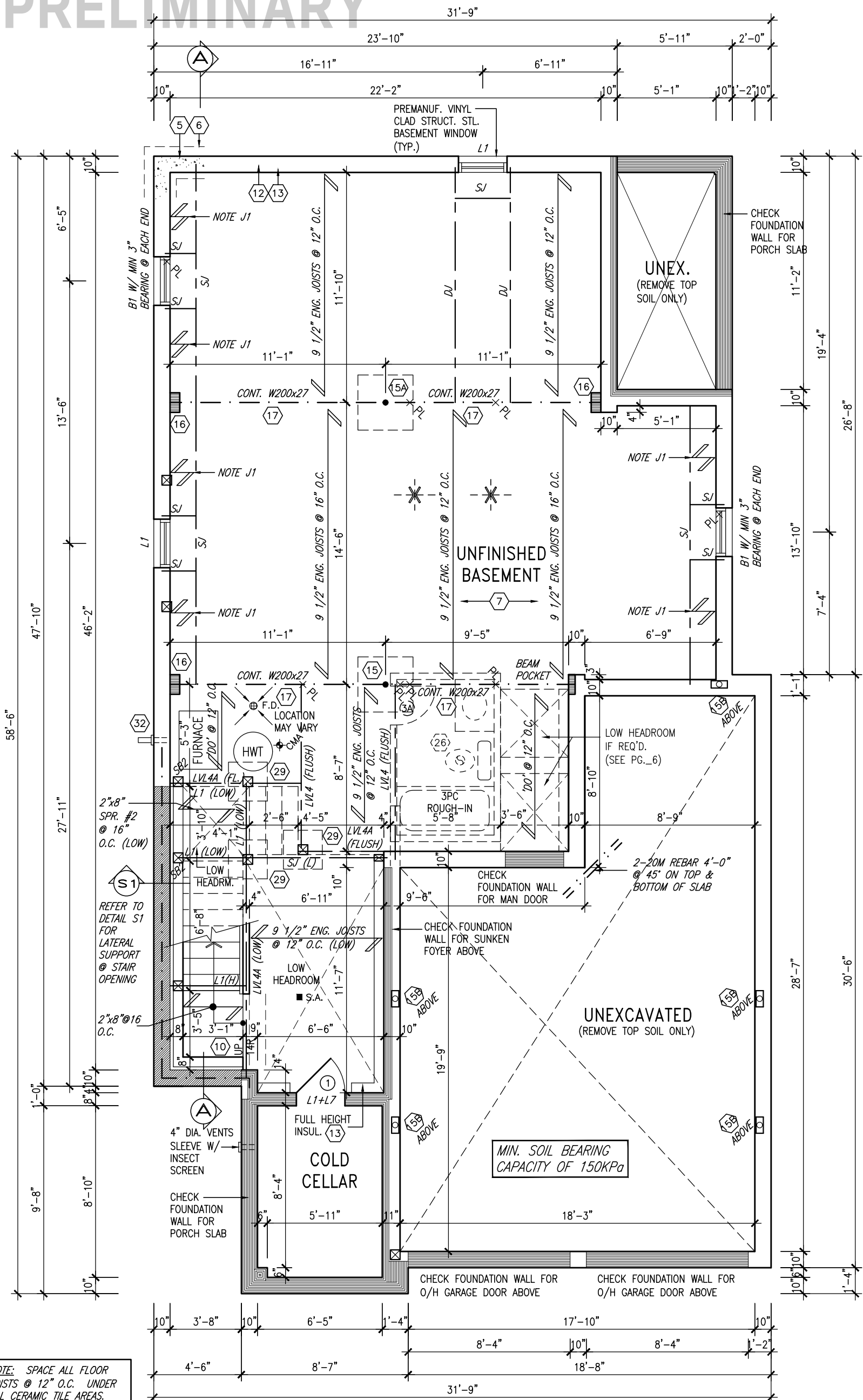


PRELIMINARY

10' GROUND



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 6

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

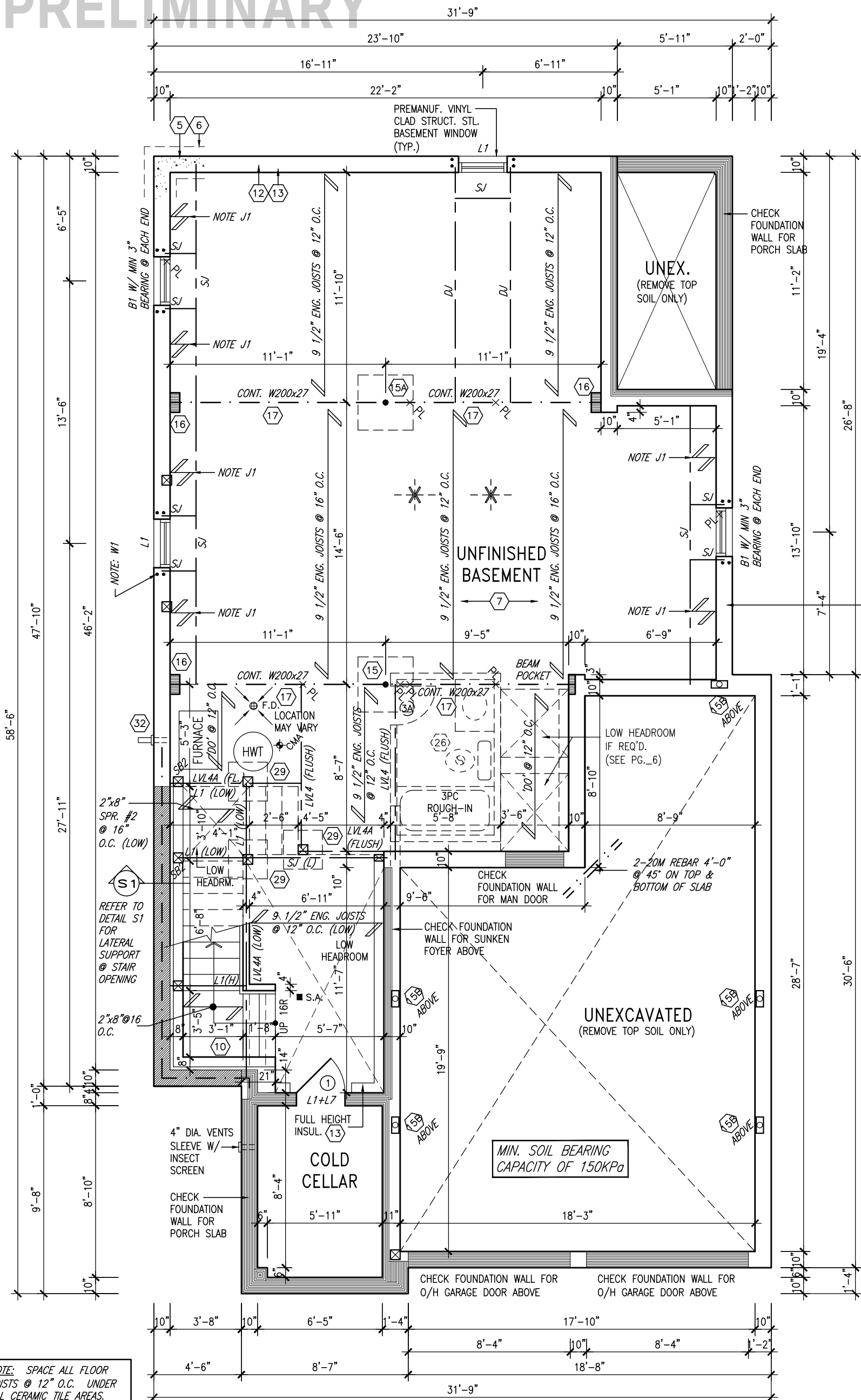
S38-16
BAROSSA 16

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
date	SEPTEMBER, 2016	checked by	RC
drawn by	N.HUR	scale	3/16" = 1'-0"
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BASEMENT PLAN 'A'

1

PRELIMINARY



SEE DETAIL S4 FOR
9'-0" BASEMENT
COND

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN 'A' (9'-0" BASEMENT) ELEV. 'B' & 'C' SIMILAR

9.	.	.	.
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4.	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3.	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
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1.	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB
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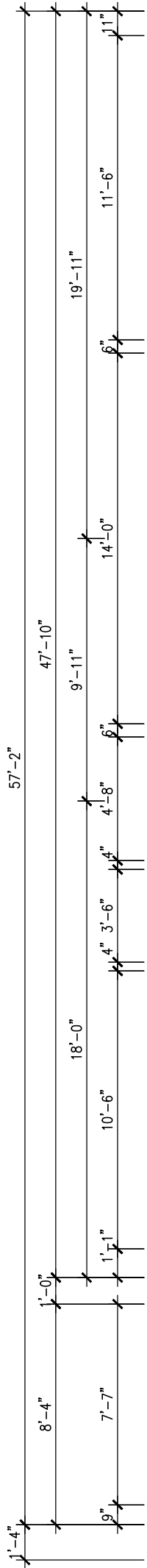


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BAYVIEW WELLINGTON		S38-16 BAROSSA 16	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
date	SEPTEMBER, 2016	project no.	16023
drawn by	N.HUR	checked by	RC
scale	3/16" = 1'-0"	BASEMENT PLAN 'A'	drawing no.
file name	16023-S38-16-10GRND		1A
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PRE PROPERTY LINE

GROUND



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

9	.	.
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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-2
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-1
2	REVISED AS PER ENG'S COMMENTS	JAN 16-1
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16
no.	description	date

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

the job and report any
ending with the work. All
ts of service and the property
at the completion of the work.

INDICATES REDUCED SIDE YARD

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project name	municipality
GREEN VALLEY EAST	BRADFORD, ONTARIO

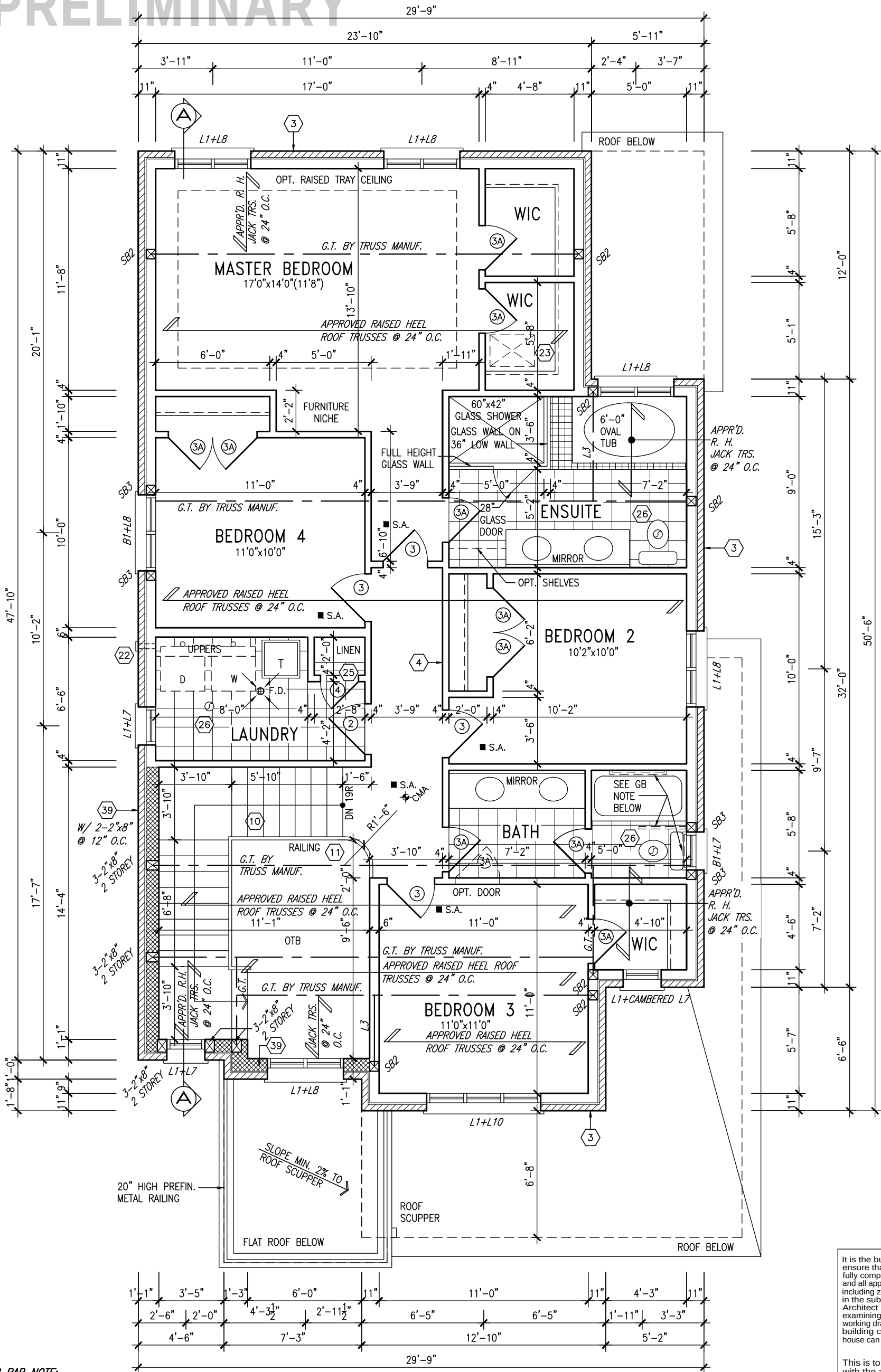
date SEPTEMBER,2016		GROUND FLOOR PLAN 'A'		drawing no. 2
drawn by N.HUR	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-16-10GRND	
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project no.	6023
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PRELIMINARY



10' GROUND

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
GB-NOTE-2020.dwg

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'A'

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name GREEN VALLEY EAST municipality BRADFORD, ONTARIO

project no. 16023

date SEPTEMBER, 2016

SECOND FLOOR PLAN 'A'

drawing no.

drawn by N.HUR

checked by RC

scale 3/16" = 1'-0"

file name 16023-S38-16-10GRND

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PRELIMINARY

PART. SECOND FLOOR
PLAN 'B'

NOTE: ROOF FRAMING.
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GRAB BAR NOTE:
**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
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SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.
GB-NOTE-2020.dwg

PART. GROUND
FLOOR PLAN 'B'
(10'-0"
GROUND)

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C.
DIAGONALLY CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/ SINGLE PLY
ROOF MEMBRANE
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

PART. BASEMENT
PLAN 'B'

NOTE: FLOOR FRAMING INFO
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FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

REFER TO FULL PLANS
FOR TYPICAL NOTES

INDICATES REDUCED SIDE YARD

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS
INSULATION (RIGID or SPRAY
FOAM).
-2"x4" @ 16"o.c. w/ R12
BATT INSULATION & 1/2"
DRYWALL FINISH
-EXTEND EXTERIOR WALL
FOOTING TO SUPPORT 2"x4"
WALL WHERE LOAD BEARING.

