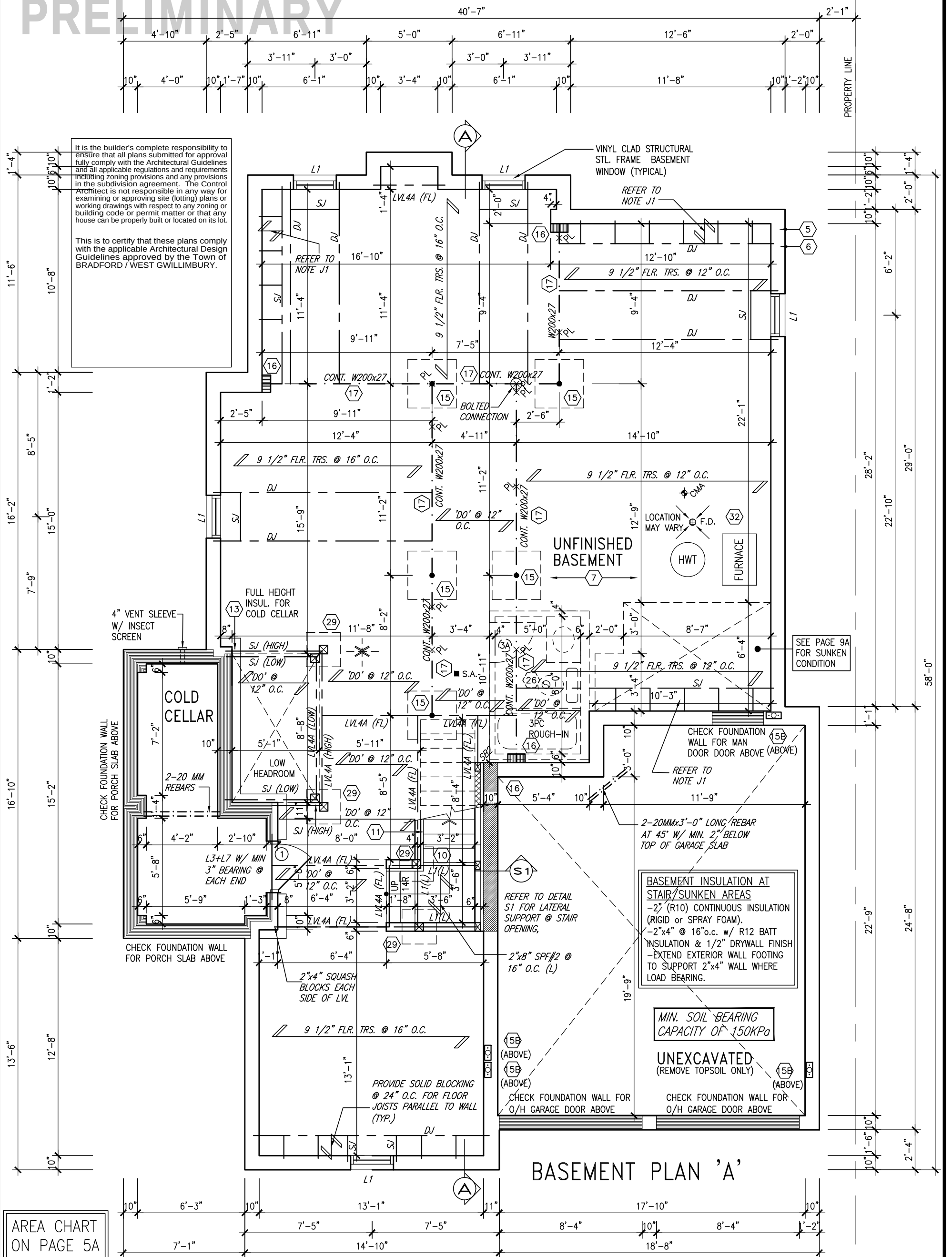


PRELIMINARY



AREA CHART
ON PAGE 5A

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

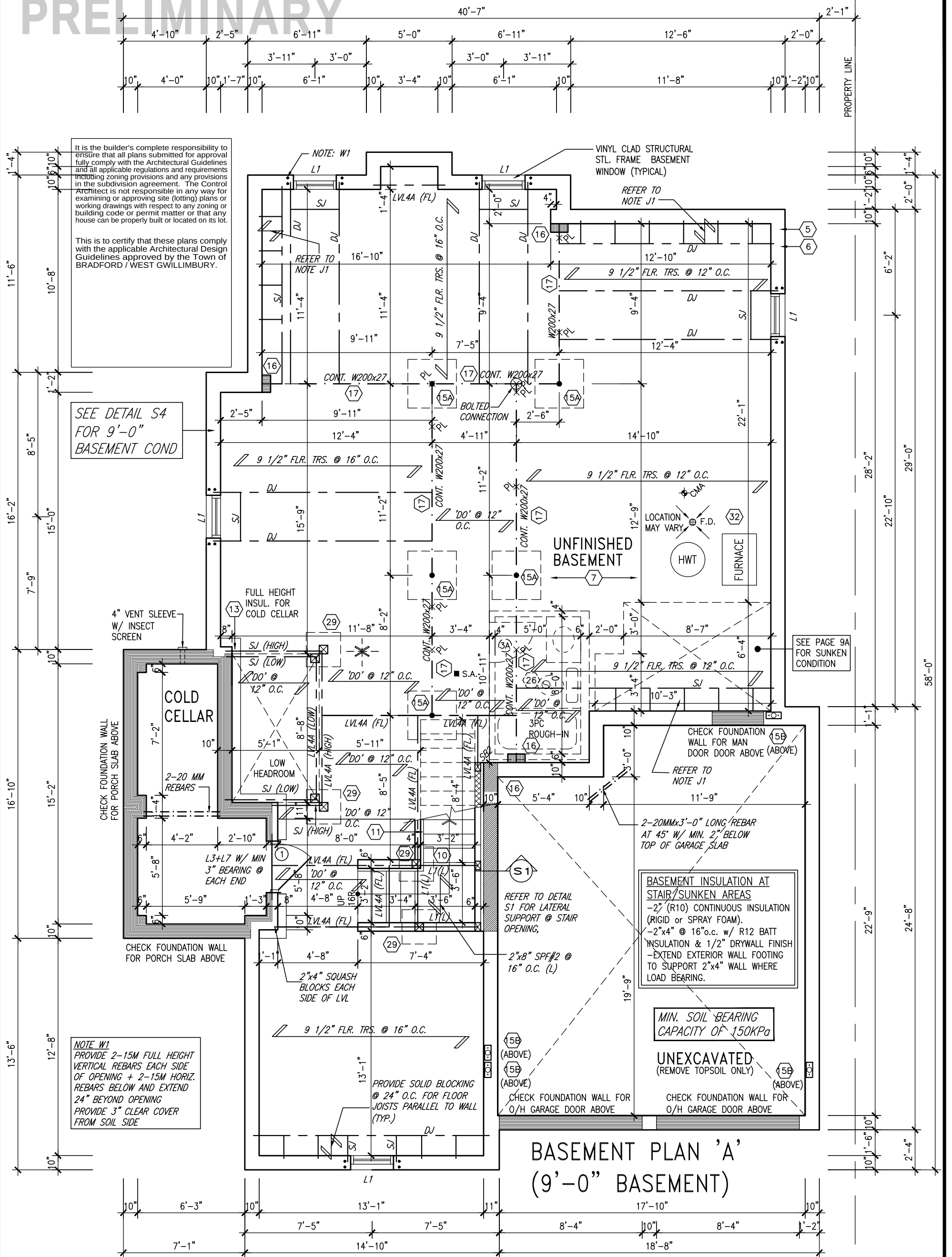
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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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va3design.com

BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.	project no. 16023
date		BASEMENT PLAN ELEV. 'A'	
drawn by NC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-7C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Jul 29 2021 - 10:22 AM		drawing no. 1A	

PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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4	10' GROUND FLOOR	JUN 24-21	KL
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BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

date

drawn by
NC

municipality
BRADFORD, ON.

checked by
RC

scale
3/16" = 1'-0"

project no.
16023

BASEMENT PLAN ELEV. 'A'

file name
16023-S42-7C-10GRND

S42-7C
RIDEAU 7

drawing no.
1AA

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

NOTE R1:
• 12" O.C. WALLS CUT
• PURLINS W/ EXTERIOR GRADE
• FINISHING W/ SINGLE
• ROOF MEMBRANE

NOTE R2:
• FIBREGLASS
• FINISH BY ROMAN
• FINISH W/ 1/2" THICK
• TOP LOADING PLATE
• FINISH TO 16"x16"
• FINISH PIER.

INDICATES REDUCED SIDE YARD

ROOMS AND DIMENSIONS:
 - GREAT ROOM: 17'0" x 11'0"
 - BREAKFAST: 12'0" x 11'6"
 - DINING: 12'0" x 15'0"
 - KITCHEN: 14'6" x 10'0"
 - LAUNDRY: 9'1/2" x 8'6"
 - GARAGE: 18'4" x 23'2" (19'10")
 - LIVING: 13'0" x 13'0"
 - PORCH: 8'0" x 8'0"
 - FOYER: 9'1/2" x 8'0"
 - PANTRY: 5'6" x 6'0"
 - PWD: 5'0" x 6'0"
 - UPPEERS: 3'0" x 3'0"
 - DOWNERS: 3'0" x 3'0"
 - BATH: 5'0" x 6'0"
 - TOILET: 3'0" x 3'0"
 - CLO: 3'0" x 3'0"
 - LINEN: 3'0" x 3'0"
 - STORAGE: 3'0" x 3'0"
 - ENTRY: 3'0" x 3'0"
 - HALL: 3'0" x 3'0"
 - STAIRS: 3'0" x 3'0"
 - TERRACE: 3'0" x 3'0"
 - PATIO: 3'0" x 3'0"
 - DECK: 3'0" x 3'0"
 - PORCH: 3'0" x 3'0"
 - GARAGE: 3'0" x 3'0"
 - DRIVEWAY: 3'0" x 3'0"
 - ROOF: 3'0" x 3'0"
 - FLOOR: 3'0" x 3'0"
 - WALL: 3'0" x 3'0"
 - CEILING: 3'0" x 3'0"
 - FURNITURE: 3'0" x 3'0"
 - APPLIANCES: 3'0" x 3'0"
 - FIXTURES: 3'0" x 3'0"
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 - PROJECT: 3'0" x 3'0"
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ROOF NOTE R1:
2"x4" @ 12" O.C.
DIAGONALLY CUT
CROSS PURLINS W/
5/8" EXTERIOR GRA
SHEATHING W/ SING
PLY ROOF MEMBRAN

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO 16"x16"
MASONRY PIER.

<u>OUTDOOR AIR INTAKE SEPARATION</u> ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B— TABLE 6.2.3.12. • KITCHEN EXHAUST. 3.0m • DRIVEWAY, PARKING SPACE, ROAD. 1.5m • SOLID FUEL APPLIANCE EXHAUST. 3.0m	
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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
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FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

10⁹ GROUND

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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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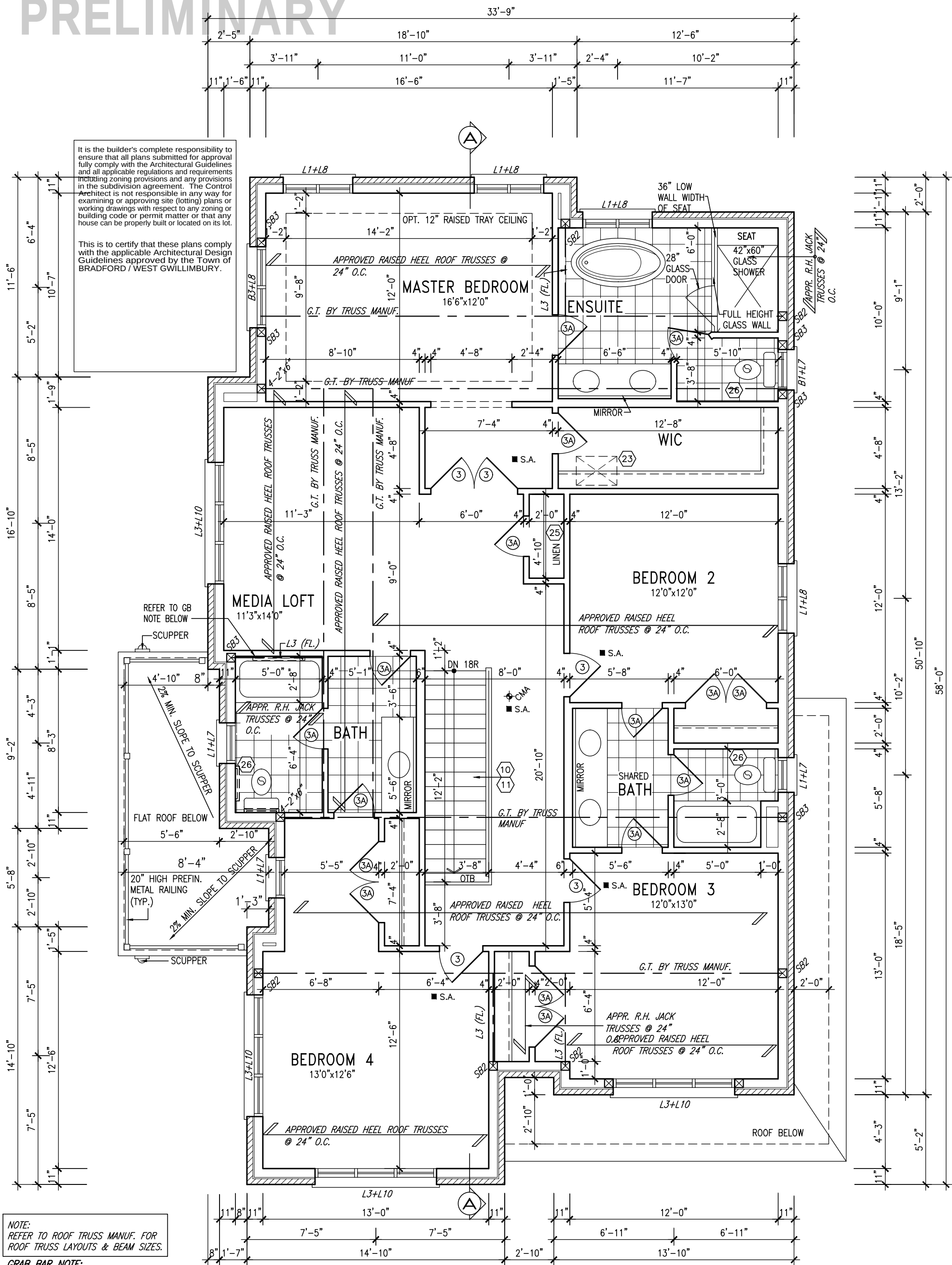
BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.		project no. 16023	
date		drawing no.			
		GROUND FLOOR PLAN ELEV. 'A'			
drawn by NC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-7C-10GRND	2A	
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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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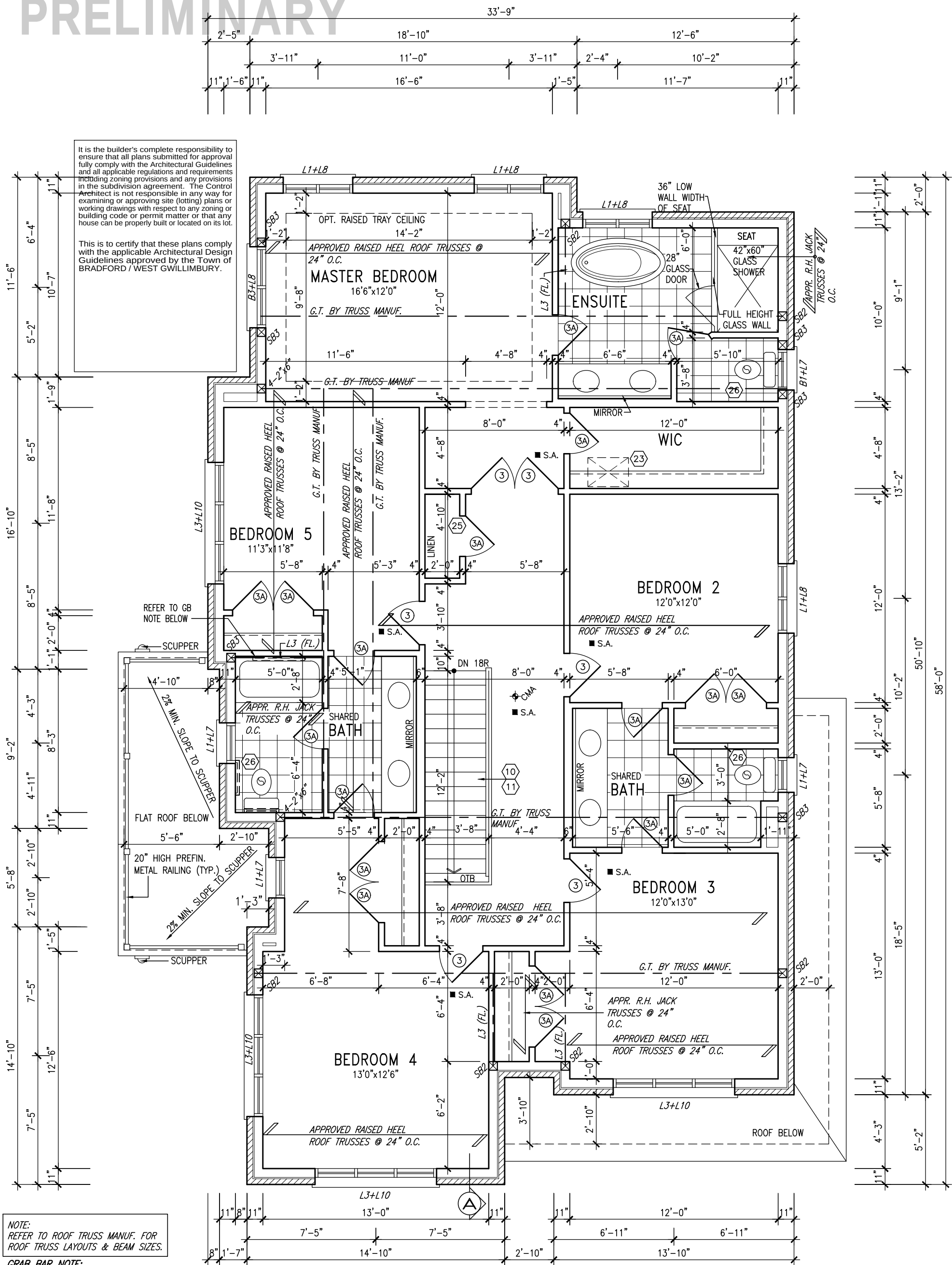
BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name		municipality		project no.		
GREEN VALLEY ESTATES		BRADFORD, ON.		16023		
date		SECOND FLOOR PLAN ELEV. 'A' (4 BR)				drawing no.
drawn by		checked by		scale	file name	3A
NC		RC		3/16" = 1'-0"	16023-S42-7C-10GRND	
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PRELIMINARY



OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM

10⁹ GROUND

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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name
GREEN VALLEY ESTATES

municipality
BRADFORD, ON.

project no.
16023

date

OPT. SECOND FLOOR PLAN ELEV.'A' (5 BR)

drawing no.

drawn by
NC

checked by
RC

scale
3/16" = 1'-0"

file name

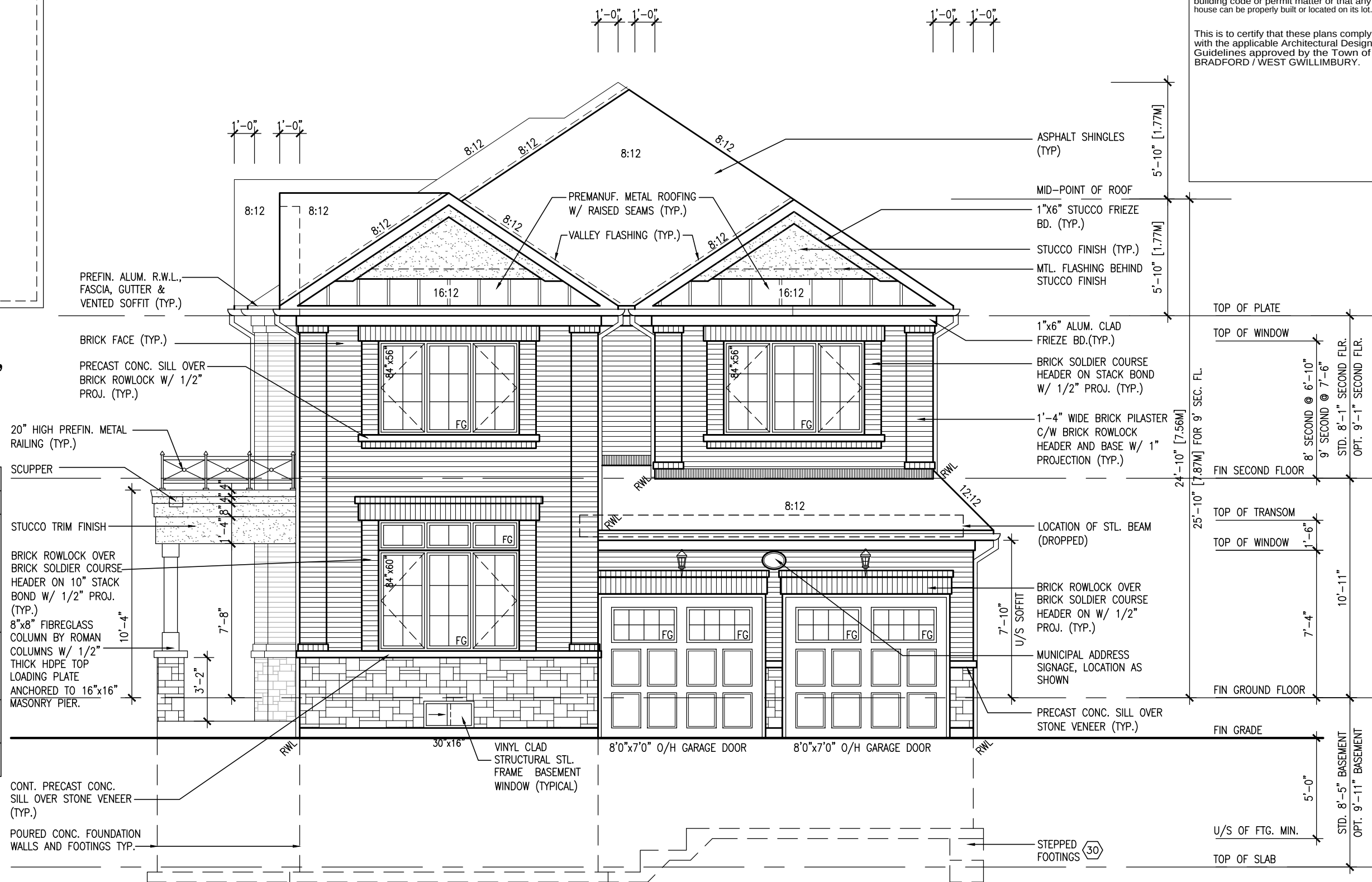
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ROOF PLAN 'A'

AREA CALCULATIONS	
	ELEV. A
GROUND FLOOR AREA	1425.5 SF
SECOND FLOOR AREA	1756.4 SF
SUBTOTAL	3181.9 SF
DEDUCT ALL OPENINGS	1.8 SF
TOTAL NET AREA	3180 SF
	295.4 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3180 SF
W/ FIN BSMT	295.4 m2
COVERAGE W/O PORCH	1862.5 SF
	173.0 m2
COVERAGE W/PORCH	1972.8 SF
	183.3 m2



FRONT ELEVATION 'A'

10⁹ GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-7C
RIDEAU 7

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BAYVIEW WELLINGTON	S42-7C RIDEAU 7
project name GREEN VALLEY ESTATES	project no. 16023
municipality BRADFORD, ON.	

date	drawn by	checked by	scale	file name
	NC	RC	3/16" = 1'-0"	16023-S42-7C-10GRND
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3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
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2	REVISED AS PER ENG'S COMMENTS	FEB 01-18 RC	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

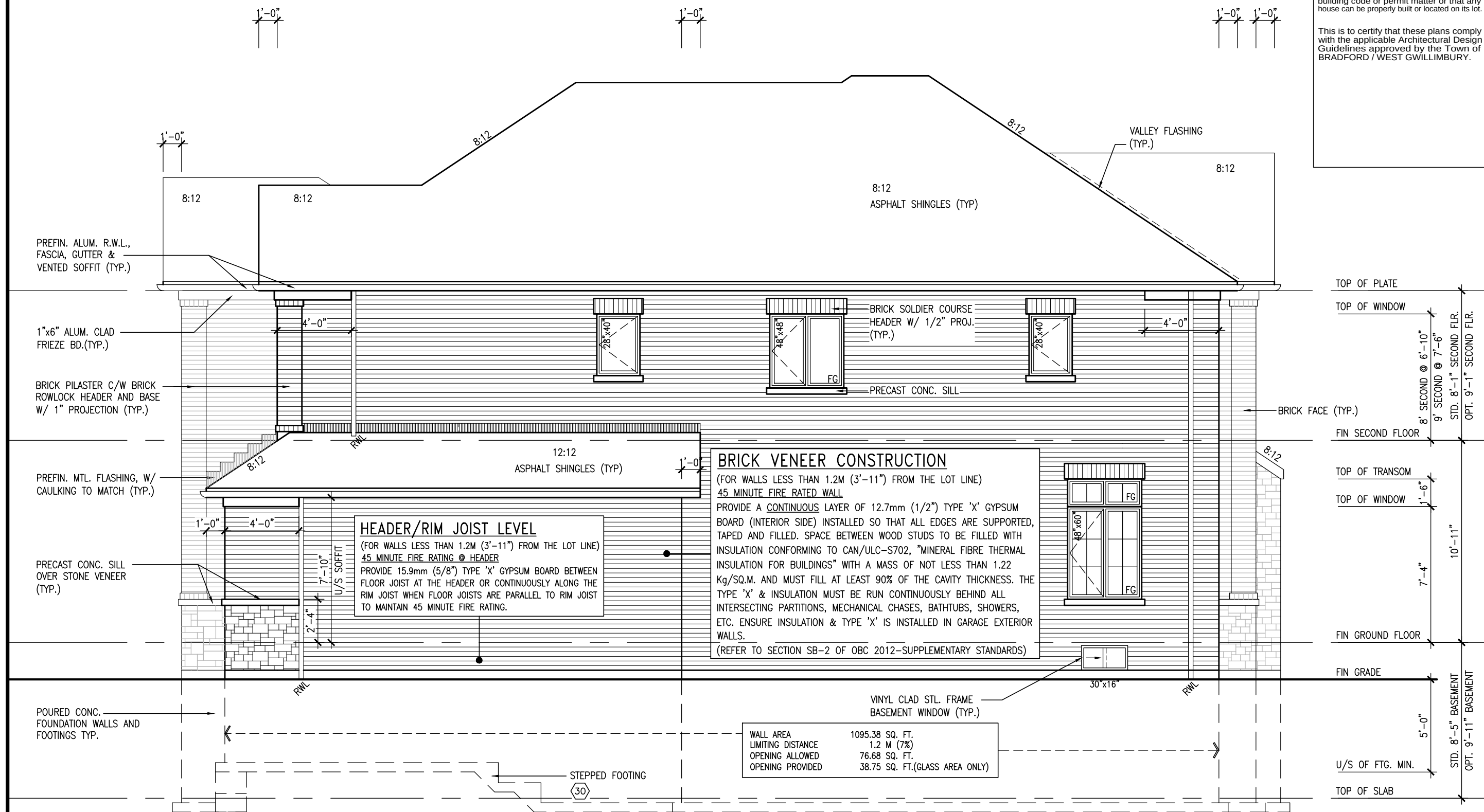
BAYVIEW VALLEY



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4	10' GROUND FLOOR	JUN 24-21	KL

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RIGHT SIDE ELEVATION 'A'

10⁹ GROUND

UNFINISHED BASEMENT

HWT

FURNACE

7

29

12'-9"

LVL 4 (FL)

BUILT UP SJ (LOW) FLOOR

8'-7"

14

BUILT UP STEPS

9 1/2" FLR. TRS. @

6'-4"

12" O.C. (LOW) SJ

4"

2"

S1

REFER TO DETAIL S1 FOR LATERAL SUPPORT

10'-3"

10'-0"

3'-0"

5B

(ABOVE)

CHECK FOUNDATION WALL FOR MAN DOOR ABOVE

REFER TO NOTE J1

11'-9"

5'-4"

10"

10'-6"

8'-0"

12'-0"

3'-0"

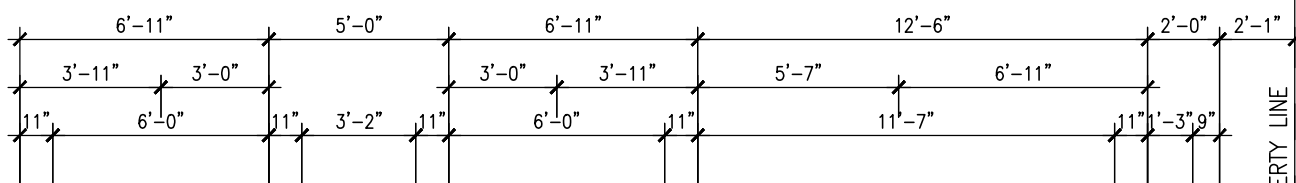
4"

12'-9"

32

[illegible]

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



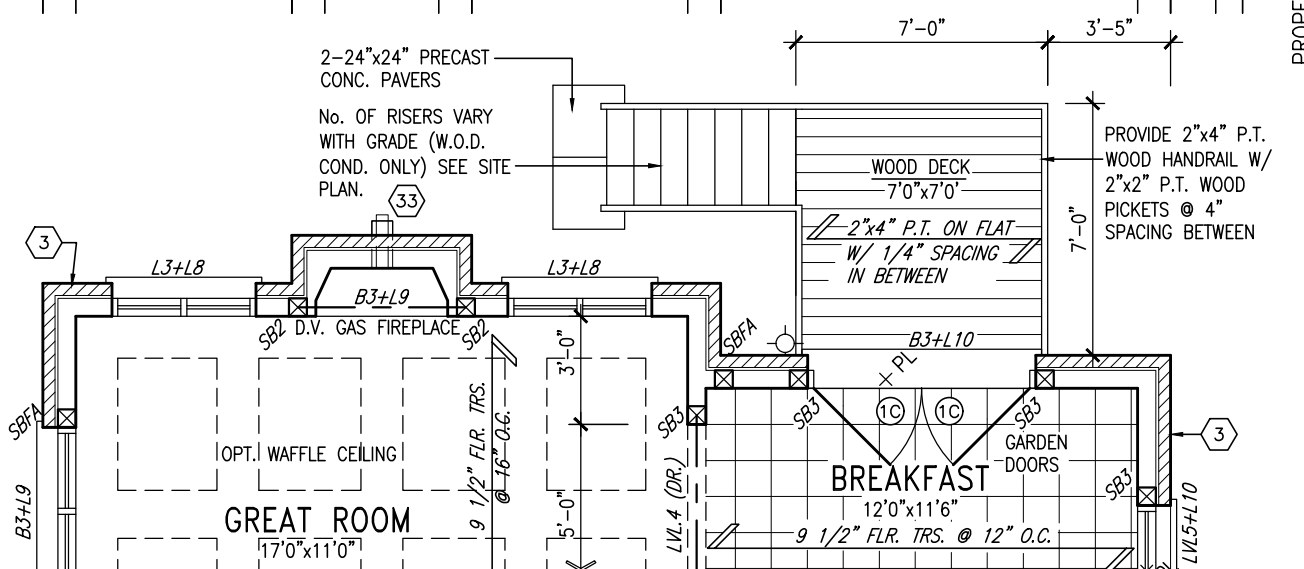
2-24"x24" PRECAST
CONC. PAVERS
No. OF RISERS VARY
WITH GRADE (W.O.D.
COND. ONLY) SEE S
PLAN.

