

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.












NOTE J1: PROVIDE SOLID
@ 24" O.C. WHERE FLOOR JOIST
PARALLEL TO FOUNDATION WALL

AREA CHART ON PAGE 8

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date FEBRUARY,2017		drawing no. BASEMENT PLAN ELEV. 'A'			
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
				file name 16023-S42-5-10GRND	
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10' GROUND

62'-7" (66'-11" MAX.)

54'-7"

33'-5"

7'-0"

6'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

4'-1" (4'-1" MIN.)

8'-8"

12'-6"

52'-11"

54'-7"

52'-11"

54'-7"

52'-11"

54'-7"

52'-11"

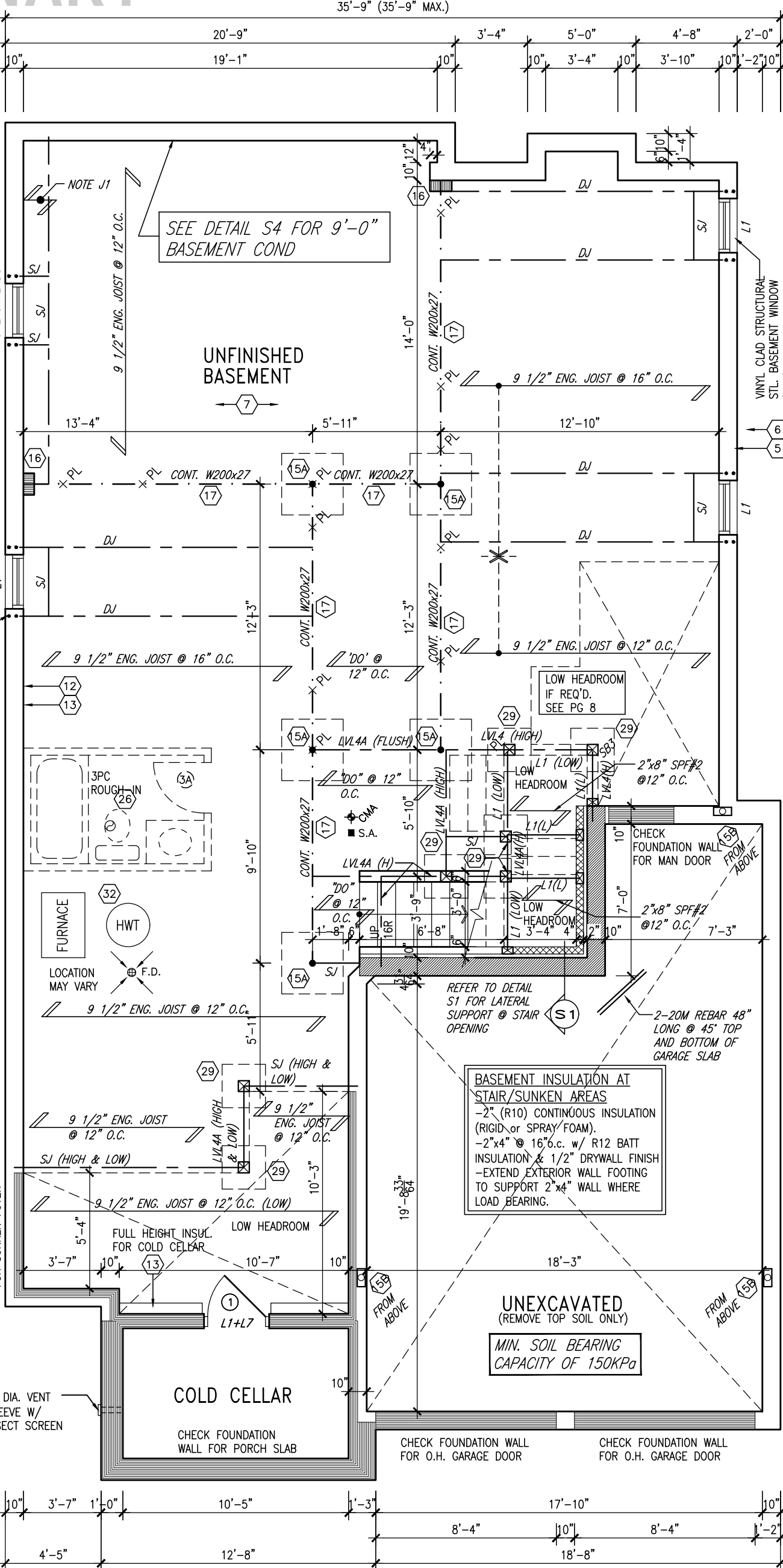
54'-7"

52'-11"

54'-7"

52'-11"

54'-7"



BASEMENT PLAN 'A'
(9'-0" BASEMENT)

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 20-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
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RIDEAU 5

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

project no. 16023

date FEBRUARY, 2017 BASEMENT PLAN ELEV. 'A'

drawing no.

drawn by WT checked by RC scale 3/16" = 1'-0" file name 16023-S42-5-10GRND

1A

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10' GROUND



NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES FIRE RATED WALL ASSEMBLY

9.	.	.	.
8.	.	.	.
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S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

GROUND FLOOR PLAN ELEV. 'A'

drawing no.

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S42-5-10GRND

2

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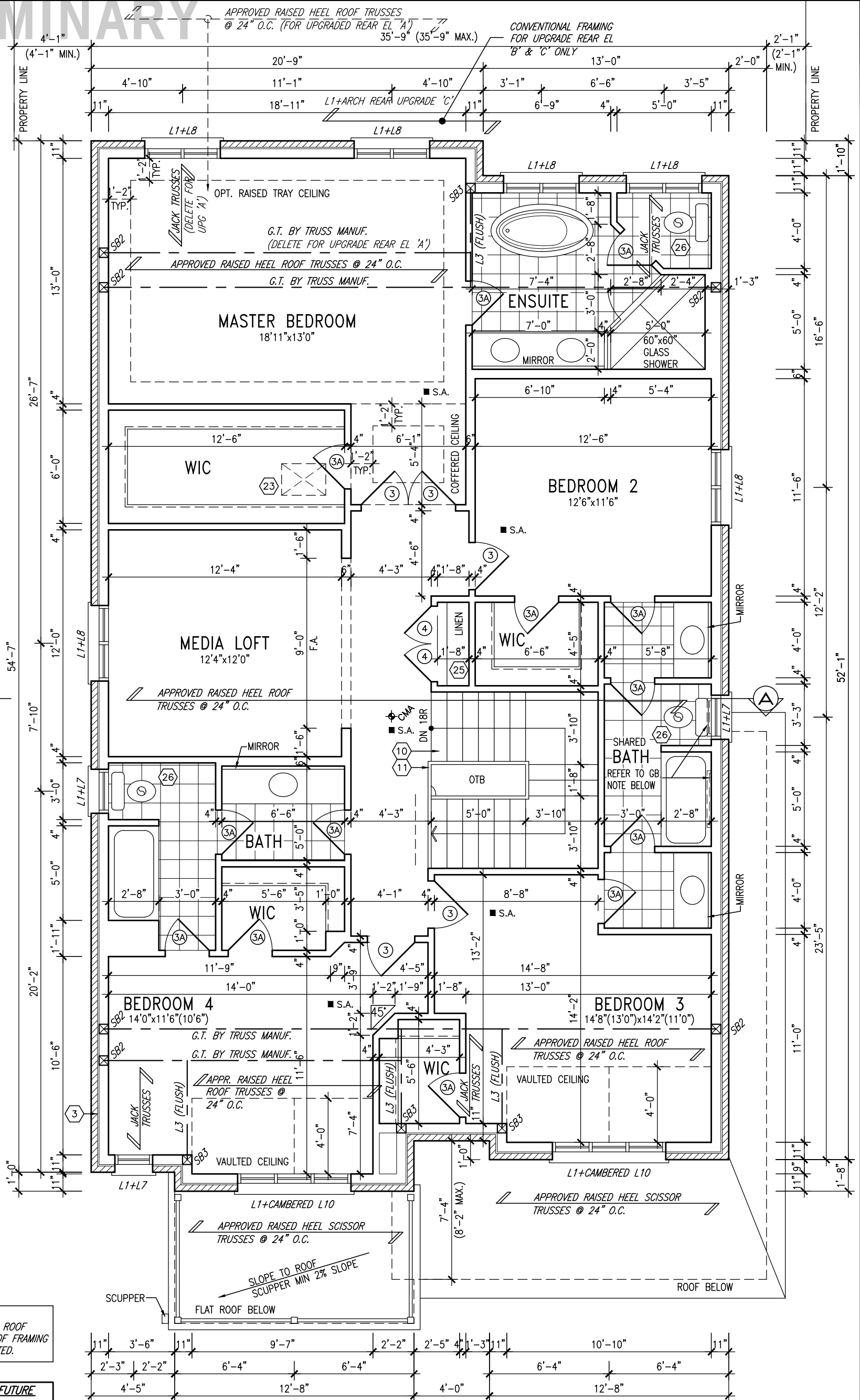












NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

9	.	.	.
8	.	.	.
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6	.	.	.
5	.	.	.
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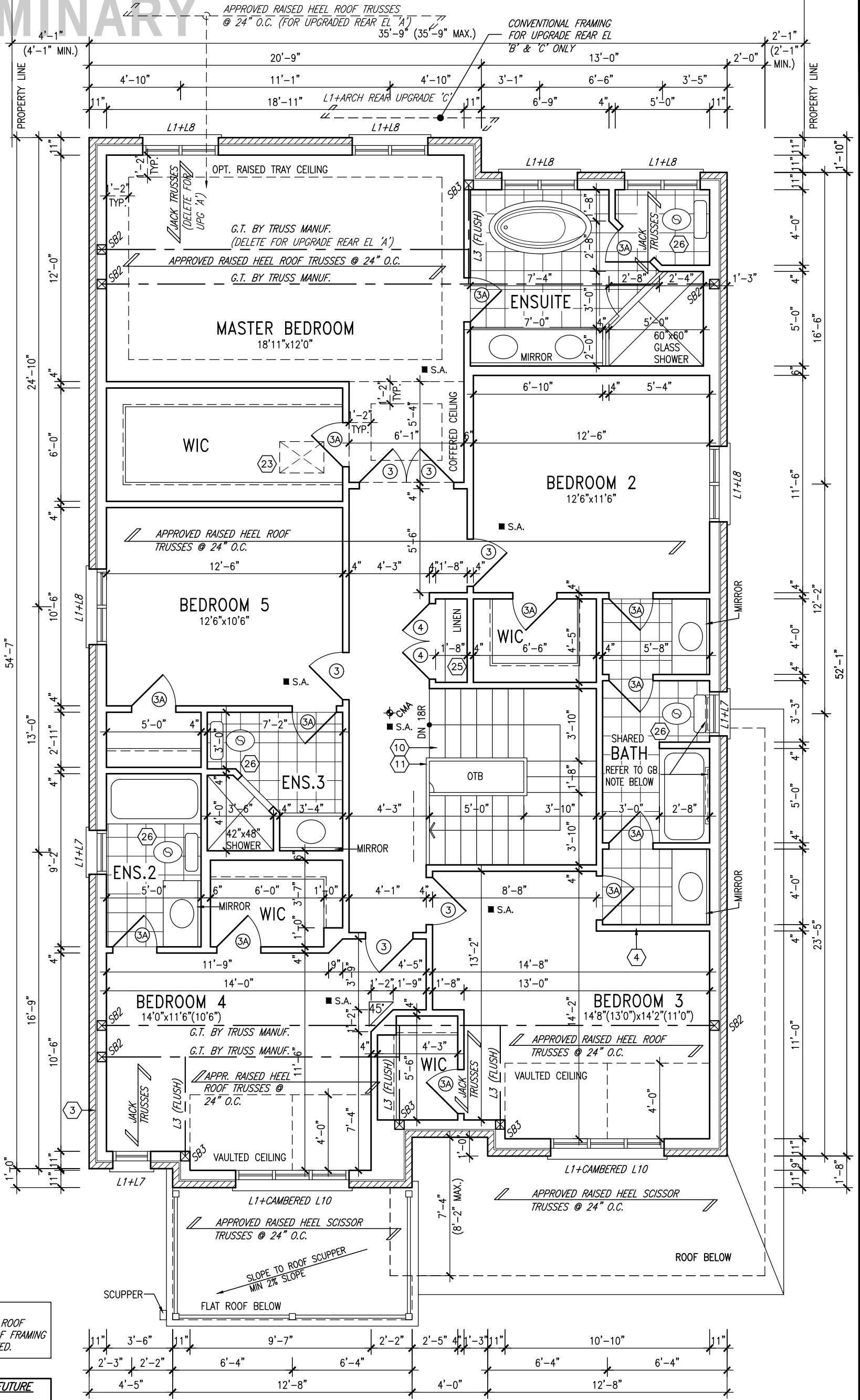
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date FEBRUARY, 2017		drawing no. 3			
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
file name 16023-S42-5-10GRND					
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10' GROUND



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH

9	.	.	.
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5	.	.	.
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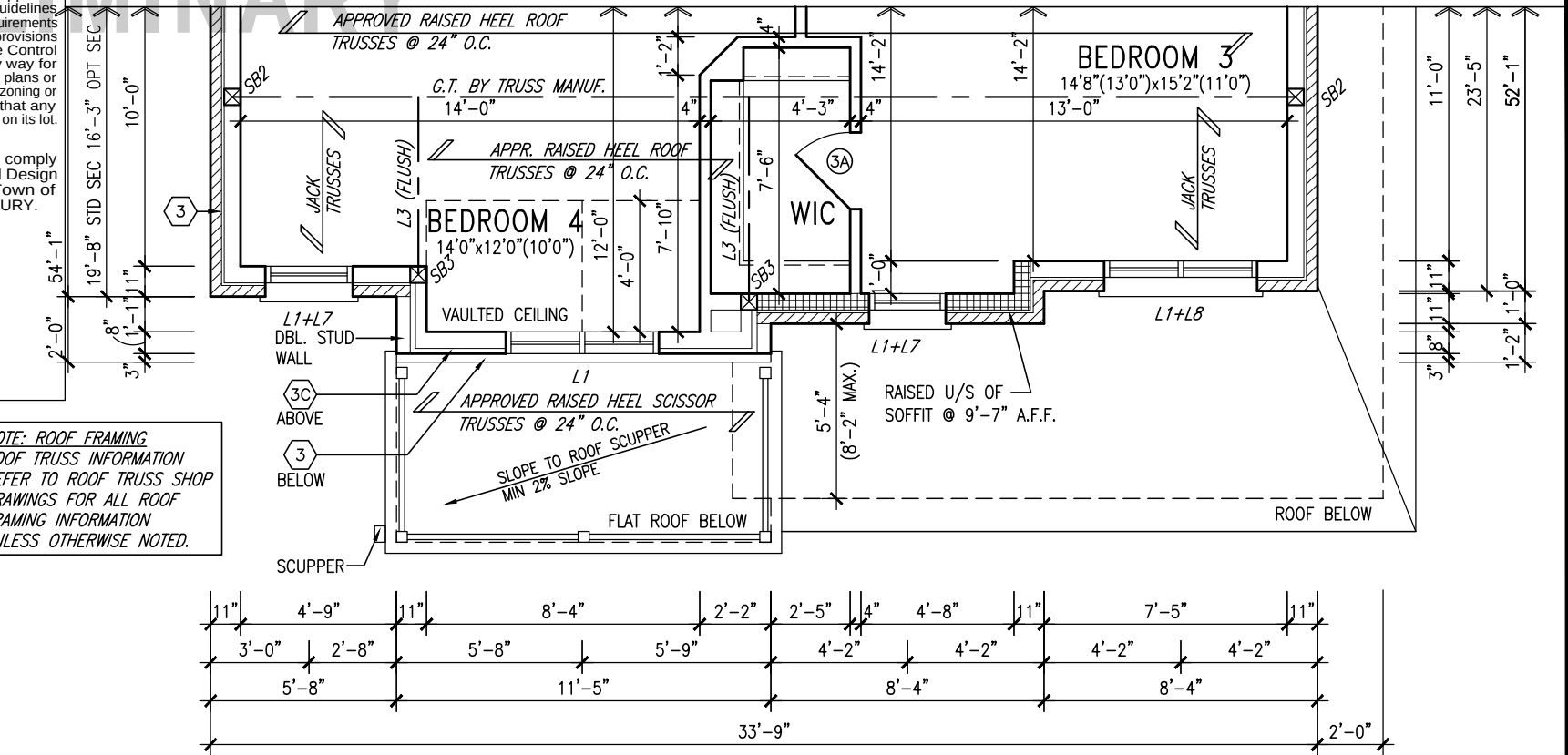
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S42-5-10GRND	drawing no.	4
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10' GROUND