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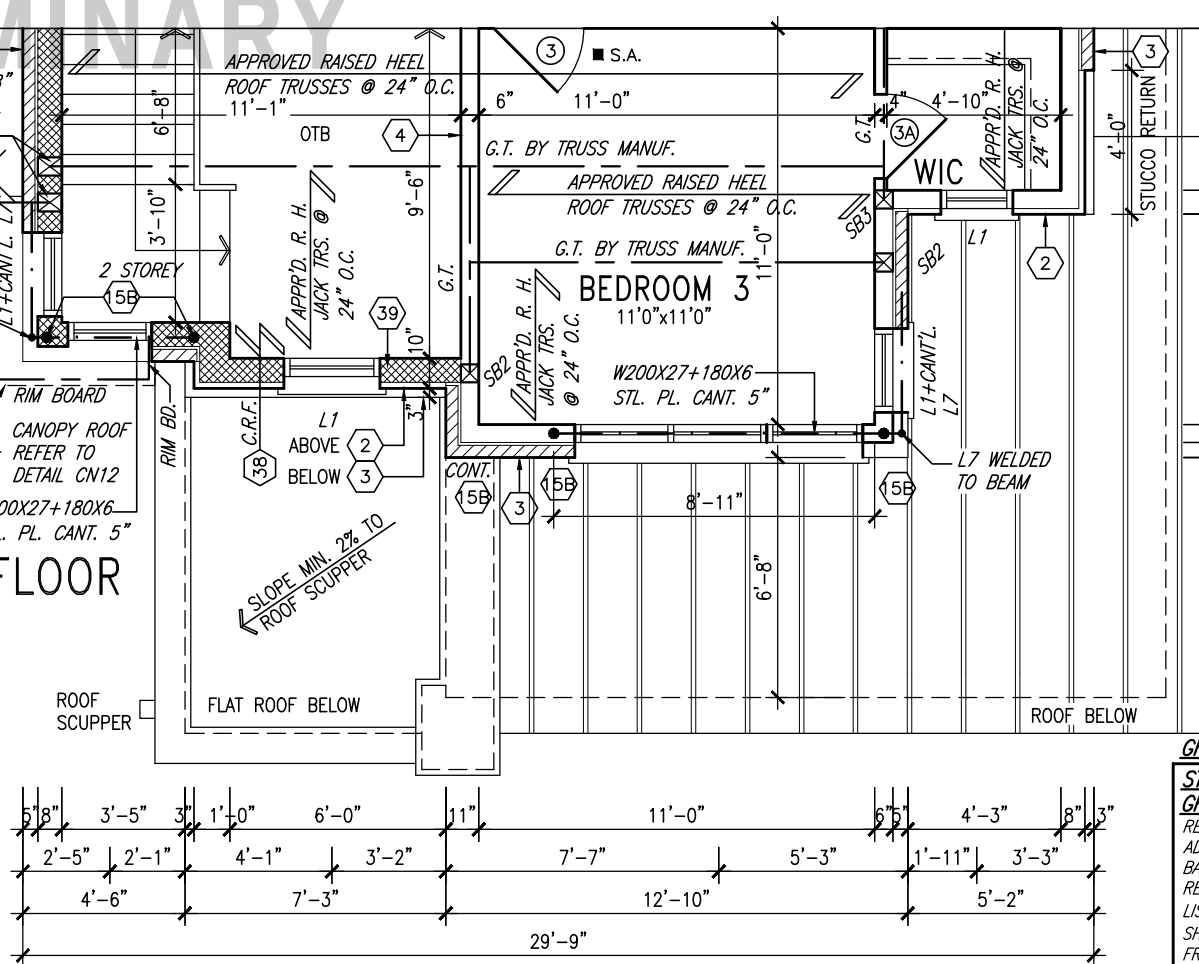
BAYVIEW WELLINGTON		S38-16 BAROSSA 16	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO
date	SEPTEMBER,2016	project no.	16023
drawn by	N.HUR	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S38-16-10GRND
RICHARD - D:\2014\14005-13045-BW\WORKING\13045-S38-1.dwg - Tue - Jun 22 2021 - 5:42 AM		PART. FLOOR PLANS 'B'	
		drawing no.	
		4	

PRELIMINARY

PART. SECOND FLOOR
PLAN 'C'

CANOPY -
PREFIN. METAL ROOF CAP OVER
WATERPROOF MEMBRANE OVER 5/8"
T&G PLYWOOD SHEATHING ON 2"x4"
@ 16" O.C. CUT TO SLOPED TO
FRONT (REFER TO DETAILS)

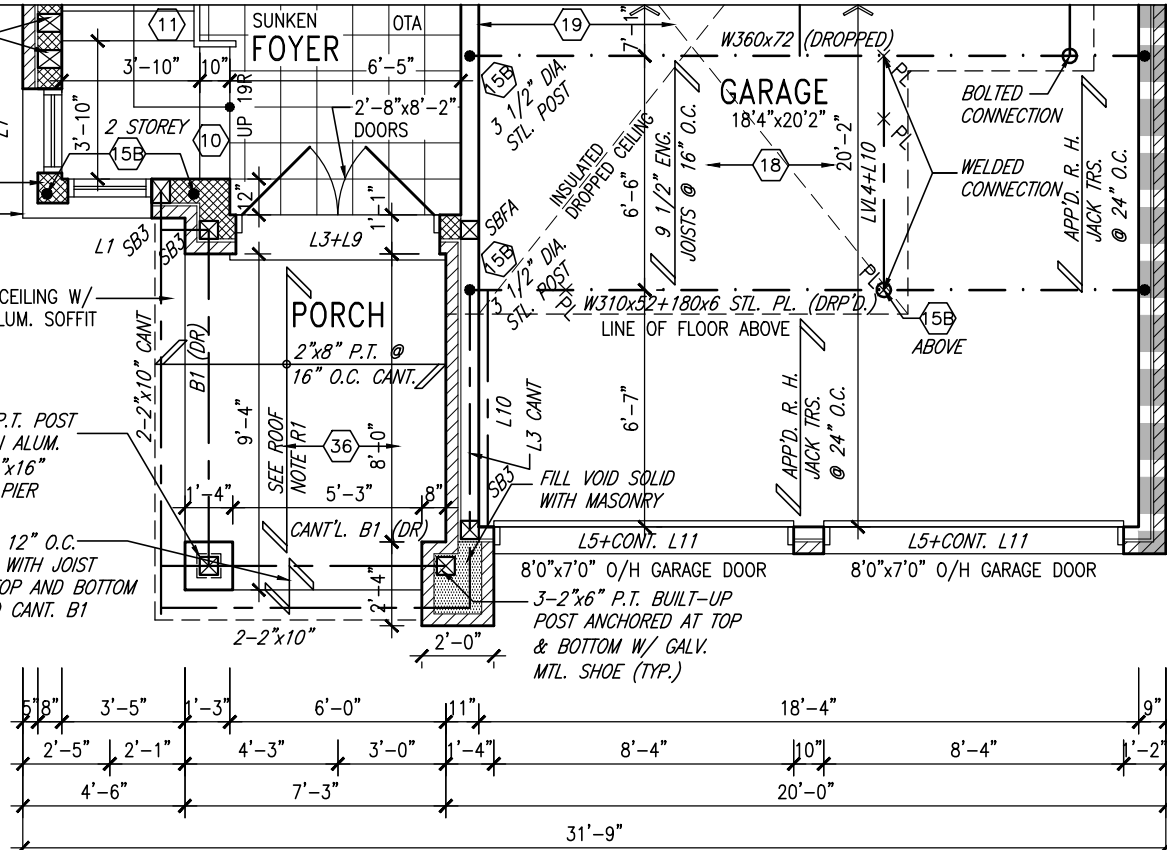
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GB-NOTE-2020.dwg

PART. GROUND
FLOOR PLAN 'C'
(10'-0" GROUND)



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

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• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

PART. BASEMENT
PLAN 'C'

NOTE: FLOOR FRAMING INFO
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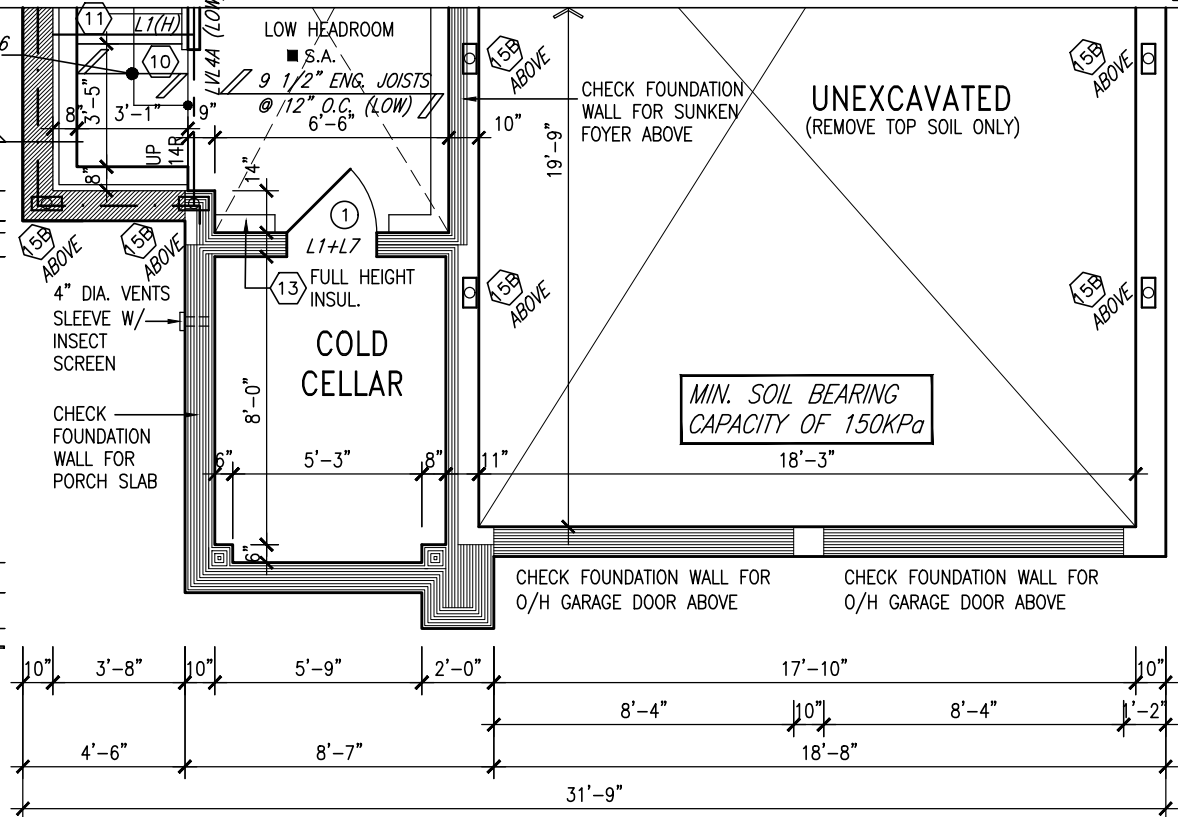
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@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

REFER TO FULL PLANS
FOR TYPICAL NOTES

INDICATES REDUCED SIDE YARD



BASEMENT INSULATION AT STAIR/SUNKEN AREAS
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va3design.com

BAYVIEW WELLINGTON		S38-16 BAROSSA 16	
project name GREEN VALLEY EAST	municipality BRADFORD, ONTARIO	project no. 16023	
date SEPTEMBER,2016	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-16-10GRND
drawing no. 5		drawing no. 5	
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AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1092.4 SF	1092.4 SF	1092.4 SF
SECOND FLOOR AREA	1373.7 SF	1373.7 SF	1372.4 SF
SUBTOTAL	2466.1 SF	2466.1 SF	2464.8 SF
DEDUCT ALL OPENINGS	78.9 SF	78.9 SF	78.9 SF
TOTAL NET AREA	2387 SF	2387 SF	2386 SF
	221.8 m2	221.8 m2	221.7 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2387 SF	2387 SF	2386 SF
W/ FIN BSMT	221.8 m2	221.8 m2	221.7 m2
COVERAGE W/O PORCH	1588.3 SF	1588.3 SF	1588.3 SF
	147.6 m2	147.6 m2	147.6 m2
COVERAGE W/PORCH	1731.2 SF	1728.3 SF	1730.3 SF
	160.8 m2	160.6 m2	160.7 m2

MASTER BEDRM.
17'0"x14'0" (11'8")

72"x36"
GLASS SHOWER
FULL HEIGHT GLASS WALL

APPROVED RAISED HEEL

■ ROOF TRUSSES @ 24" O.C.

G.T. BY TRUSS MANUF.

