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10' GROUND

PART. PLAN FOR
SUNKEN MUD RM.
SEE PAGE 7

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

AREA CHART ON PAGE 5

INDICATES REDUCED SIDE YARD

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

date
JAN. 2017

drawn by
SB

checked by
.

scale
3/16" = 1'-0"

BASEMENT PLAN 'A'

file name
16023-S38-1-10GRND

drawing no.
1

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MANUFACTURER.

NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL
REBARS EACH SIDE OF OPENING +
2-15M HORIZ. REBARS BELOW AND
EXTEND 24" BEYOND OPENING PROVIDE
3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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STAIR/SUNKEN AREAS
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& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN 'A' (9'-0" BASEMENT)

ELEV. 'B' & 'C' SIMILAR

INDICATES REDUCED SIDE YARD

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
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municipality
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project no.
16023

date
JAN. 2017

drawn by
SB

checked by
.

scale
3/16" = 1'-0"

BASEMENT PLAN 'A'

file name
16023-S38-1-10GRND

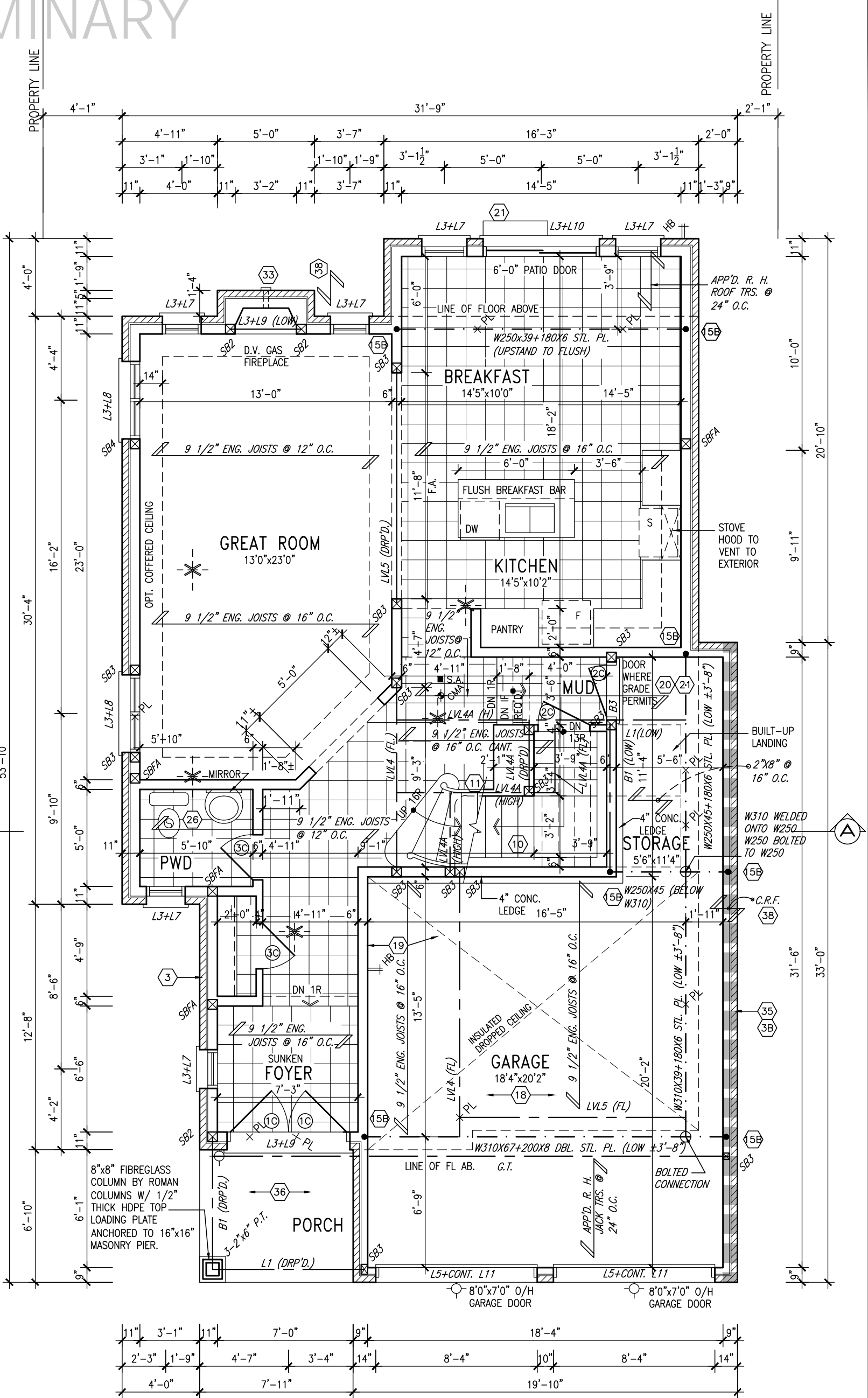
drawing no.
1A

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

9.	.	.	.
8.	.	.	.
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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017				
drawn by	SB	checked by	scale	GROUND FLOOR PLAN 'A'	drawing no.
			3/16" = 1'-0"	16023-S38-1-10GRND	2
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NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

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S38-1
BAROSSA 1

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		SECOND FLOOR PLAN 'A'			
drawing no.		drawing no.			
drawn by SB		checked by 3/16" = 1'-0"		scale 16023-S38-1-10GRND	
file name RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg		Tue - Jun 22 2021		7:55 AM	
				3	