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REFER TO ROOF TRUSS SHOP
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FRAMING INFORMATION
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PARTIAL STD./OPT. SECOND FLOOR PLAN 'B'

NOTE R1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8"
T&G PLYWOOD SHEATHING ON
2"x4" PURLINS LAID PERP. TO
JOISTS SLOPED TO DRAIN, ON
2"x8" SPR. FLR. JOISTS @
16" O.C. W/ PREFIN. ALUM.
SOFFIT ON U/S

GRAB BAR NOTE:

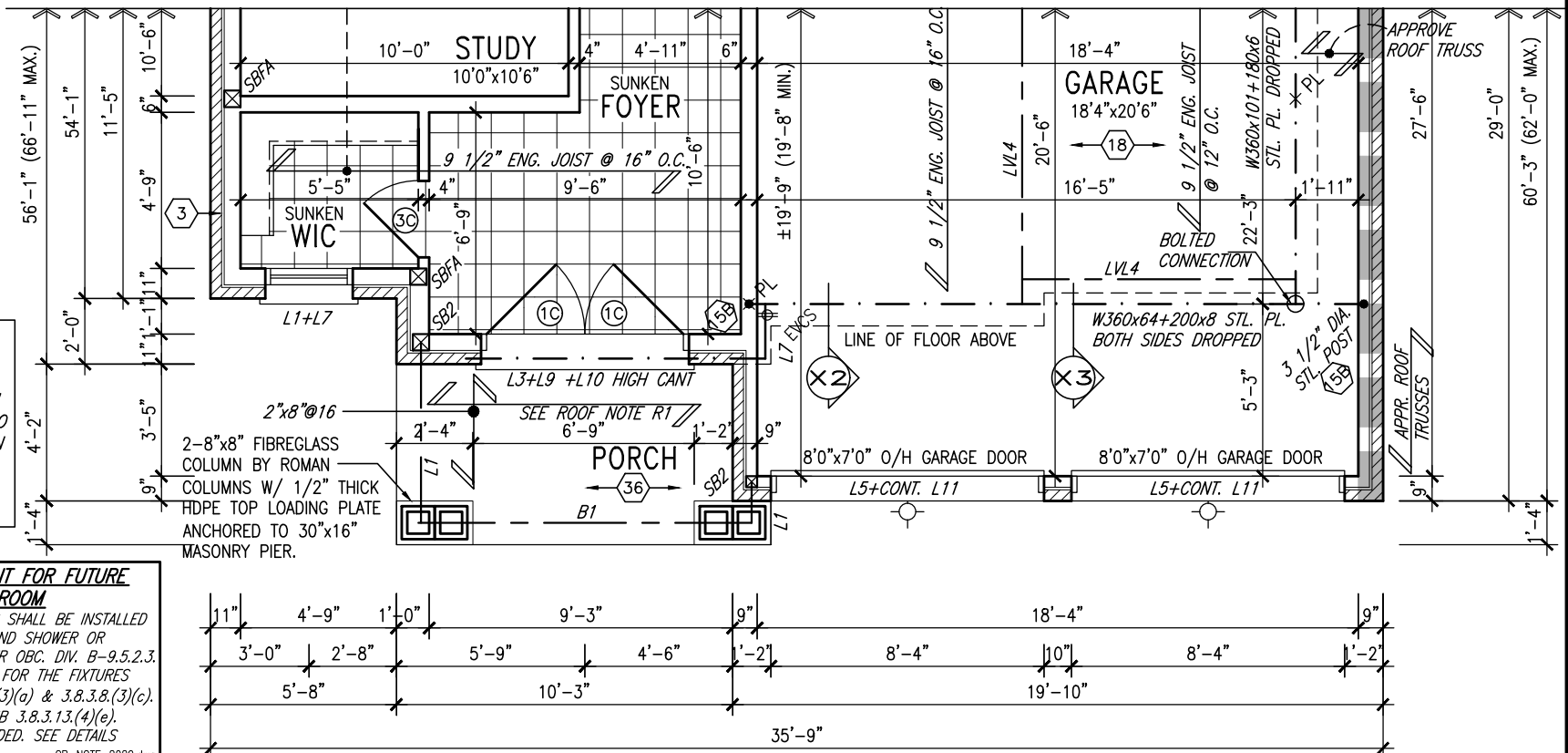
**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

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PROVIDED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



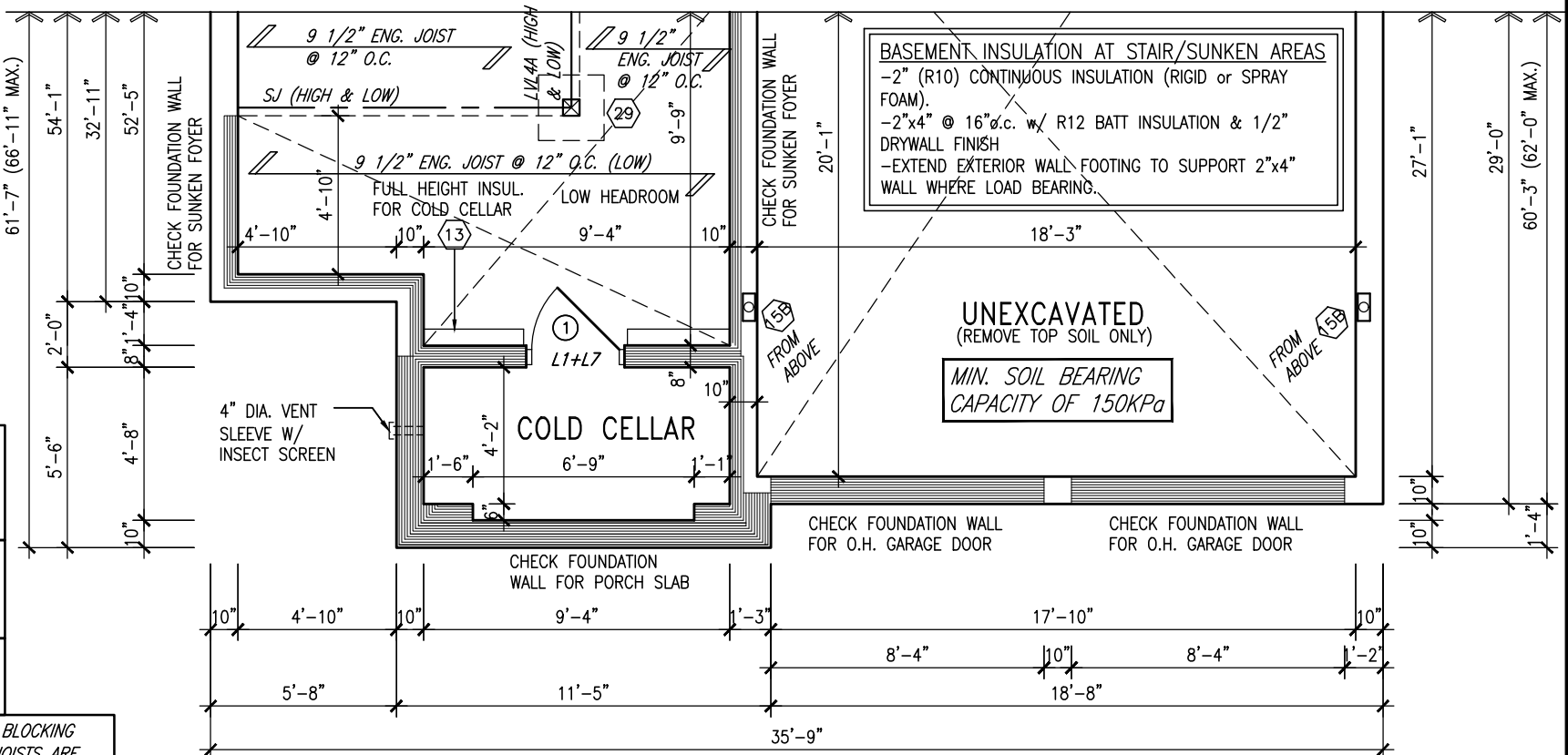
PART. GROUND FLOOR PLAN 'B'
(10'-0" GROUND)

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



PARTIAL BASEMENT PLAN 'B'

INDICATES FIRE RATED WALL ASSEMBLY

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 20-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
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BAYVIEW WELLINGTON

**S42-5
RIDEAU 5**

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-5-10GRND	drawing no.	5
PART. PLANS ELEV. 'B'					

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NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT.
TYPE $\frac{5}{8}$ " T&G PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS SLOPED TO
DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C.
W/ PREFIN. ALUM. SOFFIT ON U/S

CANOPY ROOF NOTE:
P.T. 2"x8" ROOF JOIST @ 16"
O.C., 5/8" SHEATHING SLOPED
FORWARD WITH PREFIN. METAL CAP

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR
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NOTE: FLOOR FRAMING INFO
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.











ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.

ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Furneproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012, OBC. 9.34.4.

2"x8" @ 16" O.C.
BLOCKING WITH JOIST
HANGER TOP AND BOTTOM
NAILED TO CANT. B1 (FL)

FURR DOWN TO U/S OF
DROP BEAM COVERED
CEILING W/ PREFIN.
ALUM. SOFFIT

3-2"x6" P.T. POSTS
CAPPED IN ALUM.
INSIDE 16"x16"
MASONRY PIER

PART. GROUND FLOOR PLAN 'C'
(10'-0" GROUND)

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
 -2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
 -2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
 -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

MIN. SOIL BEARING
CAPACITY OF 150KI

PARTIAL BASEMENT PLAN 'C'

9	.	.	.
8	.	.	.
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5	.	.	.
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GREEN VALLEY EAST	BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

PART. PLANS ELEV. 'C'

drawing no.

drawn by

checked by

$$\overset{\text{scale}}{3/16"} = 1'-0"$$

file name
16023-S42-5-10GRND

c

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MINIARY

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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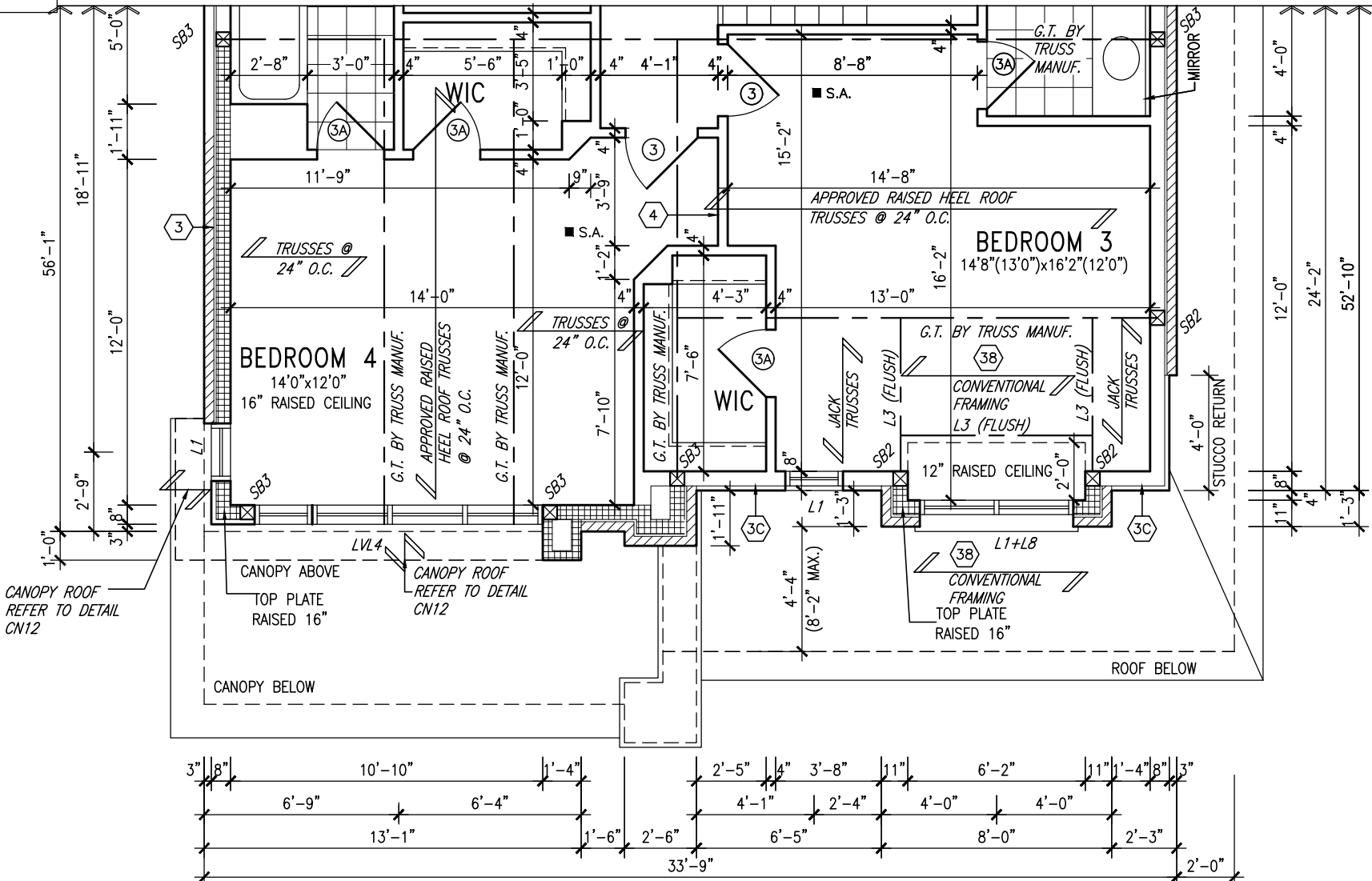
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NOTE: ROOF FRAMING

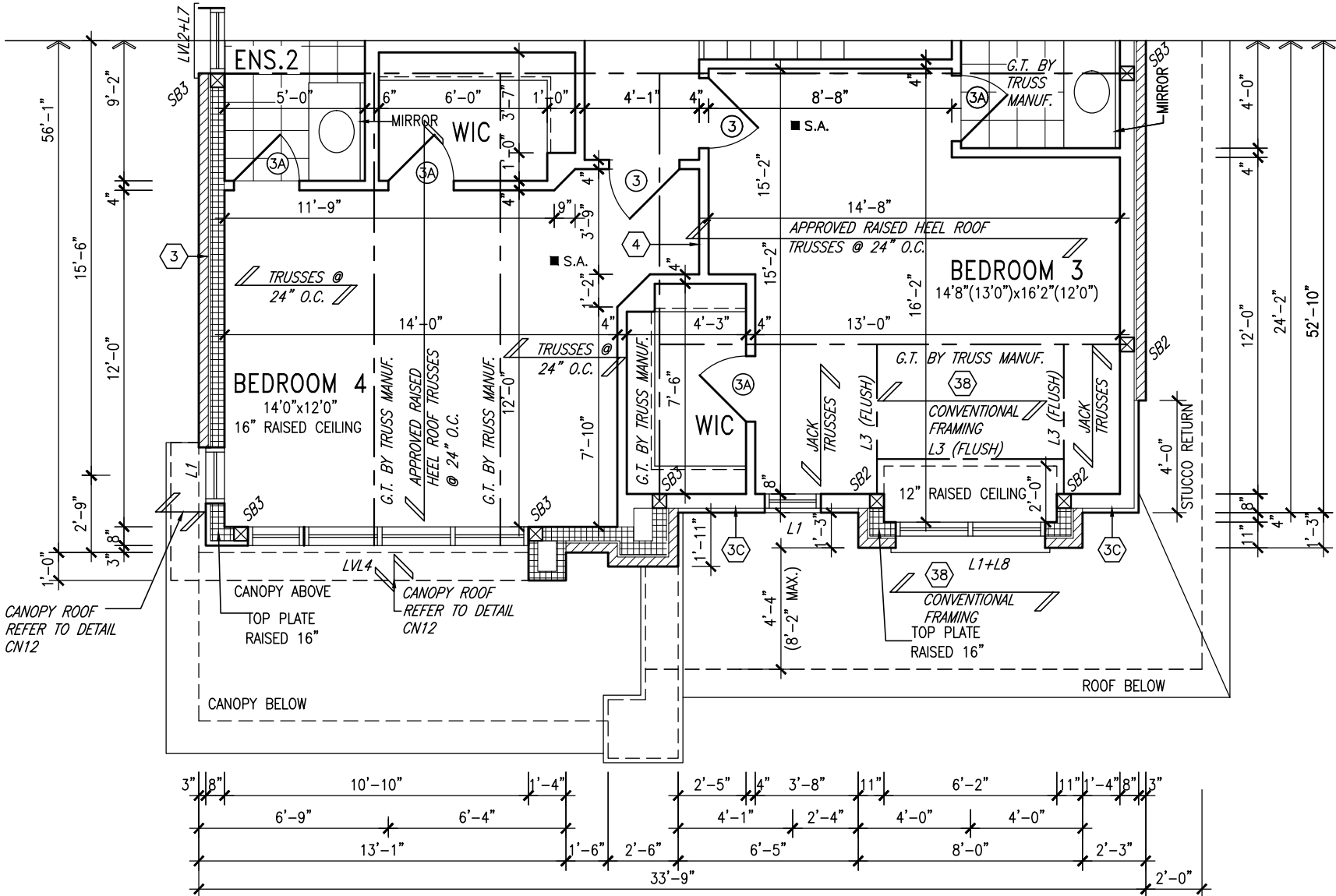
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NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL STD. SECOND FLOOR PLAN 'C'