PROVIDE 2"x4" P.T.
WOOD HANDRAIL W/
2"x2" P.T. WOOD
PICKETS @ 4"
SPACING BETWEEN

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-FY-NOTF-2020.rdw



REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP

6"X6" P.T. WOOD POST
BOLTED TO METAL
SHOE SET INTO 12"
DIA. CONC. PIER TO
EXTEND 6" ABOVE
GRADE AND 5'-0"
BELOW GRADE

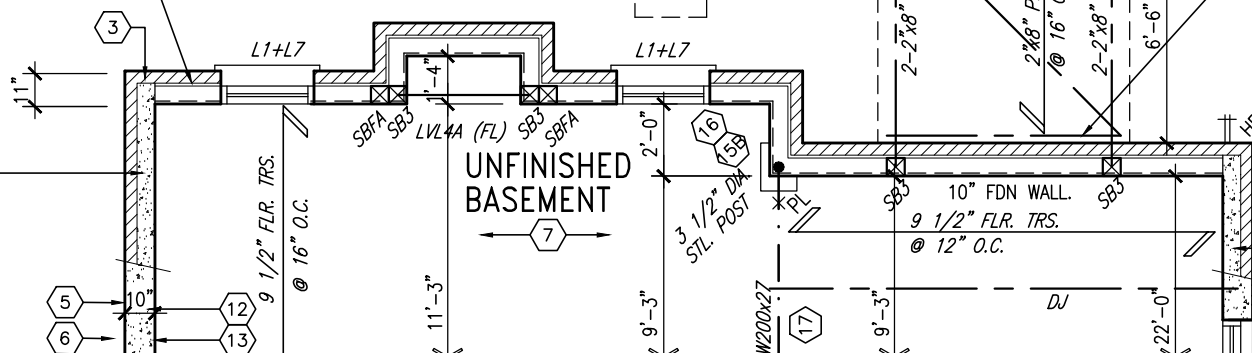
1-2"x4" P.T. ON FLAT BRACE TO
U/S OF JOISTS C/W (2) NO.8x3"
DECK SCREWS

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO 2"x6"
BLOCKING BETWEEN STUDS
W/ 1/2" DIA. BOLTS @ 16"
O.C. REFER TO DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO FTDN
WALL W/ 1/2" DIA. x12"
LONG HILTI ADHESIVE
ANCHORS @ 16" O.C.
REFER TO DETAIL 1/S2

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG



NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED;

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID
or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION
& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

10⁹ GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	municipality
--------------	--------------

GREEN VALLEY ESTATES

BRADFORD, ON.

project no.
16023

date

drawn by
NC

checked by
RC

WORKING\2016\16023.BW\Units\42"\16023

PART. PLANS ELEV. 'A'—W.O.D. COND.

file name
16023-S42-7C-10GRND

drawing no.

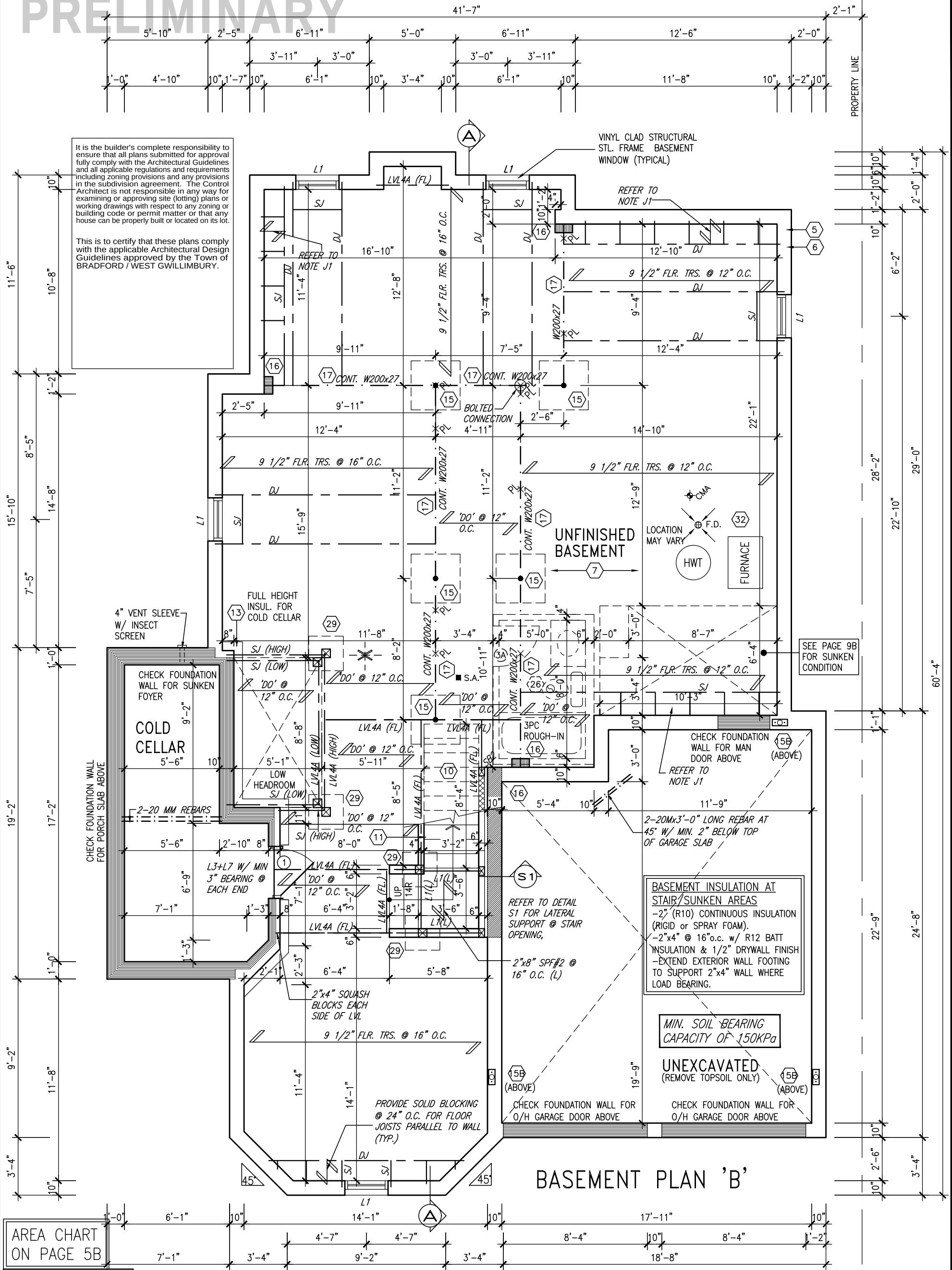
1

9A

97A

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PRELIMINARY



AREA CHART
ON PAGE 5B

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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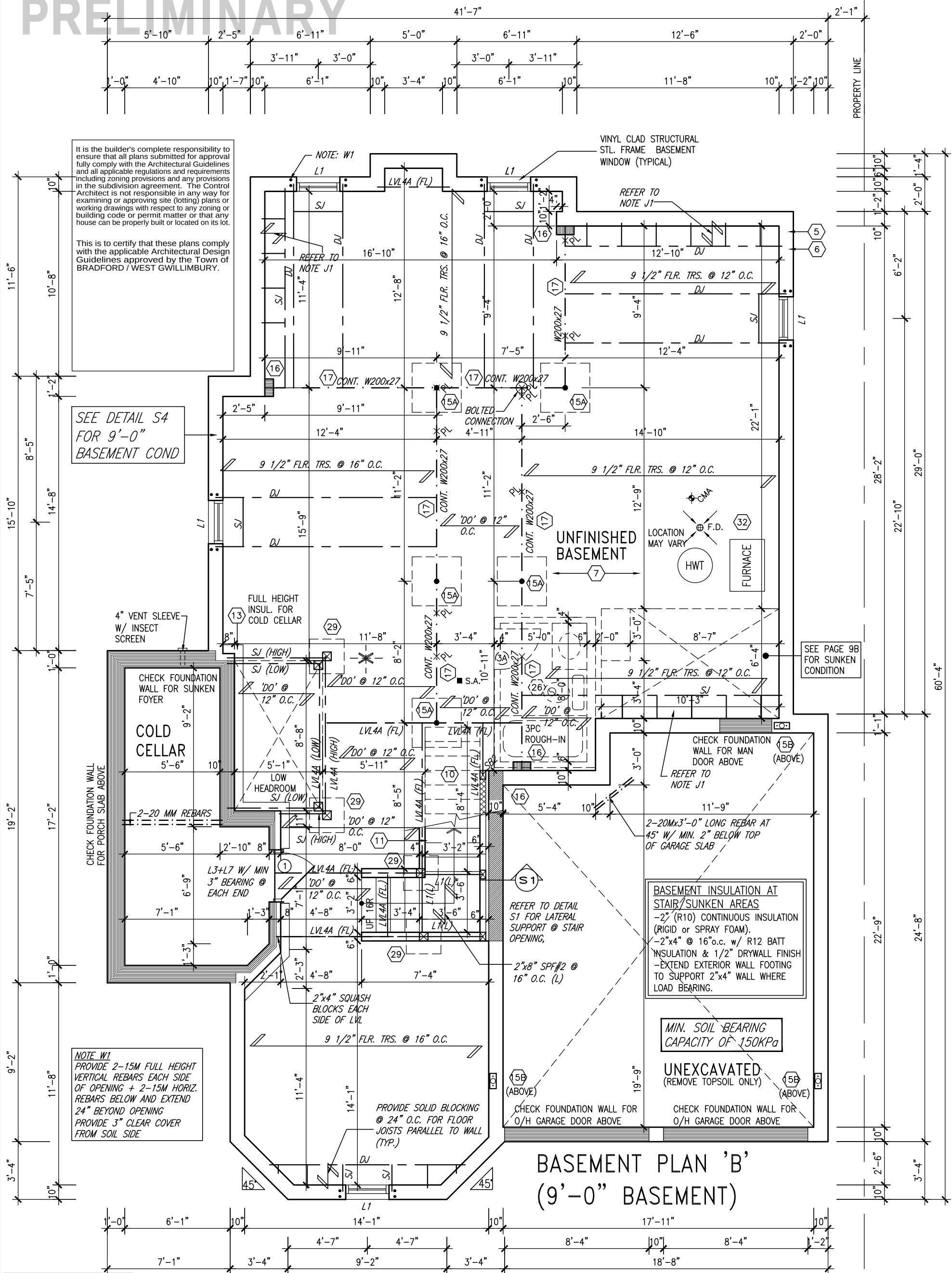
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S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	-	scale	3/16" = 1'-0"
				file name	16023-S42-7C-10GRND
					1B

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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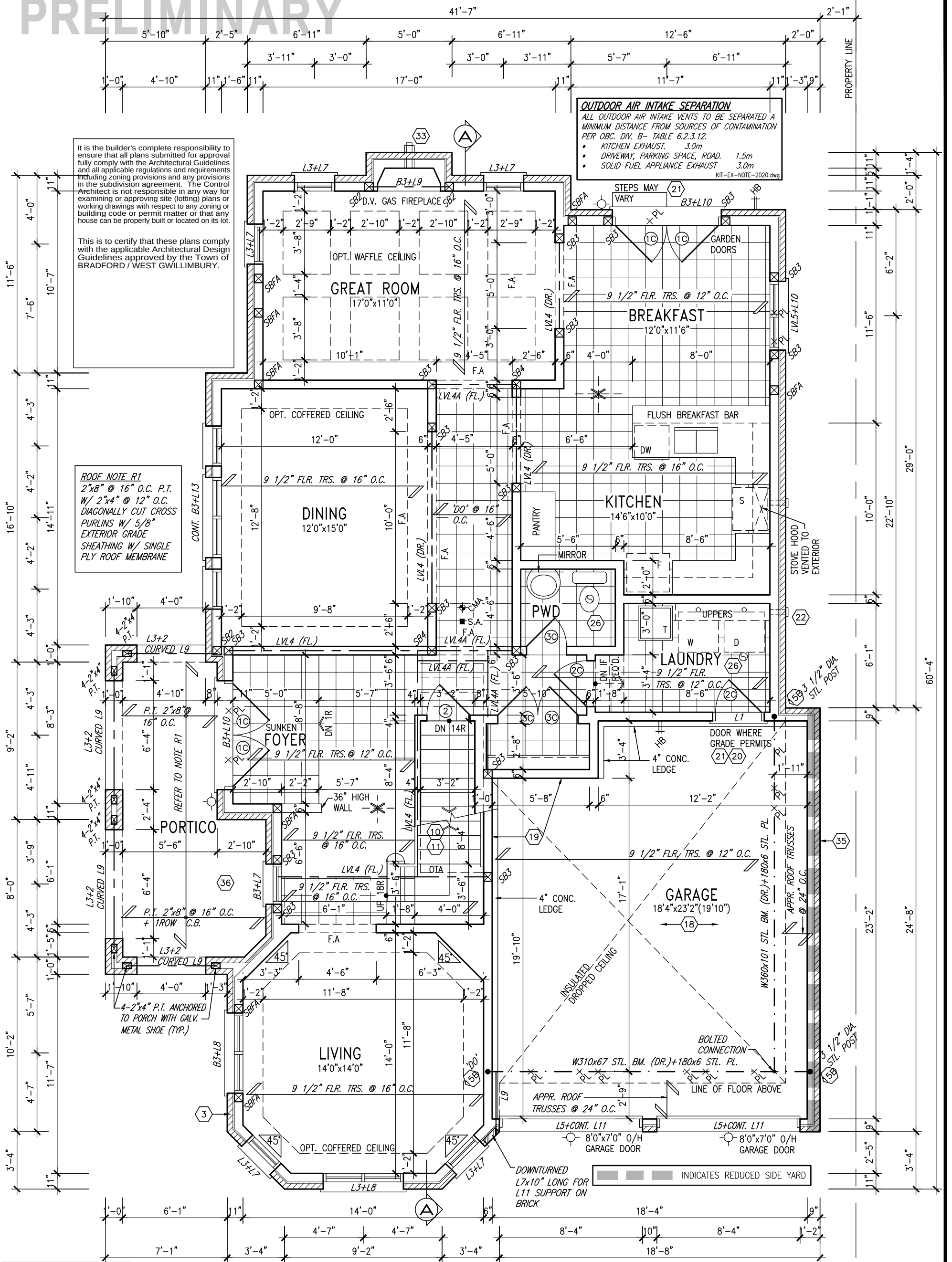
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S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by		scale	3/16" = 1'-0"
				file name	16023-S42-7C-10GRND
					1BB

