

PRELIMINARY

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BASEMENT PLAN 'A'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 8A

10' GROUND

9	.	.	.
8	.	.	.
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6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
JANUARY, 2017

BASEMENT PLAN ELEV. 'A'

drawing no.

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

file name
16023-S38-8C-10GRND

1A

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BASEMENT PLAN 'A'
(9'-0" BASEMENT)
ELEV. 'B' & 'C' SIMILAR

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

MIN. SOIL BEARING CAPACITY OF 150KPa

10' GROUND

9	.	.	.
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5	.	.	.
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3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name **GREEN VALLEY EAST** municipality **BRADFORD, ONT.**

project no. **16023**

date **JANUARY, 2017** checked by **RC** scale **3/16" = 1'-0"** drawing no. **1AA**

drawn by **WT** file name **16023-S38-8C-10GRND**

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2-8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 30"x16" MASONRY PIER.

GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

INDICATES REDUCED SIDE YARD

10' GROUND

9	.	.	.
8	.	.	.
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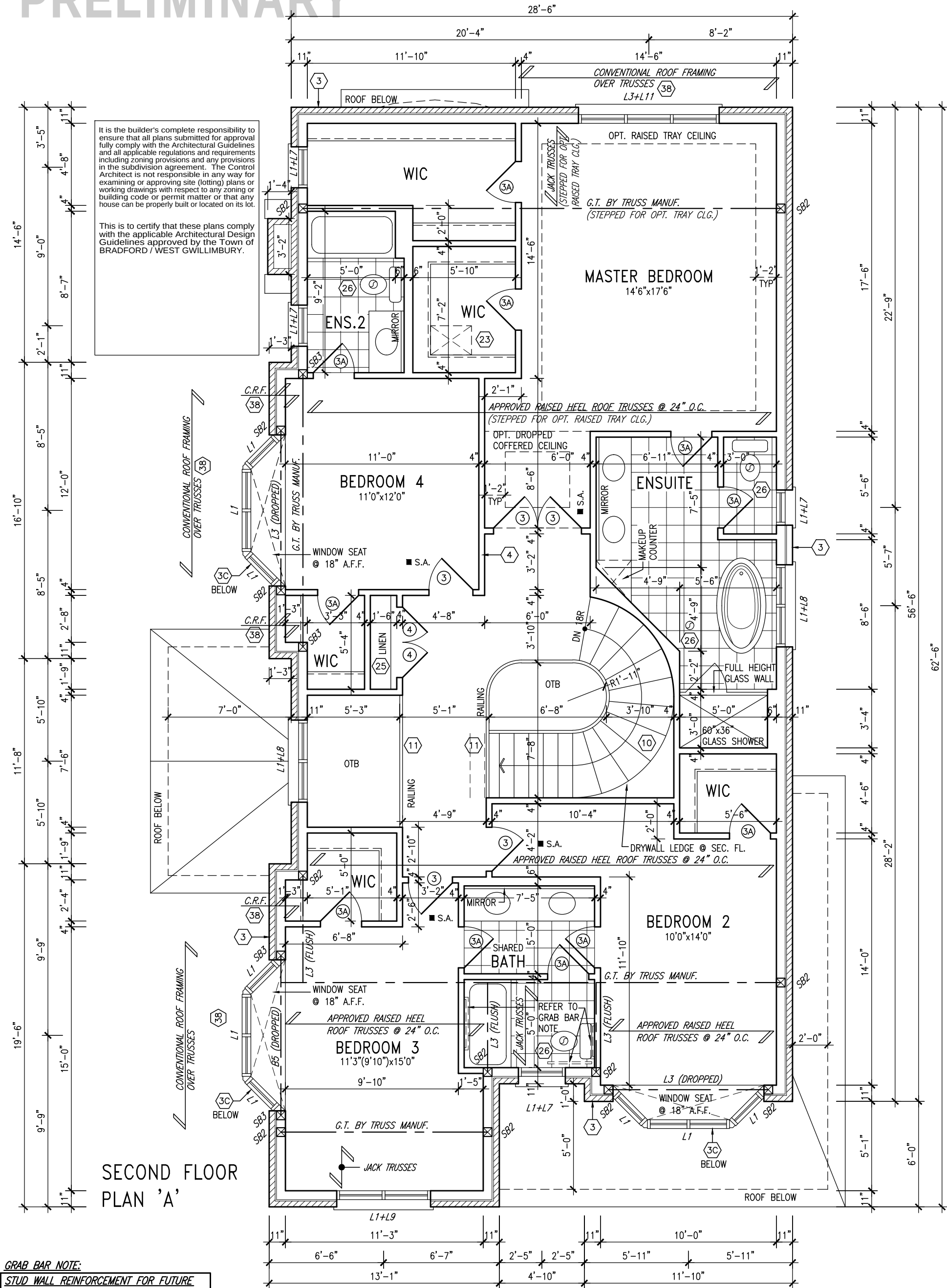
BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017			drawing no.	2A
drawn by	WT	checked by	RC	scale	3/16" = 1'-0"
				file name	16023-S38-8C-10GRND
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PRELIMINARY



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

9	.	.	.
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5	.	.	.
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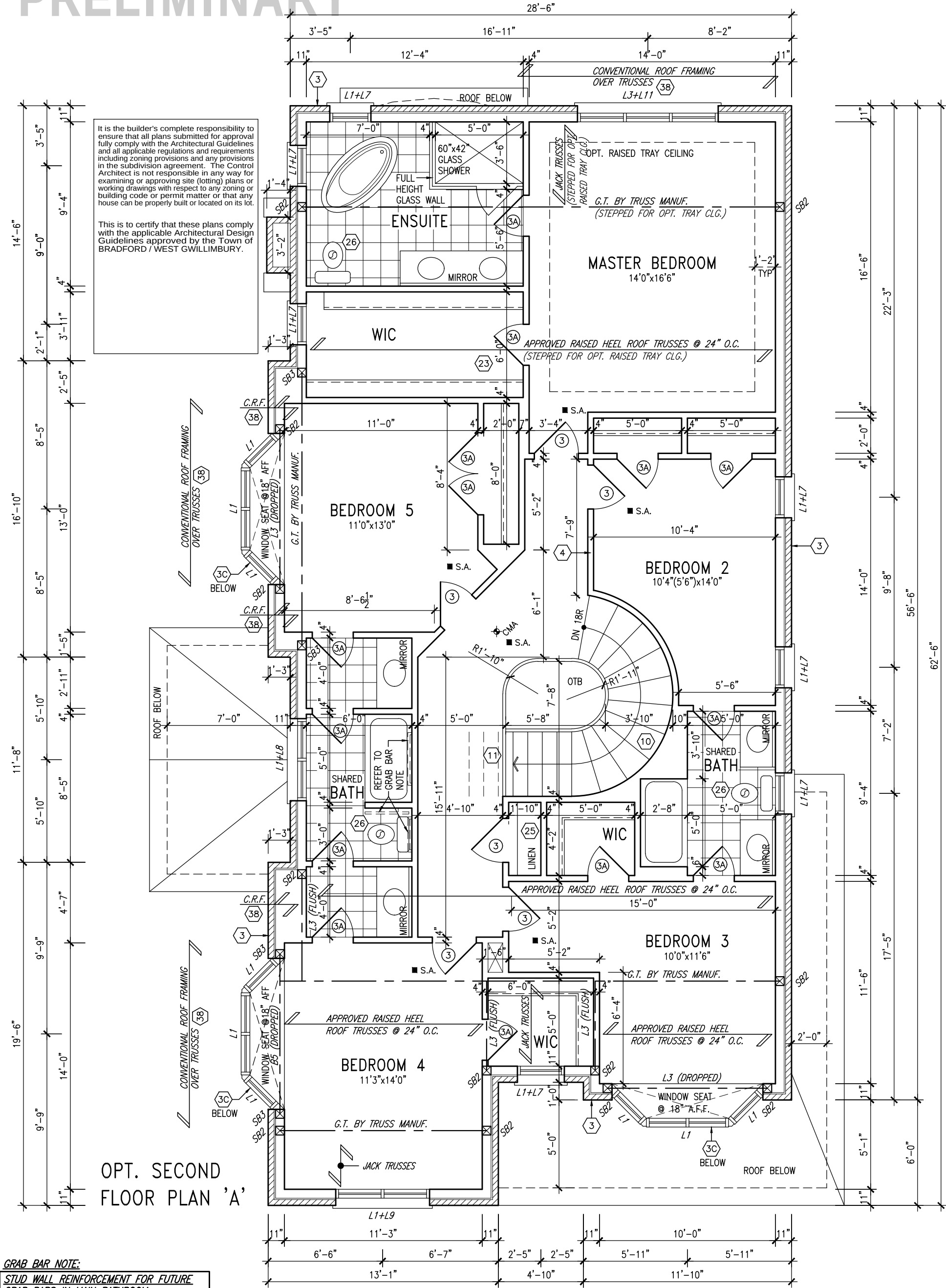
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	3A
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OPT. SECOND FLOOR PLAN 'A'



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

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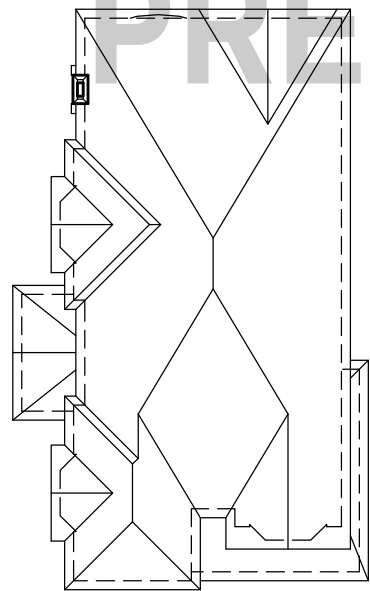


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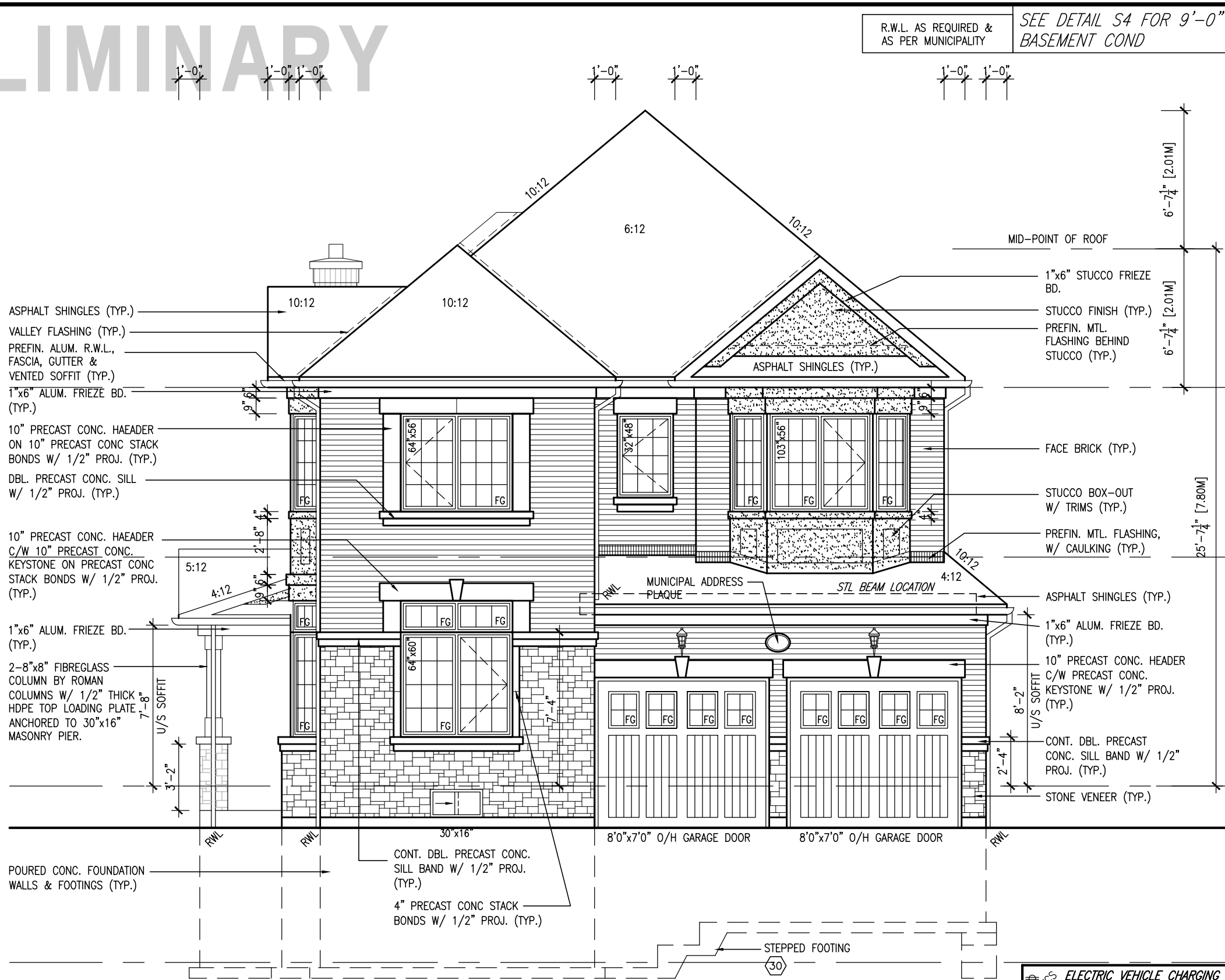
BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	4A
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ROOF PLAN 'A'