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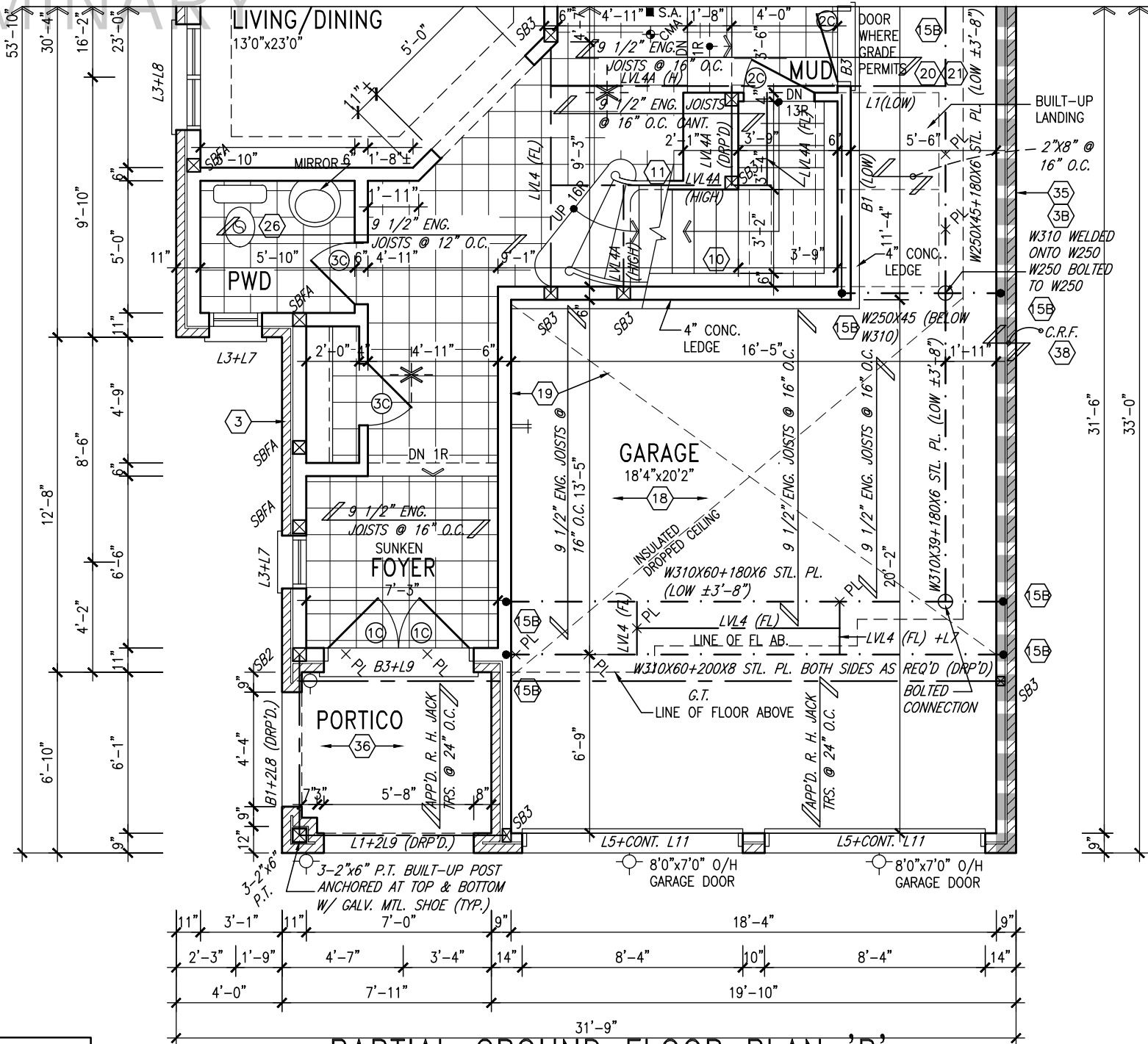
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10' GROUND

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

INDICATES REDUCED SIDE YARD



PARTIAL GROUND FLOOR PLAN 'B'

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
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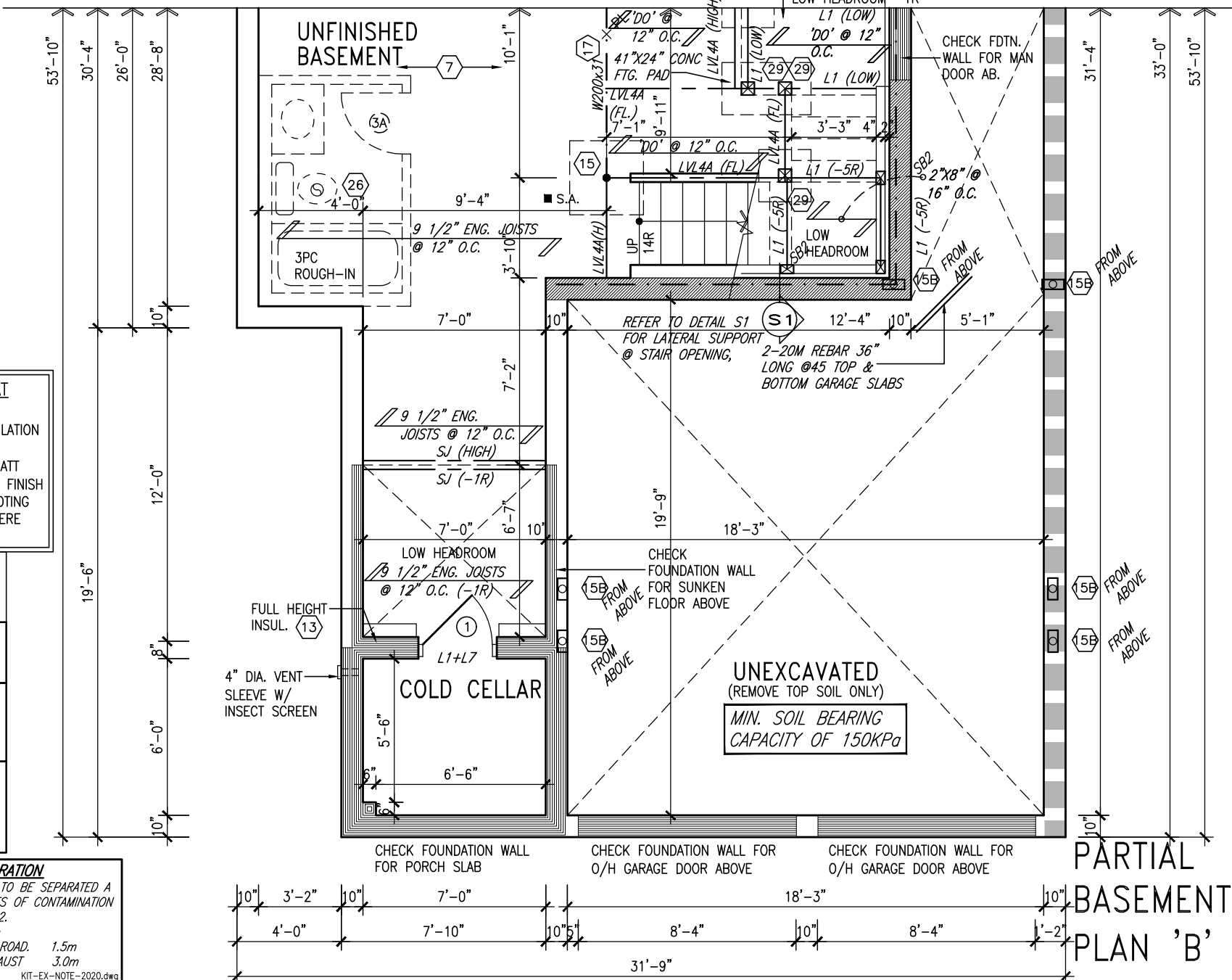
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• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg



PARTIAL BASEMENT PLAN 'B'

9.	.	.	.
8.	.	.	.
7.	.	.	.
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PARTIAL PLANS ELEVATION 'B'

drawing no.

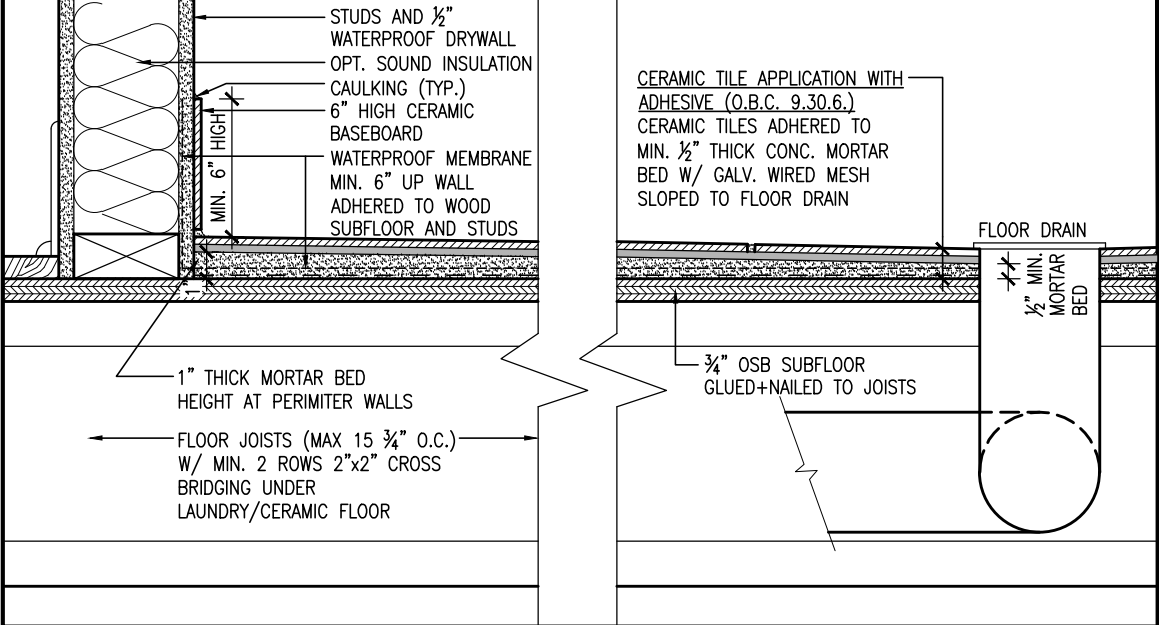
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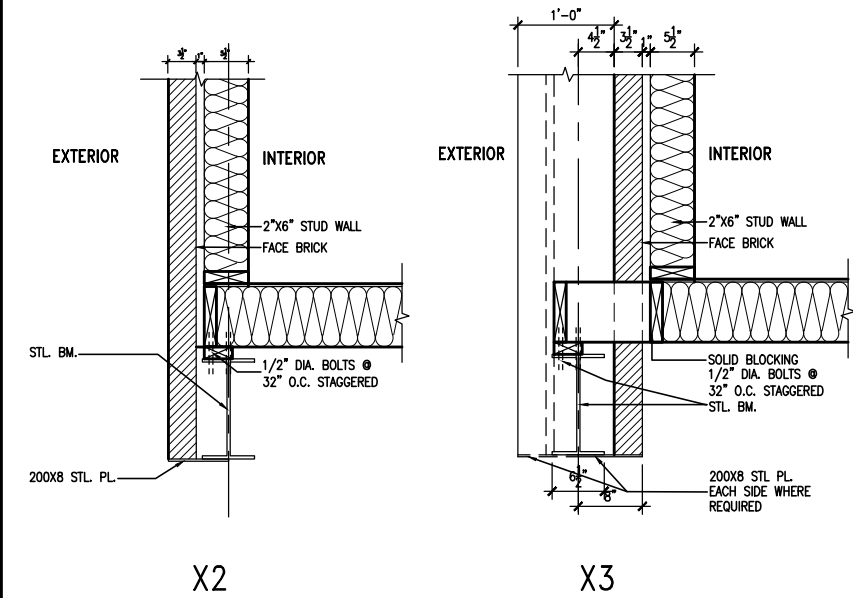
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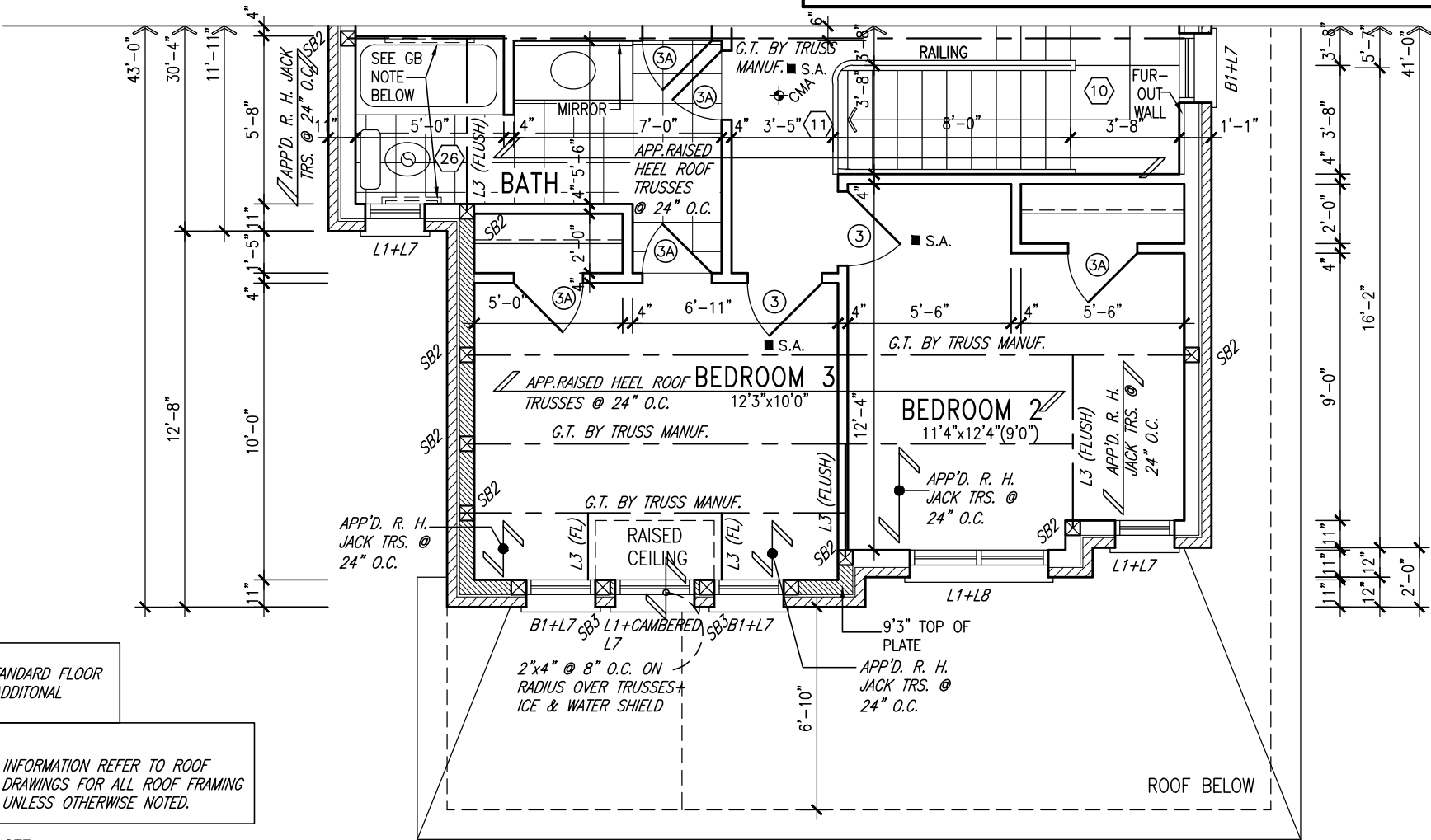
AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1011.5 SF	1011.5 SF	1011.5 SF
SECOND FLOOR AREA	1216.9 SF	1212.9 SF	1219.4 SF
SUBTOTAL	2228.4 SF	2224.4 SF	2230.9 SF
DEDUCT ALL OPENINGS	0 SF	0 SF	0 SF
TOTAL NET AREA	2228 SF	2224 SF	2231 SF
	207.0 m2	206.7 m2	207.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	2228 SF	2224 SF	2231 SF
	207.0 m2	206.7 m2	207.3 m2
COVERAGE W/O PORCH	1488.1 SF	1488.1 SF	1488.1 SF
	138.2 m2	138.2 m2	138.2 m2
COVERAGE W/PORCH	1542.2 SF	1542.2 SF	1563.4 SF
	143.3 m2	143.3 m2	145.2 m2



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



M11a 12" WALL JOG
SCALE: N.T.S.



NOTE:
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PLANS FOR ADDITIONAL
INFORMATION.

NOTE:
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GRAB BAR NOTE:

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SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
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GB-NOTE-2020.dwg

PARTIAL SECOND FLOOR PLAN 'B'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

