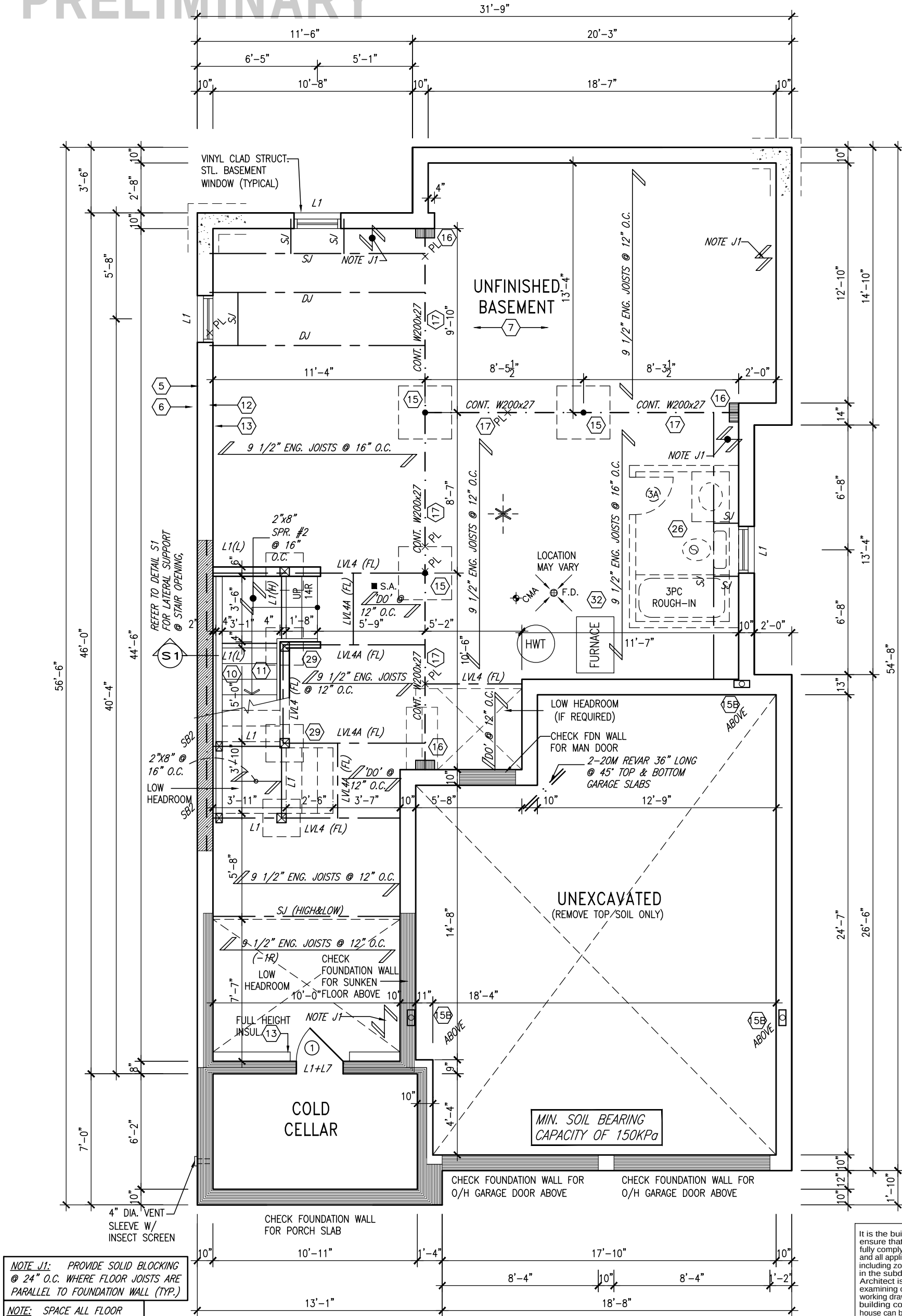


PRELIMINARY

10' GROUND



NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).

-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH

-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

AREA CHART ON PAGE 6

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9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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va3design.com

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONTARIO

project no.
16023

date
SEPTEMBER, 2016

drawn by
JM

checked by
RC

scale
3/16" = 1'-0"

BASEMENT PLAN 'A'

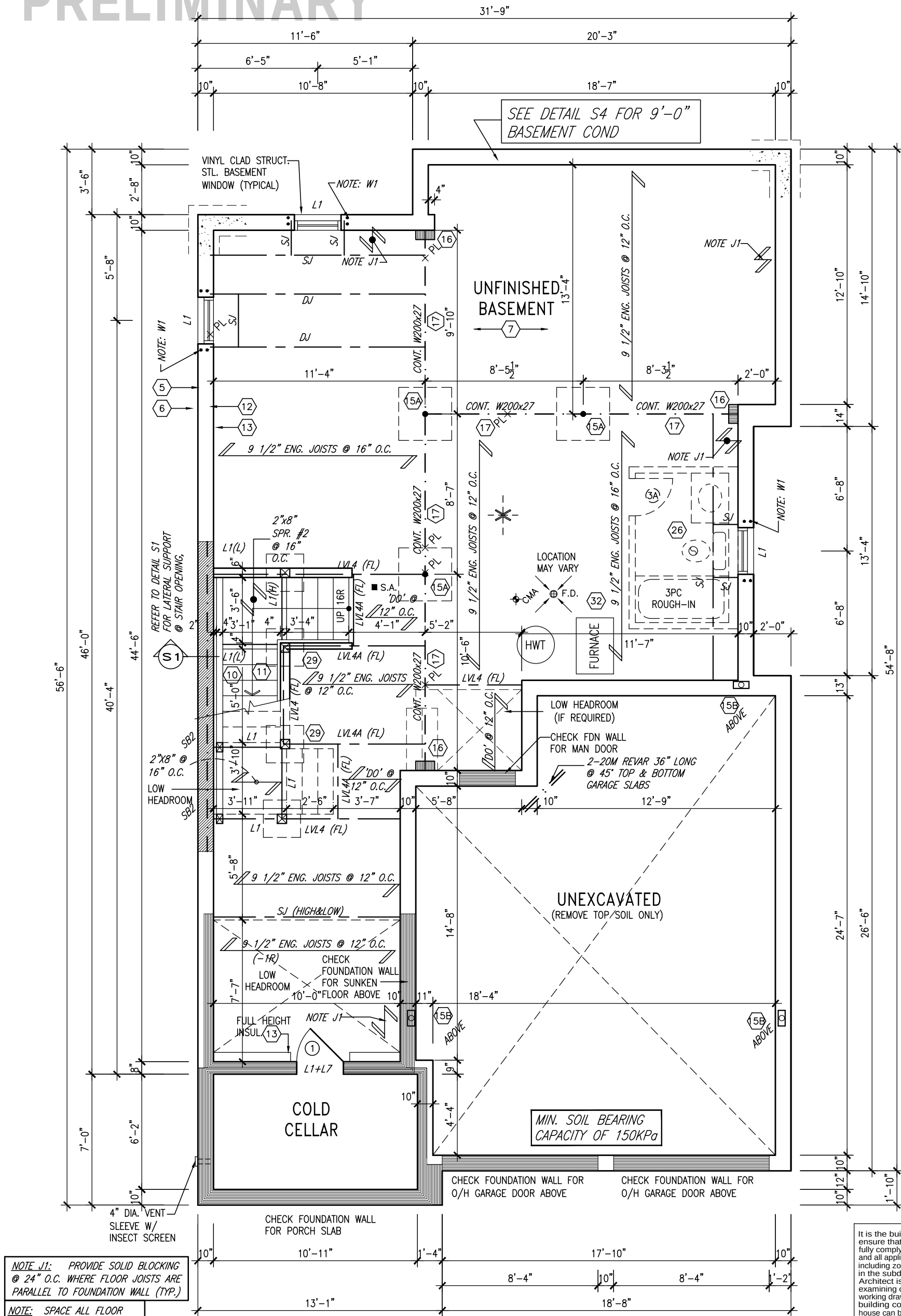
file name
16023-S38-17-10GRND

drawing no.
1

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PRELIMINARY

10' GROUND



NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

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9	.	.	.
8	.	.	.
7	.	.	.
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2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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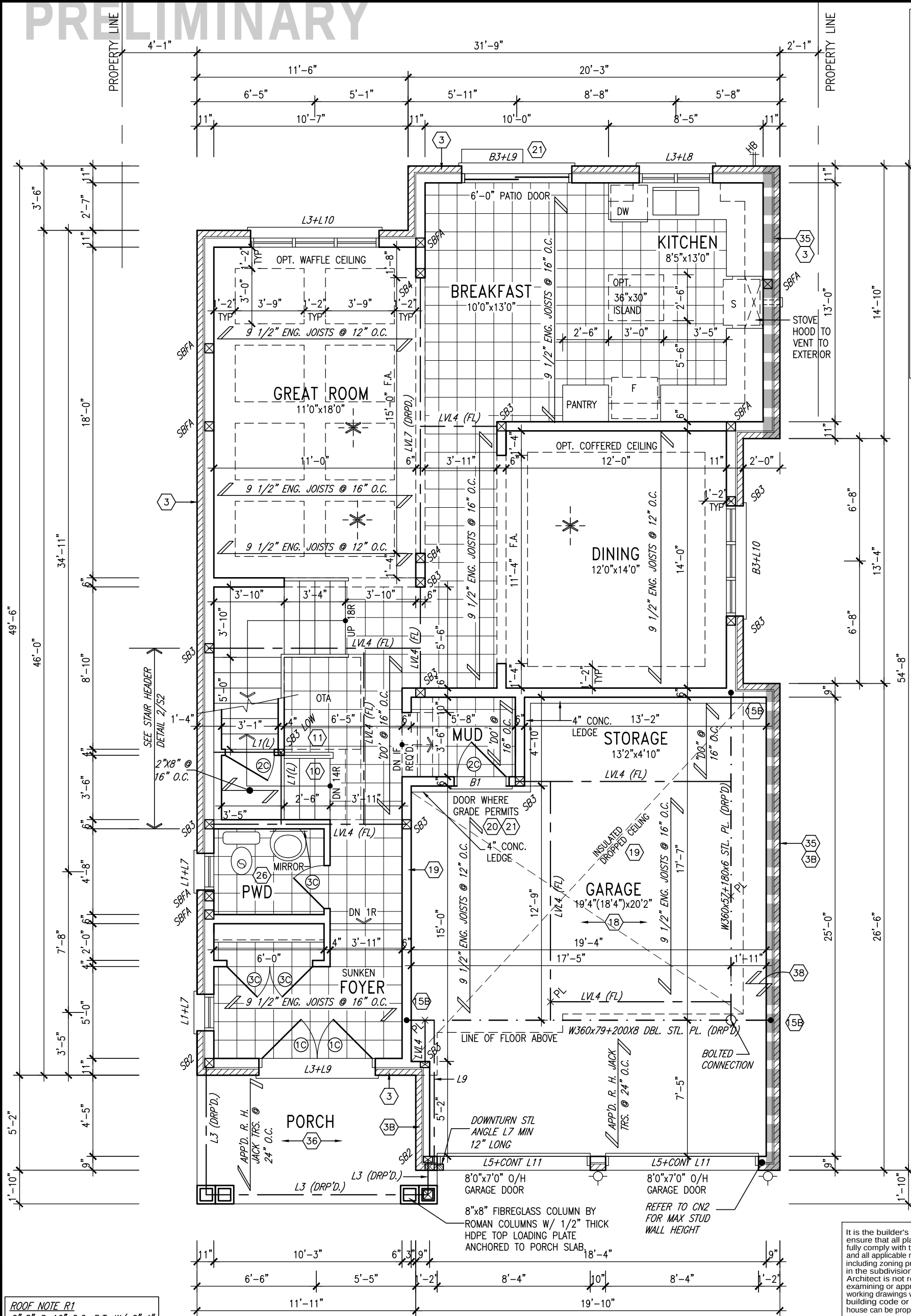
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va3design.com

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO	project no.	16023
date	SEPTEMBER, 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	JM	file name	16023-S38-17-10GRND	drawing no.	1A
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PRELIMINARY



10' GROUND

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
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INFORMATION AND DETAILS.
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INDICATES REDUCED SIDE YARD

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GROUND FLOOR PLAN 'A' (10'-0" GROUND)

9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
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no.	description	date	by

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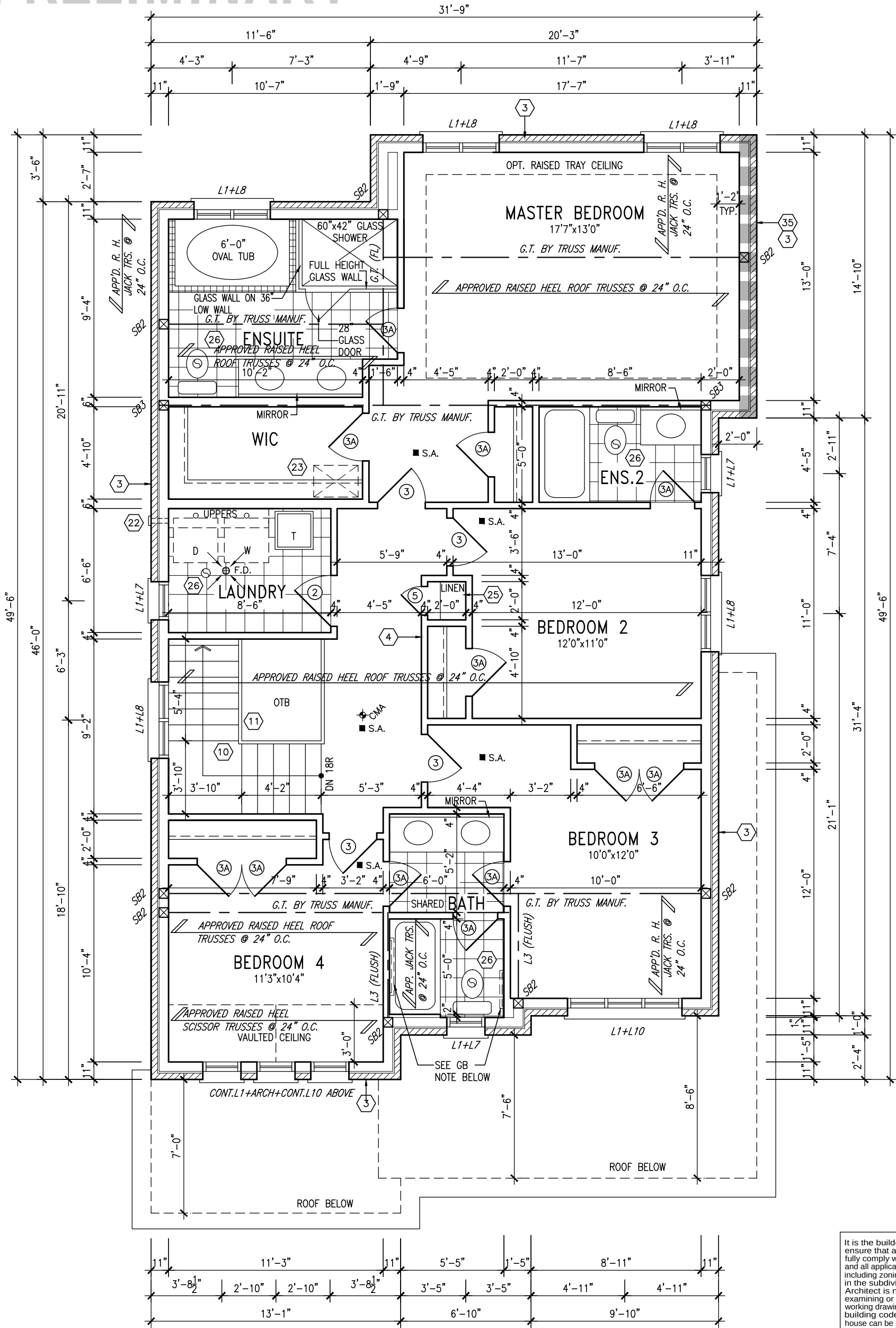
BAYVIEW WELLINGTON

