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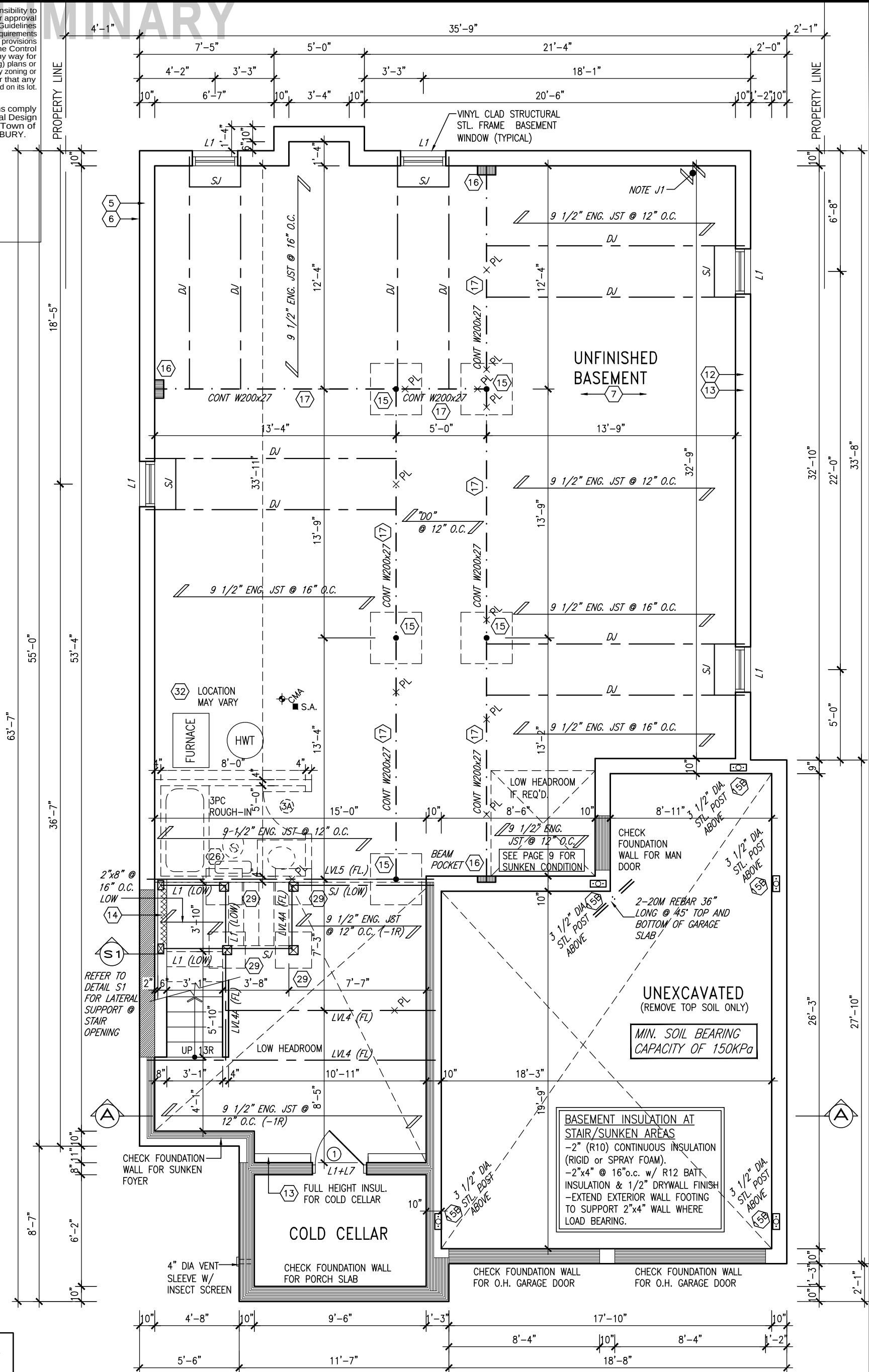












BASEMENT PLAN 'A'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date FEBRUARY, 2017		BASEMENT PLAN ELEV. 'A'			
drawing no.		drawing no.			
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
				file name 16023-S42-6-10GRND	
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10' GROUND

SEE DETAIL S4
FOR 9'-0"
BASEMENT COND

NOTE W1
PROVIDE 2-15M FULL HEIGHT
VERTICAL REBARS EACH SIDE
OF OPENING + 2-15M HORIZ.
REBARS BELOW AND EXTEND
24" BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES FIRE RATED WALL ASSEMBLY

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GROUND FLOOR PLAN ELEV. 'A'

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file name
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2

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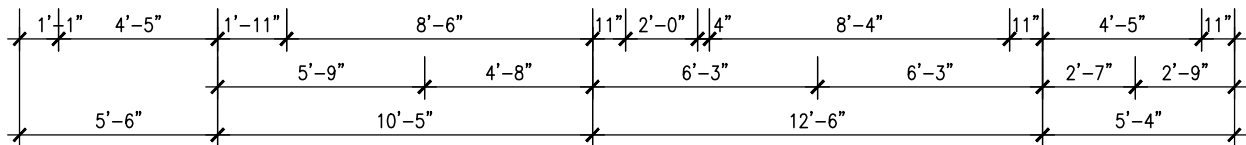
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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
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GB-NOTE-2020.dwg



SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

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SECOND FLOOR PLAN ELEV. 'A'

drawing no.

drawn by
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checked by
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scale
3/16" = 1'-0"

file name
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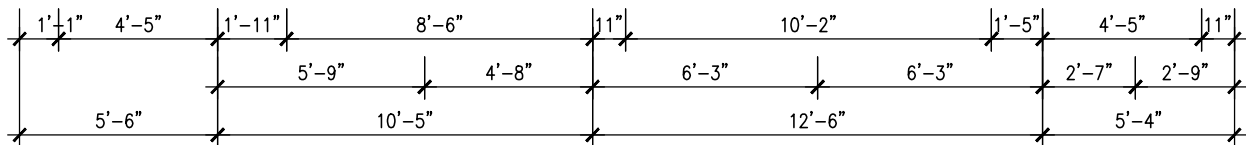
10' GROUND

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GB-NOTE-2020.dwg



OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
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S42-6
RIDEAU 6

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municipality
BRADFORD, ONT.

project no.
16023

date
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OPT. SECOND FLOOR PLAN ELEV. 'A'

drawing no.
4

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S42-6-10GRND

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ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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KIT-EX-NOTE-2020.dwg

NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

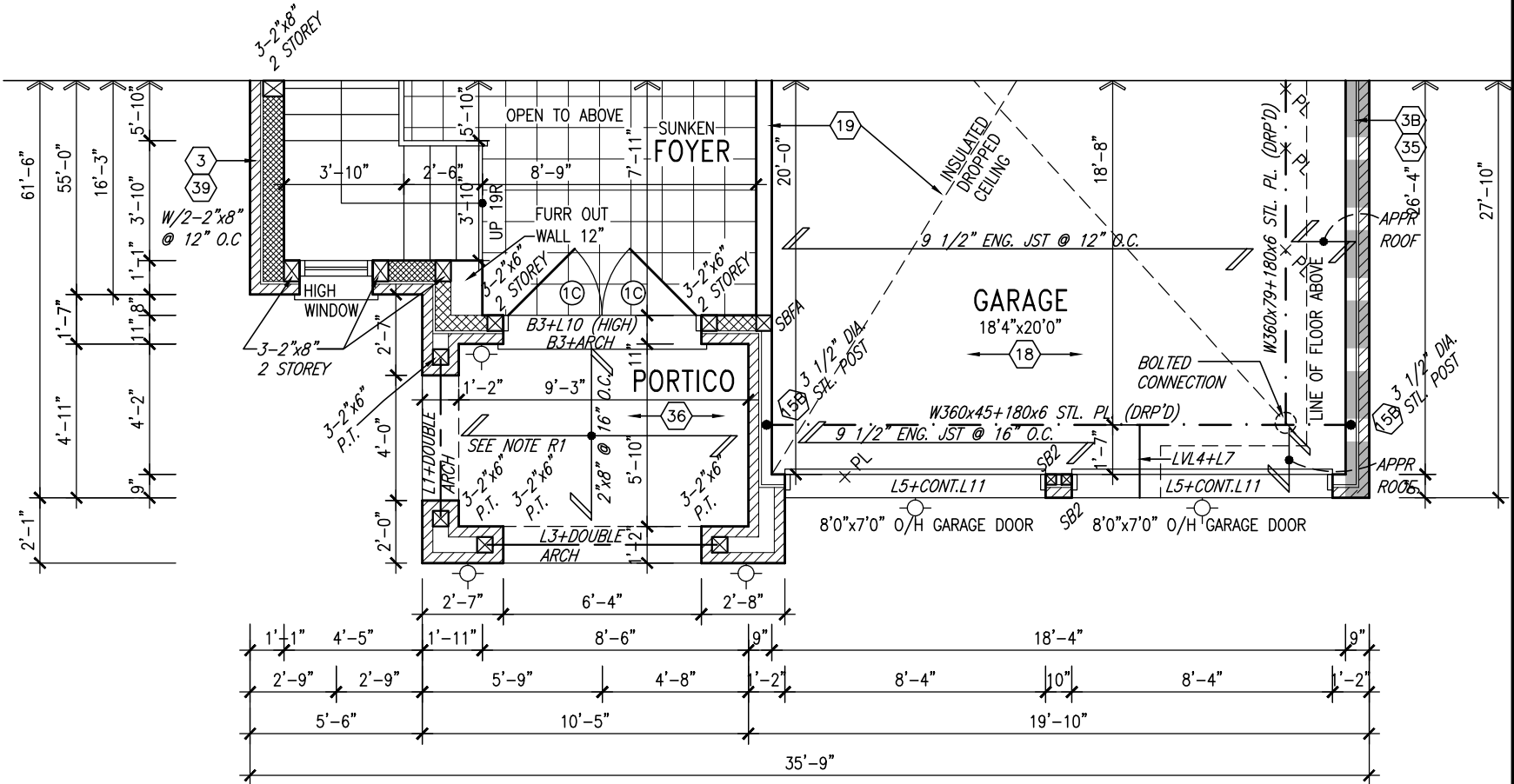
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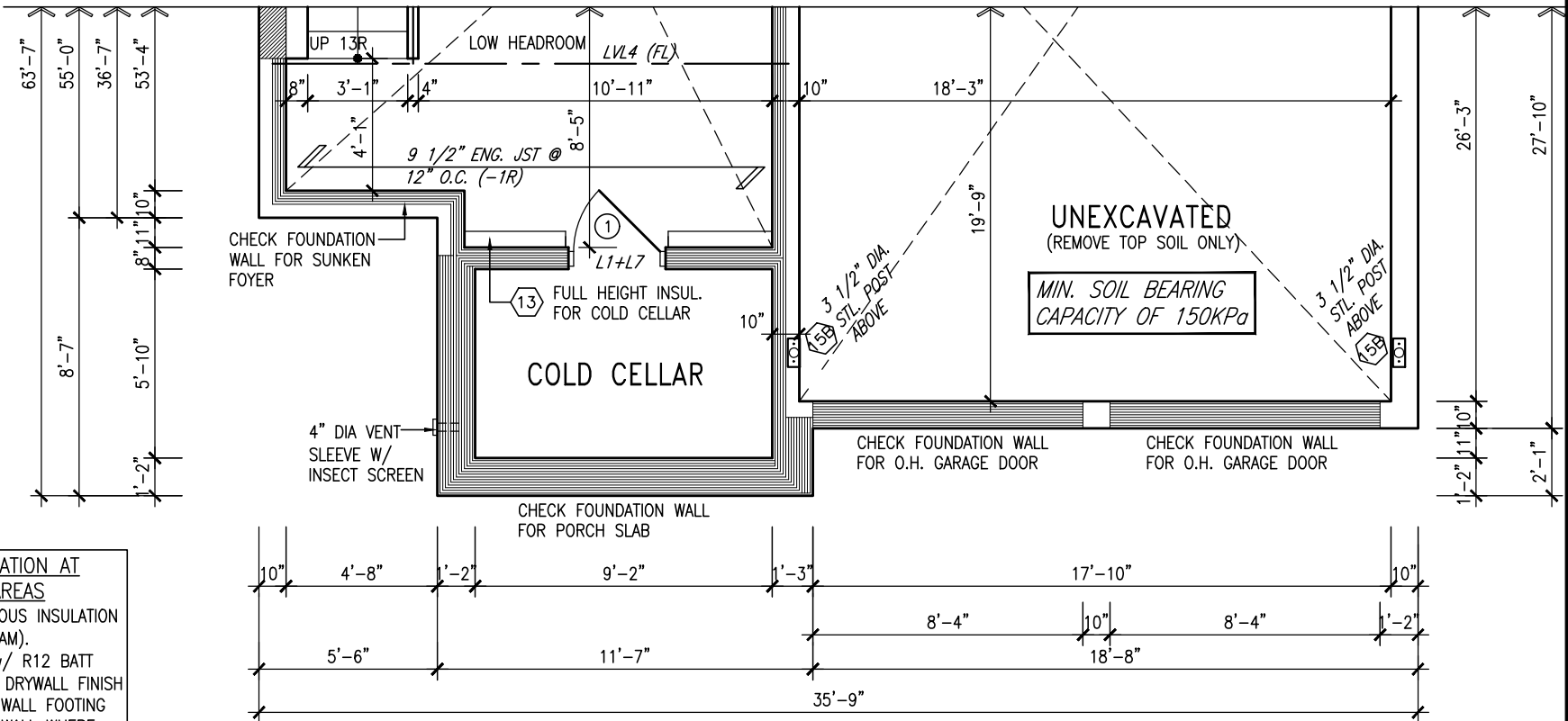
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NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PART. GROUND FLOOR PLAN 'B'
(10'-0" GROUND)



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTIAL BASEMENT PLAN 'B'

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
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scale
3/16" = 1'-0"

file name
16023-S42-6-10GRND

drawing no.
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MINIARY

GRAB BAR NOTE:

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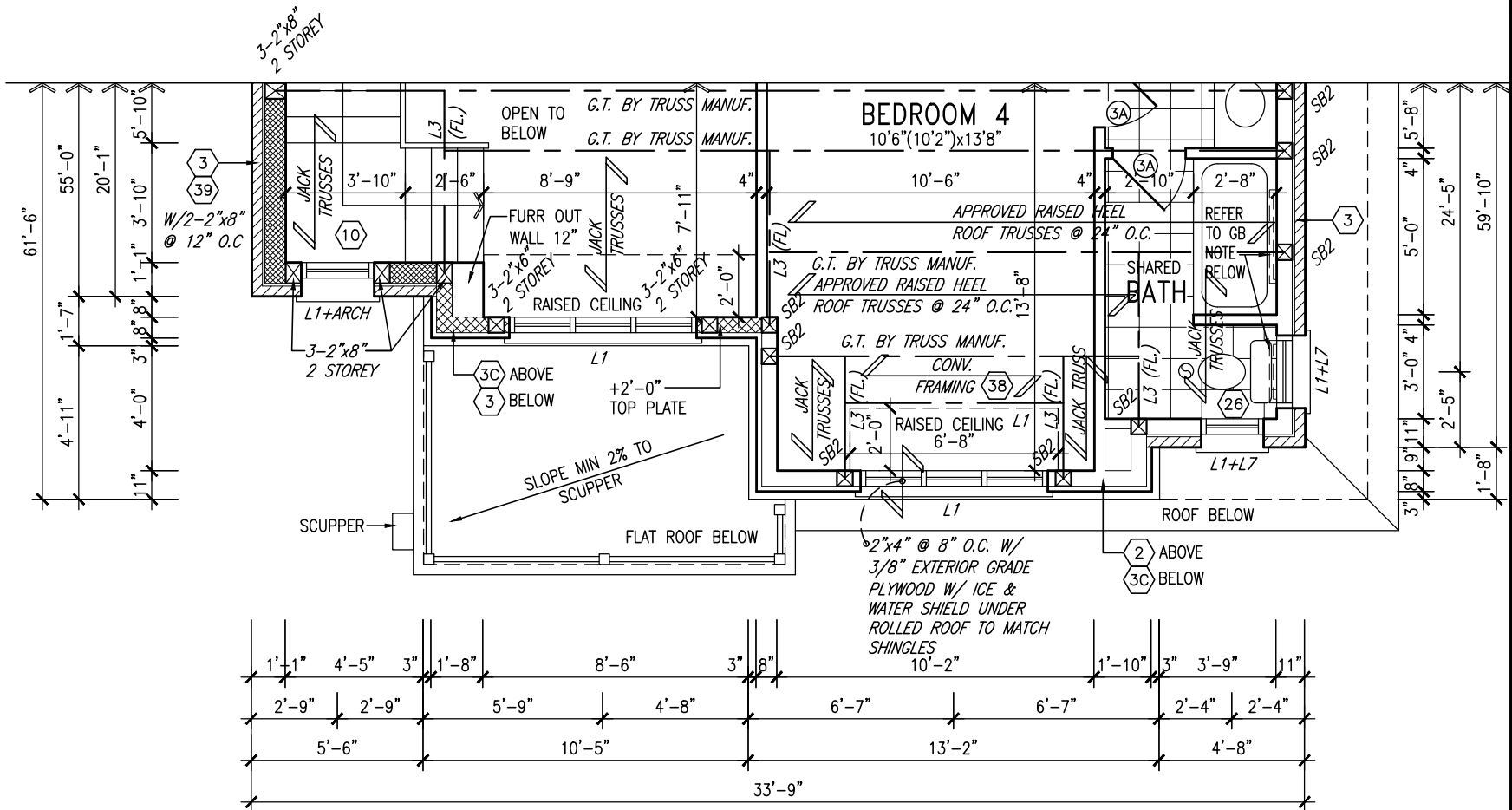
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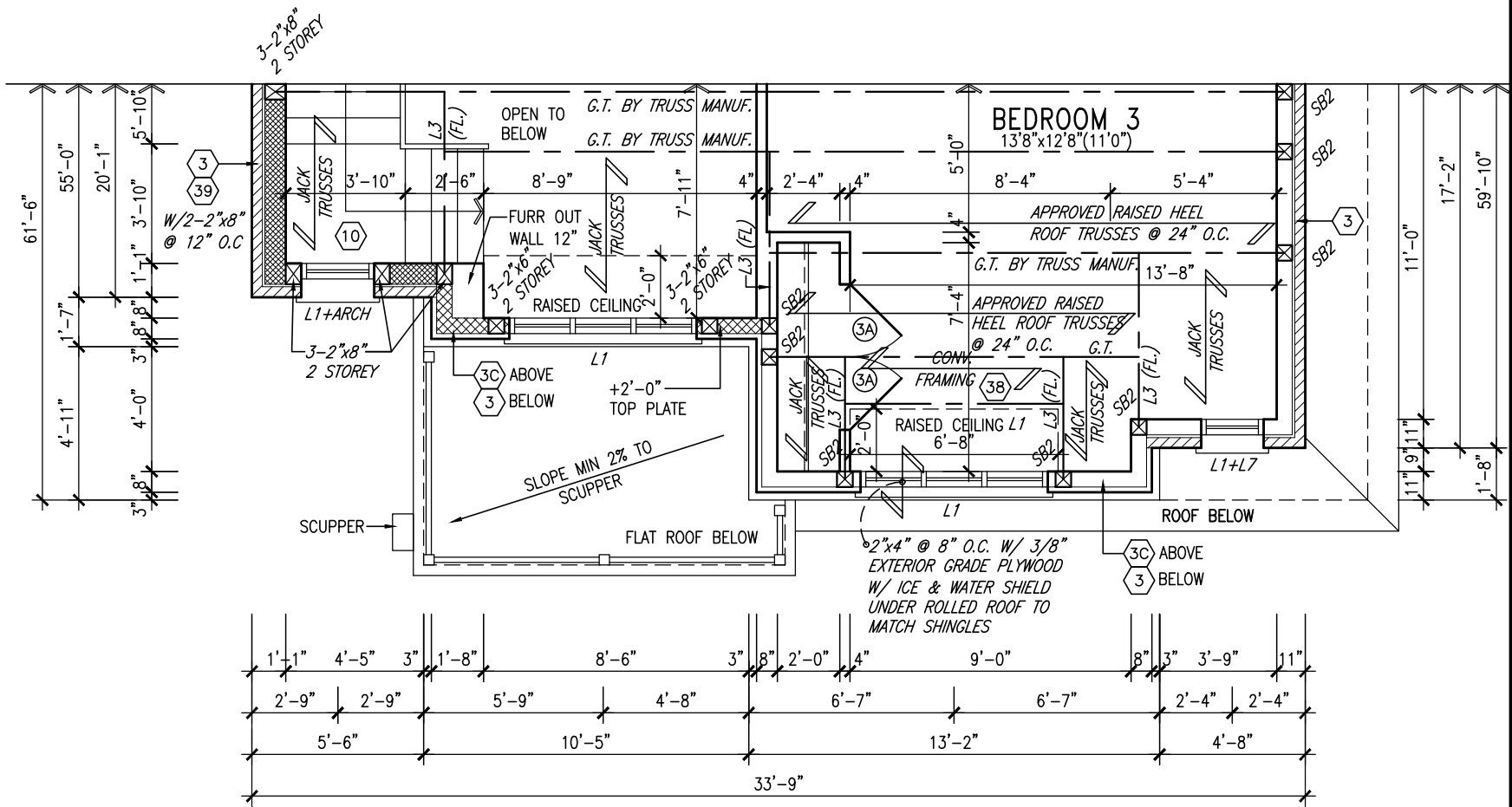
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10' GROUND



PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT

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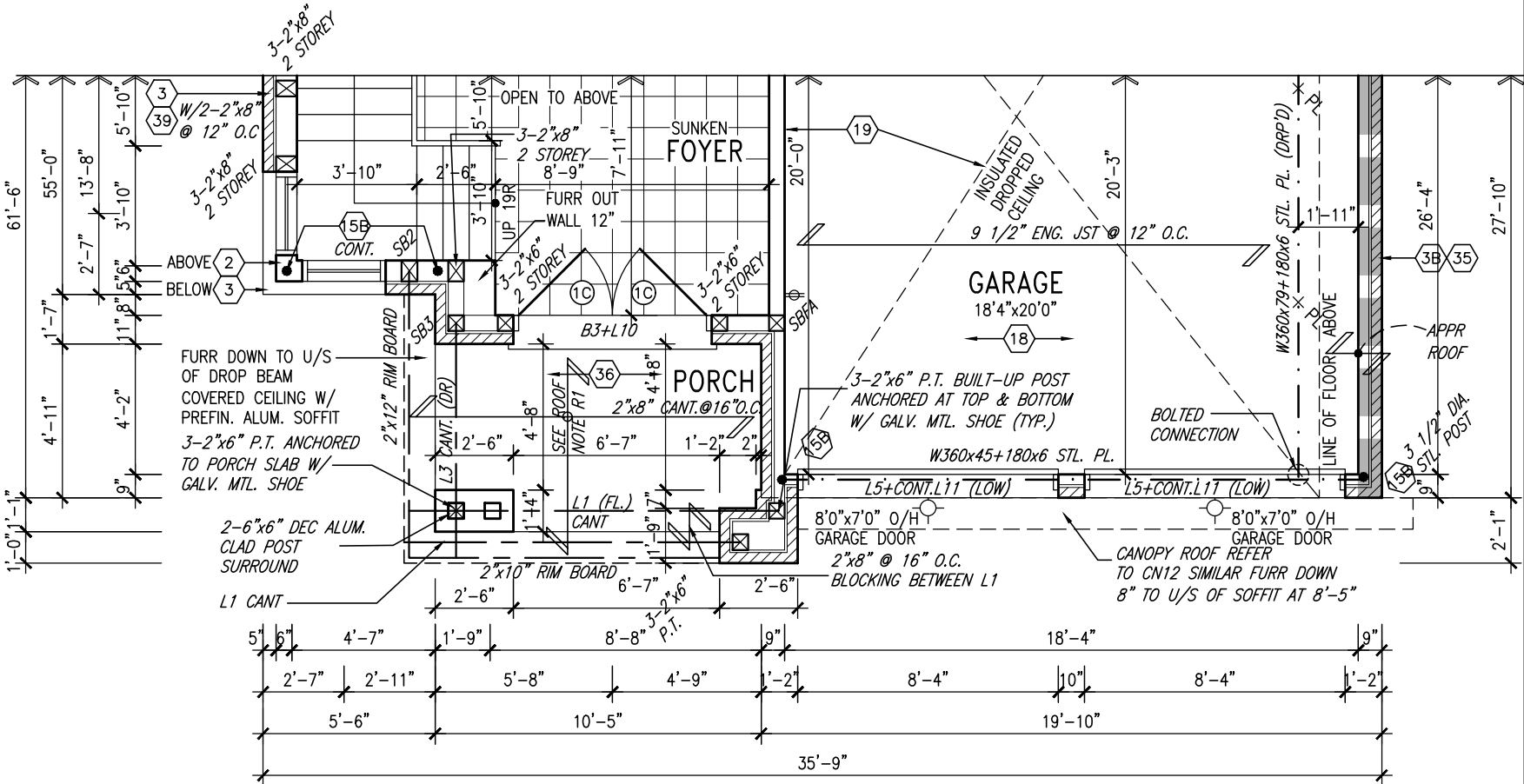
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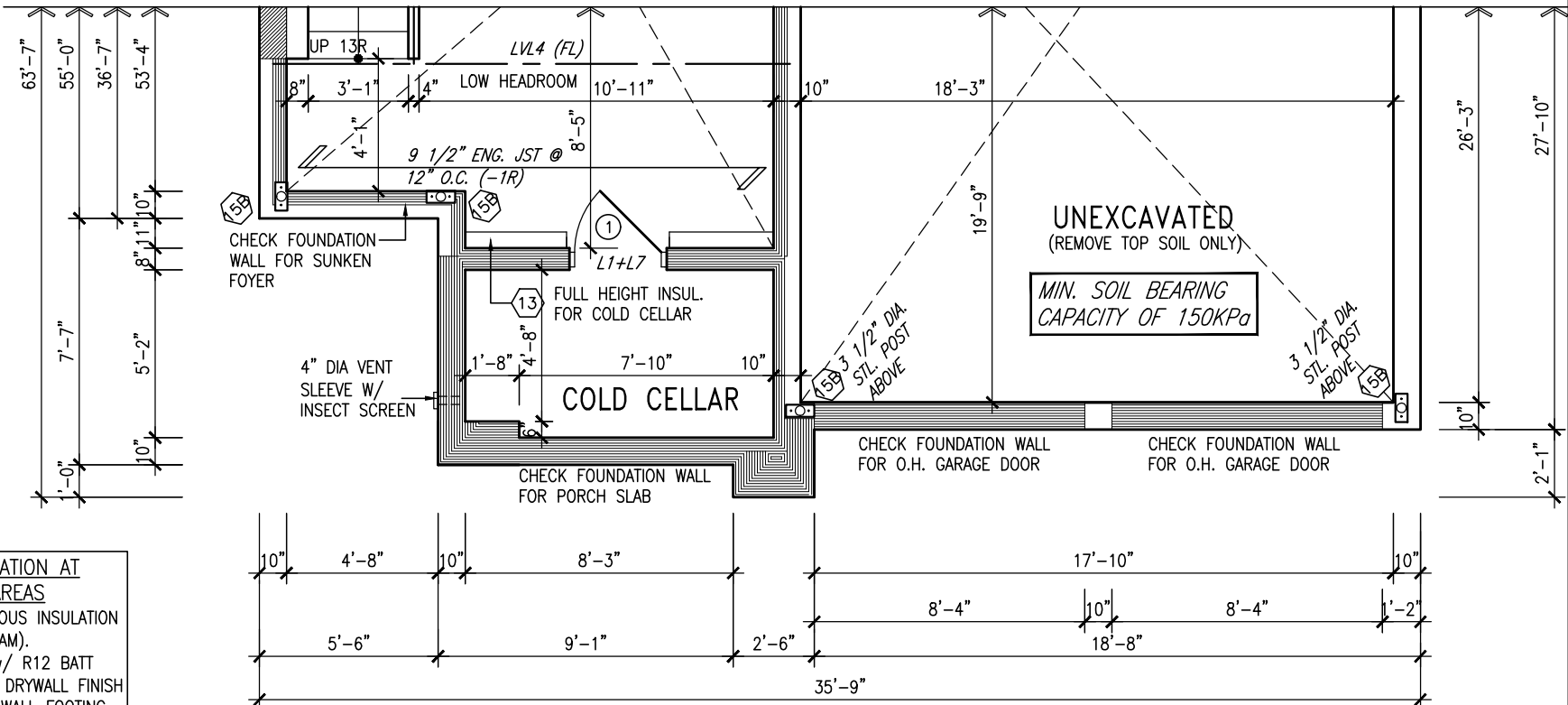
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10' GROUND



PART. GROUND FLOOR PLAN 'C'
(10'-0" GROUND)



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
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date	FEBRUARY,2017	drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-6-10GRND	drawing no.	7
PART. FLOOR PLANS ELEV. 'C'					
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MINIARY

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
o.c. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