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'B'
(10'-0" GROUND)

10' GROUND

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUN 24-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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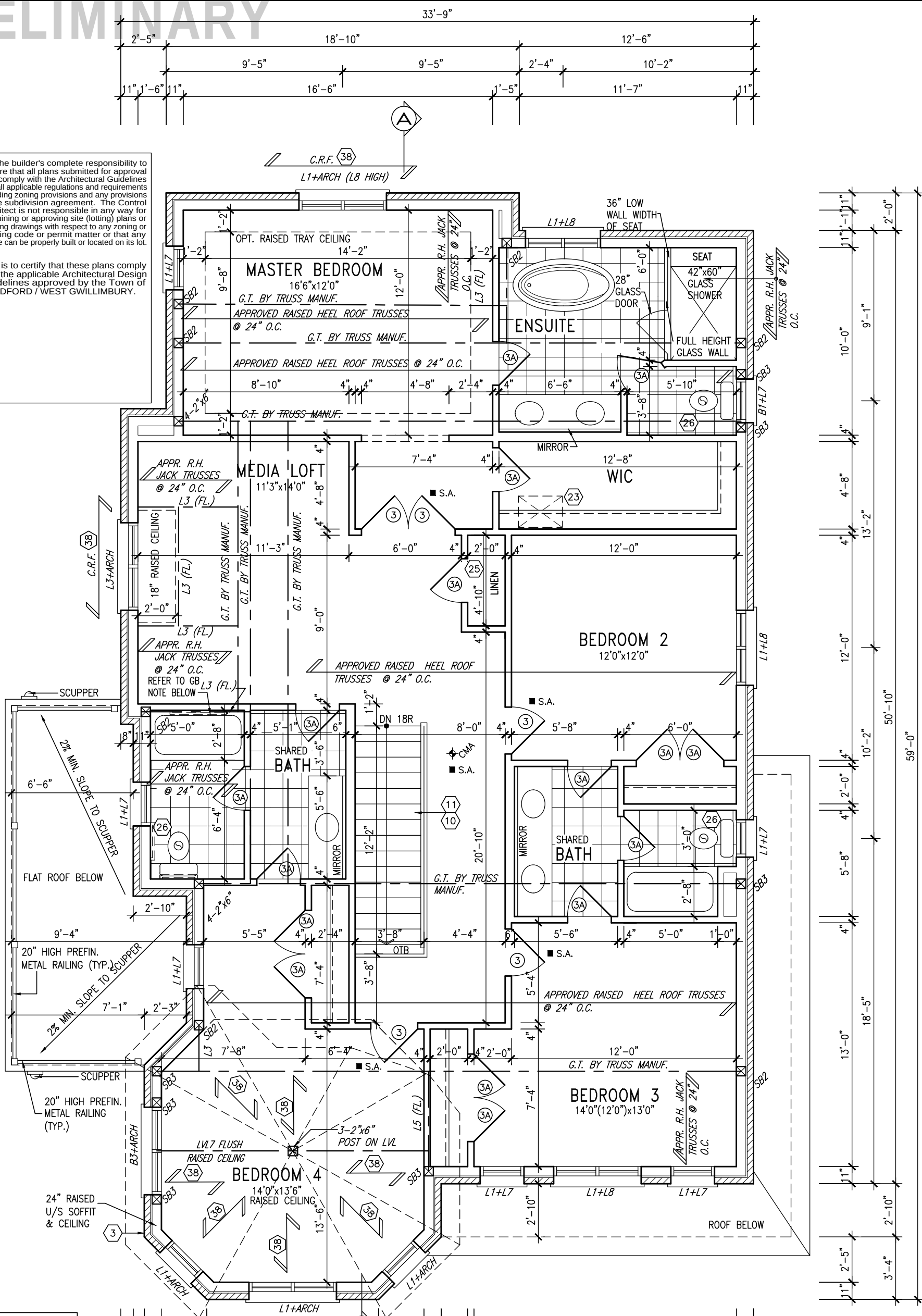
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	3/16" = 1'-0"	scale	
file name	16023-S42-7C-10GRND				
drawing no.	2B				

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NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'B' 4 BEDROOM + MEDIA LOFT

10' GROUND

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUN 24-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 24-21 KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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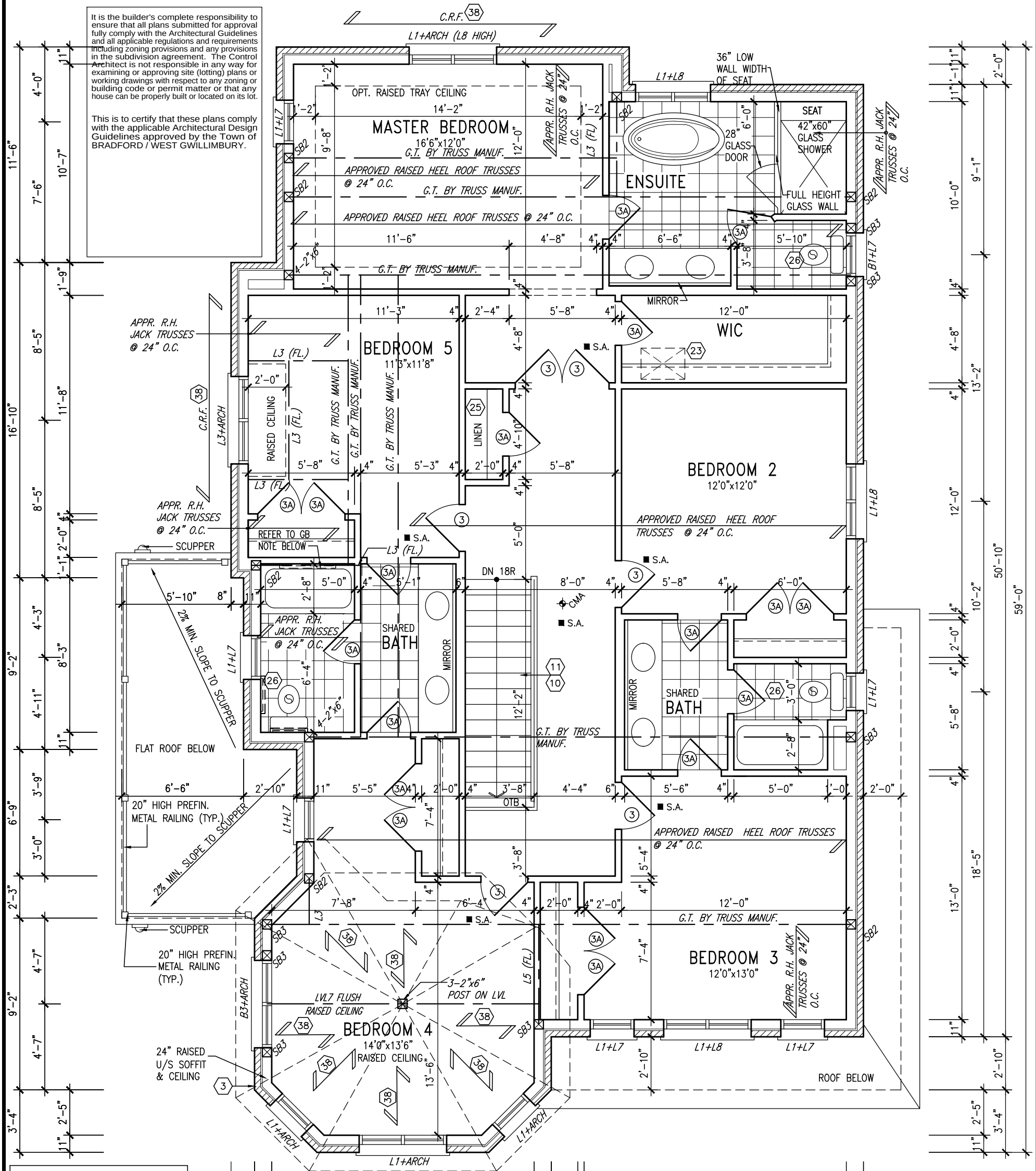
S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023
date	SECOND FLOOR PLAN ELEV.'B' (4 BR)	drawing no. 3B
drawn by NC	checked by -	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu Jul 29 2021 - 10:23 AM		file name 16023-S42-7C-10GRND

The second floor plan shows a large rectangular area with several rooms and corridors. The overall dimensions are 33'-9" wide by 2'-5" deep. The layout includes a large central area (18'-10" wide) and several smaller rooms (9'-5" wide). The plan also shows a series of rooms along the right side (12'-6" wide) and a series of rooms along the bottom (11'-7" wide). The plan is divided into several sections by walls and doors, with dimensions provided for each section.

Section	Width	Depth
Top Left	2'-5"	11"
Top Middle	18'-10"	11"
Top Right	12'-6"	11"
Middle Left	9'-5"	11"
Middle Middle	9'-5"	11"
Middle Right	10'-2"	11"
Bottom Left	16'-6"	11"
Bottom Middle	11'-7"	11"
Bottom Right	11"	11"

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

10⁹ GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.		project no. 16023	
date		OPT. SECOND FLOOR PLAN ELEV. 'B' (5 BR)			
drawing no.		drawing no.			
drawn by NC		checked by -		scale 3/16" = 1'-0"	
file name 16023-S42-7C-10GRND		4B			
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

BAYVIEW

project name
GREEN VALLEY ESTATES



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FLANKAGE ELEVATION 'B'

10⁹ GROUND

9	.		.
8	.		.
7	.		.
6	.		.
5	.		.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

PRELIMINARY

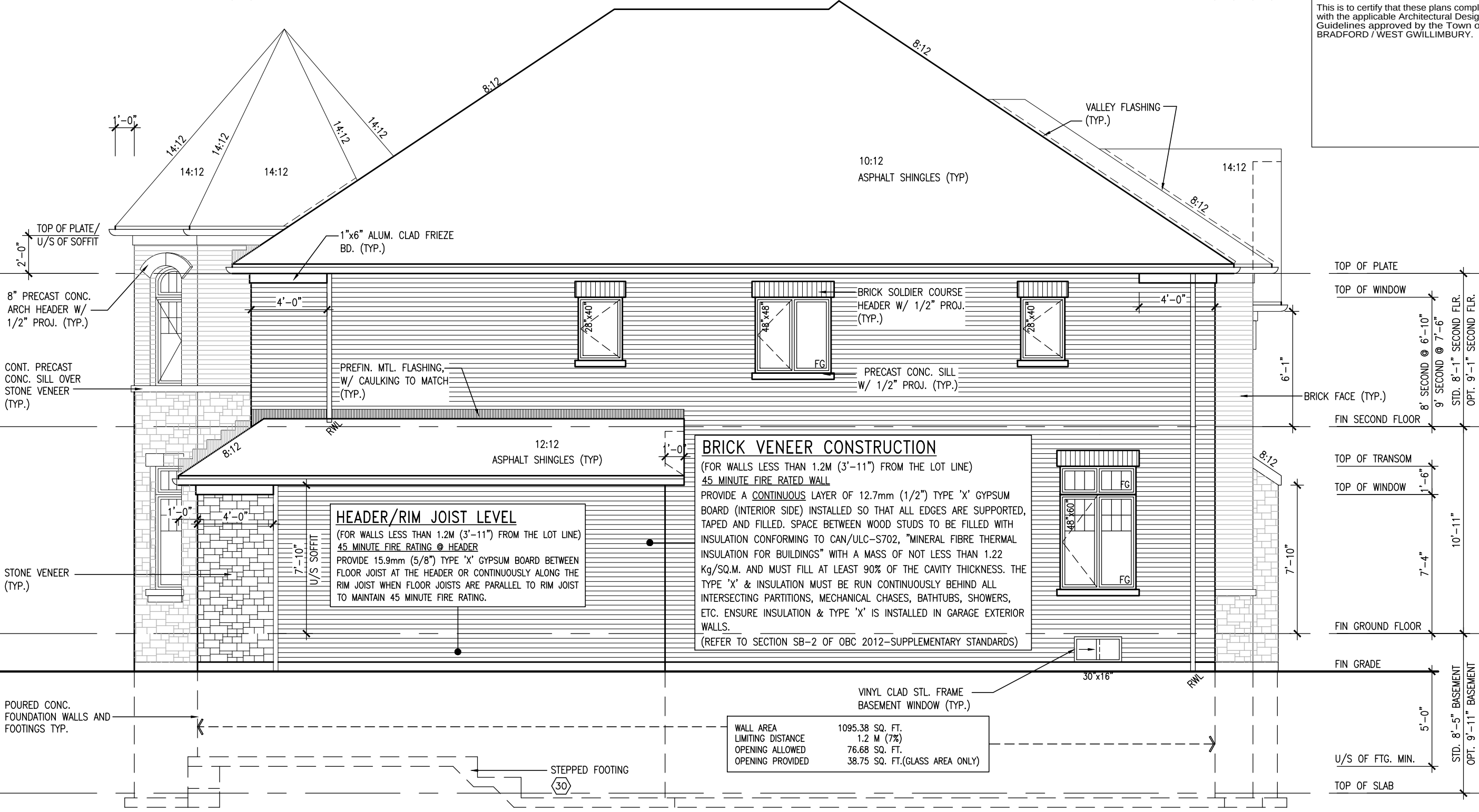
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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10' GROUND

RIGHT SIDE ELEVATION 'B'

9

8

7

6

5

4

3

2

1

no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

project name

GREEN VALLEY ESTATES

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

16023-S42-7C-10GRND.dwg

date

Thu - Jul 29 2021 - 10:23 AM

project name

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project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

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file name

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Thu - Jul 29 2021 - 10:23 AM

project name

GREEN VALLEY ESTATES

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

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date

Thu - Jul 29 2021 - 10:23 AM

project name

BAYVIEW WELLINGTON

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

16023-S42-7C-10GRND.dwg

date

Thu - Jul 29 2021 - 10:23 AM

project name

BAYVIEW WELLINGTON

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

16023-S42-7C-10GRND.dwg

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Thu - Jul 29 2021 - 10:23 AM

project name

BAYVIEW WELLINGTON

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

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date

Thu - Jul 29 2021 - 10:23 AM

project name

BAYVIEW WELLINGTON

project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

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NC

date

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file name

16023-S42-7C-10GRND.dwg

date

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project name

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project no.