FRONT ELEVATION 'A'

10' GROUND

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

project name		project no.	
BAYVIEW WELLINGTON		S38-8C	
GREEN VALLEY EAST		BAROSSA 8	
municipality		BRADFORD, ONT.	
date		JANUARY, 2017	
checked by		RC	
drawn by		WT	
scale		3/16" = 1'-0"	
file name		16023-S38-8C-10GRND.dwg	
drawing no.		5A	
project name		project no.	
GREEN VALLEY EAST		16023	
municipality		BRADFORD, ONT.	
date		JANUARY, 2017	
checked by		RC	
drawn by		WT	
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GREEN VALLEY EAST		16023	
municipality		BRADFORD, ONT.	
date		JANUARY, 2017	
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scale		3/16" = 1'-0"	
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drawing no.		5A	

PRELIMINARY

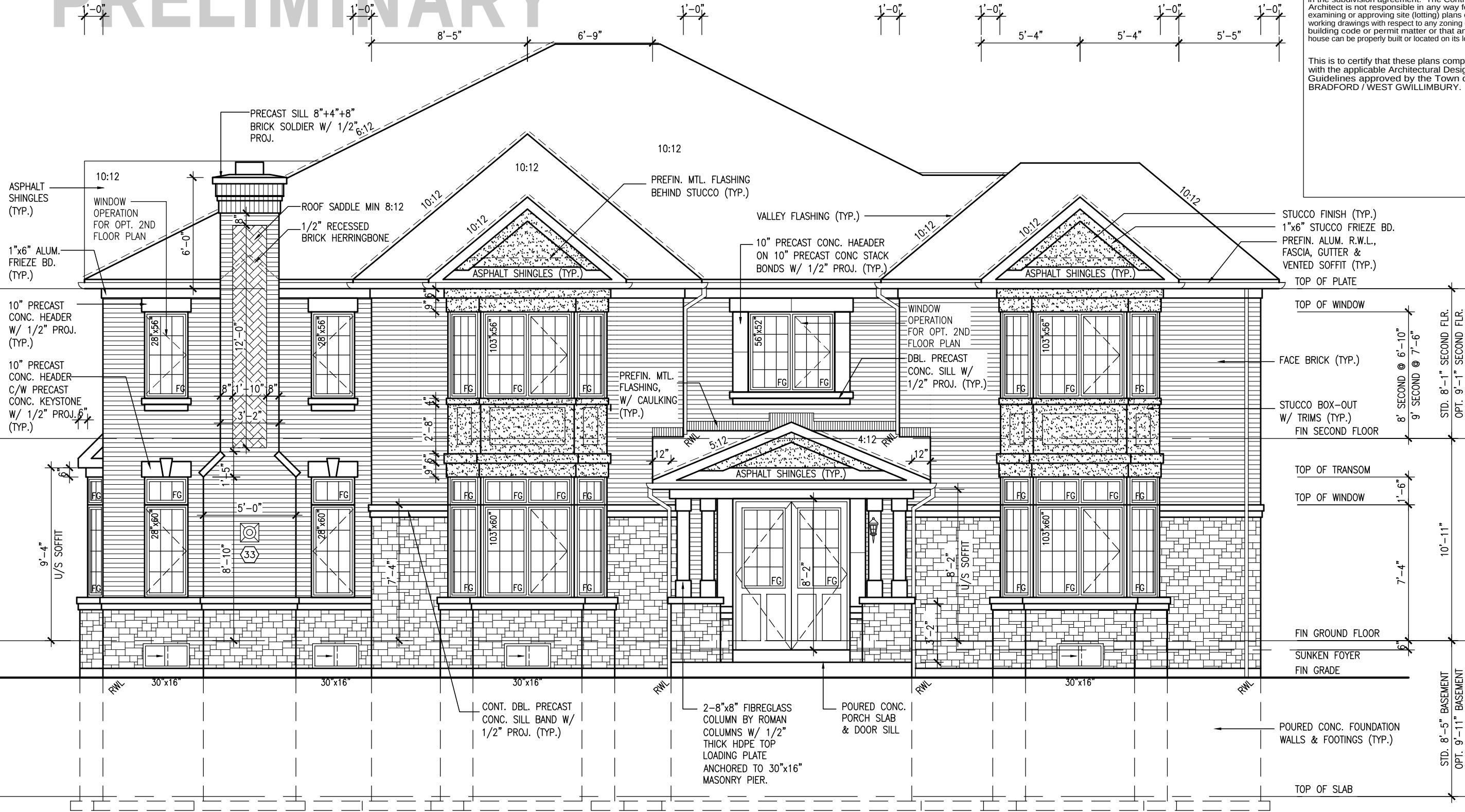
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FLANKAGE ELEVATION 'A'

10' GROUND

BAYVIEW WELLINGTON

S38-8C

BAROSSA 8

project no.

16023

drawing no.

6A

municipality

BRADFORD, ONT.

project name

GREEN VALLEY EAST

checked by

RC

scale

3/16" = 1'-0"

drawn by

WT

date

JANUARY, 2017

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3/16" = 1'-0"

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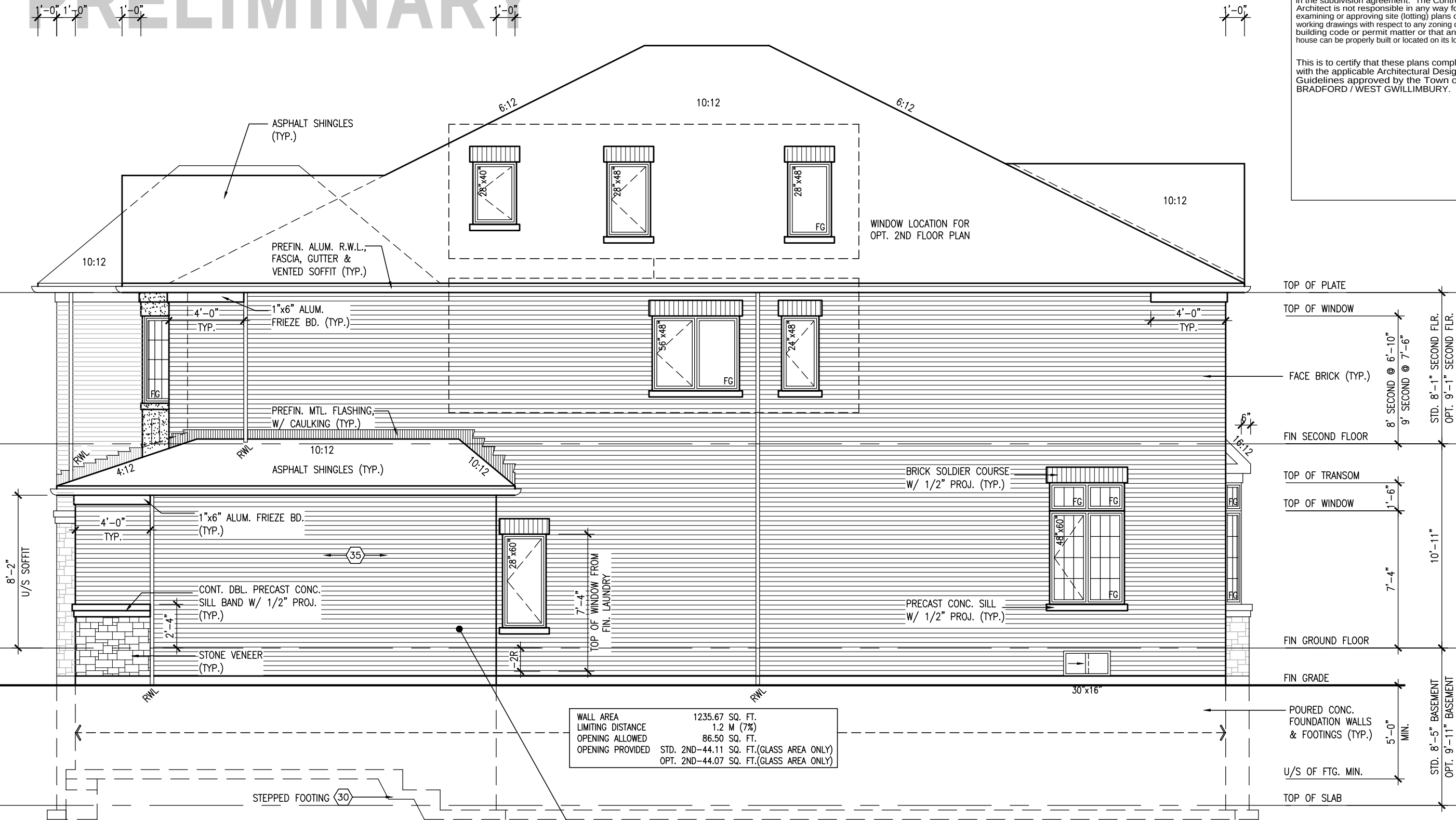
REFER TO FRONT ELEVATION
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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RIGHT SIDE ELEVATION 'A'

10' GROUND

WALL AREA	1235.67 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	86.50 SQ. FT.
OPENING PROVIDED	STD. 2ND-44.11 SQ. FT.(GLASS AREA ONLY)
	OPT. 2ND-44.07 SQ. FT.(GLASS AREA ONLY)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

BAYVIEW WELLINGTON

S38-8C

BAROSSA 8

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author

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drawing no.

7A

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255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
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	STD. A	OPT. A
1ST FLOOR AREA	1479.3 SF	1479.3 SF
2ND FLOOR AREA	1751.1 SF	1751.1 SF
3RD FLOOR AREA	1751.1 SF	1751.1 SF