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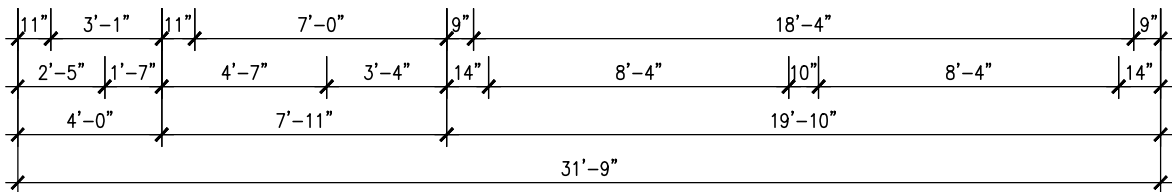
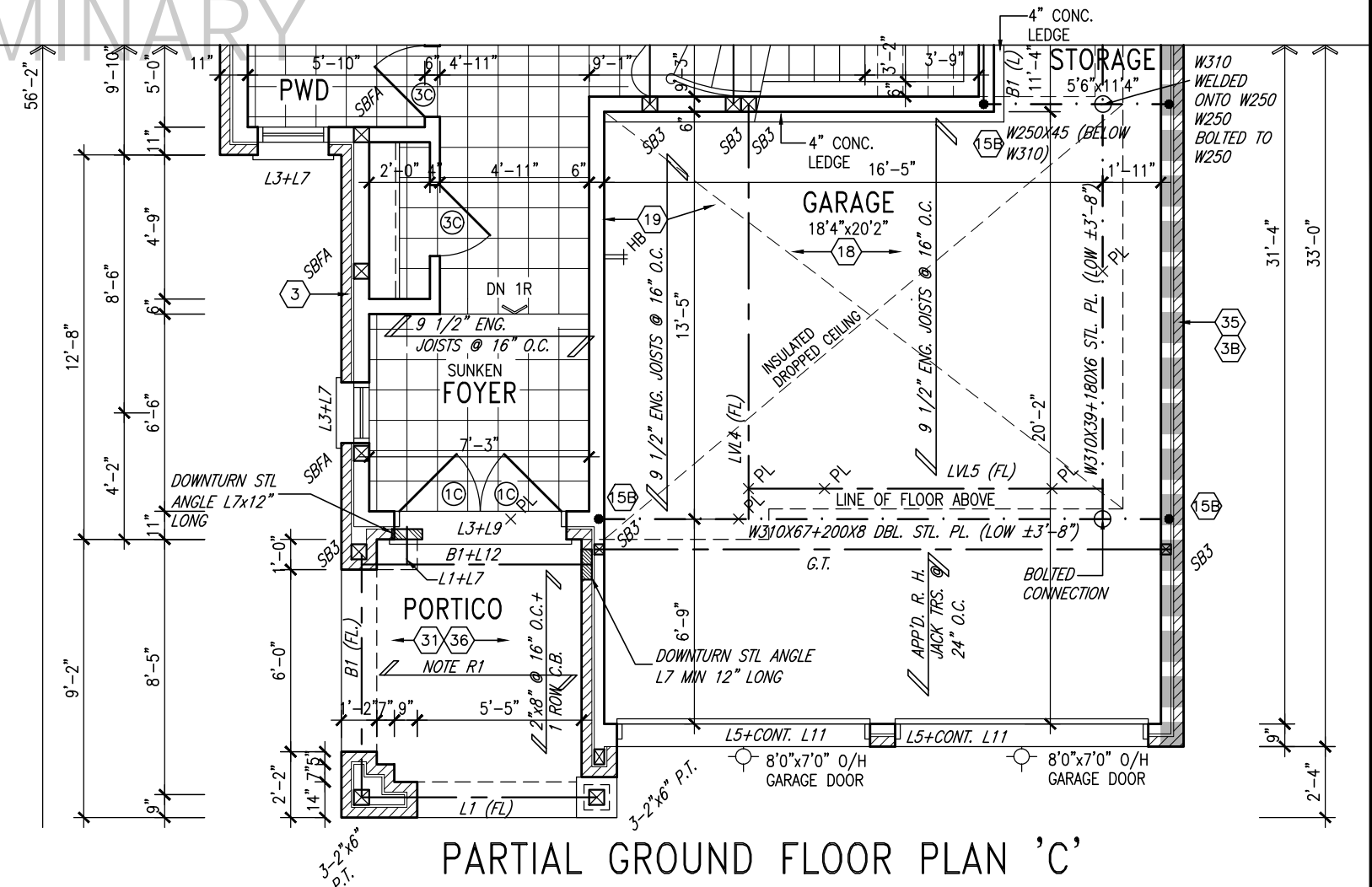
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INDICATES REDUCED SIDE YARD



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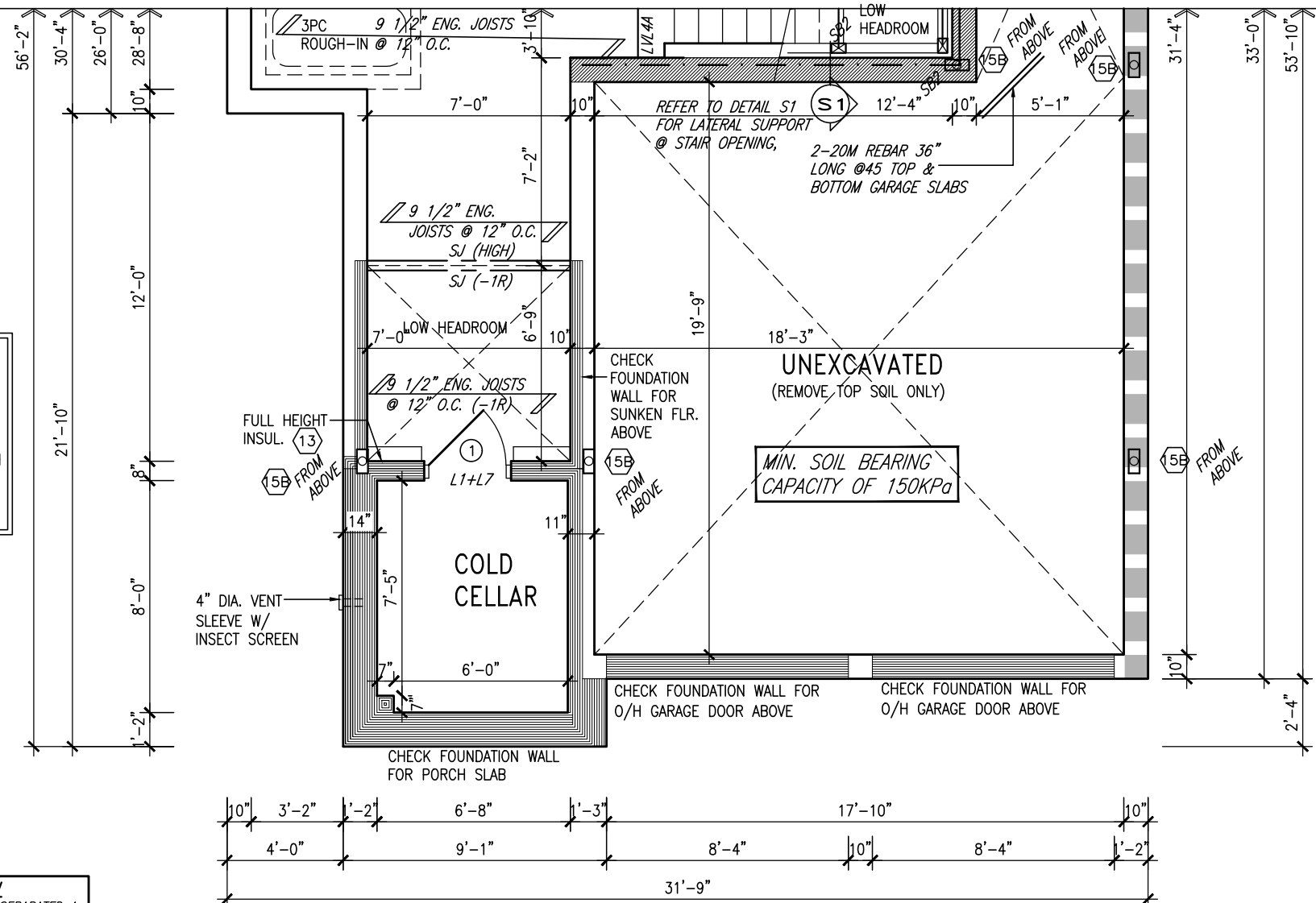
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KIT-EX-NOTE-2020.dwg