PARTIAL OPT. SECOND FLOOR PLAN 'C'

9.	.	.	.
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7

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MINIARY

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

10' GROUND

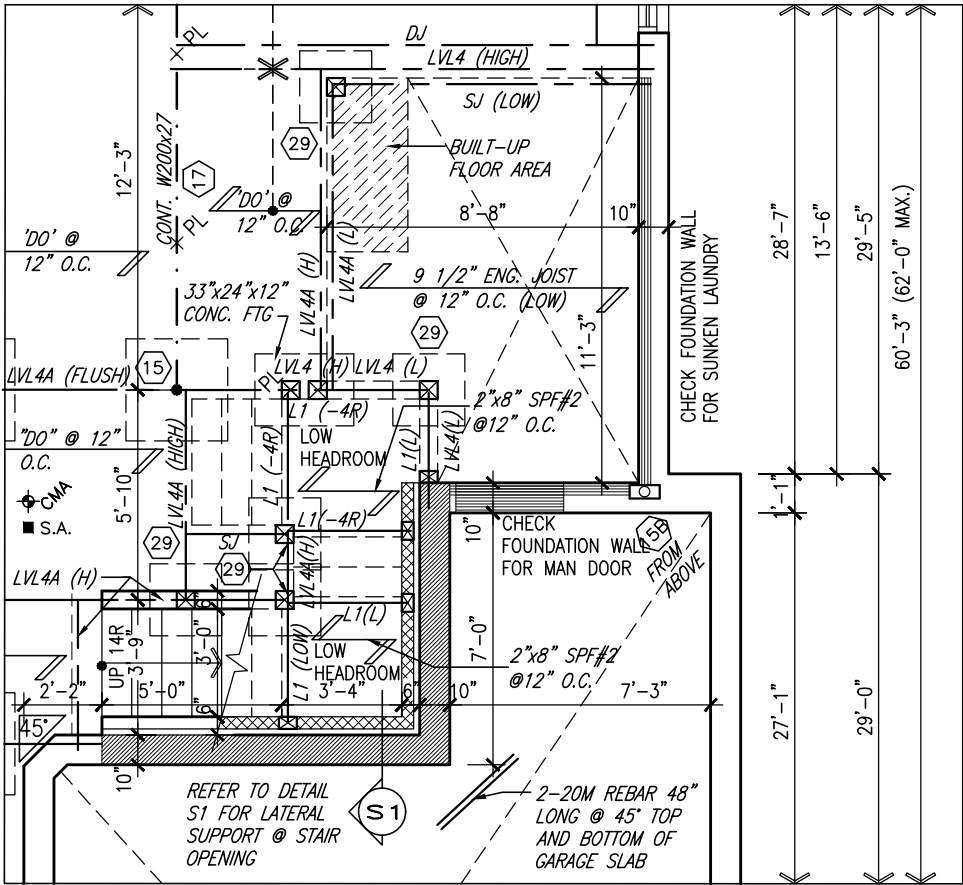
NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

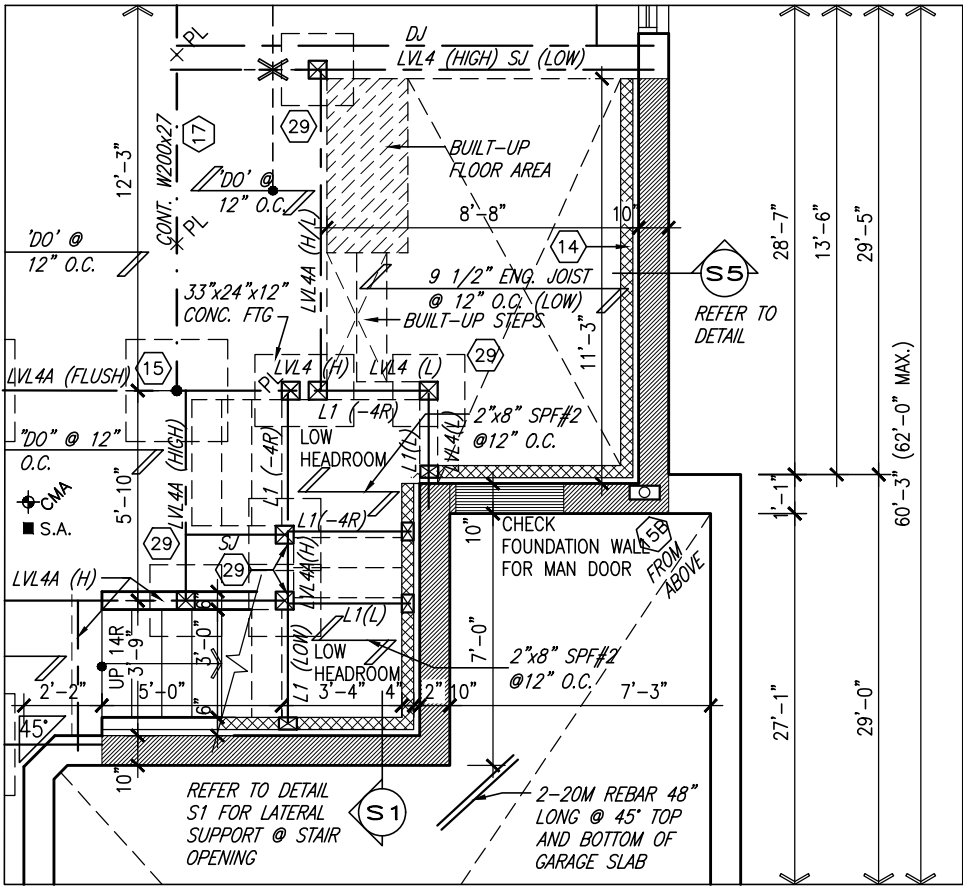
NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

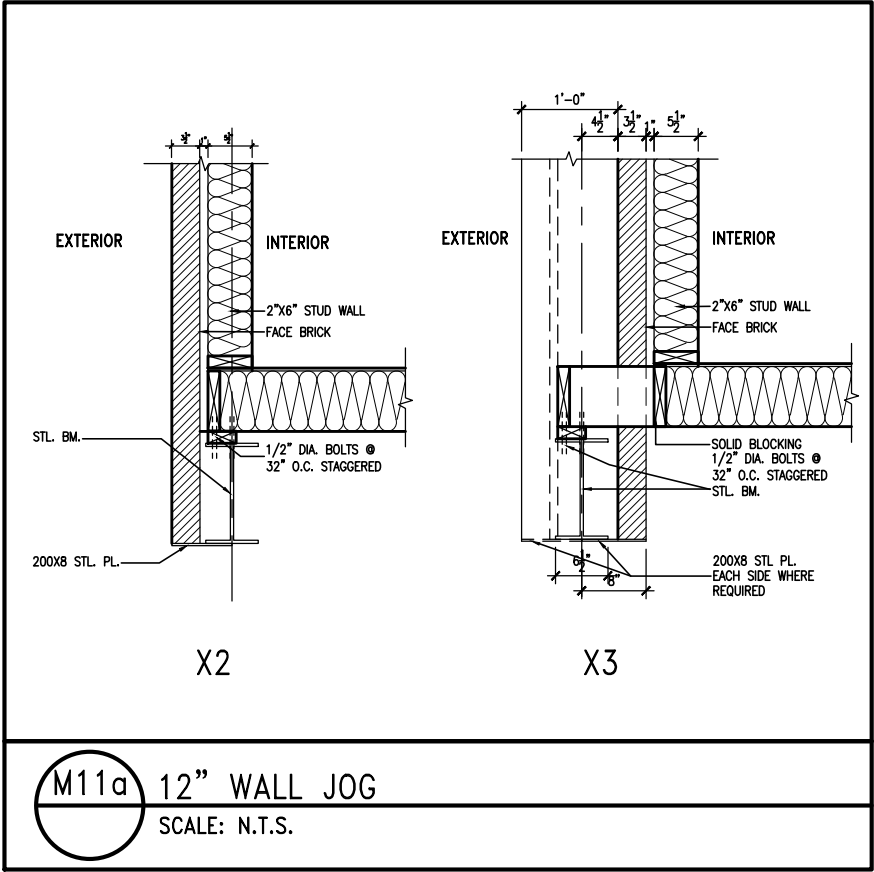
BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING
TO SUPPORT 2"x4" WALL WHERE
LOAD BEARING.



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -1R



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -2R TO -3R



AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1526.4 SF	1522.0 SF	1533.3 SF
SECOND FLOOR AREA	1815.9 SF	1843.9 SF	1857.0 SF
SUBTOTAL	3342.3 SF	3365.9 SF	3390.3 SF
DEDUCT ALL OPENINGS	8.2 SF	8.2 SF	8.2 SF
TOTAL NET AREA	3334 SF	3358 SF	3382 SF
	309.7 m2	311.9 m2	314.2 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3334 SF	3358 SF	3382 SF
	309.7 m2	311.9 m2	314.2 m2
COVERAGE W/O PORCH	1995.6 SF	1996.6 SF	2008.0 SF
	185.4 m2	185.5 m2	186.5 m2
COVERAGE W/PORCH	2078.8 SF	2054.5 SF	2108.9 SF
	193.1 m2	190.9 m2	195.9 m2

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4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY,2017

PART. PLANS FOR SUNKEN LAUNDRY CONDITION

drawing no.

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S42-5-10GRND

8

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ROOF PLAN 'A'

10⁹ GROUND



FRONT ELEVATION 'A'

UP-1, 9 - 11 BASEMENT	UP-1, 9 - 1 SECOND FLR.	 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	BAYVIEW WELLINGTON S42-5 RIDEAU 5	project name GREEN VALLEY EAST municipality BRADFORD, ONT. project no. 16023
9 .	.			
8 .	.			
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5 .	.			
4 10' GROUND FLOOR		JUL 20-21 KL		
3 ADDED OPT. 9' BASEMENT		JUL 20-21 KL		
2 REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC		
1 ISSUED FOR CLIENT REVIEW	.			
no. description	date	by		

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UP-1, 9 - 11 BASEMENT

UP-1, 9 - 1 SECOND FLR.



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vo3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S42-5-10CRND

drawing no.
9

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4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

PRELIMINARY

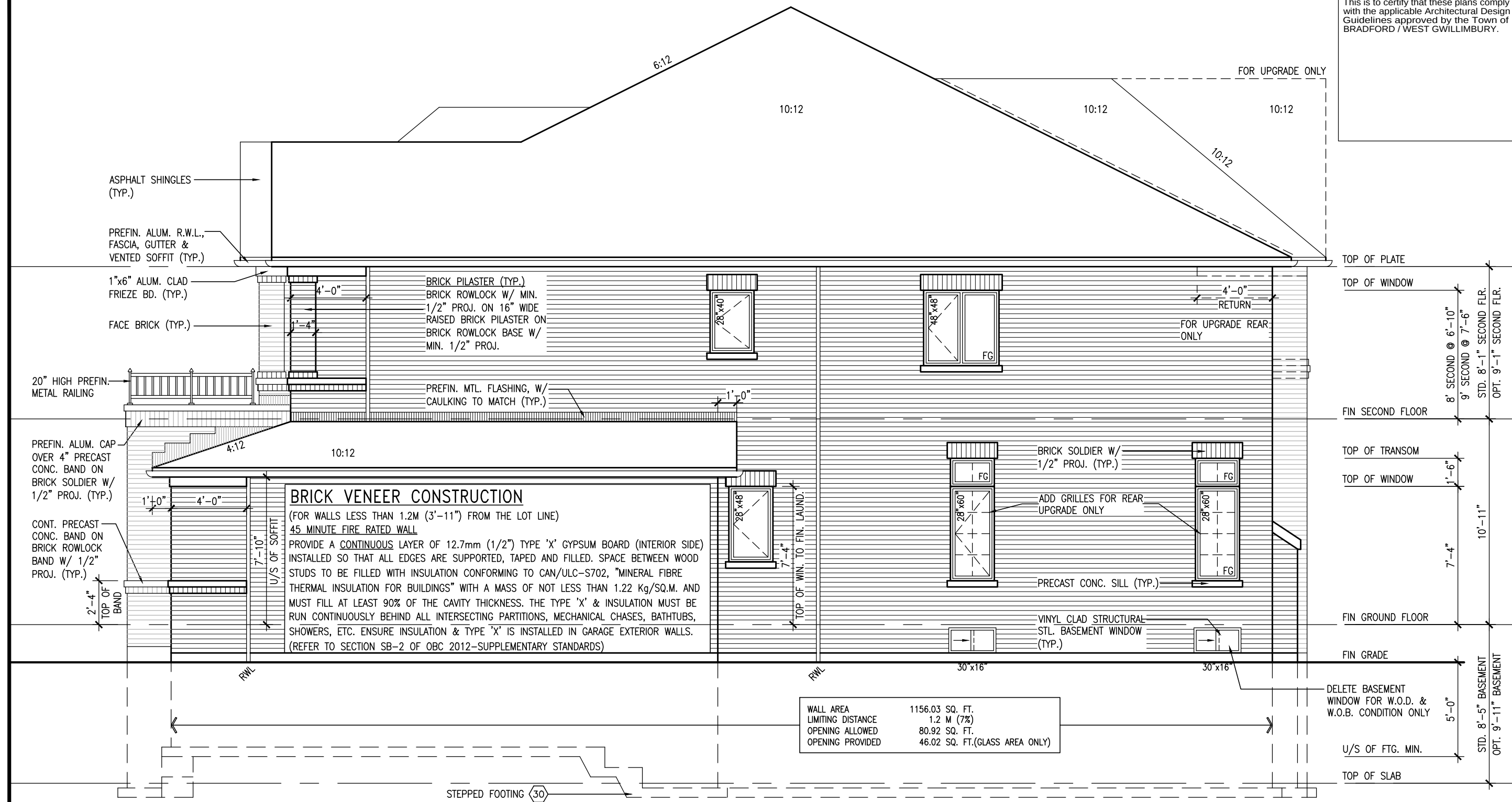
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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10' GROUND

RIGHT SIDE ELEVATION 'A'