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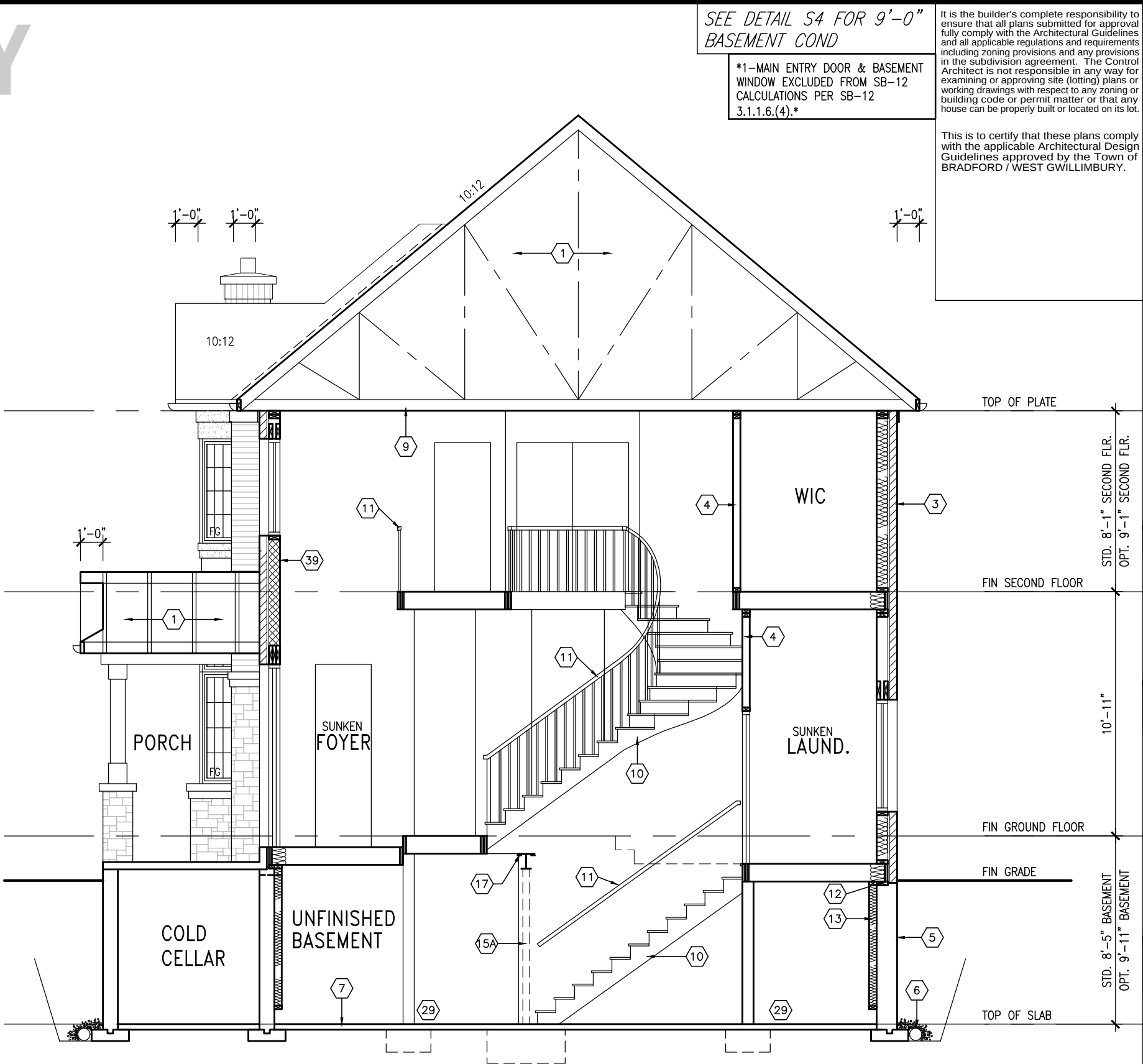


10⁹ GROUND

[illegible]

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C ELA W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	624.75 S.F.	134.78 S.F.	21.57 %
LEFT SIDE	1312.50 S.F.	303.22 S.F.	23.10 %
RIGHT SIDE	1312.50 S.F.	67.67 S.F.	5.16 %
REAR	624.75 S.F.	165.71 S.F.	26.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3874.50 S.F.	671.38 S.F.	17.33 %
TOTAL SQ. M.	359.95 S.M.	62.37 S.M.	17.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C ELA W/ 8' OPT. SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	624.75 S.F.	134.78 S.F.	21.57 %
LEFT SIDE	1312.50 S.F.	303.22 S.F.	23.10 %
RIGHT SIDE	1312.50 S.F.	67.44 S.F.	5.14 %
REAR	624.75 S.F.	176.60 S.F.	28.27 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3874.50 S.F.	682.04 S.F.	17.60 %
TOTAL SQ. M.	359.95 S.M.	63.36 S.M.	17.60 %



CROSS SECTION 'A-A'

10' GROUND

S38-8C

BAROSSA 8

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project name

project no.

municipality

16023

cross section A-A

16023-S38-8C-10GRND

file name

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no.

description

date

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4

10' GROUND FLOOR

JUN 11-21 KL

3

ADDED OPT. 9' BASEMENT

JUN 11-21 KL

2

REVISED AS PER ENG'S COMMENTS

JAN 12-18 RC

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ISSUED FOR CLIENT REVIEW

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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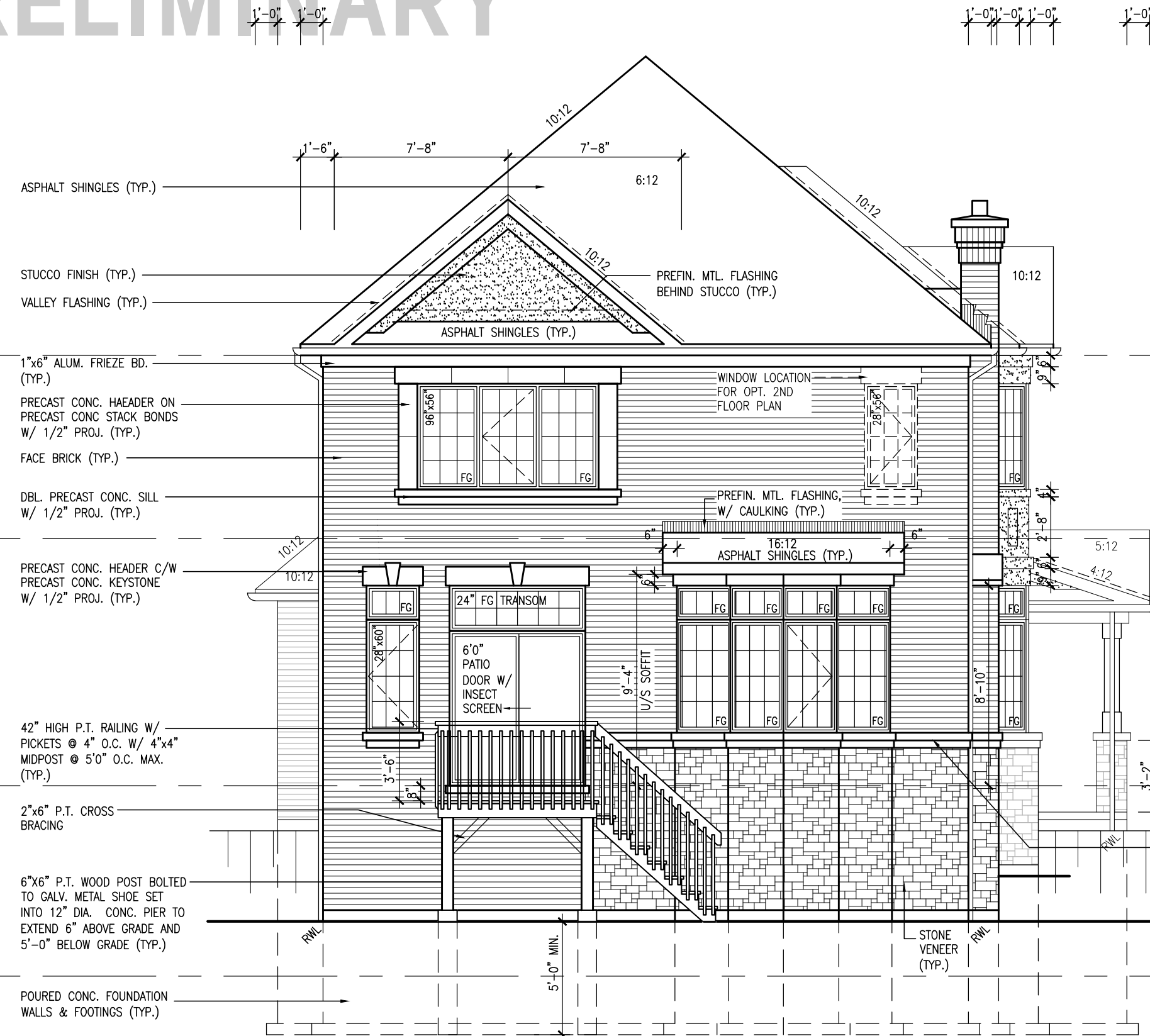
project no.	16023
-------------	-------

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

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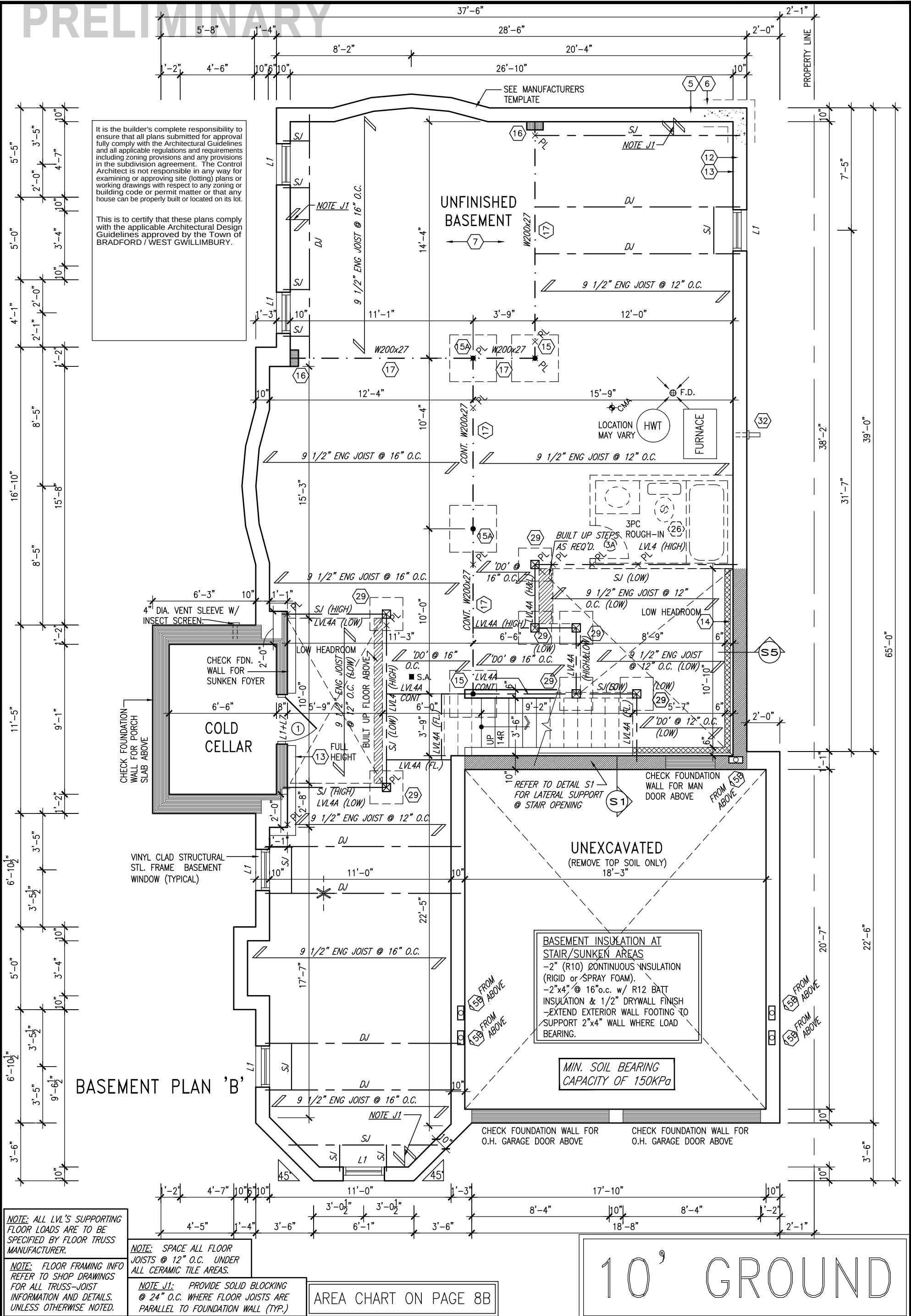


10⁹ GROUND

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

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5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

PRELIMINARY



NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 8B

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
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no.	description	date	by

