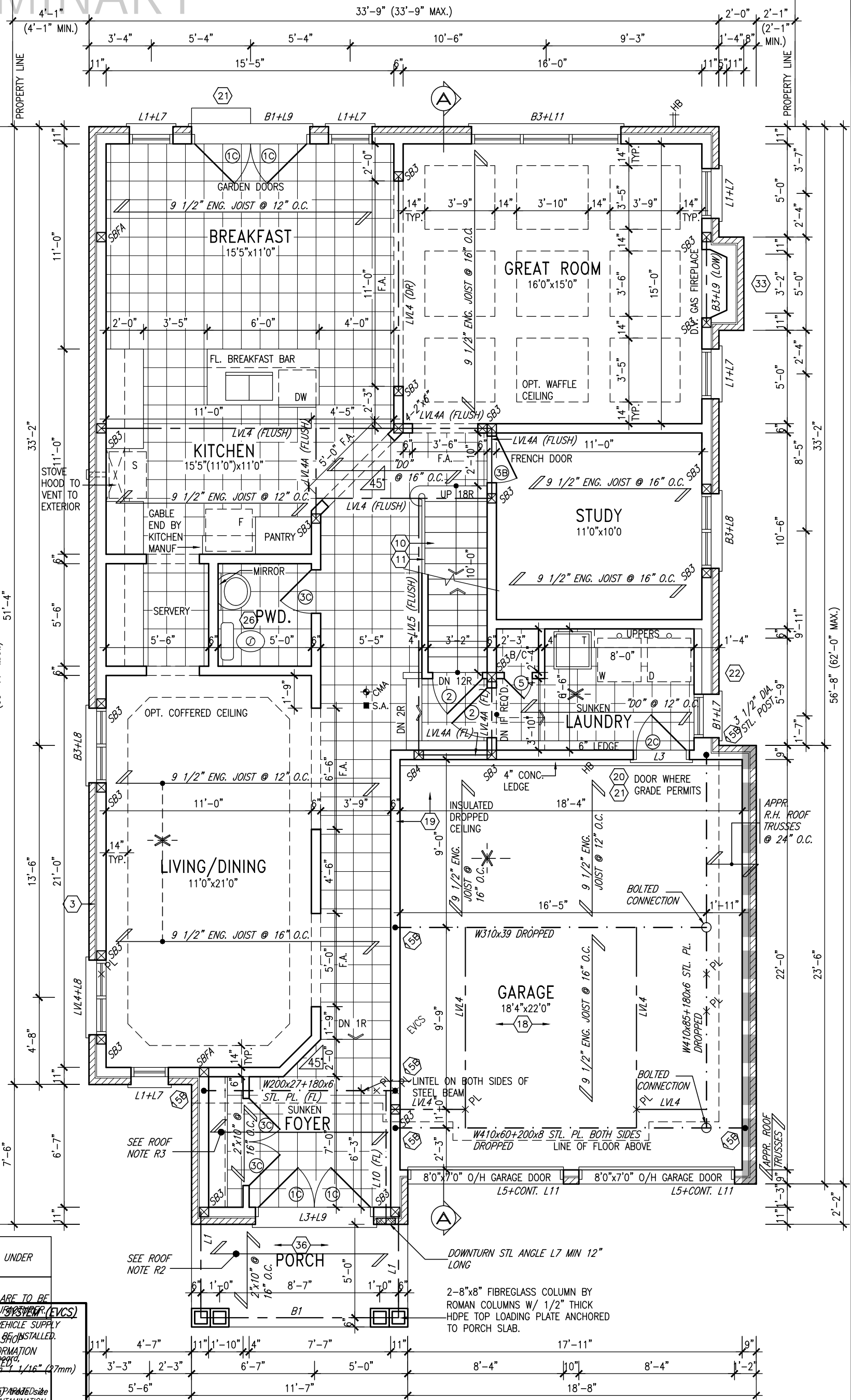
16023-S42-15-10GRND

drawing no.  
1A

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GROUND FLOOR PLAN 'A' (10'0" GROUND)

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# BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>		project no. <b>16023</b>	
date <b>MARCH 2017</b>		GROUND FLOOR PLAN ELEVATION 'A'			
drawing no. <b>2</b>					
drawn by <b>SB</b>		checked by <b>3/16"</b>		scale <b>1'-0"</b>	
				file name <b>16023-S42-15-10GRND</b>	
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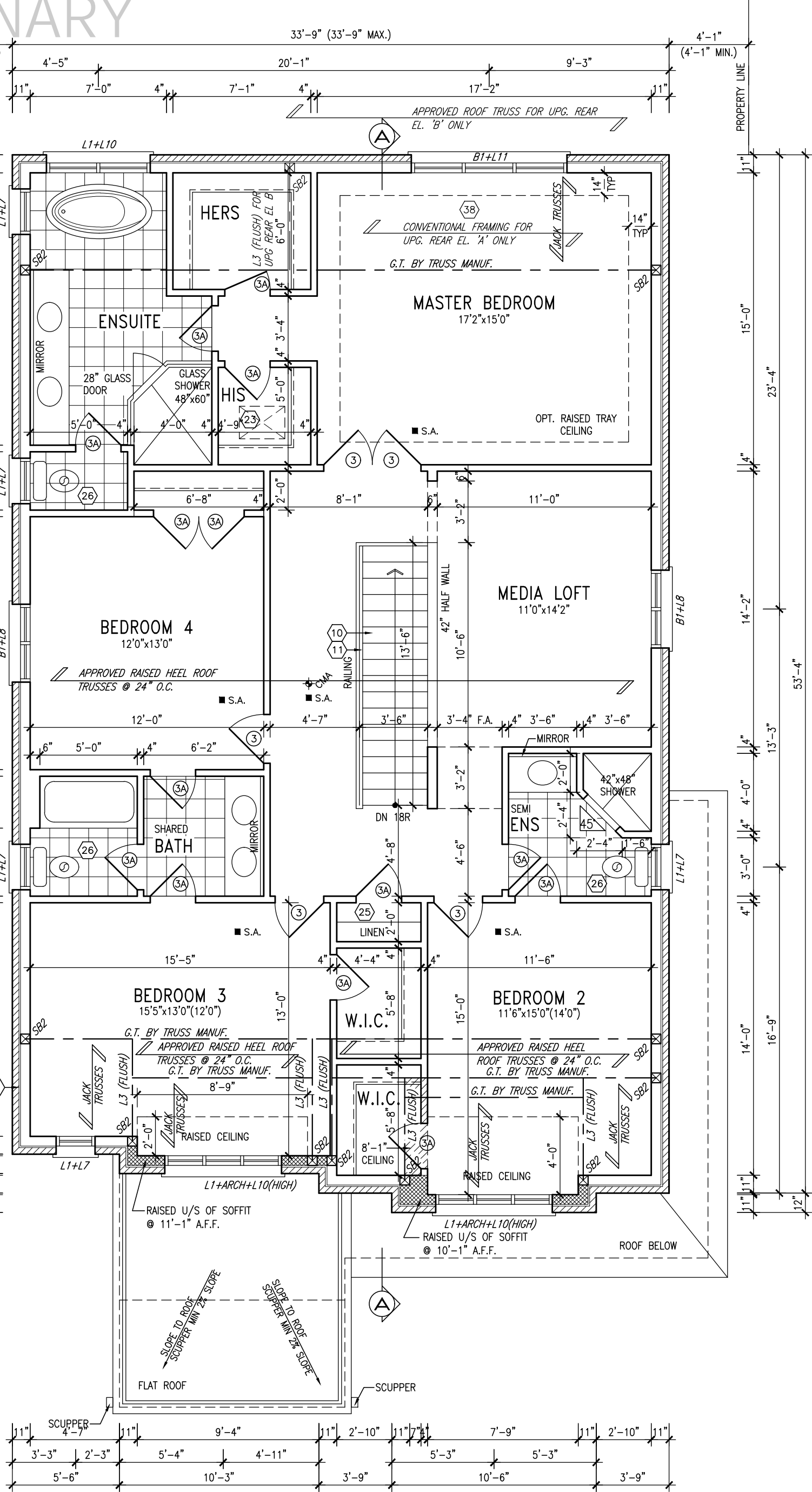
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10' GROUND

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ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:  
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg



SECOND FLOOR PLAN 'A' 4 BEDROOM + MEDIA LOFT

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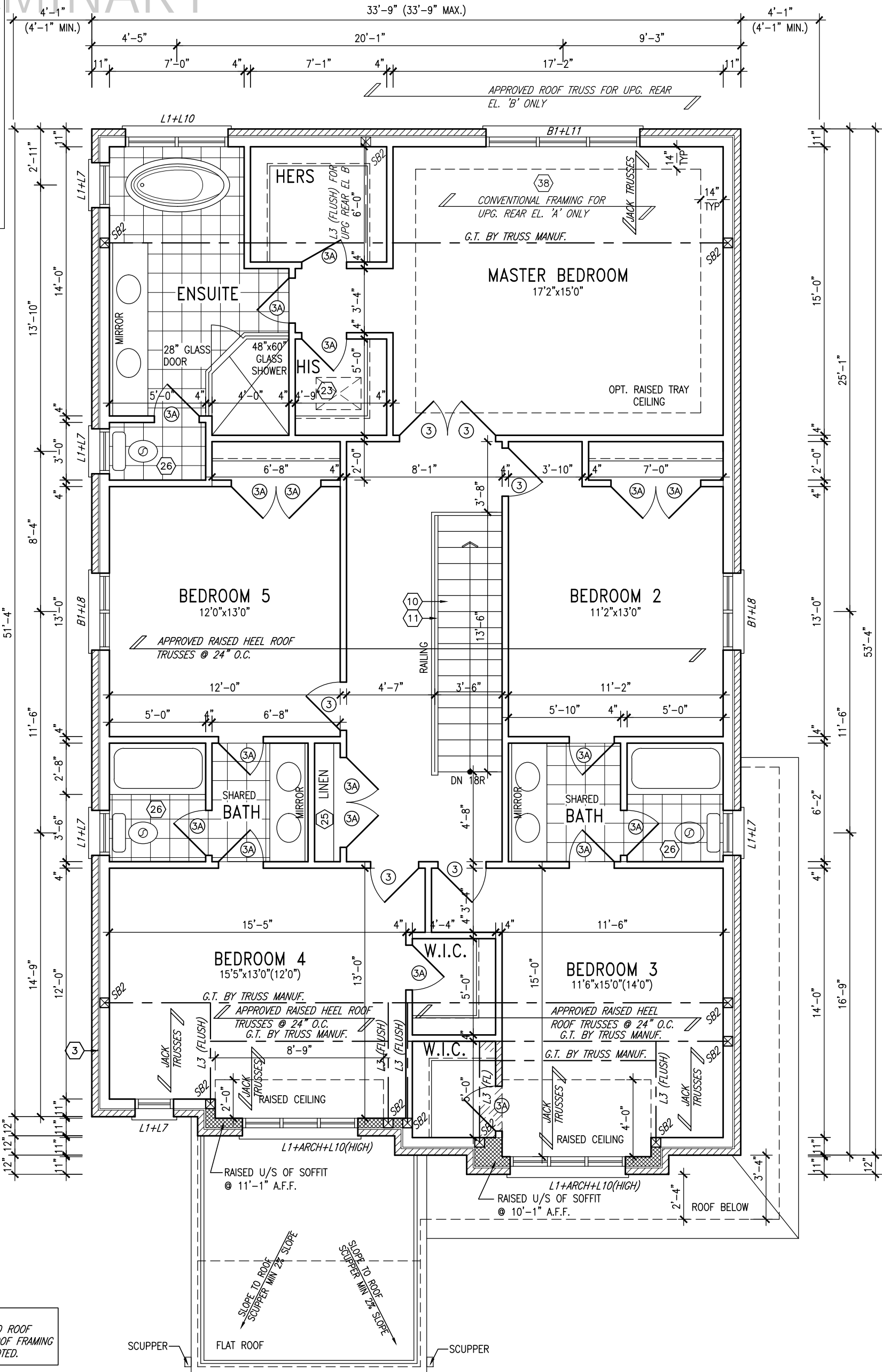
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<b>BAYVIEW WELLINGTON</b>		<b>S42-15</b> RIDEAU 15	
project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>	project no. <b>16023</b>
date <b>MARCH 2017</b>	SECOND FLOOR PLAN ELEVATION 'A'		drawing no. <b>3</b>
drawn by <b>SB</b>	checked by <b>3/16" = 1'-0"</b>	scale <b>16023-S42-15-10GRND</b>	file name <b>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:38 AM</b>

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10' GROUND



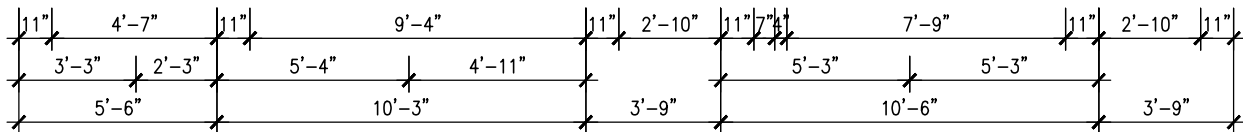
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SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED.

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OPT. SECOND FLOOR PLAN 'A' 5 BEDROOM



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**BAYVIEW WELLINGTON**

**S42-15**  
RIDEAU 15

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-15-10GRND
					file name
					RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:38 AM

drawing no.  
**4**

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- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.