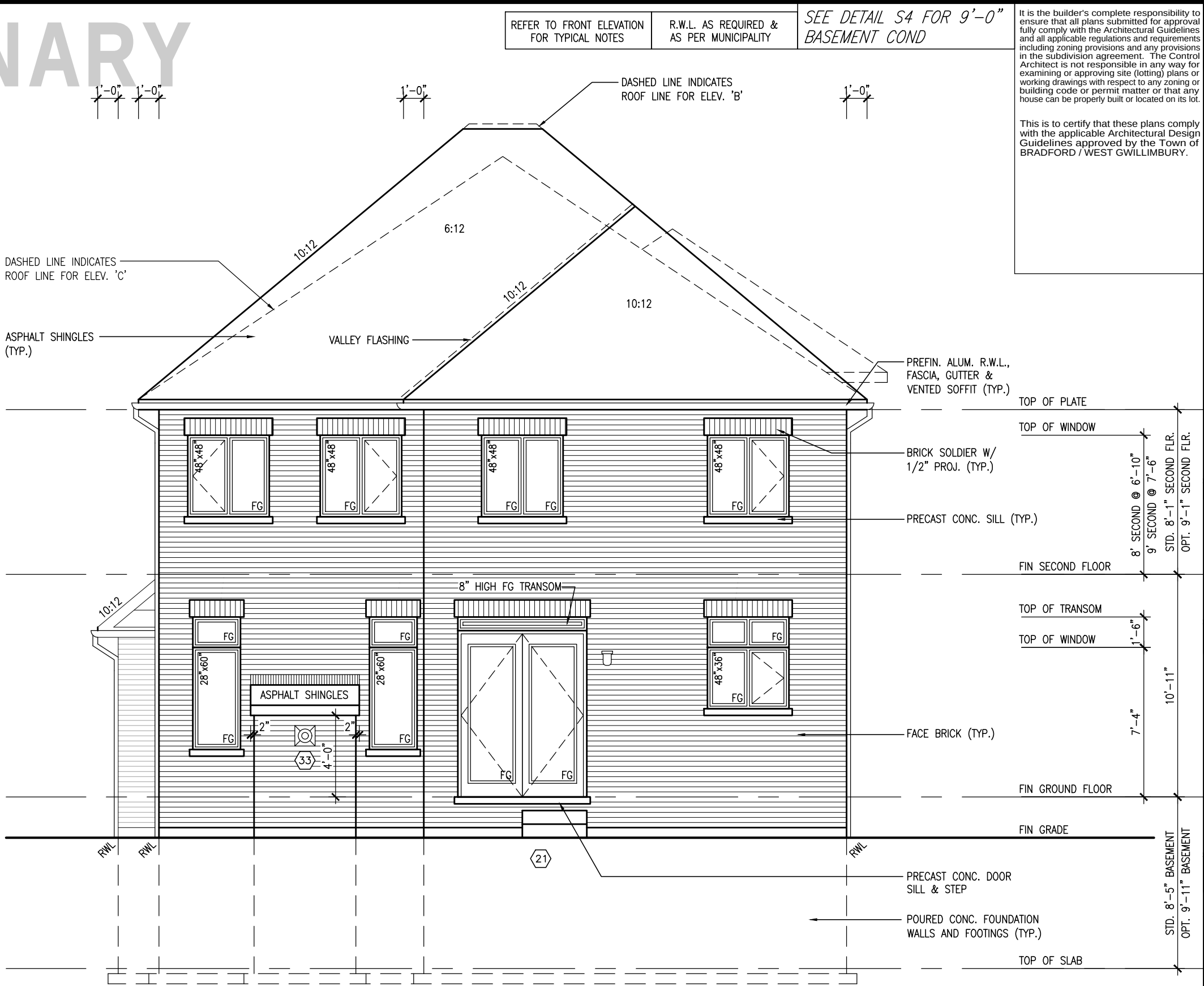
project no.		project name		municipality		project no.		drawing no.	
16023		GREEN VALLEY EAST		BRADFORD, ONT.		16023		11	
S42-5		BAYVIEW WELLINGTON		RIGHT SIDE ELEVATION 'A'		16023-S42-5-10GRND		11	
RIDEAU 5									
checked by		date		scale		file name			
RC		FEBRUARY, 2017		3/16" = 1'-0"		16023-S42-5-10GRND			
drawn by		drawn by		drawn by		drawn by			
WT		WT		WT		WT			
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Thu - Jul 29 2021 - 10:08 AM		Thu - Jul 29 2021 - 10:08 AM		Thu - Jul 29 2021 - 10:08 AM		Thu - Jul 29 2021 - 10:08 AM			
no.		description		date		date			
9									
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5									
4		10' GROUND FLOOR		JUL 20-21		KL			
3		ADDED OPT. 9' BASEMENT		JUL 20-21		KL			
2		REVISED AS PER ENG'S COMMENTS		JAN 22-18		RC			
1		ISSUED FOR CLIENT REVIEW							

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.A W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	728.03 S.F.	167.61 S.F.	23.02 %
LEFT SIDE	1167.25 S.F.	108.44 S.F.	9.29 %
RIGHT SIDE	1167.25 S.F.	70.11 S.F.	6.01 %
REAR	708.75 S.F.	168.28 S.F.	23.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3771.28 S.F.	514.44 S.F.	13.64 %
TOTAL SQ. M.	350.36 S.M.	47.79 S.M.	13.64 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.42 S.F.	164.11 S.F.	22.65 %
LEFT SIDE	1176.85 S.F.	108.44 S.F.	9.21 %
RIGHT SIDE	1176.75 S.F.	70.11 S.F.	5.96 %
REAR	708.75 S.F.	168.28 S.F.	23.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3786.77 S.F.	510.94 S.F.	13.49 %
TOTAL SQ. M.	351.80 S.M.	47.47 S.M.	13.49 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.C W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	70.11 S.F.	5.81 %
REAR	708.75 S.F.	168.28 S.F.	23.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3847.44 S.F.	547.05 S.F.	14.22 %
TOTAL SQ. M.	357.44 S.M.	50.82 S.M.	14.22 %

10' GROUND



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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BAYVIEW WELLINGTON		S42-5		RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.		REAR ELEVATION 'A', 'B' & 'C'	
project name		project no.		drawing no.	
16023		16023		12	
date		checked by		scale	
FEBRUARY, 2017		RC		3/16" = 1'-0"	
drawn by		file name		16023-S42-5-10GRND.dwg	
WT		16023-S42-5-10GRND.dwg		Thu - Jul 29 2021 - 10:08 AM	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-5-10GRND.dwg		municipality		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
255 Consumers Rd Suite 120		9		10' GROUND FLOOR	
Toronto ON M2J 1P4		8		3 ADDED OPT. 9' BASEMENT	
t 416.630.2255 f 416.630.4782		7		2 REVISED AS PER ENG'S COMMENTS	
vo3design.com		6		1 ISSUED FOR CLIENT REVIEW	
		5		no. description	
		4		date	
		3			
		2			
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Y BRICK ARCH W/ VIN
PANEL BELOW DETAIL

FRONT ELEVATION 'B'

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4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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Drawings are not to be scaled.



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BAYVIEW WELLINGTON

GREEN VALLEY EAST

S42-5
RIDEAU 5

project name
project no. 16023

date
drawing no. 13

municipality
FRONT ELEVATION 'B'

checked by
scale
file name
16023-S42-5-10GRND

drawn by
RC
3/16" = 1'-0"

WT
FEBRUARY, 2017

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S42-5
RIDEAU 5

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONT.	municipality

date FEBRUARY, 2017 LEFT SIDE ELEVATION 'B' drawing no. 4

drawn by
checked by
scale
file name

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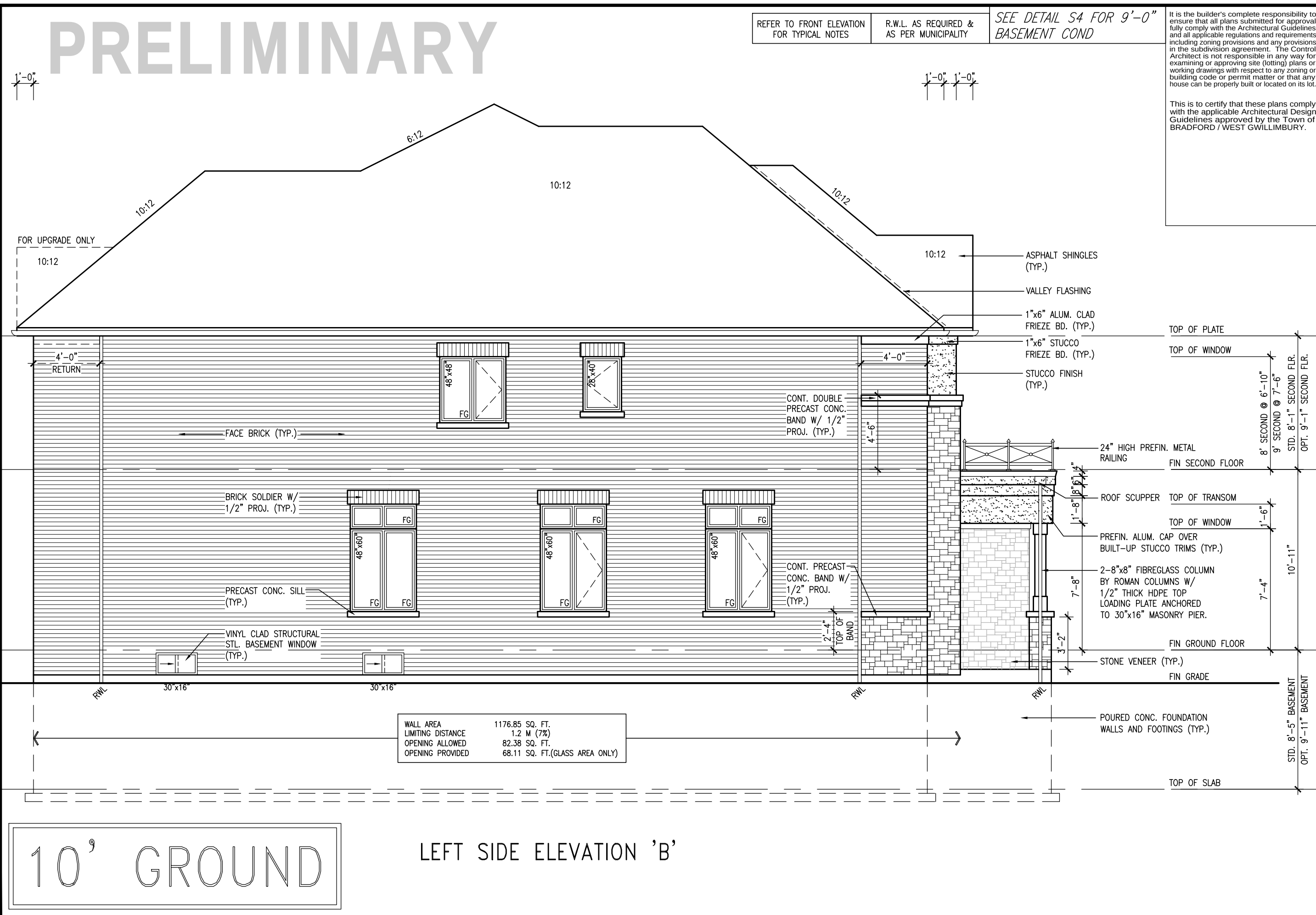
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All drawn



RIGHT SIDE ELEVATION 'B'

ROOF PLAN 'C

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-5
RIDEAU 5

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

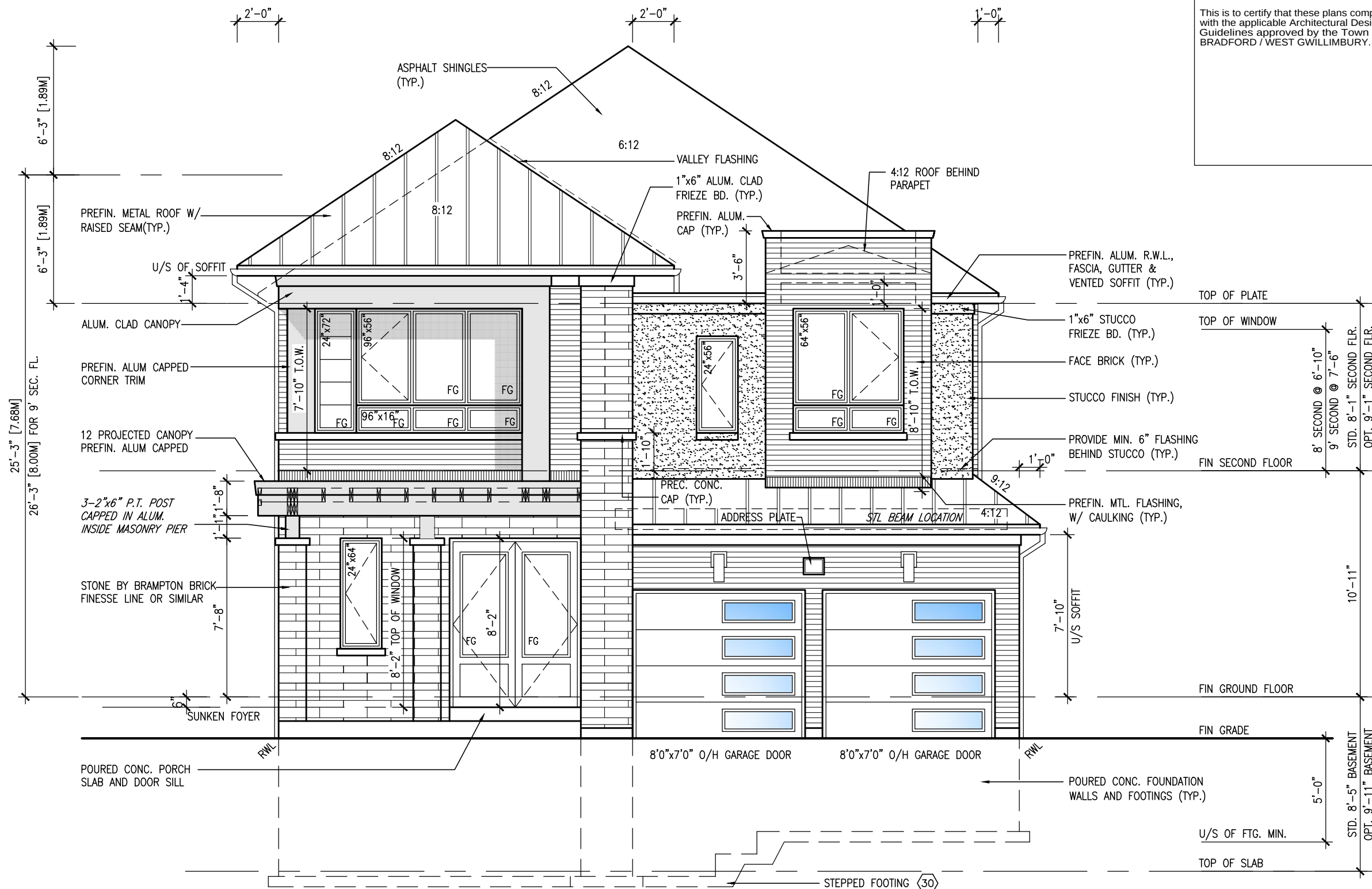
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10⁹ GROUND

FRONT ELEVATION 'C'

9	.	.	.
8	.	.	.
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6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
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S42-5
RIDEAU 5

BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD ONT	16023

date FEBRUARY 2017

drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-5-10GRND

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specifications, related documents and c

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drawings are not to be scaled.