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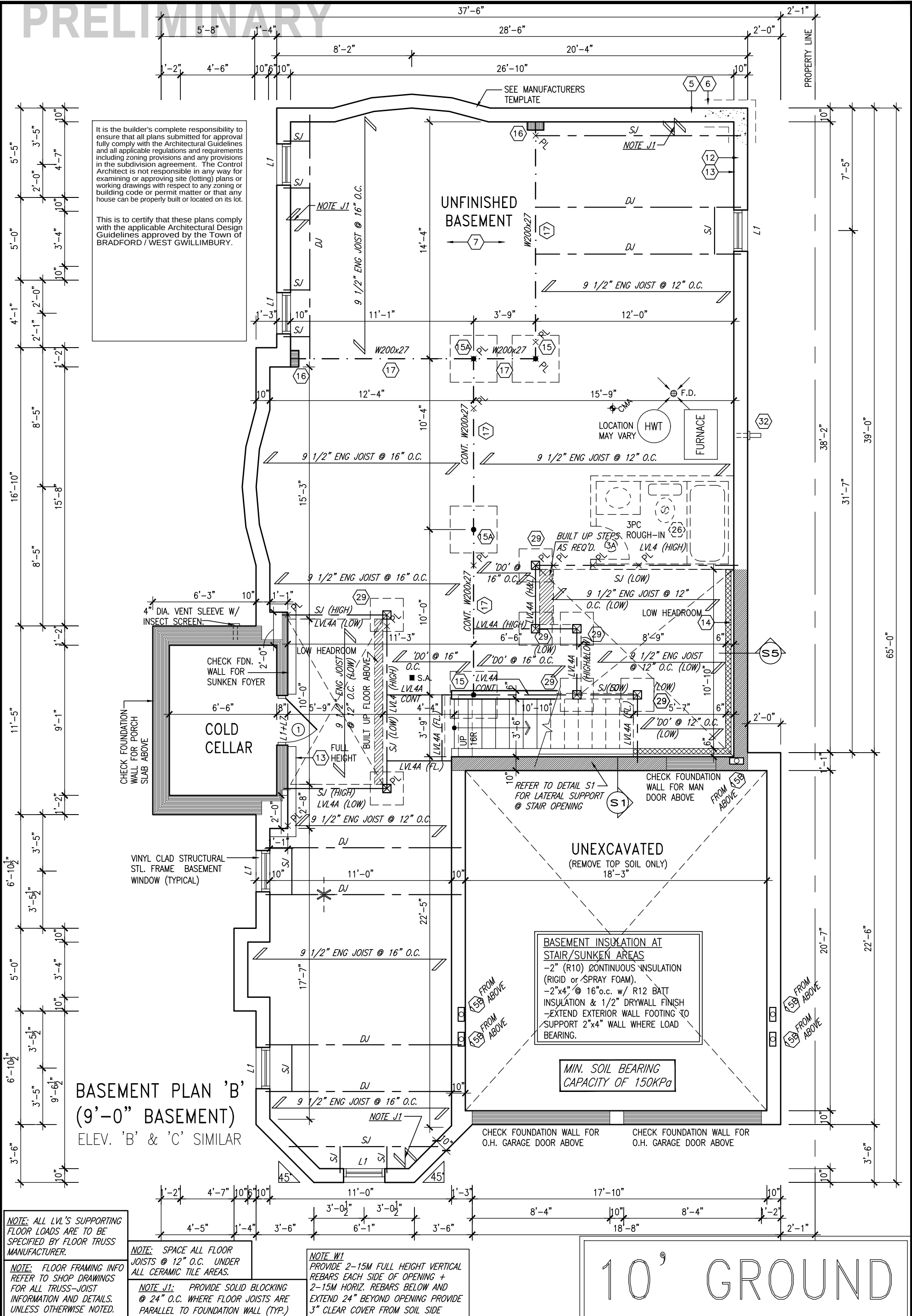
BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	1B
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5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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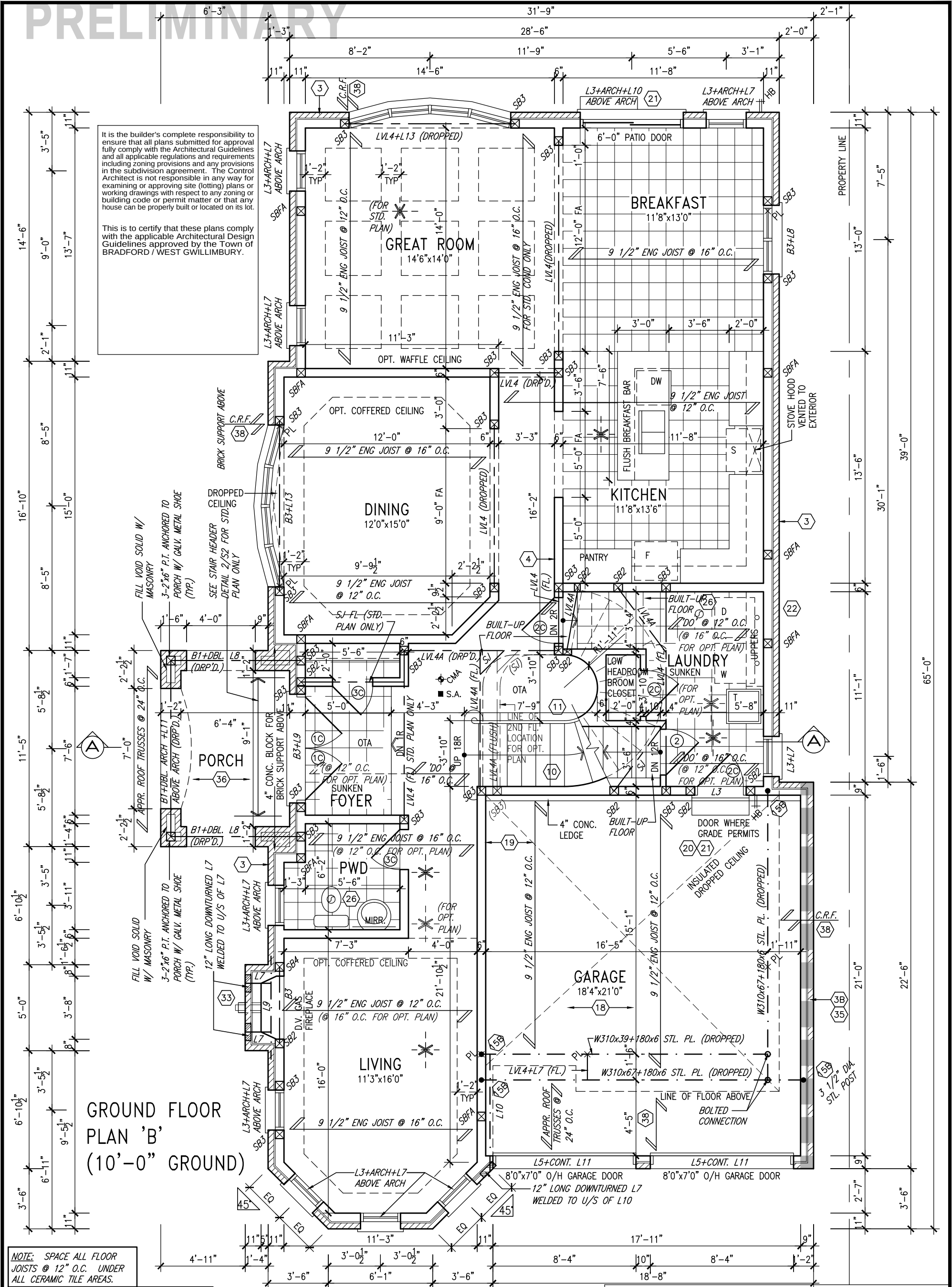
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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date JANUARY, 2017		BASEMENT PLAN ELEV. 'B'			drawing no.
drawn by WT		checked by RC		scale 3/16" = 1'-0"	file name 16023-S38-8C-10GRND
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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

INDICATES REDUCED SIDE YARD

10' GROUND

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	10' GROUND FLOOR	JUN 11-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1.	ISSUED FOR CLIENT REVIEW		

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BAYVIEW WELLINGTON
project name: GREEN VALLEY EAST
municipality: BRADFORD, ONT.
date: JANUARY, 2017
checked by: RC
scale: 3/16" = 1'-0"
file name: 16023-S38-8C-10GRND
drawing no.: 2B

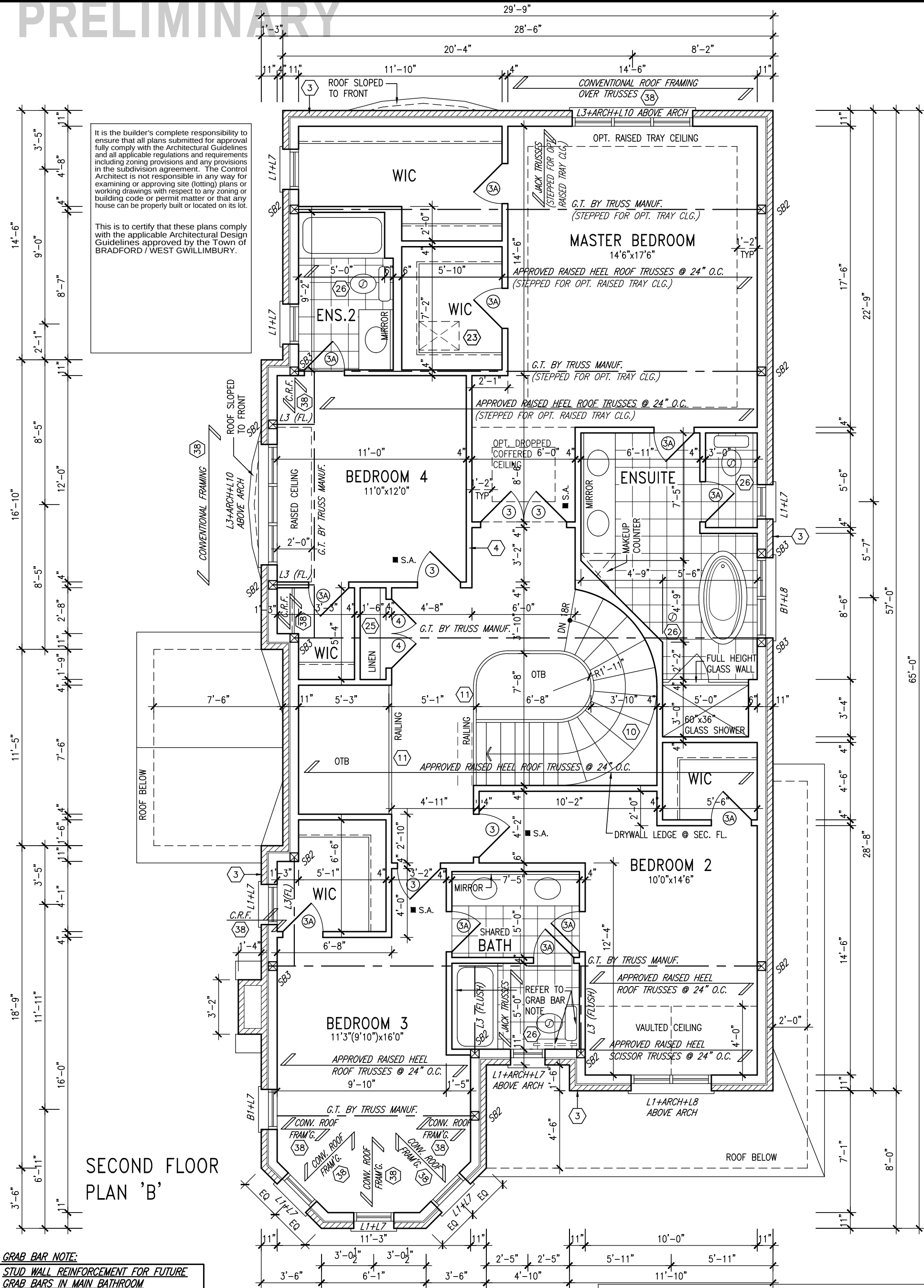
S38-8C
BAROSSA 8
project no.: 16023

PRELIMINARY

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SECOND FLOOR PLAN 'B'



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

NOTE:
REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

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5.	.	.
4.	10' GROUND FLOOR	JUN 11-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 11-21 KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 12-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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S38-8C
BAROSSA 8