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GB-NOTE-2020.dwg

NOTE R3:  
TWO PLY RUBBER MEMBRANE  
ADHERED TO EXT. TYPE 5/8"  
T&G PLYWOOD SHEATHING ON  
2"x4" PURLINS LAID PERP. TO  
JOISTS SLOPED TO DRAIN, ON  
2"x10" SPF. JOISTS @ 16"  
O.C. W/ SPRAY FOAM  
INSULATION R30 A/V BARRIER  
5/8" GYPSUM BOARD

ROOF NOTE R2  
2"x10" @ 16" O.C. P.T. W/  
2"x4" @ 12" O.C. DIAGONALLY  
CUT CROSS PURLINS W/ 5/8"  
EXTERIOR GRADE SHEATHING W/  
TWO PLY ROOF MEMBRANE

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ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD.
- SOLID FUEL APPLIANCE EXHAUST

KIT-EX-NOTE-2020.dwg

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# BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>		project no. <b>16023</b>	
date <b>MARCH 2017</b>		PARTIAL PLANS ELEVATION 'B'			
drawing no.		drawing no.			
drawn by		checked by		scale	
SB		3/16" = 1'-0"		file name	
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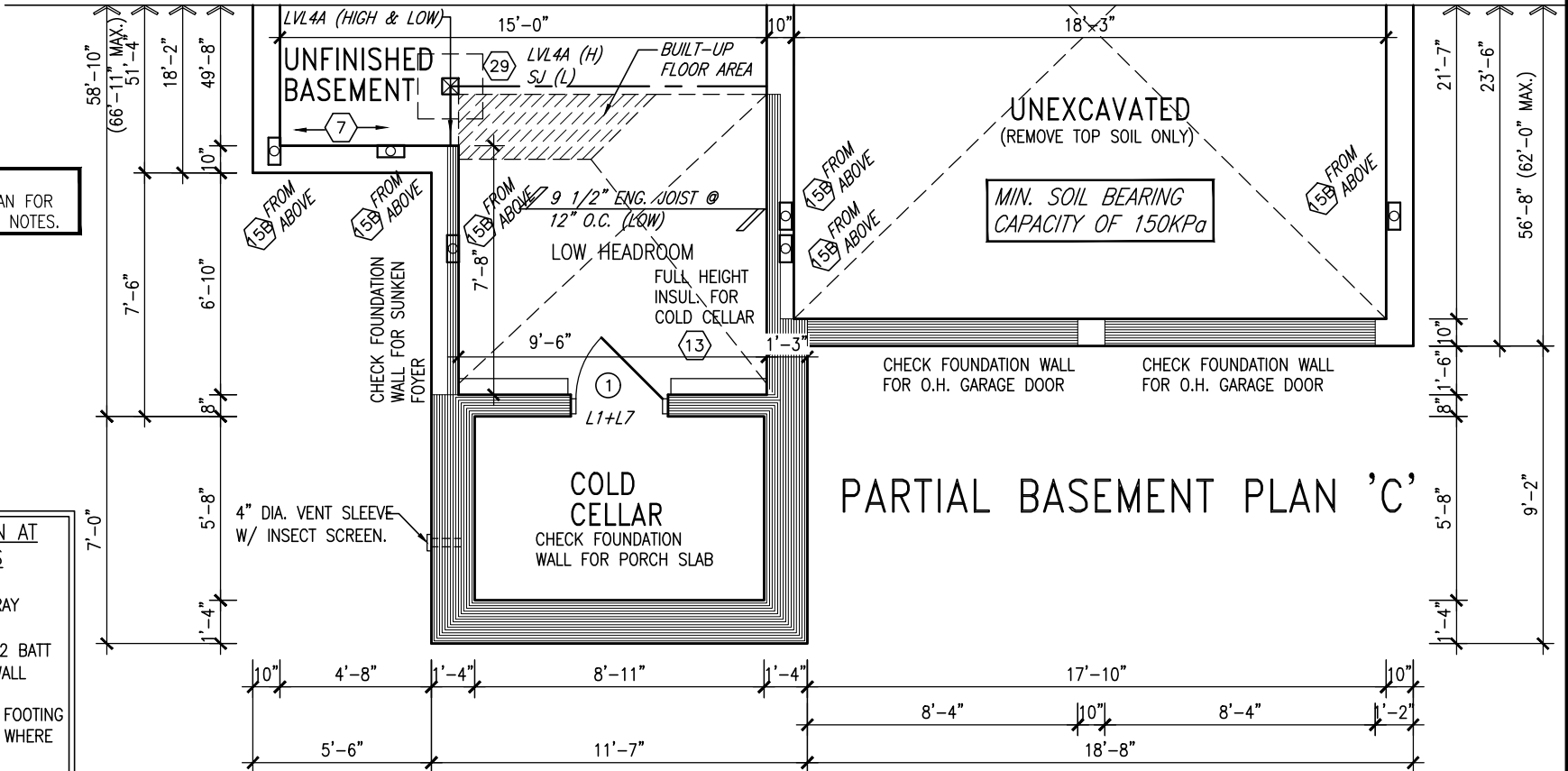
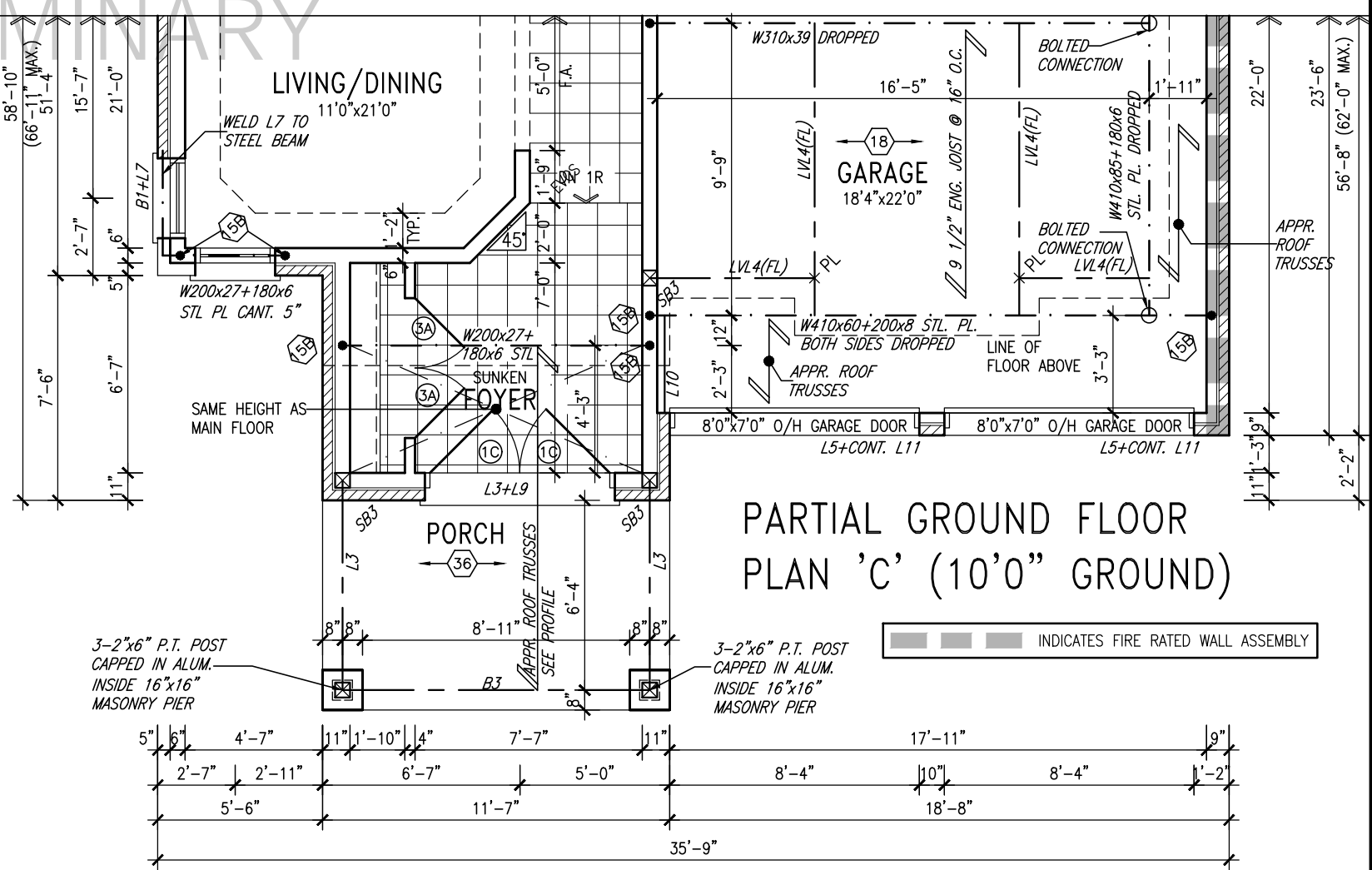
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10' GROUND

NOTE:  
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**BASEMENT INSULATION AT  
STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS  
INSULATION (RIGID or SPRAY  
FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL  
FINISH  
-EXTEND EXTERIOR WALL FOOTING  
TO SUPPORT 2"x4" WALL WHERE  
LOAD BEARING.