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10⁹ GROUND

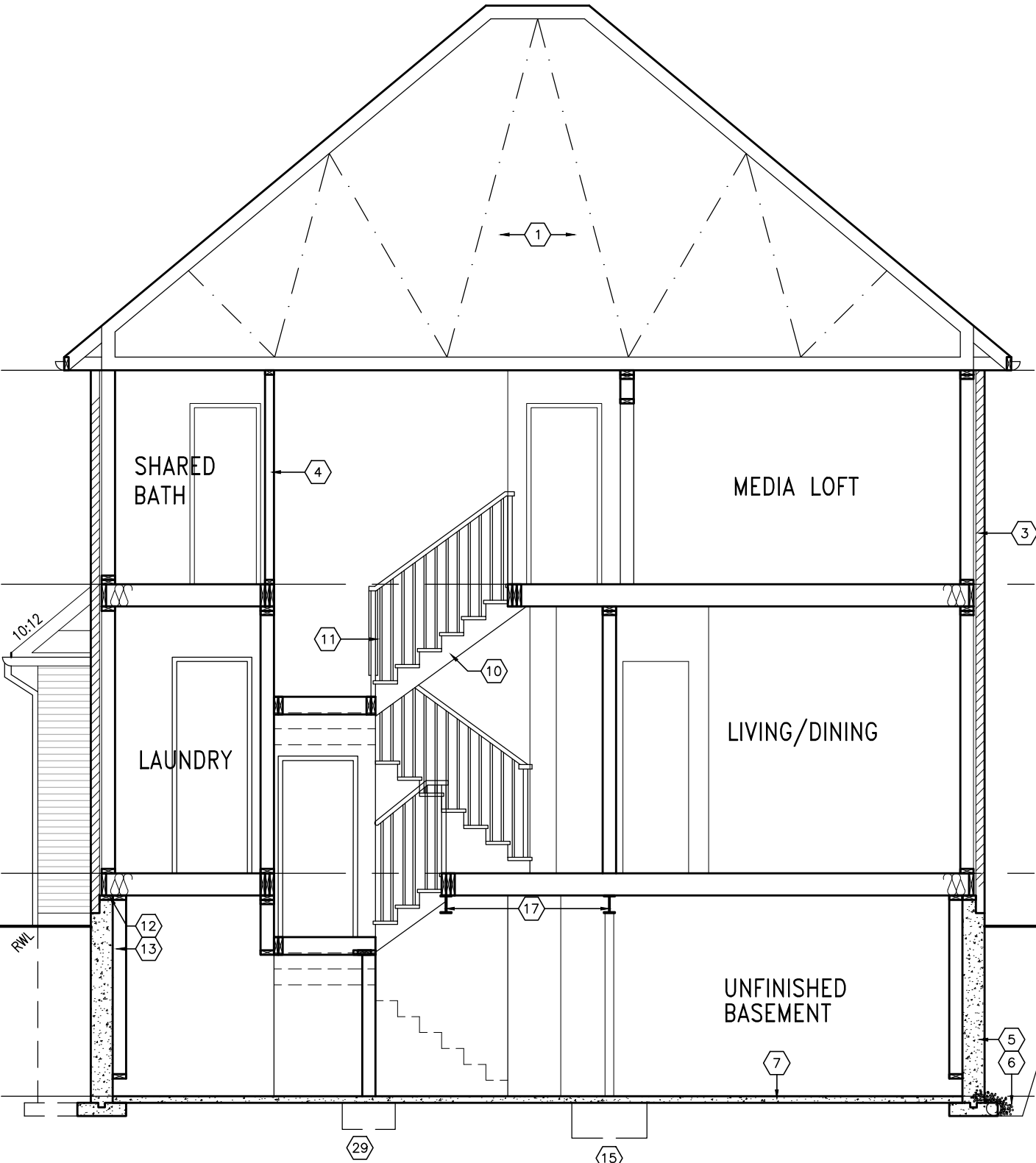
LEFT SIDE ELEVATION 'C'

WALL AREA	1177.75 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	82.44 SQ. FT.
OPENING PROVIDED	76.15 SQ. FT.(GLASS AREA ONLY)

PRELIMINARY

1'-0" 1'-0"

1'-0"



CROSS SECTION A-A

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TOP OF PLATE

STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

FIN SECOND FLOOR

10'-11"

FIN GROUND FLOOR

FIN GRADE

STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

TOP OF SLAB

project no. 16023		drawing no. 19	
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.	
date FEBRUARY, 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
file name 16023-S42-5-10GRND.dwg		date Thu - Jul 29 2021 - 10:08 AM	
project name BAYVIEW WELLINGTON		project no. S42-5	
municipality BRADFORD, ONT.		drawing no. 19	
date FEBRUARY, 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
file name 16023-S42-5-10GRND.dwg		date Thu - Jul 29 2021 - 10:08 AM	
project name BAYVIEW WELLINGTON		project no. S42-5	
municipality BRADFORD, ONT.		drawing no. 19	
date FEBRUARY, 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
file name 16023-S42-5-10GRND.dwg		date Thu - Jul 29 2021 - 10:08 AM	

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no.	description	date	by
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MINIARY

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

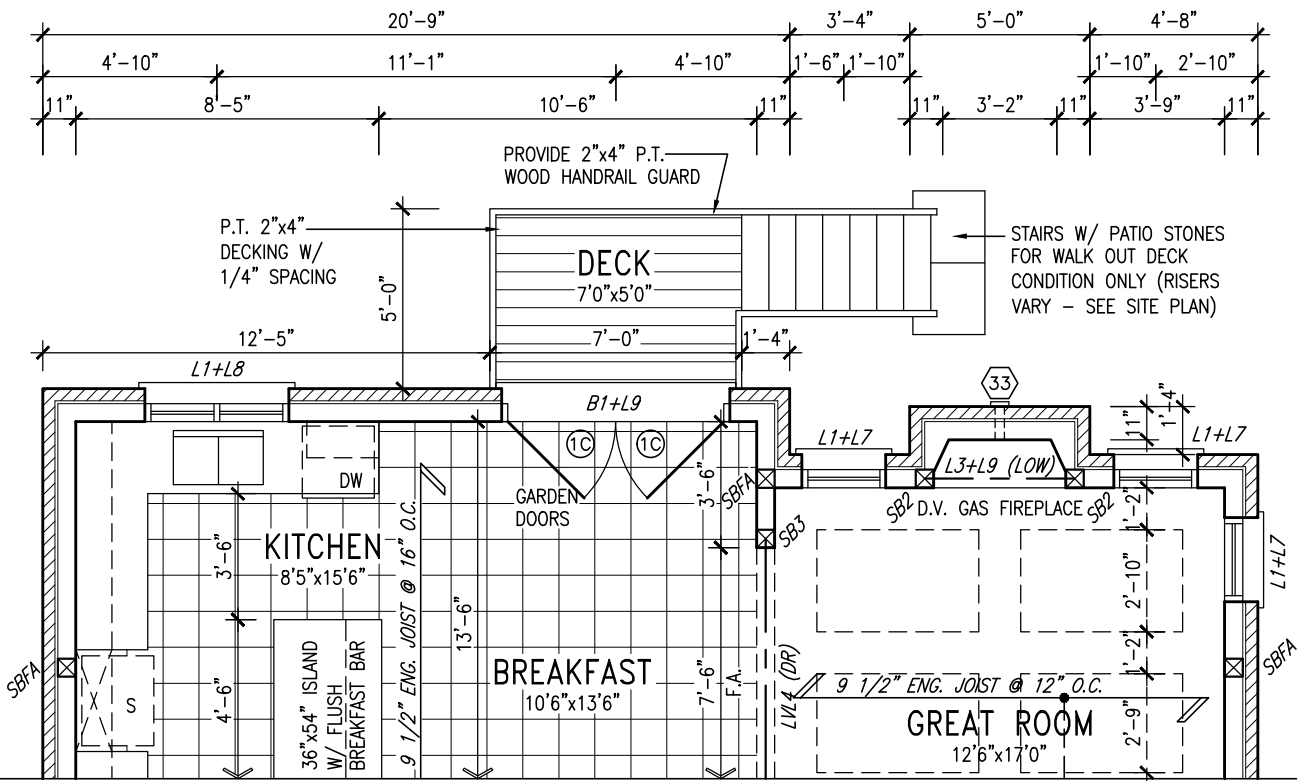
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

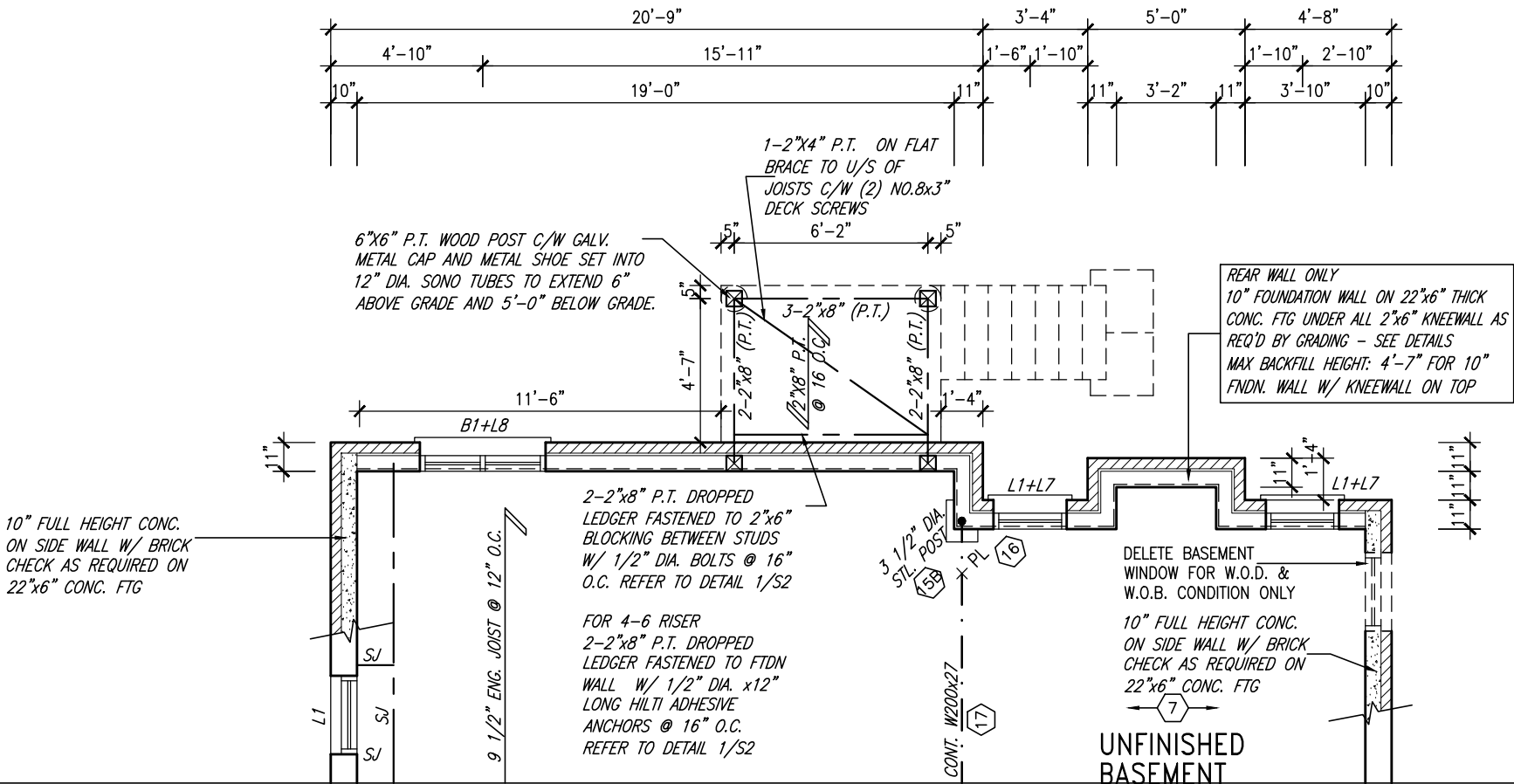
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN
W/ W.O.D.
9R & MORE CONDITION



PARTIAL BASEMENT PLAN
W/ W.O.D.
9R OR MORE CONDITION

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 20-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

PART. FLOOR PLANS- W.O.D. COND.

file name
16023-S42-5-10GRND

drawing no.
20

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-5-10GRND.dwg - Thu - Jul 29 2021 - 10:08 AM

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MINIARY

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

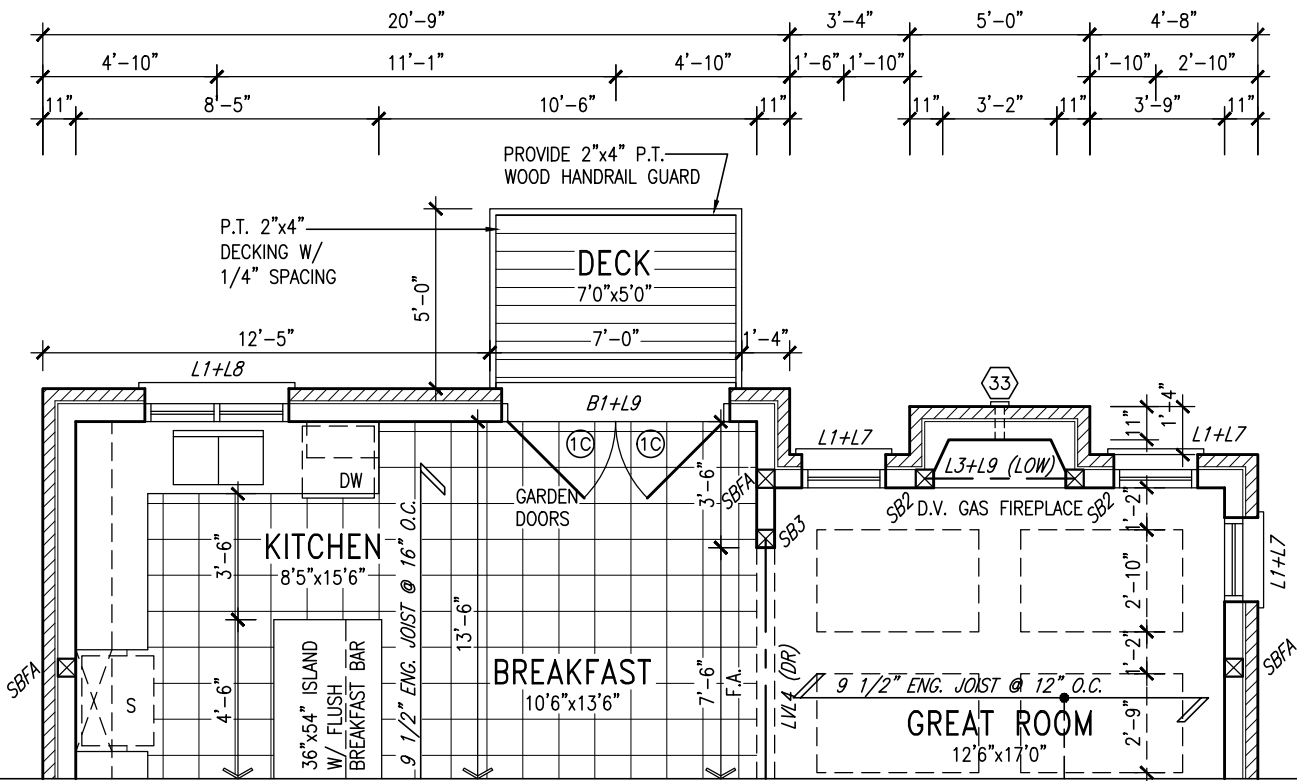
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

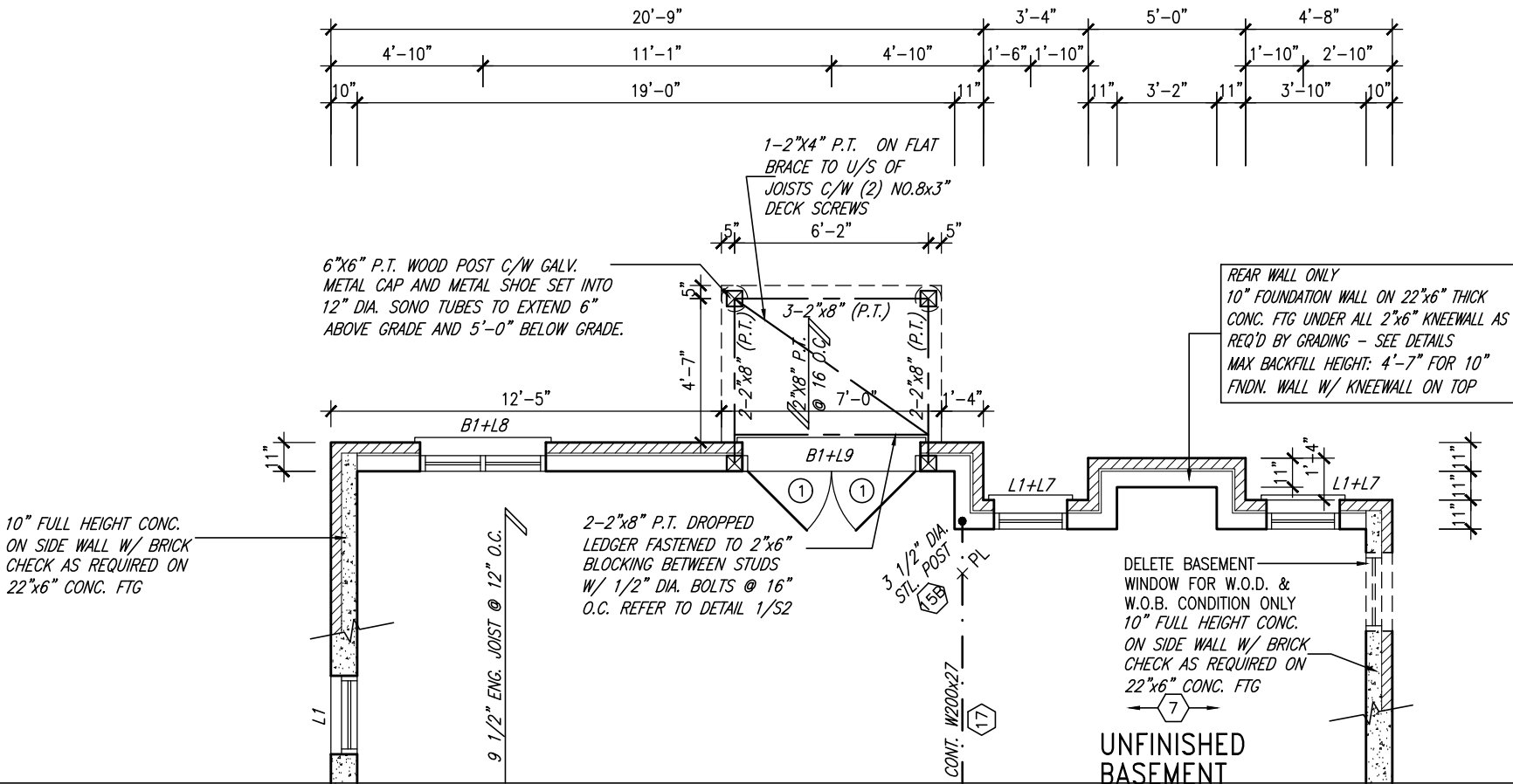
NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PARTIAL GROUND FLOOR PLAN
W/ W.O.B. CONDITION