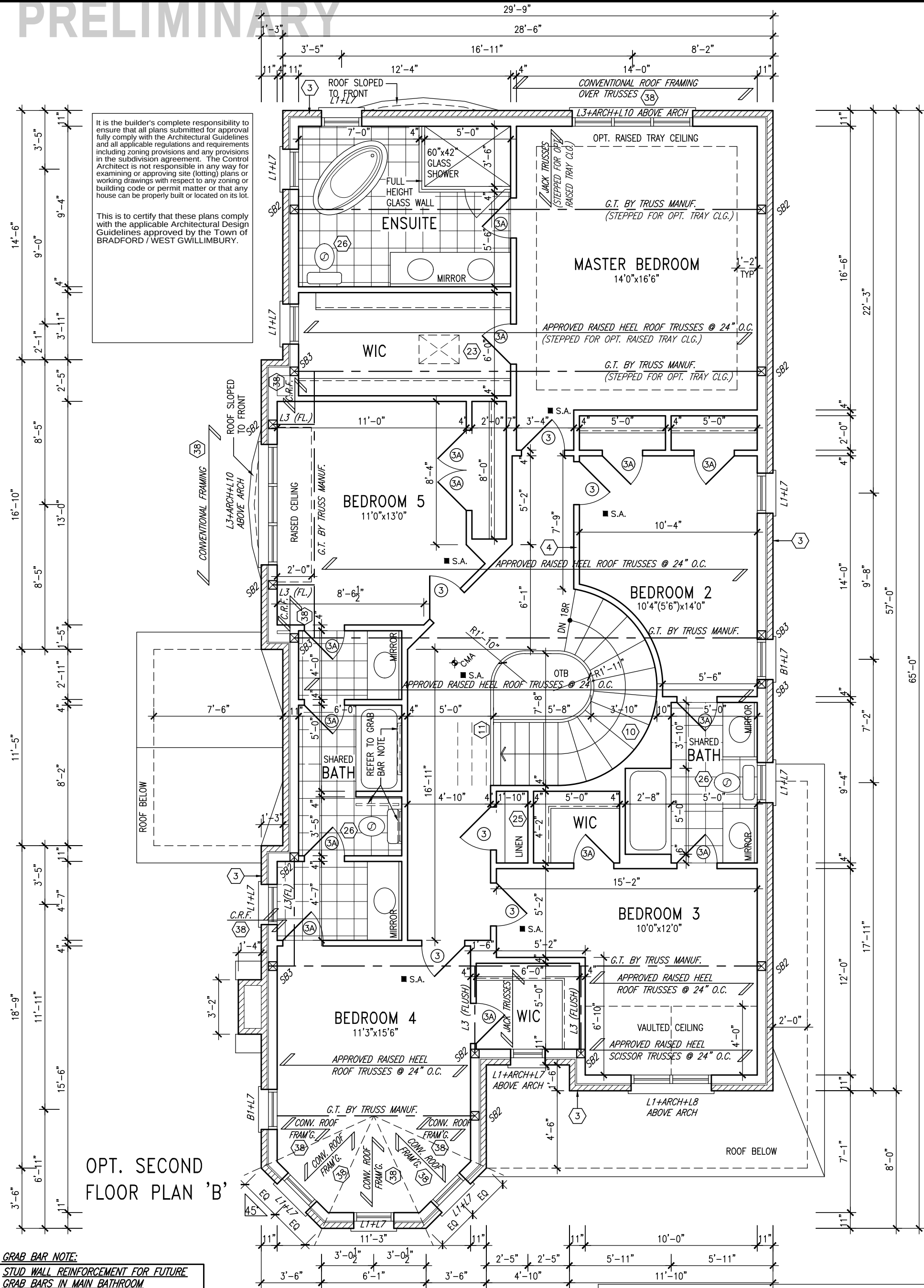
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	3B
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OPT. SECOND FLOOR PLAN 'B'



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

NOTE:
REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

10' GROUND

9	.	.	.
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4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	4B
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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4" + 10" + 4" + 8" PRECAST
CONC. CAP

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L., —
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

8" PRECAST CONC. ———
HAEADER ON 8" PRECAST
CONC STACK BONDS W/
1/2" PROJ. (TYP.)

4"x8" PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE BD. —
(TYP.)

8" PRECAST CONC. ARCH
HAHEADER C/W PRECAST
CONC. KEYSTONE ON 8" $\frac{5}{8}$ "
PRECAST CONC STACK
BONDS W/ 1/2" PROJ.
(TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

FRONT ELEVATION 'B'

10⁹ GROUND

⇒ EVCS ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)

ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.

ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONT.	

drawing no.

FRONT ELEVATION 'B'

date
JANUARY, 2017

drawn by _____
checked by _____
files name _____

WT RC $3/16'' = 1'-0''$ 16023-S38-8C-10GRND 16023-S38-8C-10GRND 11:39 AM
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All draw

[illegible]

PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FLANKAGE ELEVATION 'B'

10' GROUND

S38-8C
BAROSSA 8

BAYVIEW WELLINGTON

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9 .
8 .
7 .
6 .
5 .
4 10' GROUND FLOOR
3 ADDED OPT. 9' BASEMENT
2 REVISED AS PER ENG'S COMMENTS
1 ISSUED FOR CLIENT REVIEW

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

FLANKAGE ELEVATION 'B'
16023-S38-8C-10GRND

drawing no. 6B
file name 16023-S38-8C-10GRND.dwg
date - Jun 22 2021 - 11:39 AM

contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no. description
date

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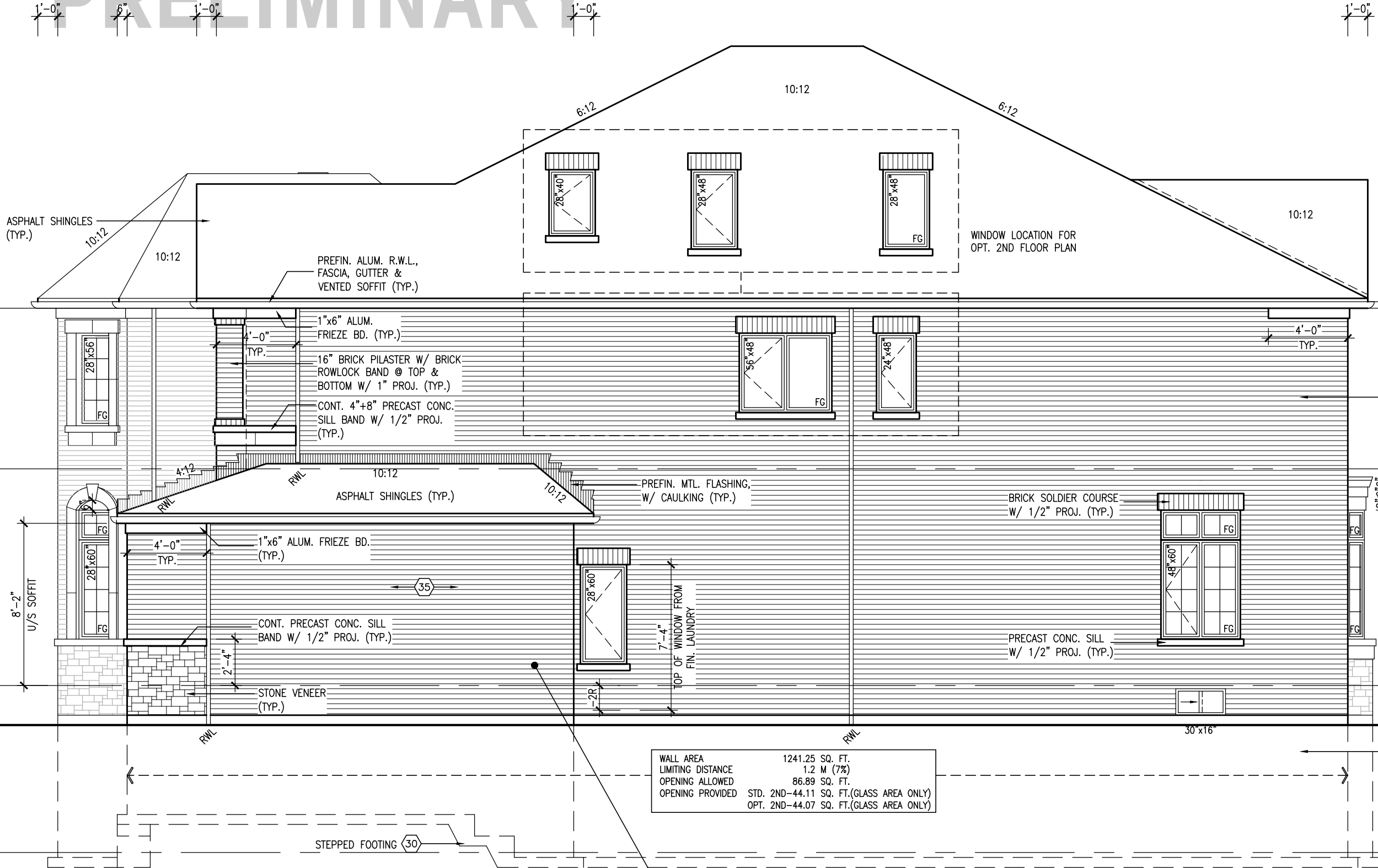
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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WALL AREA	1241.25 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	86.89 SQ. FT.
OPENING PROVIDED	STD. 2ND-44.11 SQ. FT.(GLASS AREA ONLY)
	OPT. 2ND-44.07 SQ. FT.(GLASS AREA ONLY)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
7B

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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUN 11-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 11-21 KL	
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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	STD. B	OPT. B
1 ST FLOOR AREA	1479.0 SF	1479.0 SF
2 ND FLOOR AREA	1748.5 SF	1748.5 SF
3 RD FLOOR AREA	1307.5 SF	1307.5 SF

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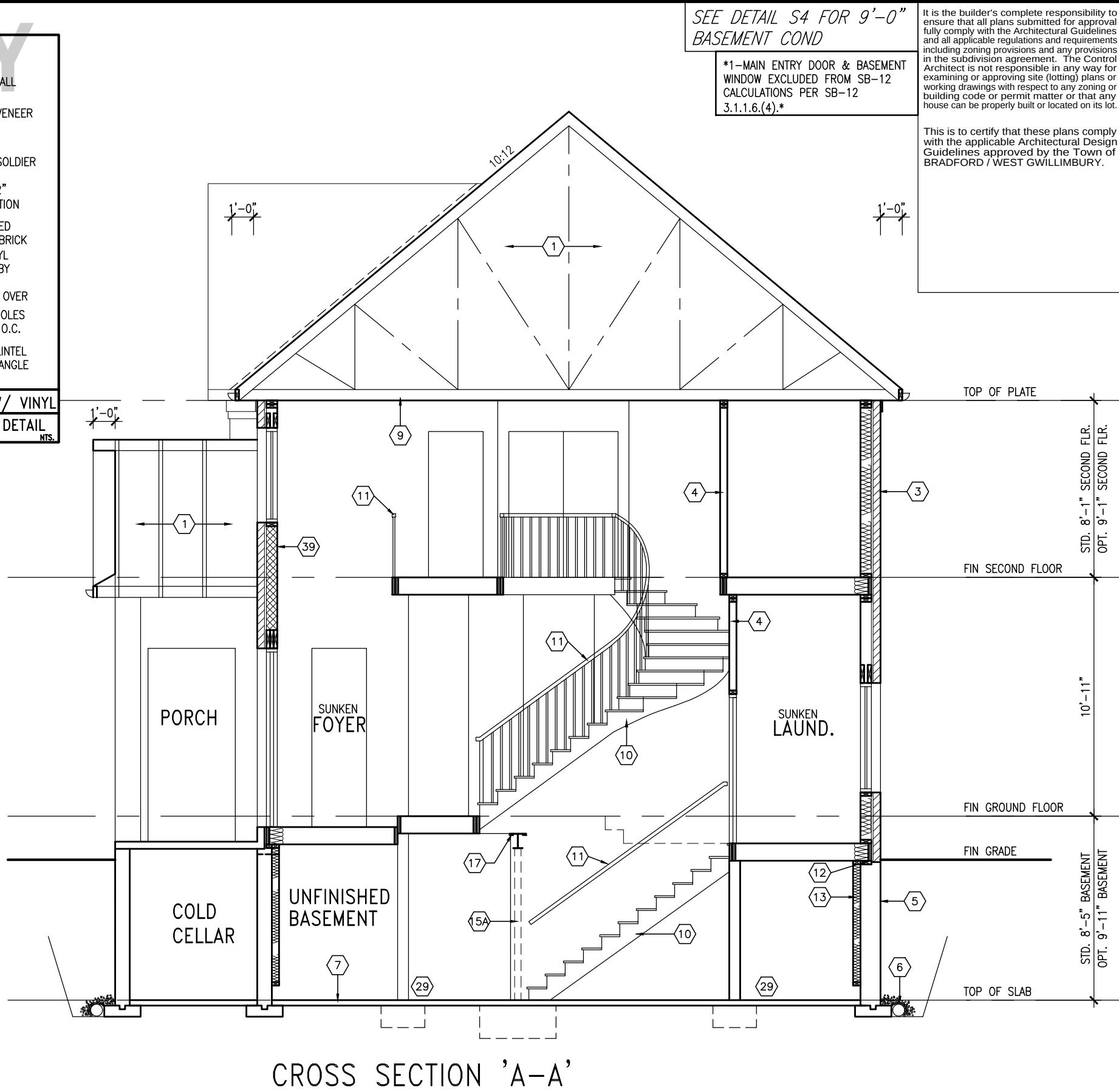
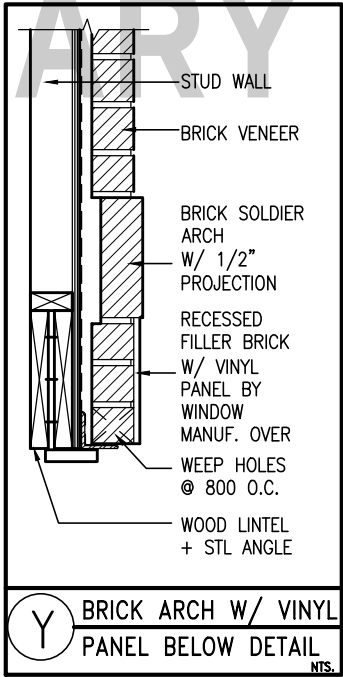