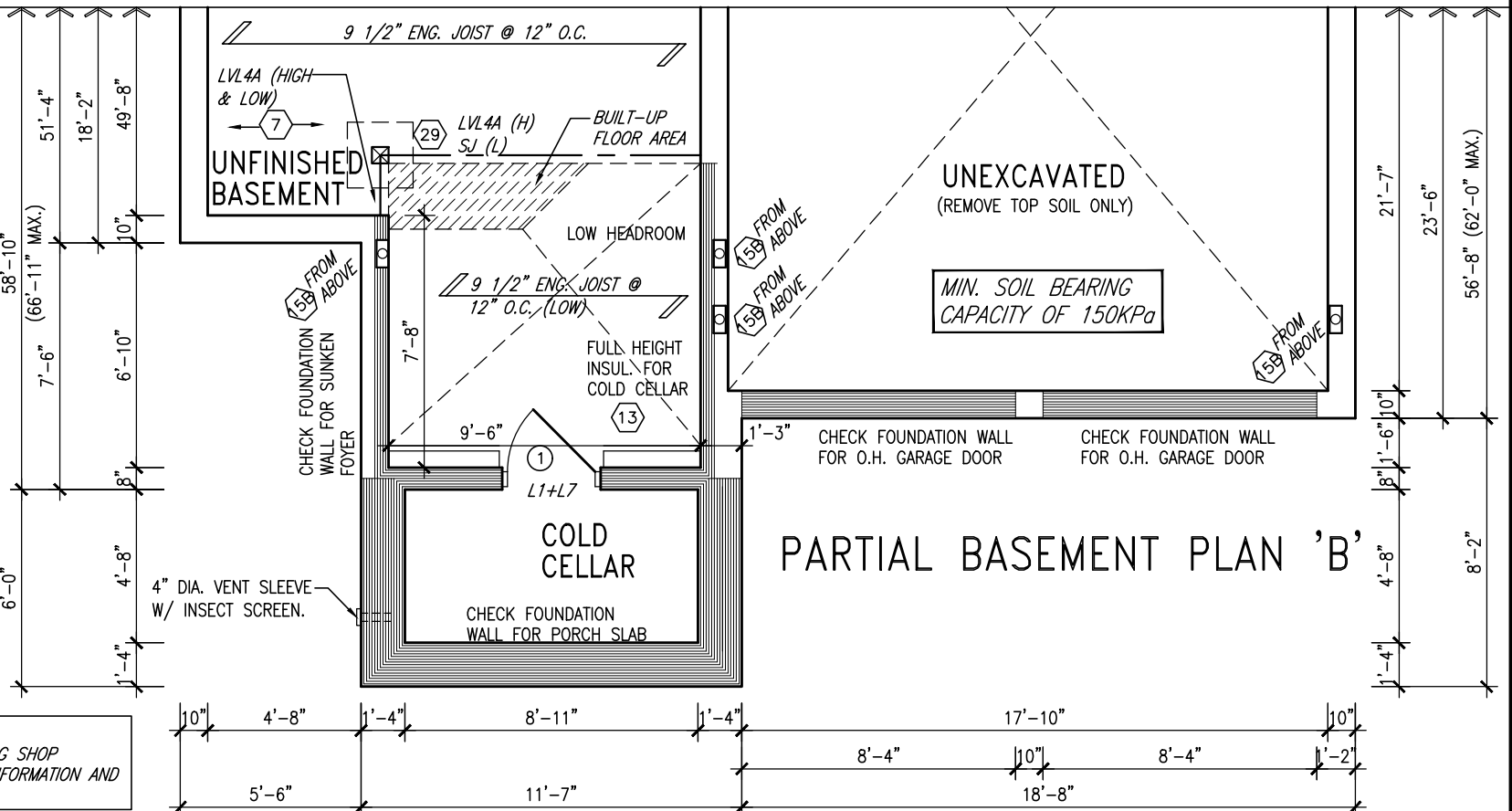


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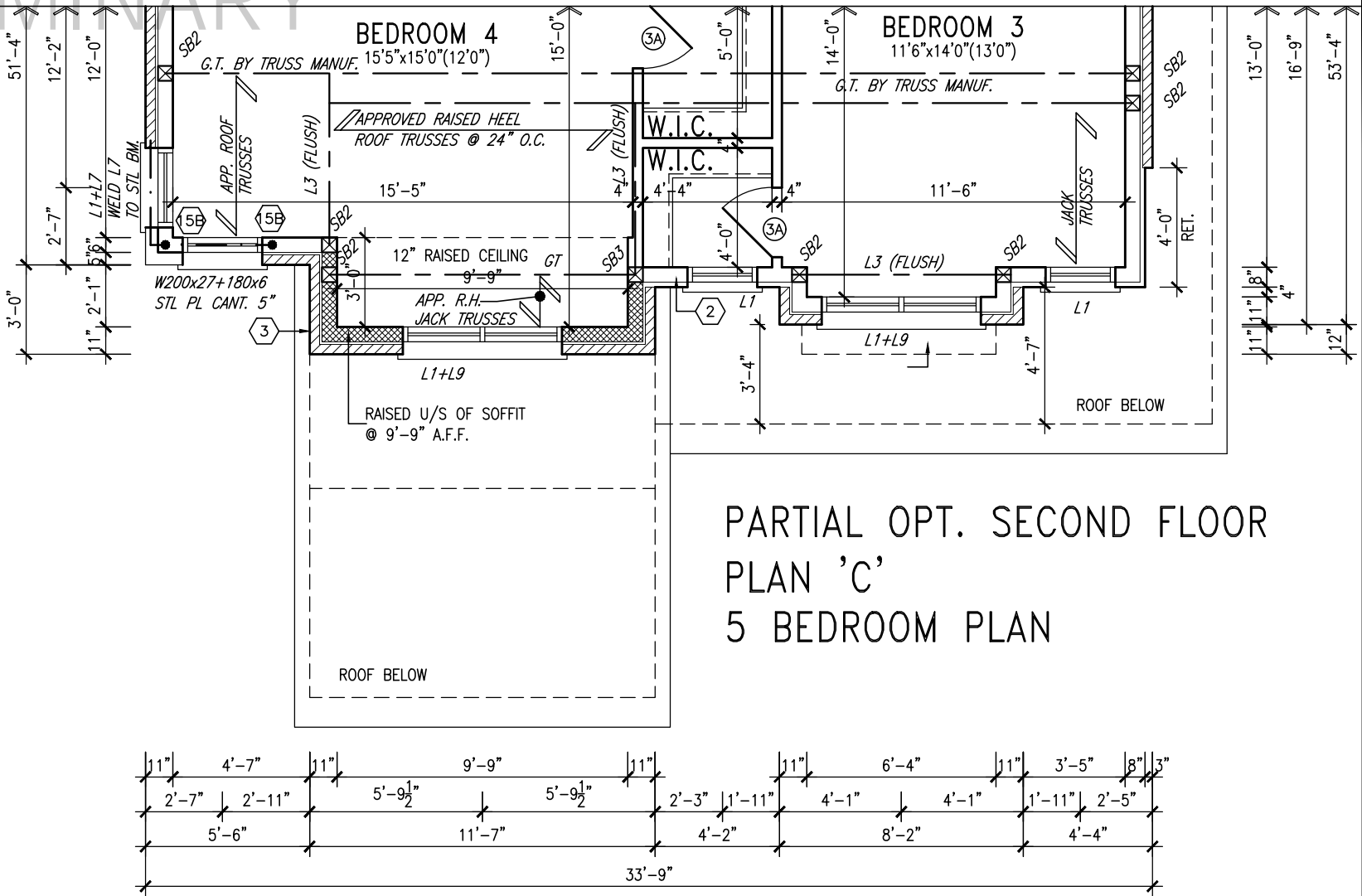
<b>BAYVIEW WELLINGTON</b>		<b>S42-15</b> RIDEAU 15	
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD</b>	project no. <b>16023</b>	
date <b>MARCH 2017</b>	drawing no. <b>6</b>		
drawn by <b>SB</b>	checked by <b>scale</b> <b>3/16" = 1'-0"</b>	file name <b>16023-S42-15-10GRND</b>	
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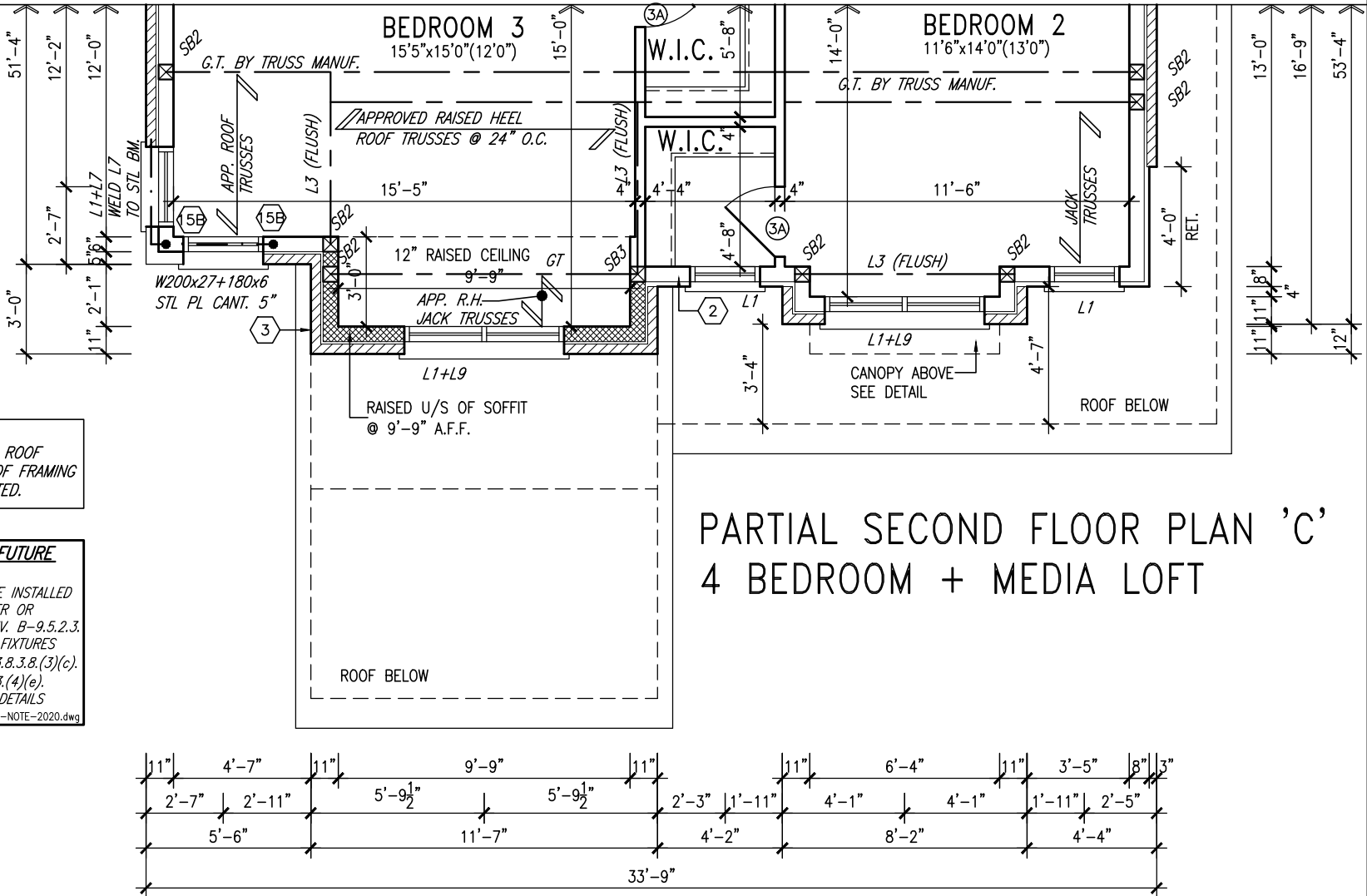
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10' GROUND



PARTIAL OPT. SECOND FLOOR  
PLAN 'C'  
5 BEDROOM PLAN

NOTE:  
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PARTIAL SECOND FLOOR PLAN 'C'  
4 BEDROOM + MEDIA LOFT

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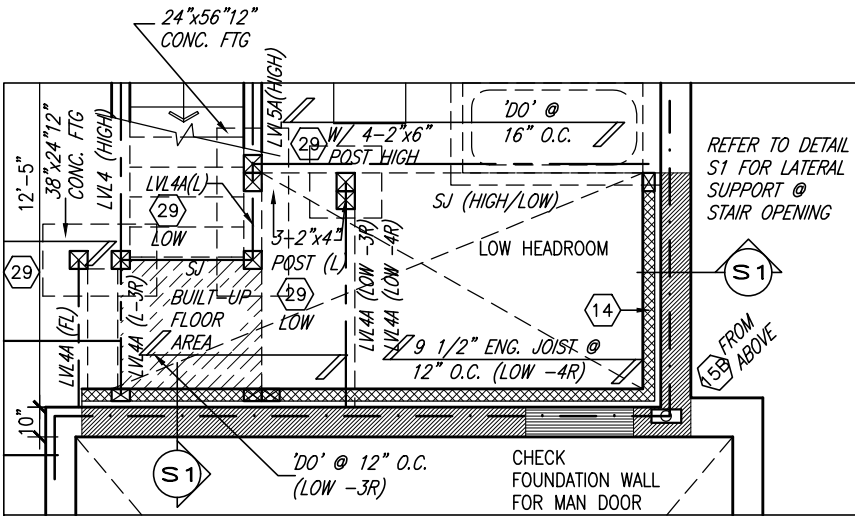
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PARTIAL BASEMENT  
PLAN W/ SUNKEN  
LAUNDRY -3R

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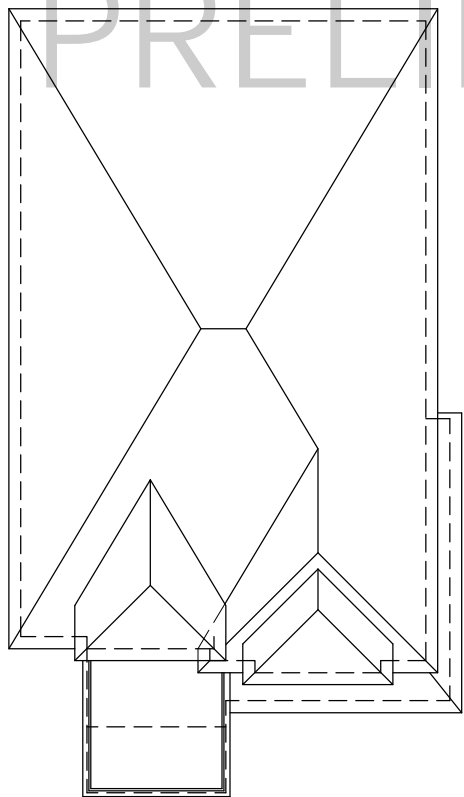
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BAYVIEW WELLINGTON

S42-15  
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scale	3/16" = 1'-0"	file name	16023-S42-15-10GRND	drawing no.	7
PARTIAL PLANS ELEVATION 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:38 AM					





ROOF PLAN 'A'

# 10<sup>9</sup> GROUND

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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FRONT ELEVATION 'A'

**BAYVIEW WELLINGTON**

**S42-15**

INDIA 13

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023

date \_\_\_\_\_ FRONT ELEVATION 'A' \_\_\_\_\_ drawing no. \_\_\_\_\_

MARCH 2017	FRONT ELEVATION A
drawn by USB	<div> <div>checked by</div> <div>scale</div> <div>file name</div> </div> <div> <div>.</div> <div><math>3/16" = 1'-0"</math></div> <div>16023-S42-15-10GRND</div> </div>

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:39 AM

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are not self-propagating in the absence of a flame, and are not self-propagating in the absence of a flame.

VA<sup>3</sup>

# DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

va3design.com

specifications, related documents and data

1. **Introduction**

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All draw

9	.	.	.
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7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	by
no.	description	date	

Downloaded from <http://ajphaphysocpharm.sagepub.com/> at 11:01 11 November 2014

PRELIMINARY

1'-0"

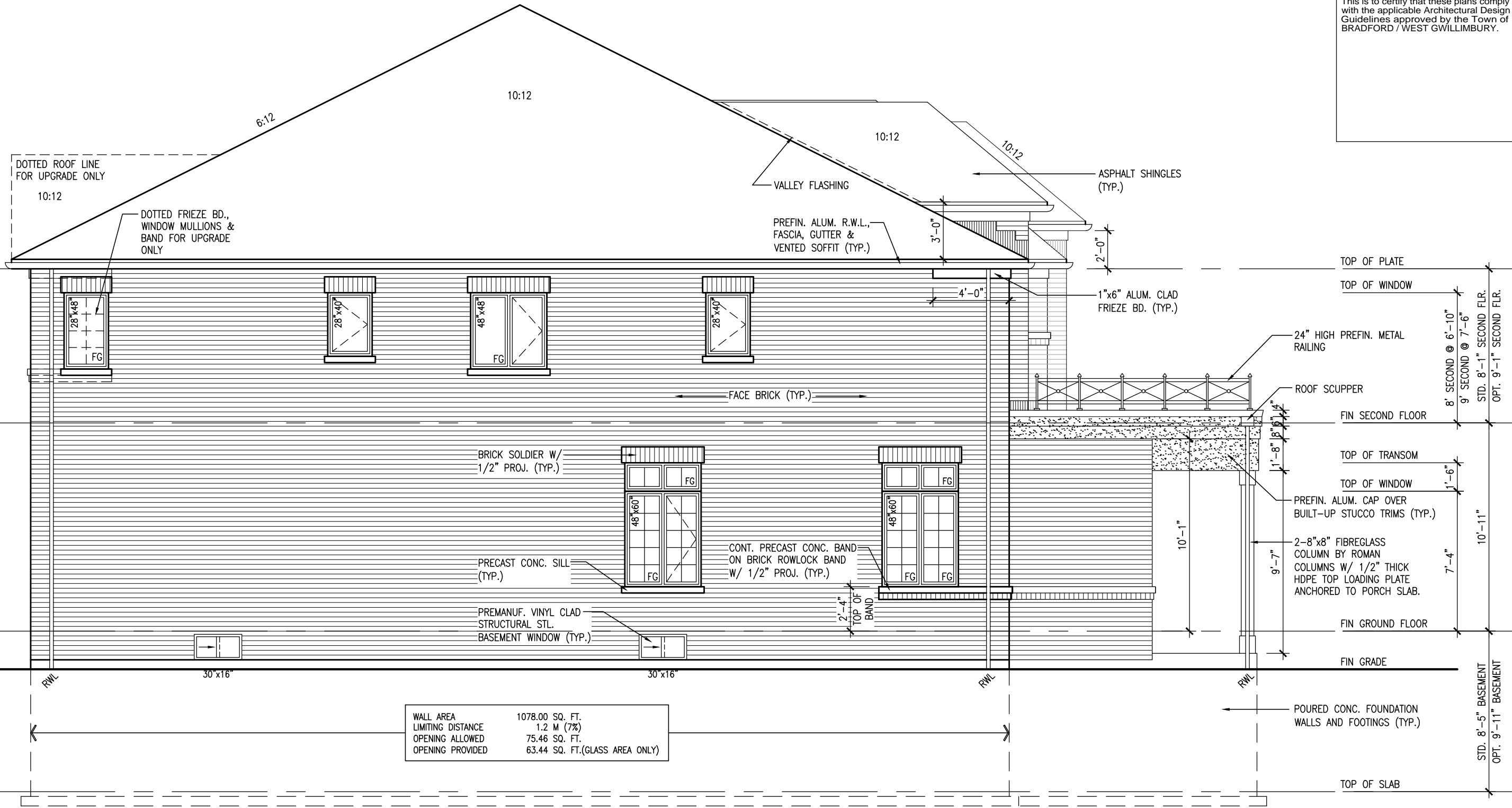
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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10' GROUND

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-15  
RIDEAU 15

GREEN VALLEY EAST

BRADFORD

project no.  
16023

drawing no.  
9

LEFT SIDE ELEVATION 'A'

file name  
16023-S42-15-10GRND

drawn by  
SB

checked by  
SB

date  
MARCH 2017

scale  
3/16" = 1'-0"

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t 416.630.2255 f 416.630.4782  
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no.	description	date	by
9			
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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

PRELIMINARY

1'-0" 1'-0"