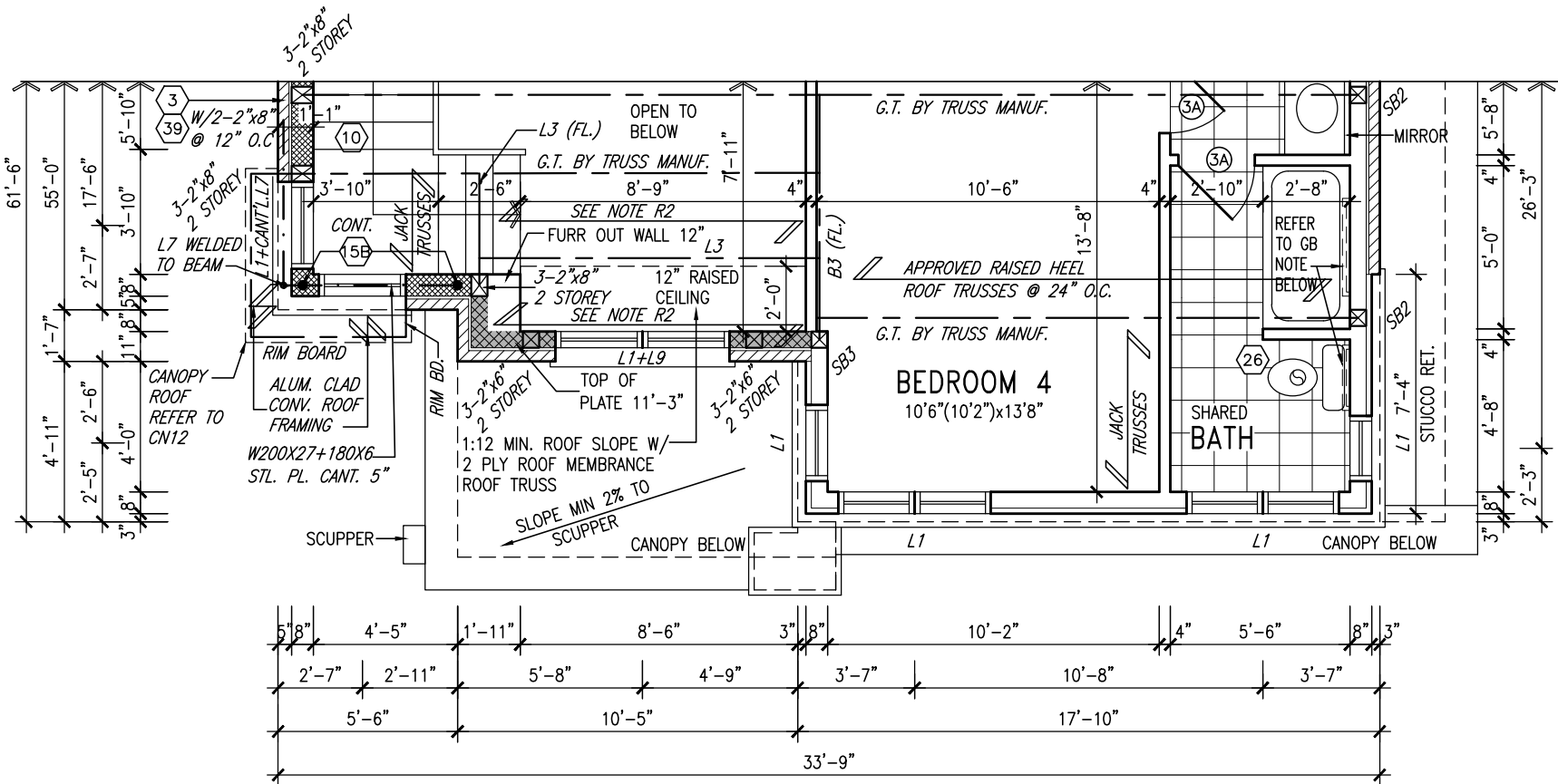
GB-NOTE-2020.dwg

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

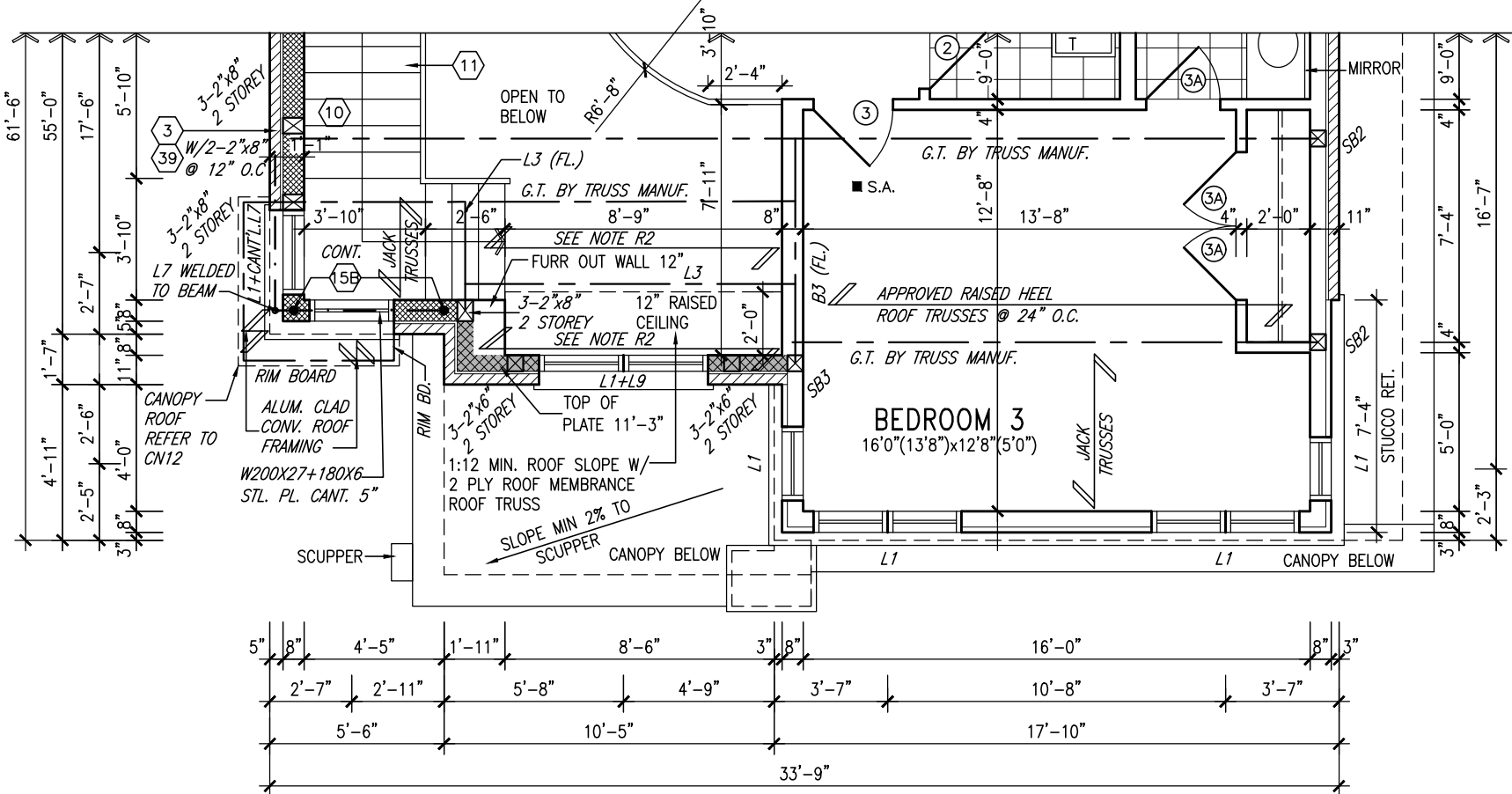
NOTE: ROOF FRAMING
INFORMATION

ALL LAMINATED VENEER
LUMBER (LVL) BEAMS,
BUILT-UP BEAMS, GIRDER
TRUSSES AND METAL HANGER
CONNECTIONS SUPPORTING
ROOF FRAMING TO BE
DESIGNED AND CERTIFIED BY
ROOF TRUSS MANUFACTURER.
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED ON
ARCHITECTURAL DRAWINGS.

10' GROUND



PARTIAL OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'C'
4 BEDROOM + MEDIA LOFT

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5	10' GROUND FLOOR	JUL 07-21 KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21 KL
3	REV EL B ROOF TRUSS	JAN 23-19 RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18 RC
1	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

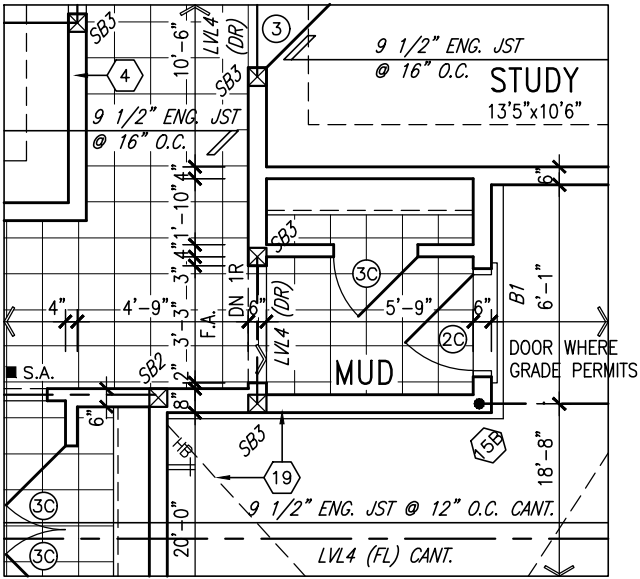
S42-6
RIDEAU 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	8
PART. FLOOR PLANS ELEV. 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:15 AM					

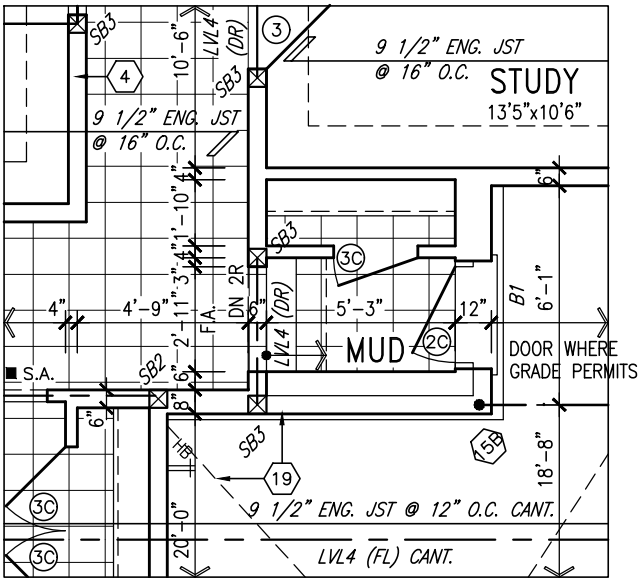
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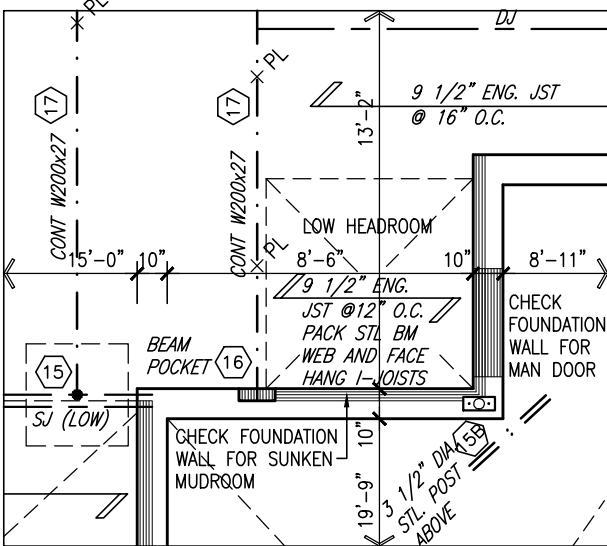
10' GROUND



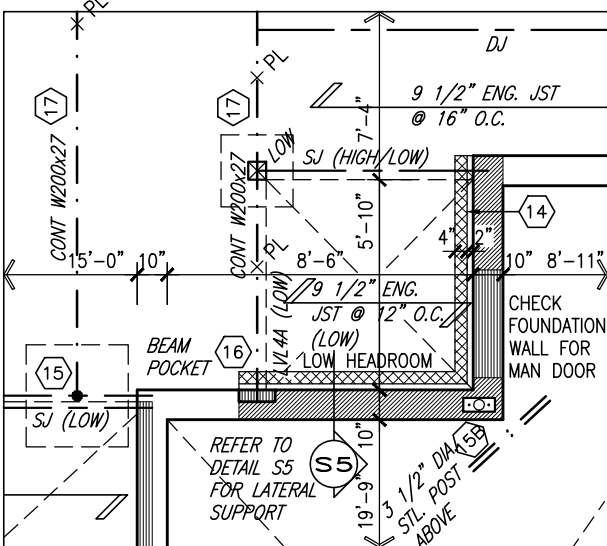
PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

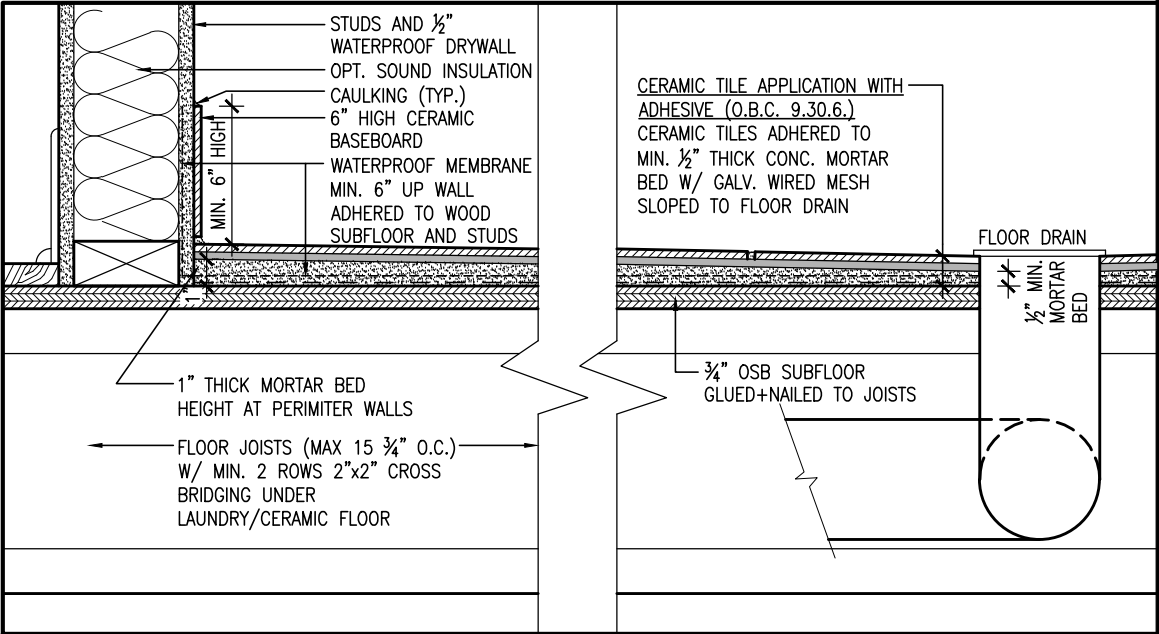
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

AREA CALCULATIONS

	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1586.0 SF	1586.0 SF	1586.0 SF
SECOND FLOOR AREA	1979.8 SF	1980.9 SF	1988.7 SF
SUBTOTAL	3565.7 SF	3566.8 SF	3574.6 SF
DEDUCT ALL OPENINGS	97.6 SF	97.6 SF	97.6 SF
TOTAL NET AREA	3468 SF	3469 SF	3477 SF
	322.2 m2	322.3 m2	323.0 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3468 SF	3469 SF	3477 SF
	322.2 m2	322.3 m2	323.0 m2
COVERAGE W/O PORCH	2051.0 SF	2051.0 SF	2051.0 SF
	190.5 m2	190.5 m2	190.5 m2
COVERAGE W/PORCH	2126.3 SF	2126.3 SF	2126.3 SF
	197.5 m2	197.5 m2	197.5 m2



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
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S42-6
RIDEAU 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	scale	3/16" = 1'-0"	file name	16023-S42-6-10GRND
drawn by	WT	checked by	RC	drawing no.	9
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:15 AM					

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10' GROUND

ELEVATION 'A'
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3881.71 S.F.	538.97 S.F.	13.88 %
TOTAL SQ. M.	360.62 S.M.	50.07 S.M.	13.88 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4016.71 S.F.	563.42 S.F.	14.03 %
TOTAL SQ. M.	373.16 S.M.	52.34 S.M.	14.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOB W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	140.06 S.F.	11.37 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4115.15 S.F.	617.70 S.F.	15.01 %
TOTAL SQ. M.	382.31 S.M.	57.39 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	147.83 S.F.	12.00 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3881.71 S.F.	546.74 S.F.	14.09 %
TOTAL SQ. M.	360.62 S.M.	50.79 S.M.	14.09 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOD W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	147.83 S.F.	12.00 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4016.71 S.F.	571.19 S.F.	14.22 %
TOTAL SQ. M.	373.16 S.M.	53.06 S.M.	14.22 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOB W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	147.83 S.F.	12.00 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4115.15 S.F.	625.47 S.F.	15.20 %
TOTAL SQ. M.	382.31 S.M.	58.11 S.M.	15.20 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4072.18 S.F.	538.97 S.F.	13.24 %
TOTAL SQ. M.	378.31 S.M.	50.07 S.M.	13.24 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.18 S.F.	563.42 S.F.	13.39 %
TOTAL SQ. M.	390.86 S.M.	52.34 S.M.	13.39 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	140.06 S.F.	10.83 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4305.62 S.F.	617.70 S.F.	14.35 %
TOTAL SQ. M.	400.00 S.M.	57.39 S.M.	14.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	147.83 S.F.	11.43 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4072.18 S.F.	546.74 S.F.	13.43 %
TOTAL SQ. M.	378.31 S.M.	50.79 S.M.	13.43 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOD W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	147.83 S.F.	11.43 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4207.18 S.F.	571.19 S.F.	13.58 %
TOTAL SQ. M.	390.86 S.M.	53.06 S.M.	13.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.A WOB W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	147.83 S.F.	11.43 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4305.62 S.F.	625.47 S.F.	14.53 %
TOTAL SQ. M.	400.00 S.M.	58.11 S.M.	14.53 %

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	municipality		project no.
GREEN VALLEY EAST	BRADFORD, ONT.		16023
date	ELEV.'A' SB-12 CHARTS		drawing no.
FEBRUARY,2017			10
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-6-10GRND
RICHARD – H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg – Thu – Jul 29 2021 – 10:15 AM			

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ELEVATION 'B'
SB12 W/ 8'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3902.02 S.F.	559.00 S.F.	14.33 %
TOTAL SQ. M.	362.51 S.M.	51.93 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4037.02 S.F.	583.45 S.F.	14.45 %
TOTAL SQ. M.	375.05 S.M.	54.20 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOB W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	140.06 S.F.	11.32 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4135.46 S.F.	637.73 S.F.	15.42 %
TOTAL SQ. M.	384.19 S.M.	59.25 S.M.	15.42 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	147.83 S.F.	11.95 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3902.02 S.F.	566.77 S.F.	14.53 %
TOTAL SQ. M.	362.51 S.M.	52.65 S.M.	14.53 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOD W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	147.83 S.F.	11.95 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4037.02 S.F.	591.22 S.F.	14.64 %
TOTAL SQ. M.	375.05 S.M.	54.93 S.M.	14.64 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOB W/ 8' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	147.83 S.F.	11.95 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4135.46 S.F.	645.50 S.F.	15.61 %
TOTAL SQ. M.	384.19 S.M.	59.97 S.M.	15.61 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4092.52 S.F.	559.00 S.F.	13.66 %
TOTAL SQ. M.	380.20 S.M.	51.93 S.M.	13.66 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4227.52 S.F.	583.45 S.F.	13.80 %
TOTAL SQ. M.	392.75 S.M.	54.20 S.M.	13.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	140.06 S.F.	10.79 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4325.96 S.F.	637.73 S.F.	14.74 %
TOTAL SQ. M.	401.89 S.M.	59.25 S.M.	14.74 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	147.83 S.F.	11.38 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4092.52 S.F.	566.77 S.F.	13.85 %
TOTAL SQ. M.	380.20 S.M.	52.65 S.M.	13.85 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOD W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	147.83 S.F.	11.38 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4227.52 S.F.	591.22 S.F.	13.99 %
TOTAL SQ. M.	392.75 S.M.	54.93 S.M.	13.99 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.B WOB W/ 9' OPT. SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	147.83 S.F.	11.38 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4325.96 S.F.	645.50 S.F.	14.92 %
TOTAL SQ. M.	401.89 S.M.	59.97 S.M.	14.92 %