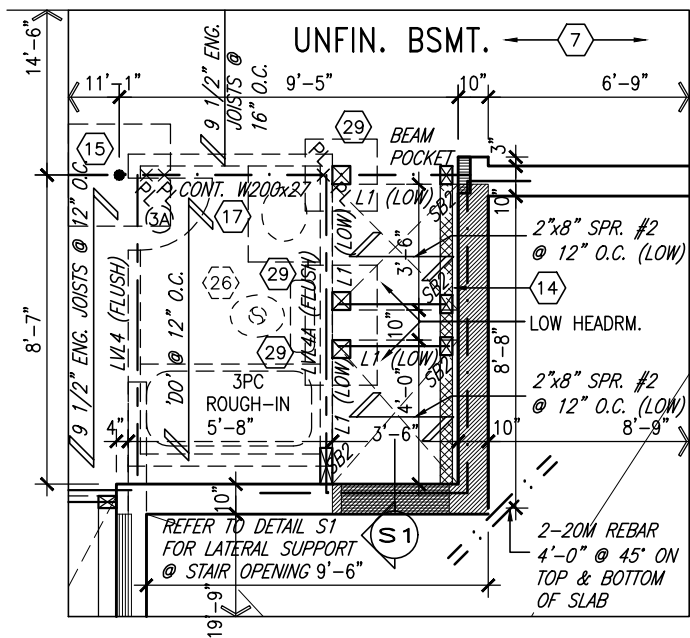
ENSUITE

MIRROR

OPT. SHELVES

BEDROOM 2
10'2"x10'0"

PART. OPT. SECOND FLOOR
W/ ALT. ENSUITE LAYOUT



PART. SUNKEN LANDING TO
GARAGE FOR -1R
CONDITION

PART. SUNKEN LANDING TO
GARAGE FOR -2R TO -3R
CONDITION

STUDS AND $\frac{1}{2}$ " WATERPROOF DRYWALL
OPT. SOUND INSULATION
CAULKING (TYP.)
6" HIGH CERAMIC BASEBOARD
WATERPROOF MEMBRANE
MIN. 6" UP WALL
ADHERED TO WOOD SUBFLOOR AND STUDS

MIN. 6" HIGH

1" THICK MORTAR BED
HEIGHT AT PERIMETER WALLS

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRICAL SUPPLY CROSS
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than $1\frac{1}{16}$ " (27mm) trade size,
- A square $1\frac{1}{16}$ " (119mm) trade size electrical outlet box.
- Flameproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

CERAMIC TILE APPLICATION WITH ADHESIVE (O.B.C. 9.30.6.)
CERAMIC TILES ADHERED TO MIN. $\frac{1}{2}$ " THICK CONC. MORTAR BED W/ GALV. WIRED MESH
SLOPED TO FLOOR DRAIN

FLOOR DRAIN

$\frac{3}{4}$ " OSB SUBFLOOR
GLUED+NAILED TO JOISTS

MIN. $\frac{1}{2}$ " MORTAR BED

DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY
REFER TO 2012 OBC. 9.34.4.

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONTARIO

16023

date		PART. FLOOR PLANS	
SEPTEMBER,2016			
drawn by	checked by	scale	
N.HUR	RC	3/16" = 1'-0"	
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Tue - Jun 22 2021		5:42 AM	

drawing no
6

PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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S38-16
BAROSSA 16

16023

GREEN VALLEY EAST **BRADFORD, ONTARIO**

8

DATE	BY	DESCRIPTION	AMOUNT	BALANCE
SEPTEMBER, 2016				
	drawn by	checked by	scale	
	N. HUR	RC	$3/16" = 1'-0"$	1

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All dra



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All dra

2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	4
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[illegible]

WALL AREA	1025.50 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	71.79 SQ. FT.
OPENING PROVIDED	50.71 SQ. FT. (GLASS AREA ONLY)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

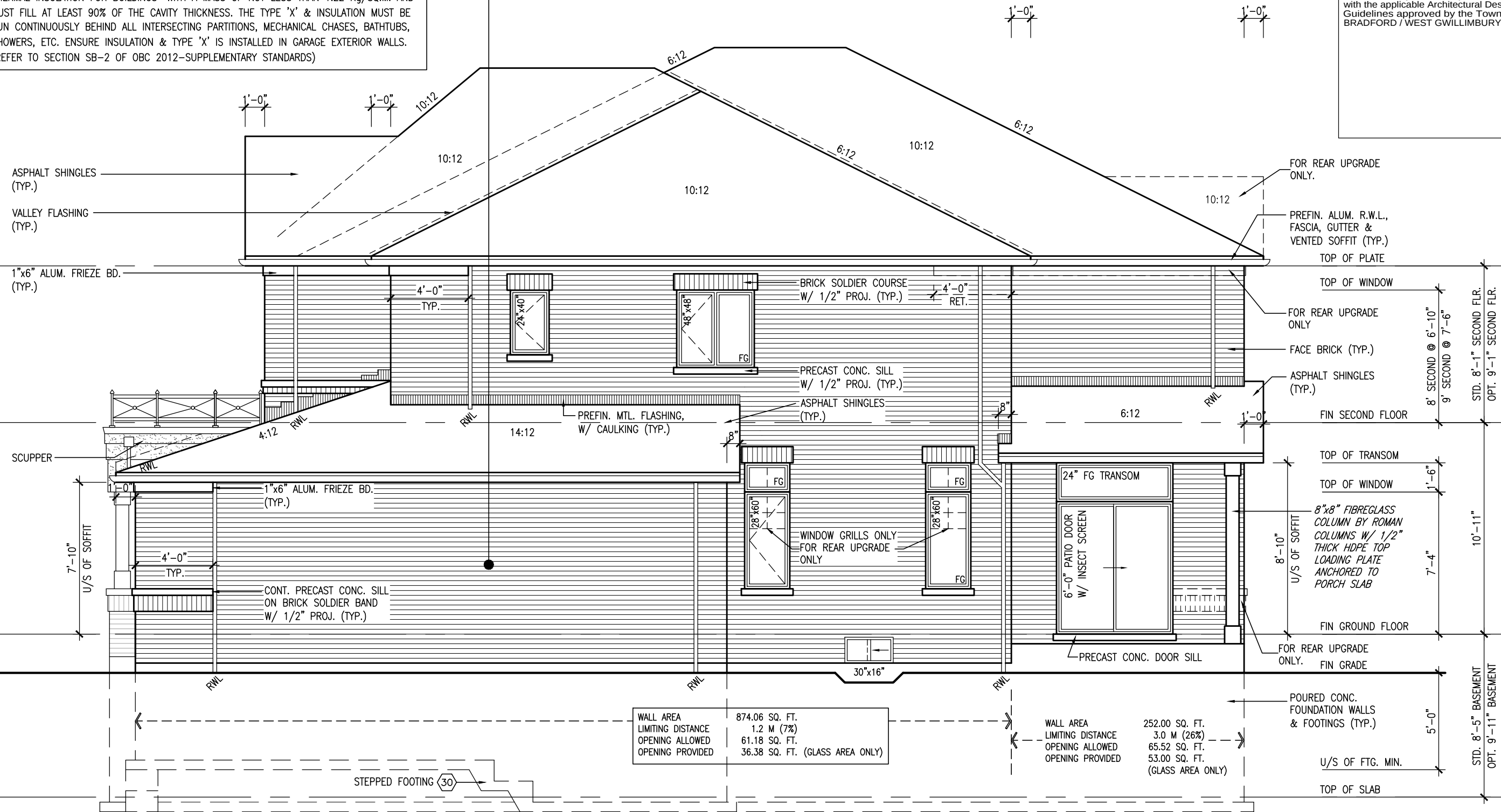
LEFT SIDE ELEVATION 'A'

10⁹ GROUND

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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RIGHT SIDE ELEVATION 'A'

10⁹ GROUND

BAYVIEW WELLINGTON

S38-16
BAROSSA 16

[illegible]

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ONTARIO	16023

date	DIGIT SIDE ELEVATION 'A'	drawing no.
------	--------------------------	-------------

drawn by	checked by	scale	file name
			RIGHT SIDE ELEVATION A

N.HUR	RC	$3/16'' = 1'-0''$	16023-S38-16-10GRND
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RICHARD - D:\2014\14005-13045-BW\WORKING\3045-S38-1.dwg - Tue - Jun 22 2021 5:42 AM

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Drawings are not to be scaled.

All draw

9	.					JUN 04-21	KL
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4	ADDED OPT. 9' BASEMENT	10'	GRO				
3	ADD BOUT JOIN AN CARP	ETED					

3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC

1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB
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no.	description	date	by
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PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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S38-16
BAROSSA 16

BAYVIEW WELLINGTON

project name	BRADFORD, ONTARIO	project no
GREEN VALLEY EAST		16023

date SEPTEMBER, 2016 REAR ELEVATION 'A' drawing no. 10

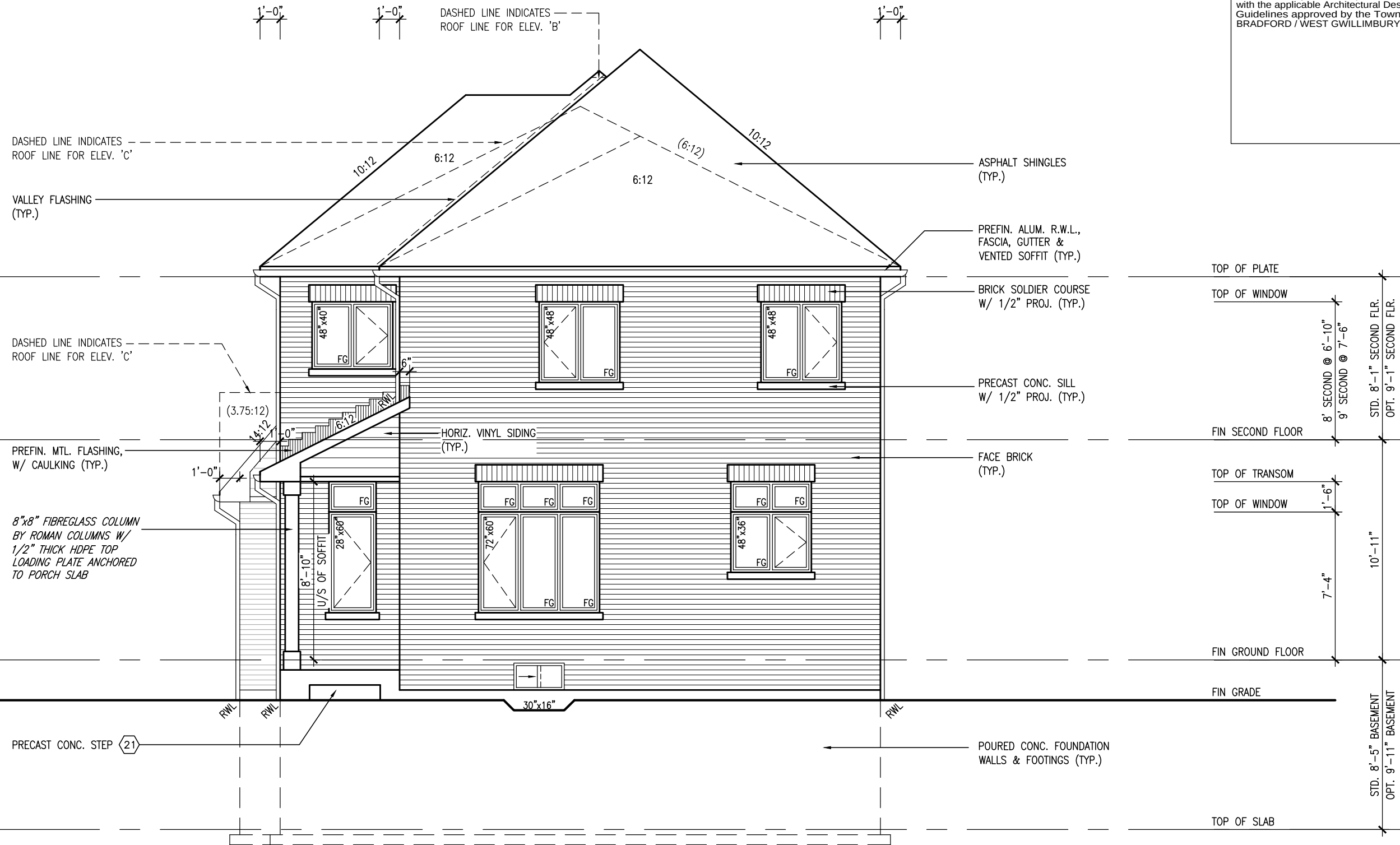
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N.HUR	RC	3/16" = 1'-0"	16023-S38-16-10GRND
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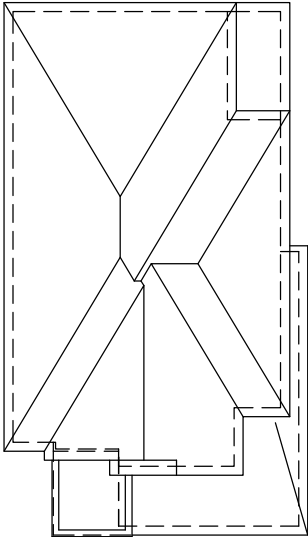


REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

10⁹ GROUND

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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21 KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19 RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16 SB
no.	description	date
		by

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	639.88 S.F.	155.00 S.F.	24.22 %
LEFT SIDE	1040.40 S.F.	80.67 S.F.	7.75 %
RIGHT SIDE	1040.36 S.F.	109.33 S.F.	10.51 %
REAR	624.75 S.F.	120.83 S.F.	19.34 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3345.39 S.F.	465.83 S.F.	13.92 %
TOTAL SQ. M.	310.79 S.M.	43.28 S.M.	13.92 %



ROOF PLAN 'B'



FRONT ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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9

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no.

description

ADD OPT. 9' BASEMENT 10' GROUND

ADD POINT LOAD ON GARAGE STEEL

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

JUN 04-21 KL

JAN 15-19 RC

JAN 16-18 RC

OCT.19/16 SB

date

by

VA3 DESIGN

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vo3design.com

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project name

GREEN VALLEY EAST

project no.

16023

date

SEPTEMBER 2016

drawn by

N.HUR

checked by

RC

scale

3/16" = 1'-0"

drawn no.