PARTIAL BASEMENT PLAN
W/ W.O.B. CONDITION

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUL 20-21 KL
3.	ADDED OPT. 9' BASEMENT	JUL 20-21 KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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va3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

PART. FLOOR PLAN - W.O.B. COND.

file name
16023-S42-5-10GRND

drawing no.
22

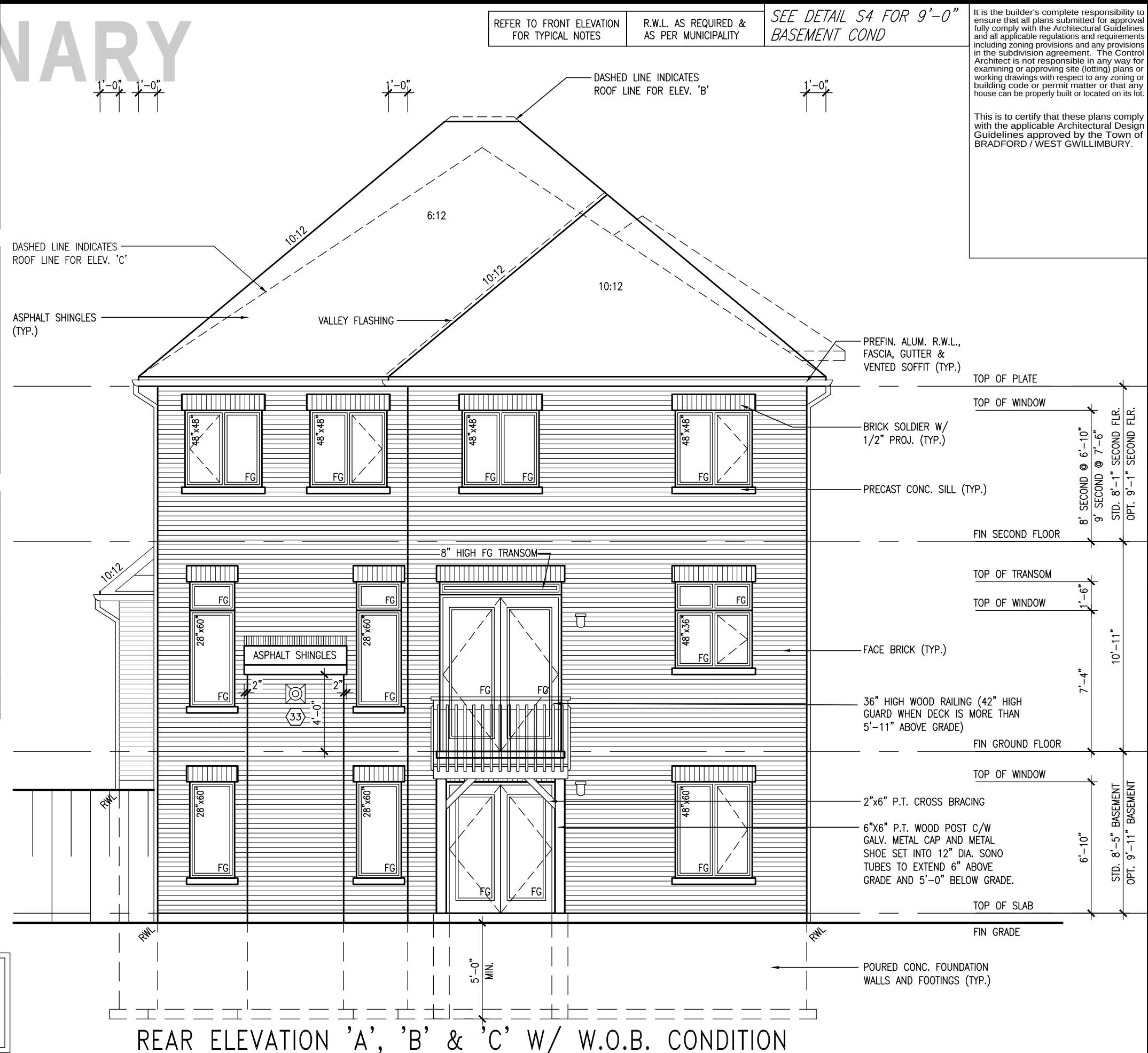
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-5-10GRND.dwg - Thu - Jul 29 2021 - 10:08 AM

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.A WOB W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	728.03 S.F.	167.61 S.F.	23.02 %
LEFT SIDE	1167.25 S.F.	108.44 S.F.	9.29 %
RIGHT SIDE	1167.25 S.F.	70.11 S.F.	6.01 %
REAR	942.19 S.F.	250.33 S.F.	26.57 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4004.72 S.F.	596.49 S.F.	14.89 %
TOTAL SQ. M.	372.05 S.M.	55.42 S.M.	14.89 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B WOB W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.42 S.F.	164.11 S.F.	22.65 %
LEFT SIDE	1176.85 S.F.	108.44 S.F.	9.21 %
RIGHT SIDE	1176.75 S.F.	70.11 S.F.	5.96 %
REAR	942.19 S.F.	250.33 S.F.	26.57 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4020.21 S.F.	592.99 S.F.	14.75 %
TOTAL SQ. M.	373.49 S.M.	55.09 S.M.	14.75 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	70.11 S.F.	5.81 %
REAR	942.19 S.F.	250.33 S.F.	26.57 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4080.88 S.F.	629.10 S.F.	15.42 %
TOTAL SQ. M.	379.12 S.M.	58.44 S.M.	15.42 %

10' GROUND



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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BAYVIEW WELLINGTON		S42-5		RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.		16023	
REAR ELEVATION 'A' - W.O.B. COND.		16023-S42-5-10GRND		23	
255 Consumers Rd Suite 120 Toronto ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com		10' GROUND FLOOR		JUL 20-21 KL	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		3 ADDED OPT. 9' BASEMENT		JUL 20-21 KL	
		2 REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
		1 ISSUED FOR CLIENT REVIEW		JAN 22-18 RC	
		no. description		date	
		9 .		by	
		8 .		date	
		7 .		date	
		6 .		date	
		5 .		date	
		4 .		date	
		3 .		date	
		2 .		date	
		1 .		date	

10⁹ GROUND

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

[illegible]

UPGRADED REAR ELEVATION 'A'

Downloaded from <http://ajph.org/> on November 10, 2015

PRELIMINARY

10' GROUND



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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project no.
16023

project name
BAYVIEW WELLINGTON

project no.
16023

project name
GREEN VALLEY EAST

project no.
16023

project name
UPGRADED REAR ELEVATION 'A' - W.O.D. COND.

drawing no.
25

file name
16023-S42-5-10GRND

scale
3/16" = 1'-0"

checked by
RC

drawn by
WT

date
FEBRUARY, 2017

checked by
RC

drawn by
WT

10' GROUND FLOOR

3 ADDED OPT. 9' BASEMENT

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no.

description

date

by

BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

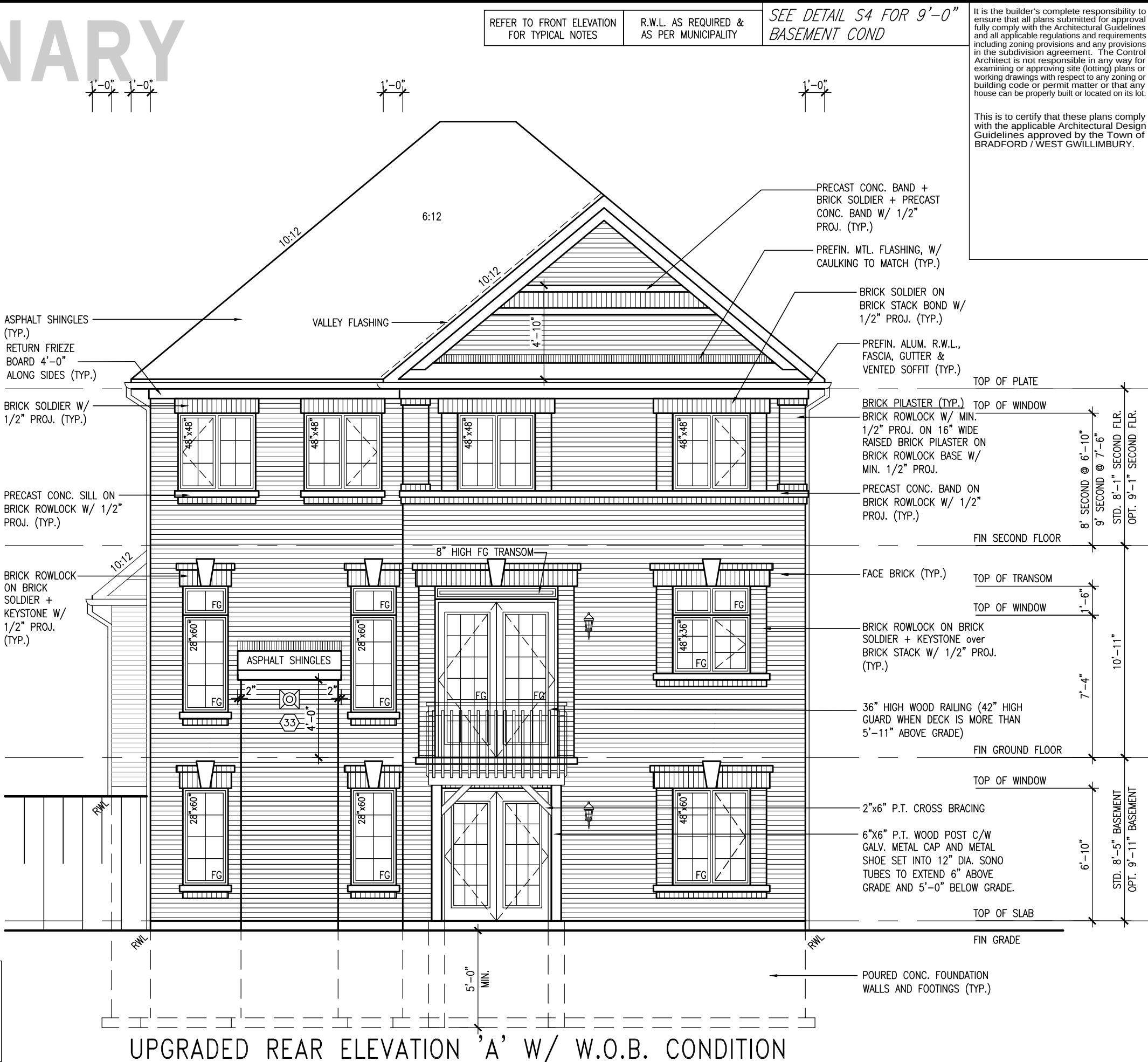
9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW

12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

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PRELIMINARY

10' GROUND



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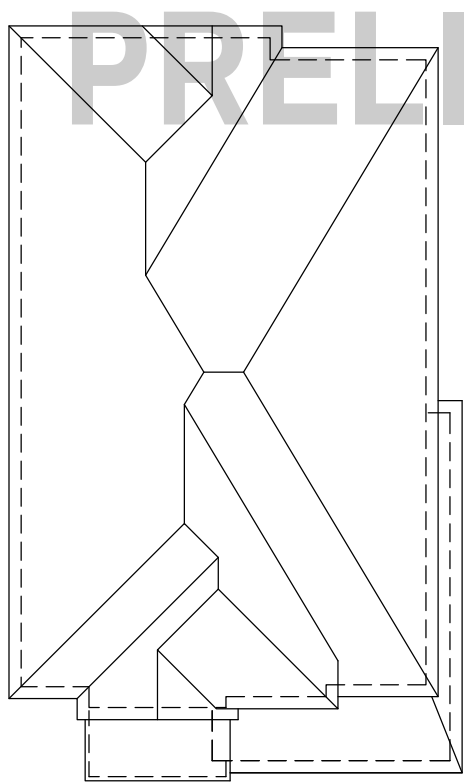
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

project no.		project name		municipality		date		checked by		drawn by		scale		file name	
16023		S42-5		BAYVIEW WELLINGTON		FEBRUARY, 2017		RC		WT		3/16" = 1'-0"		16023-S42-5-10GRND	
drawing no.		RIDEAU 5		BRADFORD, ONT.		UPGRADED REAR ELEVATION 'A' - W.O.B. COND.									
26															
no.		description		date		by									
9		10' GROUND FLOOR		JUL 20-21		KL									
8		3 ADDED OPT. 9' BASEMENT		JUL 20-21		KL									
7		2 REVISED AS PER ENG'S COMMENTS		JAN 22-18		RC									
6		1 ISSUED FOR CLIENT REVIEW													
5															
4															
3															
2															
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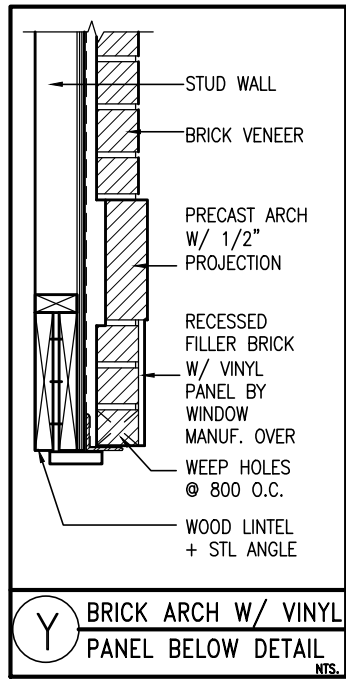
VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
v3design.com

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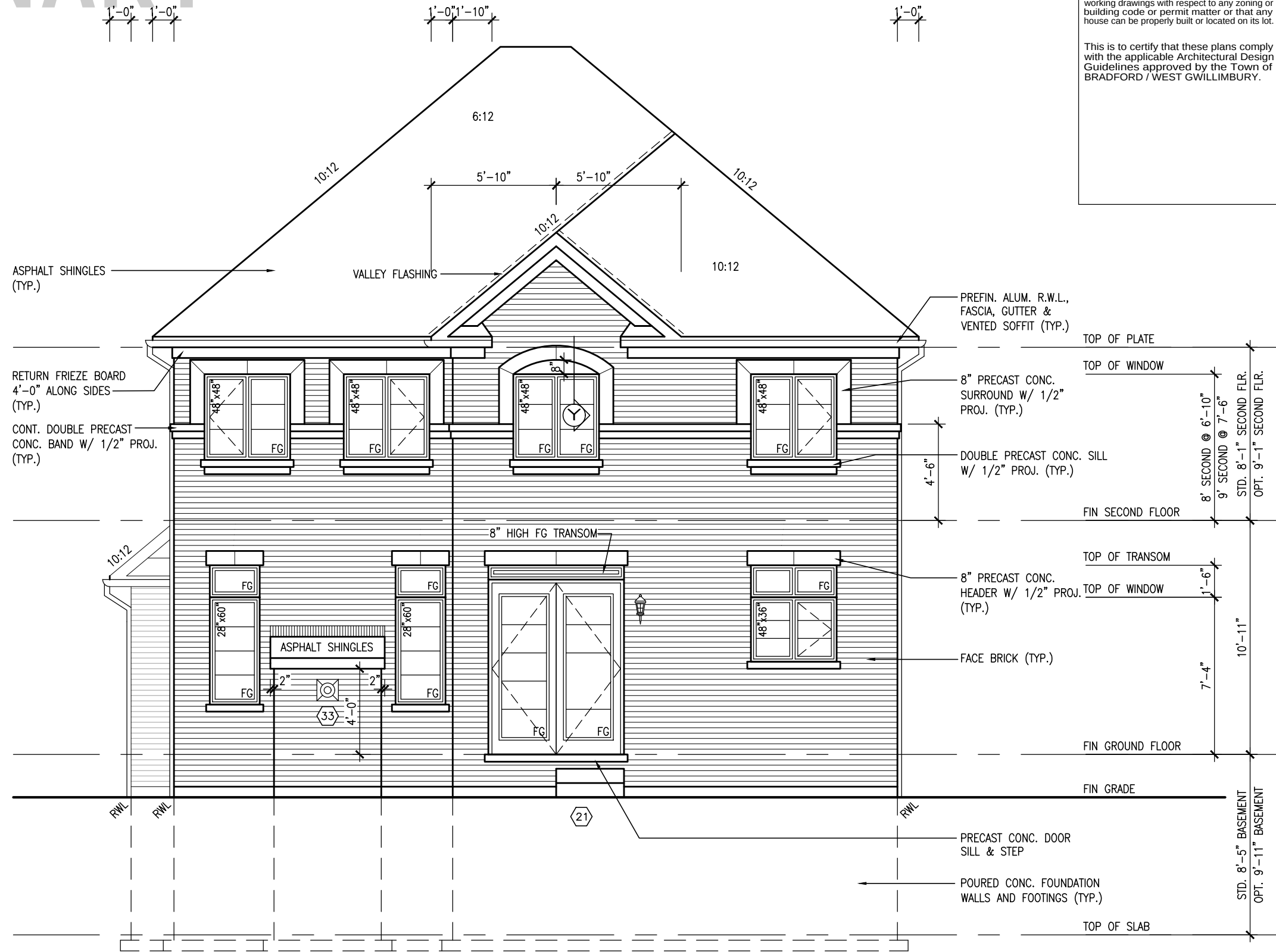
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ROOF PLAN 'B'
UPGRADED REAR