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5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST		project no. 16023	
date FEBRUARY,2017		municipality BRADFORD, ONT.	
drawing no. 10A		drawing no. 10A	
drawn by WT		file name 16023-S42-6-10GRND	
checked by RC		scale 3/16" = 1'-0"	
RICHARD ~ H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg ~ Thu - Jul 29 2021 - 10:15 AM			

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10 Ground

ELEVATION 'C'
SB12 W/ 9'
SECOND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	169.94 S.F.	23.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	601.33 S.F.	15.01 %
TOTAL SQ. M.	372.16 S.M.	55.86 S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	194.39 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	625.78 S.F.	15.11 %
TOTAL SQ. M.	384.70 S.M.	58.14 S.M.	15.11 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	248.67 S.F.	26.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	680.06 S.F.	16.04 %
TOTAL SQ. M.	393.84 S.M.	63.18 S.M.	16.04 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	169.94 S.F.	22.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	601.33 S.F.	14.33 %
TOTAL SQ. M.	389.85 S.M.	55.86 S.M.	14.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	877.50 S.F.	194.39 S.F.	22.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	625.78 S.F.	14.45 %
TOTAL SQ. M.	402.40 S.M.	58.14 S.M.	14.45 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	975.94 S.F.	248.67 S.F.	25.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4429.82 S.F.	680.06 S.F.	15.35 %
TOTAL SQ. M.	411.54 S.M.	63.18 S.M.	15.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	708.75 S.F.	177.72 S.F.	25.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4005.88 S.F.	609.11 S.F.	15.21 %
TOTAL SQ. M.	372.16 S.M.	56.59 S.M.	15.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' WOD W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	843.75 S.F.	202.17 S.F.	23.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4140.88 S.F.	633.56 S.F.	15.30 %
TOTAL SQ. M.	384.70 S.M.	58.86 S.M.	15.30 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' WOB W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	942.19 S.F.	256.43 S.F.	27.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4239.32 S.F.	687.82 S.F.	16.22 %
TOTAL SQ. M.	393.84 S.M.	63.90 S.M.	16.22 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	742.50 S.F.	177.72 S.F.	23.94 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4196.38 S.F.	609.11 S.F.	14.52 %
TOTAL SQ. M.	389.85 S.M.	56.59 S.M.	14.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	877.50 S.F.	202.17 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4331.38 S.F.	633.56 S.F.	14.63 %
TOTAL SQ. M.	402.40 S.M.	58.86 S.M.	14.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'C' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	751.00 S.F.	158.83 S.F.	21.15 %
LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
REAR	975.94 S.F.	256.43 S.F.	26.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4429.82 S.F.	687.82 S.F.	15.53 %
TOTAL SQ. M.	411.54 S.M.	63.90 S.M.	15.53 %

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5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST		project no. 16023	
date FEBRUARY, 2017		municipality BRADFORD, ONT.	
drawing no. 10B		drawing no. 10B	
drawn by WT		file name 16023-S42-6-10GRND	
checked by RC		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg Thu - Jul 29 2021 - 10:16 AM			

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

EL. 'A'
W/ 9'
BSMT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'A' WOB W/9' BSMT+8' OPT.2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	708.78 S.F.	144.80 S.F.	20.43 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1232.09 S.F.	147.83 S.F.	12.00 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4165.77 S.F.	625.47 S.F.	15.01 %
TOTAL SQ. M.	387.01S.M.	58.11S.M.	15.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'A' WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	742.50 S.F.	144.80 S.F.	19.50 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1293.59 S.F.	147.83 S.F.	11.43 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4356.24 S.F.	625.47 S.F.	14.36 %
TOTAL SQ. M.	404.70 S.M.	58.11 S.M.	14.36 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'B' WOB W/9' BSMT+8' OPT.2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.17 S.F.	164.83 S.F.	22.76 %
LEFT SIDE	1232.09 S.F.	84.17 S.F.	6.83 %
RIGHT SIDE	1237.01 S.F.	147.83 S.F.	11.95 %
REAR	992.81 S.F.	248.67 S.F.	25.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4186.08 S.F.	645.50 S.F.	15.42 %
TOTAL SQ. M.	388.90 S.M.	59.97 S.M.	15.42 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6'B' WOB W/ 9' BSMT+OPT. 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	757.92 S.F.	164.83 S.F.	21.75 %
LEFT SIDE	1293.59 S.F.	84.17 S.F.	6.51 %
RIGHT SIDE	1298.51 S.F.	147.83 S.F.	11.38 %
REAR	1026.56 S.F.	248.67 S.F.	24.22 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4376.58 S.F.	645.50 S.F.	14.75 %
TOTAL SQ. M.	406.59 S.M.	59.97 S.M.	14.75 %

EL. 'B' W/
9' BSMT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-6 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	717.25 S.F.	158.83 S.F.	22.14 %
LEFT SIDE	1289.94 S.F.	122.50 S.F.	9.50 %
RIGHT SIDE	1289.94 S.F.	150.06 S.F.	11.63 %
REAR	992.81 S.F.	256.43 S.F.	25.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4289.94 S.F.	687.82 S.F.	16.03 %
TOTAL SQ. M.	398.55 S.M.	63.90 S.M.	16.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-6 EL.C WOB W/ 9' BSMT+2ND REAR UPG	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	751.00 S.F.	158.83 S.F.	21.15 %
	LEFT SIDE	1351.44 S.F.	122.50 S.F.	9.06 %
	RIGHT SIDE	1351.44 S.F.	150.06 S.F.	11.10 %
	REAR	1026.56 S.F.	256.43 S.F.	24.98 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
	TOTAL SQ. FT.	4480.44 S.F.	687.82 S.F.	15.35 %
TOTAL SQ. M.	416.24 S.M.	63.90 S.M.	15.35 %	

EL. 'C' W/
9' BSMT.

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BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.	
date FEBRUARY,2017		drawing no. 16023	
description SB12 - OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND		drawing no. 10C	
drawn by WT		file name 16023-S42-6-10GRND	
checked by RC		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM			

ROOF 'A'

10⁹ GROUND

FRONT ELEVATION 'A'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON

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All draw

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specifications related documents and data

All draw

PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FOR REAR UPGRADE ONLY



WALL AREA	1155.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.85 SQ. FT.
OPENING PROVIDED	52.63 SQ. FT.(GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST

date FEBRUARY, 2017
checked by RC
drawn by WT

scale 3/16" = 1'-0"

file name 16023-S42-6-10GRND
drawing no. 12

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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

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Diagram showing four points on a horizontal line, each labeled $1' - 0''$.

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

1' - 0''

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL	.
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL	.
3	REV EL B ROOF TRUSS	JAN 23-19	RC	.
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	.
1	ISSUED FOR CLIENT REVIEW	.	.	.
no.	description	date	by	



RIGHT SIDE ELEVATION 'A'

PRELIMINARY

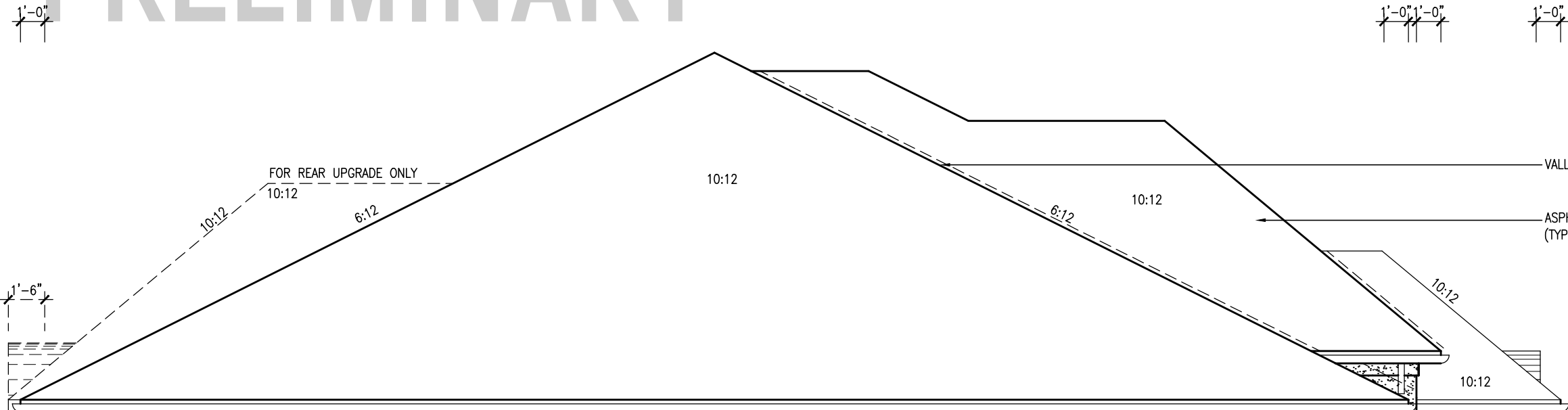
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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VALLEY FLASHING

ASPHALT SHINGLES
(TYPICAL)

4'-0"
RETURN

FRIEZE BD. AND DBL.
ROWLOCK FOR UPGRADE
ONLY

FACE BRICK (TYP.)

BRICK SOLDIER
COURSE (TYP.)

4'-0"
RETURN

TOP OF PLATE

TOP OF WINDOW

8' SECOND @ 6'-10"

9' SECOND @ 7'-6"

STD. 8'-1" SECOND FLR.

OPT. 9'-1" SECOND FLR.

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

1'-6"

7'-4"

10'-11"

DBL. PRECAST CONC.
BAND

FIN GROUND FLOOR

FIN GRADE

STD. 8'-5" BASEMENT

OPT. 9'-11" BASEMENT

POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

TOP OF SLAB

WALL AREA	1155.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.85 SQ. FT.
OPENING PROVIDED	52.63 SQ. FT.(GLASS AREA ONLY)

VINYL CLAD STRUCT. STL.
BASEMENT WINDOW (TYPICAL)

30"x16"

10' GROUND

LEFT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date FEBRUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

LEFT SIDE ELEVATION 'B'
file name 16023-S42-6-10GRND
drawing no. 16
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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

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1' - 0'' 1' - 0''

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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project no.
16023

BRADFORD, ONT.	municipality
----------------	--------------

project name
GREEN

TA REGION

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

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Drawings are not to be scored.

2025

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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1000

ASPHALT SHINGLES
(TYPICAL)

 10^{-11} to 10^{-4} 10⁹ GROUND

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RWL

WALL AREA	1272.89	SQ. FT.
LIMITING DISTANCE	1.2	M (7%)
OPENING ALLOWED	89.10	SQ. FT.
OPENING PROVIDED	STD. 2ND 73.64	SQ. FT. (GLASS AREA ONLY)
	OPT. 2ND 78.70	SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'B'

Diagram showing vertical dimensions for a building section. The diagram is divided into two main parts by a horizontal line labeled "FIN SECOND FLOOR".

Top Section (Above FIN SECOND FLOOR):

- TOP OF PLATE
- TOP OF WINDOW
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- FIN SECOND FLOOR

Bottom Section (Below FIN SECOND FLOOR):

- TOP OF TRANSOM
- 1'-6"
- TOP OF WINDOW
- 7'-4"
- FIN GROUND FLOOR
- FIN GRADE
- 5'-0"
- RED CONC. FOUNDATION WALLS FOOTINGS TYP.
- U/S OF FTG. MIN.
- TOP OF SLAB

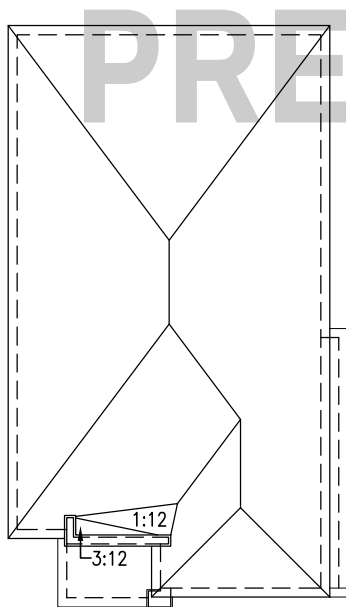
Right Side Dimensions (Floor-to-Floor Heights):

- 10'-11"
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT

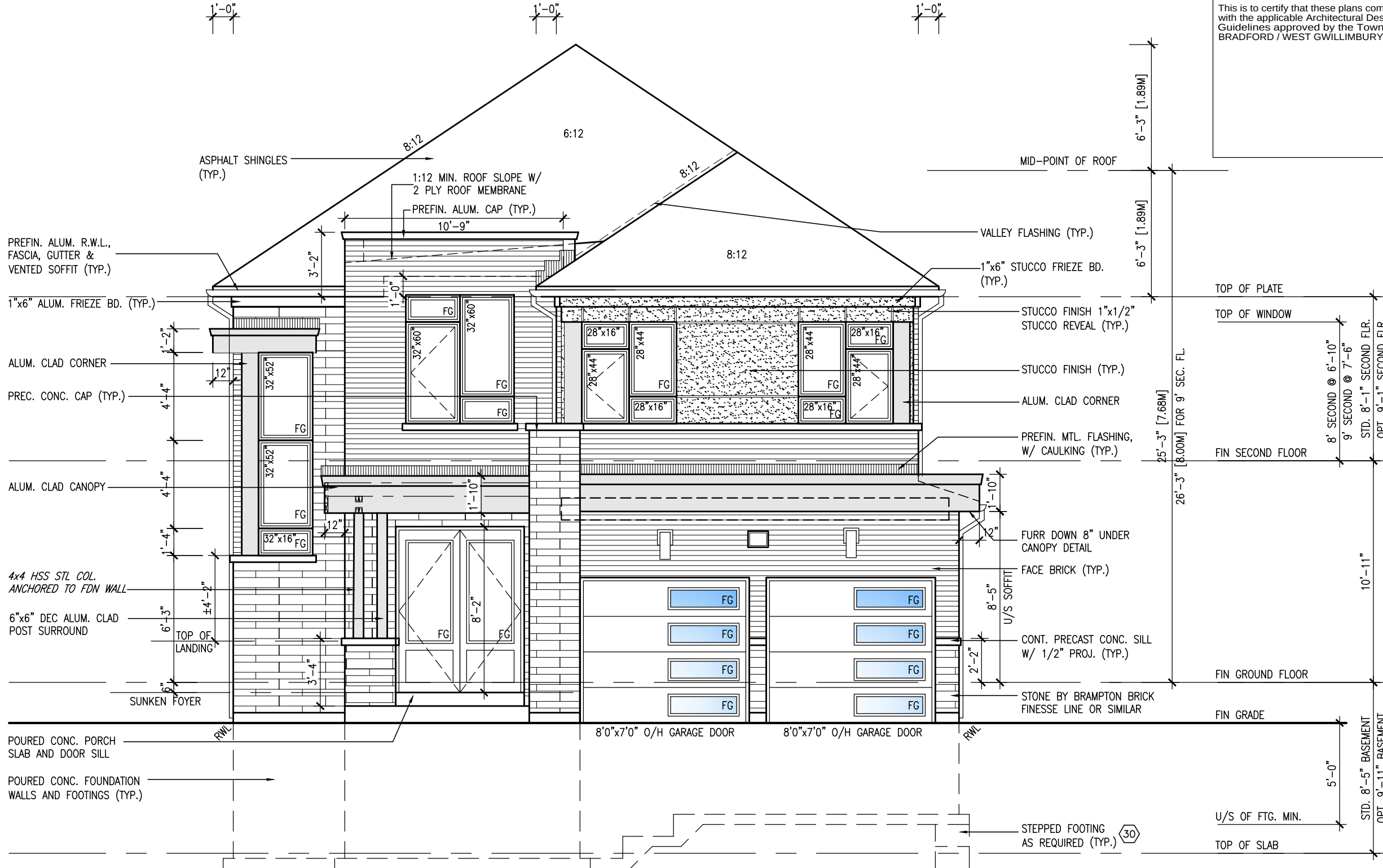
POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYPE

U/S OF FTG. MIN

TOP OF SLAB



ROOF 'C'



FRONT ELEVATION 'C'

10' GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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project no.		project name		municipality		project no.		drawing no.	
16023		BAYVIEW WELLINGTON		BRADFORD, ONT.		16023		18	
RIDEAU 6		GREEN VALLEY EAST		BRADFORD, ONT.		16023-S42-6-10GRND		18	
date		checked by		scale		file name		drawing no.	
FEBRUARY, 2017		RC		3/16" = 1'-0"		16023-S42-6-10GRND		18	
drawn by		checked by		scale		file name		drawing no.	
WT		RC		3/16" = 1'-0"		16023-S42-6-10GRND		18	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:16 AM	
no.		description		date		no.		description	
9		10' GROUND FLOOR		JUL 07-21		9		10' GROUND FLOOR	
8		4. ADDED OPT. 9' BASEMENT		JUL 07-21		8		4. ADDED OPT. 9' BASEMENT	
7		3. REV EL B ROOF TRUSS		JUL 07-21		7		3. REV EL B ROOF TRUSS	
6		2. REVISED AS PER ENG'S COMMENTS		JAN 23-19		6		2. REVISED AS PER ENG'S COMMENTS	
5		1. ISSUED FOR CLIENT REVIEW		JAN 25-18		5		1. ISSUED FOR CLIENT REVIEW	
4						4			
3						3			
2						2			
1						1			

PRELIMINARY

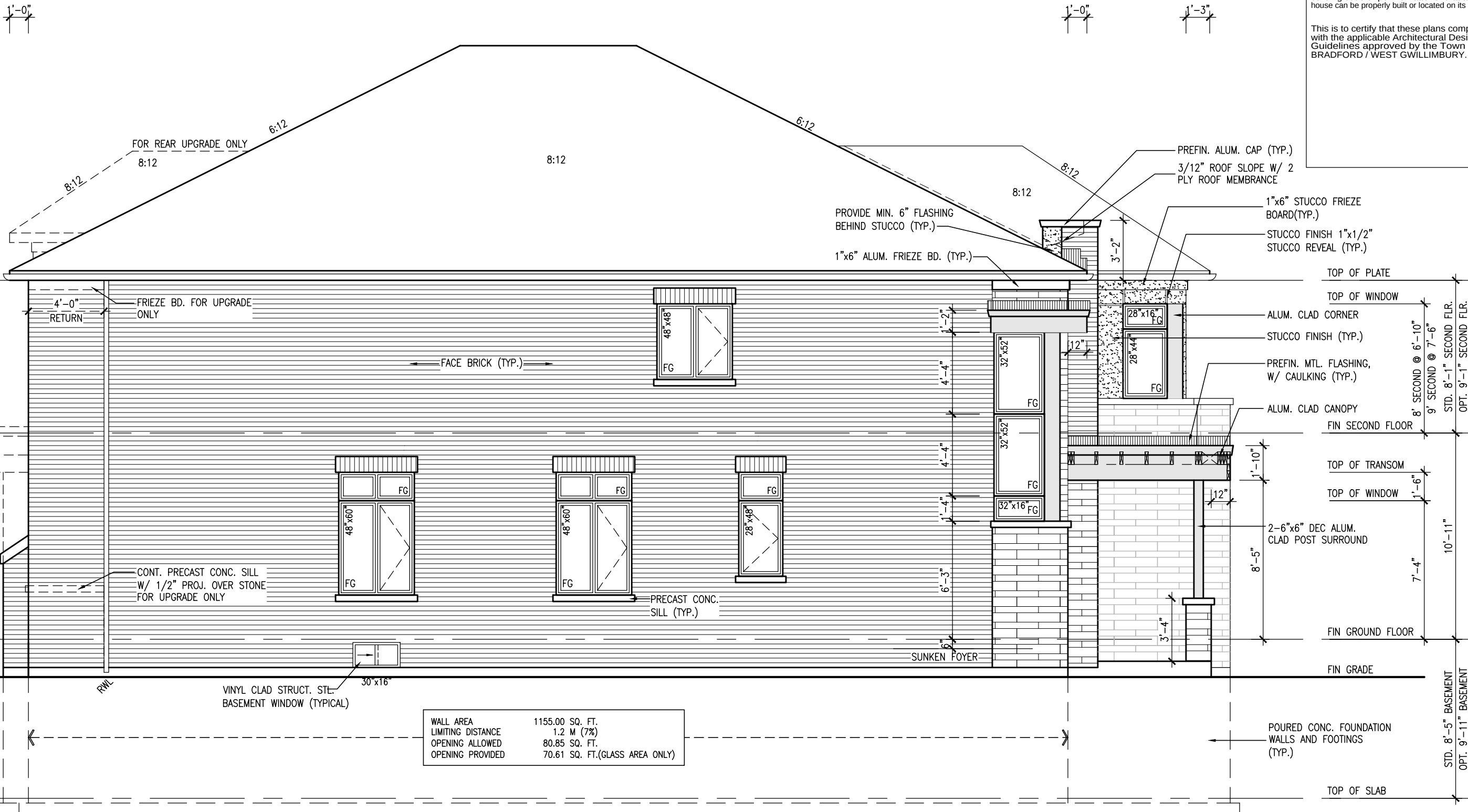
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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WALL AREA	1155.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.85 SQ. FT.
OPENING PROVIDED	70.61 SQ. FT.(GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'C'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date FEBRUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

drawing no. 19
file name 16023-S42-6-10GRND
date FEBRUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

VA3
DESIGN

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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

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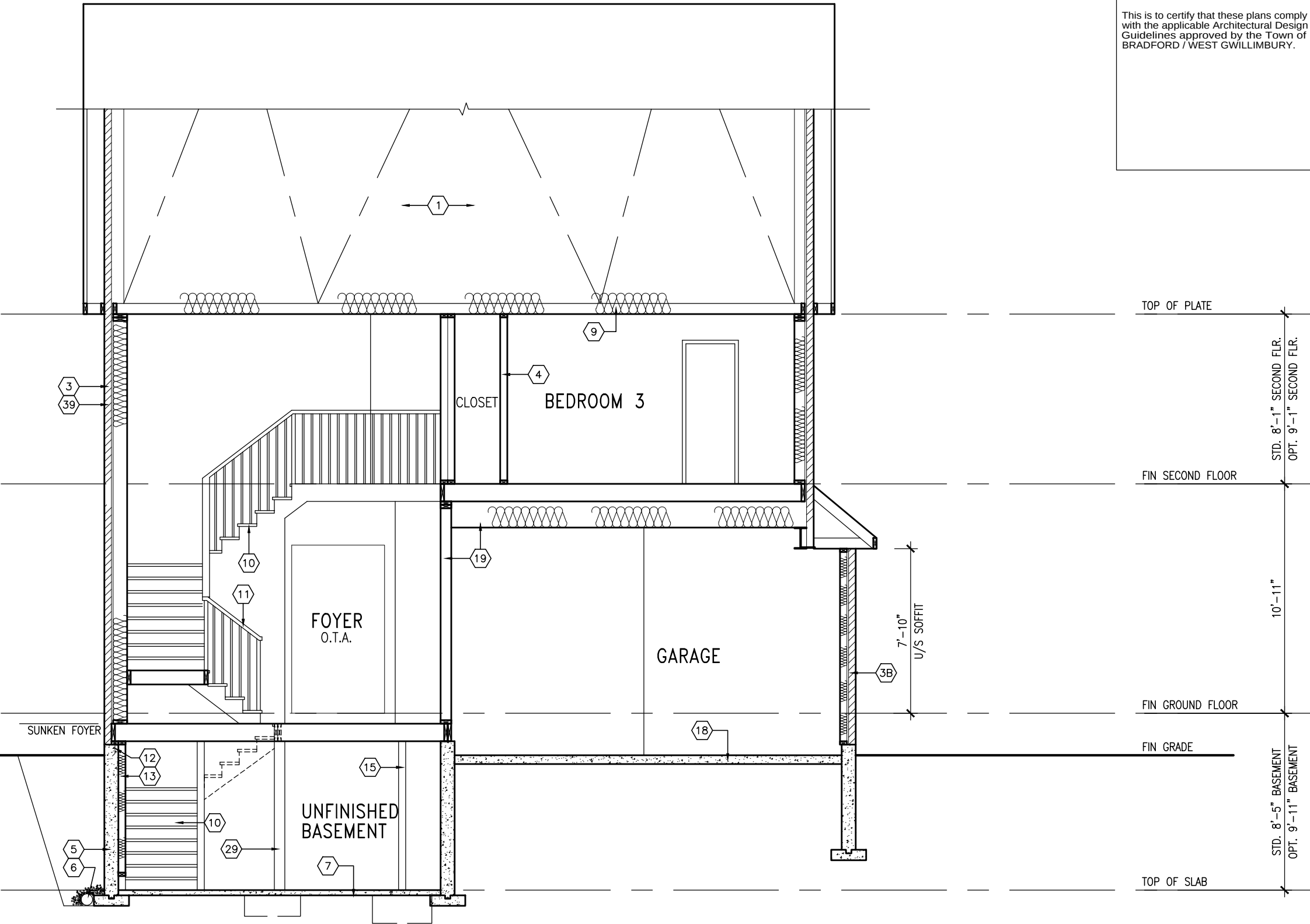
no.	description	date	by
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PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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CROSS SECTION A-A

10' GROUND

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no.	description	date	by
9	.	.	.
8	.	.	.
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6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.

project name	BAYVIEW WELLINGTON	project no.	S42-6
project address	GREEN VALLEY EAST	project no.	RIDEAU 6
date	FEBRUARY, 2017	project no.	16023
drawn by	WT	project no.	16023
checked by	RC	project no.	16023
scale	3/16" = 1'-0"	project no.	16023
file name	16023-S42-6-10GRND	project no.	16023
drawing no.	21	project no.	16023

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MINARY

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NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

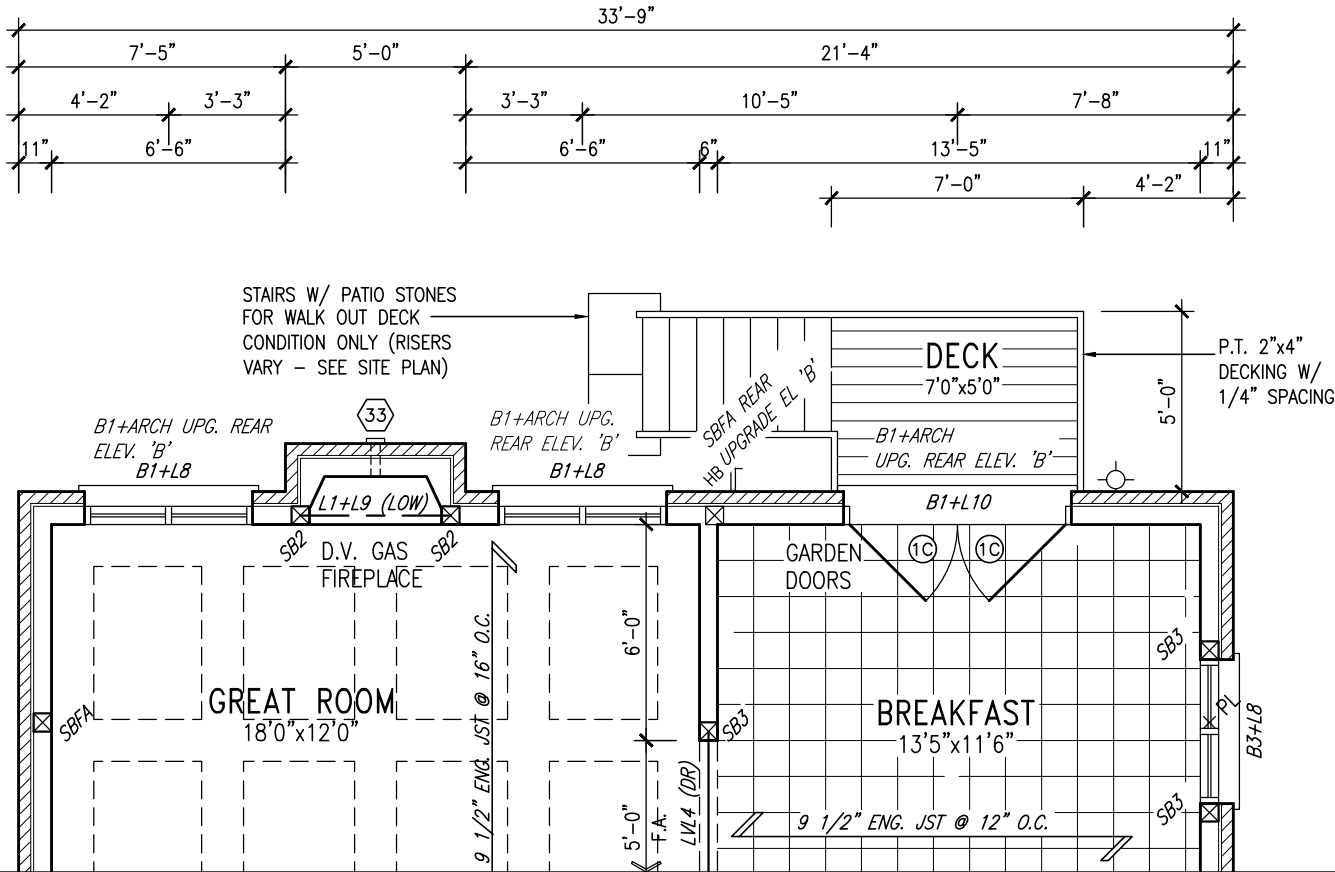
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

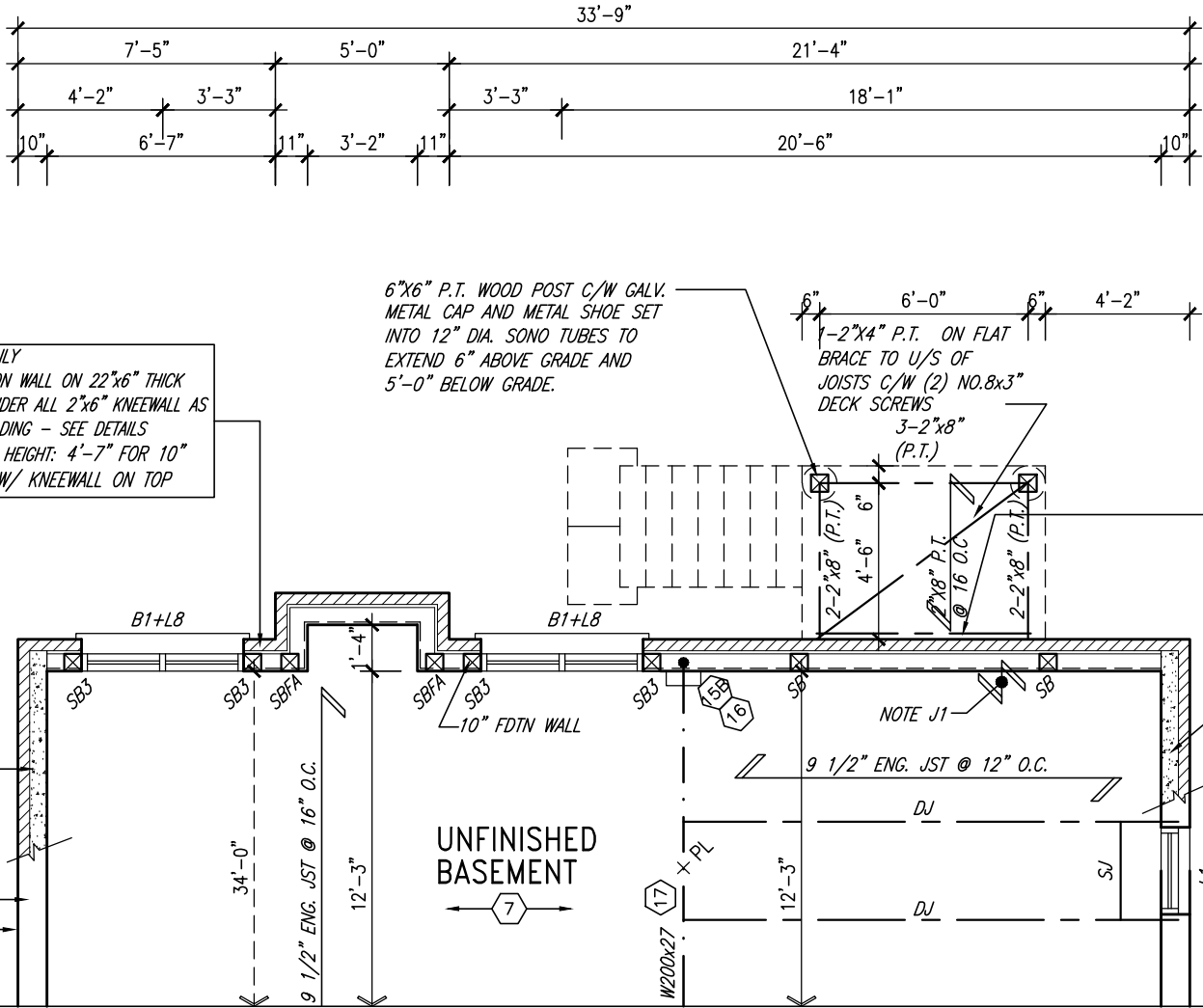
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN 'A','B','C'
WOD 9R AND MORE COND.