10⁹ GROUND

[illegible]

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.B W/ 8' SECOND		ENERGY EFFICIENCY -- OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.08 S.F.	137.78 S.F.	21.76 %
LEFT SIDE	1374.00 S.F.	275.01 S.F.	20.02 %
RIGHT SIDE	1365.00 S.F.	93.72 S.F.	6.87 %
REAR	624.37 S.F.	162.02 S.F.	25.95 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3996.45 S.F.	668.53 S.F.	16.73 %
TOTAL SQ. M.	371.28 S.M.	62.11 S.M.	16.73 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.B W/ 8' OPT. SECOND		ENERGY EFFICIENCY -- OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.08 S.F.	137.78 S.F.	21.76 %
LEFT SIDE	1374.00 S.F.	275.01 S.F.	20.02 %
RIGHT SIDE	1635.00 S.F.	93.50 S.F.	5.72 %
REAR	624.37 S.F.	172.90 S.F.	27.69 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4266.45 S.F.	679.19 S.F.	15.92 %
TOTAL SQ. M.	396.36 S.M.	63.10 S.M.	15.92 %



CROSS SECTION 'A-A'

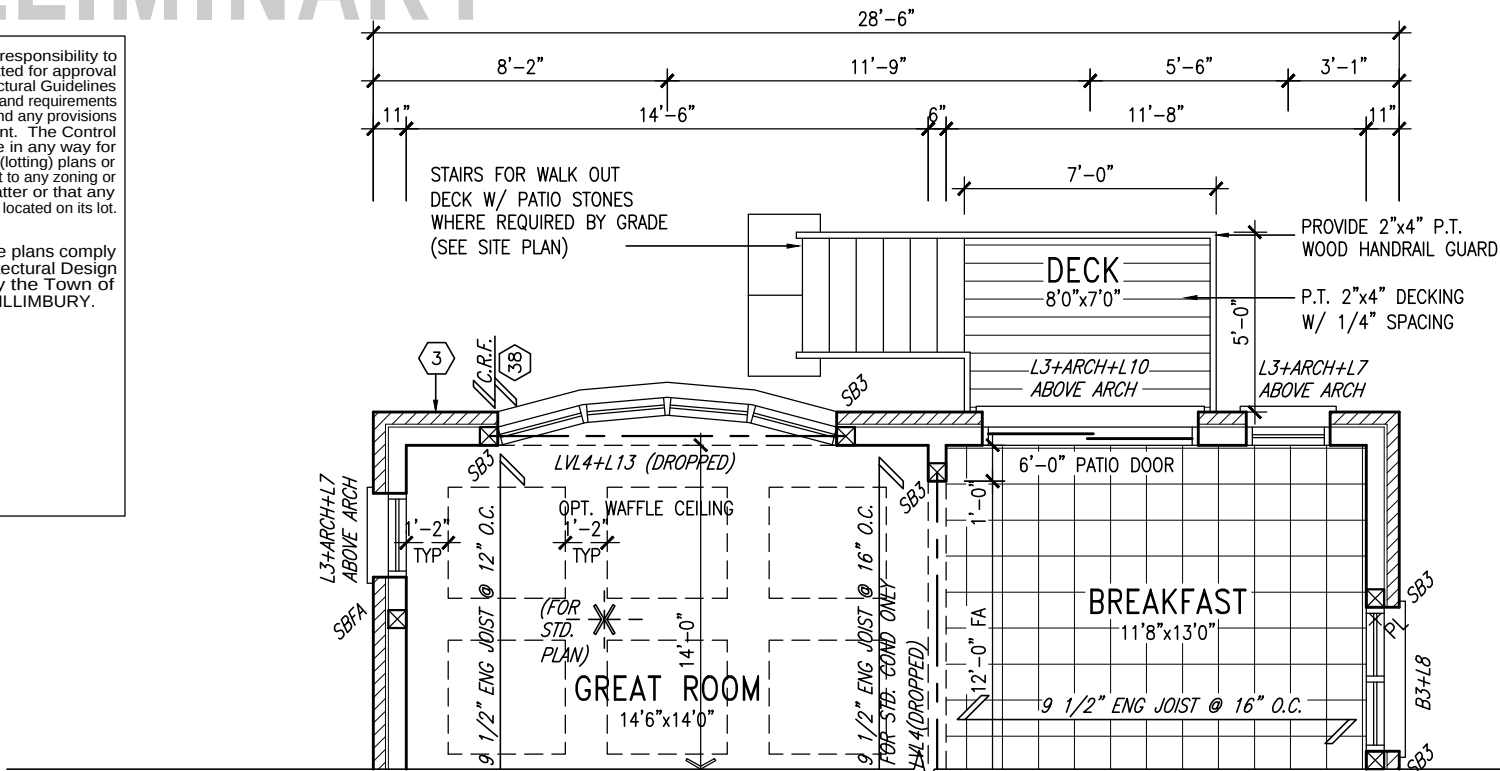
10' GROUND

S38-8C BAROSSA 8		BAYVIEW WELLINGTON	
project no. 16023		municipality BRADFORD, ONT.	
drawing no. 9B		CROSS SECTION A-A	
file name 16023-S38-8C-10GRND.dwg		scale 3/16" = 1'-0"	
date JANUARY, 2017		checked by RC	
drawn by WT		checked by	
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t 416.630.2255 f 416.630.4782		vo3design.com	
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9	.	.	date
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4	10' GROUND FLOOR	JUN 11-21	KL
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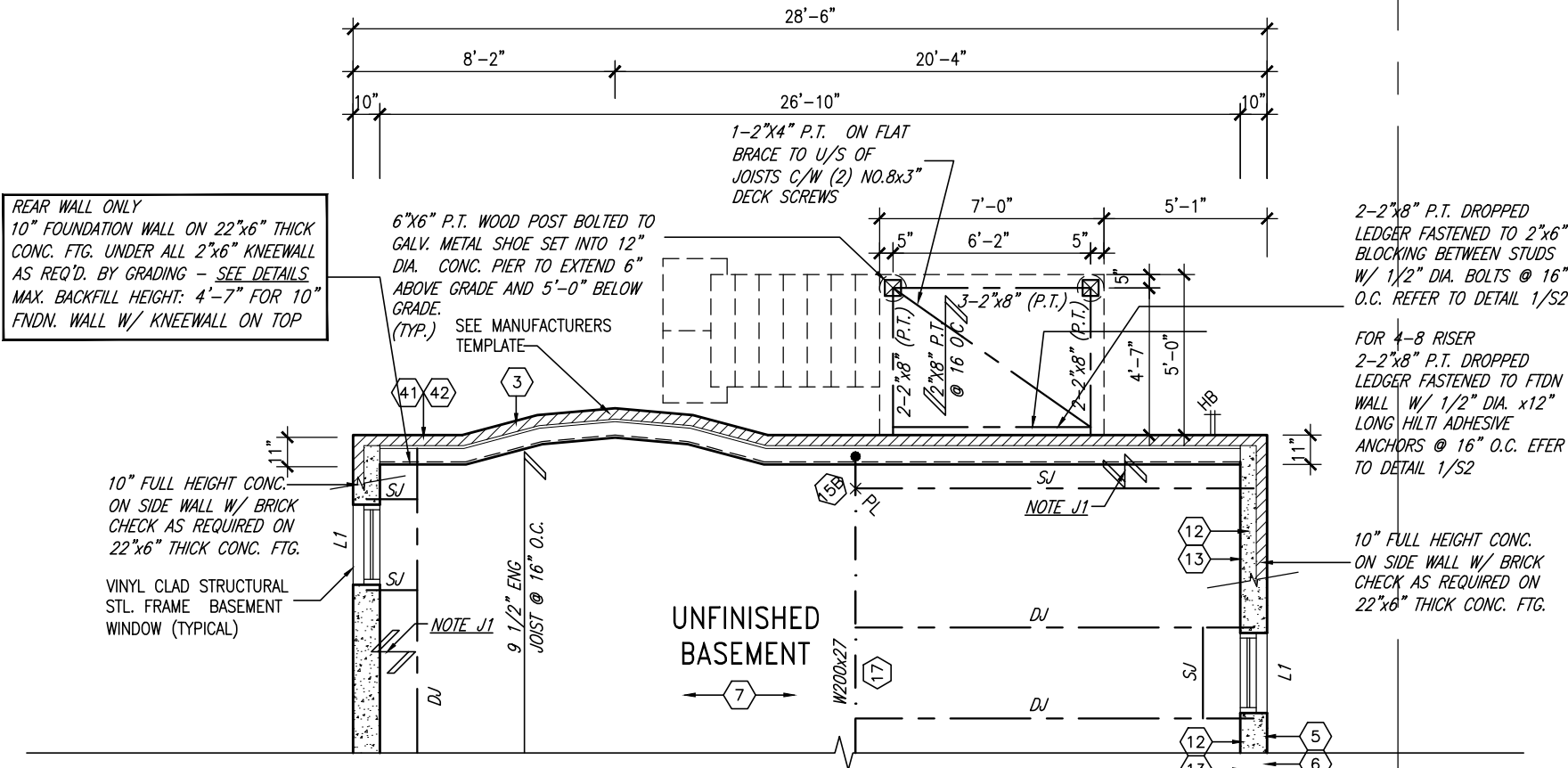
PRELIMINARY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PART. GROUND FLOOR PLAN 'B' - W.O.D. CONDITION



PART. BASEMENT PLAN 'B' - W.O.D. CONDITION

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.B WOD W/ 8' SECOND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.08 S.F.	137.78 S.F.	21.76 %
LEFT SIDE	1374.00 S.F.	275.01 S.F.	20.02 %
RIGHT SIDE	1365.00 S.F.	93.72 S.F.	6.87 %
REAR	743.75 S.F.	162.02 S.F.	21.78 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4115.83 S.F.	668.53 S.F.	16.24 %
TOTAL SQ. M.	382.37 S.M.	62.11 S.M.	16.24 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.B WOD W/8' OPT. SECOND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.08 S.F.	137.78 S.F.	21.76 %
LEFT SIDE	1374.00 S.F.	275.01 S.F.	20.02 %
RIGHT SIDE	1635.00 S.F.	93.50 S.F.	5.72 %
REAR	743.75 S.F.	172.90 S.F.	23.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4385.83 S.F.	679.19 S.F.	15.49 %
TOTAL SQ. M.	407.45 S.M.	63.10 S.M.	15.49 %

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name		municipality	project no.
GREEN VALLEY EAST		BRADFORD, ONT.	16023
date	PARTI BASEMENT PLAN ELEV. 'B' WOD COND		drawing no.
JANUARY, 2017	scale		10B
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-8C-10GRND
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1'-0" 1'-0" 1'-0"

1' - 0''

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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S38-8C
BAROSSA 8

project no.	16023
-------------	-------

BRADFORD, ONT. municipality

project name
GREEN VALLEY EAST



9	.	.	.
5	.	.	.
4	10' CEILING FLOOR	11-21	W

ing no.

AR ELEVATION 'B'

date
JANUARY, 2017

DESIGN
255 Consumers Rd Suite 120

Contractor must verify all dimensions on the job and report any

4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENO'S COMMENTS	JAN 12 19	DC

m

16

checked by	RC
WT	

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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

	REVISAS PER ENG'S COMMENTS	JAN 12-18	R0
1	ISSUED FOR CLIENT REVIEW	.	.

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 vasesign.com

no.	description	date	by
Drawings are not to be scaled.			