11

drawn date

16023-S38-16-10CRND

drawn time

Tue - Jun 22 2021 - 5:42 AM

BAYVIEW WELLINGTON

S38-16 BAROSSA 16

BRADFORD, ONTARIO

FRONT ELEVATION 'B'

PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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S38-16
BAROSSA 16

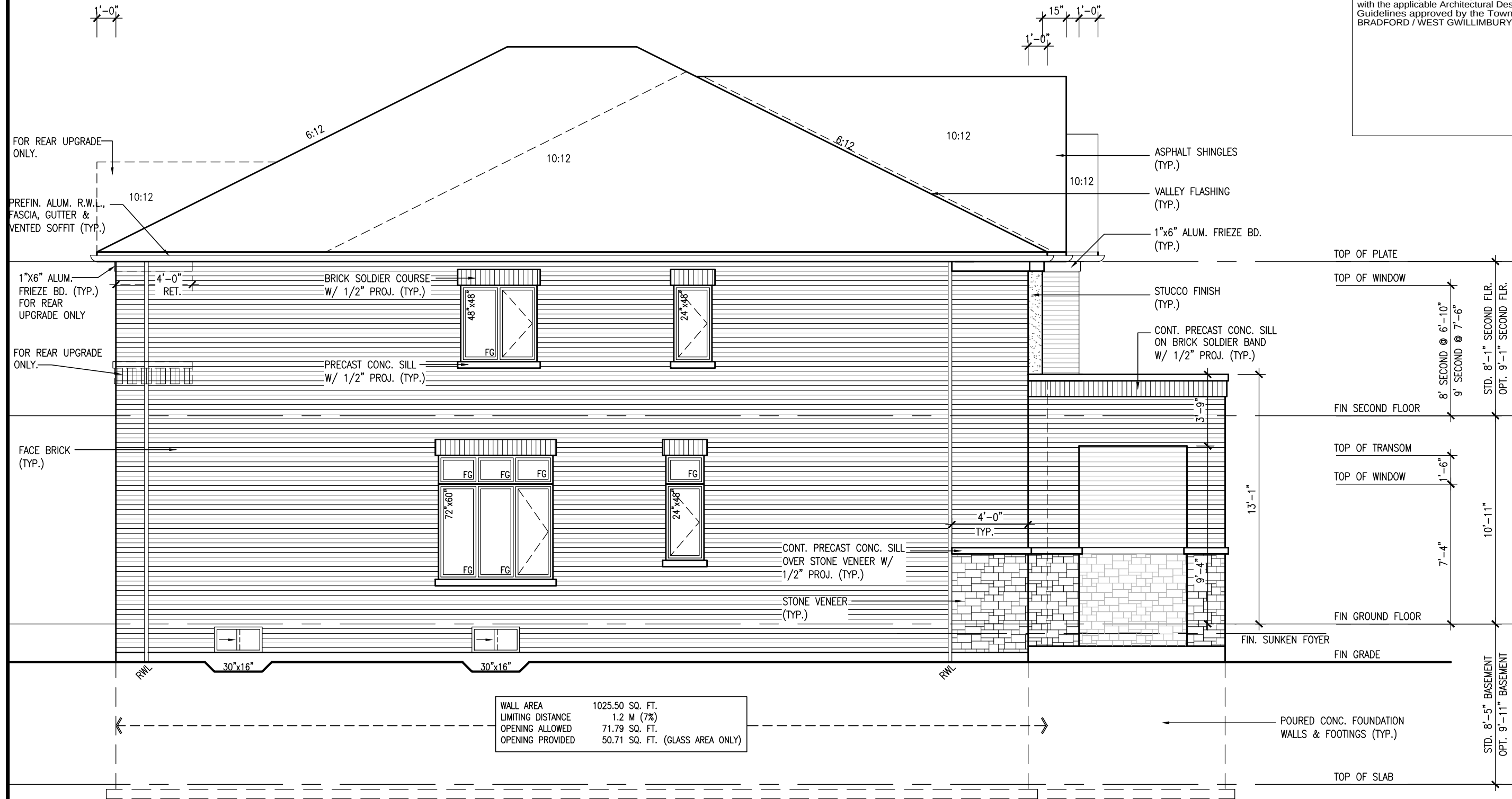
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no.	description	date	by
9	.		.
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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB

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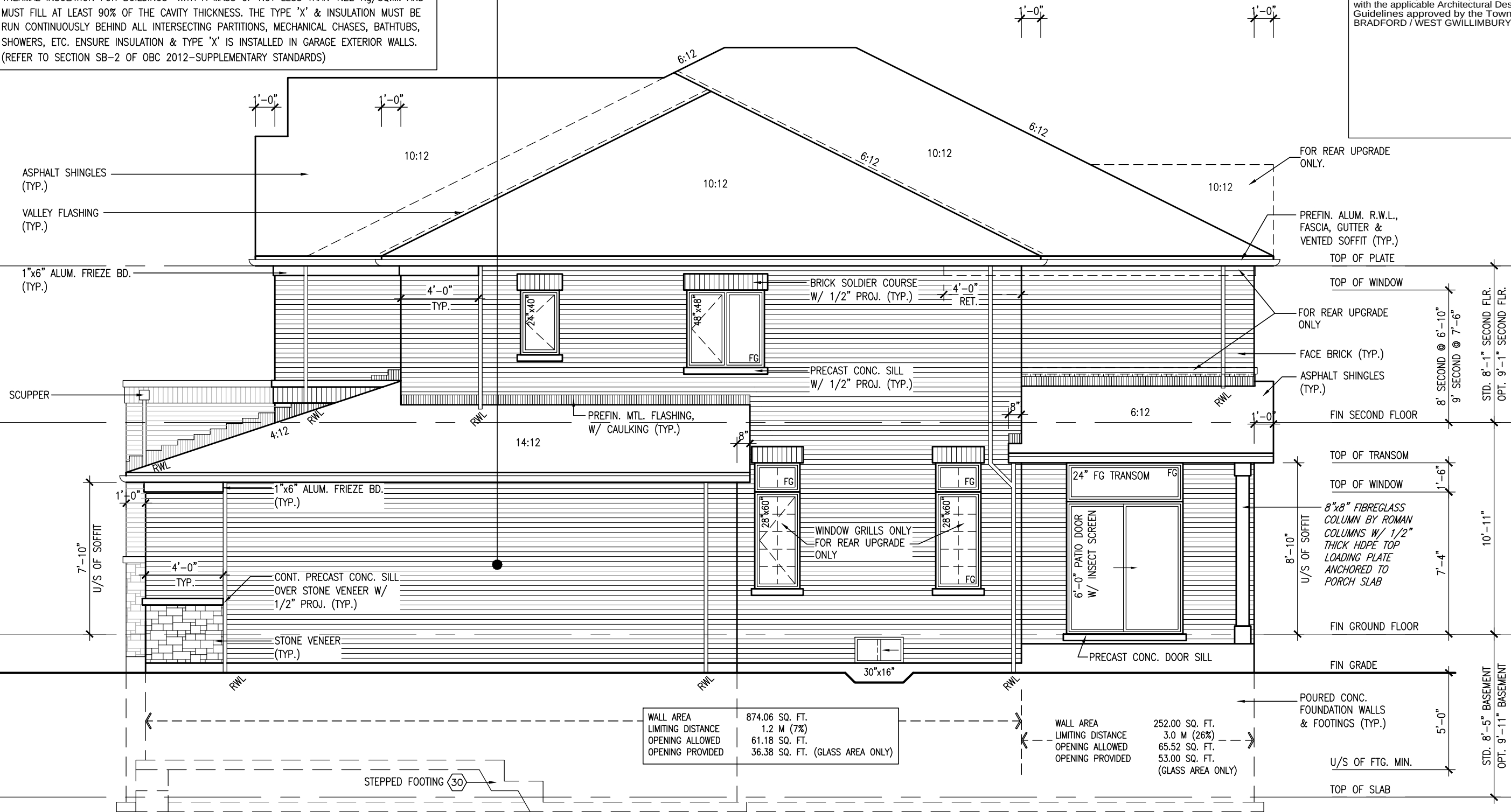
10⁹ GROUND

LEFT SIDE ELEVATION 'B'

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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AS PER MUNICIPALITY

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10⁹ GROUND

RIGHT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON

S38-16
BAROSSA 16

[illegible]

GREEN VALLEY EASI	BRADFORD, ONIARIO	16023
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date
SEPTEMBER, 2016

drawn by	checked by	scale	file name
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N.HUK	KC	3/16 = 1-0	16023-S38-16-10GRND
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If the Designer which must be returned at the completion of the work.
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All draw

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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC

Z	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 18/16	SR

no.	description	date	by
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Journal Pre-proof

PRELIMINARY

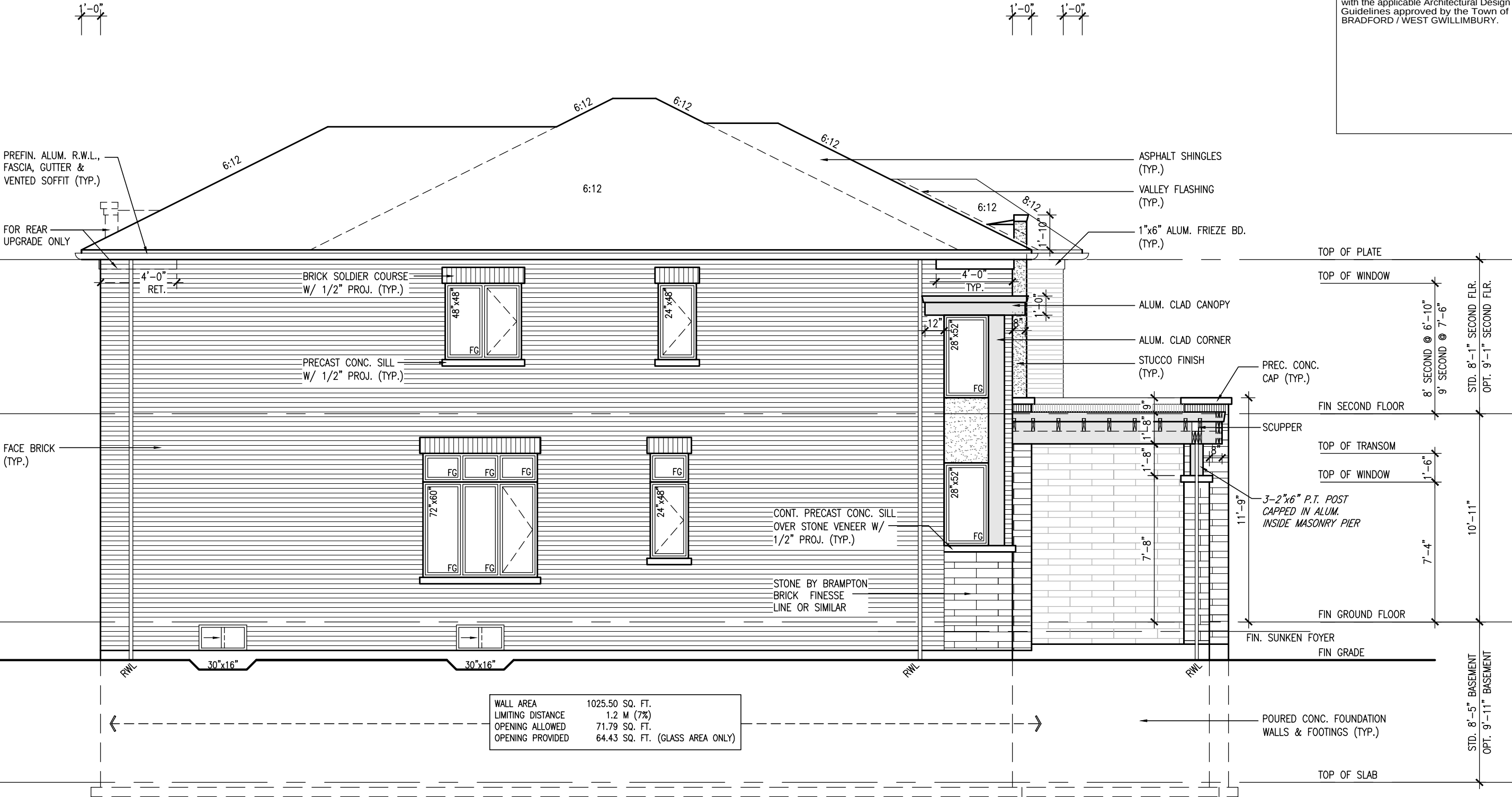
SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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10' GROUND

LEFT SIDE ELEVATION 'C'

project no.

16023

project name

GREEN VALLEY EAST

date

SEPTEMBER 2016

drawn by

N.HUR

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S38-16-10CRND

drawing no.

15

municipality

BRADFORD, ONTARIO

left side elevation 'C'

S38-16

BAROSSA 16

BAYVIEW WELLINGTON

VAD

DESIGN

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no.	description	date	by
9.			
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4.	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3.	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1.	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB

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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)
BRAMPTON BRICK FINESSE (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
TOP OF PLATE
TOP OF WINDOW

FOR REAR UPGRADE ONLY
STUCCO FINISH FOR REAR UPGRADE ONLY. SEE P.25
FACE BRICK (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB

FIN GROUND FLOOR

FIN GRADE

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)

U/S OF FTG. MIN.

TOP OF SLAB

RIGHT SIDE ELEVATION 'C'

WALL AREA 874.06 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 61.18 SQ. FT.
OPENING PROVIDED 43.49 SQ. FT. (GLASS AREA ONLY)

252.00 SQ. FT.
3.0 M (26%)
65.52 SQ. FT.
53.00 SQ. FT. (GLASS AREA ONLY)

LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

10' GROUND

BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project no. 16023
project name GREEN VALLEY EAST
municipality BRADFORD, ONTARIO

date SEPTEMBER 2016
checked by N.HUR
drawn by RICHARD - D:\2014\140005-13045-BW\WORKING\13045-S38-1.dwg - Tue - Jun 22 2021 - 5:42 AM