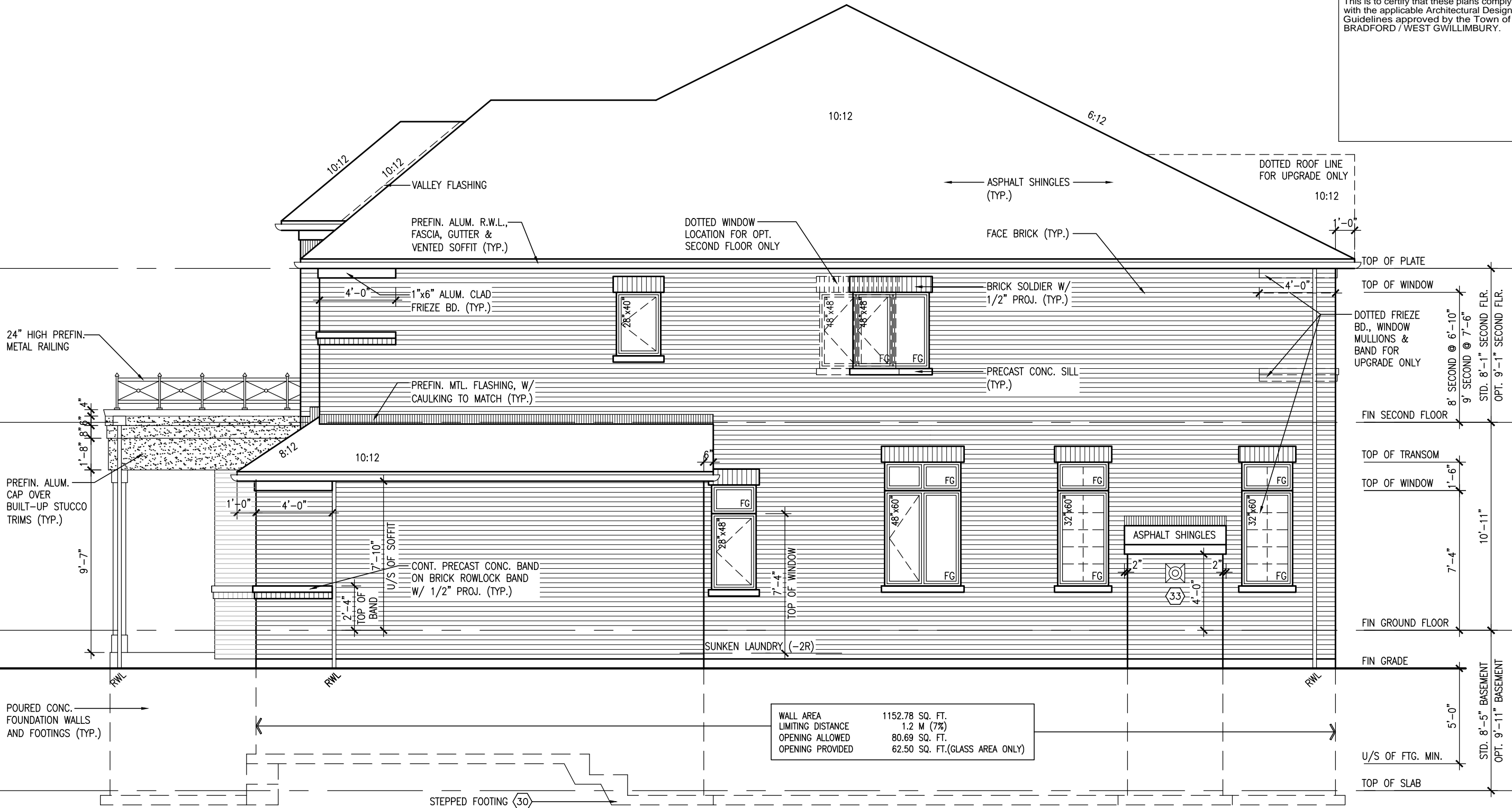
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
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10' GROUND

RIGHT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-15  
RIDEAU 15

project name  
GREEN VALLEY EAST

municipality  
BRADFORD

project no.  
16023

drawing no.  
10

file name  
16023-S42-15-10GRND

drawn by  
SB

scale  
3/16" = 1'-0"

checked by  
SB

date  
MARCH 2017

drawn by  
SB

checked by  
SB

date  
10/23/2021

description  
10' GROUND FLOOR

description  
4' REVISED AS PER ENG COMMENTS

description  
3' ADD OPT. 9' BASEMENT

description  
2' REVISED AS PER ENG'S COMMENTS

description  
1' ISSUED FOR CLIENT REVIEW

VA3  
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Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
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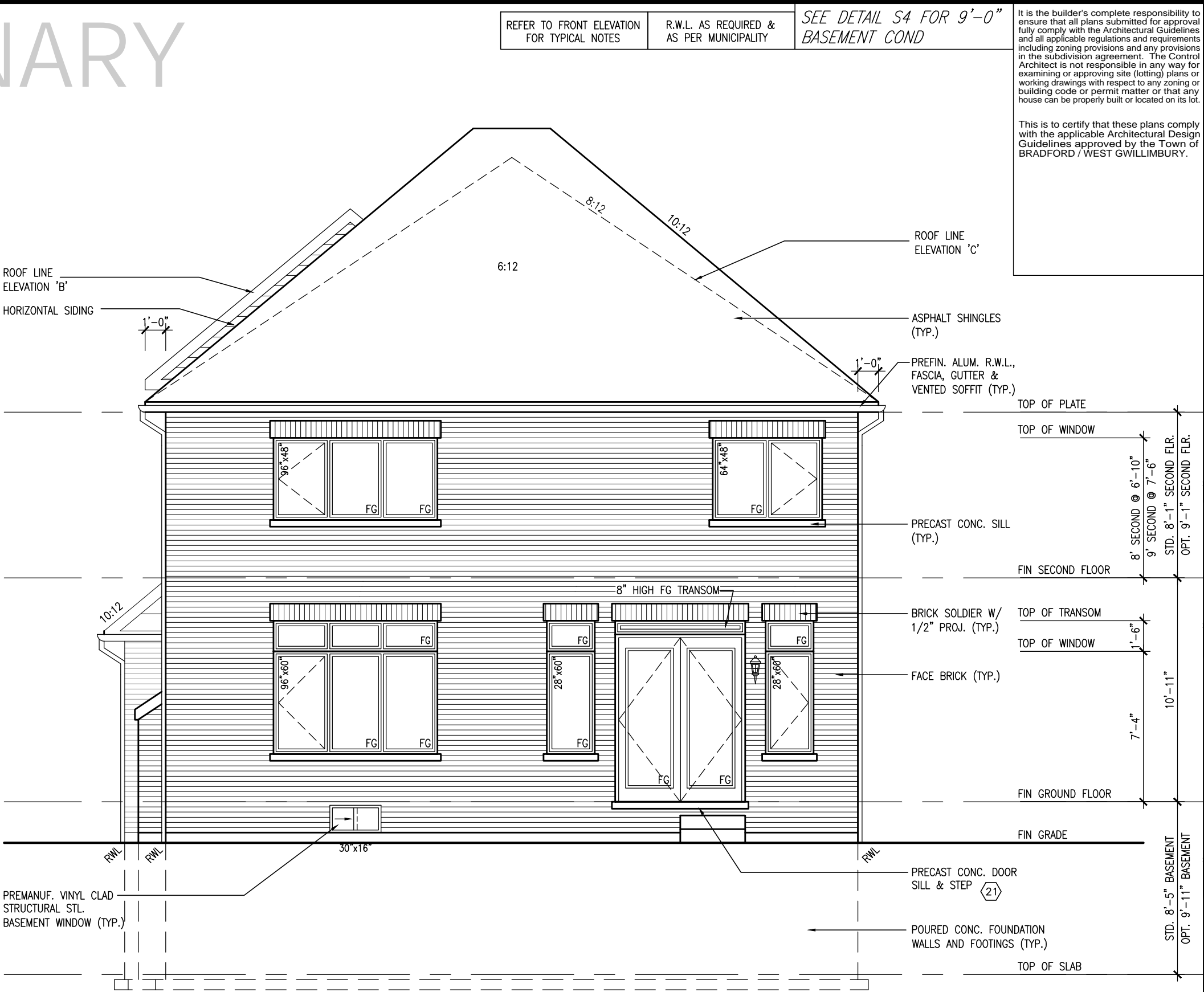
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.A W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	725.25 S.F.	169.63 S.F.	23.39 %
LEFT SIDE	1195.37 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	708.75 S.F.	194.94 S.F.	27.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3824.75 S.F.	561.41 S.F.	14.68 %
TOTAL SQ. M.	355.33 S.M.	52.16 S.M.	14.68 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.92 S.F.	184.94 S.F.	25.51 %
LEFT SIDE	1195.38 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	708.75 S.F.	194.94 S.F.	27.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3824.43 S.F.	576.72 S.F.	15.08 %
TOTAL SQ. M.	355.30 S.M.	53.58 S.M.	15.08 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	718.50 S.F.	162.22 S.F.	22.58 %
LEFT SIDE	1200.38 S.F.	94.89 S.F.	7.90 %
RIGHT SIDE	1199.13 S.F.	97.28 S.F.	8.11 %
REAR	708.75 S.F.	194.94 S.F.	27.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3826.76 S.F.	549.33 S.F.	14.35 %
TOTAL SQ. M.	355.51 S.M.	51.03 S.M.	14.35 %



10' GROUND

REAR ELEVATION 'A', 'B' & 'C'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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BAYVIEW WELLINGTON		S42-15		RIDEAU 15	
GREEN VALLEY EAST		BRADFORD		16023	
date		checked by		drawing no.	
MARCH 2017		SB		11	
drawn by		scale		file name	
SB		3/16" = 1'-0"		16023-S42-15-10GRND.dwg	
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no.		description		date	
9	.				
8	.				
7	.				
6	.				
5	10' GROUND FLOOR	JUN 23-21 KL			
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC			
3	ADD OPT. 9' BASEMENT	APR 06-21 RC			
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC			
1	ISSUED FOR CLIENT REVIEW				

NARY

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SECTION A-A

[illegible]

ROOF PLAN 'B'

FRONT ELEVATION 'B'

# 10<sup>9</sup> GROUND

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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**BAYVIEW WELLINGTON**

**S42-15**

project name	municipality	project no.
GREEN VALLEY PLACE	BRAND	40007

project name  
GREEN VALLEY EAST  
municipality  
BRADFORD  
16023  
project no

DATE: JANUARY 2017 FRONT ELEVATION 'B' drawing no.

drawn by	checked by	scale	file name
13			

16023-S42-15-10GRND

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# VA

# DESIGN

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specifications, related documents and documents

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Drawings are not to be scaled.

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

2	3	4	5
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PRELIMINARY

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

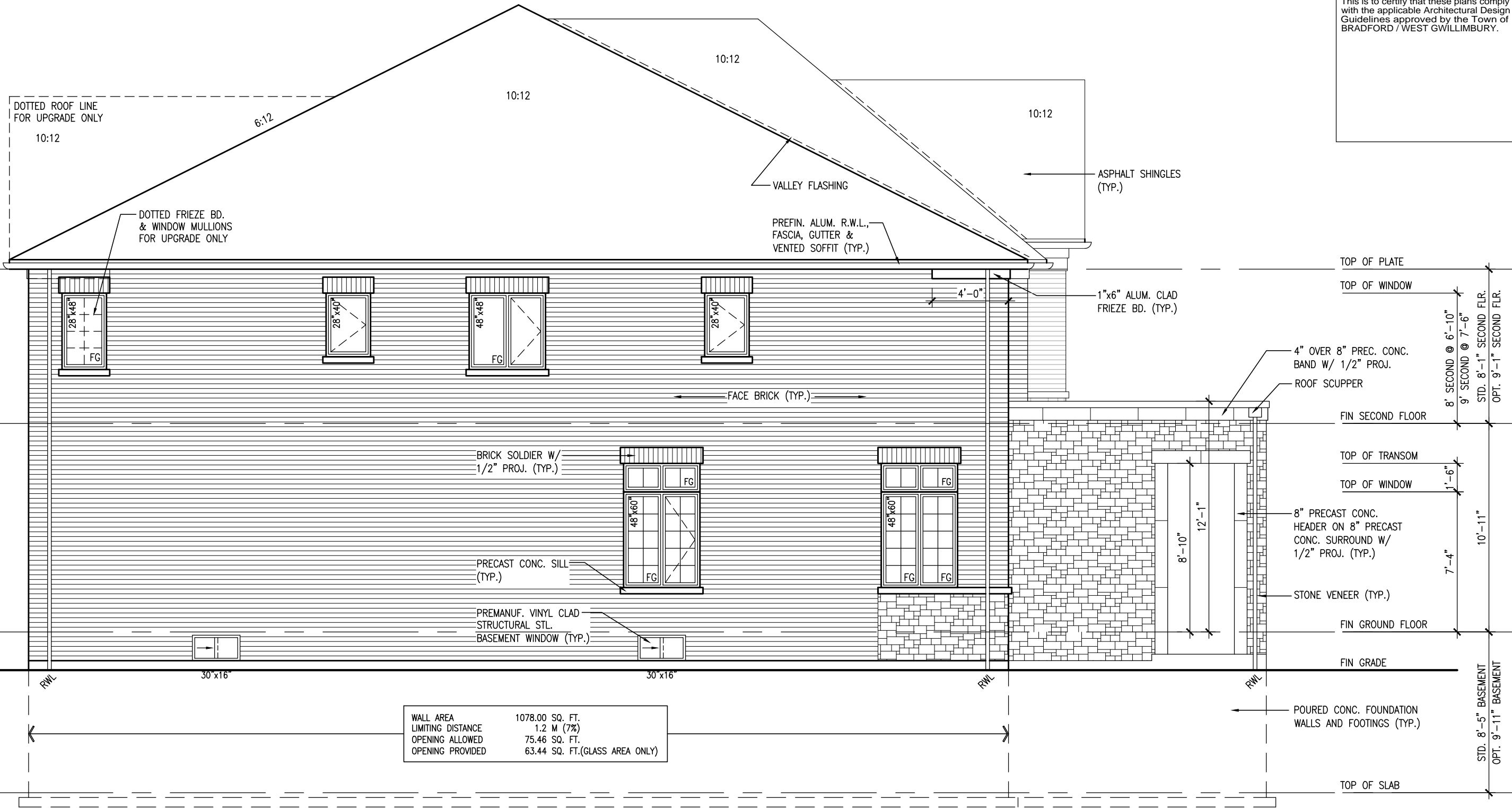
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1'-0"

1'-0" 1'-0" 1'-0"



10' GROUND

LEFT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON

S42-15  
RIDEAU 15

GREEN VALLEY EAST

BRADFORD

project no.

16023

drawing no.

14

file name

16023-S42-15-10GRND

scale

3/16" = 1'-0"

checked by

SB

date

MARCH 2017

drawn by

SB

project name

BAYVIEW WELLINGTON

municipality

BRADFORD

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drawing no.

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file name

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drawing no.

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SB

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SB

project name

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municipality

BRADFORD

project no.

16023

drawing no.

14

file name

16023-S42-15-10GRND

scale

3/16" = 1'-0"

checked by

SB

date

MARCH 2017

drawn by

SB





SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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FRONT ELEVATION 'C'

TOP OF SLAB

1.