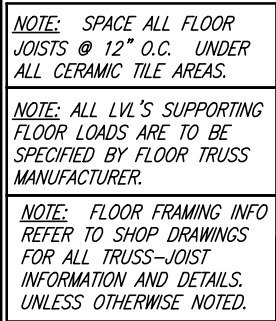
REAR ELEVATION 'B'— 9R OR MORE W.O.D. CONDITION

10⁹ GROUND

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

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NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 8C

10⁹ GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

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S38-8C
BAROSSA 8

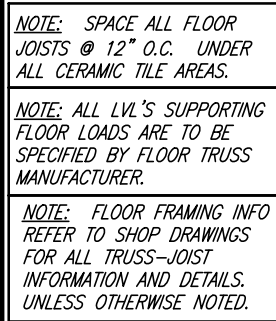
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date JANUARY, 2017		drawing title BASEMENT PLAN ELEV. 'C'			drawing no. 1C
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
				file name 16023-S38-8C-10GRND	
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C

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NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL
REBARS EACH SIDE OF OPENING +
2-15M HORIZ. REBARS BELOW AND
EXTEND 24" BEYOND OPENING PROVIDE
3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



S38-8C
BAROSSA 8

project no.
16023

date **JANUARY, 2017** BASEMENT PLAN ELEV. 'C'
 drawn by _____ checked by _____ scale _____ file name _____
 WT _____ RC **3/16" = 1'-0"** **16023-S38-8C-10GRND**
 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:39 AM

drawing no.
1 CC

PRELIMINARY

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ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x6" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

GROUND FLOOR PLAN 'C'
(10'-0" GROUND)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUN 11-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON		S38-8C BAROSSA 8	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	
date JANUARY, 2017	checked by RC	scale 3/16" = 1'-0"	drawing no. 2C
GROUND FLOOR PLAN ELEV. 'C'			
file name 16023-S38-8C-10GRND		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:39 AM	

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12" LONG
DOWNTURNED L7
WELDED TO
U/S OF L11

CONVENTIONAL ROOF FRAMING
OVER TRUSSES

CANOPY ABOVE
B1+L11

CANOPY
ROOF REFER
TO DETAIL
CN-12

ROOF
SCUPPER

BALCONY

SLOPE MIN. 2% TO
ROOF SCUPPER

SECOND FLOOR
PLAN 'C'

CANOPY ROOF REFER
TO DETAIL CN-12

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

10' GROUND

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUN 11-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 11-21 KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 12-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	3C
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12" LONG DOWNTURNED L7 WELDED TO U/S OF L11

CONVENTIONAL ROOF FRAMING OVER TRUSSES

CANOPY ROOF REFER TO DETAIL CN-12

ROOF SCUPPER

SLOPE MIN. 2% TO ROOF SCUPPER

FLAT ROOF BELOW

OPT. SECOND FLOOR PLAN 'C'

CANOPY ROOF REFER TO DETAIL CN-12

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

NOTE: REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

10' GROUND

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUN 11-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 11-21 KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 12-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-8C-10GRND	drawing no.	4C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:39 AM					

2:12 SADDLE
BEHIND PARAPET
W/ ICE & WATER

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S38-8C
BAROSSA 8

project no.	16023
-------------	-------

drawing no.

BAYVIEW WELLINGTON

BRADFORD, ONT. municipality

FRONT

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ROOF PLAN 'C'

FRONT ELEVATION 'C'

10⁹ GROUND

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)

ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.

ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

1' - 0''

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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project no.
16023

BRADFORD, ONT. municipality

BAYVIEW

project name **GREEN VALLEY EAST**

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Toronto ON M2J 1R4
16.630.2255 f 416.630.
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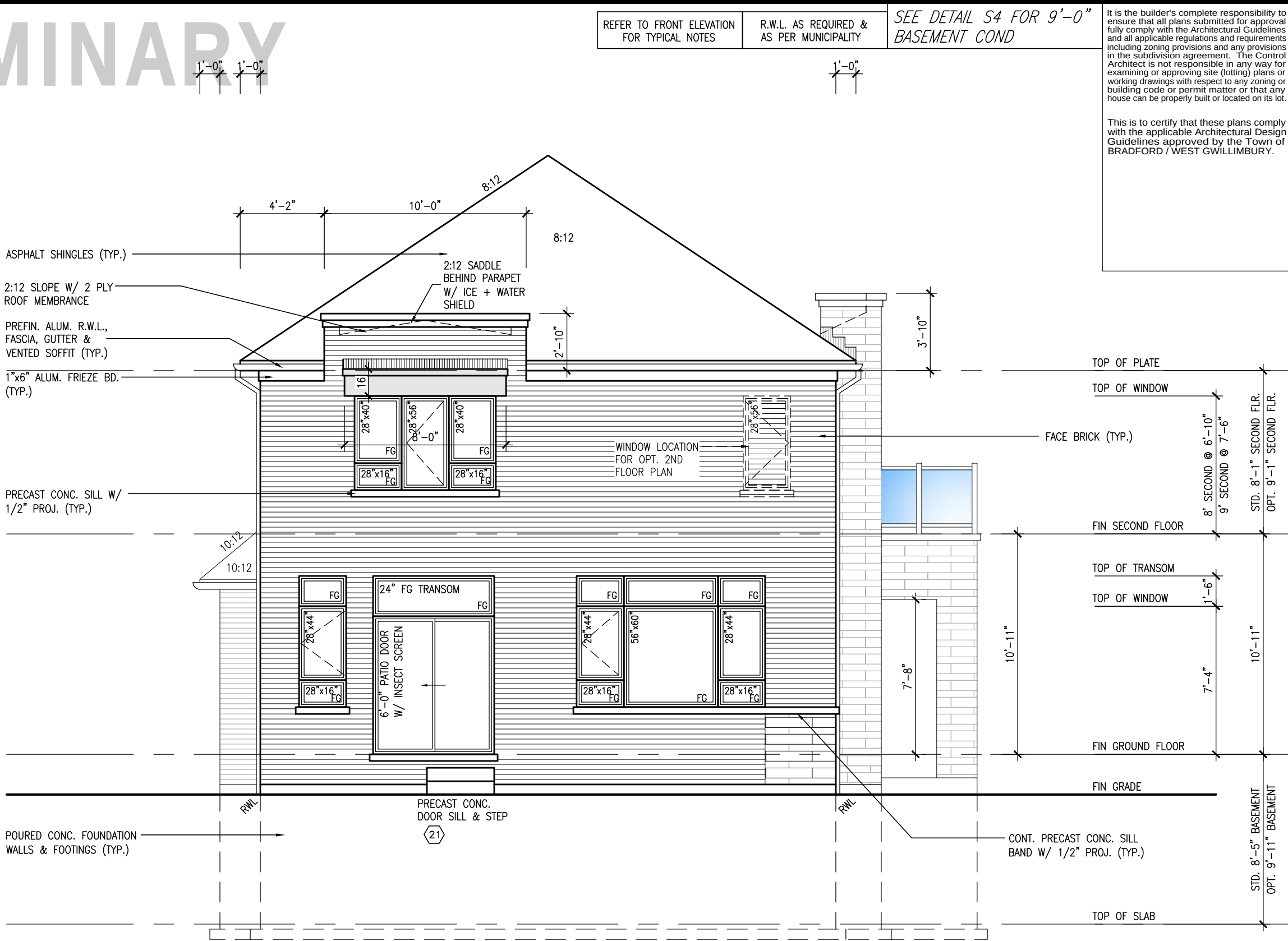
FLANKAGE ELEVATION 'C'

10⁹ GROUND

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	.	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL	
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL	
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	by
	no. description		date	

3	ADDED DFT. 9	BASINMENT	JUN 11-21	AL
2	REVISED AS PER ENG'S COMMENTS		JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW		.	.
no.	description		date	by

AREA CALCULATIONS		
	STD. C	OPT. C
GROUND FLOOR AREA	1452.8 SF	1452.8 SF
SECOND FLOOR AREA	1747.1 SF	1747.1 SF
SUBTOTAL	3199.9 SF	3199.9 SF
DEDUCT ALL OPENINGS	23.3 SF	19.4 SF
TOTAL NET AREA	3177 SF	3180 SF
	295.1 m2	295.5 m2
FINISHED BSMT AREA	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3177 SF	3180 SF
	295.1 m2	295.5 m2
COVERAGE W/O PORCH	1873.5 SF	1873.5 SF
	174.1 m2	174.1 m2
COVERAGE W/PORCH	1962.8 SF	1962.8 SF
	182.4 m2	182.4 m2



REAR ELEVATION 'C'

10' GROUND

project no. 16023		drawing no. 8C	
project name S38-8C BAROSSA 8		project name REAR ELEVATION 'C'	
municipality BRADFORD, ONT.		municipality BRADFORD, ONT.	
date JANUARY, 2017		date JANUARY, 2017	
checked by RC		checked by RC	
drawn by WT		drawn by WT	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
file name 16023-S38-8C-10GRND		file name 16023-S38-8C-10GRND	
revision 16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:40 AM		revision 16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:40 AM	
no. 9		no. 9	
no. 8		no. 8	
no. 7		no. 7	
no. 6		no. 6	
no. 5		no. 5	
no. 4 10' GROUND FLOOR		no. 4 10' GROUND FLOOR	
no. 3 ADDED OPT. 9' BASEMENT		no. 3 ADDED OPT. 9' BASEMENT	
no. 2 REVISED AS PER ENG'S COMMENTS		no. 2 REVISED AS PER ENG'S COMMENTS	
no. 1 ISSUED FOR CLIENT REVIEW		no. 1 ISSUED FOR CLIENT REVIEW	
no. description		no. description	

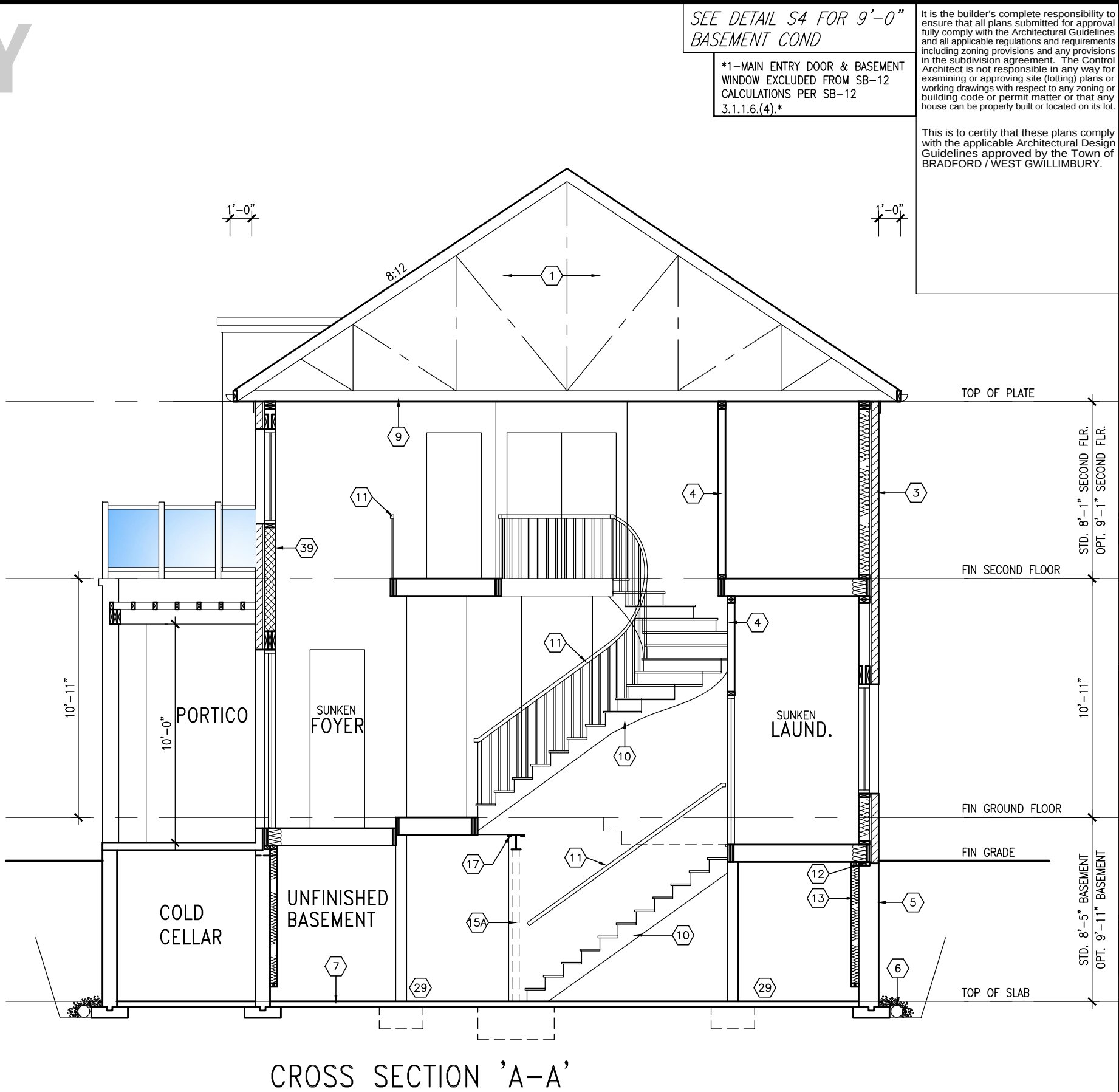
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C E.L.C. W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.86 S.F.	147.00 S.F.	22.28 %
LEFT SIDE	1333.62 S.F.	296.27 S.F.	22.22 %
RIGHT SIDE	1312.50 S.F.	67.67 S.F.	5.16 %
REAR	645.75 S.F.	161.50 S.F.	25.01 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3951.73 S.F.	672.44 S.F.	17.02 %
TOTAL SQ. M.	367.12 S.M.	62.47 S.M.	17.02 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C E.L.C. W/ 8' OPT. SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.86 S.F.	147.00 S.F.	22.28 %
LEFT SIDE	1333.62 S.F.	277.77 S.F.	20.83 %
RIGHT SIDE	1312.50 S.F.	67.44 S.F.	5.14 %
REAR	645.75 S.F.	172.39 S.F.	26.70 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3951.73 S.F.	664.60 S.F.	16.82 %
TOTAL SQ. M.	367.12 S.M.	61.74 S.M.	16.82 %