scale 3/16" = 1'-0"
drawing no. 16

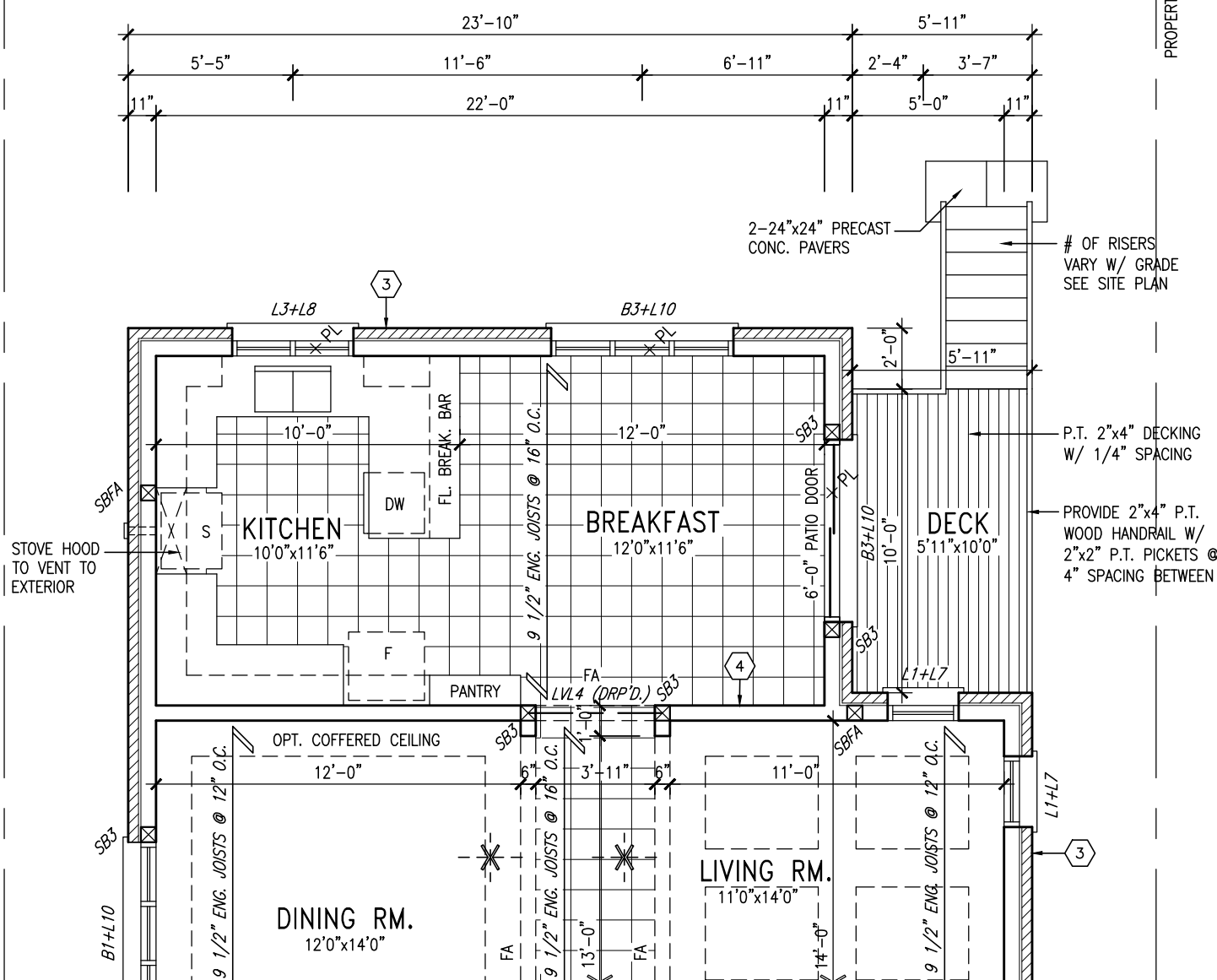
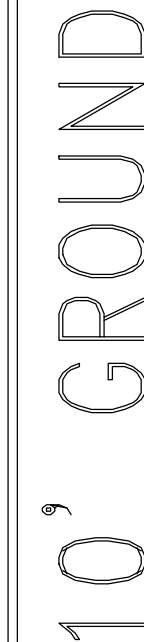
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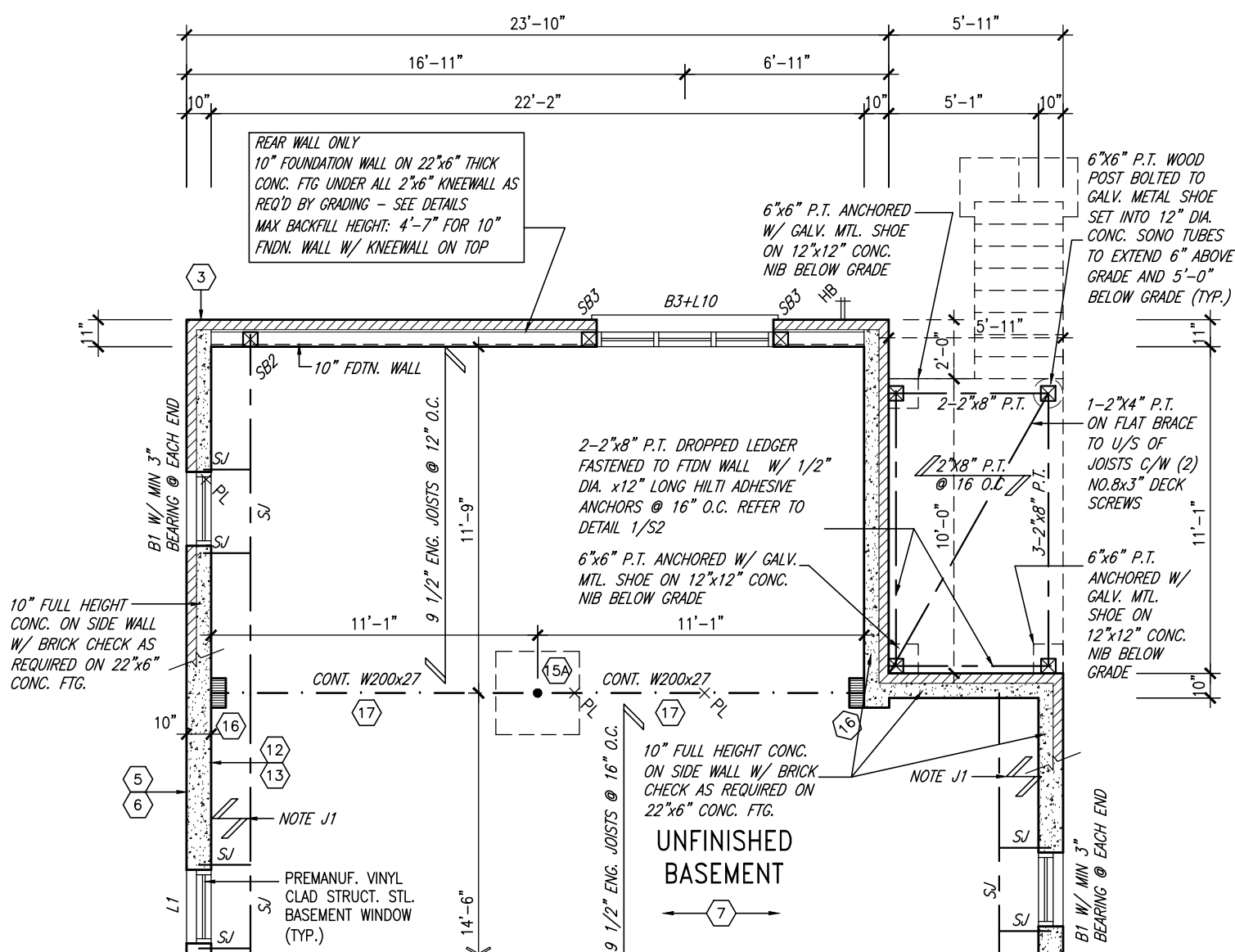
no.	description	date	by
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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB

PROPERTY LINE



NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

GROUND FLOOR PLAN 'A' – W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



BSMT PLAN 'C'
REAR UPGRADE
W.O.D. CONDITION
ONLY

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BASEMENT PLAN 'A' – W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

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no.	description	date	by

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONTARIO

project no.
16023

date SEPTEMBER, 2016 PART. FLOOR PLANS—W.O.D. COND.

drawing no.

drawn by	checked by	scale	file name
N.HUR	RC	3/16" = 1'-0"	16023-S38-16-10GRND
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17

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-16 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	632.00 S.F.	151.67 S.F.	24.00 %	
LEFT SIDE	1041.69 S.F.	80.67 S.F.	7.74 %	
RIGHT SIDE	1040.36 S.F.	109.33 S.F.	10.51 %	
REAR	743.75 S.F.	137.50 S.F.	18.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3457.80 S.F.	479.17 S.F.	13.86 %	
TOTAL SQ. M.	321.24 S.M.	44.52 S.M.	13.86 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-16 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	639.88 S.F.	155.00 S.F.	24.22 %	
LEFT SIDE	1040.40 S.F.	80.67 S.F.	7.75 %	
RIGHT SIDE	1040.36 S.F.	109.33 S.F.	10.51 %	
REAR	743.75 S.F.	137.50 S.F.	18.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3464.39 S.F.	482.50 S.F.	13.93 %	
TOTAL SQ. M.	321.85 S.M.	44.83 S.M.	13.93 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-16 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	624.75 S.F.	160.89 S.F.	25.75 %	
LEFT SIDE	1040.36 S.F.	100.89 S.F.	9.70 %	
RIGHT SIDE	1040.36 S.F.	121.00 S.F.	11.63 %	
REAR	743.75 S.F.	137.50 S.F.	18.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3449.22 S.F.	520.28 S.F.	15.08 %	
TOTAL SQ. M.	320.44 S.M.	48.34 S.M.	15.08 %	



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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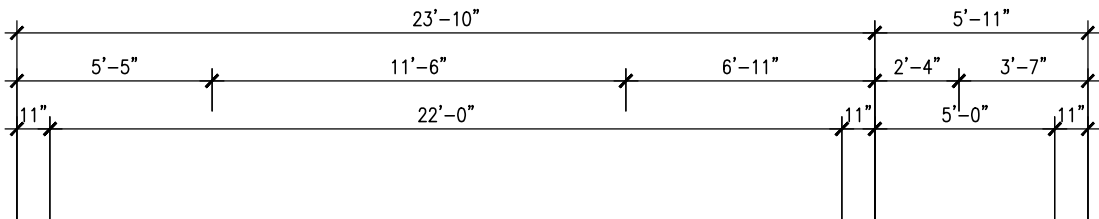
REAR ELEVATION 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

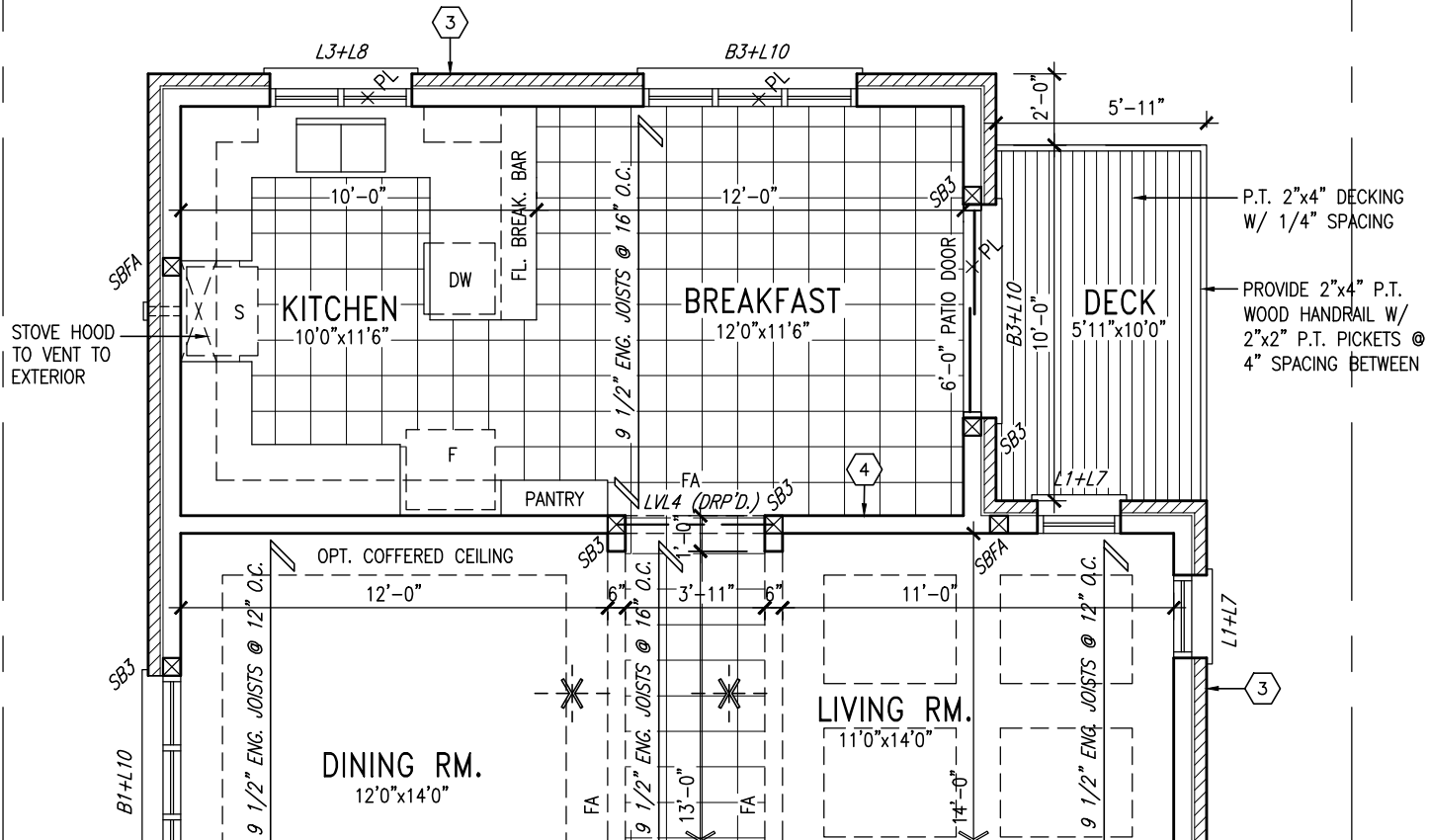
10' GROUND

S38-16 BAROSSA 16		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONTARIO		REAR ELEVATION - W.O.D. COND.		16023-S38-16-10CRND	
project no.	16023	project name	GREEN VALLEY EAST	municipality	BRADFORD, ONTARIO	date	SEPTEMBER 2016	checked by	N.HUR	scale	3/16" = 1'-0"
drawing no.	18	file name	16023-S38-16-10CRND	drawn by	N.HUR	drawn by	N.HUR	checked by	N.HUR	scale	3/16" = 1'-0"
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4.	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL								
3.	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC								
2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC								
1.	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB								
no.	description	date	by								