1	10' GROUND FLOOR	JUN 23-21	KL
2	1	APR 08-21	RC
3	REVISED AS PER ENG COMMENTS		
4			
5			
6			
7			
8			
9			
10			

date **MARCH 2017** FRONT ELEVATION 'C' drawing no. **16**

	drawn by	checked by	scale	file name
1B		.	3/16" = 1'-0"	16023-S42-15-10GRND

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782

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PRELIMINARY

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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1'-0"

1'-0"

1'-0"

1'-3"

1'-0"

ASPHALT SHINGLES

VALLEY FLASHING TYP.

2:12 ROOF SADDLE  
W/ 2 PLY ROOF  
MEMBRANE

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

PREFIN. ALUM. CAP

1"x6" STUCCO FRIEZE  
BOARD (TYP.)

FACE BRICK (TYP.)

PROVIDE MIN. 6" FLASHING  
BEHIND STUCCO. (TYP.)

HORIZONTAL SIDING (TYP.)

PROVIDE MIN. 6" FLASHING  
BEHIND SIDING (TYP.)

6:12

8:12

6:12

ASPHALT SHINGLES  
(TYP.)

FACE BRICK (TYP.)

DOTTED WINDOW  
LOCATION FOR OPT.  
SECOND FLOOR ONLY

BRICK SOLDIER  
W/ 1/2" PROJ.  
(TYP.)

PRECAST CONC.  
SILL (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

U/S OF FTG. MIN.

TOP OF SLAB

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

STD. 8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

7'-4"

10'-11"

5'-0"

STD. 8'-5" BASEMENT

OPT. 9'-11" BASEMENT

STEPPED FOOTING 30

WALL AREA 1152.78 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
OPENING ALLOWED 80.69 SQ. FT.  
OPENING PROVIDED 62.50 SQ. FT.(GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'C'

10' GROUND

BAYVIEW WELLINGTON

S42-15  
RIDEAU 15

project no. 16023  
municipality BRADFORD  
project name GREEN VALLEY EAST  
date MARCH 2017  
drawn by SB

drawing no. 18  
file name 16023-S42-15-10GRND  
scale 3/16" = 1'-0"

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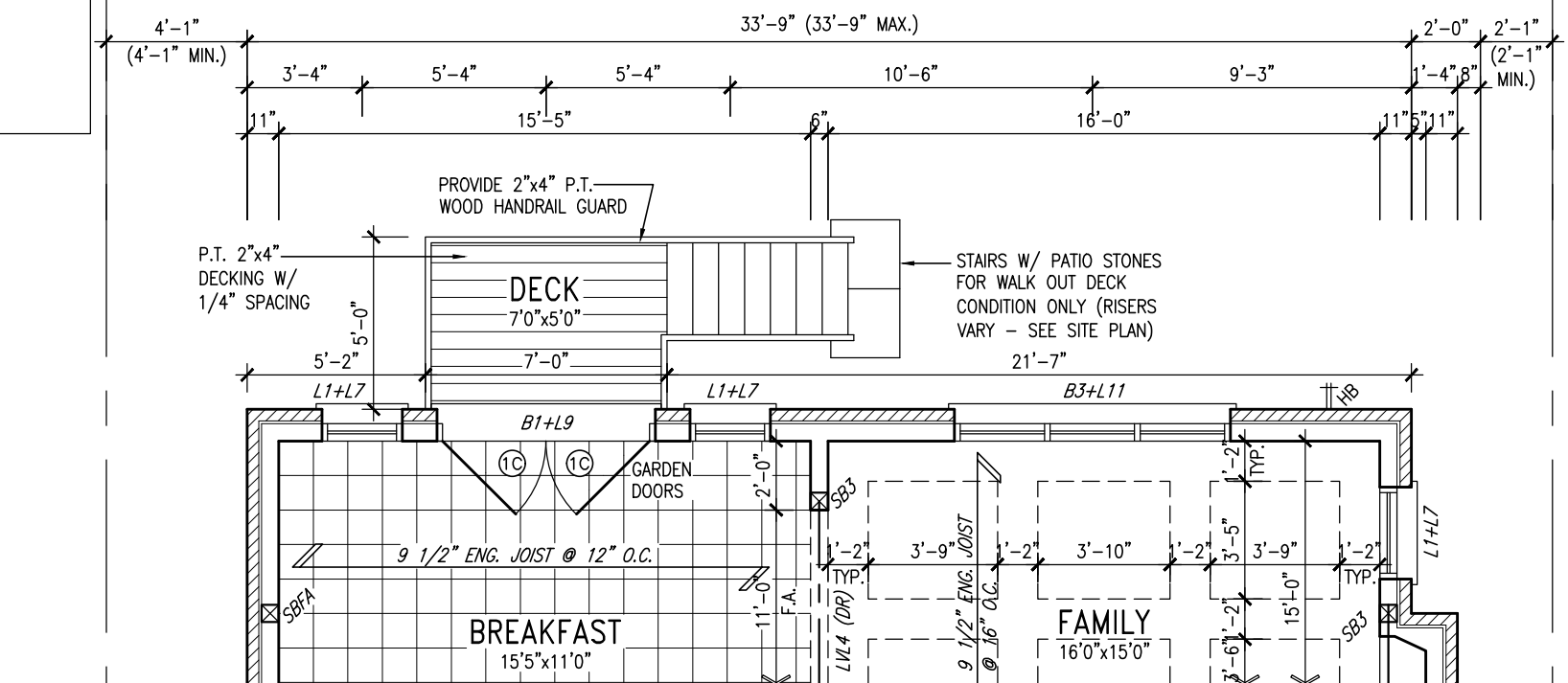
no.	description	date	by
9			
8			
7			
6			
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4	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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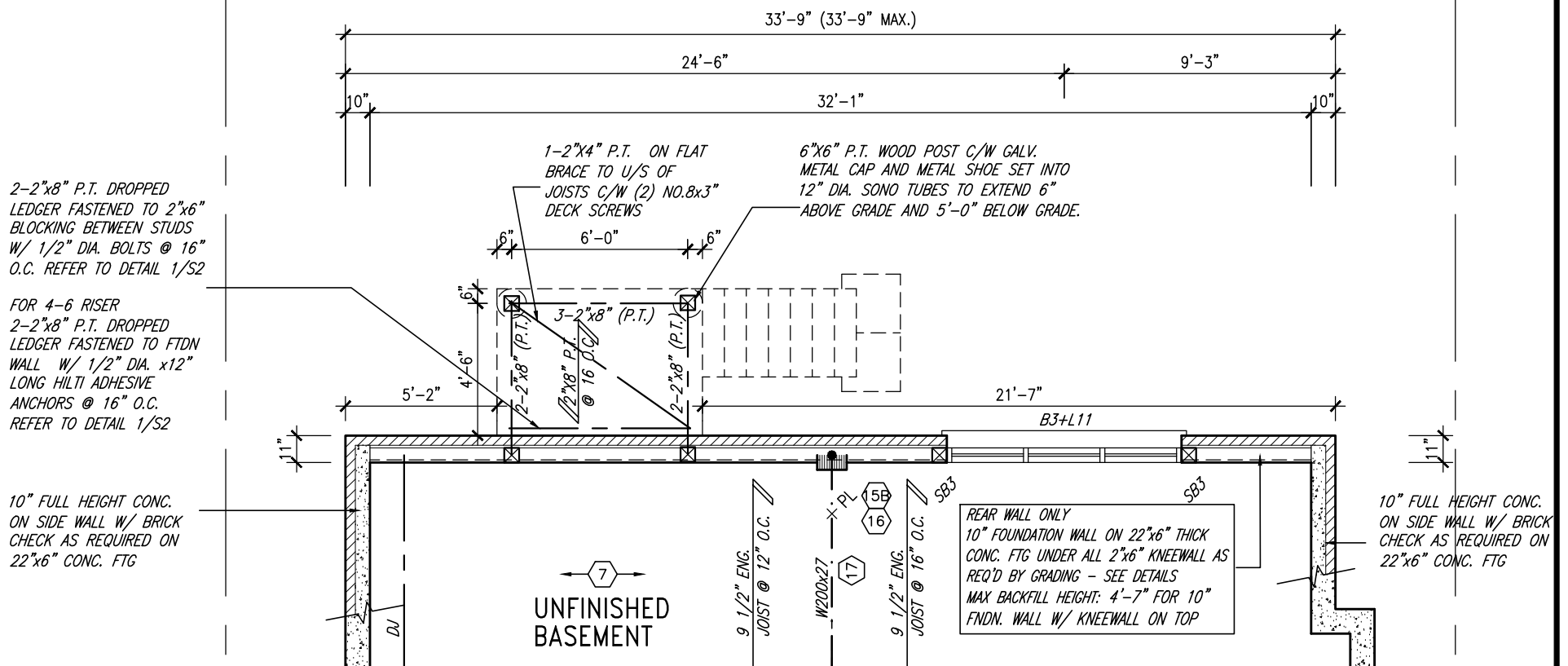
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# 10 Ground

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN  
W/ W.O.D.  
9R & MORE CONDITION



PARTIAL BASEMENT PLAN  
W/ W.O.D.  
9R & MORE CONDITION

NOTE:  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND  
DETAILS. UNLESS OTHERWISE NOTED.

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A  
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION  
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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## BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

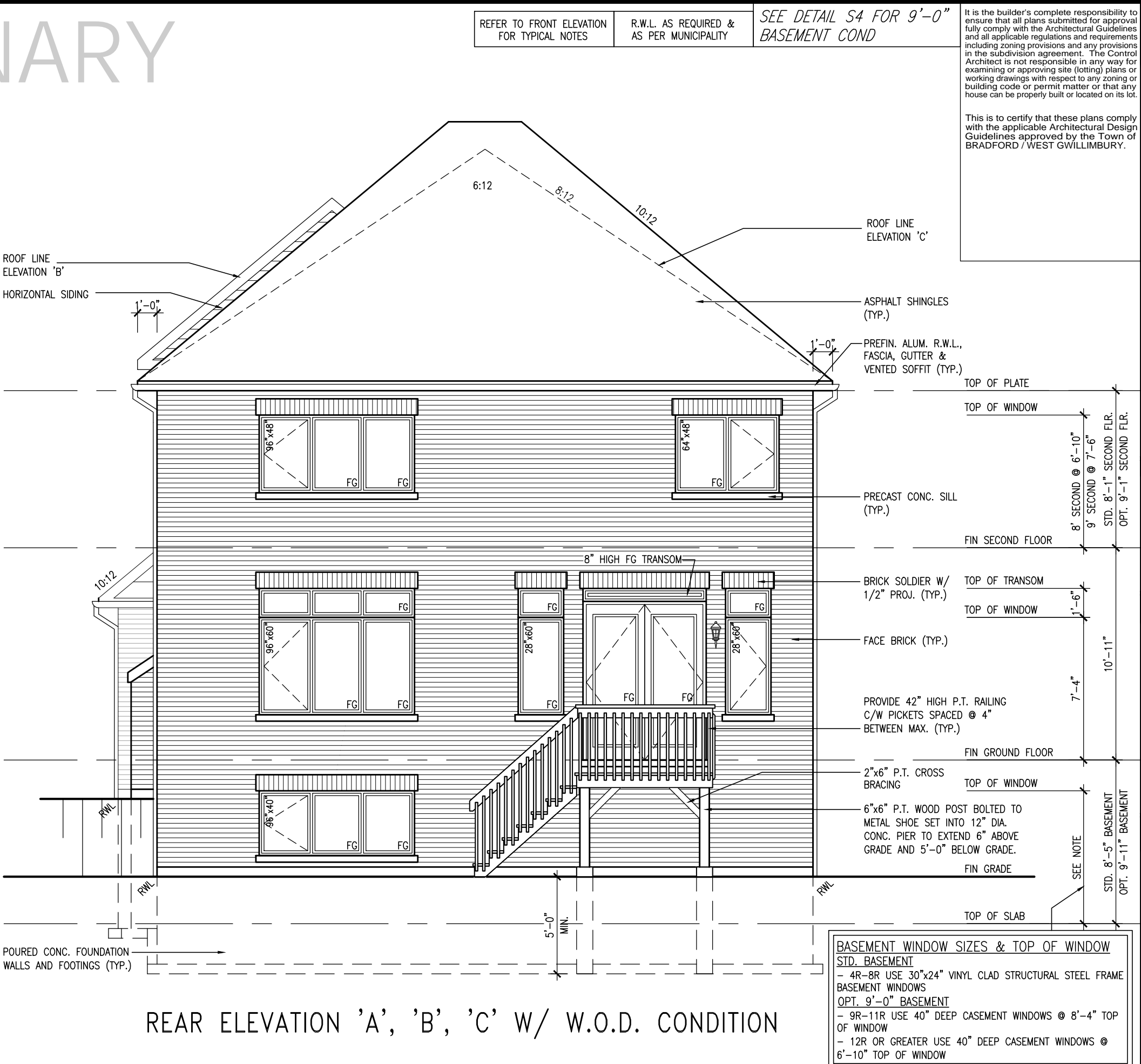
project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>		project no. <b>16023</b>	
date <b>MARCH 2017</b>		PARTIAL PLANS 9R WOD			drawing no. <b>19</b>
drawn by <b>SB</b>	checked by <b>.</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S42-15-10GRND</b>		
<small>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:39 AM</small>					

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	725.25 S.F.	169.63 S.F.	23.39 %
LEFT SIDE	1195.37 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	843.75 S.F.	218.28 S.F.	25.87 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3959.75 S.F.	584.75 S.F.	14.77 %
TOTAL SQ. M.	367.87 S.M.	54.32 S.M.	14.77 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.92 S.F.	184.94 S.F.	25.51 %
LEFT SIDE	1195.38 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	843.75 S.F.	218.28 S.F.	25.87 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3959.43 S.F.	600.06 S.F.	15.16 %
TOTAL SQ. M.	367.84 S.M.	55.75 S.M.	15.16 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	718.50 S.F.	162.22 S.F.	22.58 %
LEFT SIDE	1200.38 S.F.	94.89 S.F.	7.90 %
RIGHT SIDE	1199.13 S.F.	97.28 S.F.	8.11 %
REAR	843.75 S.F.	218.28 S.F.	25.87 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3961.76 S.F.	572.67 S.F.	14.45 %
TOTAL SQ. M.	368.06 S.M.	53.20 S.M.	14.45 %