16023

drawing no.

7B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

16023-S42-7C-10GRND

file name

16023-S42-7C-10GRND.dwg

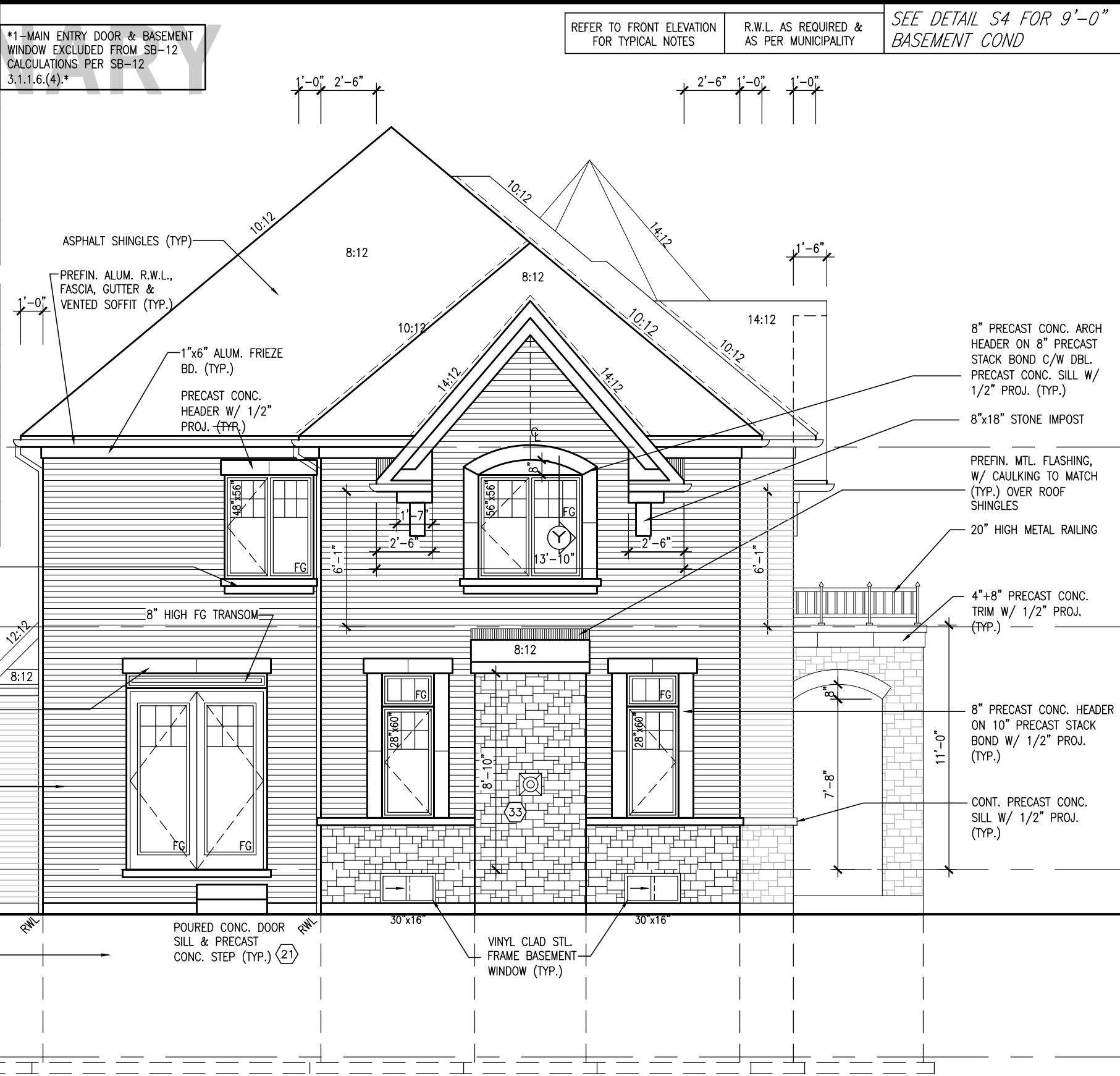
date

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.B W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	722.75 S.F.	185.92 S.F.	25.72 %
LEFT SIDE	1262.00 S.F.	269.79 S.F.	21.38 %
RIGHT SIDE	1245.17 S.F.	90.38 S.F.	7.26 %
REAR	708.75 S.F.	133.39 S.F.	18.82 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3938.67 S.F.	679.48 S.F.	17.25 %
TOTAL SQ. M.	365.91 S.M.	63.13 S.M.	17.25 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.B W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	756.50 S.F.	185.92 S.F.	24.58 %
LEFT SIDE	1321.00 S.F.	269.79 S.F.	20.42 %
RIGHT SIDE	1304.17 S.F.	90.38 S.F.	6.93 %
REAR	742.50 S.F.	133.39 S.F.	17.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4124.17 S.F.	679.48 S.F.	16.48 %
TOTAL SQ. M.	383.14 S.M.	63.13 S.M.	16.48 %



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-7C

RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project no.

16023

municipality

BRADFORD, ON.

project name

GREEN VALLEY ESTATES

date

16023-S42-7C-10GRND.dwg - Thu - Jul 29 2021 - 10:24 AM

drawing no.

8B

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

file name

16023-S42-7C-10GRND

drawn by

NC

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S42-7C-10GRND

drawn by

NC

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S42-7C-10GRND

no.

9

description

10' GROUND FLOOR

no.

8

description

ADDED OPT. 9' BASEMENT

no.

7

description

REVISED AS PER ENG'S COMMENTS

no.

6

description

ISSUED FOR CLIENT REVIEW

no.

5

description

DATE

no.

4

description

JUN 24-21 KL

no.

3

description

JUN 24-21 KL

no.

2

description

FEB 01-18 RC

no.

1

description

DATE

10' GROUND

UNFINISHED BASEMENT

HWT

FURNACE

LVL 4 (FL)

BUILT UP SJ (LOW) FLOOR

BUILT UP STEPS

9 1/2" FLR. TRS. @

12" O.C. (LOW) SJ

CHECK FOUNDATION WALL FOR MAN DOOR ABOVE

REFER TO NOTE J1

S1

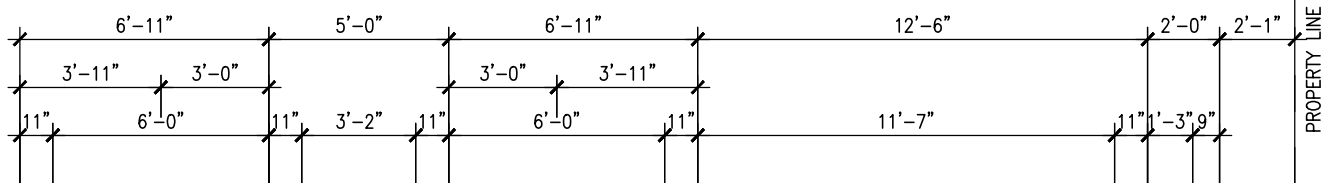
S1

5B (ABOVE)

REFER TO DETAIL S1 FOR LATERAL SUPPORT

Dimensions: 12'-9", 8'-7", 6'-4", 4", 2", 10'-3", 10'-0", 3'-0", 5'-4", 10", 11'-9", 8'-9", 16", 3'-0"

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



2-24"x24" PRECAST
CONC. PAVERS
No. OF RISERS VARY
WITH GRADE (W.O.D.
COND. ONLY) SEE S
PLAN.

PROVIDE 2"x4" P.T.
WOOD HANDRAIL W/
2"x2" P.T. WOOD
PICKETS @ 4"
SPACING BETWEEN

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg

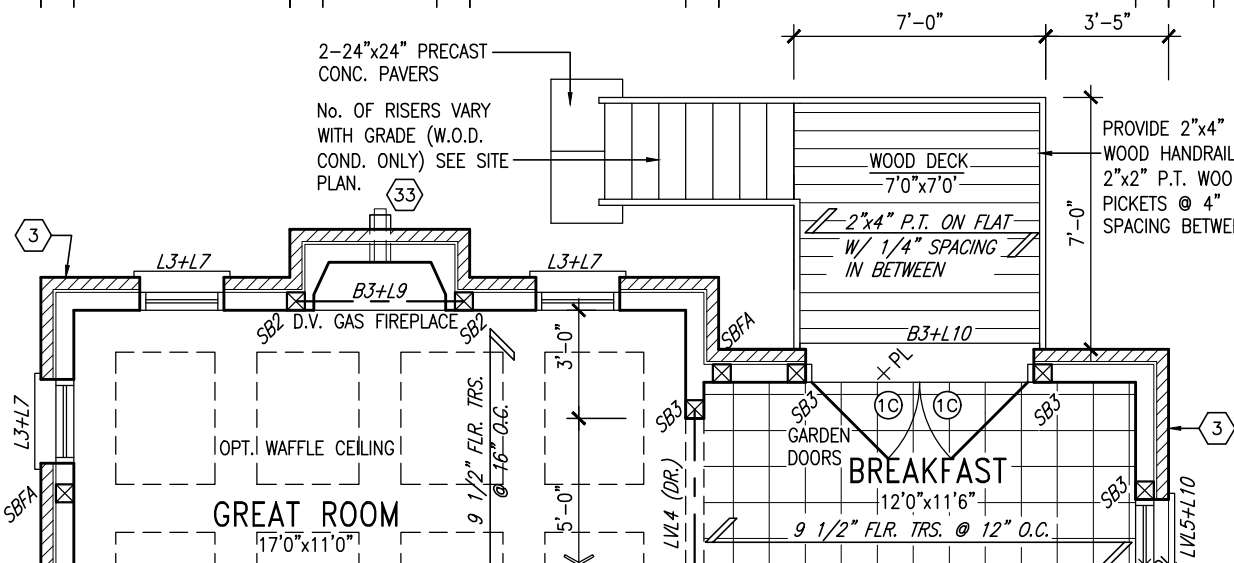


Diagram showing the elevation view of a roof structure. The rafters are labeled with dimensions: 6'-11", 5'-0", 6'-11", and 12'-6". The ridge is labeled with dimensions: 3'-11", 3'-0", 3'-0", and 3'-11". The roofline is labeled with dimensions: 10", 6'-1", 11", 3'-2", 11", 6'-0", 11", 11'-8", and 10". The text "1-2\"X4\" P.T. ON FLAT BRACE TO" is visible at the bottom right.

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP

6"X6" P.T. WOOD POST
BOLTED TO METAL
SHOE SET INTO 12"
DIA. CONC. PIER TO
EXTEND 6" ABOVE
GRADE AND 5'-0"
BELOW GRADE

1-2"x4" P.T. ON FLAT BRACE TO
U/S OF JOISTS C/W (2) NO.8x3"
DECK SCREWS

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO 2"x6"
BLOCKING BETWEEN STUDS
W/ 1/2" DIA. BOLTS @ 16"
O.C. REFER TO DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO FTDN
WALL W/ 1/2" DIA. x12"
LONG HILTI ADHESIVE
ANCHORS @ 16" O.C.
REFER TO DETAIL 1/S2

10" FULL HEIGHT CONC.
- ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

UNFINISHED
BASEMENT

10⁹ GROUND

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED;

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID
or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION
& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	municipality
GREEN VALLEY ESTATES	BRADFORD, ON.

project no.
16023

date PART. PLANS ELEV. 'B' - W.O.B. COND.

drawing no.

drawn by	checked by	scale	file no.
NC	RC	3/16" = 1'-0"	16023-S42-7C-10GR

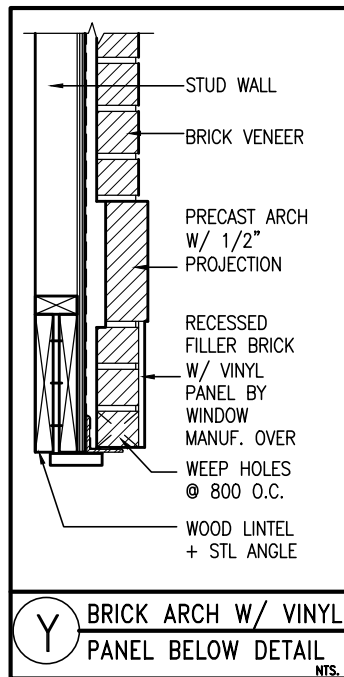
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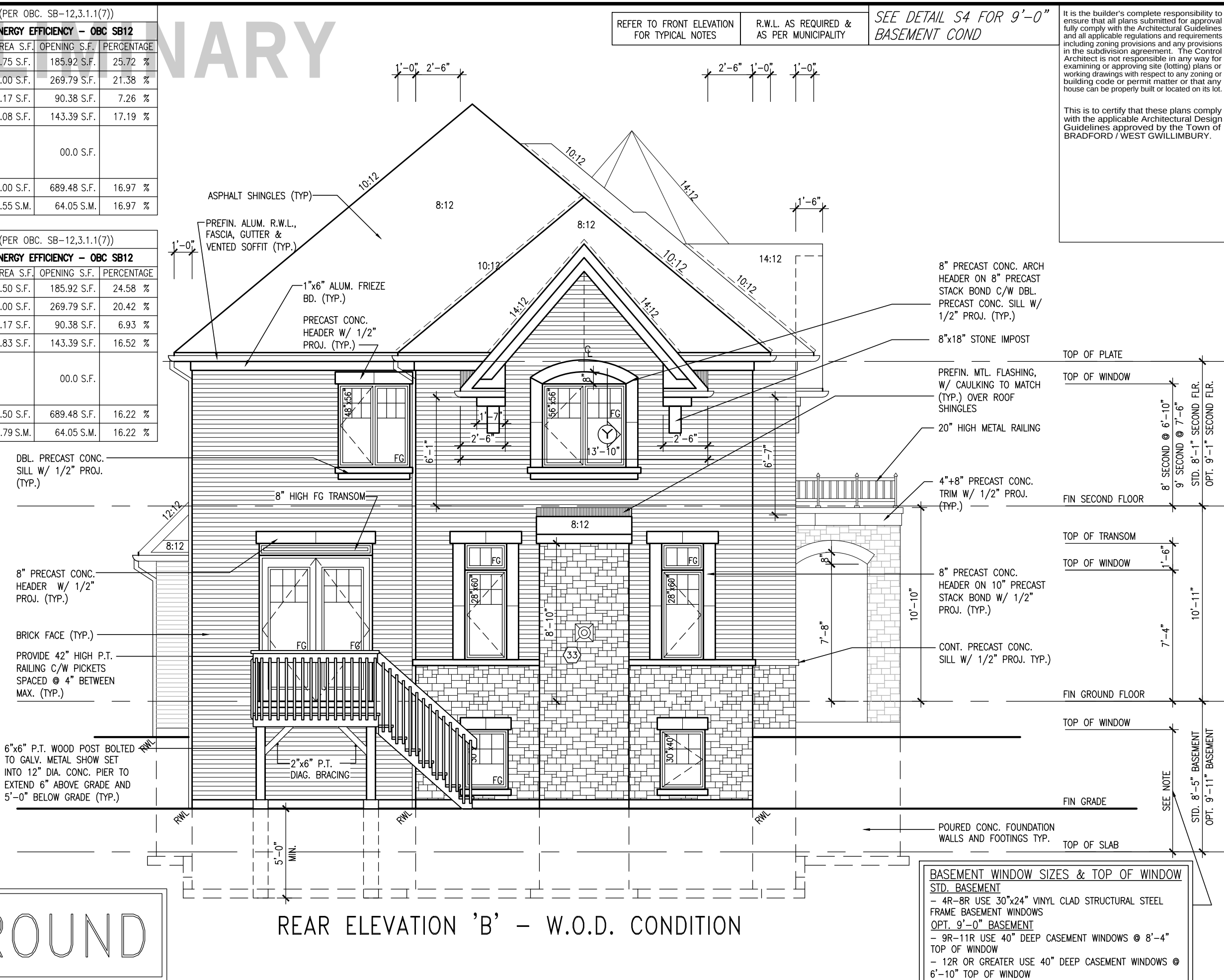
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.B W/ WOD 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	722.75 S.F.	185.92 S.F.	25.72 %
LEFT SIDE	1262.00 S.F.	269.79 S.F.	21.38 %
RIGHT SIDE	1245.17 S.F.	90.38 S.F.	7.26 %
REAR	834.08 S.F.	143.39 S.F.	17.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4064.00 S.F.	689.48 S.F.	16.97 %
TOTAL SQ. M.	377.55 S.M.	64.05 S.M.	16.97 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.B W/ WOD 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	756.50 S.F.	185.92 S.F.	24.58 %
LEFT SIDE	1321.00 S.F.	269.79 S.F.	20.42 %
RIGHT SIDE	1304.17 S.F.	90.38 S.F.	6.93 %
REAR	867.83 S.F.	143.39 S.F.	16.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4249.50 S.F.	689.48 S.F.	16.22 %
TOTAL SQ. M.	394.79 S.M.	64.05 S.M.	16.22 %



10⁹ GROUND



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9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	JUN 24-21	KL	
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions are to be confirmed with the Designer. All dimensions of this Design shall be returned at the completion of the work. Drawings are not to be scaled.