**S38-17
BAROSSA 17**

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO	project no.	16023
date	SEPTEMBER, 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	JM	file name	16023-S38-17-10GRND	drawing no.	2
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PRELIMINARY

10' GROUND



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
GB-NOTE-2020.dwg

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

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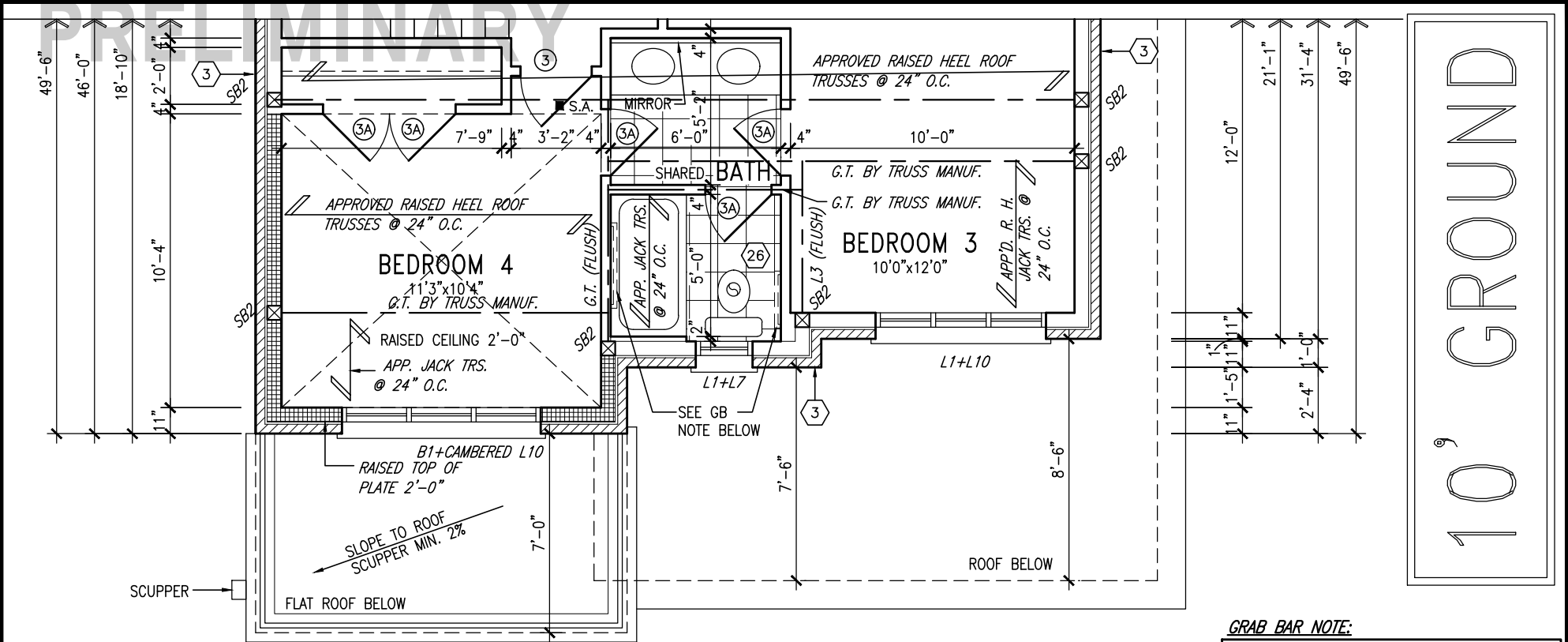
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9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
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no.	description	date	by

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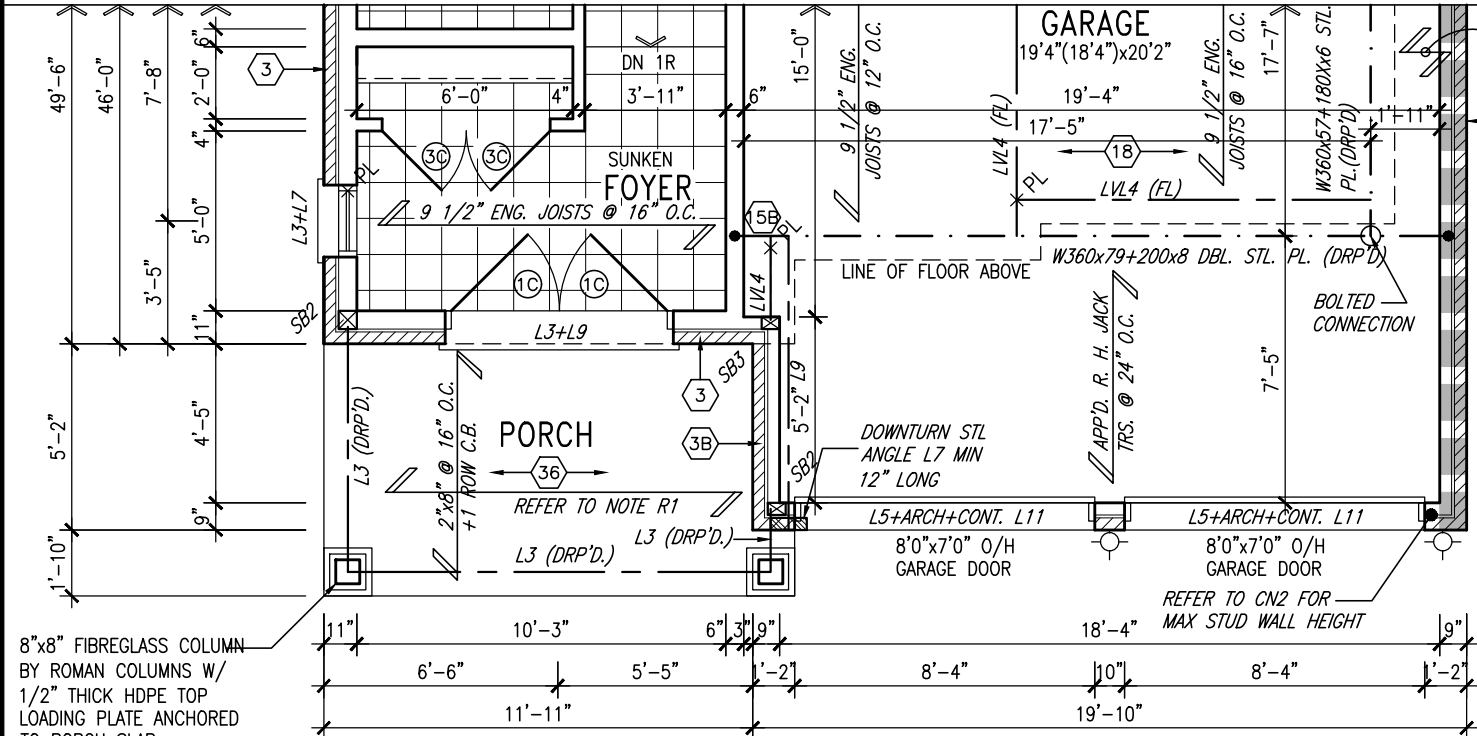
BAYVIEW WELLINGTON		S38-17 BAROSSA 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
date	SEPTEMBER, 2016	project no.	16023
drawn by	JM	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S38-17-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-17-10GRND.DWG - Tue - Jun 22 2021 - 1:54 PM		SECOND FLOOR PLAN 'A'	
		drawing no.	
		3	



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED.

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ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
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LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg

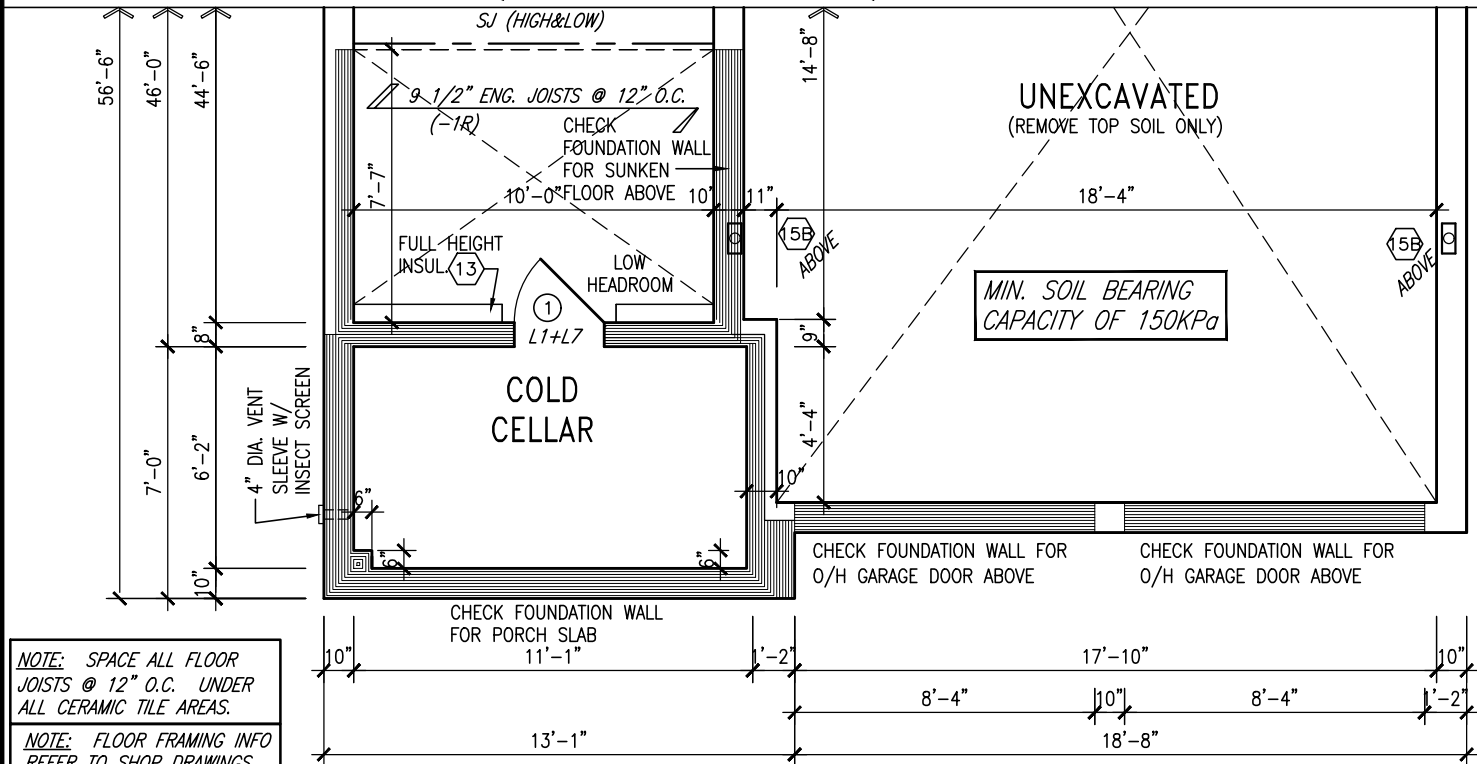
PART. SECOND FLOOR PLAN 'B'



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C.
DIAGONALLY CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/ SINGLE PLY
ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
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PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'B'
(10'-0" GROUND)



**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS
INSULATION (RIGID or SPRAY
FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL
FINISH
-EXTEND EXTERIOR WALL
FOOTING TO SUPPORT 2"x4"
WALL WHERE LOAD BEARING.

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NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
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MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
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INDICATES REDUCED SIDE YARD