10' GROUND



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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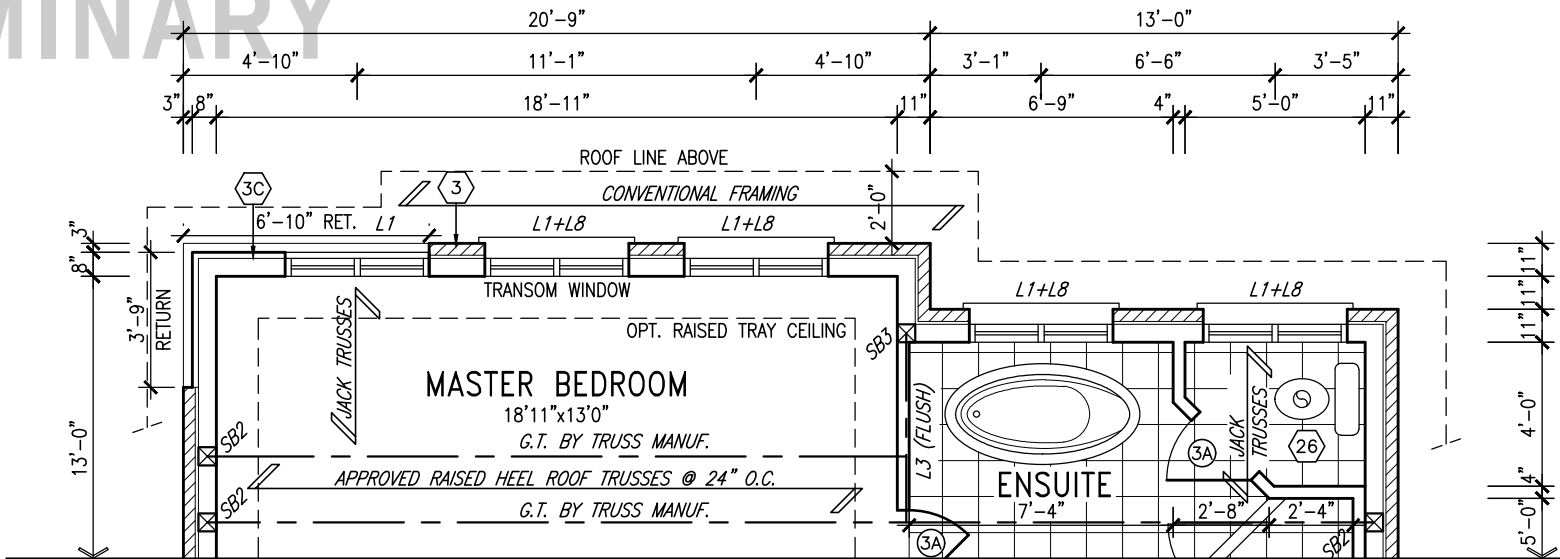
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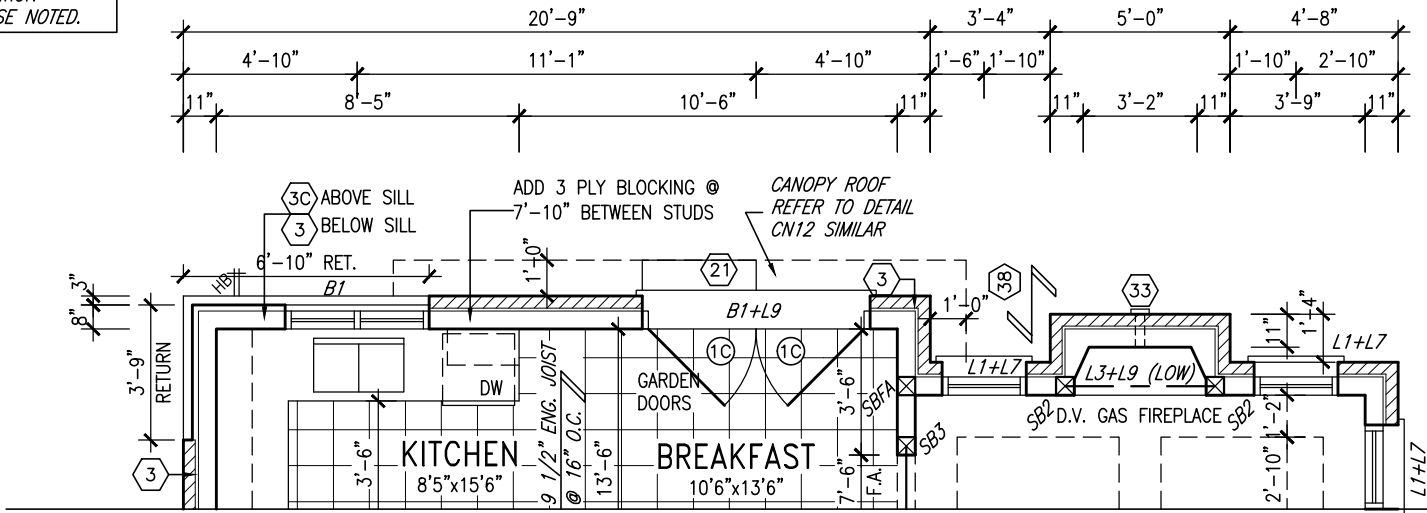
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10' GROUND

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION
UNLESS OTHERWISE NOTED.



PARTIAL STD & OPT SECOND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE



PARTIAL STD & OPT GROUND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

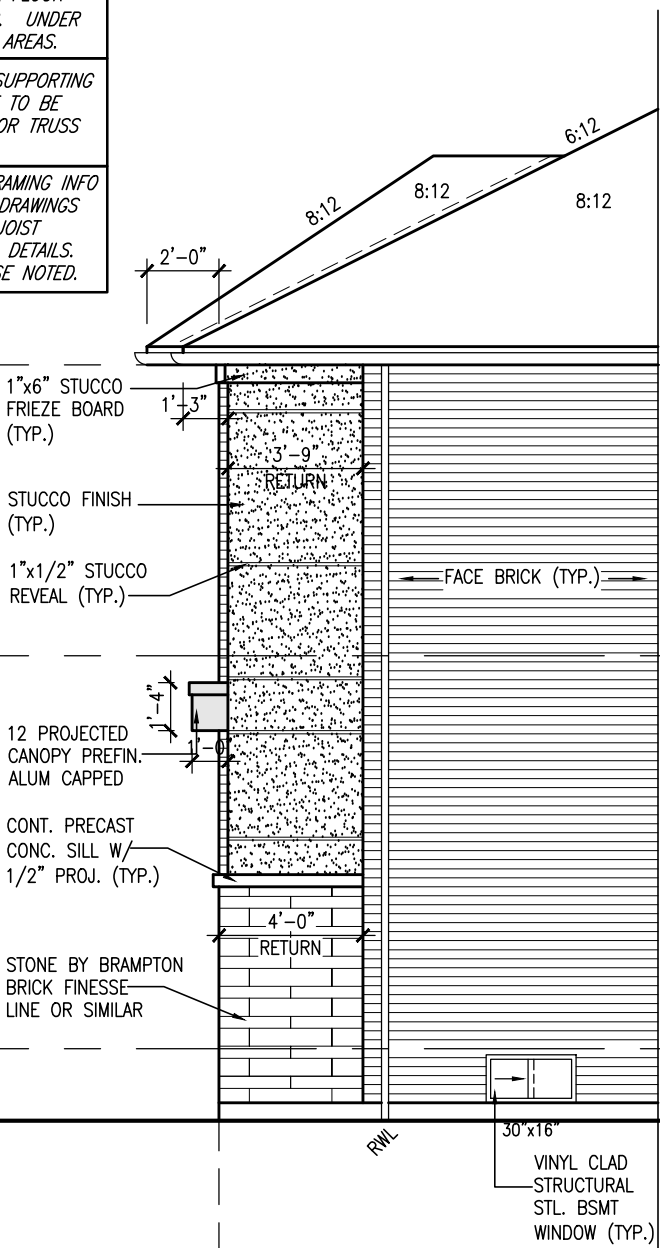
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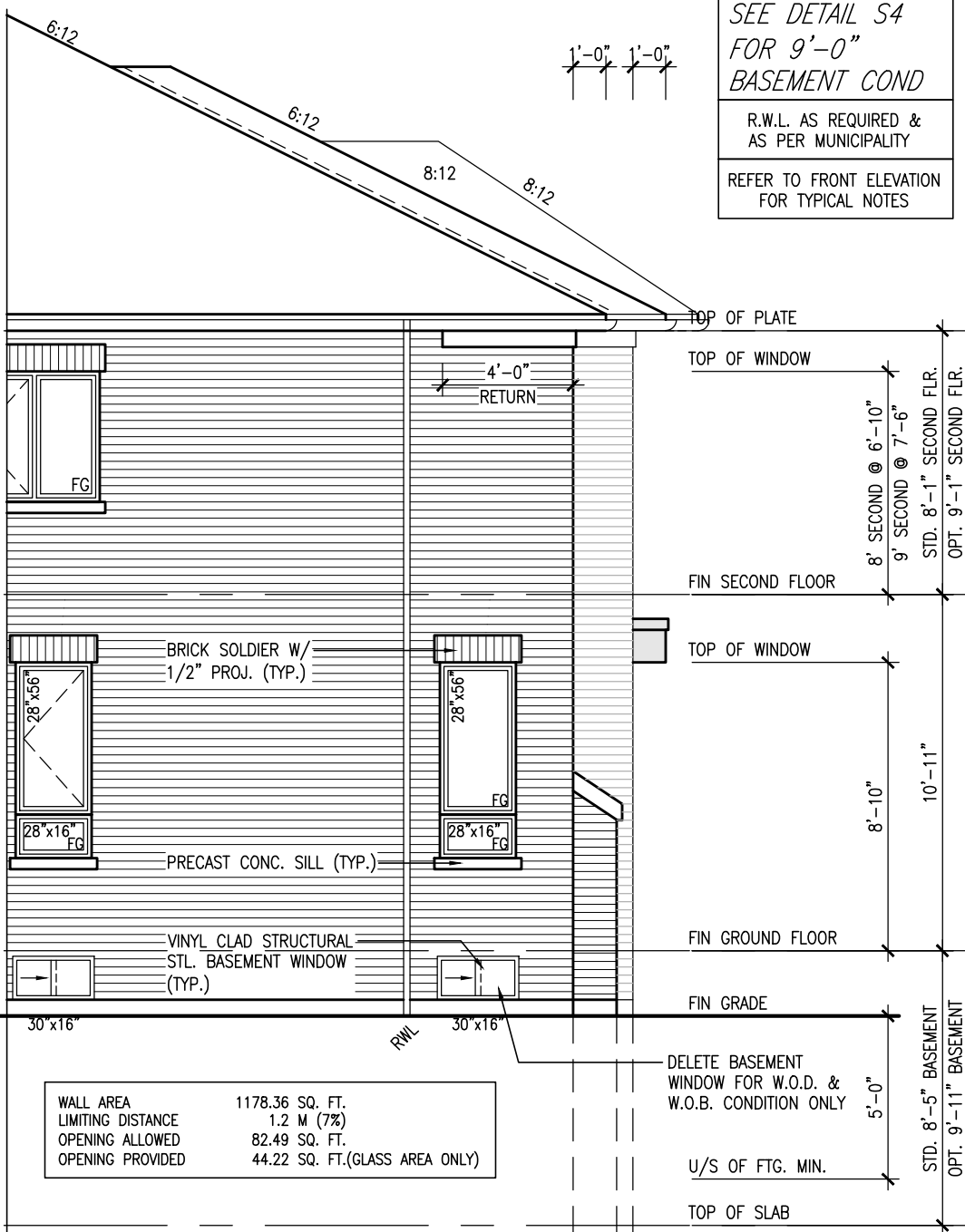
SEE DETAIL S4
FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



PARTIAL LEFT SIDE REAR
UPGRADE ELEVATION 'C'



PARTIAL RIGHT SIDE REAR
UPGRADE ELEVATION 'C'

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 20-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 20-21	KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
FEBRUARY, 2017

drawn by
WT

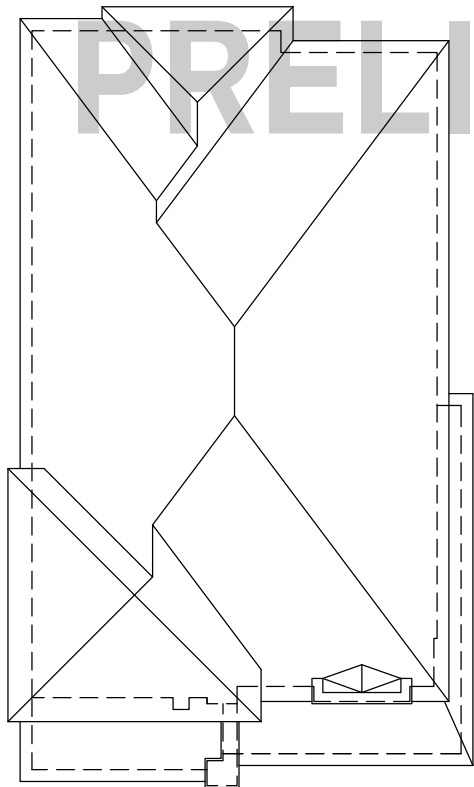
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16023-S42-5-10GRND