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va3design.com

project name
GREEN VALLEY ESTATES

project no.
16023

municipality
BRADFORD, ON.

date

checked by
RC

scale
3/16" = 1'-0"

title name
16023-S42-7C-10GRND

drawn by
NC

drawing no.
10B

REAR ELEVATION 'B' - W.O.D. COND.

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BAYVIEW WELLINGTON

S42-7C

RIDEAU 7

project name
GREEN VALLEY ESTATES

project no.
16023

municipality
BRADFORD, ON.

date

checked by
RC

scale
3/16" = 1'-0"

title name
16023-S42-7C-10GRND

drawn by
NC

drawing no.
10B

REAR ELEVATION 'B' - W.O.D. COND.

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PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

1'-0"

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TOP OF PLATE/
U/S OF SOFFIT
2'-0"

STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

FIN SECOND FLOOR

10'-11"

FIN GROUND FLOOR

FIN GRADE

STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

TOP OF SLAB

CROSS SECTION A-A

10' GROUND



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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES
municipality BRADFORD, ON.
project no. 16023
drawing no. 11B

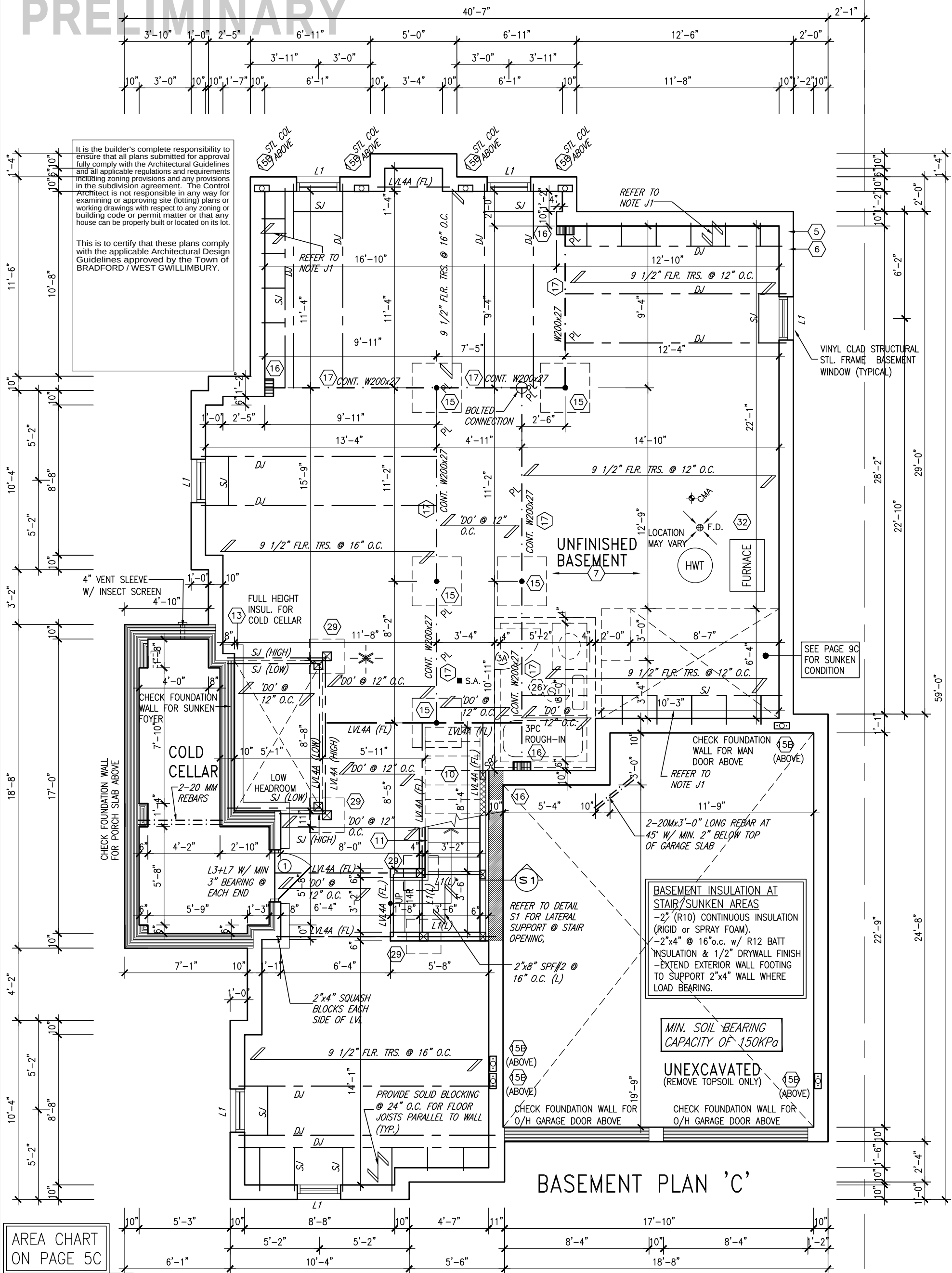
drawn by NC
checked by RC
scale 3/16" = 1'-0"
date STD, SECTION A-A ELEV. 'A', 'B', 'C'
16023-S42-7C-10GRND

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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUN 24-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 24-21 KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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PRELIMINARY



AREA CHART
ON PAGE 5C

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

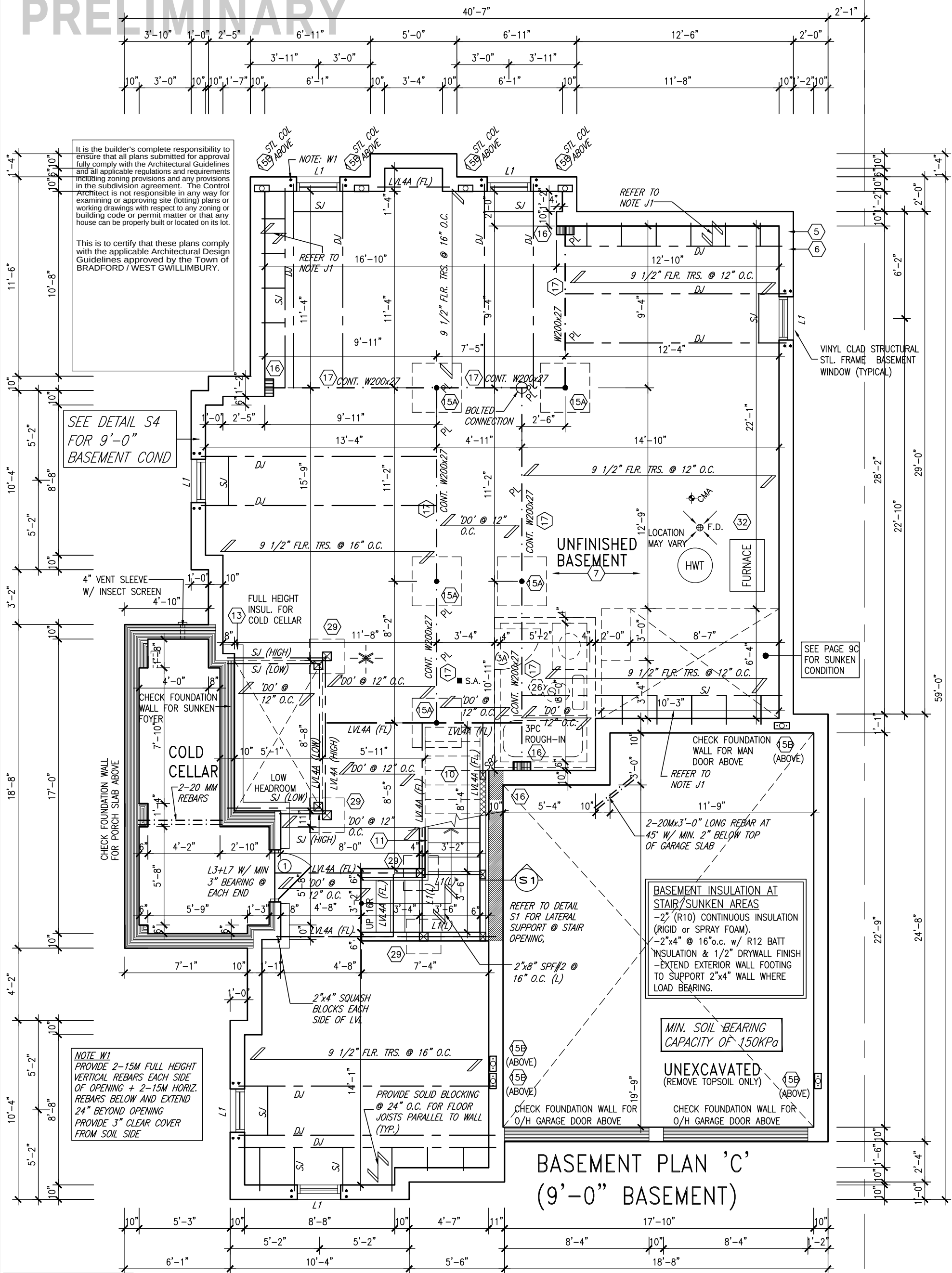
9	.	.	.
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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 16023	
date		drawing no. 10	
BASEMENT PLAN ELEV. 'C'		file name 16023-S42-7C-10GRND	
drawn by NC	checked by RC	scale 3/16" = 1'-0"	date 16023-S42-7C-10GRND
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PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
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5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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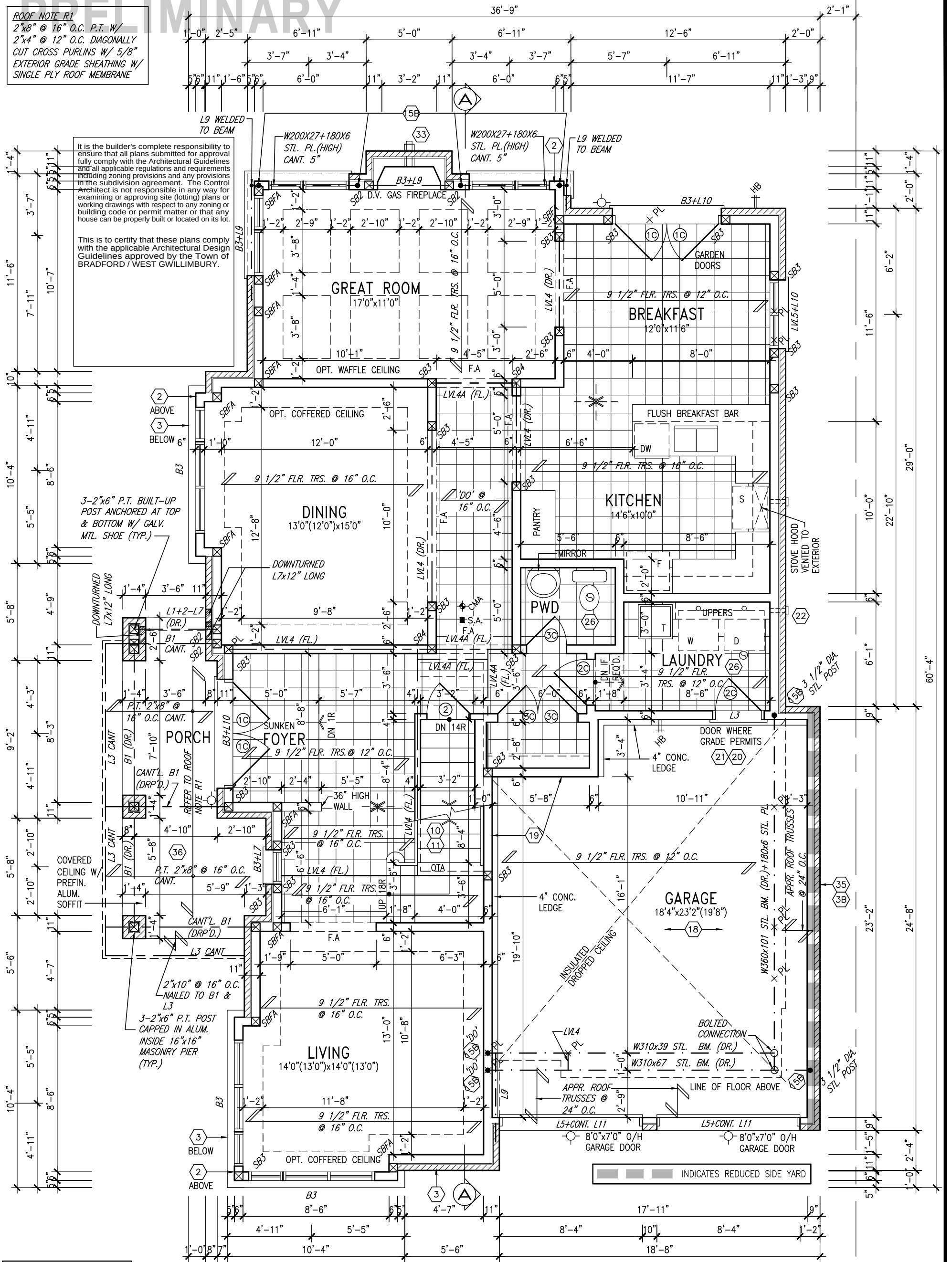
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BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.	project no. 16023
date		drawing no.	
drawn by NC		checked by RC	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Jul 29 2021 - 10:24 AM		file name 16023-S42-7C-10GRND	