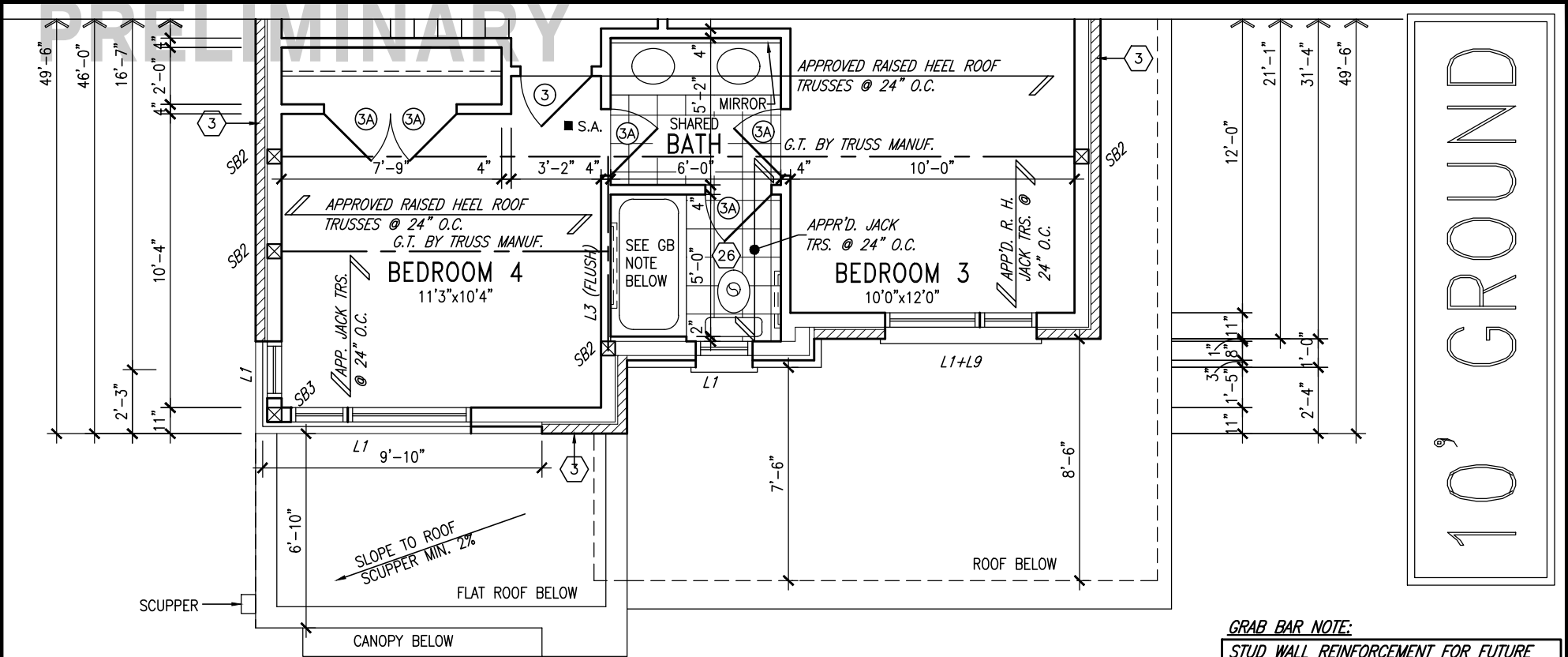
NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
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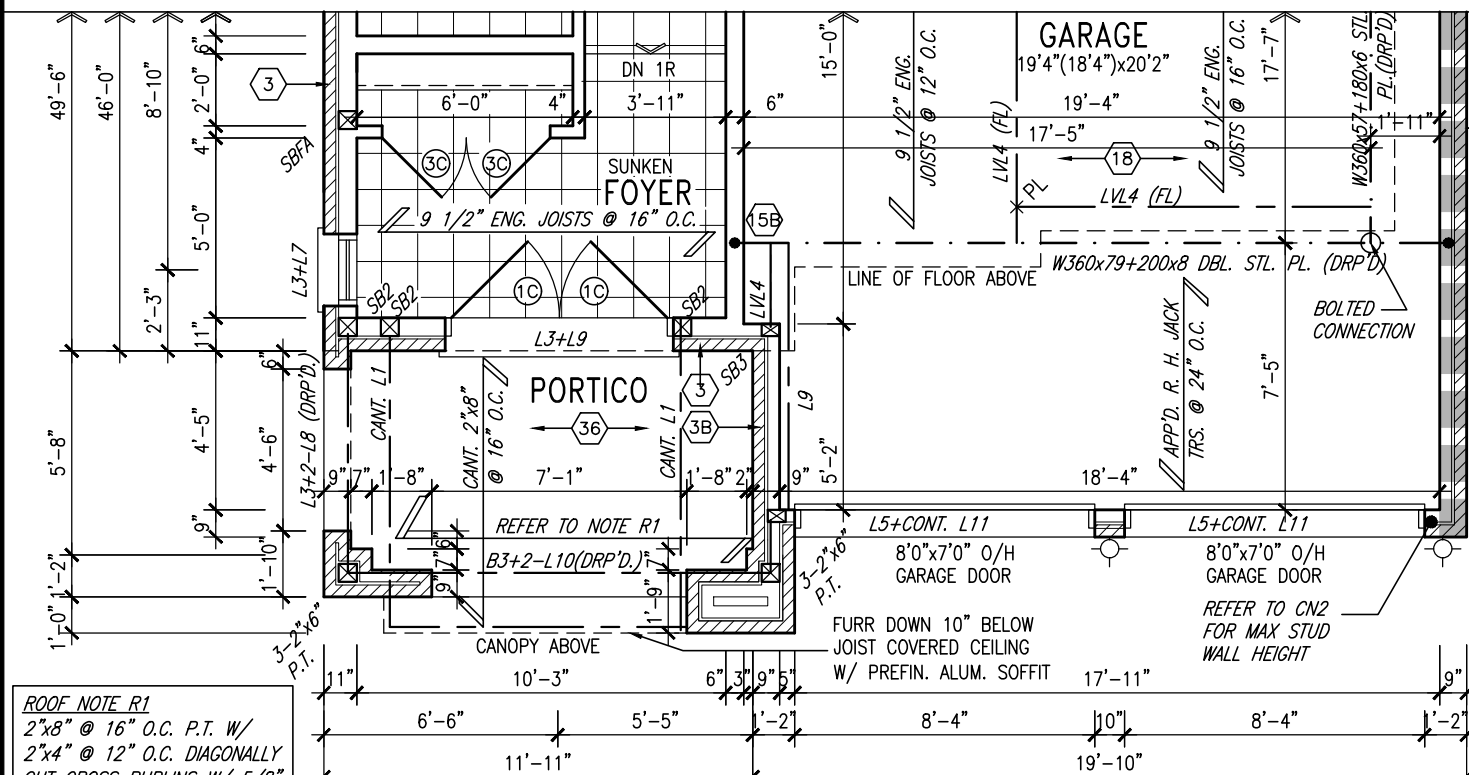
BAYVIEW WELLINGTON			S38-17 BAROSSA 17	
project name GREEN VALLEY EAST		municipality BRADFORD, ONTARIO		project no. 16023
date SEPTEMBER, 2016			PART. PLANS 'B'	
drawn by JM	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-17-10GRND	drawing no. 4
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NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION
REFER TO ROOF TRUSS SHOP
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GB-NOTE-2020.dwg

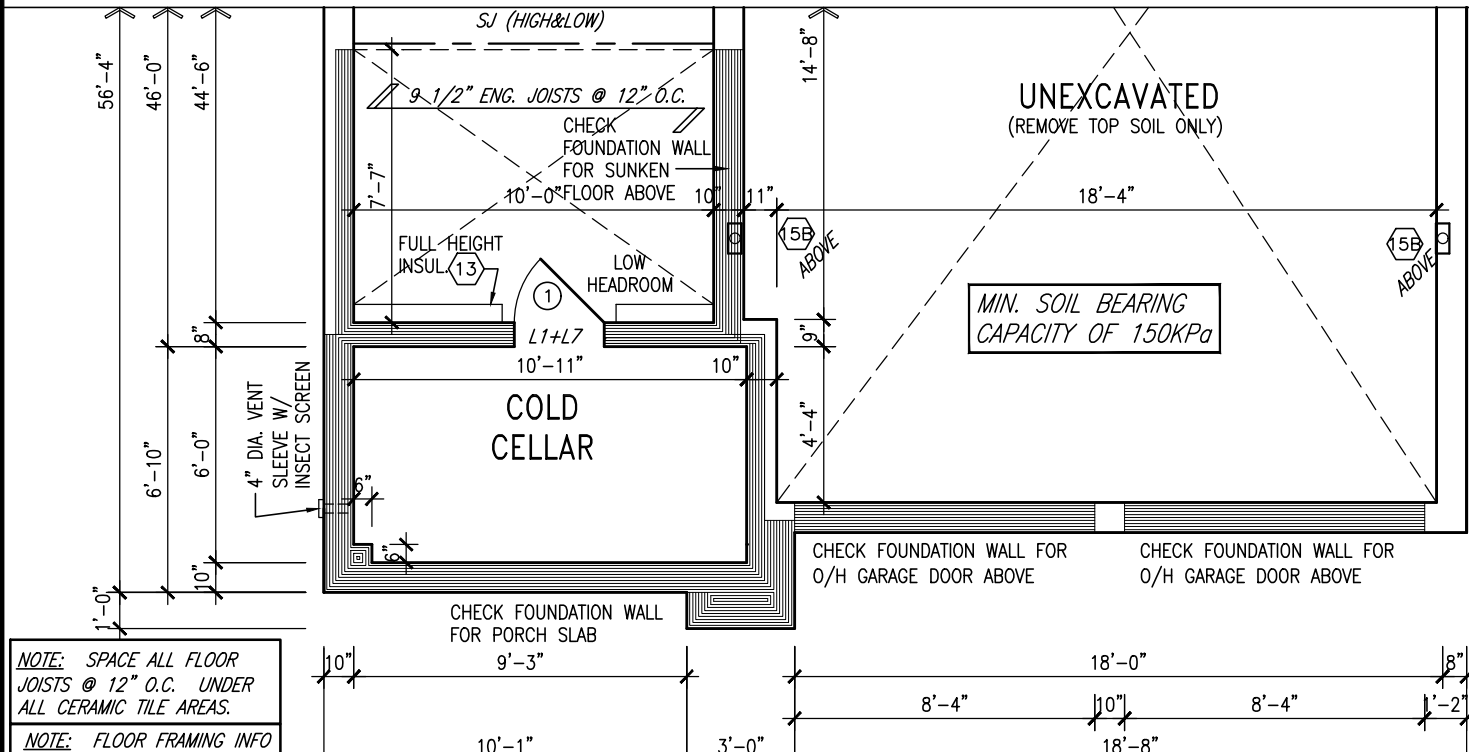
PART. SECOND FLOOR PLAN 'C'



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING
W/ SINGLE PLY ROOF
MEMBRANE

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• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'C' (10'-0" GROUND)



NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.
NOTE: FLOOR FRAMING INFO
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UNLESS OTHERWISE NOTED.
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MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD FLOOR PLANS
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**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS
INSULATION (RIGID or SPRAY
FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL
FINISH
-EXTEND EXTERIOR WALL
FOOTING TO SUPPORT 2"x4"
WALL WHERE LOAD BEARING.

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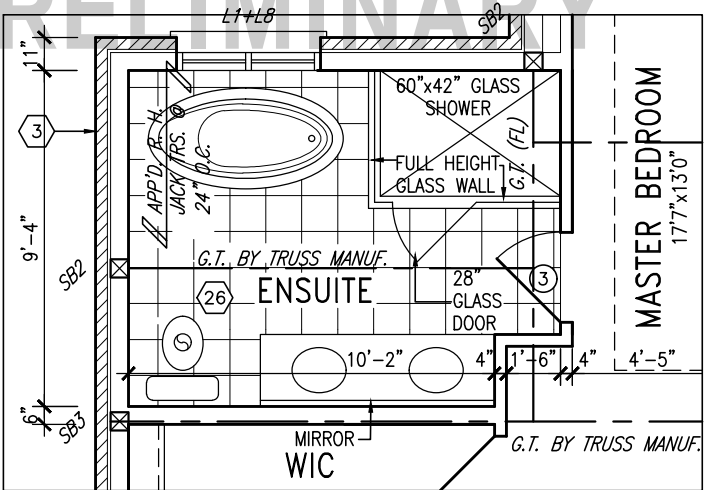
9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
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1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
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BAYVIEW WELLINGTON
project name
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municipality
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date
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RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-17-10GRND.DWG - Tue - Jun 22 2021 - 1:54 PM

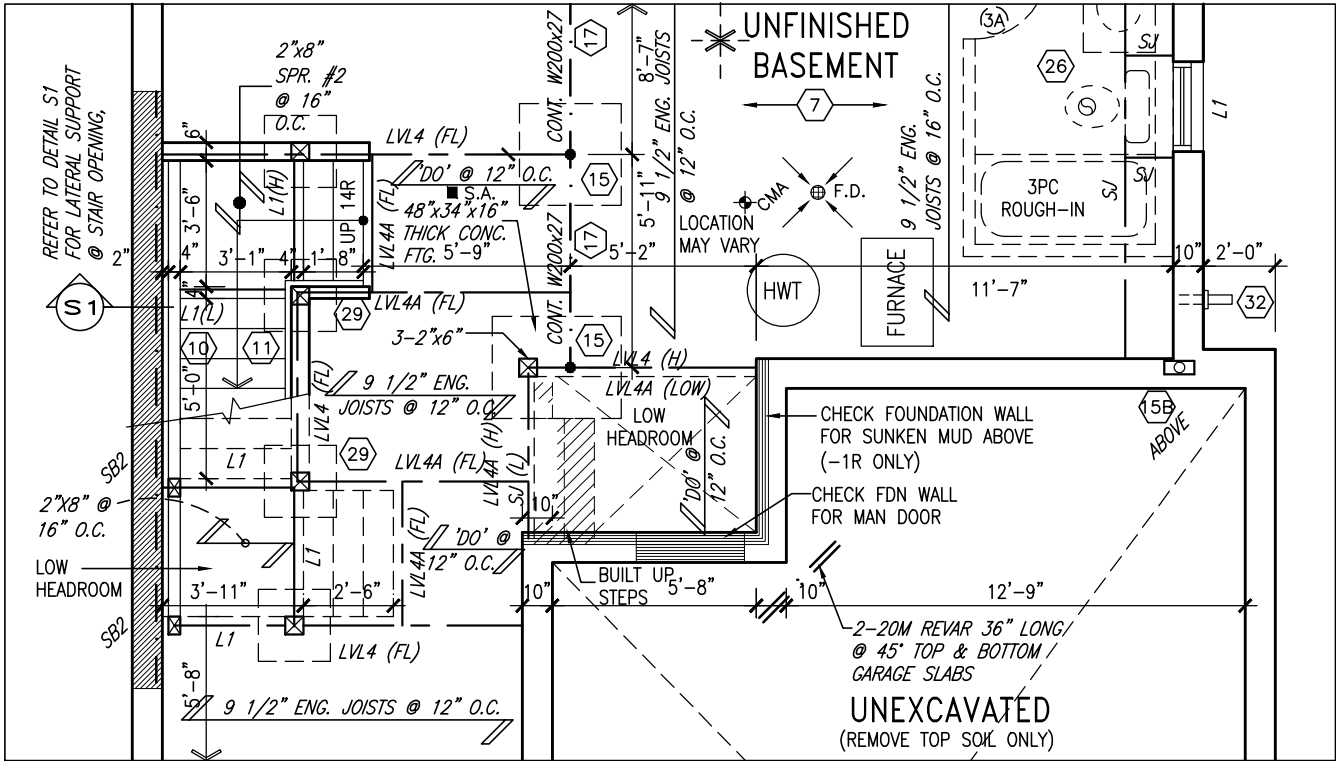
**S38-17
BAROSSA 17**
project no.
16023
PART. PLANS 'C'
file name
16023-S38-17-10GRND
drawing no.
5