PRELIMINARY



10' GROUND



GROUND FLOOR PLAN 'A' – W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

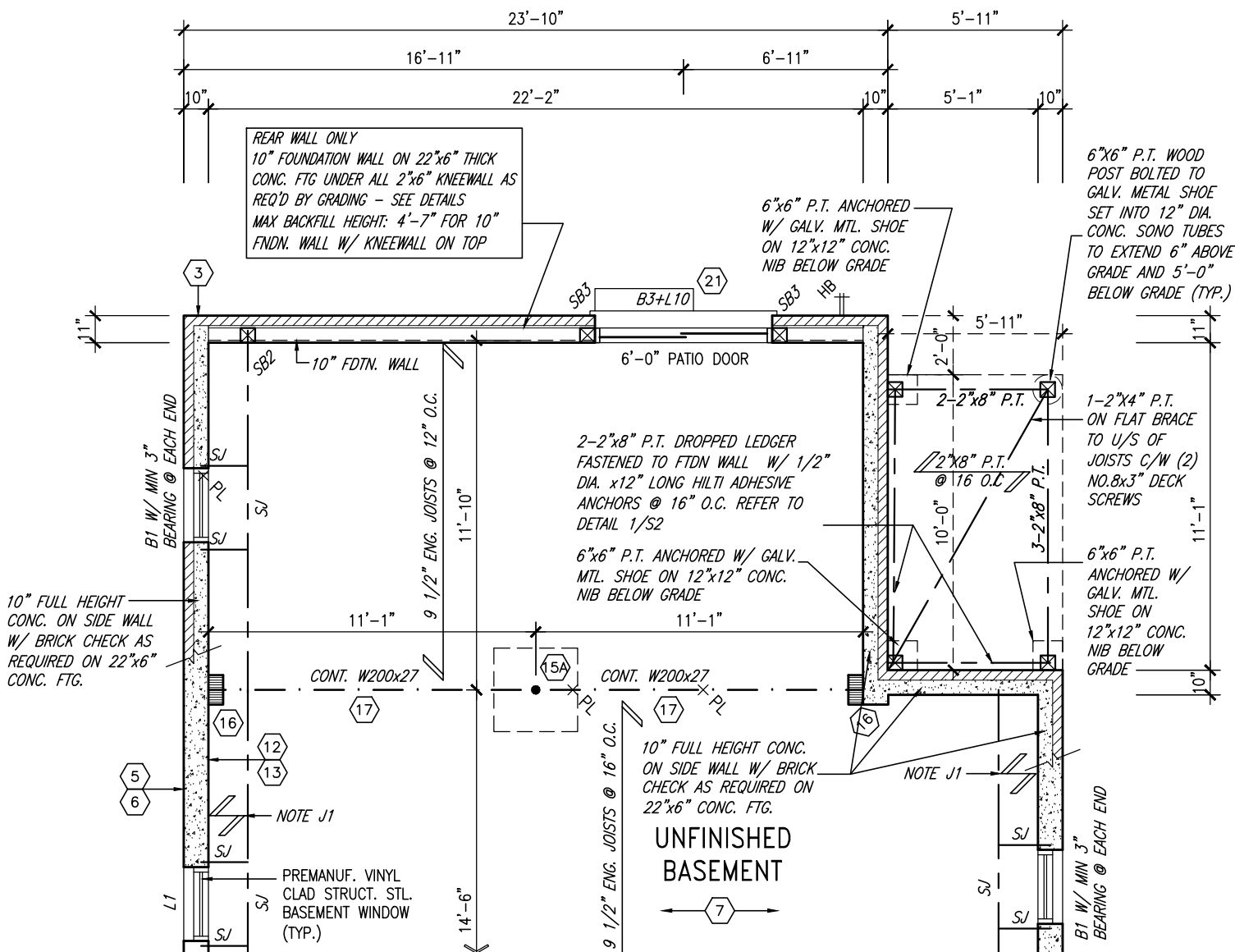
REFER TO FULL PLANS
FOR TYPICAL NOTES

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN 'A' – W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

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no.	description	date	by

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name **GREEN VALLEY EAST** municipality **BRADFORD, ONTARIO**

project no.
16023

date **SEPTEMBER, 2016** scale **3/16" = 1'-0"** file name **16023-S38-16-10GRND**

drawing no.
19

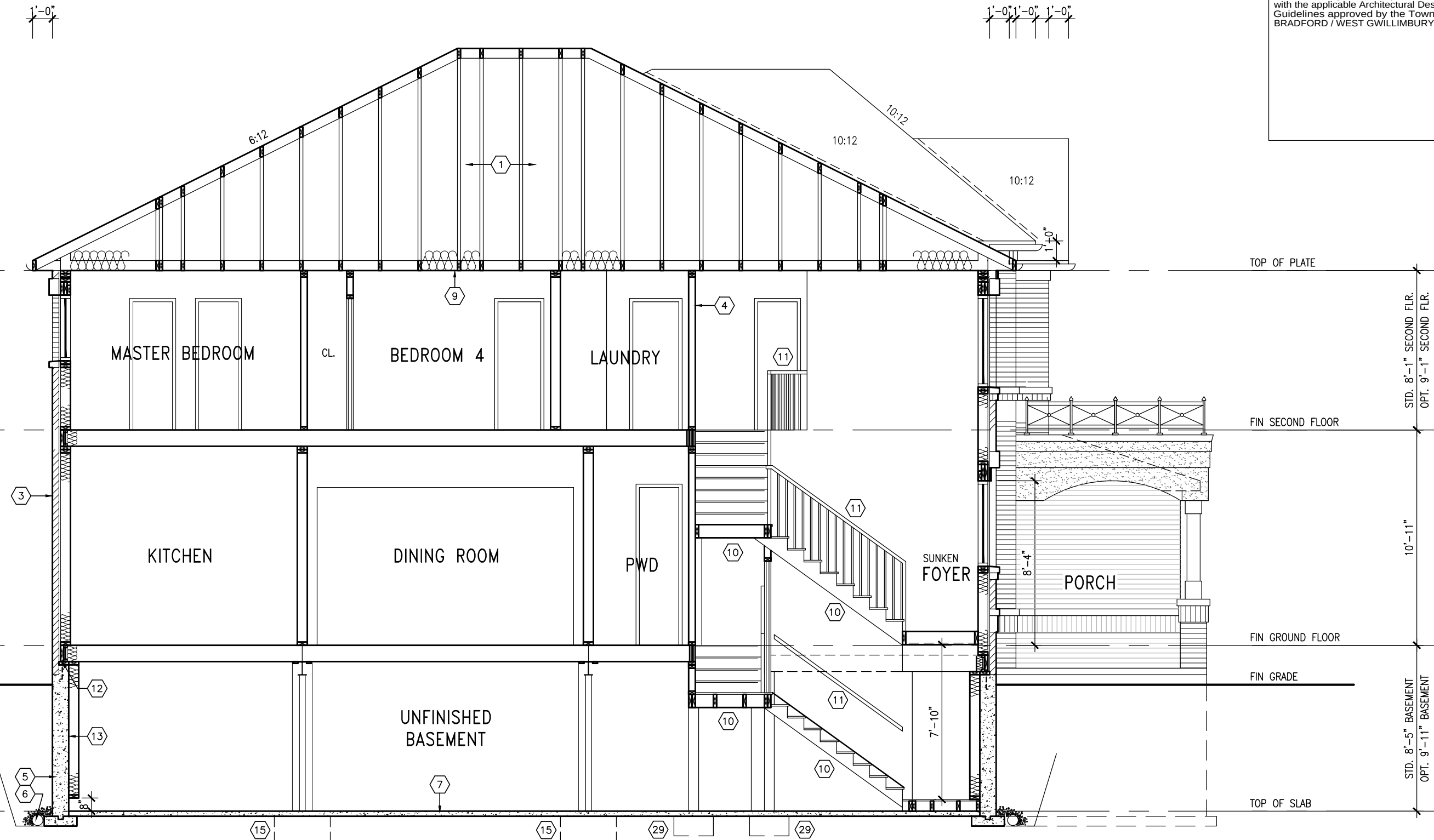
drawn by **N.HUR** checked by **RC** **16023-S38-16-10GRND**
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PRELIMINARY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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10⁹ GROUND

CROSS SECTION A-A

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name	municipality	project no.
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GREEN VALLEY EAST
BRADFORD, ONTARIO
16023

drawing no.	
1	2

CROSS-SECTION
SEPTEMBER, 2016
drawing no.

drawn by	checked by	scale	file name
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N.HUR	RC	$3/16'' = 1'-0''$	16023-S38-16-10GRND
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no.	description	date	by

10⁹ GROUND

Architectural elevation drawing of a building facade. The drawing shows a gabled roof with a 10:12 pitch on the main sections and a 6:12 pitch on the central dormer. The facade features several windows and doors, including a set of double doors on the left, a large central window, and smaller side windows. Dimensions are provided for various elements, such as window sizes (e.g., 48" x 40", 48" x 48", 72" x 60", 48" x 36") and door heights (e.g., 8'-10", 28" x 60"). Labels like "FG" (Finish Grade) and "U/S OF SOFFIT" (Under Soffit) are used to indicate specific levels and areas. The drawing also shows a small dormer window on the right side of the roof.

**CONVENTIONAL ROOF FRAMING FOR
ELEV A REAR UPGRADE ONLY**

The diagram shows a roof framing layout with a total length of 9'-10". It is divided into two equal sections of 4'-11" each. A vertical line is drawn at the midpoint. A hexagonal callout with the number 38 is located on the right side. A dimension of 1'-0" is shown at the bottom right corner.

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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S38-16
BAROSSA 16

project name GREEN VALLEY EAST	municipality BRADFORD, ONTARIO	project no. 16023
date SEPTEMBER, 2016	drawing no. 22	
drawn by NICHARD	checked by RICHARD	scale 3/16" = 1'-0"
file name 16023-S38-16-10GRND		
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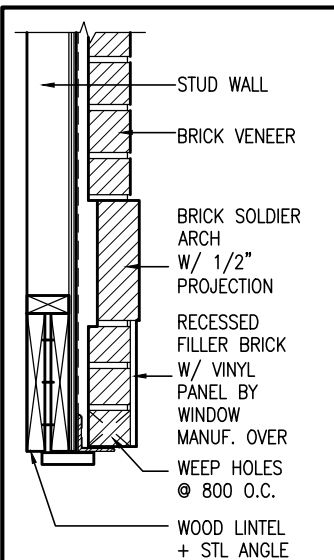
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no.	description			date	by	

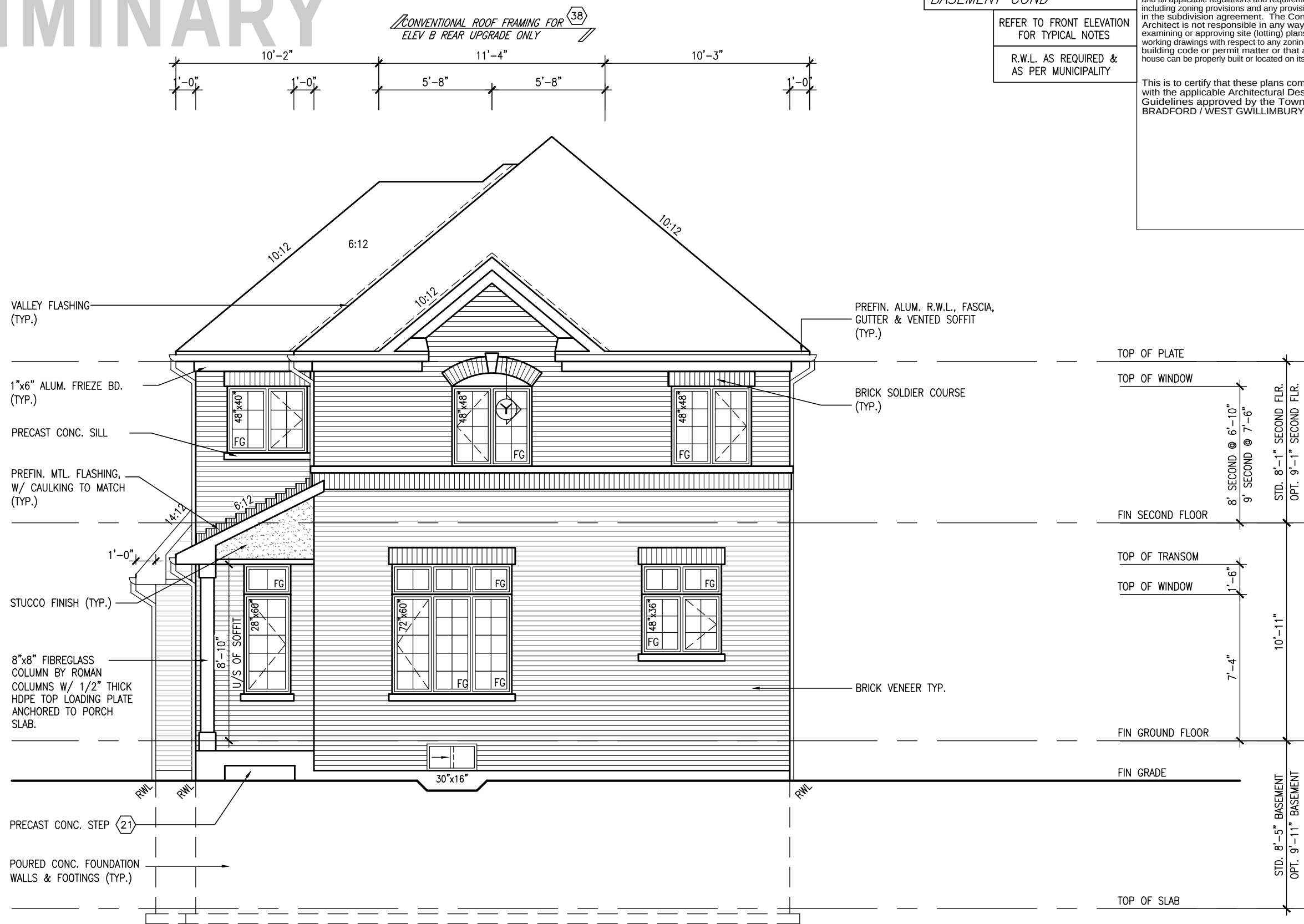
ROOF PLAN 'B'
REAR UPGRADE



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

10⁹ GROUND

REAR UPGRADE ELEVATION 'B'



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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AS PER MUNICIPALITY

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name	municipality	project no.
GREEN VALLEY EAST	BRIDLE PATH	40007
	OUTRIP	40008

GREEN VALLEY EAST	BRADFORD, ONARIO	16023
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SEPTEMBER, 2016 **ELEVATION B REAR UPGRADE** growing no.

drawn by N.HUR
checked by RC
scale $3/16" = 1'-0"$
file name 16023-S38-16-10CRND

11
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specifications, related documents and des

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All draw

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ROOF PLAN 'C'
REAR UPGRADE

10⁹ GROUND

REAR UPGRADE ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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BAYVIEW WELLINGTON