10' GROUND

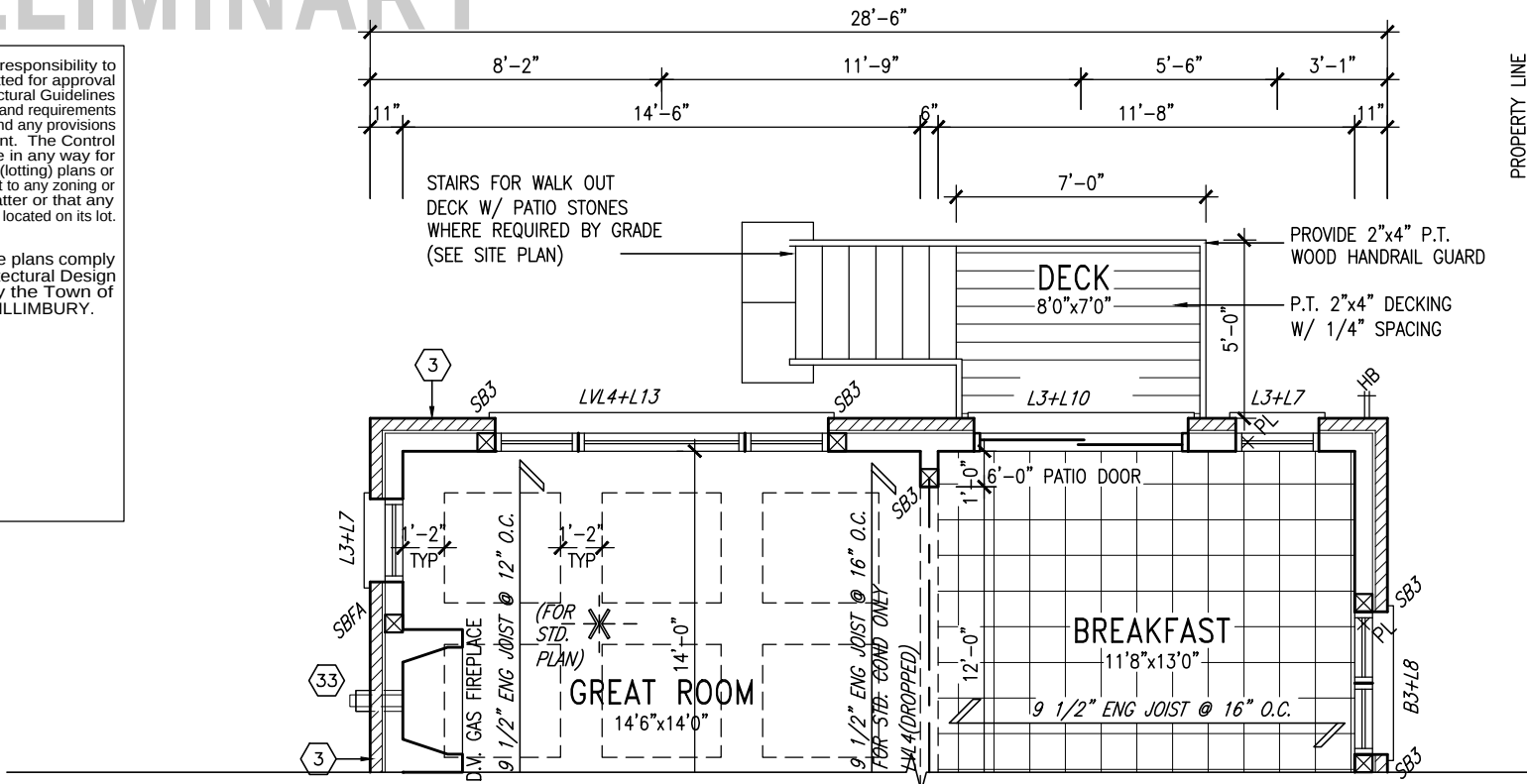


S38-8C		BAYVIEW WELLINGTON		S38-8C	
BAROSSA 8		GREEN VALLEY EAST		BAROSSA 8	
project no.		municipality		project no.	
16023		BRADFORD, ONT.		16023	
drawing no.		CROSS SECTION A-A		drawing no.	
9C		16023-S38-8C-10GRND		9C	
file name		scale		file name	
16023-S38-8C-10GRND.dwg		3/16" = 1'-0"		16023-S38-8C-10GRND.dwg	
checked by		date		checked by	
RC		JANUARY, 2017		RC	
drawn by		date		drawn by	
WT		JANUARY, 2017		WT	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:40 AM		255 Consumers Rd, Suite 120		255 Consumers Rd, Suite 120	
VA3 DESIGN		Toronto, ON M2J 1R4		Toronto, ON M2J 1R4	
t 416.630.2255 f 416.630.4782		t 416.630.2255 f 416.630.4782		t 416.630.2255 f 416.630.4782	
vo3design.com		vo3design.com		vo3design.com	
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9	.	.	.	9	.
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6	.	.	.	6	.
5	.	.	.	5	.
4	10' GROUND FLOOR	JUN 11-21	KL	4	10' GROUND FLOOR
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL	3	ADDED OPT. 9' BASEMENT
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC	2	REVISED AS PER ENG'S COMMENTS
1	ISSUED FOR CLIENT REVIEW	.	.	1	ISSUED FOR CLIENT REVIEW
no.	description	.	.	no.	description

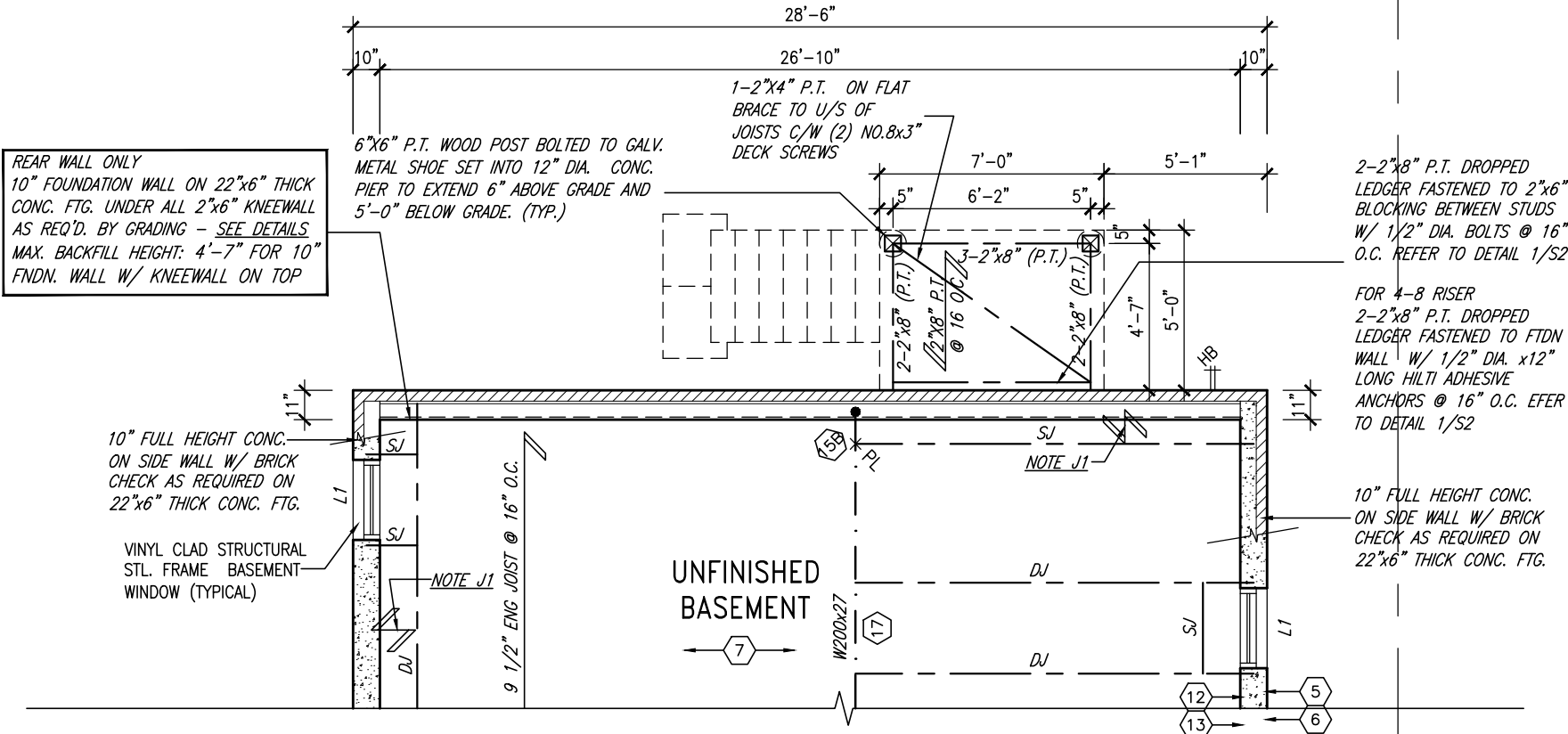
PRELIMINARY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PART. GROUND FLOOR PLAN 'C' - W.O.D. CONDITION



PART. BASEMENT PLAN 'C' - W.O.D. CONDITION

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.86 S.F.	147.00 S.F.	22.28 %
LEFT SIDE	1333.62 S.F.	296.27 S.F.	22.22 %
RIGHT SIDE	1312.50 S.F.	67.67 S.F.	5.16 %
REAR	768.75 S.F.	161.50 S.F.	21.01 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4074.73 S.F.	672.44 S.F.	16.50 %
TOTAL SQ. M.	378.55 S.M.	62.47 S.M.	16.50 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-8C EL.C WOD W/8' OPT. SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.86 S.F.	147.00 S.F.	22.28 %
LEFT SIDE	1333.62 S.F.	277.77 S.F.	20.83 %
RIGHT SIDE	1312.50 S.F.	67.44 S.F.	5.14 %
REAR	768.75 S.F.	172.39 S.F.	22.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4074.73 S.F.	664.60 S.F.	16.31 %
TOTAL SQ. M.	378.55 S.M.	61.74 S.M.	16.31 %

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

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5	.	.	.
4	10' GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JAN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-8C
BAROSSA 8

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S38-8C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-8C-10GRND.dwg - Tue - Jun 22 2021 - 11:40 AM					

10C

1' - 0"

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

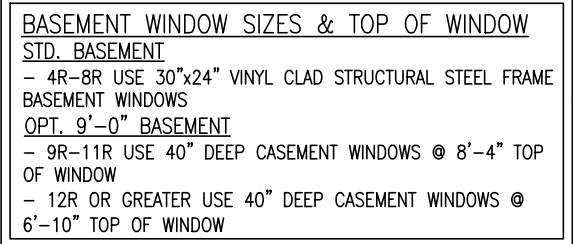
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9	.	.	.
5	.	.	.
4	10' CEILING FLOOR	11-21	W

9	.	.
8	.	.
7	.	.
6	.	.
5	.	.
4	10' CROSSLING LOOP	
		JUN 11-21 W

4	TO GROUND FLOOR	JUN 11-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 11-21	KL
2	REVISED AS PER ENG'S COMMENTS	JUN 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
10.	description	date	by

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10⁹ GROUND