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	10' GROUND FLOOR	JUL 07-21 KL
4.	ADDED OPT. 9' BASEMENT	JUL 07-21 KL
3.	REV EL B ROOF TRUSS	JAN 23-19 RC
2.	REVISED AS PER ENG'S COMEMNTS	JAN 25-18 RC
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no.	description	date by

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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY,2017 drawn by WT checked by RC scale 3/16" = 1'-0"

PART. FLOOR PLANS- W.O.D. COND. file name 16023-S42-6-10GRND

drawing no. 22

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MINIARY

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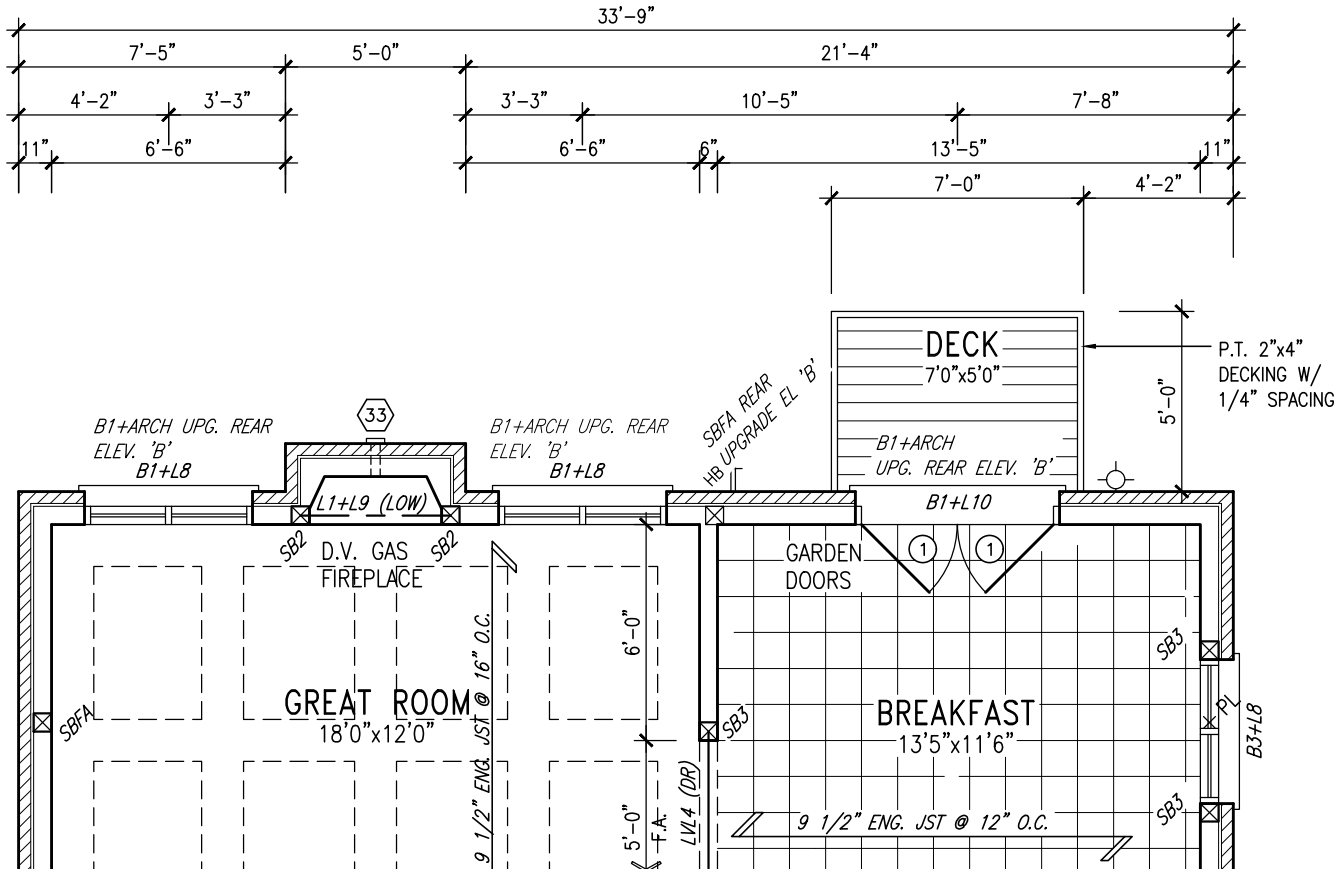
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

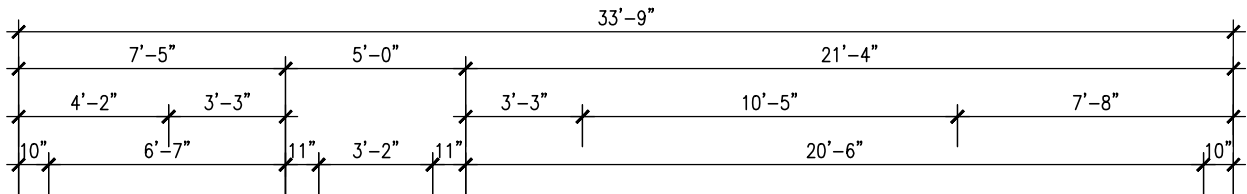
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN 'A','B','C' WOB CONDITION



REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK CONC. FTG UNDER ALL 2"x6" KNEEWALL AS REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10" FNDN. WALL W/ KNEEWALL ON TOP

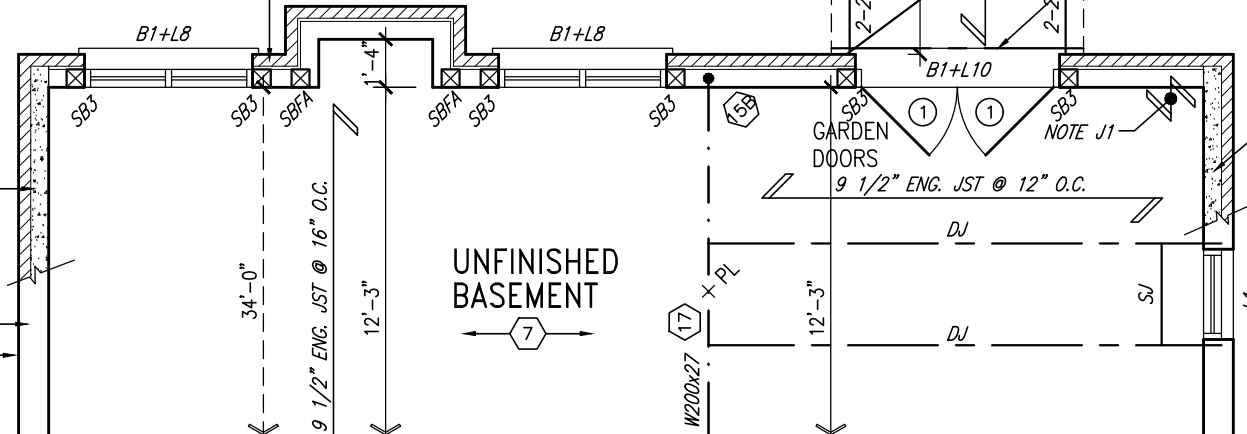
6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO DETAIL 1/S2

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" CONC. FTG

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" CONC. FTG



PARTIAL BASEMENT PLAN 'A','B','C' WOB CONDITION

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMEMNTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY,2017 drawn by WT checked by RC scale 3/16" = 1'-0"

PART. FLOOR PLAN - W.O.B. COND.

file name 16023-S42-6-10GRND

drawing no.

24

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PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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REAR ELEVATION 'A', 'B', 'C' W/ W.O.B. CONDITION

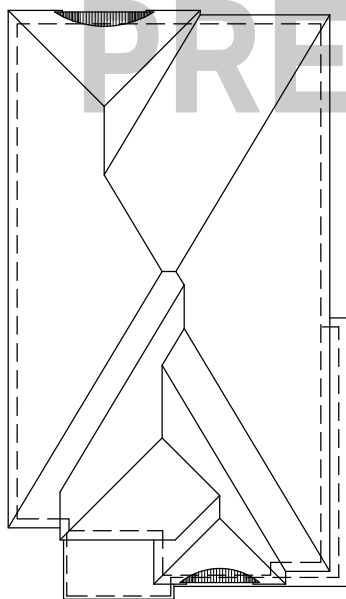
project no.		project name		municipality		project no.	
16023		BAYVIEW WELLINGTON		BRADFORD, ONT.		16023	
drawing no.		date		checked by		drawing no.	
25		FEBRUARY, 2017		RC		25	
file name		scale		drawn by		file name	
16023-S42-6-10GRND		3/16" = 1'-0"		WT		16023-S42-6-10GRND	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-6-10GRND.dwg		Thu - Jul 29 2021 - 10:17 AM					
no.		description		date		no.	
9		10' GROUND FLOOR		JUL 07-21 KL		9	
8		ADDED OPT. 9' BASEMENT		JUL 07-21 KL		8	
7		REV EL B ROOF TRUSS		JAN 23-19 RC		7	
6		REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC		6	
5		ISSUED FOR CLIENT REVIEW				5	
4						4	
3						3	
2						2	
1						1	

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

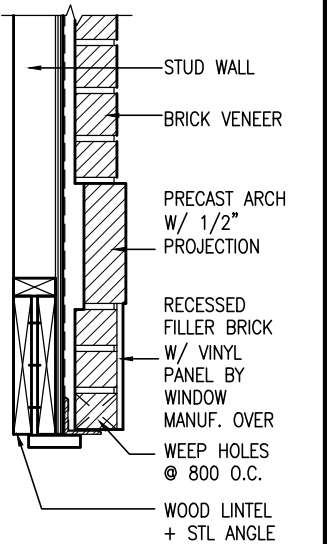
REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 16023 drawing no. 27
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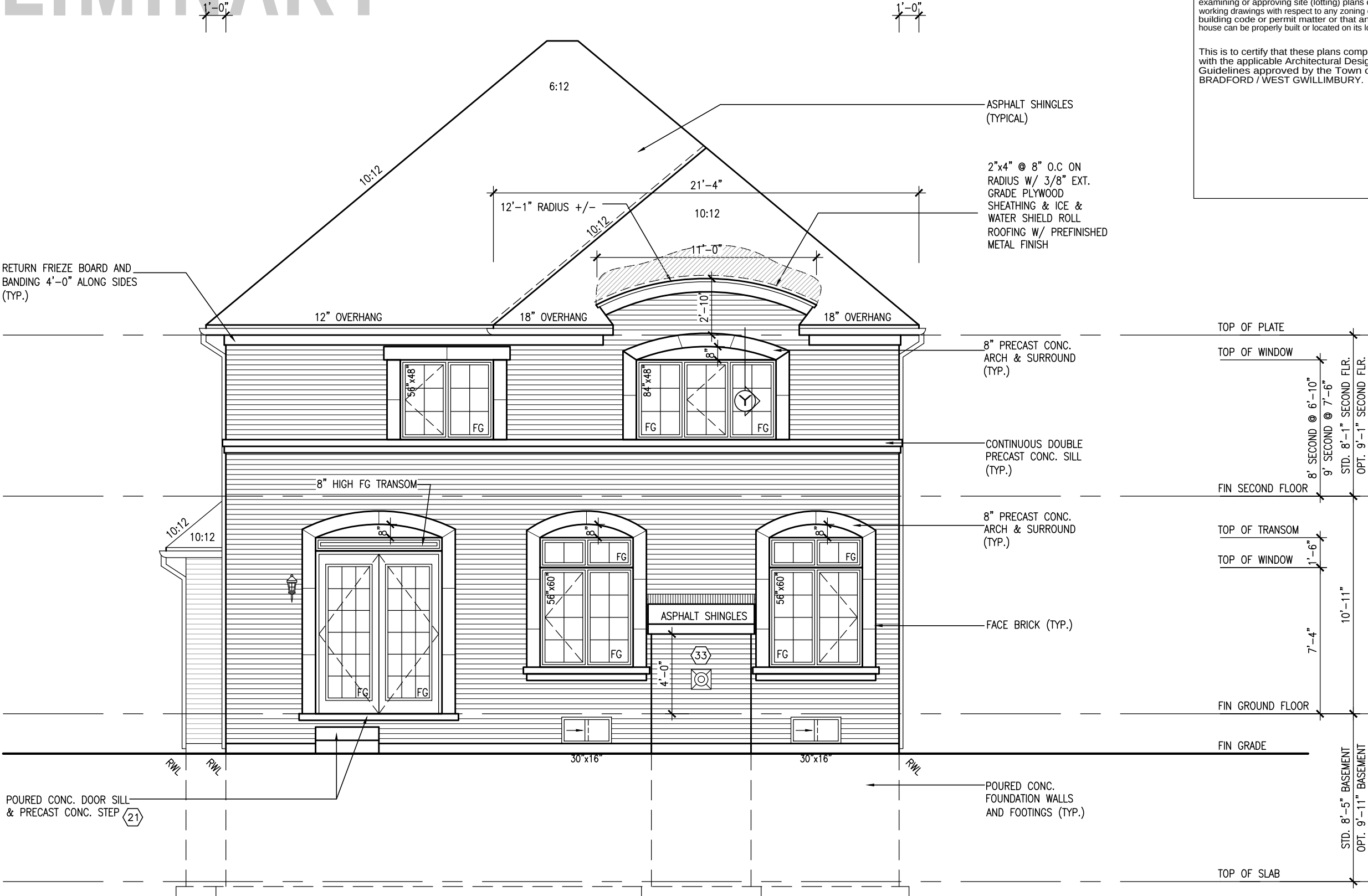
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ROOF 'B'
(UPGRADE REAR)



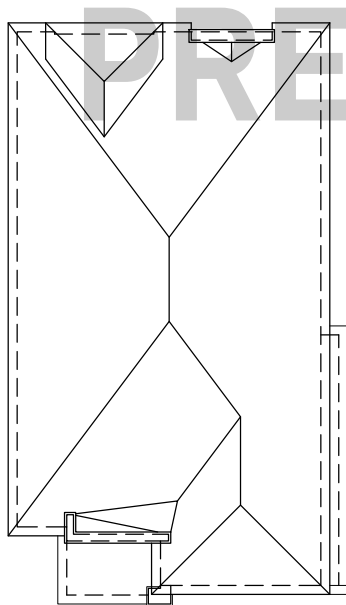
Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



UPGRADED REAR ELEVATION 'B'

10⁹ GROUND

[illegible]



ROOF 'C'
(UPGRADE REAR)

RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
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UPGRADED REAR ELEVATION 'C'

10' GROUND



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no.	description	date	by
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7			
6			
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4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
28

file name
16023-S42-6-10GRND

date
FEBRUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

date
FEBRUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

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10' GROUND

NOTE:
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NOTE: SPACE ALL FLOOR
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NOTE: ALL LVL'S SUPPORTING
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MANUFACTURER.