S38-16
BAROSSA 16

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONTARIO	

date **SEPTEMBER, 2016** **ELEVATION B REAR UPGRADE** drawing no. **6**

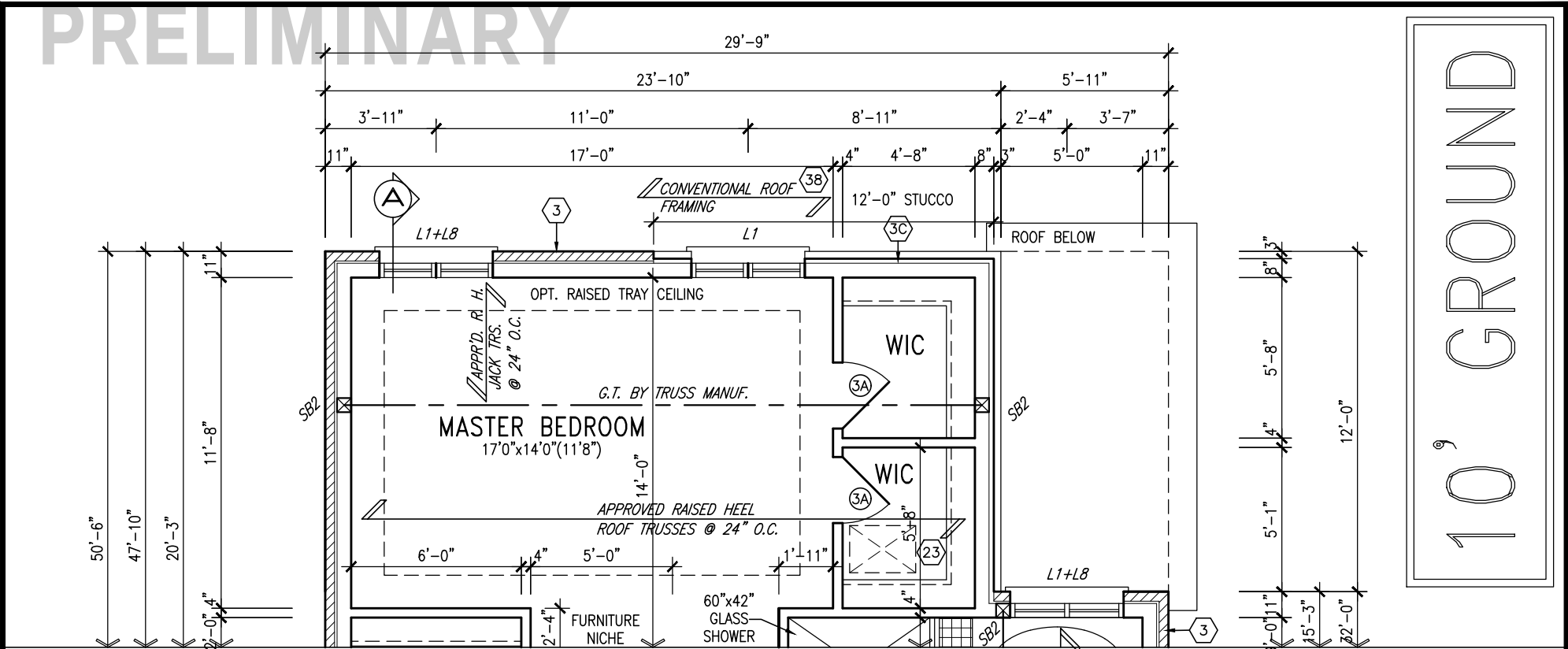
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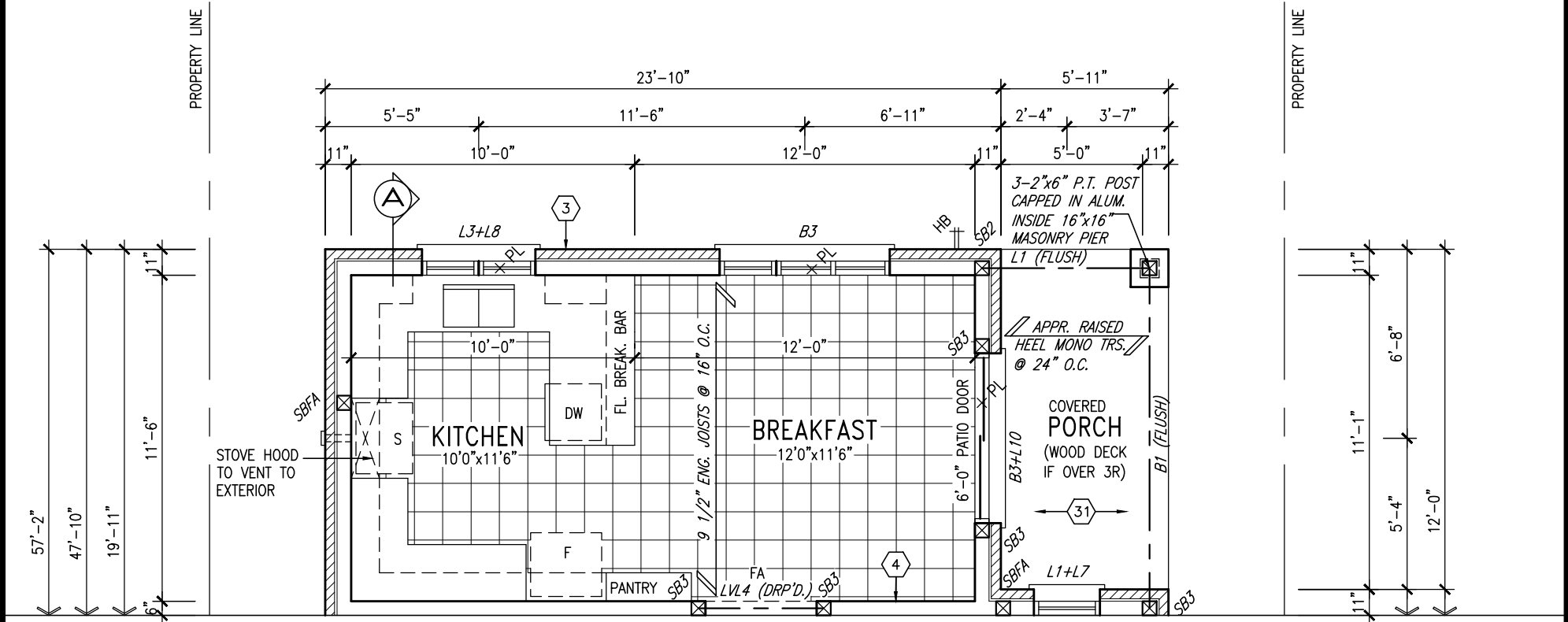
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Drawings are not to be scaled.

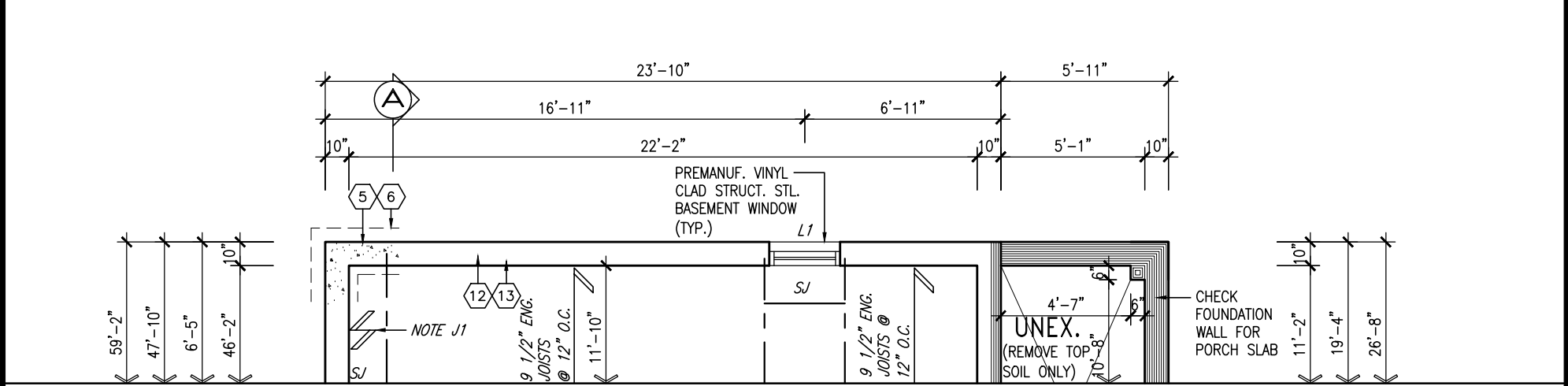
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PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL BASEMENT PLAN ELEVATION 'C' REAR UPGRADE

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

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REFER TO FULL PLANS FOR TYPICAL NOTES

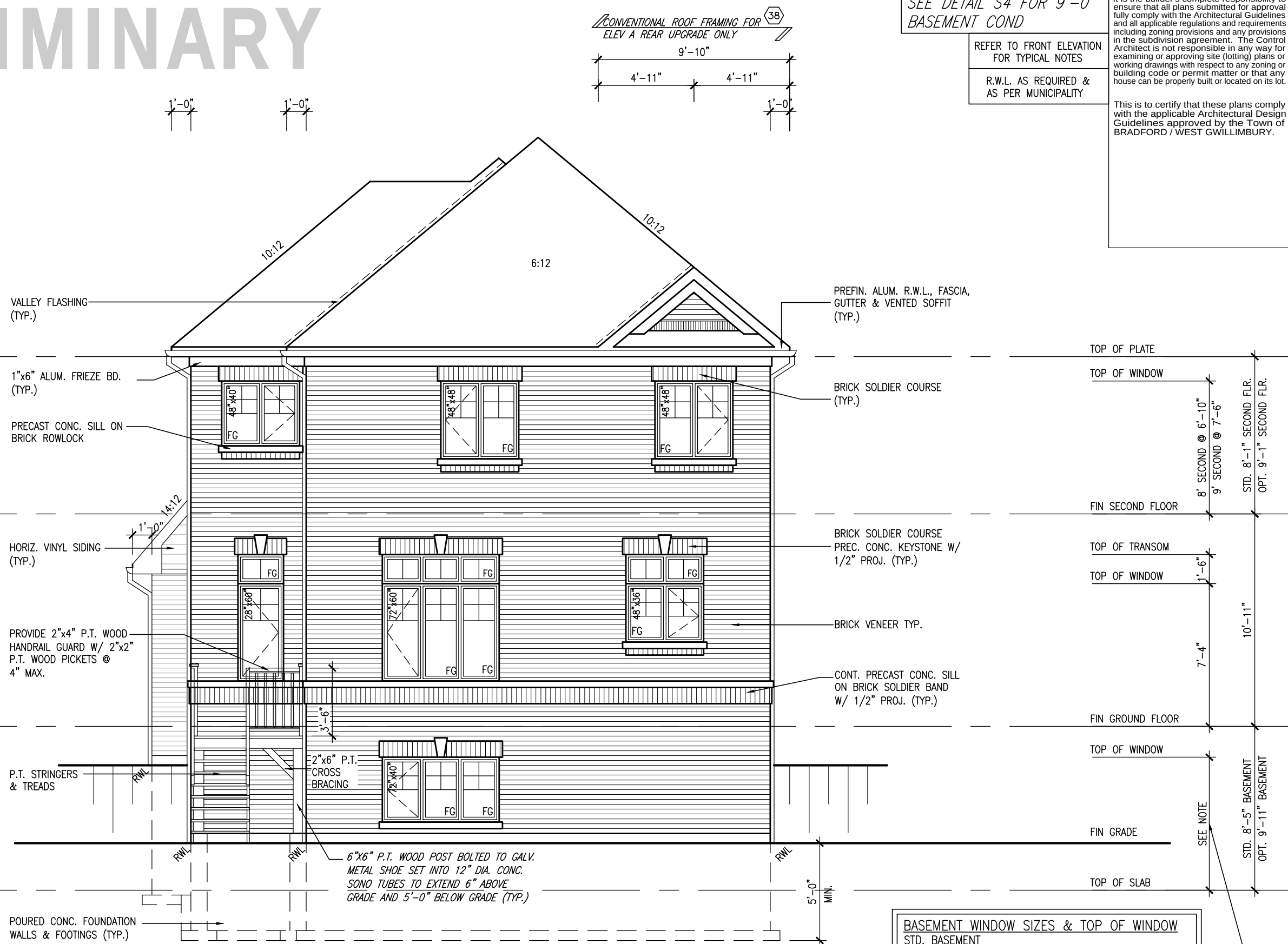
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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL
3	ADD POINT LOAD ON GARAGE STEEL	JAN 15-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT.19/16	SB
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON			S38-16 BAROSSA 16	
project name GREEN VALLEY EAST		municipality BRADFORD, ONTARIO		project no. 16023
date SEPTEMBER, 2016		SECOND FLOOR PLAN 'A'		
drawn by N.HUR	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-16-10GRND	drawing no. 26
RICHARD - D:\2014\14005-13045-BW\WORKING\13045-S38-1.dwg - Tue - Jun 22 2021 - 5:42 AM				

PRELIMINARY



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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REAR UPGRADE ELEVATION 'A' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