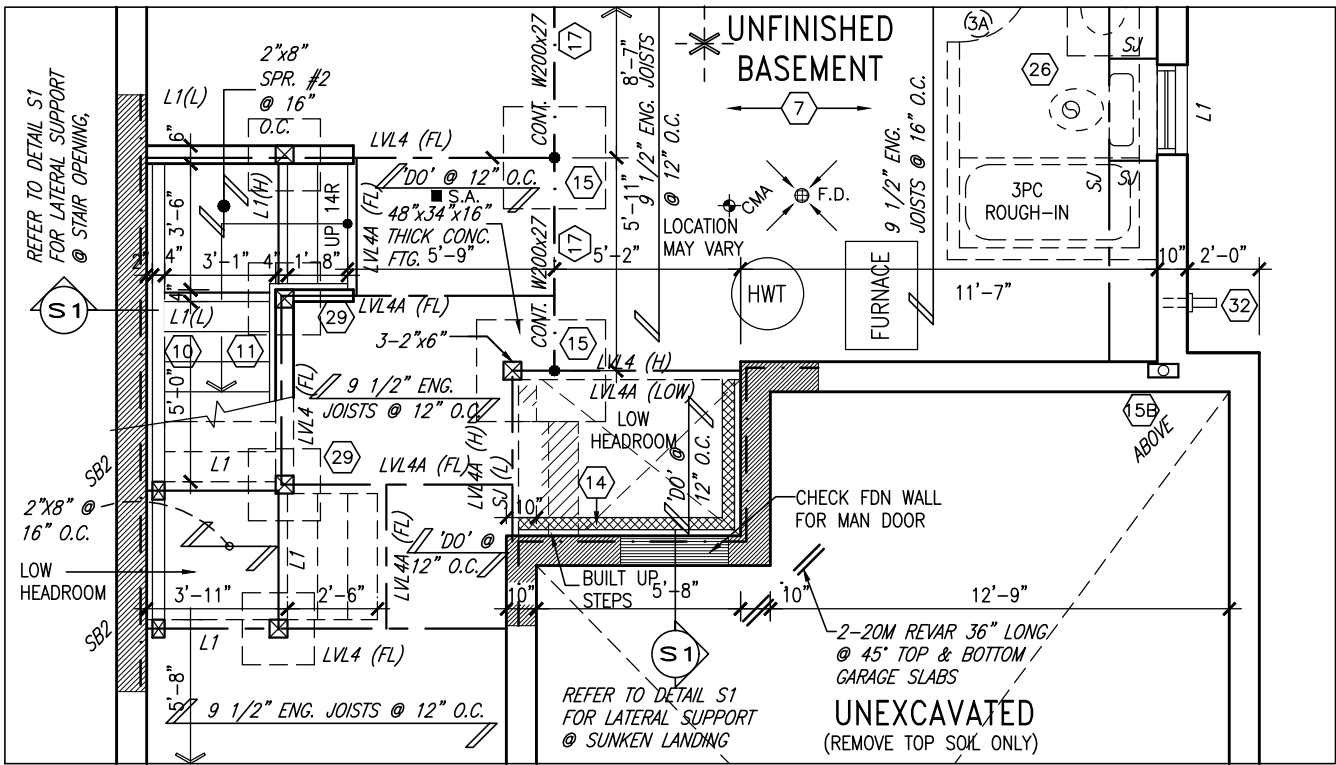
OPT. SECOND FLOOR W/
ALT. ENSUITE LAYOUT

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1119.8 SF	1119.8 SF	1119.8 SF
SECOND FLOOR AREA	1413.3 SF	1413.3 SF	1413.3 SF
SUBTOTAL	2533.1 SF	2533.1 SF	2533.1 SF
DEDUCT ALL OPENINGS	22.2 SF	22.2 SF	22.2 SF
TOTAL NET AREA	2511 SF	2511 SF	2511 SF
	233.3 m2	233.3 m2	233.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	2511 SF	2511 SF	2511 SF
	233.3 m2	233.3 m2	233.3 m2
COVERAGE W/O PORCH	1607.2 SF	1607.2 SF	1607.2 SF
	149.3 m2	149.3 m2	149.3 m2
COVERAGE W/PORCH	1692.7 SF	1692.7 SF	1693.6 SF
	157.3 m2	157.3 m2	157.3 m2

10' GROUND



PART. BASEMENT PLAN FOR SUNKEN MUD COND.



PART. BASEMENT PLAN FOR -2R OR
MORE SUNKEN MUD COND.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
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BASEMENT INSULATION AT
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-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

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9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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va3design.com

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONTARIO

project no.
16023

date
SEPTEMBER, 2016

drawn by
JM

checked by
RC

scale
3/16" = 1'-0"

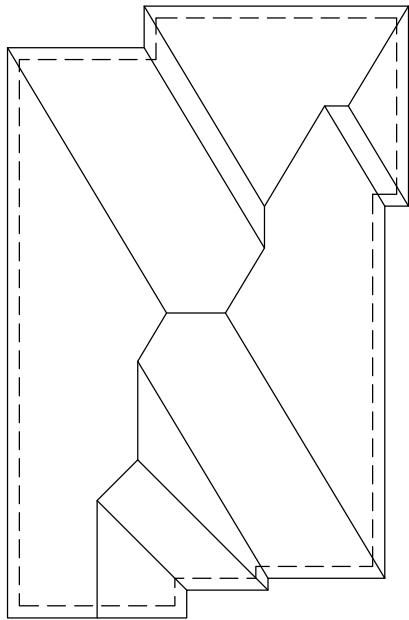
PART. PLANS

file name
16023-S38-17-10GRND

drawing no.
6

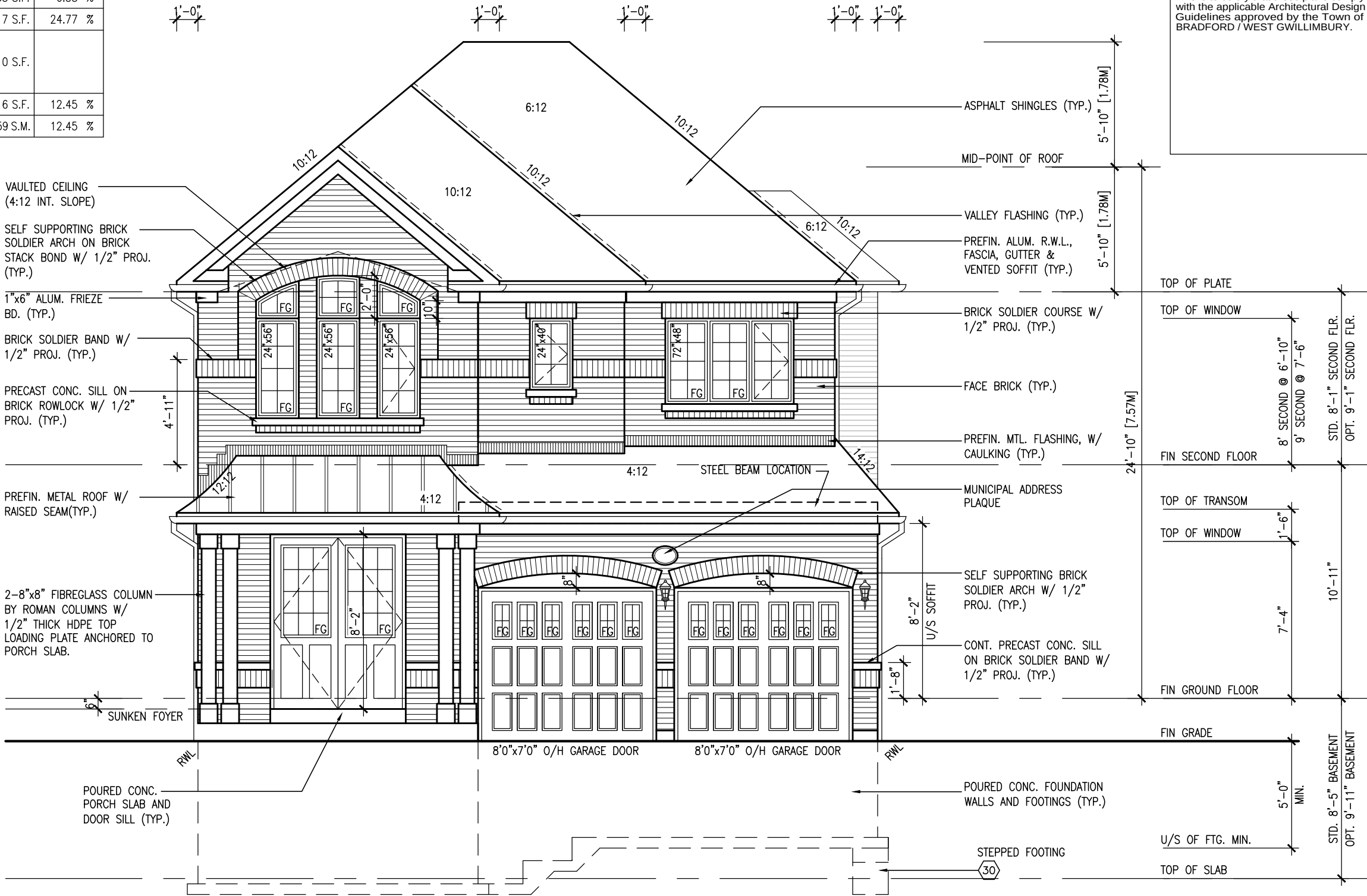
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-17 ELA W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	677.30 S.F.	144.33 S.F.	21.31 %	
LEFT SIDE	1039.50 S.F.	50.33 S.F.	4.84 %	
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %	
REAR	666.75 S.F.	165.17 S.F.	24.77 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3423.05 S.F.	426.16 S.F.	12.45 %	
TOTAL SQ. M.	318.01 S.M.	39.59 S.M.	12.45 %	



ROOF PLAN A

10' GROUND



FRONT ELEVATION 'A'

S38-17

BAROSSA 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

drawing no.

7

date

SEPTEMBER 2016

checked by

RC

scale

3/16" = 1'-0"

drawn by

WT

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONTARIO

file name

16023-S38-17-10GRND

date

16023-S38-17-10GRND.DWG - Tue - Jun 22 2021 - 1:54 PM

no.

9

description

10' GROUND FLOOR

no.

8

description

REVISED AS PER ENG COMMENTS

no.

7

description

ADD OPT. 9' BASEMENT

no.

6

description

ADD POINT LOAD ON STEEL BEAMS

no.

5

description

REVISED AS PER ENG COMMENTS

no.

4

description

ADD OPT. 9' BASEMENT

no.

3

description

ADD POINT LOAD ON STEEL BEAMS

no.

2

description

REVISED AS PER ENG COMMENTS

no.

1

description

REVISED BASEMENT WALLS TO BE 10"

no.

9

description

10' GROUND FLOOR

no.

8

description

REVISED AS PER ENG COMMENTS

no.

7

description

ADD OPT. 9' BASEMENT

no.

6

description

ADD POINT LOAD ON STEEL BEAMS

no.

5

description

REVISED AS PER ENG COMMENTS

no.

4

description

ADD OPT. 9' BASEMENT

no.

3

description

ADD POINT LOAD ON STEEL BEAMS

no.

2

description

REVISED AS PER ENG COMMENTS

no.

1

description

REVISED BASEMENT WALLS TO BE 10"

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PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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S38-17
BAROSSA 17

project name	GREEN VALLEY EAST
municipality	BRADFORD, ONTARIO
project no.	16023

date SEPTEMBER, 2016	LEFT SIDE ELEVATION 'A'	drawing no.
-------------------------	-------------------------	-------------

WT	RC	$3/16" = 1'-0"$	16023-S38-17-10GRND
----	----	-----------------	---------------------

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3A

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s specifications, related documents and d

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All draw

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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LEFT SIDE ELEVATION 'A'

10⁹ GROUND

PRELIMINARY

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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S38-17
BAROSSA 17

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONTARIO
project no.
16023
drawing no.
9

date
SEPTEMBER 2016
checked by
RC
scale
3/16" = 1'-0"
file name
16023-S38-17-10GRND
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POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

8"x8" FIBREGLASS COLUMN
BY ROMAN COLUMNS W/
1/2" THICK HDPE TOP
LOADING PLATE ANCHORED
TO PORCH SLAB.

CONT. PRECAST CONC. SILL
ON BRICK SOLDIER BAND W/
1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

BRICK SOLDIER BAND W/
1/2" PROJ. (TYP.)

STEPPED FOOTING
(30)

WALL AREA 1066.75 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 74.67 SQ. FT.
OPENING PROVIDED 39.94 SQ. FT.
(GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'A'

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

FOR REAR UPGRADE
ONLY.

TOP OF PLATE
TOP OF WINDOW
8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-6"
7'-4"
10'-11"
FIN GROUND FLOOR
FIN GRADE
5'-0" MIN.
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT
U/S OF FTG. MIN.
TOP OF SLAB

10' GROUND

PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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REAR ELEVATION 'A', 'B', & 'C'

10' GROUND

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONTARIO
project no.
16023
drawing no.
10

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no.	description	date	by
9			
8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
4	ADD OPT. 9' BASEMENT	APR 06-21 RC	
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16 SB	

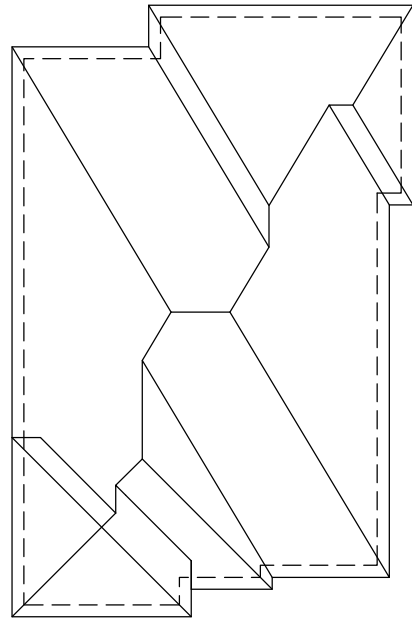
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.B W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	692.92 S.F.	148.58 S.F.	21.44 %
LEFT SIDE	1067.67 S.F.	50.33 S.F.	4.71 %
RIGHT SIDE	1044.17 S.F.	66.33 S.F.	6.35 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3471.51 S.F.	430.41 S.F.	12.40 %
TOTAL SQ. M.	322.51 S.M.	39.99 S.M.	12.40 %