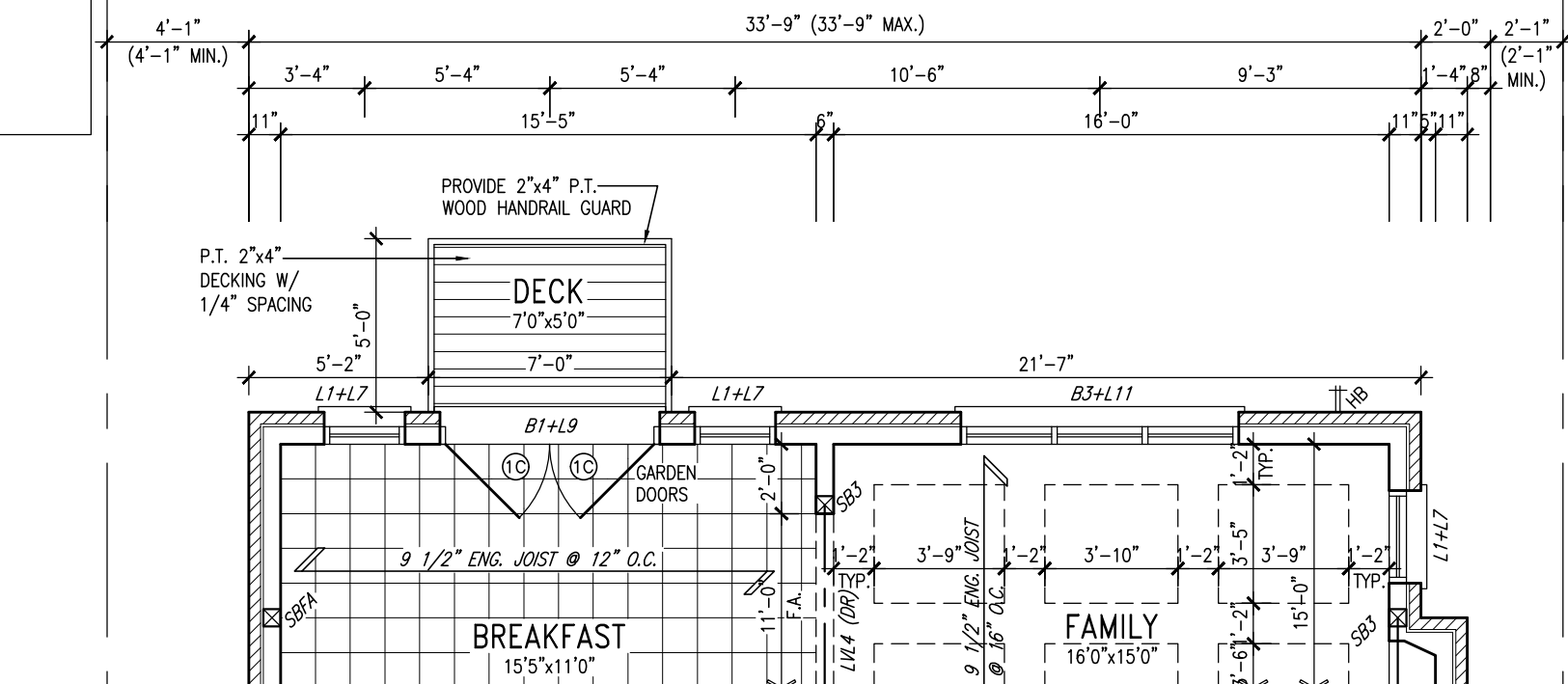


BAYVIEW WELLINGTON		S42-15	
GREEN VALLEY EAST		RIDEAU 15	
BRADFORD		BRADFORD	
MARCH 2017		16023	
SB		16023-S42-15-10GRND	
3/16" = 1'-0"		20	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:39 AM		16023-S42-15-10GRND	
255 Consumers Rd Suite 120		16023-S42-15-10GRND	
Toronto, ON M2J 1P4		16023-S42-15-10GRND	
t 416.630.2255 f 416.630.4782		16023-S42-15-10GRND	
vo3design.com		16023-S42-15-10GRND	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		16023-S42-15-10GRND	
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5		16023-S42-15-10GRND	
4		16023-S42-15-10GRND	
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1		16023-S42-15-10GRND	
no. description		16023-S42-15-10GRND	

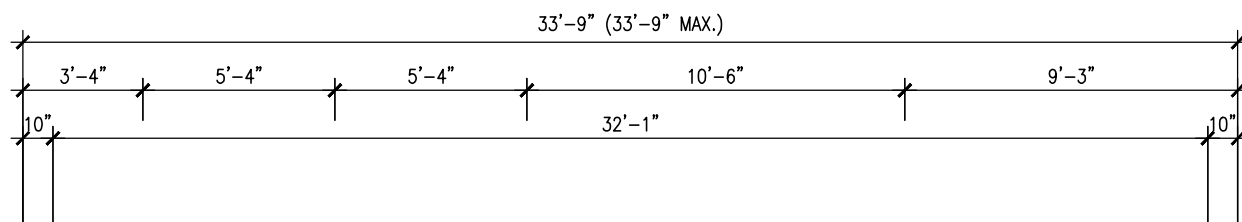
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TO GROUNDZ

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN  
W/ W.O.B.



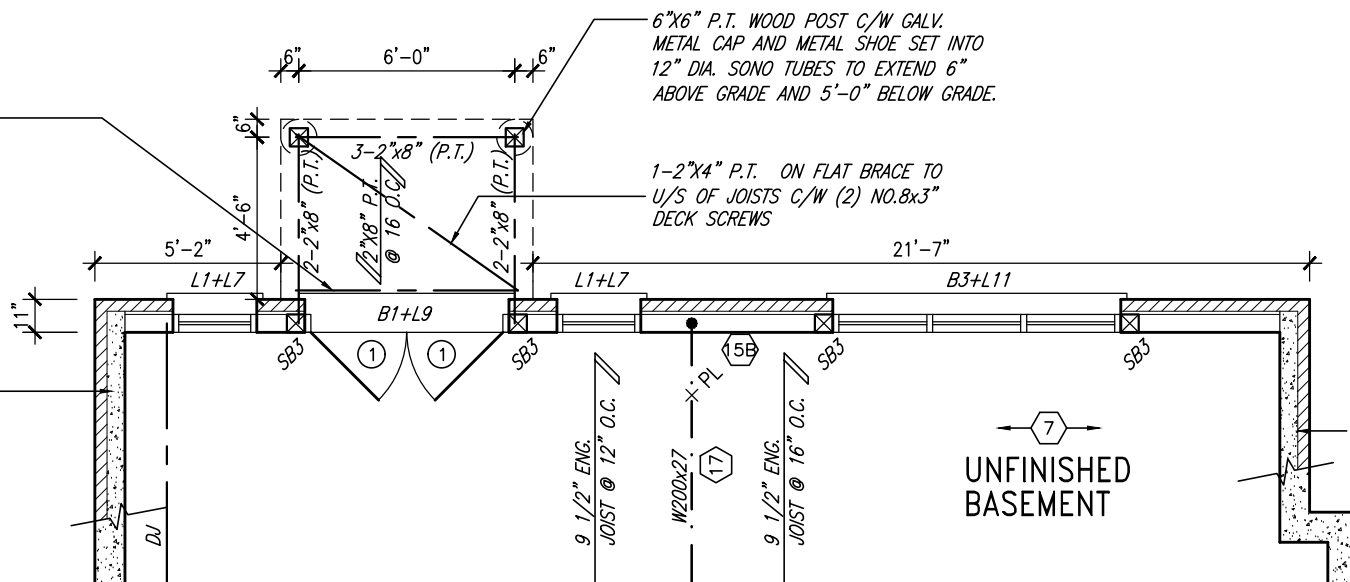
2-2"x8" P.T. DROPPED  
LEDGER FASTENED TO 2"x6"  
BLOCKING BETWEEN STUDS  
W/ 1/2" DIA. BOLTS @ 16".  
O.C. REFER TO DETAIL 1/S2

- 6"x6" P.T. WOOD POST C/W GALV.  
METAL CAP AND METAL SHOE SET INTO  
12" DIA. SONO TUBES TO EXTEND 6"  
ABOVE GRADE AND 5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT BRACE TO  
U/S OF JOISTS C/W (2) NO.8x3"  
DECK SCREWS

10" FULL HEIGHT CONC.  
ON SIDE WALL W/ BRICK  
CHECK AS REQUIRED ON  
22"x6" CONC. FTG

10" FULL HEIGHT CONC.  
ON SIDE WALL W/ BRICK  
CHECK AS REQUIRED ON  
22"x6" CONC. FTG



PARTIAL BASEMENT PLAN  
W/ W.O.B.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C.  
WHERE FLOOR JOISTS ARE PARALLEL TO  
FOUNDATION WALL (TYP.)

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL  
CERAMIC TILE AREAS.

**NOTE:**  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE  
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND  
DETAILS. UNLESS OTHERWISE NOTED.

### OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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# BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

project name	municipality
GREEN VALLEY EAST	BRADFORD

project no.  
16023

date **MARCH 2017** PARTIAL PLANS WOB

drawing no.

drawn by SB checked by . scale  $3/16" = 1'-0"$  file name 16023-S42-15-10GRND

21

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	6	.	.	.	JAN 25-18	RC
	5	10' GROUND FLOOR				
	4	REVISED AS PER ENG COMMENTS				
	3	ADD OPT. 9' BASEMENT				
	2	REVISED AS PER ENG'S COMMENTS				
	1	ISSUED FOR CLIENT REVIEW				
no.		description			date	by

UPGRADED REAR ELEVATION 'A' W/ W.O.B. CONDITION

ROOF PLAN 'B'  
W/ UPGRADED REAR

# 10<sup>9</sup> GROUND

UPGRADED REAR ELEVATION 'B'

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**S42-15**  
RIDEAU 15

**BAYVIEW WELLINGTON**

date

MARCH 2017

GREEN VALLEY EAST

BRADFORD

16023

drawing no.

ELEVATION 'B' REAR UPGRADE

drawn by	checked by	scale	file name
SB	.	$3/16'' = 1'-0''$	16023-S42-15-10GRND
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**A3**  
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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**All draw**

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PRELIMINARY

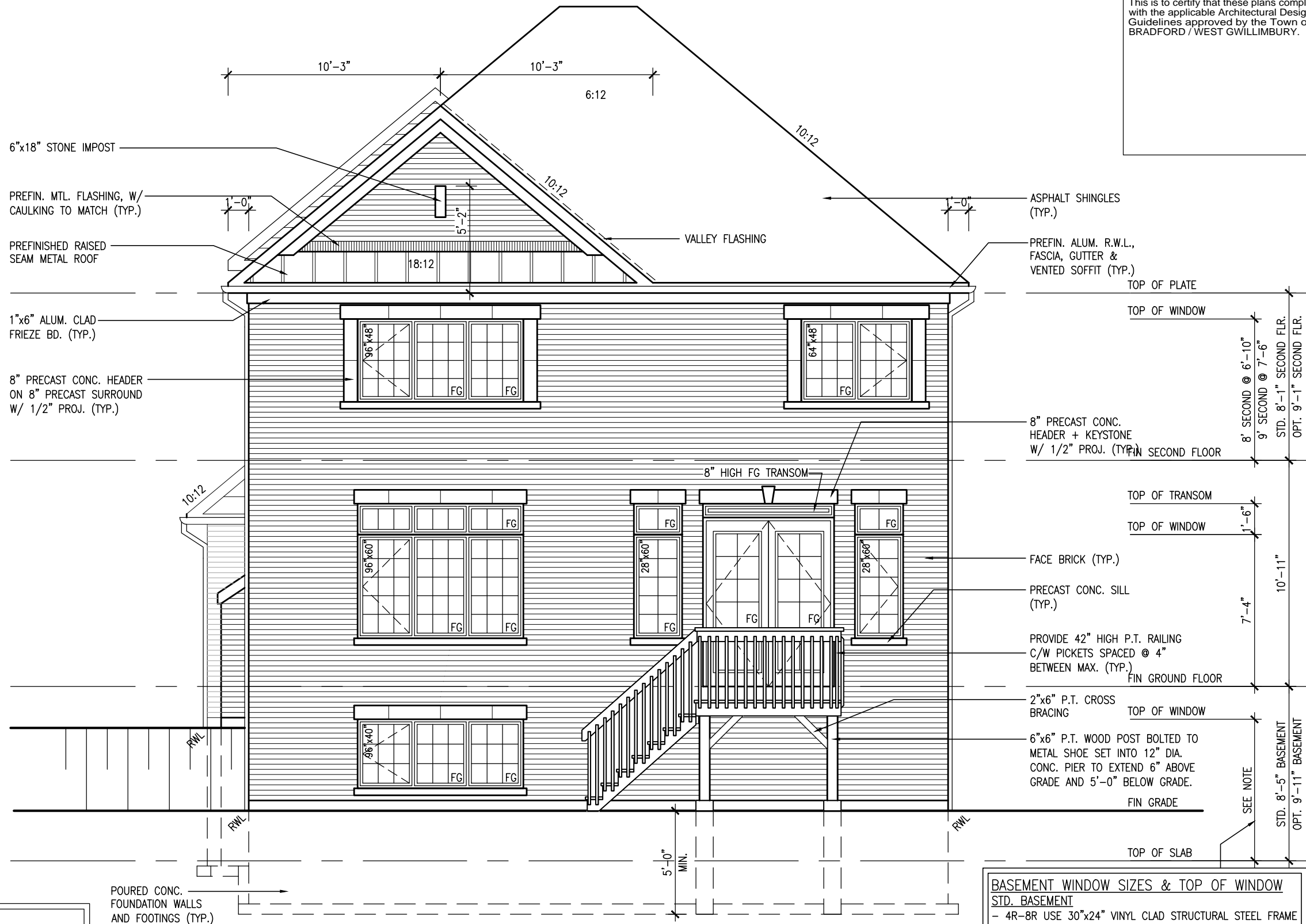
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &  
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"  
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UPGRADED REAR ELEVATION 'B' W/ W.O.D. CONDITION