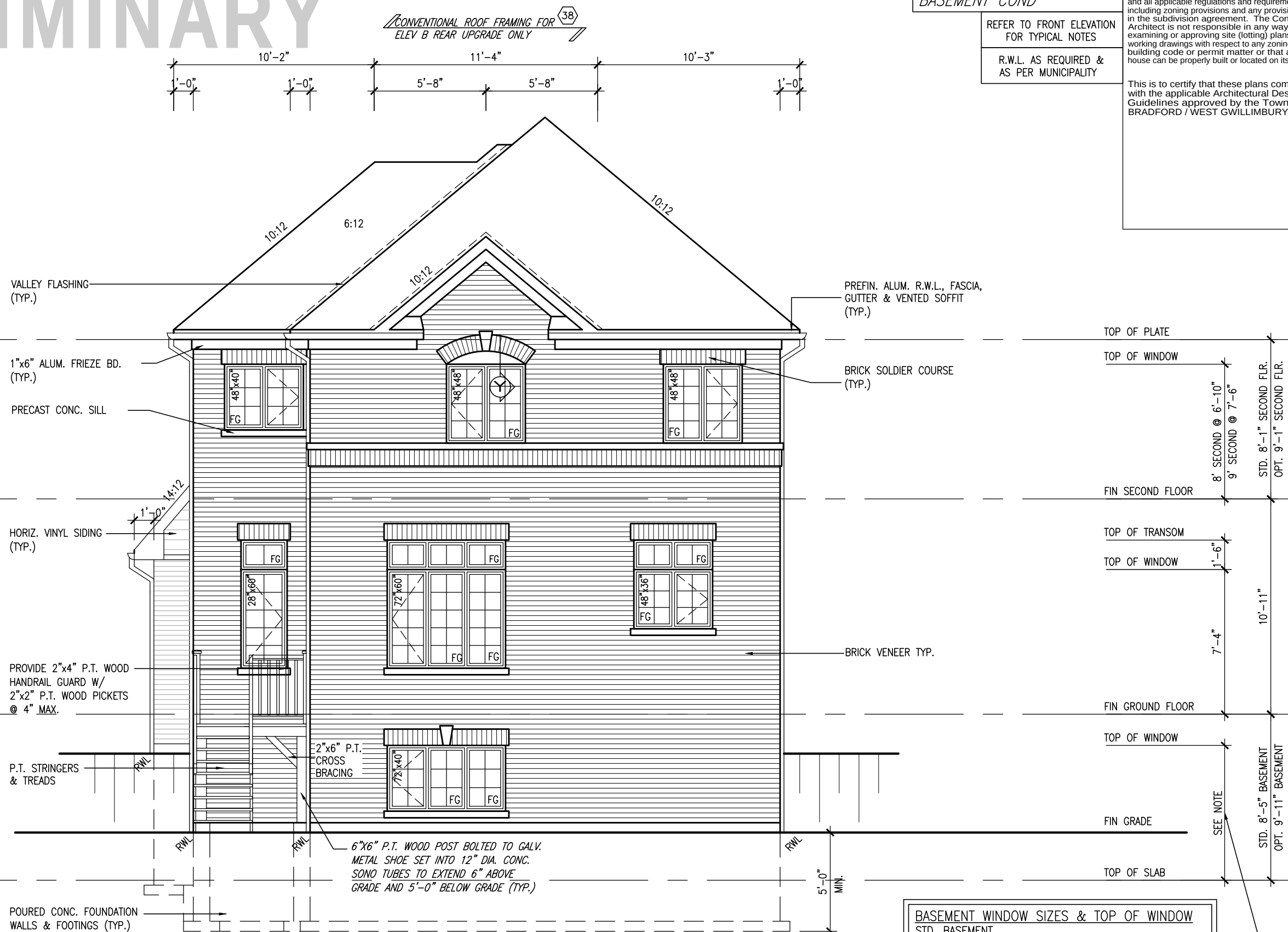
project no. 16023		project name S38-16 BAROSSA 16	
drawing no. 27		municipality BRADFORD, ONTARIO	
date SEPTEMBER 2016		project name GREEN VALLEY EAST	
drawn by N.HUR		municipality BRADFORD, ONTARIO	
checked by RC		project name ELEVATION A REAR UPGRADE W.O.D.	
scale 3/16" = 1'-0"		drawing no. 16023-S38-16-10CRND	
file name RICHARD - D:\2014\14005-13045-BW\WORKING\13045-S38-1.dwg		date JUN 22 2021	
time 5:42 AM		by	
description		date	
1. REVISED BASEMENT WALLS TO BE 10"		OCT.19/16 SB	
2. REVISED AS PER ENG'S COMMENTS		JAN 16-18 RC	
3. ADD POINT LOAD ON GARAGE STEEL		JAN 15-19 RC	
4. ADDED OPT. 9' BASEMENT 10' GROUND		JUN 04-21 KL	
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PRELIMINARY



10' GROUND

REAR UPGRADE ELEVATION 'B' W.O.D.

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

project no.

16023

project name

S38-16 BAROSSA 16

municipality

BAYVIEW WELLINGTON

project name

GREEN VALLEY EAST

date

SEPTEMBER 2016

drawn by

N.HUR

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S38-16-10CRND

drawing no.

28

project no.

16023

project name

S38-16 BAROSSA 16

municipality

BAYVIEW WELLINGTON

project name

GREEN VALLEY EAST

date

SEPTEMBER 2016

drawn by

N.HUR

checked by

RC

scale

3/16" = 1'-0"

file name

16023-S38-16-10CRND

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28

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scale

3/16" = 1'-0"

file name

16023-S38-16-10CRND

drawing no.

28

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no.

8

description

no.

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description

no.

6

description

no.

5

description

no.

4

ADDED OPT. 9' BASEMENT 10' GROUND

no.

3

ADD POINT LOAD ON GARAGE STEEL

no.

2

REVISED AS PER ENG'S COMMENTS

no.

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REVISED BASEMENT WALLS TO BE 10"

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description

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no.

4

ADDED OPT. 9' BASEMENT 10' GROUND

no.

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ADD POINT LOAD ON GARAGE STEEL

no.

2

REVISED AS PER ENG'S COMMENTS

no.

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REVISED BASEMENT WALLS TO BE 10"

no.

9

description

no.

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description

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4

ADDED OPT. 9' BASEMENT 10' GROUND

no.

3

ADD POINT LOAD ON GARAGE STEEL

no.

2

REVISED AS PER ENG'S COMMENTS

no.

1

REVISED BASEMENT WALLS TO BE 10"

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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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S38-16 BAROSSA 16

BAYVIEW WELLINGTON

GREEN VALLEY EAST

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project no. 16023
municipality BRADFORD, ONTARIO
date SEPTEMBER 2016
drawn by N.HUR
checked by RC
scale 3/16" = 1'-0"

project name GREEN VALLEY EAST
municipality BRADFORD, ONTARIO
date SEPTEMBER 2016
drawn by N.HUR
checked by RC
scale 3/16" = 1'-0"

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no. description
date by

project no. 16023
municipality BRADFORD, ONTARIO
date SEPTEMBER 2016
drawn by N.HUR
checked by RC
scale 3/16" = 1'-0"

project name GREEN VALLEY EAST
municipality BRADFORD, ONTARIO
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no. description
date by

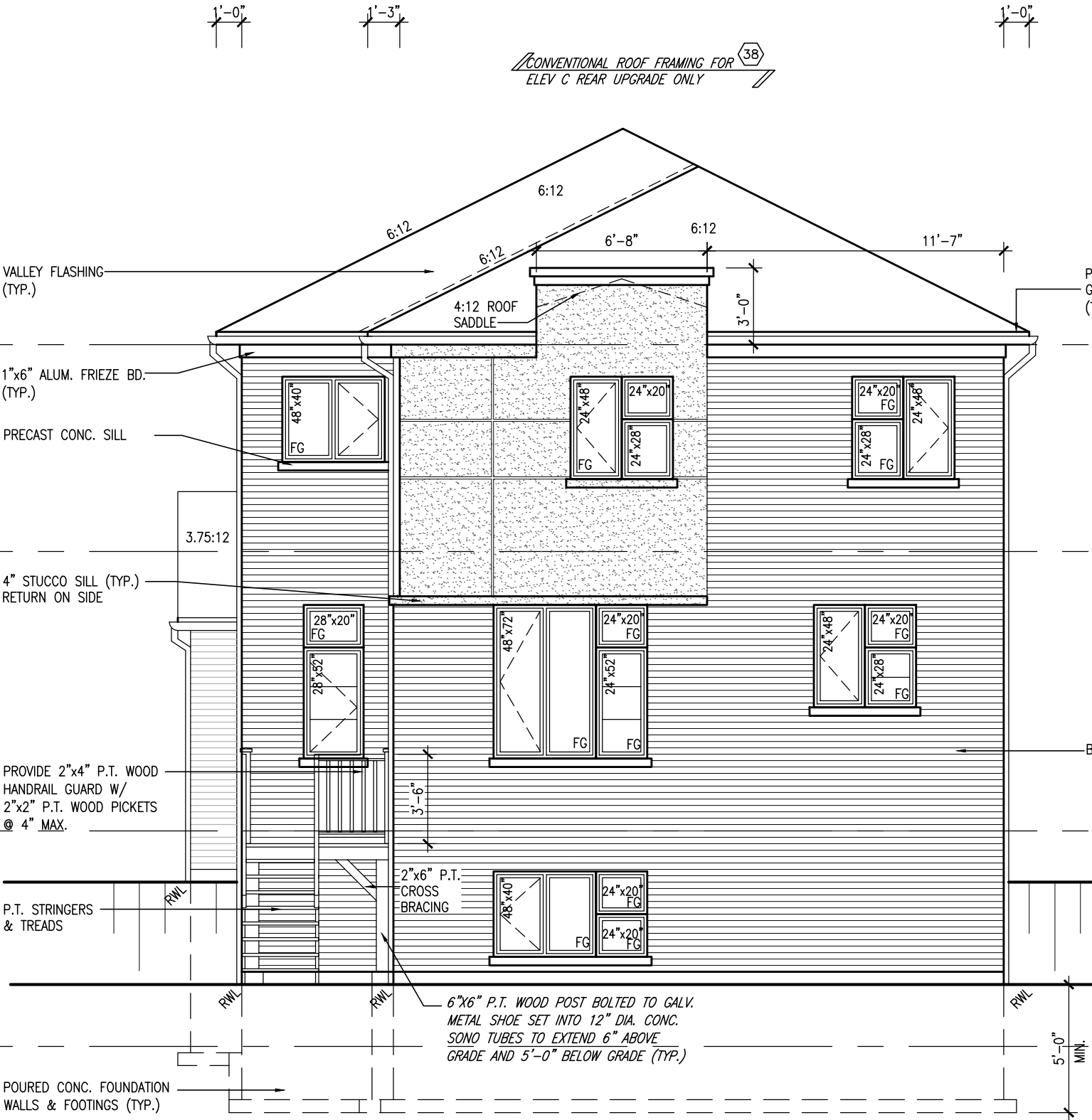
project no. 16023
municipality BRADFORD, ONTARIO
date SEPTEMBER 2016
drawn by N.HUR
checked by RC
scale 3/16" = 1'-0"

project name GREEN VALLEY EAST
municipality BRADFORD, ONTARIO
date SEPTEMBER 2016
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no. description
date by

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REAR UPGRADE ELEVATION 'C' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

PRELIMINARY

CONVENTIONAL ROOF FRAMING FOR
ELEV A REAR UPGRADE ONLY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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S38-16
BAROSSA 16

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONTARIO	municipality

ELEVATION A REAR UPGRADE

date **SEPTEMBER, 2016**

drawing no.

checked by	scale	file name
RC	3/16" = 1'-0"	16023-S38-16-10GRND

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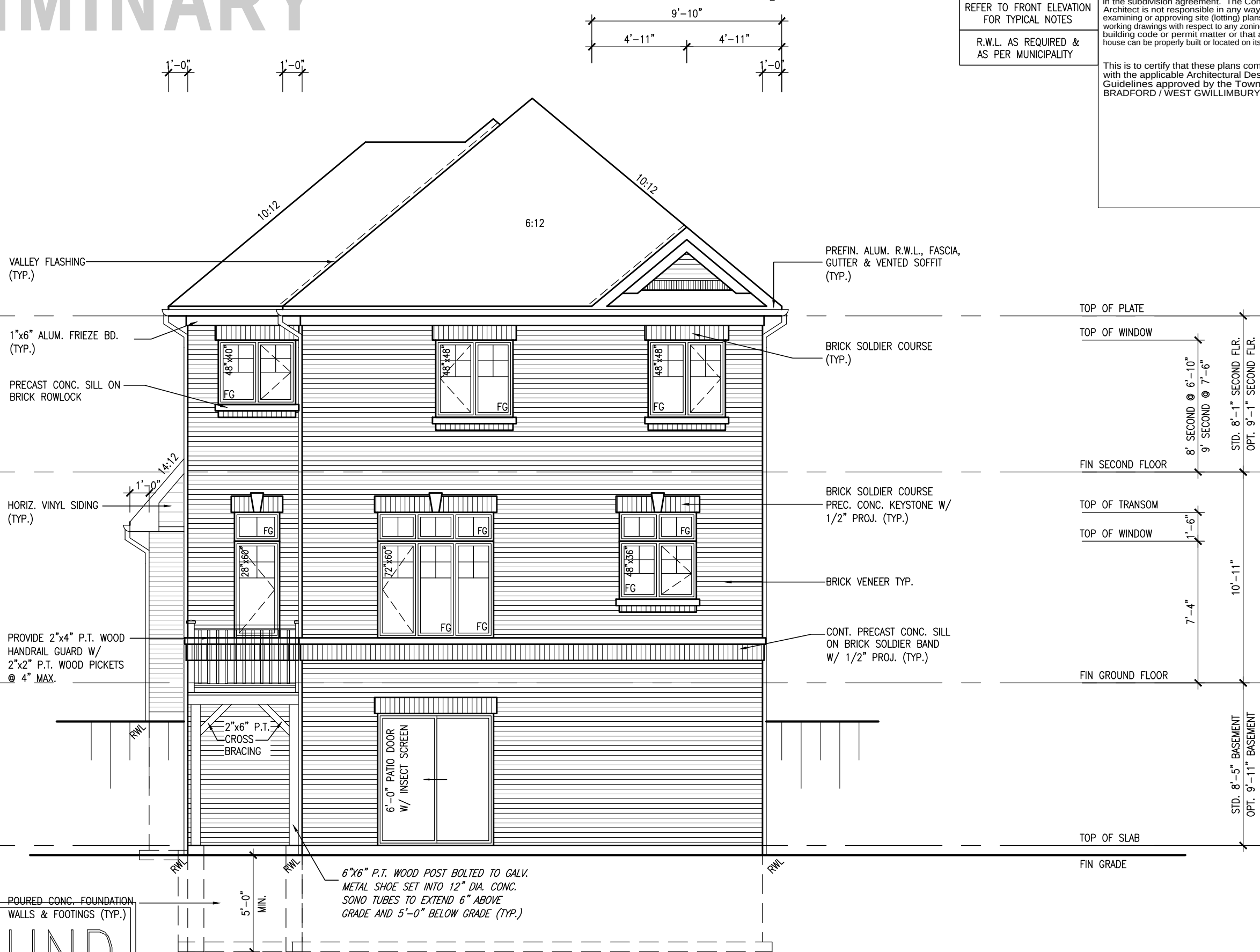
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All drawn

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4	ADDED OPT. 9' BASEMENT 10' GROUND	JUN 04-21	KL	
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2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC	
1	BASEMENT WALLS TO BE 10"	OCT 19/16	SB	
no.	description	date	by	

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REAR UPGRADE ELEVATION 'A' W.O.B.

10⁹ GROUND

PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

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REAR UPGRADE ELEVATION 'C' W.O.B.

BAYVIEW WELLINGTON

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BRADFORD, ONTARIO

GREEN VALLEY EAST

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no. description

date

by

project no. 16023
drawing no. 32

project name
GREEN VALLEY EAST

date
SEPTEMBER 2016

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S38-16-10CRND

drawn by
N.HUR

project no. 16023
drawing no. 32

project name
GREEN VALLEY EAST

date
SEPTEMBER 2016

checked by
RC

scale
3/16" = 1'-0"

file name
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