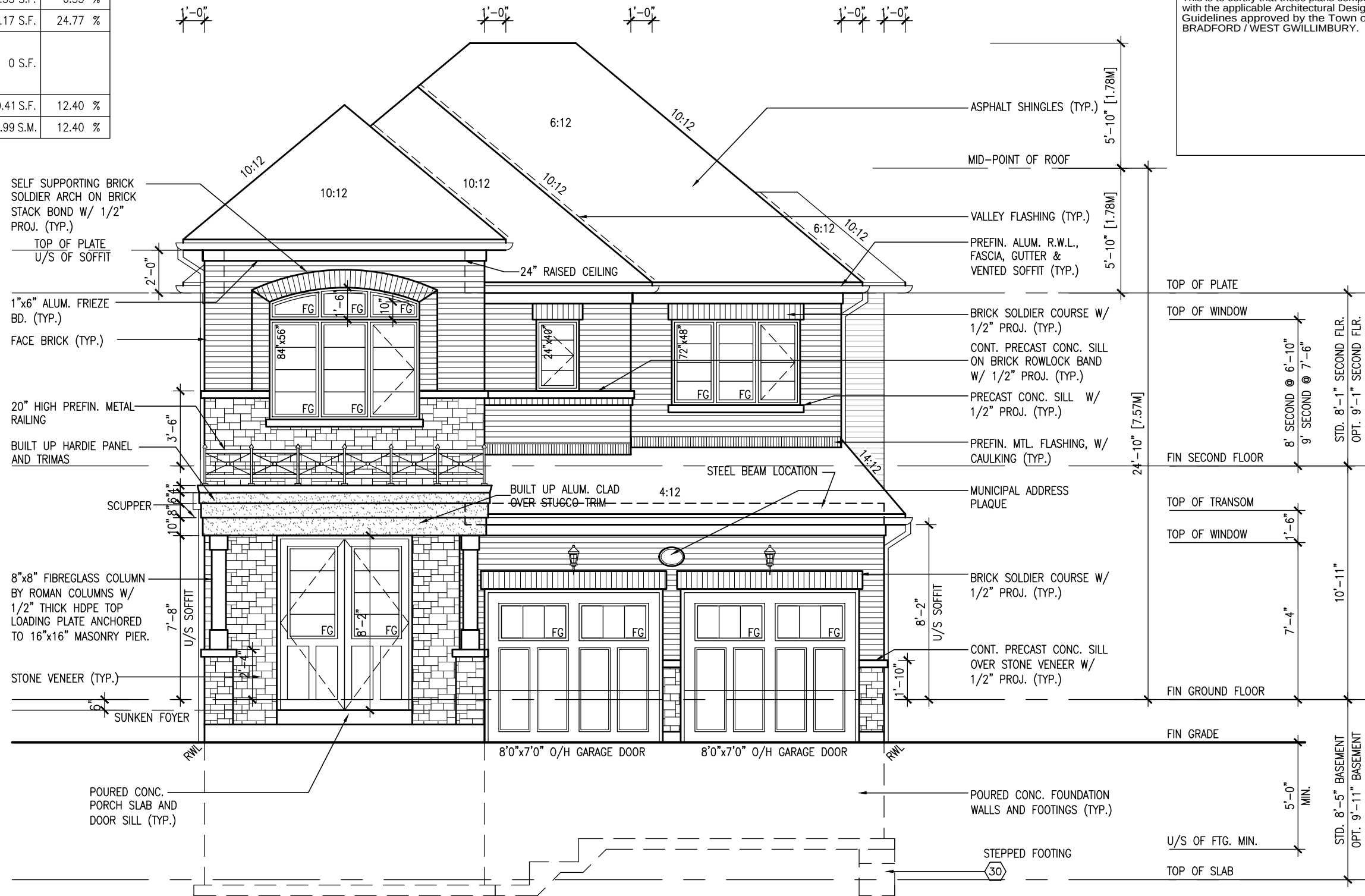
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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ROOF PLAN B



FRONT ELEVATION 'B'

10⁹ GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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contract

contract no. 16023

project name **BAYVIEW WELLINGTON**

project no. 16023

location **GREEN VALLEY EAST**

location municipality **BRADFORD, ONTARIO**

date **SEPTEMBER, 2016**

drawn by **WT**

checked by **RC**

scale **3/16" = 1'-0"**

front elevation **'B'**

file name **16023-S38-17-10CRND**

drawing no. **11**

author **RICHARD** - H:\ARCHIVE\WORKING\2016\16023.BW\16023-S38-17-10CRND.DWG - Tue - Jun 22, 2021 - 1:54 PM

PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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WALL AREA	966.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	67.62 SQ. FT.
OPENING PROVIDED	31.53 SQ. FT.(GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

10' GROUND

BAYVIEW WELLINGTON		S38-17 BAROSSA 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
project no.	16023	drawing no.	12
date	SEPTEMBER 2016	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S38-17-10GRND	file name	16023-S38-17-10GRND
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LEFT SIDE ELEVATION 'B'			
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no.	description	date	by
9			
8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
4	ADD OPT. 9' BASEMENT	APR 06-21 RC	
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16 SB	

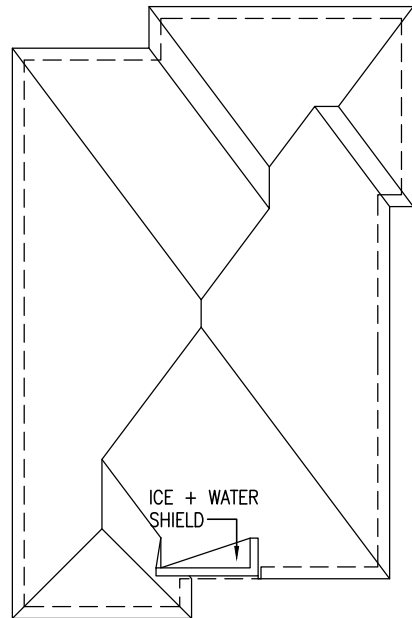
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 E.L.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3412.50 S.F.	425.78 S.F.	12.48 %
TOTAL SQ. M.	317.03 S.M.	39.56 S.M.	12.48 %

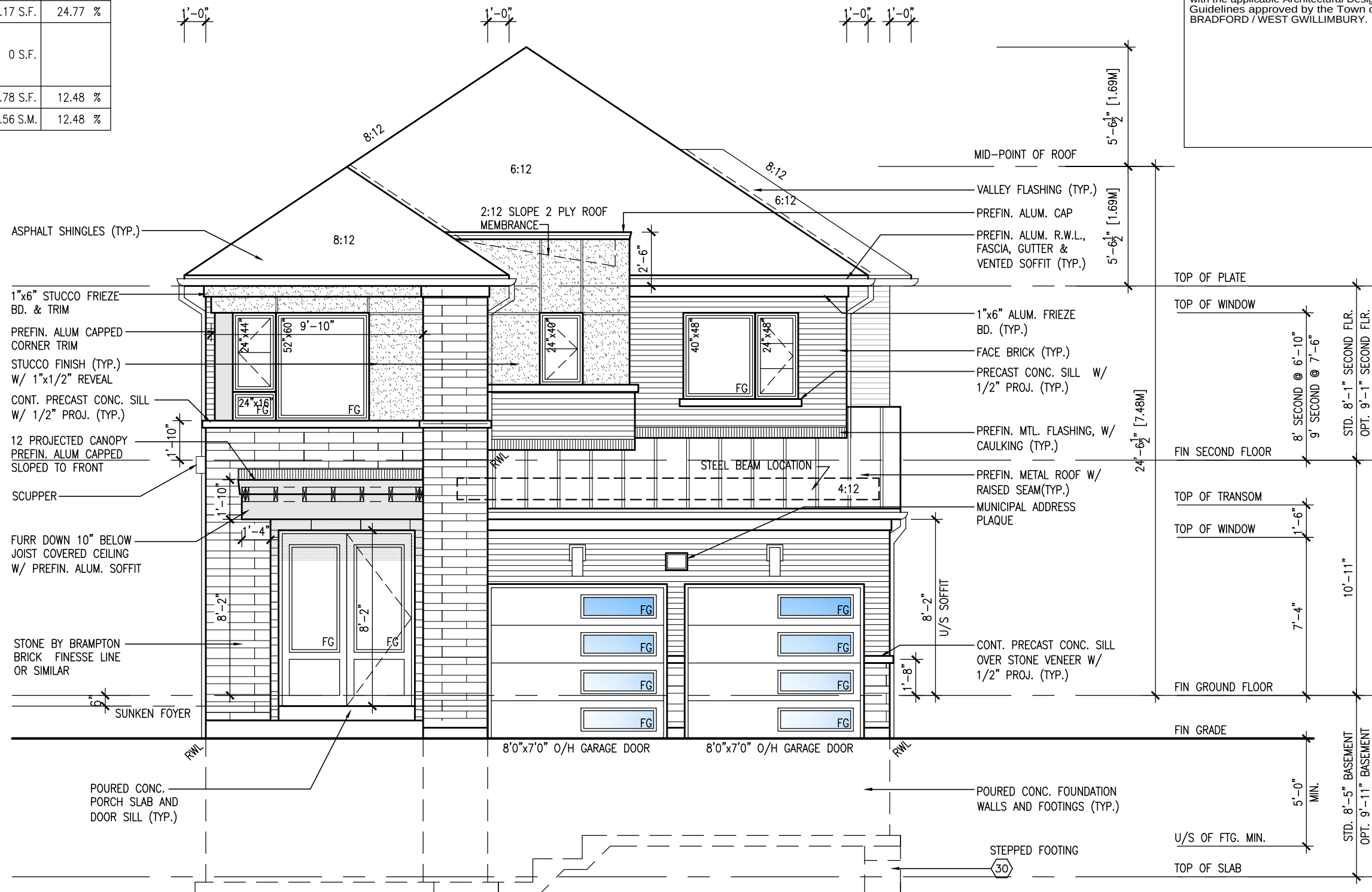
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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ROOF PLAN C



FRONT ELEVATION 'C'

10⁹ GROUND

9.	.	.	.
8.	.	.	.
7.	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
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1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.0255 f 416.630.4782 vo3design.com		BAYVIEW WELLINGTON	S38-17 BAROSSA 17
project name GREEN VALLEY EAST	municipality BRADFORD, ONTARIO	project no. 16023	drawing no. 14
date SEPTEMBER, 2016	checked by RC	FRONT ELEVATION °C'	
drawn by WT	scale 3/16" = 1'-0"	file name 16023-S38-17-10GRND	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\16023-S38-17-10GRND.DWG - Tue - Jun 22, 2021 - 1:54 PM			

PRELIMINARY

1'-0"

1'-0"

1'-0"



WALL AREA	966.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	67.62 SQ. FT.
OPENING PROVIDED	35.85 SQ. FT.(GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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project name	BAYVIEW WELLINGTON	project no.	S38-17
project name	GREEN VALLEY EAST	project no.	BAROSSA 17
date	SEPTEMBER 2016	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
checked by	RC	file name	16023-S38-17-10GRND
drawn by	WT	file name	16023-S38-17-10GRND
checked by	RC	file name	16023-S38-17-10GRND
drawn by	WT	file name	16023-S38-17-10GRND

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no.	description	date	by
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8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
4	ADD OPT. 9' BASEMENT	APR 06-21 RC	
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1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16 SB	

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PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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project name

GREEN VALLEY EAST

project no.

16023

date

SEPTEMBER 2016

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

file name

16023-S38-17-10GRND

drawing no.

16

project name

BAYVIEW WELLINGTON

project no.

S38-17

date

SEPTEMBER 2016

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

file name

16023-S38-17-10GRND

drawing no.

16

project name

GREEN VALLEY EAST

project no.

16023

date

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scale

3/16" = 1'-0"

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16

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BAYVIEW WELLINGTON

project no.

S38-17

date

SEPTEMBER 2016

checked by

RC

drawn by

WT

scale

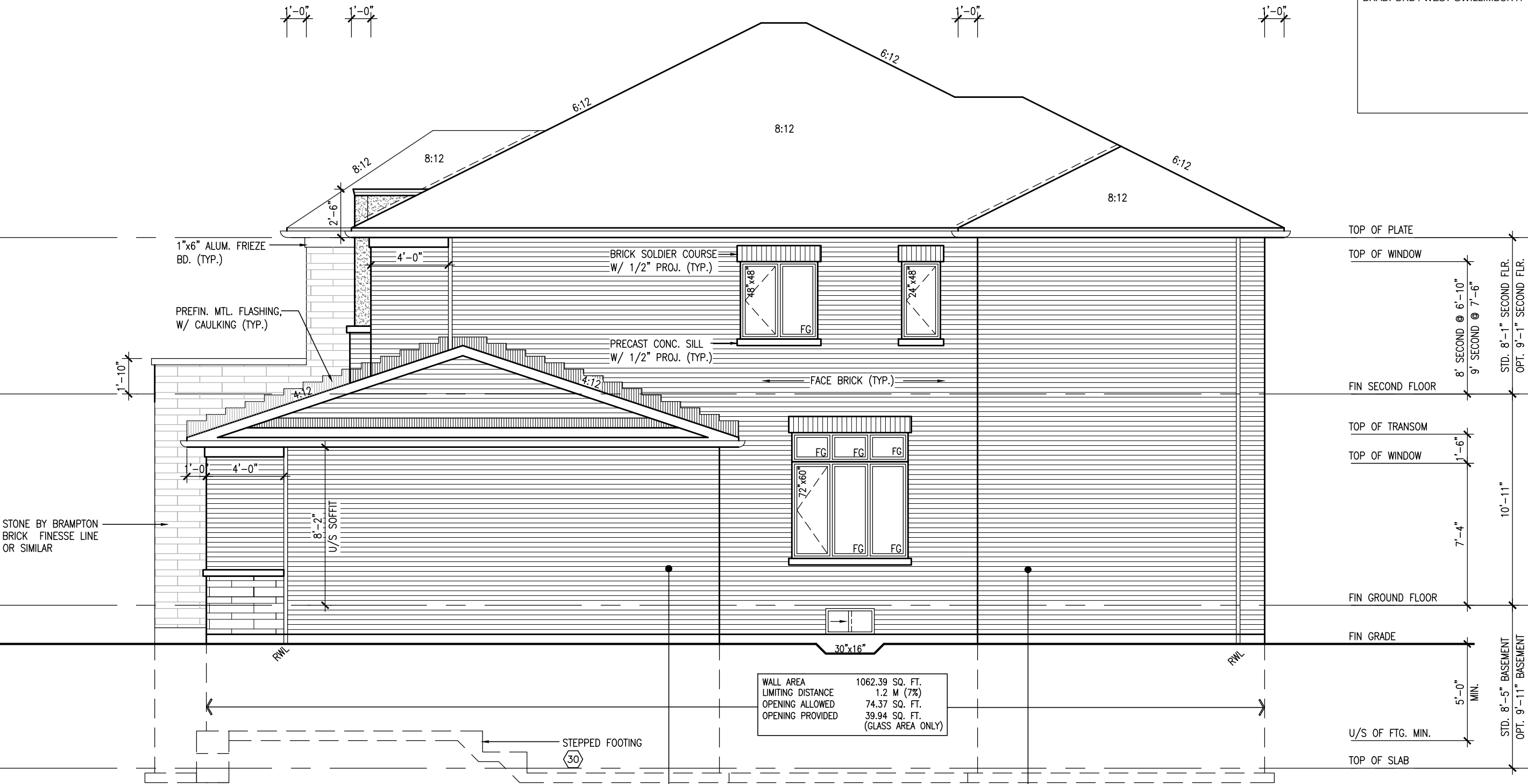
3/16" = 1'-0"

file name

16023-S38-17-10GRND

drawing no.