PARTIAL BASEMENT PLAN 'C'

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PARTIAL PLANS ELEVATION 'C'

drawing no.

6

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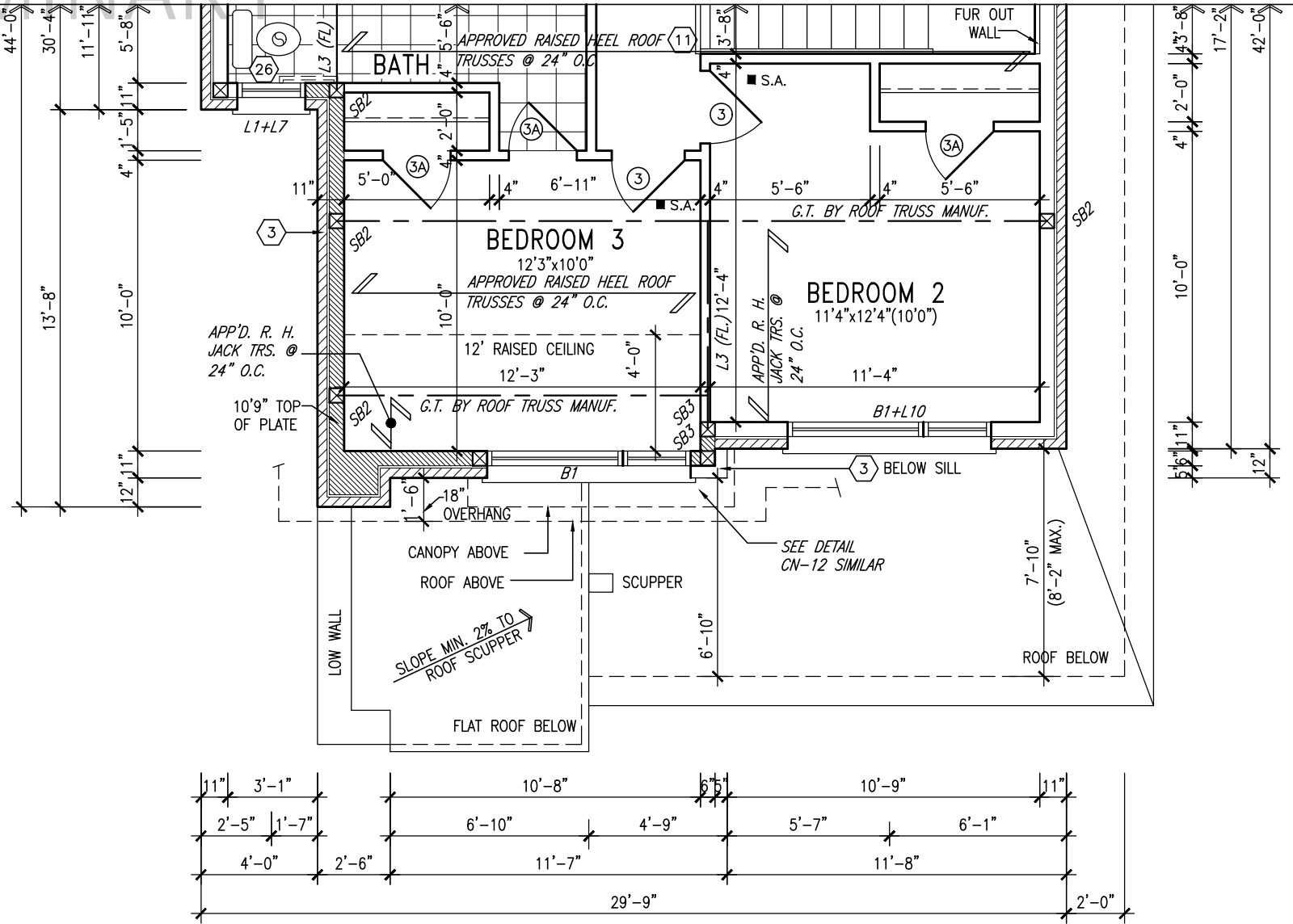
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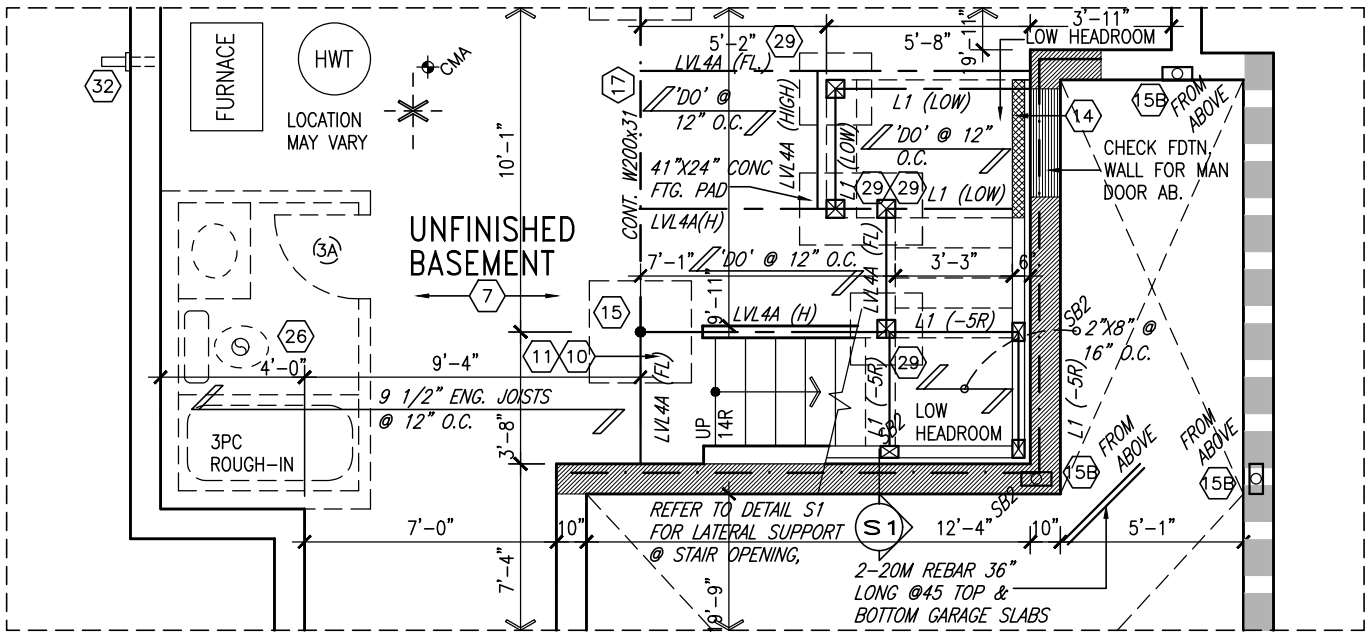
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REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