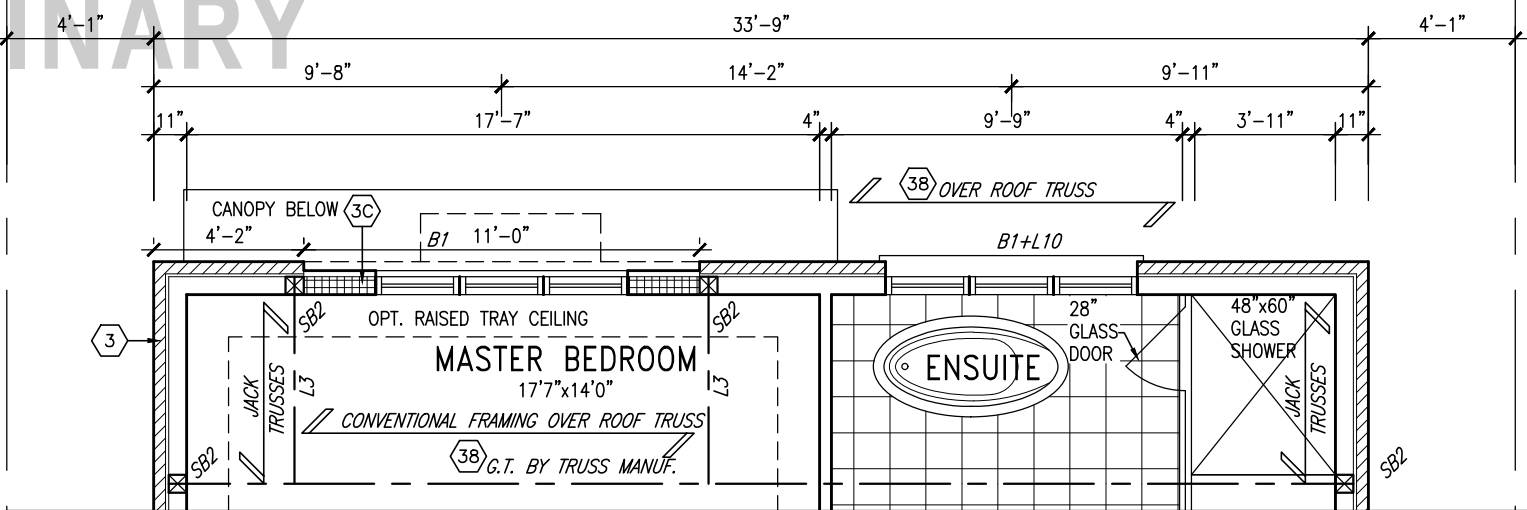
NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ROOF FRAMING
INFORMATION
ALL LAMINATED VENEER
LUMBER (LVL) BEAMS,
BUILT-UP BEAMS, GIRDER
TRUSSES AND METAL HANGER
CONNECTIONS SUPPORTING
ROOF FRAMING TO BE
DESIGNED AND CERTIFIED BY
ROOF TRUSS MANUFACTURER.
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED ON
ARCHITECTURAL DRAWINGS.

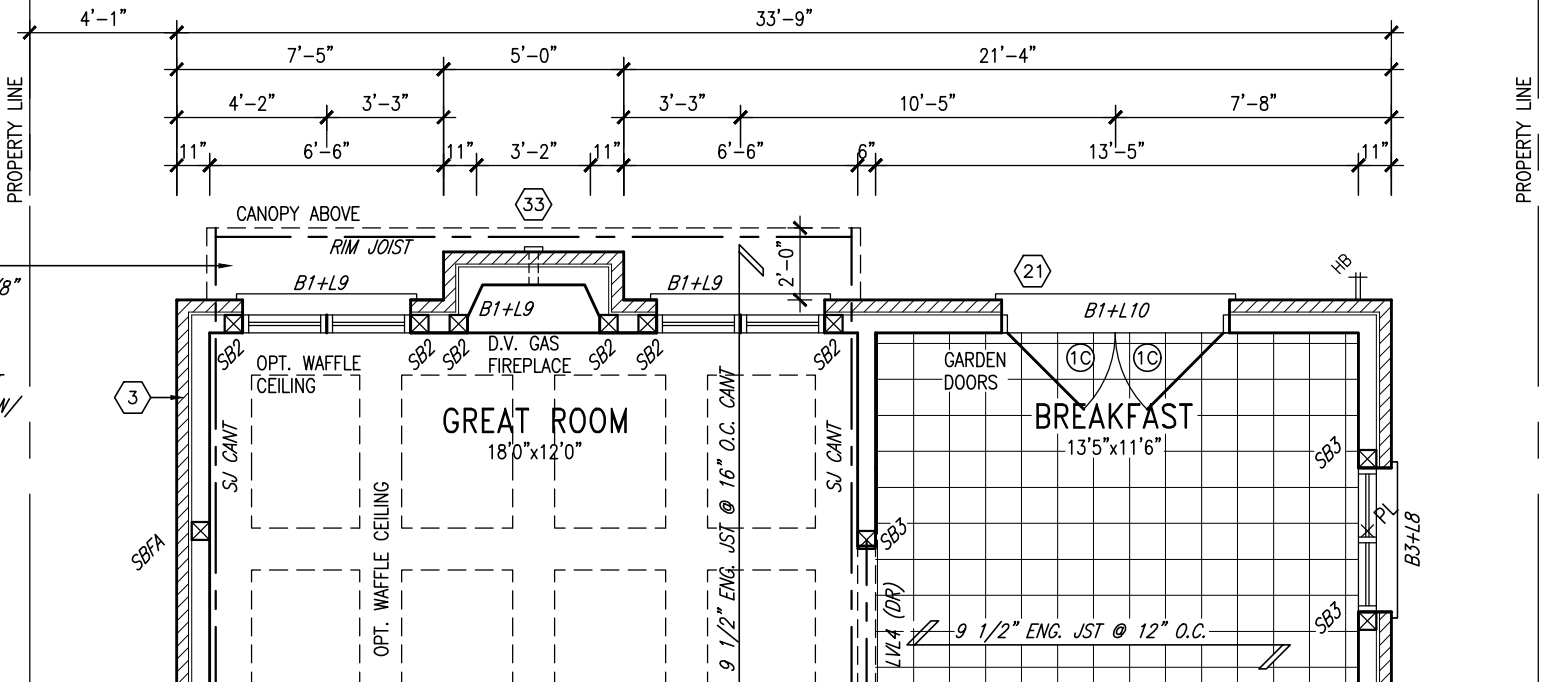
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

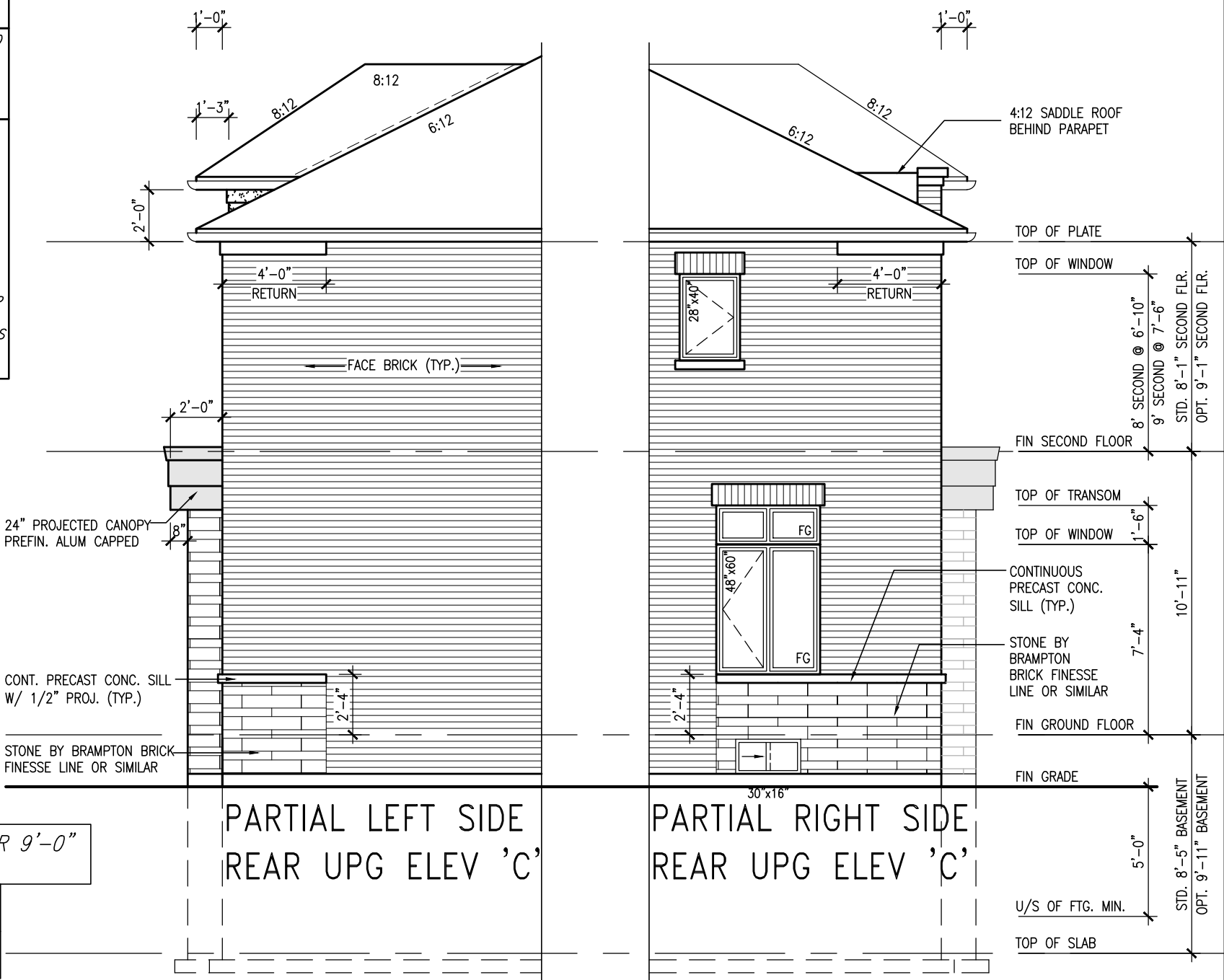
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



PARTIAL STD & OPT SECOND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL GROUND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL LEFT SIDE
REAR UPG ELEV 'C'

PARTIAL RIGHT SIDE
REAR UPG ELEV 'C'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-6-10GRND	drawing no.	30
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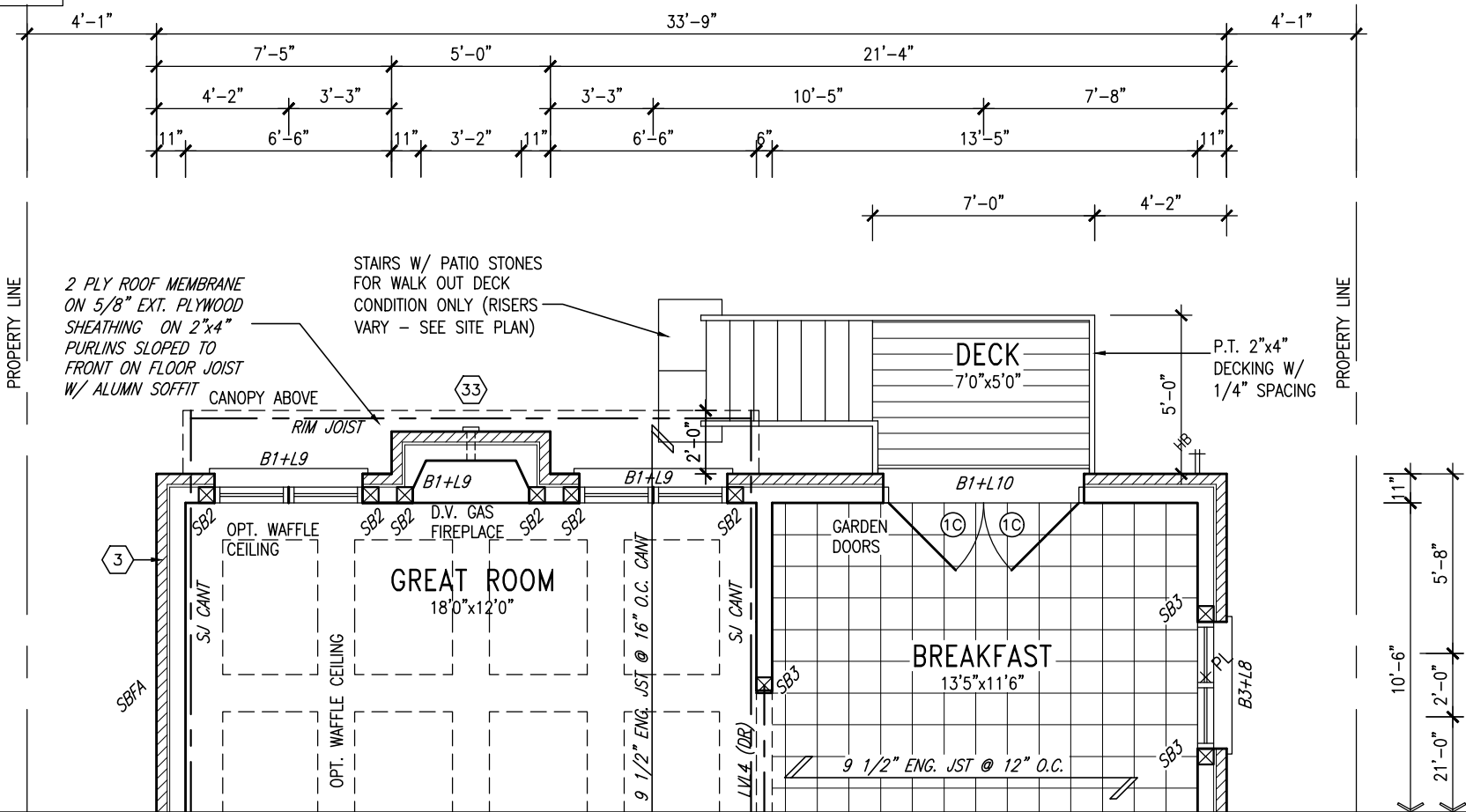
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- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

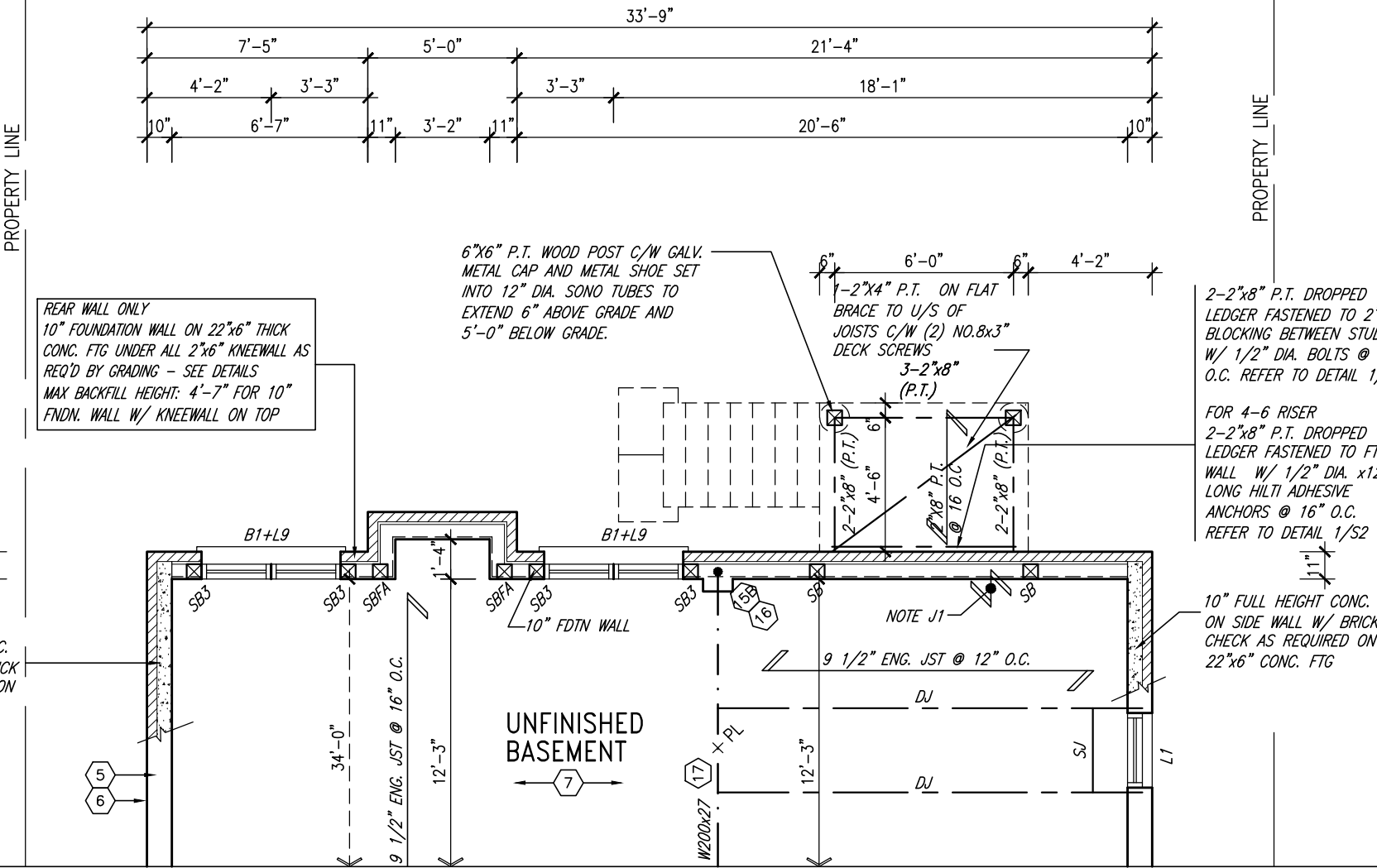
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10' GROUND



PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	10' GROUND FLOOR	JUL 07-21 KL
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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY, 2017 PART. FLOOR PLANS- ELEV C REAR UPG W.O.D. COND.

drawing no.

drawn by WT checked by RC scale 3/16" = 1'-0"

file name 16023-S42-6-10GRND

31

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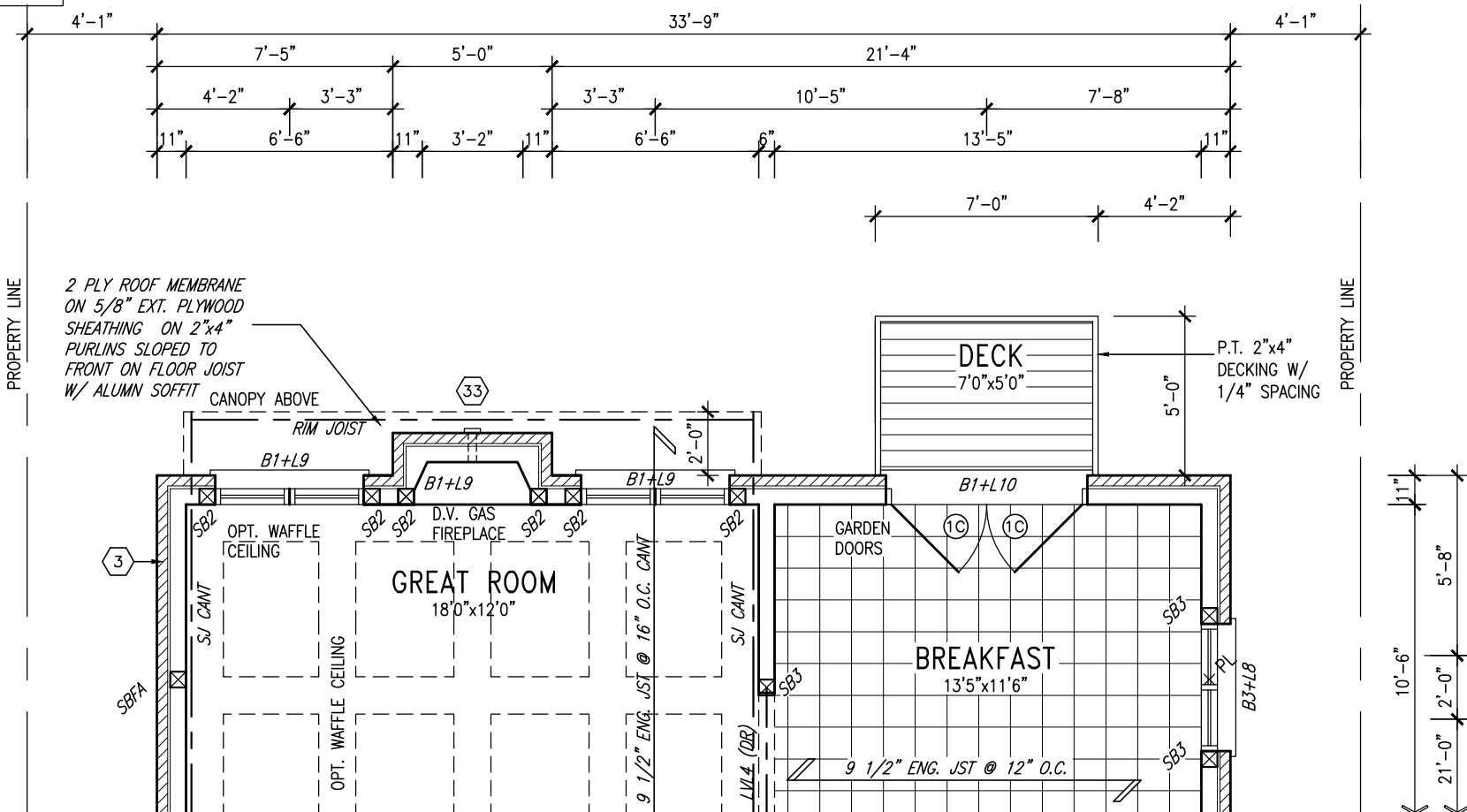
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

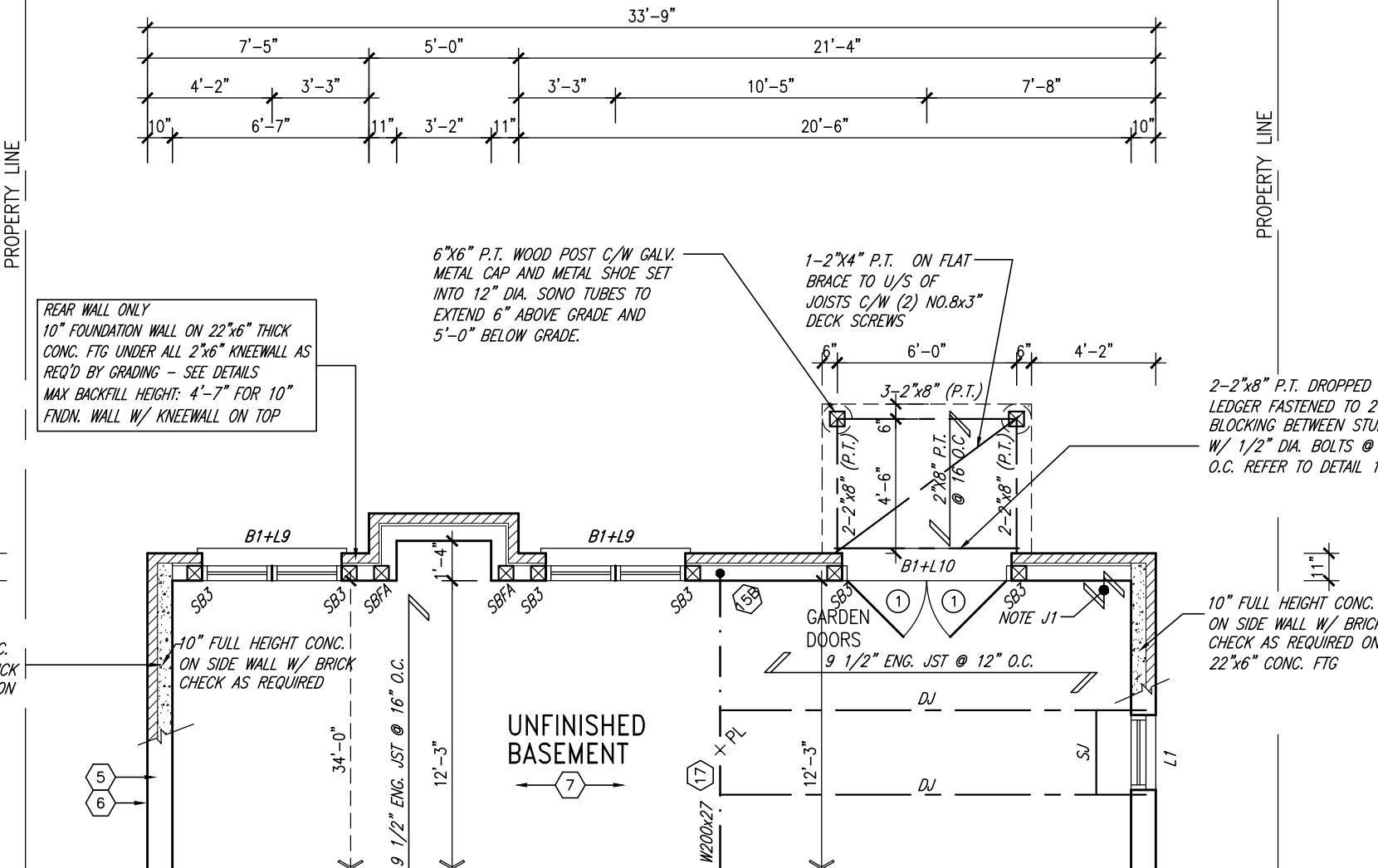
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR UPG WOB COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR UPG WOB COND.

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	10' GROUND FLOOR	JUL 07-21 KL
4.	ADDED OPT. 9' BASEMENT	JUL 07-21 KL
3.	REV EL B ROOF TRUSS	JAN 23-19 RC
2.	REVISED AS PER ENG'S COMEMNTS	JAN 25-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY,2017 PART. FLOOR PLANS- ELEV C REAR UPG W.O.D. COND.

drawn by WT checked by RC scale 3/16" = 1'-0"

file name 16023-S42-6-10GRND

drawing no.

32

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:17 AM

PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

project no.	16023
drawing no.	35
project name	BAYVIEW WELLINGTON
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
file name	16023-S42-6-10GRND
project name	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
file name	16023-S42-6-10GRND

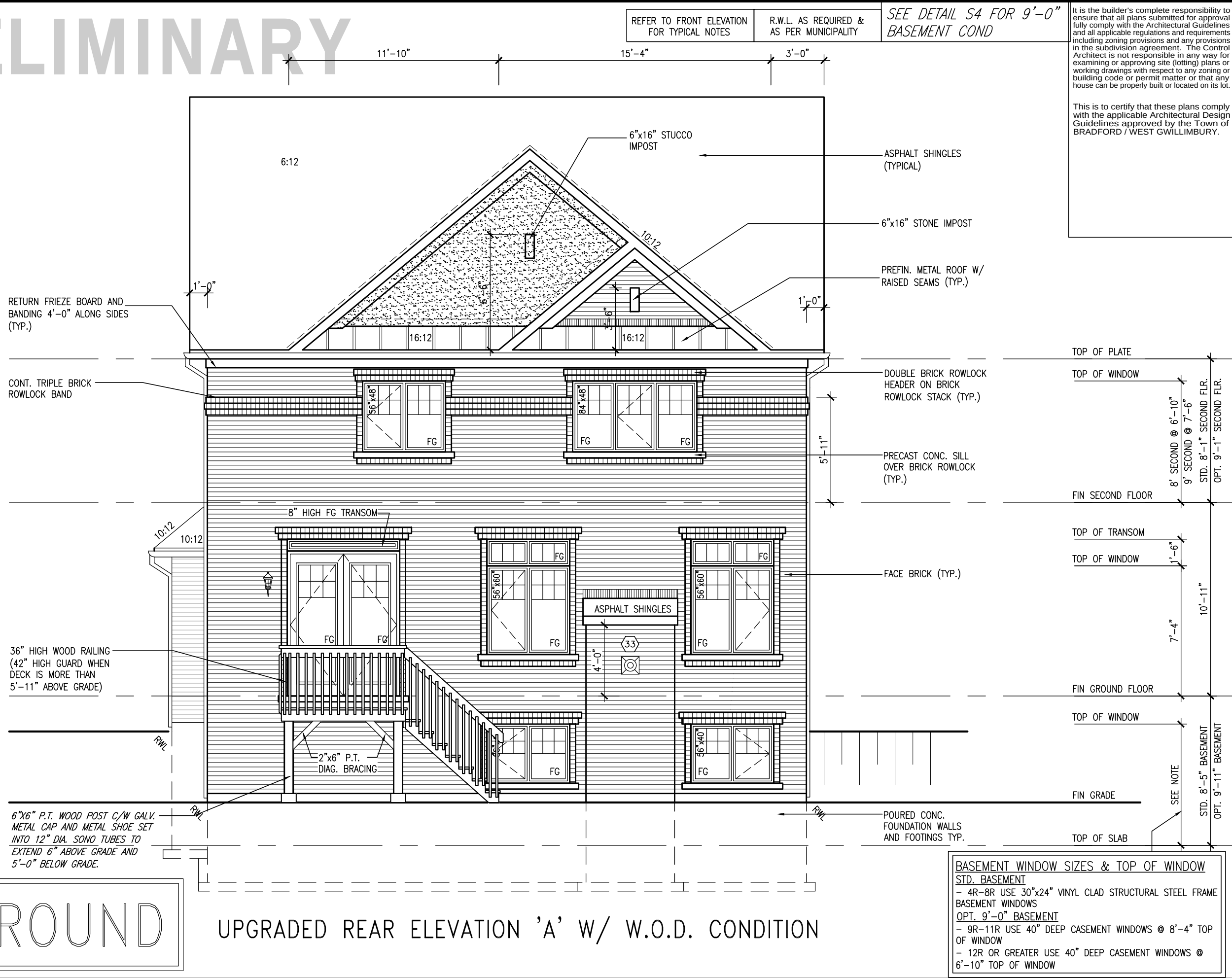
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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

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PRELIMINARY



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PRELIMINARY

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FOR TYPICAL NOTES

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AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST

date FEBRUARY, 2017
checked by RC
drawn by WT

drawing no. 34
file name 16023-S42-6-10GRND
scale 3/16" = 1'-0"

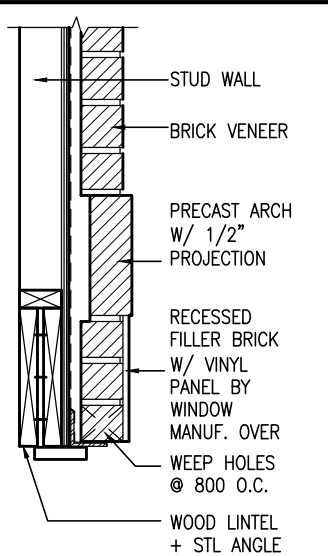
16023-S42-6-10GRND.dwg - Thu - Jul 29 2021 - 10:18 AM
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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	JUL 07-21	KL
4	ADDED OPT. 9' BASEMENT	JUL 07-21	KL
3	REV EL B ROOF TRUSS	JAN 23-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.

RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.



ASPHALT SHINGLES
(TYPICAL)

8" PRECAST CONC.
ARCH & SURROUND
(TYP.)

CONTINUOUS DOUBLE
PRECAST CONC. SILL
(TYP.)

8" PRECAST CONC.
ARCH & SURROUND
(TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW

UPGRADED REAR ELEVATION 'B' W/ W.O.D. CONDITION

10' GROUND

PRELIMINARY

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023

date FEBRUARY, 2017 UPGRADED REAR ELEVATION 'A' - W.O.B. COND. drawing no. 70

drawn by	checked by	scale	file name
WWT	RC	3/16" = 1'-0"	16023-S42-6-10GRND

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3	REV EL B ROOF TRUSS	JAN 23-19	RC
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1	ISSUED FOR CLIENT REVIEW	.	.
	description	date	by

10⁹ GROUND

UPGRADED REAR ELEVATION 'A' W/ W.O.B. CONDITION

—POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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UPGRADED REAR ELEVATION 'C' W/ W.O.B. CONDITION

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10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REV EL B ROOF TRUSS

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REV EL B ROOF TRUSS

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

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no.

description

date

by

project name

GREEN VALLEY EAST

project no.

16023

municipality

BRADFORD, ONT.

date

FEBRUARY, 2017

scale

3/16" = 1'-0"

checked by

RC

drawn by

WT

file name

16023-S42-6-10GRND

drawing no.

38

project no.

16023

project name

BAYVIEW WELLINGTON

project no.

16023

municipality

BRADFORD, ONT.

date

FEBRUARY, 2017

scale

3/16" = 1'-0"

checked by

RC

drawn by

WT

file name

16023-S42-6-10GRND

drawing no.

38

project no.

16023

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