16



RIGHT SIDE ELEVATION 'C'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

10' GROUND

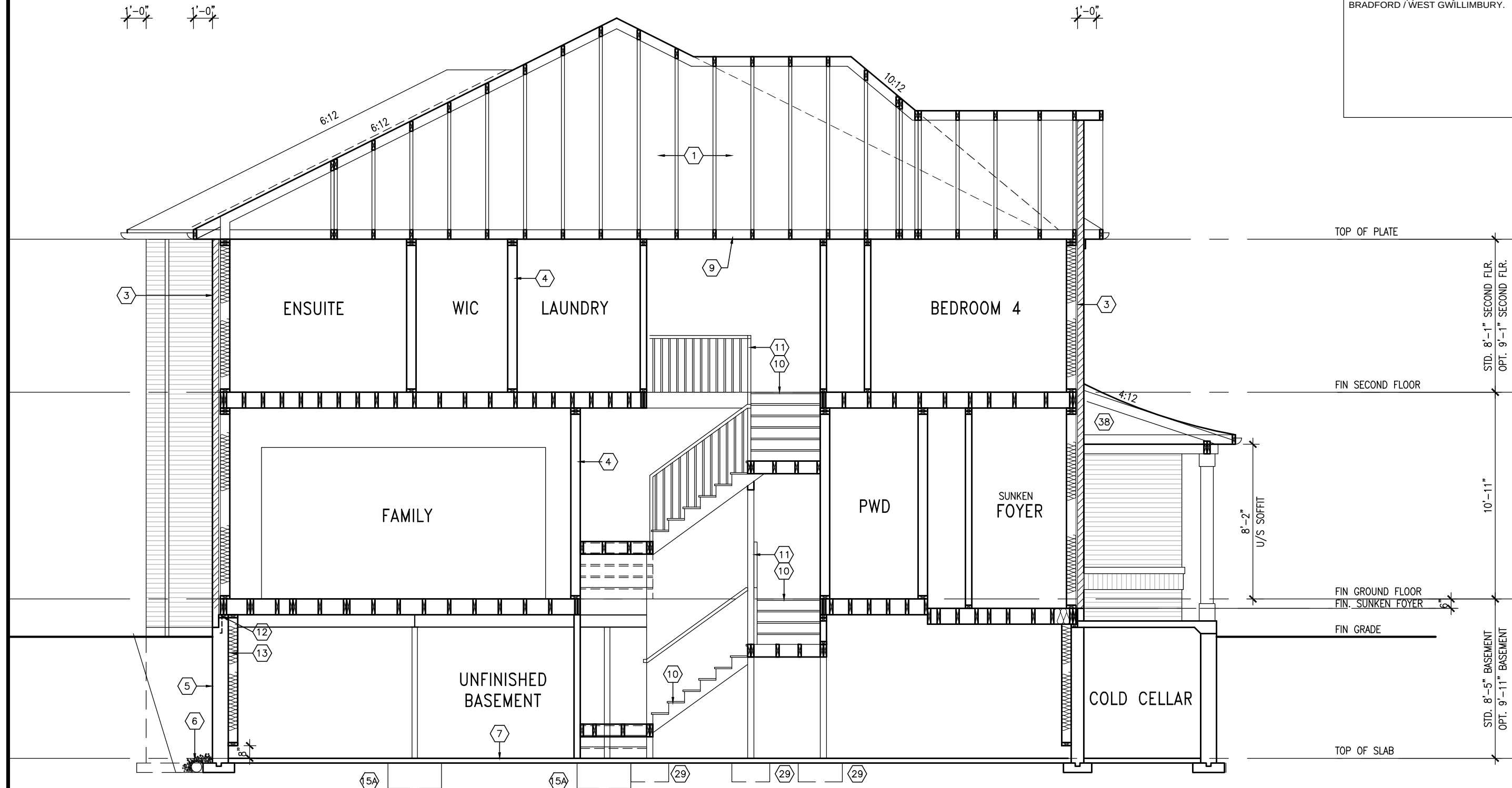
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no.	description	date	by
9			
8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
4	ADD OPT. 9' BASEMENT	APR 06-21 RC	
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16 SB	

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0⁹ GROUND

CROSS SECTION A-A

9	.	.	.
8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
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2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancies to the Designer. The Designer will then update the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

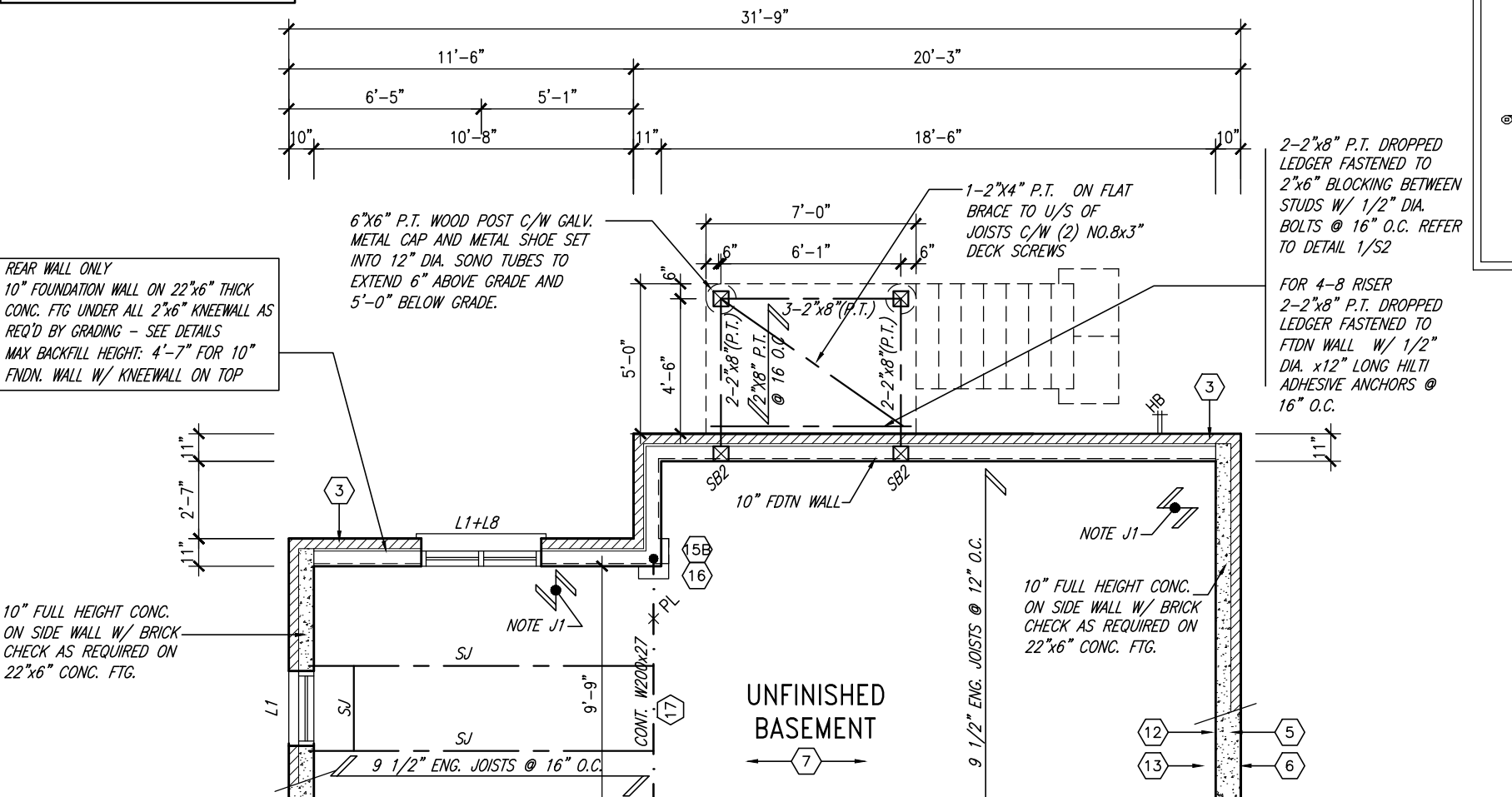
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

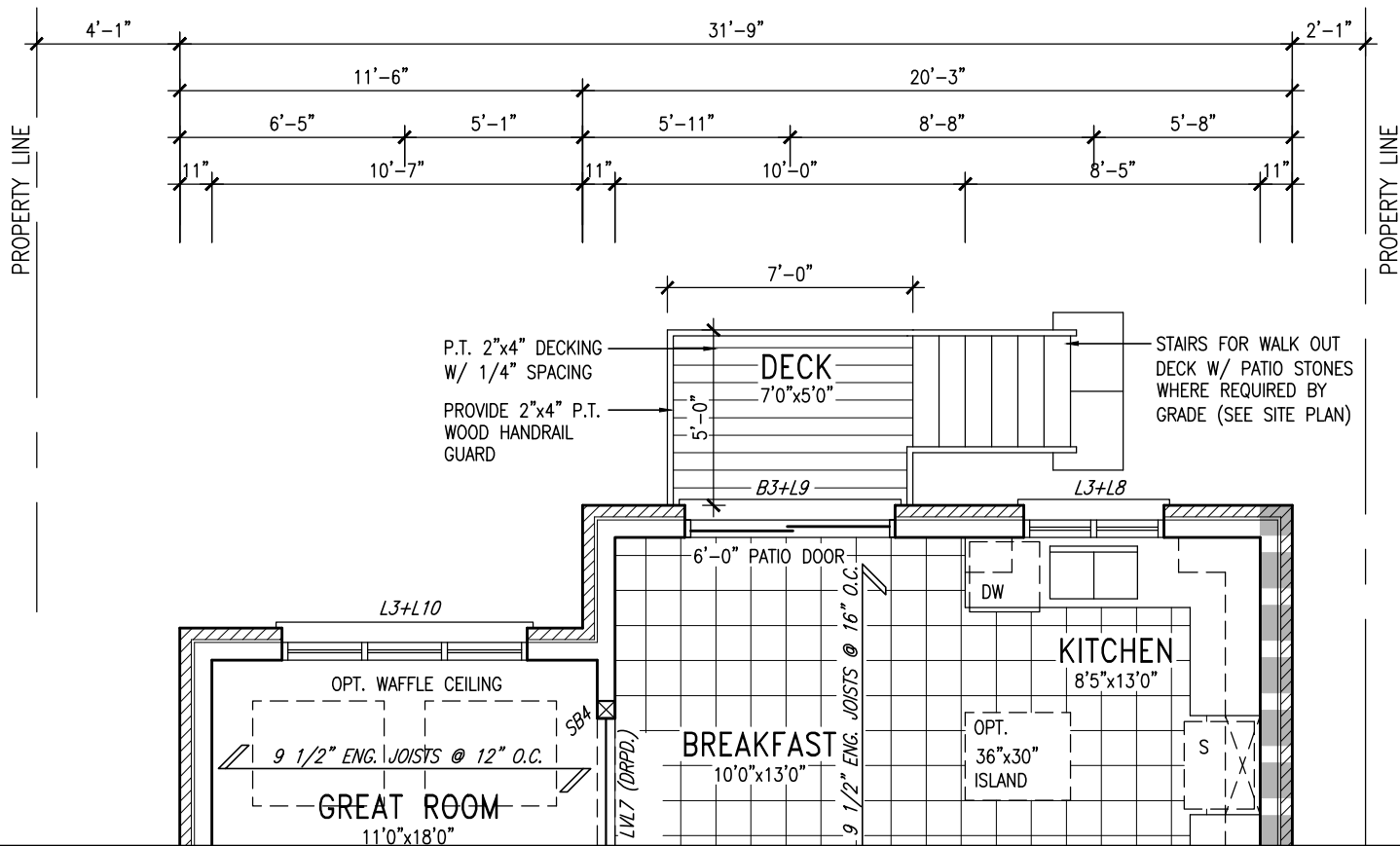
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

10' GROUND



PART. BASEMENT PLAN EL. 'A', 'B' & 'C'
W/ 9R OR MORE W.O.D. CONDITION

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

PART. GROUND FLOOR PLAN EL. 'A', 'B' & 'C'
W/ 9R OR MORE W.O.D. CONDITION

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8	.	.	.
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6	10' GROUND FLOOR	JUN 08-21	KL
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BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONTARIO

project no.
16023

date
SEPTEMBER, 2016

drawn by
JM

checked by
RC

scale
3/16" = 1'-0"

PART. W.O.D. PLANS

file name
16023-S38-17-10GRND

drawing no.
18

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.30 S.F.	144.33 S.F.	21.31 %
LEFT SIDE	1039.50 S.F.	50.33 S.F.	4.84 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	793.75 S.F.	175.17 S.F.	22.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3550.05 S.F.	436.16 S.F.	12.29 %
TOTAL SQ. M.	329.81 S.M.	40.52 S.M.	12.29 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	692.92 S.F.	148.58 S.F.	21.44 %
LEFT SIDE	1067.67 S.F.	50.33 S.F.	4.71 %
RIGHT SIDE	1044.17 S.F.	66.33 S.F.	6.35 %
REAR	793.75 S.F.	175.17 S.F.	22.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3598.51 S.F.	440.41 S.F.	12.24 %
TOTAL SQ. M.	334.31 S.M.	40.92 S.M.	12.24 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	793.75 S.F.	175.17 S.F.	22.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3539.50 S.F.	435.78 S.F.	12.31 %
TOTAL SQ. M.	328.83 S.M.	40.48 S.M.	12.31 %

10' GROUND



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL GUARD W/ 2"x2" P.T. WOOD PICKETS @ 4" MAX.

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

BAYVIEW WELLINGTON		S38-17 BAROSSA 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
project no.	16023	project no.	16023
date	SEPTEMBER 2016	date	SEPTEMBER 2016
checked by	RC	checked by	RC
drawn by	WT	drawn by	WT
scale	3/16" = 1'-0"	scale	3/16" = 1'-0"
file name	16023-S38-17-10GRND.DWG	file name	16023-S38-17-10GRND.DWG
date	Tue - Jun 22 2021 - 1:55 PM	date	Tue - Jun 22 2021 - 1:55 PM
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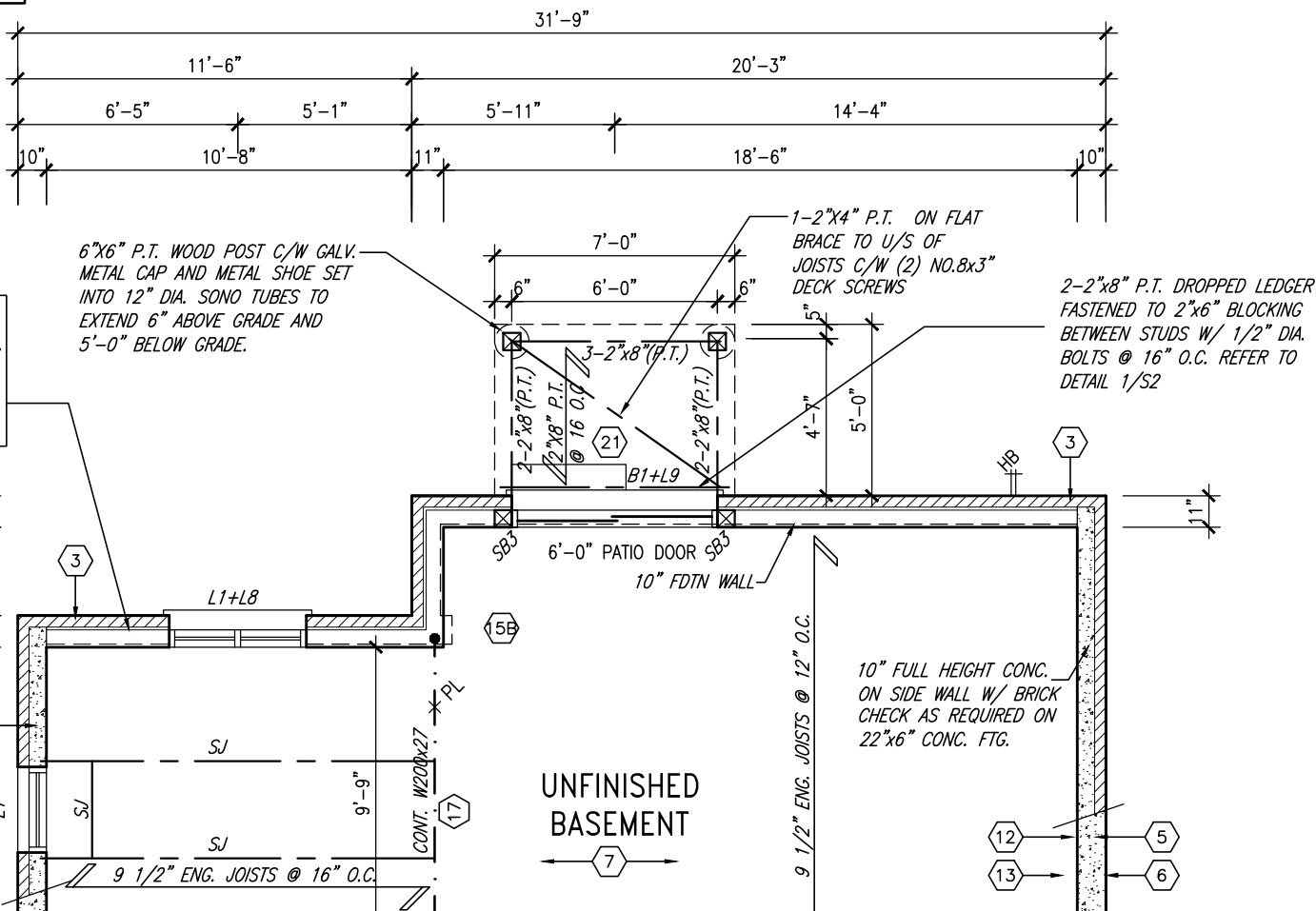
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