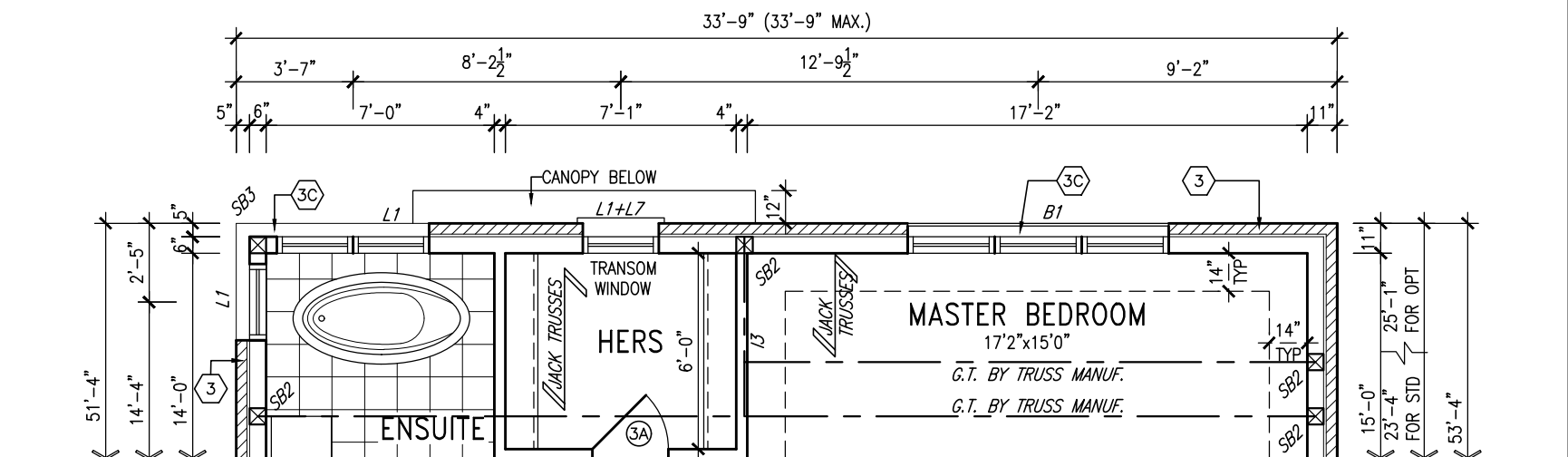
BASEMENT WINDOW SIZES & TOP OF WINDOW			
STD. BASEMENT			
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS			
OPT. 9'-0" BASEMENT			
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW			
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW			

project no.		project name		municipality		project no.	
16023		S42-15		BRADFORD		16023	
drawing no.		ELEVATION 'B' REAR UPGRADE 9R WOD		GREEN VALLEY EAST		16023-S42-15-10GRND	
27		3/16" = 1'-0"		checked by		drawn by	
SB		MARCH 2017		SB		SB	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:40 AM		VA3 DESIGN		255 Consumers Rd Suite 120		Toronto, ON M2J 1P4	
t 416.630.2255 f 416.630.4782		vo3design.com		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		no. description	
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5	10' GROUND FLOOR	JUN 23-21	KL	.	.	.	.
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC	.	.	.	.
3	ADD OPT. 9' BASEMENT	APR 06-21	RC	.	.	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	.	.	.	.
1	ISSUED FOR CLIENT REVIEW	.	.	.	.	.	.



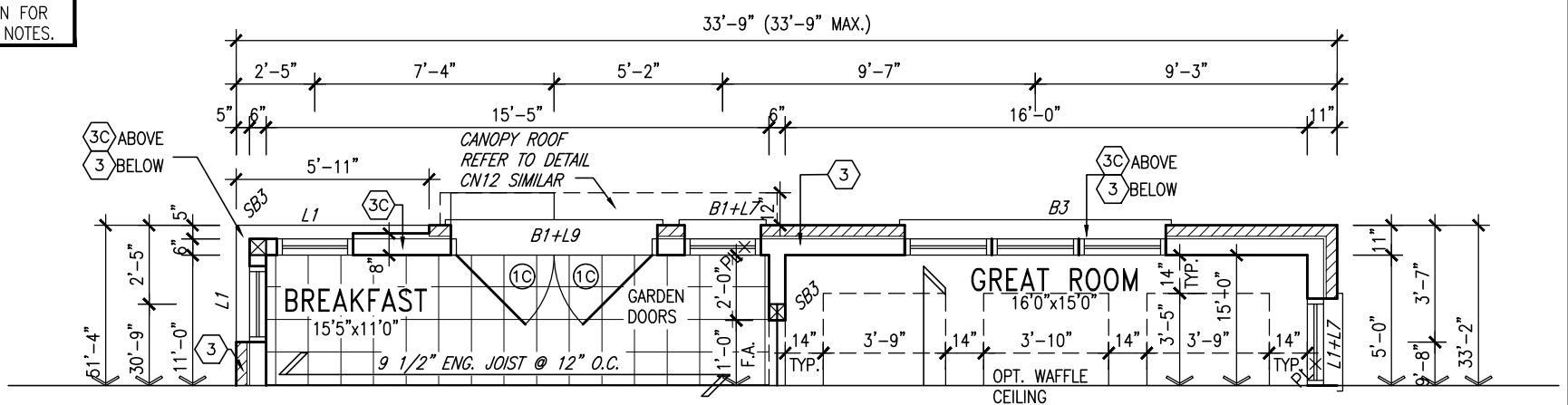


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PARTIAL STD & OPT SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.cdw

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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## BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>		project no. <b>16023</b>	
date <b>MARCH 2017</b>		ELEVATION 'C' REAR UPGRADE PARTIAL PLANS			
drawing no. <b>SB</b>		checked by <b>3/16" = 1'-0"</b>		file name <b>16023-S42-15-10GRND</b>	
drawing no. <b>29</b>					
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	<p>It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.</p> <p>This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.</p>	<p>project no. 16023</p> <p>drawing no. 31</p> <p>S42-15 RIDEAU 15</p> <p>'C' REAR UPG</p> <p>file name 923-S42-15-10CRND</p> <p>Jul 29 2021 - 15:40 AM</p>
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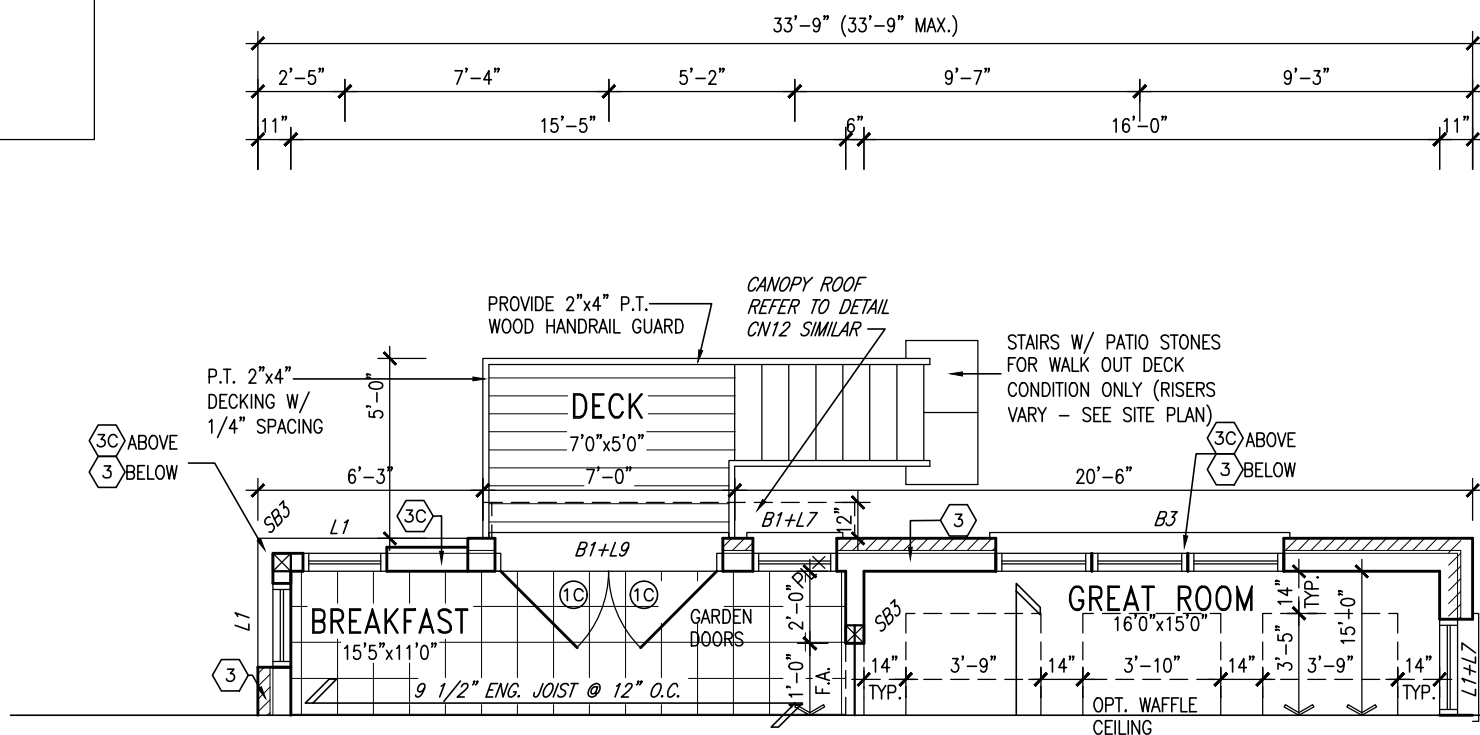
PART. LEFT SIDE ELEV. 'C'  
W/ REAR UPGRADE

PART. RIGHT SIDE ELEV. 'C'  
W/ REAR UPGRADE

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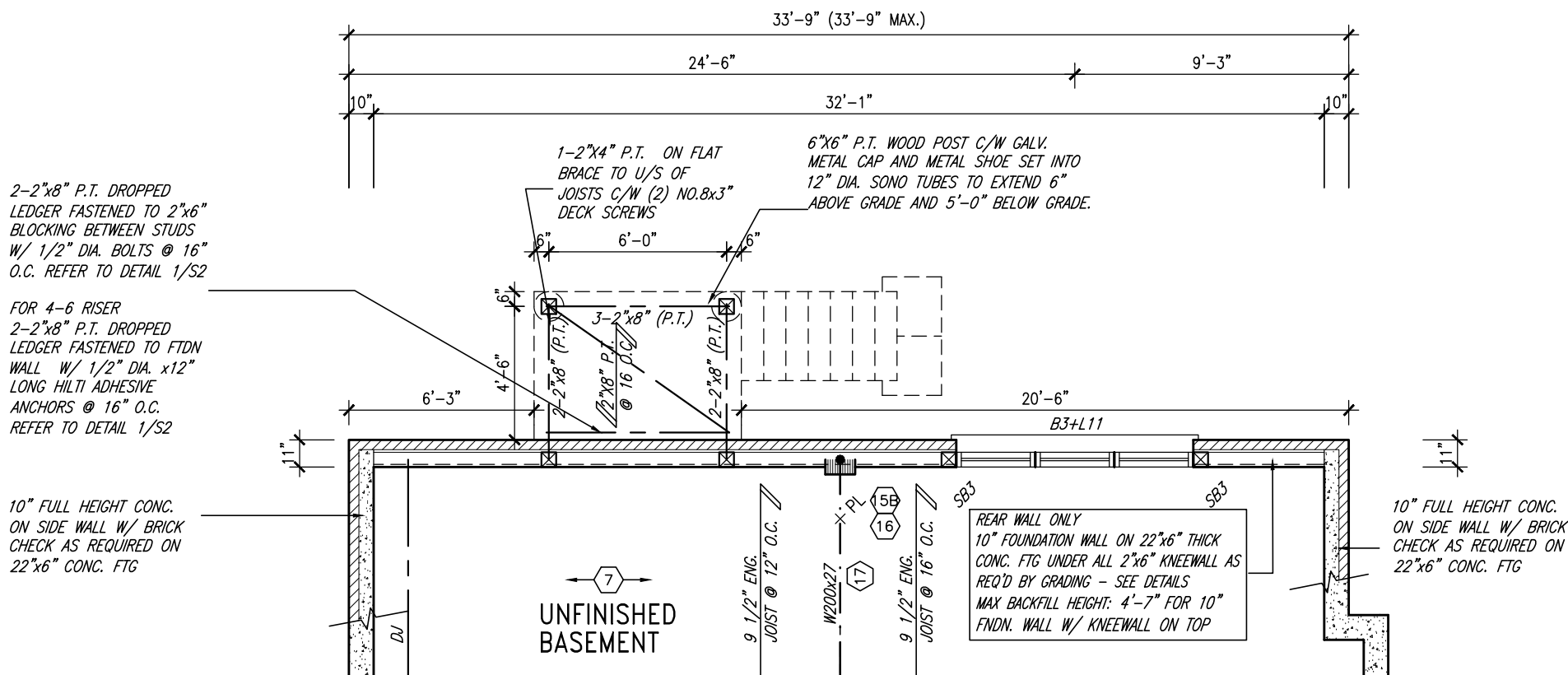
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

# TO GROUND NZD



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE  
9R WOD

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PARTIAL BASEMENT PLAN ELEVATION C REAR UPGRADE  
W/ W.O.D. 9R & MORE CONDITION

NOTE:  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND  
DETAILS. UNLESS OTHERWISE NOTED.