PARTIAL SECOND FLOOR PLAN 'C'



PARTIAL PLAN FOR 1R SUNKEN MUD ROOM COND.

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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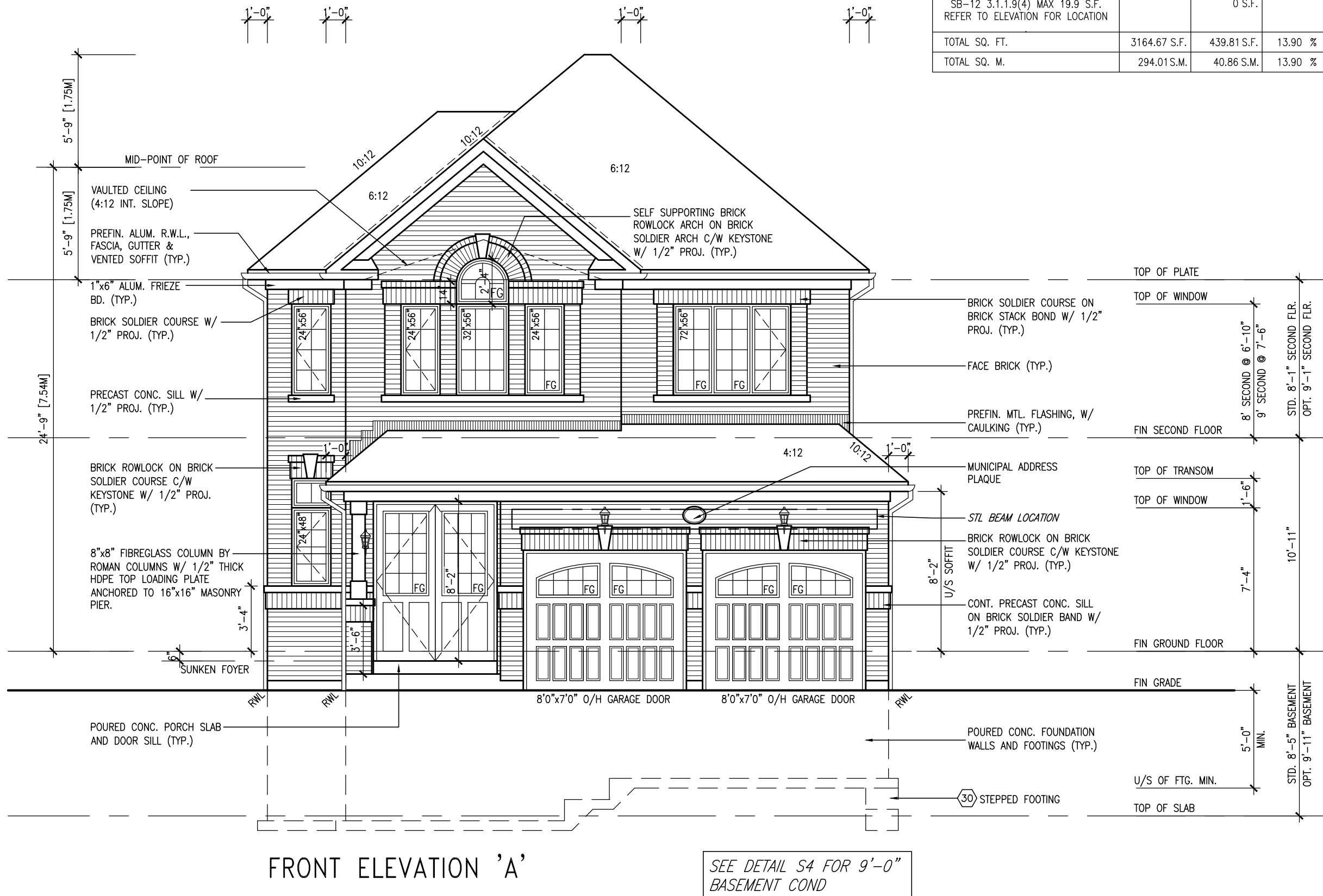
BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	drawn by	SB	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	file name	16023-S38-1-10GRND	drawing no.	7
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ROOF PLAN ELEVATION 'A'