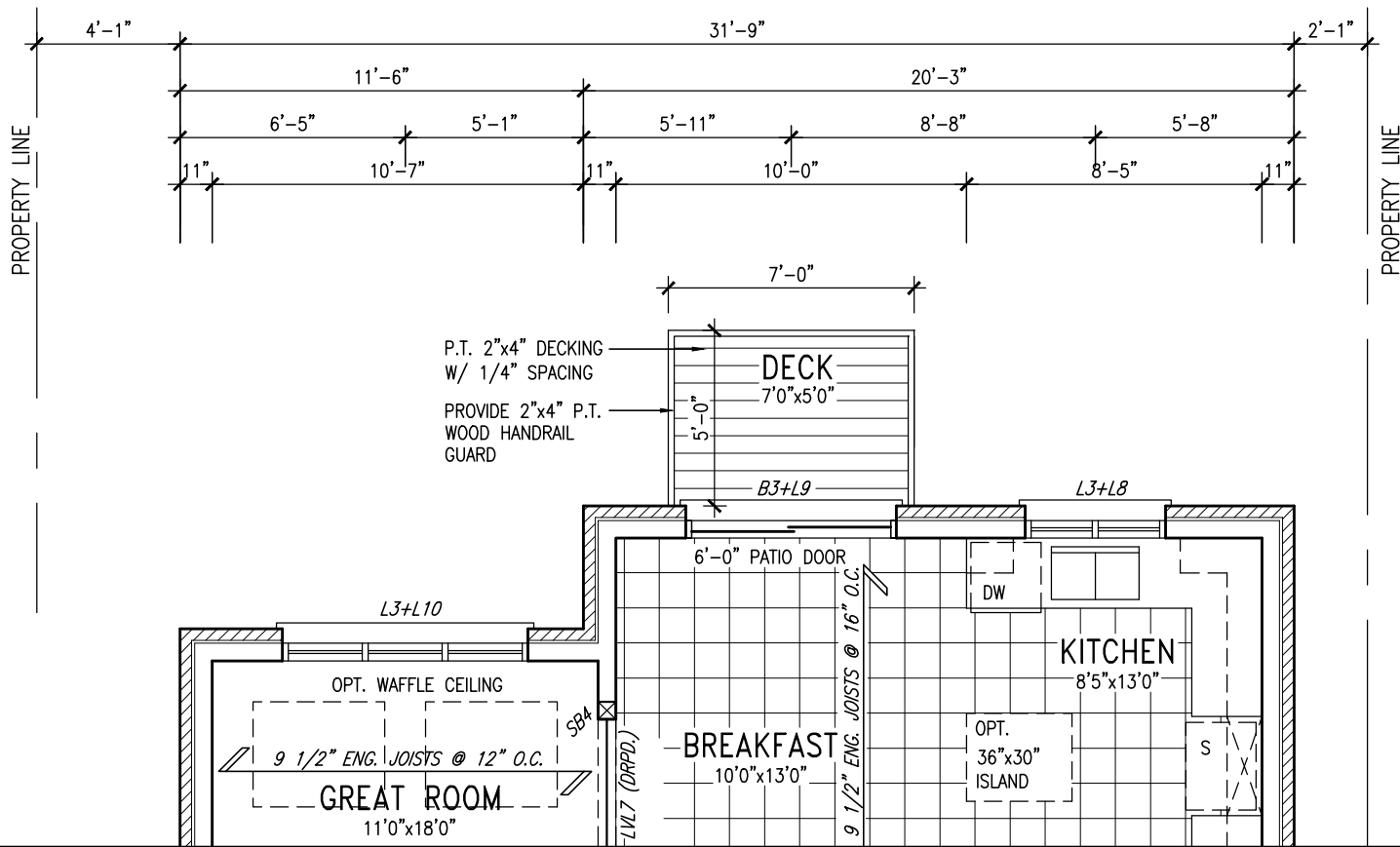
BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.



PART. BASEMENT PLAN EL. 'A', 'B' & 'C'
W/ W.O.B. CONDITION

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

PART. GROUND FLOOR PLAN EL. 'A', 'B' & 'C'
W/ W.O.B. CONDITION

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8	.	.	.
7	.	.	.
6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
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1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
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BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONTARIO

S38-17
BAROSSA 17

project no.
16023

date
SEPTEMBER, 2016

drawn by
JM

checked by
RC

scale
3/16" = 1'-0"

PART. W.O.B. PLANS

file name
16023-S38-17-10GRND

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drawing no.
21

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.A WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.30 S.F.	144.33 S.F.	21.31 %
LEFT SIDE	1039.50 S.F.	50.33 S.F.	4.84 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	886.35 S.F.	222.83 S.F.	25.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3642.65 S.F.	483.82 S.F.	13.28 %
TOTAL SQ. M.	338.41 S.M.	44.95 S.M.	13.28 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.B WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	692.92 S.F.	148.58 S.F.	21.44 %
LEFT SIDE	1067.67 S.F.	50.33 S.F.	4.71 %
RIGHT SIDE	1044.17 S.F.	66.33 S.F.	6.35 %
REAR	886.35 S.F.	222.83 S.F.	25.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3691.11 S.F.	488.07 S.F.	13.22 %
TOTAL SQ. M.	342.91 S.M.	45.34 S.M.	13.22 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	886.35 S.F.	222.83 S.F.	25.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3632.10 S.F.	483.44 S.F.	13.31 %
TOTAL SQ. M.	337.43 S.M.	44.91 S.M.	13.31 %

10' GROUND



BAYVIEW WELLINGTON		S38-17 BAROSSA 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
project no.	16023	project no.	16023
date	SEPTEMBER 2016	date	SEPTEMBER 2016
checked by	RC	checked by	RC
drawn by	WT	drawn by	WT
scale	3/16" = 1'-0"	scale	3/16" = 1'-0"
file name	16023-S38-17-10GRND.DWG	file name	16023-S38-17-10GRND
date	20	date	20
description	RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-17-10GRND.DWG - Tue - Jun 22 2021 - 1:55 PM		

PRELIMINARY

CONVENTIONAL ROOF FRAMING FOR ELEV A REAR UPGRADE ONLY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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ROOF PLAN A UPG

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.)

REAR UPGRADE ELEVATION 'A'

10' GROUND

TOP OF PLATE
TOP OF WINDOW
8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-6"
7'-4"
10'-11"
FIN GROUND FLOOR
FIN GRADE
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT
TOP OF SLAB

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name
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date
SEPTEMBER 2016

checked by
RC

drawing no.
22

file name
16023-S38-17-10GRND

scale
3/16" = 1'-0"

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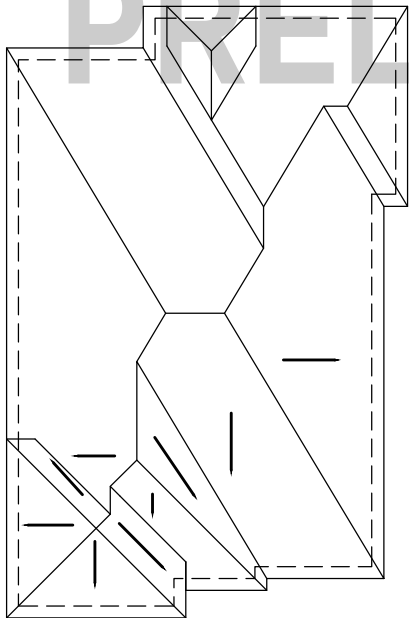
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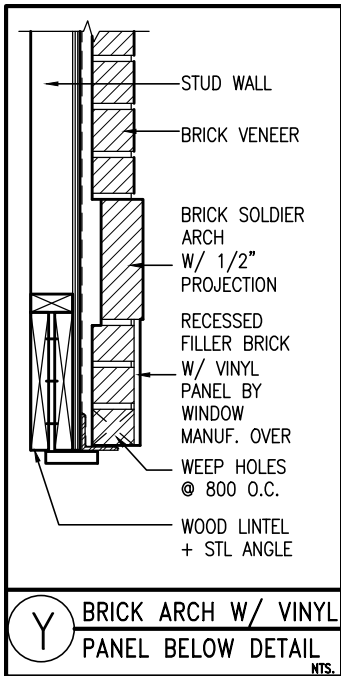
no.	description	date	by
9			
8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
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PRELIMINARY



ROOF PLAN B UPG



BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



REAR UPGRADE ELEVATION 'B'

10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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BAYVIEW WELLINGTON		S38-17 BAROSSA 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
project no.	16023	drawing no.	23
date	SEPTEMBER 2016	scale	3/16" = 1'-0"
checked by	RC	drawn by	WT
ELEVATION 'B' REAR UPGRADE			
16023-S38-17-10GRND			
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-17-10GRND.DWG - Tue - Jun 22 2021 - 1:55 PM			
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no.	description	date	by
9			
8			
7			
6	10' GROUND FLOOR	JUN 08-21 KL	
5	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
4	ADD OPT. 9' BASEMENT	APR 06-21 RC	
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16 SB	

GRAB BAR NOTE:

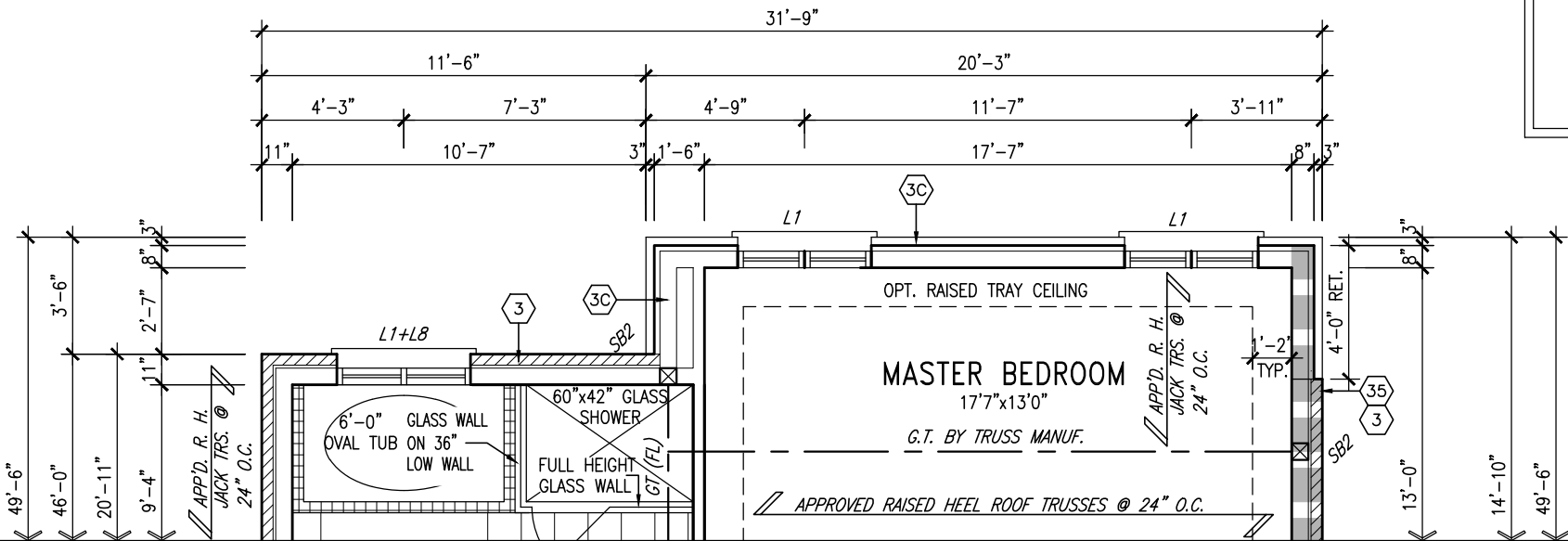
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