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A  
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION  
PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
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# BAYVIEW WELLINGTON

**S42-15**  
RIDEAU 15

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD</b>		project no. <b>16023</b>	
date <b>MARCH 2017</b>		PARTIAL PLANS 9R WOD ELEVATION 'C' REAR UPG			drawing no. <b>32</b>
drawn by <b>SB</b>		checked by <b>3/16" = 1'-0"</b>		file name <b>16023-S42-15-10GRND</b>	
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10<sup>9</sup> GROUND



SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

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**DESIGN**  
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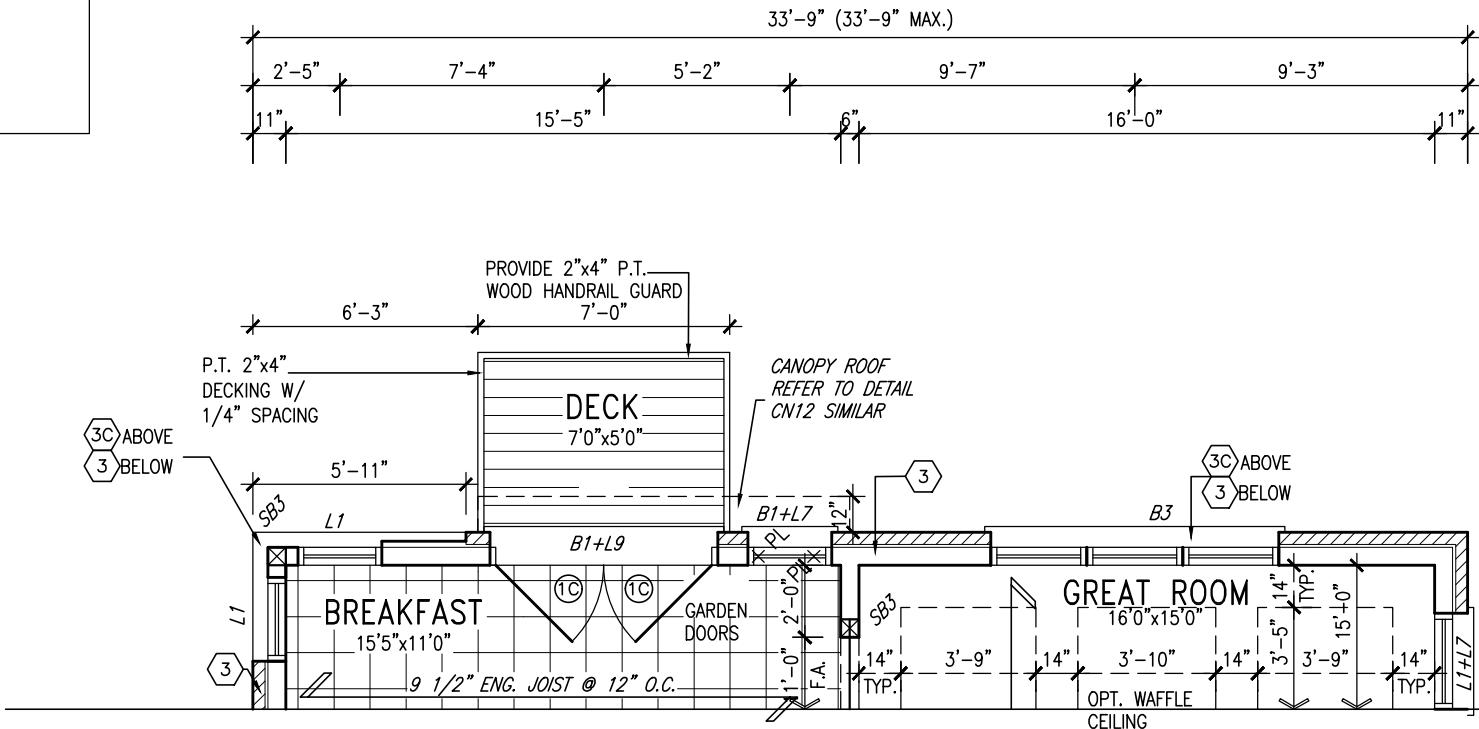
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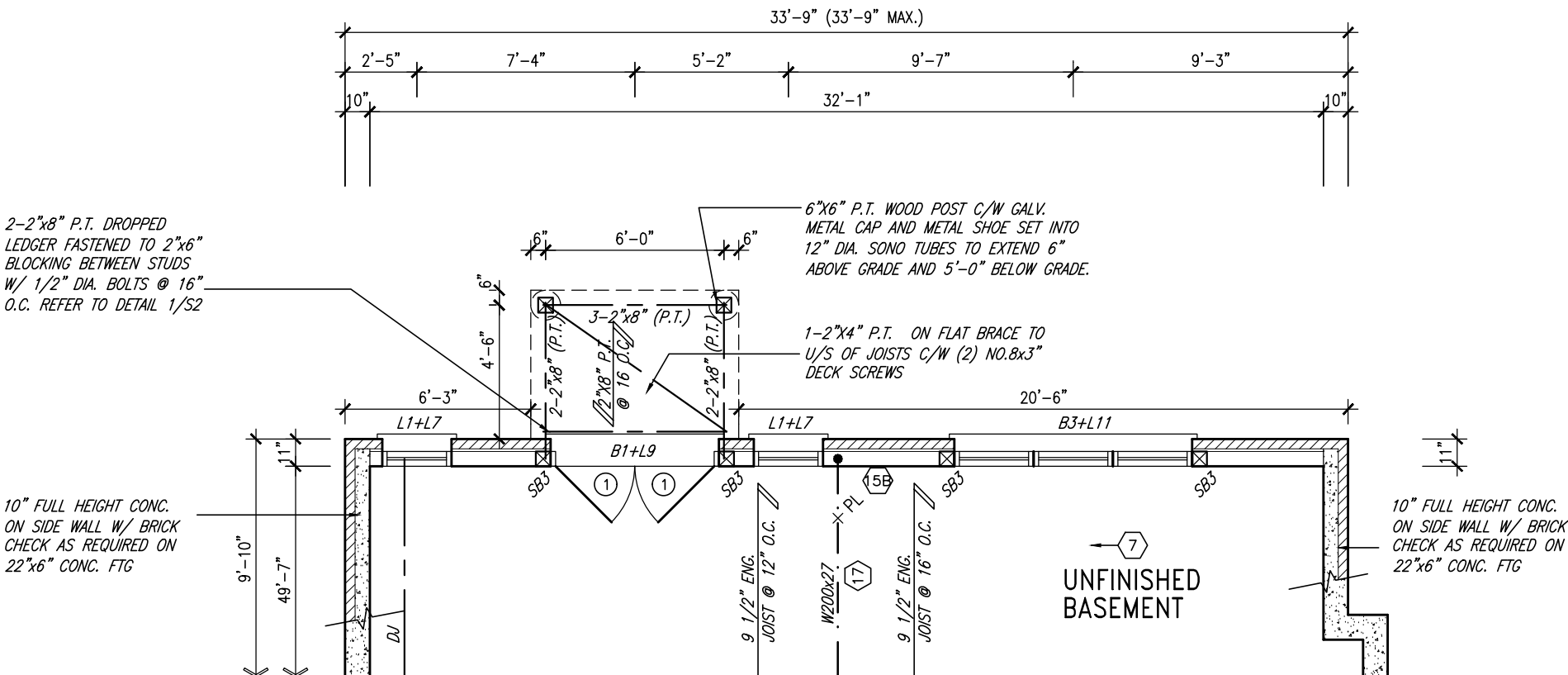
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10' GROUND



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE WOB

NOTE:  
REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES.



PARTIAL BASEMENT PLAN ELEVATION 'C' REAR UPGRADE WOB

**NOTE J1:** PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

**NOTE:**  
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

**NOTE:**  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

**NOTE:**  
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

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5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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<b>BAYVIEW WELLINGTON</b>		<b>S42-15</b> RIDEAU 15	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MARCH 2017	project no.	16023
drawn by	SB	checked by	.
scale	3/16" = 1'-0"	file name	16023-S42-15-10GRND
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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-15' C' WOB W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY -- OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	718.50 S.F.	162.22 S.F.	22.58 %
LEFT SIDE	1200.38 S.F.	108.89 S.F.	9.07 %
RIGHT SIDE	1199.13 S.F.	94.61 S.F.	7.89 %
REAR	942.19 S.F.	289.33 S.F.	30.71 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4060.20 S.F.	655.05 S.F.	16.13 %
TOTAL SQ. M.	377.20 S.M.	60.86 S.M.	16.13 %



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-15

RIDEAU 15

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no. 16023

municipality BRADFORD

date MARCH 2017

drawn by SB

checked by

scale 3/16" = 1'-0"

file name 16023-S42-15-10GRND

drawn on 16023-S42-15-10GRND.dwg - Thu - Jul 29 2021 - 10:40 AM

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2

1

10' GROUND FLOOR

REVISED AS PER ENG COMMENTS

ADD OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no. description

KL

RC

RC

RC

RC

RC

RC

RC

RC

date

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.A W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	759.00 S.F.	169.63 S.F.	22.35 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	742.50 S.F.	194.94 S.F.	26.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4000.92 S.F.	561.41 S.F.	14.03 %
TOTAL SQ. M.	371.69 S.M.	52.16 S.M.	14.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.67 S.F.	184.94 S.F.	24.38 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	742.50 S.F.	194.94 S.F.	26.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4000.59 S.F.	576.72 S.F.	14.42 %
TOTAL SQ. M.	371.66 S.M.	53.58 S.M.	14.42 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.C W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	94.89 S.F.	7.56 %
RIGHT SIDE	1253.46 S.F.	97.28 S.F.	7.76 %
REAR	742.50 S.F.	194.94 S.F.	26.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4002.92 S.F.	549.33 S.F.	13.72 %
TOTAL SQ. M.	371.88 S.M.	51.03 S.M.	13.72 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15'C' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	108.89 S.F.	8.68 %
RIGHT SIDE	1253.46 S.F.	94.61 S.F.	7.55 %
REAR	742.50 S.F.	190.61 S.F.	25.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4002.92 S.F.	556.33 S.F.	13.90 %
TOTAL SQ. M.	371.88 S.M.	51.68 S.M.	13.90 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	759.00 S.F.	169.63 S.F.	22.35 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	877.50 S.F.	218.28 S.F.	24.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4135.92 S.F.	584.75 S.F.	14.14 %
TOTAL SQ. M.	384.24 S.M.	54.32 S.M.	14.14 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.67 S.F.	184.94 S.F.	24.38 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	877.50 S.F.	218.28 S.F.	24.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4135.59 S.F.	600.06 S.F.	14.51 %
TOTAL SQ. M.	384.21 S.M.	55.75 S.M.	14.51 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	94.89 S.F.	7.56 %
RIGHT SIDE	1253.46 S.F.	97.28 S.F.	7.76 %
REAR	877.50 S.F.	218.28 S.F.	24.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4137.92 S.F.	572.67 S.F.	13.84 %
TOTAL SQ. M.	384.42 S.M.	53.20 S.M.	13.84 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-15'C' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	108.89 S.F.	8.68 %
RIGHT SIDE	1253.46 S.F.	94.61 S.F.	7.55 %
REAR	877.50 S.F.	213.94 S.F.	24.38 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4137.92 S.F.	579.66 S.F.	14.01 %
TOTAL SQ. M.	384.42 S.M.	53.85 S.M.	14.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 ELA WOB W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	759.00 S.F.	169.63 S.F.	22.35 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	975.94 S.F.	293.67 S.F.	30.09 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4234.36 S.F.	660.14 S.F.	15.59 %
TOTAL SQ. M.	393.38 S.M.	61.33 S.M.	15.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.67 S.F.	184.94 S.F.	24.38 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	975.94 S.F.	293.67 S.F.	30.09 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4234.03 S.F.	675.45 S.F.	15.95 %
TOTAL SQ. M.	393.35 S.M.	62.75 S.M.	15.95 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.C WOB W/ 9' SECOND	<b>ENERGY EFFICIENCY – OBC SB12</b>		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	94.89 S.F.	7.56 %
RIGHT SIDE	1253.46 S.F.	97.28 S.F.	7.76 %
REAR	975.94 S.F.	293.67 S.F.	30.09 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4236.36 S.F.	648.06 S.F.	15.30 %
TOTAL SQ. M.	393.57 S.M.	60.21 S.M.	15.30 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-15'C' WOB W/9' 2ND & REAR UPG		<b>ENERGY EFFICIENCY – OBC SB12</b>	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	108.89 S.F.	8.68 %
RIGHT SIDE	1253.46 S.F.	94.61 S.F.	7.55 %
REAR	975.94 S.F.	289.33 S.F.	29.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4236.36 S.F.	655.05 S.F.	15.46 %
TOTAL SQ. M.	393.57 S.M.	60.86 S.M.	15.46 %

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

# 10 Ground

[illegible]

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))		UN
S42-15 ELA WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY - OBC SB12	S42-15 ELA

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-15 EL.A WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	725.25 S.F.	169.63 S.F.	23.39 %
LEFT SIDE	1195.37 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	992.81 S.F.	293.67 S.F.	29.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4108.81 S.F.	660.14 S.F.	16.07 %
TOTAL SQ. M.	381.72 S.M.	61.33 S.M.	16.07 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.92 S.F.	184.94 S.F.	25.51 %
LEFT SIDE	1195.38 S.F.	99.56 S.F.	8.33 %
RIGHT SIDE	1195.38 S.F.	97.28 S.F.	8.14 %
REAR	992.81 S.F.	293.67 S.F.	29.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4108.49 S.F.	675.45 S.F.	16.44 %
TOTAL SQ. M.	381.69 S.M.	62.75 S.M.	16.44 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	718.50 S.F.	162.22 S.F.	22.58 %
LEFT SIDE	1200.38 S.F.	94.89 S.F.	7.90 %
RIGHT SIDE	1199.13 S.F.	97.28 S.F.	8.11 %
REAR	992.81 S.F.	293.67 S.F.	29.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4110.82 S.F.	648.06 S.F.	15.76 %
TOTAL SQ. M.	381.90 S.M.	60.21 S.M.	15.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	718.50 S.F.	162.22 S.F.	22.58 %
LEFT SIDE	1200.38 S.F.	108.89 S.F.	9.07 %
RIGHT SIDE	1199.13 S.F.	94.61 S.F.	7.89 %
REAR	992.81 S.F.	289.33 S.F.	29.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4110.82 S.F.	655.05 S.F.	15.93 %
TOTAL SQ. M.	381.90 S.M.	60.86 S.M.	15.93 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 ELA WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	759.00 S.F.	169.63 S.F.	22.35 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	1026.56 S.F.	293.67 S.F.	28.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4284.98 S.F.	660.14 S.F.	15.41 %
TOTAL SQ. M.	398.08 S.M.	61.33 S.M.	15.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.67 S.F.	184.94 S.F.	24.38 %
LEFT SIDE	1249.71 S.F.	99.56 S.F.	7.97 %
RIGHT SIDE	1249.71 S.F.	97.28 S.F.	7.78 %
REAR	1026.56 S.F.	293.67 S.F.	28.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4284.65 S.F.	675.45 S.F.	15.76 %
TOTAL SQ. M.	398.05 S.M.	62.75 S.M.	15.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	94.89 S.F.	7.56 %
RIGHT SIDE	1253.46 S.F.	97.28 S.F.	7.76 %
REAR	1026.56 S.F.	293.67 S.F.	28.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4286.98 S.F.	648.06 S.F.	15.12 %
TOTAL SQ. M.	398.27 S.M.	60.21 S.M.	15.12 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 E.L.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	752.25 S.F.	162.22 S.F.	21.56 %
LEFT SIDE	1254.71 S.F.	108.89 S.F.	8.68 %
RIGHT SIDE	1253.46 S.F.	94.61 S.F.	7.55 %
REAR	1026.56 S.F.	289.33 S.F.	28.18 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4286.98 S.F.	655.05 S.F.	15.28 %
TOTAL SQ. M.	398.27 S.M.	60.86 S.M.	15.28 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

# 10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUN 23-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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**VA3**  
**DESIGN**

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vo3design.com

project no. 16023

project name GREEN VALLEY EAST

municipality BRADFORD

date MARCH 2017

drawn by SB

checked by

scale 3/16" = 1'-0"

SB12 - OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND

file name 16023-S42-15-10GRND

drawing no. 37

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**S42-15**

RIDEAU 15

**BAYVIEW WELLINGTON**

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