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'C'
(10'-0" GROUND)

10' GROUND

9.	.	.
8.	.	.
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4.	10' GROUND FLOOR	JUN 24-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 24-21 KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
				file name	16023-S42-7C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Jul 29 2021 - 10:24 AM					drawing no.
					2C

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

10⁹ GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

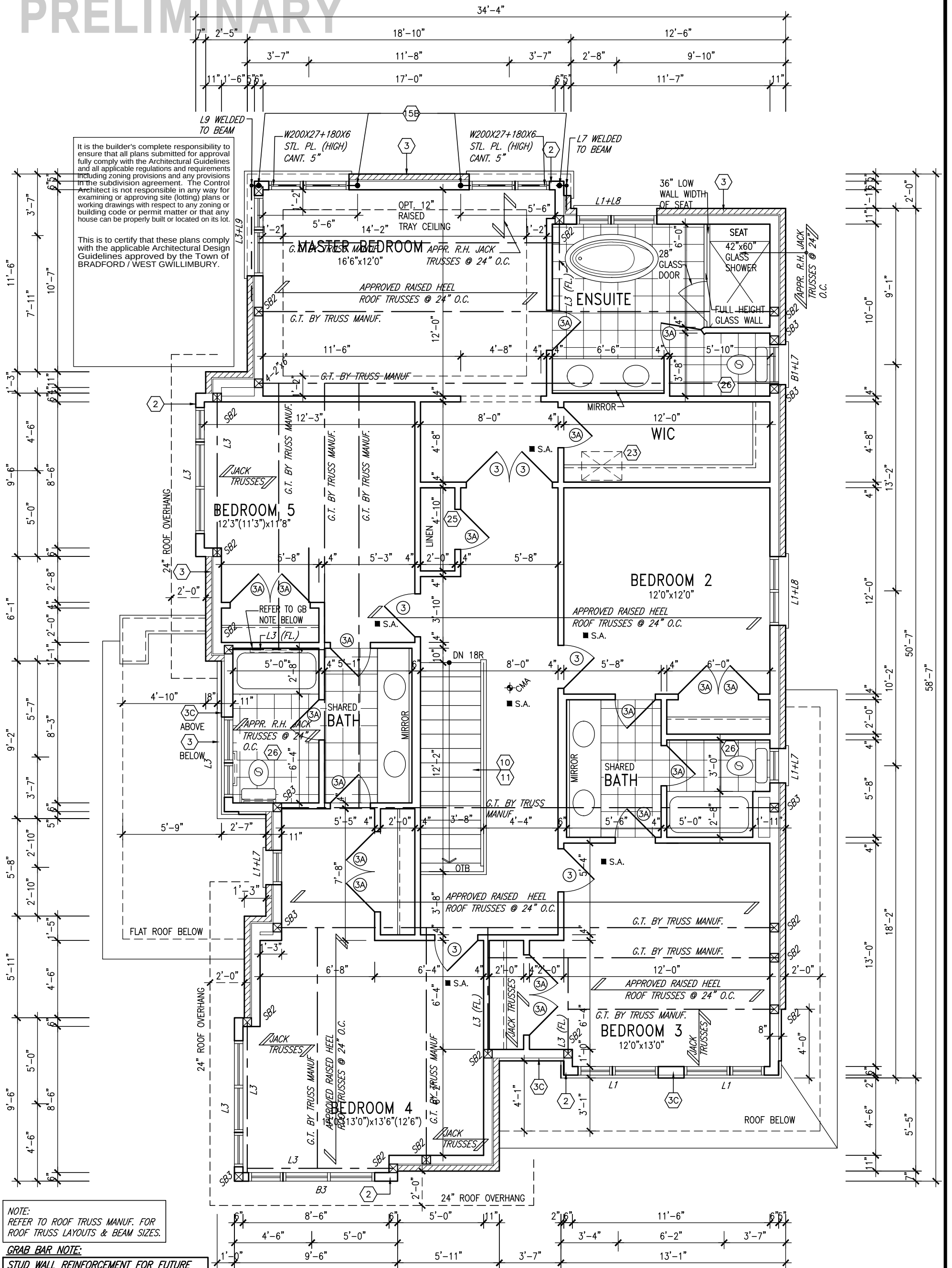


S42-7C
RIDEAU 7

project name GREEN VALLEY ESTATES		municipality BRADFORD, ON.		project no. 16023	
date		SECOND FLOOR PLAN ELEV. 'C' (4BR)			
drawing no.		3C			
drawn by NC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-7C-10GRND		
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PRELIMINARY



NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM

10' GROUND

9.			
8.			
7.			
6.			
5.			
4.	10' GROUND FLOOR	JUN 24-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	16023
date					
drawn by	NC	checked by	RC	scale	3/16" = 1'-0"
file name	16023-S42-7C-10GRND				
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C-10GRND.dwg - Thu - Jul 29 2021 - 10:24 AM					drawing no.
					4C

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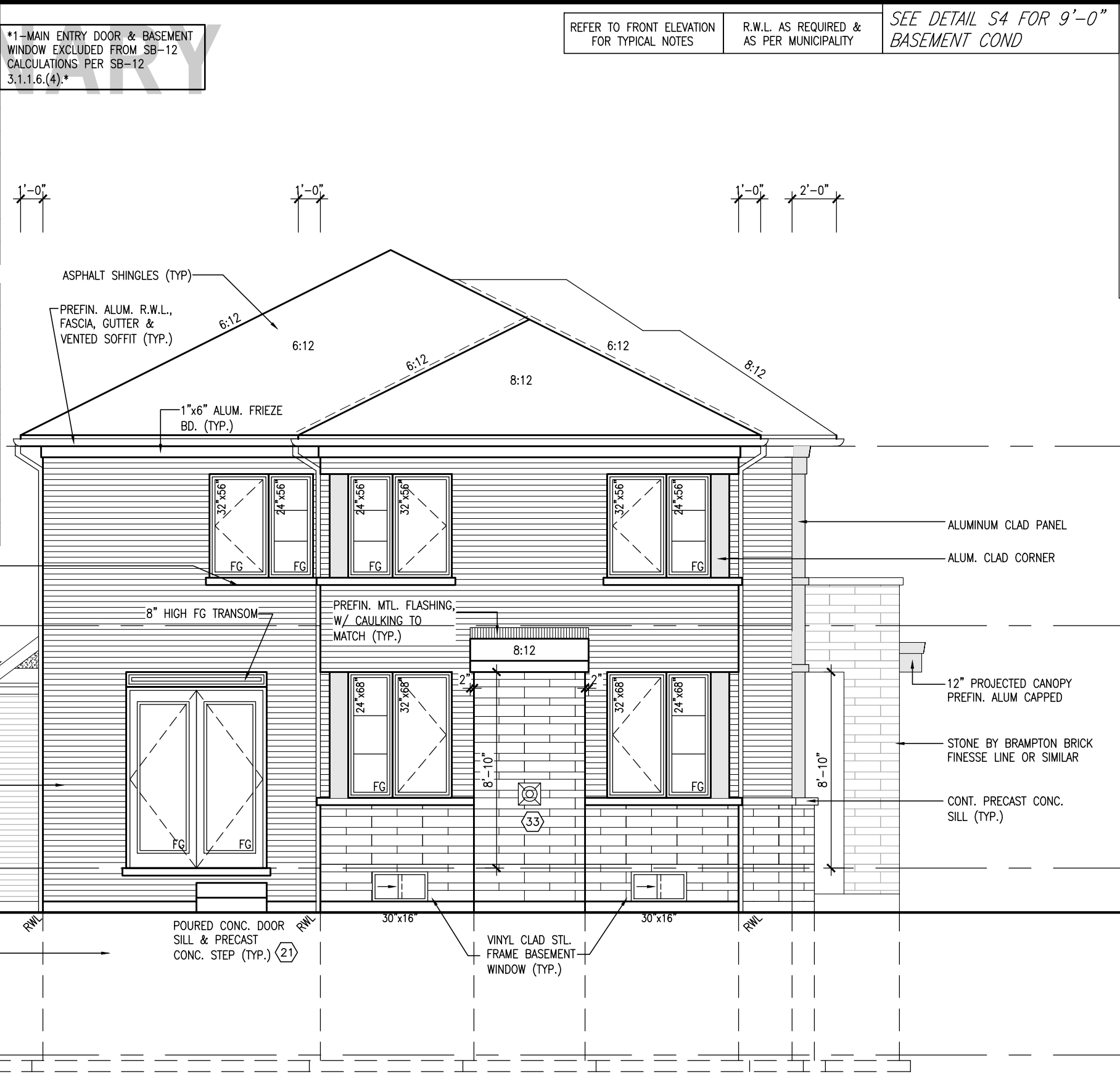
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4	10' GROUND FLOOR	JUN 24-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 24-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no. description		date	by

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C E.L.C W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	723.15 S.F.	143.83 S.F.	19.89 %
LEFT SIDE	1232.40 S.F.	274.75 S.F.	22.29 %
RIGHT SIDE	1232.40 S.F.	57.56 S.F.	4.67 %
REAR	723.15 S.F.	180.83 S.F.	25.01 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3911.10 S.F.	656.97 S.F.	16.80 %
TOTAL SQ. M.	363.35 S.M.	61.03 S.M.	16.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C E.L.C W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.49 S.F.	143.83 S.F.	18.99 %
LEFT SIDE	1290.99 S.F.	274.75 S.F.	21.28 %
RIGHT SIDE	1290.99 S.F.	57.56 S.F.	4.46 %
REAR	757.49 S.F.	180.83 S.F.	23.87 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4096.96 S.F.	656.97 S.F.	16.04 %
TOTAL SQ. M.	380.62 S.M.	61.03 S.M.	16.04 %



10' GROUND

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S42-7C

RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON.

project no.

16023

drawing no.

8C

project name

GREEN VALLEY ESTATES

municipality

BRADFORD, ON.

rear elevation 'C'

REAR ELEVATION 'C'

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

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VAD

DESIGN

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no.

description

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

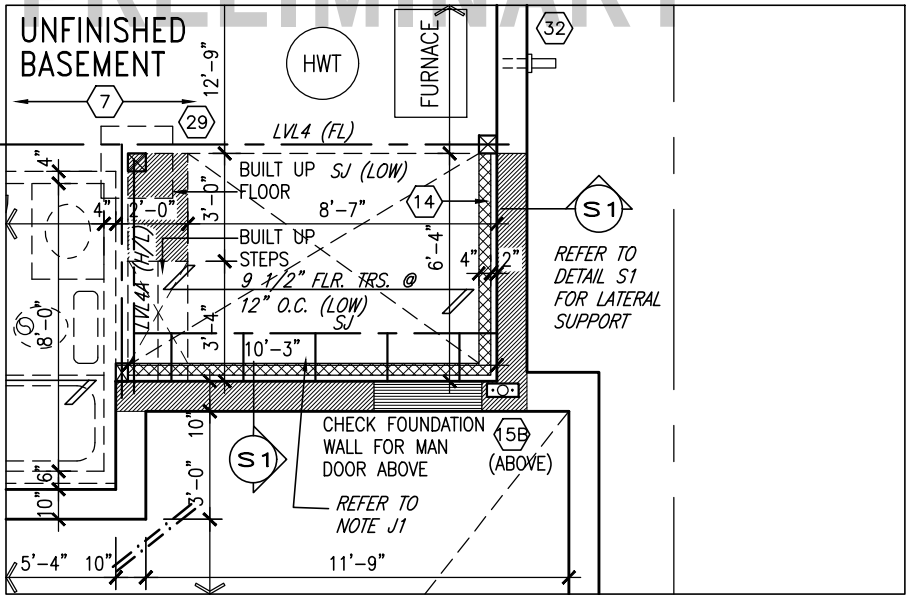
REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