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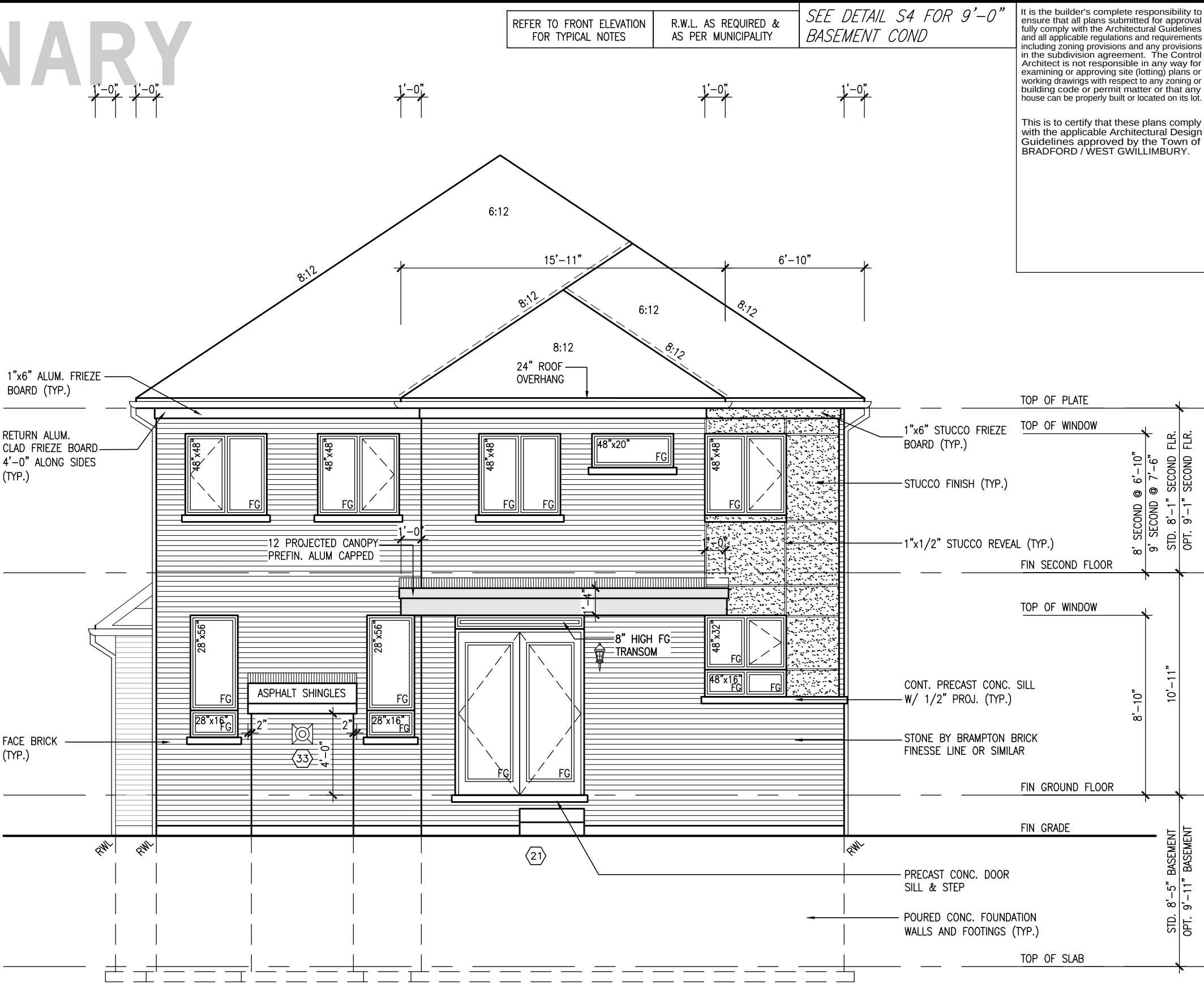
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ROOF PLAN 'C'
UPGRADED REAR

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-5'C' W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	67.78 S.F.	5.62 %
REAR	708.75 S.F.	170.61 S.F.	24.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3847.44 S.F.	547.05 S.F.	14.22 %
TOTAL SQ. M.	357.44 S.M.	50.82 S.M.	14.22 %

10' GROUND



UPGRADED REAR ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9

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no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

KL

JUL 20-21

JAN 22-18

RC

project name

GREEN VALLEY EAST

project no.

16023

municipality

BRADFORD, ONT.

date

FEBRUARY, 2017

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

file name

16023-S42-5-10GRND

drawing no.

31

S42-5

RIDEAU 5

BAYVIEW WELLINGTON

UPGRADED REAR ELEVATION 'C'

VA3 DESIGN

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5' C' WOD W/8' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	67.78 S.F.	5.62 %
REAR	843.75 S.F.	199.50 S.F.	23.64 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3982.44 S.F.	575.94 S.F.	14.46 %
TOTAL SQ. M.	369.98 S.M.	53.51 S.M.	14.46 %

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

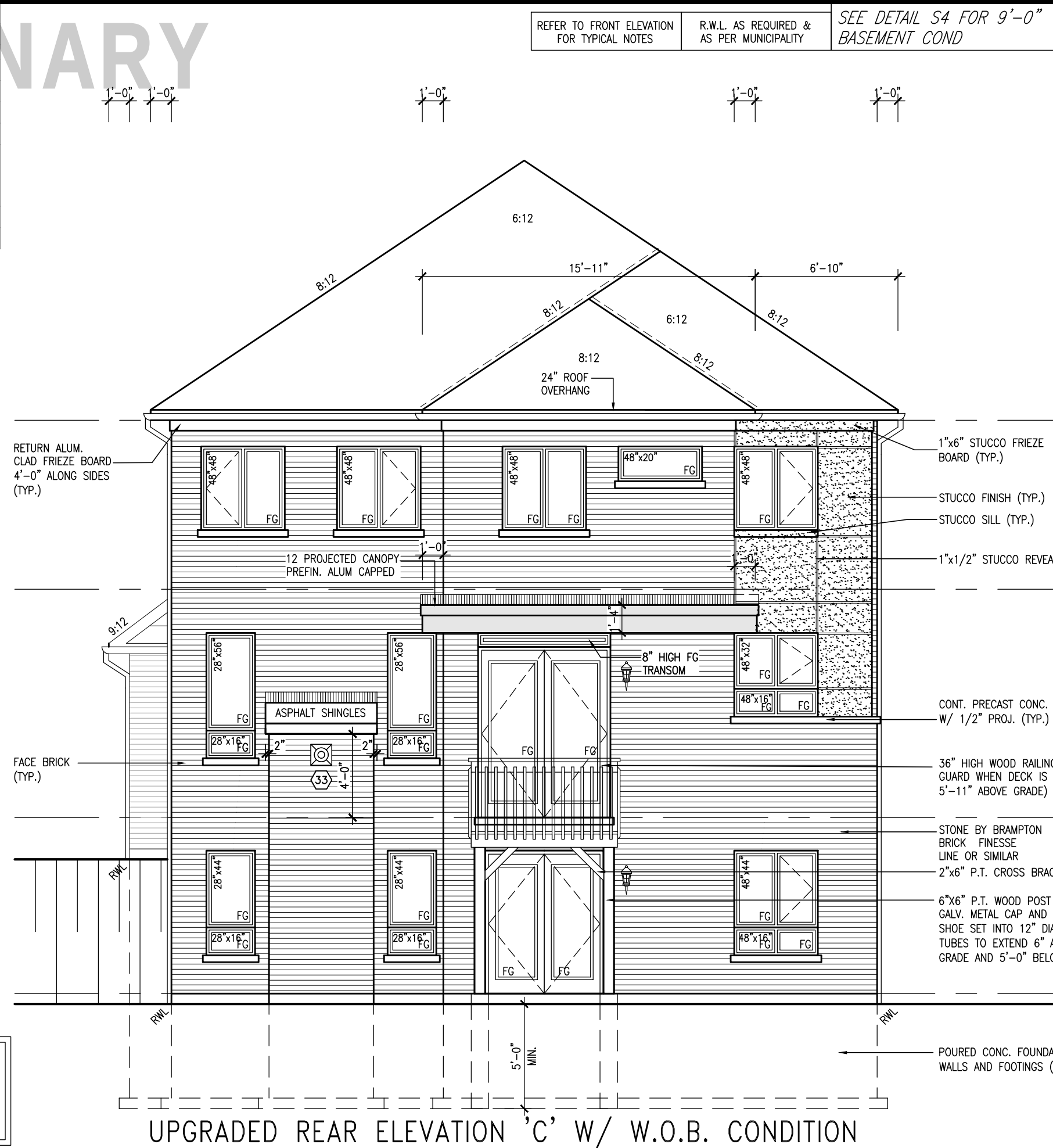


BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

[illegible]

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5' C' WOB W/8' 2ND & REAR UPG ENERGY EFFICIENCY -- OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	67.78 S.F.	5.62 %
REAR	942.19 S.F.	252.67 S.F.	26.82 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4080.88 S.F.	629.11 S.F.	15.42 %
TOTAL SQ. M.	379.12 S.M.	58.45 S.M.	15.42 %



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10' GROUND

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4 10' GROUND FLOOR		JUL 20-21		KL	
3 ADDED OPT. 9' BASEMENT		JUL 20-21		KL	
2 REVISED AS PER ENG'S COMMENTS		JAN 22-18		RC	
1 ISSUED FOR CLIENT REVIEW		.		.	
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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. The Designer is not responsible for any errors or omissions in the design or drawings which must be returned at the completion of the work. Drawings are not to be scaled.	
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project name		project no.	
BAYVIEW WELLINGTON		16023	
GREEN VALLEY EAST		16023	
BRADFORD, ONT.		16023	
date		drawing no.	
FEBRUARY, 2017		33	
drawn by		file name	
RC		16023-S42-5-10GRND	
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RC		3/16" = 1'-0"	
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drawn by		municipality	
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.A W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.78 S.F.	167.61 S.F.	22.00 %
LEFT SIDE	1222.83 S.F.	108.44 S.F.	8.87 %
RIGHT SIDE	1222.83 S.F.	70.11 S.F.	5.73 %
REAR	742.50 S.F.	168.28 S.F.	22.66 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3949.94 S.F.	514.44 S.F.	13.02 %
TOTAL SQ. M.	366.96 S.M.	47.79 S.M.	13.02 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.17 S.F.	164.11 S.F.	21.65 %
LEFT SIDE	1232.94 S.F.	108.44 S.F.	8.80 %
RIGHT SIDE	1232.94 S.F.	70.11 S.F.	5.69 %
REAR	742.50 S.F.	168.28 S.F.	22.66 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3966.55 S.F.	510.94 S.F.	12.88 %
TOTAL SQ. M.	368.50 S.M.	47.47 S.M.	12.88 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	70.11 S.F.	5.55 %
REAR	742.50 S.F.	168.28 S.F.	22.66 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4027.62 S.F.	547.05 S.F.	13.58 %
TOTAL SQ. M.	374.18 S.M.	50.82 S.M.	13.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5'c' W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	67.78 S.F.	5.37 %
REAR	742.50 S.F.	170.61 S.F.	22.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4027.62 S.F.	547.05 S.F.	13.58 %
TOTAL SQ. M.	374.18 S.M.	50.82 S.M.	13.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.A WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.78 S.F.	167.61 S.F.	22.00 %
LEFT SIDE	1222.83 S.F.	108.44 S.F.	8.87 %
RIGHT SIDE	1222.83 S.F.	70.11 S.F.	5.73 %
REAR	877.50 S.F.	197.17 S.F.	22.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4084.94 S.F.	543.33 S.F.	13.30 %
TOTAL SQ. M.	379.50 S.M.	50.48 S.M.	13.30 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.17 S.F.	164.11 S.F.	21.65 %
LEFT SIDE	1232.94 S.F.	108.44 S.F.	8.80 %
RIGHT SIDE	1232.94 S.F.	70.11 S.F.	5.69 %
REAR	877.50 S.F.	197.17 S.F.	22.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4101.55 S.F.	539.83 S.F.	13.16 %
TOTAL SQ. M.	381.04 S.M.	50.15 S.M.	13.16 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	70.11 S.F.	5.55 %
REAR	877.50 S.F.	197.17 S.F.	22.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4162.62 S.F.	575.94 S.F.	13.84 %
TOTAL SQ. M.	386.72 S.M.	53.51 S.M.	13.84 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5'c' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	67.78 S.F.	5.37 %
REAR	877.50 S.F.	199.50 S.F.	22.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4162.62 S.F.	575.94 S.F.	13.84 %
TOTAL SQ. M.	386.72 S.M.	53.51 S.M.	13.84 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.A WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.78 S.F.	167.61 S.F.	22.00 %
LEFT SIDE	1222.83 S.F.	108.44 S.F.	8.87 %
RIGHT SIDE	1222.83 S.F.	70.11 S.F.	5.73 %
REAR	975.94 S.F.	250.33 S.F.	25.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4183.38 S.F.	596.49 S.F.	14.26 %
TOTAL SQ. M.	388.65 S.M.	55.42 S.M.	14.26 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.17 S.F.	164.11 S.F.	21.65 %
LEFT SIDE	1232.94 S.F.	108.44 S.F.	8.80 %
RIGHT SIDE	1232.94 S.F.	70.11 S.F.	5.69 %
REAR	975.94 S.F.	250.33 S.F.	25.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4199.99 S.F.	592.99 S.F.	14.12 %
TOTAL SQ. M.	390.19 S.M.	55.09 S.M.	14.12 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	70.11 S.F.	5.55 %
REAR	975.94 S.F.	250.33 S.F.	25.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4261.06 S.F.	629.10 S.F.	14.76 %
TOTAL SQ. M.	395.86 S.M.	58.44 S.M.	14.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5'c' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	67.78 S.F.	5.37 %
REAR	975.94 S.F.	252.67 S.F.	25.89 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4261.06 S.F.	629.11 S.F.	14.76 %
TOTAL SQ. M.	395.86 S.M.	58.45 S.M.	14.76 %

10' GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

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no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

JUL 20-21

JUL 20-21

JAN 22-18

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KL

RC

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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAB

DESIGN

255 Consumers Rd, Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

FEBRUARY, 2017

WT

project name

date

drawn by

checked by

scale

3/16" = 1'-0"

RC

WT

project no.

16023

drawing no.

34

project name

BAYVIEW WELLINGTON

municipality

BRADFORD, ONT.

project no.

16023

drawing no.

34

project name

S42-5

municipality

RIDEAU 5

project no.

16023

drawing no.

34

project name

S42-5

municipality

RIDEAU 5

project no.

16023

drawing no.

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project name

S42-5

municipality

RIDEAU 5

project no.

16023

drawing no.

34

project name

S42-5

municipality

RIDEAU 5

project no.

16023

drawing no.

34

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12.3.1.1(7))		<u>UN</u>
S42-5 ELA WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12	S42-5 ELA

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
S42-5 ELA WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	728.03 S.F.	167.61 S.F.	23.02 %
LEFT SIDE	1167.25 S.F.	108.44 S.F.	9.29 %
RIGHT SIDE	1167.25 S.F.	70.11 S.F.	6.01 %
REAR	992.81 S.F.	250.33 S.F.	25.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4055.34 S.F.	596.49 S.F.	14.71 %
TOTAL SQ. M.	376.75 S.M.	55.42 S.M.	14.71 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.42 S.F.	164.11 S.F.	22.65 %
LEFT SIDE	1176.85 S.F.	108.44 S.F.	9.21 %
RIGHT SIDE	1176.75 S.F.	70.11 S.F.	5.96 %
REAR	992.81 S.F.	250.33 S.F.	25.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4070.83 S.F.	592.99 S.F.	14.57 %
TOTAL SQ. M.	378.19 S.M.	55.09 S.M.	14.57 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-5 E.L.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	70.11 S.F.	5.81 %
REAR	992.81 S.F.	250.33 S.F.	25.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4131.50 S.F.	629.10 S.F.	15.23 %
TOTAL SQ. M.	383.83 S.M.	58.44 S.M.	15.23 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 ELC WOB W/9' BSMT+8' 2ND & REAR UPGG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	738.03 S.F.	188.22 S.F.	25.50 %
LEFT SIDE	1194.97 S.F.	120.44 S.F.	10.08 %
RIGHT SIDE	1205.69 S.F.	67.78 S.F.	5.62 %
REAR	992.81 S.F.	252.67 S.F.	25.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4131.50 S.F.	629.11 S.F.	15.23 %
TOTAL SQ. M.	383.83 S.M.	58.45 S.M.	15.23 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 ELA WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.78 S.F.	167.61 S.F.	22.00 %
LEFT SIDE	1222.83 S.F.	108.44 S.F.	8.87 %
RIGHT SIDE	1222.83 S.F.	70.11 S.F.	5.73 %
REAR	1026.56 S.F.	250.33 S.F.	24.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4234.00 S.F.	596.49 S.F.	14.09 %
TOTAL SQ. M.	393.35 S.M.	55.42 S.M.	14.09 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	758.17 S.F.	164.11 S.F.	21.65 %
LEFT SIDE	1232.94 S.F.	108.44 S.F.	8.80 %
RIGHT SIDE	1232.94 S.F.	70.11 S.F.	5.69 %
REAR	1026.56 S.F.	250.33 S.F.	24.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4250.61 S.F.	592.99 S.F.	13.95 %
TOTAL SQ. M.	394.89 S.M.	55.09 S.M.	13.95 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-5 E.L.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	70.11 S.F.	5.55 %
REAR	1026.56 S.F.	250.33 S.F.	24.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4311.68 S.F.	629.10 S.F.	14.59 %
TOTAL SQ. M.	400.56 S.M.	58.44 S.M.	14.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-5 ELC WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	771.78 S.F.	188.22 S.F.	24.39 %
LEFT SIDE	1251.06 S.F.	120.44 S.F.	9.63 %
RIGHT SIDE	1262.28 S.F.	67.78 S.F.	5.37 %
REAR	1026.56 S.F.	252.67 S.F.	24.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	4311.68 S.F.	629.11 S.F.	14.59 %
TOTAL SQ. M.	400.56 S.M.	58.45 S.M.	14.59 %

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