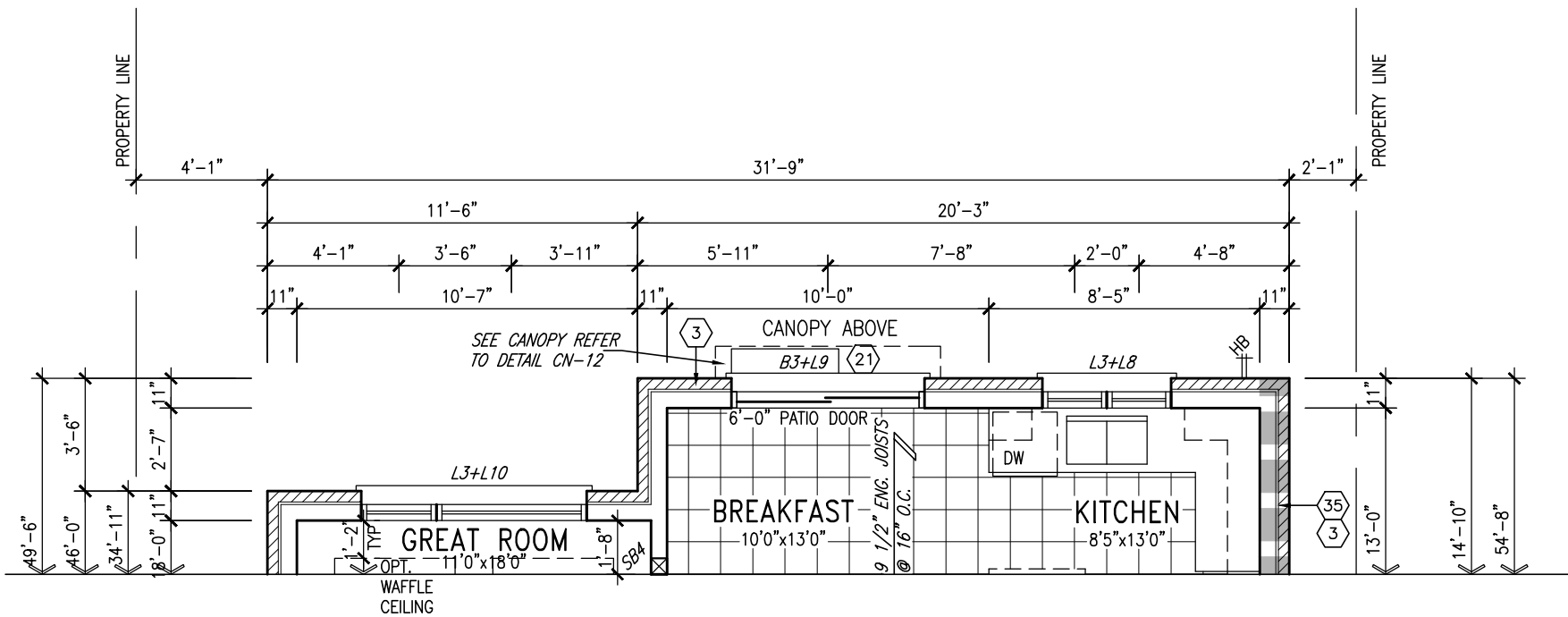
NOTE: ROOF FRAMING

ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9	.	.	.
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6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

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BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name GREEN VALLEY EAST municipality BRADFORD, ONTARIO

project no. 16023

date SEPTEMBER, 2016 partial elevation 'C' UPGRADE REAR

drawing no.

drawn by JM checked by RC scale 3/16" = 1'-0" file name 16023-S38-17-10GRND

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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S38-17
BAROSSA 17

project no.	10007
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c7091

E.W.O.D.

file name
-17-10GRND

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BAYVIEW WELLINGTON

BRADFORD, ONTARIO
municipality

ELEVATION 'A' REAR U

1'-0" 11

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6	10' GROUND FLOOR	JUN 08-21	KL			
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC			
4	ADD OPT. 9' BASEMENT	APR 05-21	RC			
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC			
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC			
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB			
no.	description	date	by			

10⁹ GROUND

REAR UPGRADE ELEVATION 'A' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

0⁹ GROUND

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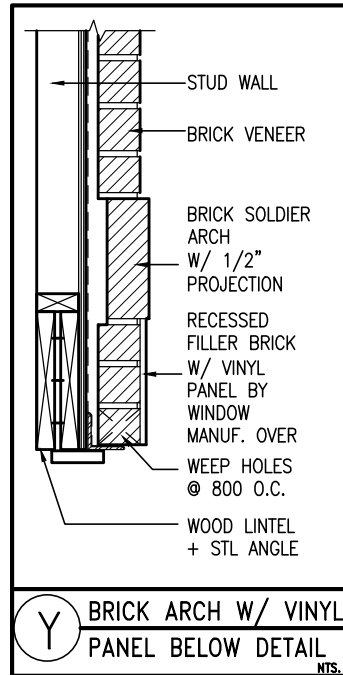
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BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S38-17'C' WOD W/8' 2ND & REAR UPC			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	793.75 S.F.	169.67 S.F.	21.38 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3539.50 S.F.	430.28 S.F.	12.16 %
TOTAL SQ. M.	328.83 S.M.	39.97 S.M.	12.16 %



10' GROUND

REAR UPGRADE ELEVATION 'C' W.O.D.

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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TOP OF PLATE	
TOP OF WINDOW	
8' SECOND @ 6'-10"	STD. 8'-1" SECOND FLR.
9' SECOND @ 7'-6"	OPT. 9'-1" SECOND FLR.
FIN SECOND FLOOR	
TOP OF WINDOW	
8'-10"	
10'-11"	
FIN GROUND FLOOR	
TOP OF WINDOW	
SEE NOTE	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
FIN GRADE	
TOP OF SLAB	

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

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8 .		.		.	
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6 10' GROUND FLOOR		JUN 08-21 KL			
5 REVISED AS PER ENG COMMENTS		APR 08-21 RC			
4 ADD OPT. 9' BASEMENT		APR 06-21 RC			
3 ADD POINT LOAD ON STEEL BEAMS		JAN 15-19 RC			
2 REVISED AS PER ENG'S COMMENTS		JAN 24-18 RC			
1 REVISED BASEMENT WALLS TO BE 10"		OCT 20/16 SB			
no. description		date		by	



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GREEN VALLEY EAST		BRADFORD, ONTARIO	
project name		municipality	
project no.		project no.	
16023		16023	
date		drawing no.	
SEPTEMBER, 2016		28	
drawn by		scale	
WT		3/16" = 1'-0"	
checked by		file name	
RC		16023-S38-17-10GRND	
ELEVATION 'C' REAR UPGRADE		W.O.D.	
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PRELIMINARY

CONVENTIONAL ROOF FRAMING FOR
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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S38-17
BAROSSA 17

project no.	10007
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BRADFORD, ONTARIO

SEPTEMBER, 2016

drawn by	checked by
WT	RC

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9	.	.	.
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6	10' GROUND FLOOR	JUN 08-21	KL
5	REVISED AS PER ENG COMMENTS	APR 08-21	RC
4	ADD OPT. 9' BASEMENT	APR 06-21	RC
3	ADD POINT LOAD ON STEEL BEAMS	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB
no.	description	date	by

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
338-17'C' WOB W/8' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	886.35 S.F.	217.33 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3632.10 S.F.	477.94 S.F.	13.16 %
TOTAL SQ. M.	337.43 S.M.	44.40 S.M.	13.16 %

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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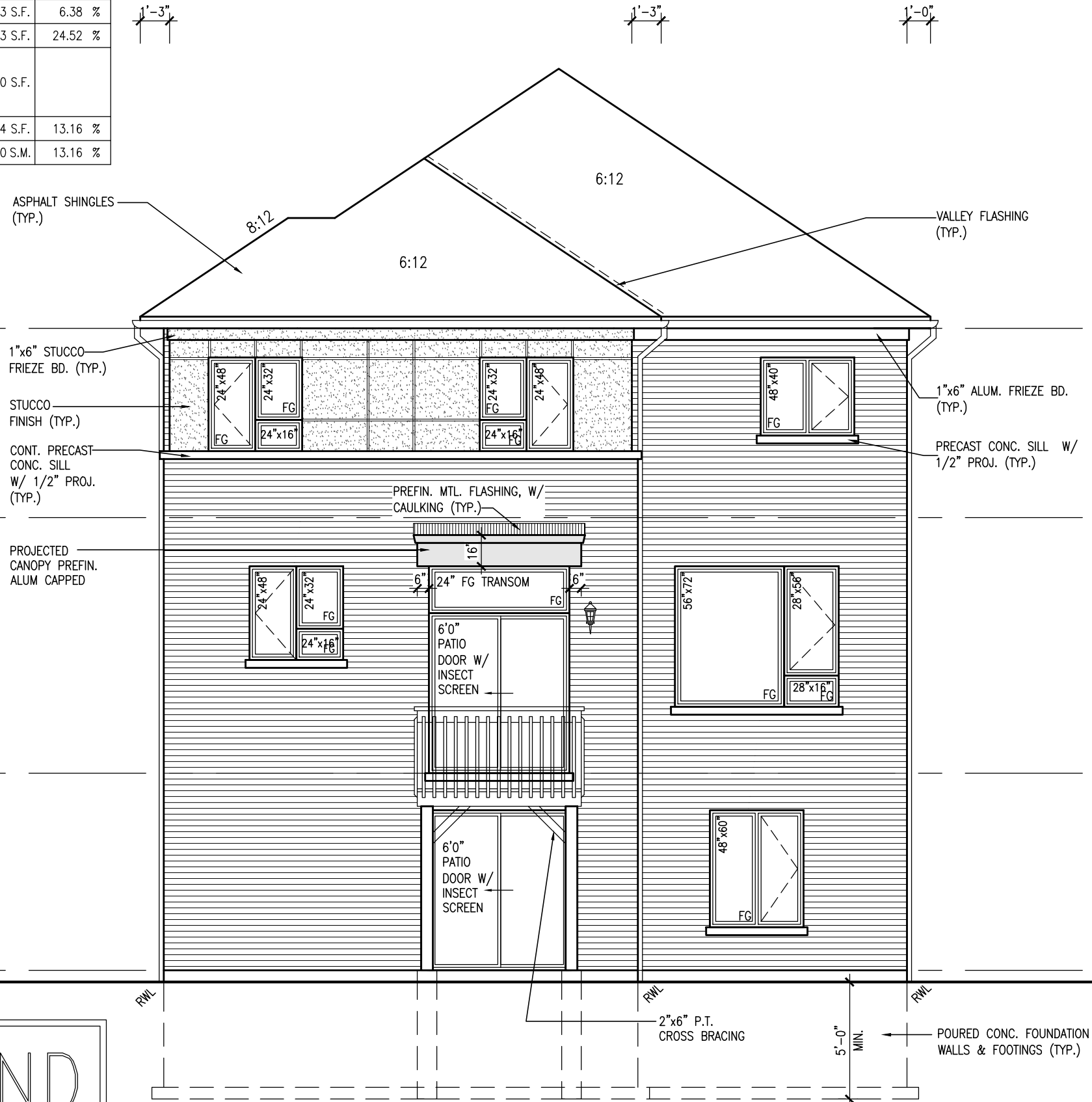


Diagram showing the vertical dimensions of the building facade:

- Top of Plate
- Top of Window
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- FIN SECOND FLOOR
- Top of Window
- 8'-10"
- 10'-11"
- FIN GROUND FLOOR
- Top of Window
- 6'-10"
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT
- Top of Slab
- FIN GRADE

10⁹ GROUND

BAYVIEW WELLINGTON

S38-17
BAROSSA 17

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ONTARIO	16023

drawing no.	74
W.O.B.	ELEVATION 'C' REAR UPGRADE
File name	enda
checked by	enda
drawn by	enda
date	SEPTEMBER, 2016

Source	Unrecorded by	RC	$3/16'' = 1'-0''$	File name
WT				16023-S38-17-10GRND
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6	10' GROUND FLOOR	JUN 08-21	KL			
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2	REVISED AS PER ENG'S COMMENTS	JAN 24-18	RC			
1	REVISED BASEMENT WALLS TO BE 10"	OCT 20/16	SB			
no	description	date	by			

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.A WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.30 S.F.	144.33 S.F.	21.31 %
LEFT SIDE	1039.50 S.F.	50.33 S.F.	4.84 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	933.98 S.F.	222.83 S.F.	23.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3690.28 S.F.	483.82 S.F.	13.11 %
TOTAL SQ. M.	342.84 S.M.	44.95 S.M.	13.11 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.B WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	692.92 S.F.	148.58 S.F.	21.44 %
LEFT SIDE	1067.67 S.F.	50.33 S.F.	4.71 %
RIGHT SIDE	1044.17 S.F.	66.33 S.F.	6.35 %
REAR	933.98 S.F.	222.83 S.F.	23.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3738.74 S.F.	488.07 S.F.	13.05 %
TOTAL SQ. M.	347.34 S.M.	45.34 S.M.	13.05 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOB W/9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	933.98 S.F.	222.83 S.F.	23.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3679.73 S.F.	483.44 S.F.	13.14 %
TOTAL SQ. M.	341.86 S.M.	44.91 S.M.	13.14 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOB W/9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	135.95 S.F.	20.39 %
LEFT SIDE	1039.50 S.F.	58.33 S.F.	5.61 %
RIGHT SIDE	1039.50 S.F.	66.33 S.F.	6.38 %
REAR	933.98 S.F.	217.33 S.F.	23.27 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3679.73 S.F.	477.94 S.F.	12.99 %
TOTAL SQ. M.	341.86 S.M.	44.40 S.M.	12.99 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.A WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.05 S.F.	144.33 S.F.	20.36 %
LEFT SIDE	1089.00 S.F.	50.33 S.F.	4.62 %
RIGHT SIDE	1089.00 S.F.	66.33 S.F.	6.09 %
REAR	965.73 S.F.	222.83 S.F.	23.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3852.78 S.F.	483.82 S.F.	12.56 %
TOTAL SQ. M.	357.93 S.M.	44.95 S.M.	12.56 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	724.67 S.F.	148.58 S.F.	20.50 %
LEFT SIDE	1117.17 S.F.	50.33 S.F.	4.51 %
RIGHT SIDE	1093.67 S.F.	66.33 S.F.	6.06 %
REAR	965.73 S.F.	222.83 S.F.	23.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3901.24 S.F.	488.07 S.F.	12.51 %
TOTAL SQ. M.	362.43 S.M.	45.34 S.M.	12.51 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	698.50 S.F.	135.95 S.F.	19.46 %
LEFT SIDE	1089.00 S.F.	58.33 S.F.	5.36 %
RIGHT SIDE	1089.00 S.F.	66.33 S.F.	6.09 %
REAR	965.73 S.F.	222.83 S.F.	23.07 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3842.23 S.F.	483.44 S.F.	12.58 %
TOTAL SQ. M.	356.95 S.M.	44.91 S.M.	12.58 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-17 EL.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	698.50 S.F.	135.95 S.F.	19.46 %
LEFT SIDE	1089.00 S.F.	58.33 S.F.	5.36 %
RIGHT SIDE	1089.00 S.F.	66.33 S.F.	6.09 %
REAR	965.73 S.F.	217.33 S.F.	22.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3842.23 S.F.	477.94 S.F.	12.44 %
TOTAL SQ. M.	356.95 S.M.	44.40 S.M.	12.44 %

10' GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S38-17

BAROSSA 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

municipality

BRADFORD, ONTARIO

date

SEPTEMBER 2016

drawn by

WT

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S38-17-10GRND

drawing no.

33

project name

S38-17

project no.

16023

municipality

BRADFORD, ONTARIO

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SEPTEMBER 2016

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3/16" = 1'-0"

file name

16023-S38-17-10GRND

drawing no.

33

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.

9

description

date

by

1

REVISED BASEMENT WALLS TO BE 10"

OCT 20/16

SB

2

REVISED AS PER ENG'S COMMENTS

JAN 24-18

RC

3

ADD POINT LOAD ON STEEL BEAMS

JAN 15-19

RC

4

ADD OPT. 9' BASEMENT

APR 06-21

RC

5

REVISED AS PER ENG COMMENTS

APR 08-21

RC

6

10' GROUND FLOOR

JUN 08-21

KL

7

8

9

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