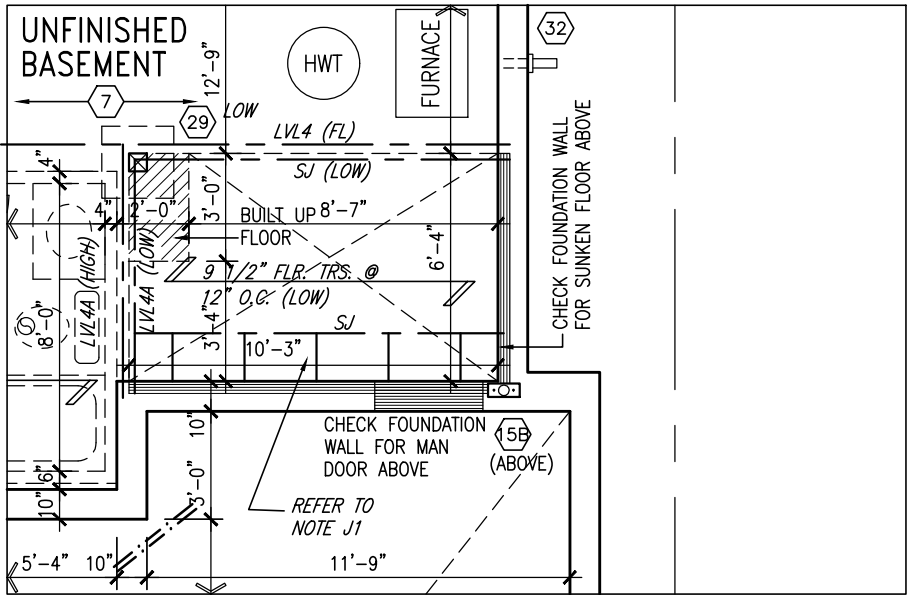
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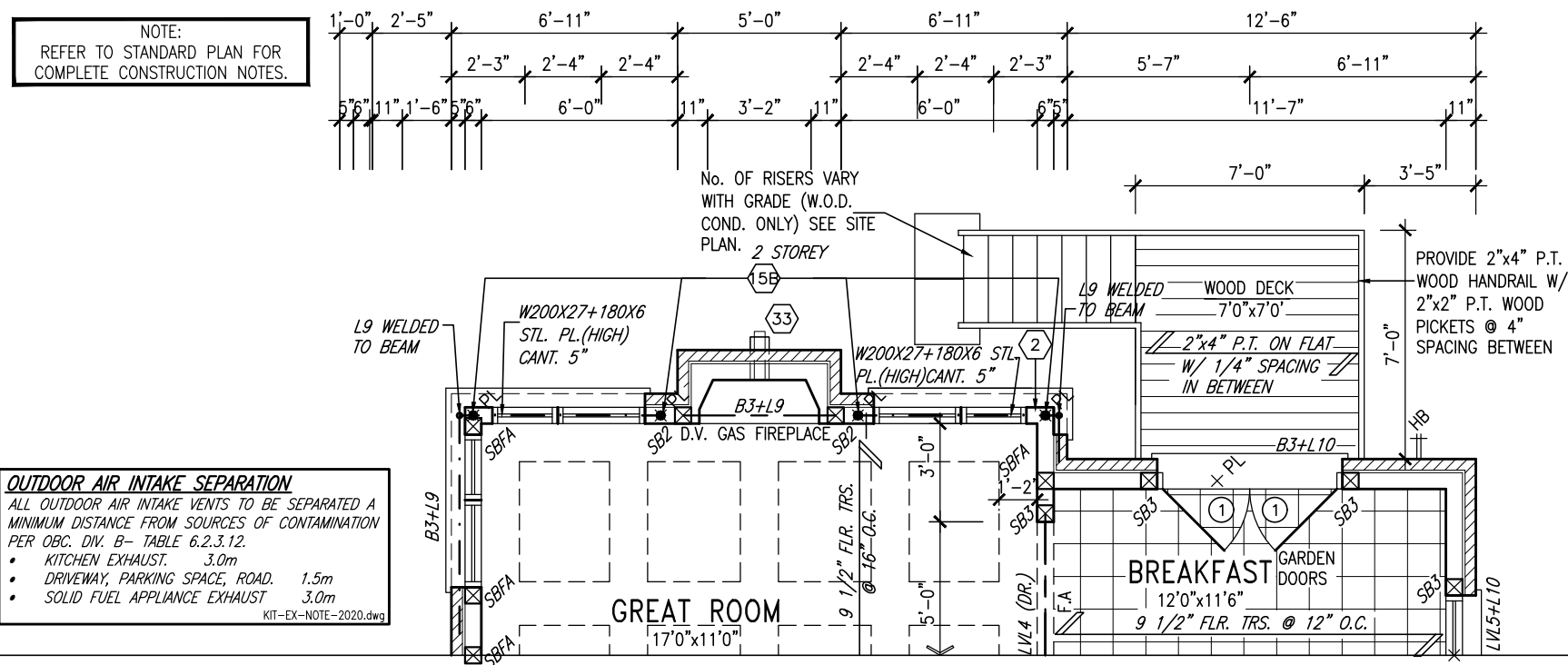
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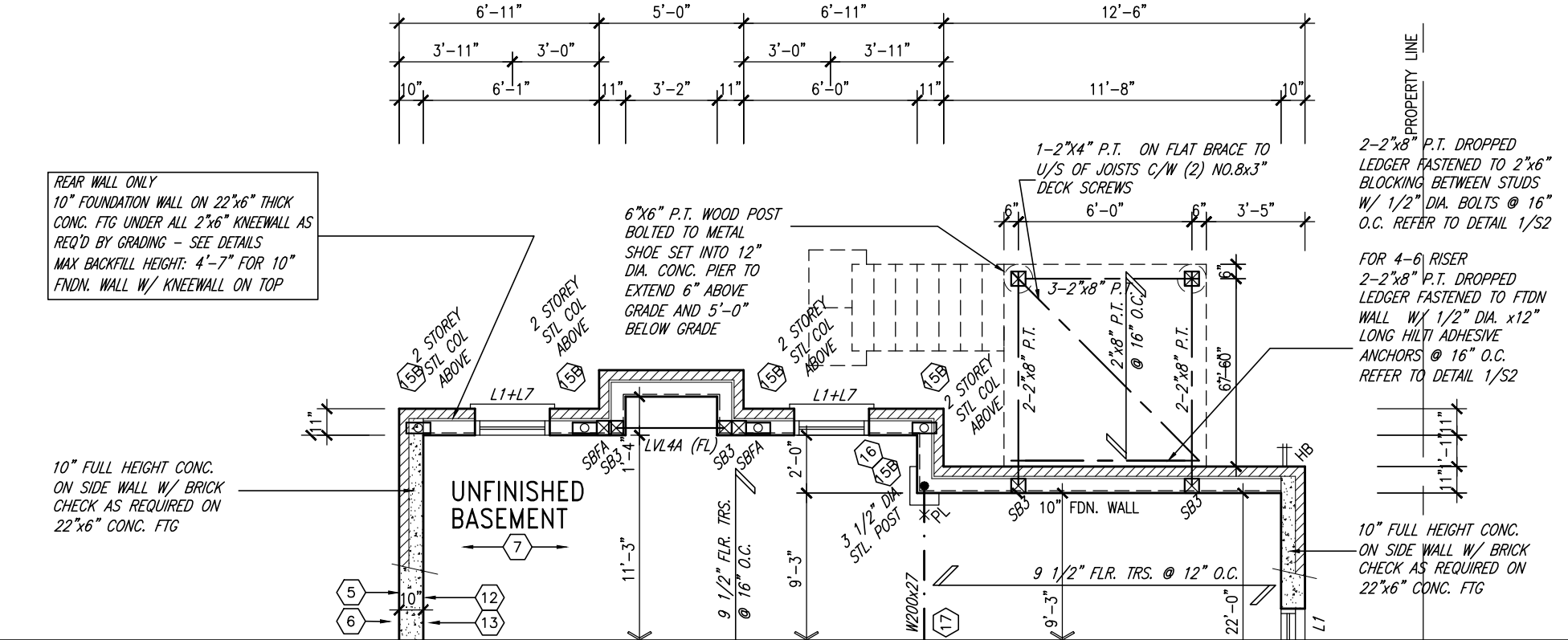
PART. BASEMENT PLAN FOR OPT. SUNKEN LAUNDRY 2R OR MORE COND



PART. BASEMENT PLAN FOR OPT. SUNKEN LAUNDRY 1R COND



PARTIAL GROUND FLOOR PLAN W.O.D. 9R OR MORE CONDITION ELEV. 'C'



PARTIAL BASEMENT PLAN W.O.D. 9R OR MORE CONDITION ELEV. 'C'

10' GROUND

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name
GREEN VALLEY ESTATES

municipality
BRADFORD, ON.

project no.
16023

date

PART. PLANS-W.O.D. COND.

drawing no.

drawn by
NC

checked by
RC-

scale
3/16" = 1'-0"

file name

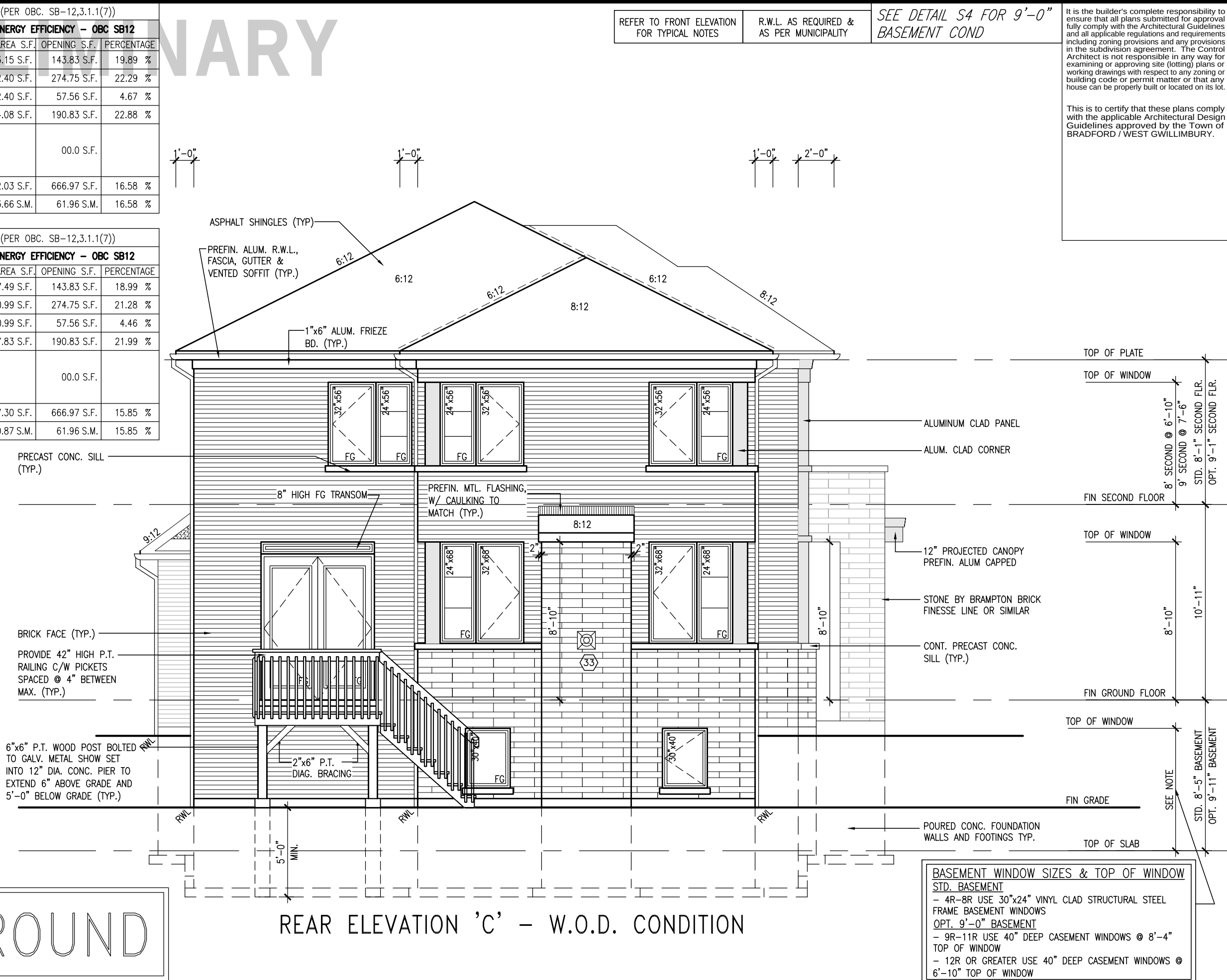
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.C W/ WOD 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	723.15 S.F.	143.83 S.F.	19.89 %
LEFT SIDE	1232.40 S.F.	274.75 S.F.	22.29 %
RIGHT SIDE	1232.40 S.F.	57.56 S.F.	4.67 %
REAR	834.08 S.F.	190.83 S.F.	22.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4022.03 S.F.	666.97 S.F.	16.58 %
TOTAL SQ. M.	373.66 S.M.	61.96 S.M.	16.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-7C EL.C W/ WOD 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.49 S.F.	143.83 S.F.	18.99 %
LEFT SIDE	1290.99 S.F.	274.75 S.F.	21.28 %
RIGHT SIDE	1290.99 S.F.	57.56 S.F.	4.46 %
REAR	867.83 S.F.	190.83 S.F.	21.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.30 S.F.	666.97 S.F.	15.85 %
TOTAL SQ. M.	390.87 S.M.	61.96 S.M.	15.85 %



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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S42-7C

RIDEAU 7

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project no.

16023

municipality

BRADFORD, ON.

project name

REAR ELEVATION 'C' - W.O.D. COND.

scale

3/16" = 1'-0"

checked by

RC

drawn by

NC

date

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file name

16023-S42-7C-10GRND

drawing no.

10C

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no.

description

date

by

10' GROUND FLOOR

JUN 24-21 KL

9' BASEMENT

JUN 24-21 KL

REVISED AS PER ENG'S COMMENTS

FEB 01-18 RC

ISSUED FOR CLIENT REVIEW

FEB 01-18 RC

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BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW

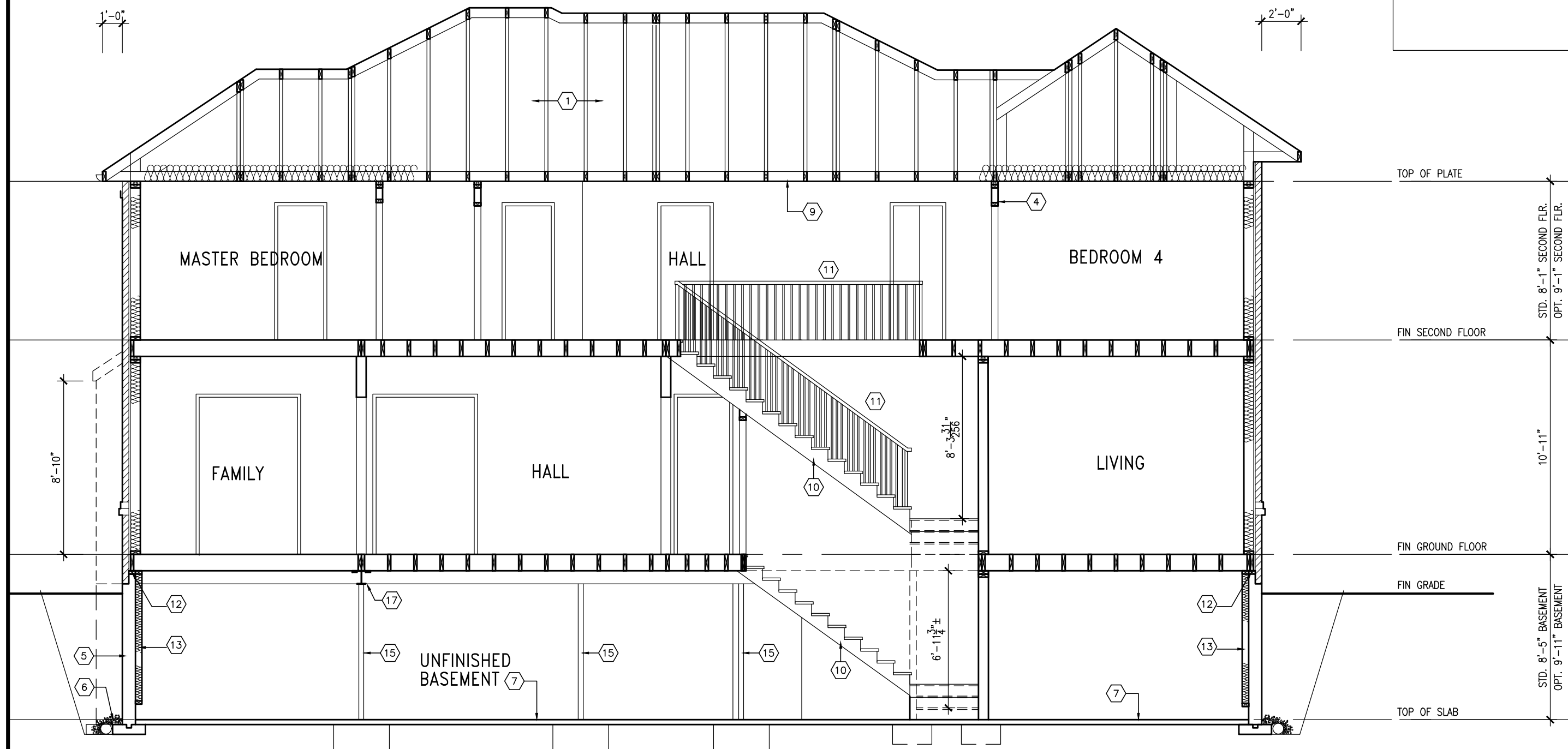
12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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CROSS SECTION A-A

10⁹ GROUND

BAYVIEW WELLINGTON

S42-7C
BIDEAU 7

project name	project no.
GREEN VALLEY ESTATES	16023
municipality	
BRADFORD, ON.	

note	STD, SECTION A-A ELEV. 'A', 'B', 'C'	drawing no.	11C
drawn by	scale	file name	
MC	RC 3/16" = 1'-0"	16023-S42-7C-10GRND	

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