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.A W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3164.67 S.F.	439.81 S.F.	13.90 %
TOTAL SQ. M.	294.01 S.M.	40.86 S.M.	13.90 %

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
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project name
GREEN VALLEY EAST

project no.
16023

date
JAN. 2017

drawing no.
8

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

municipality
BRADFORD

front elevation
'A'

file name
16023-S38-1-10GRND

scale
3/16" = 1'-0"

checked by
SB

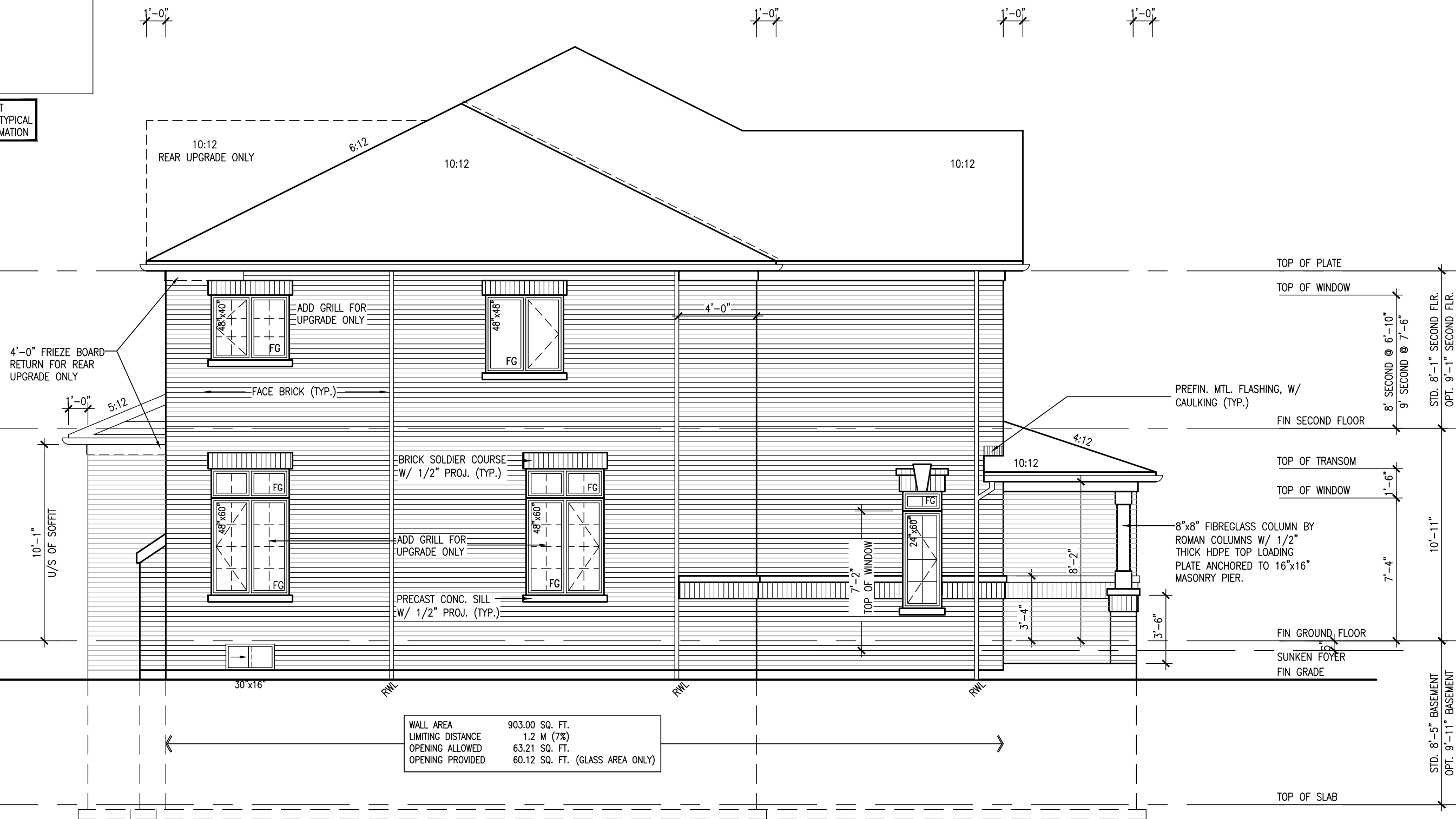
drawn by
SB

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10⁹ GROUND



LEFT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

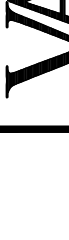
PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

—8"x8" FIBREGLASS COLUMN BY
ROMAN COLUMNS W/ 1/2"
THICK HDPE TOP LOADING
PLATE ANCHORED TO 16"x16"
MASONRY PIER.

WALL AREA	903.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	63.21 SQ. FT.
OPENING PROVIDED	60.12 SQ. FT. (GLASS AREA ONLY)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
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project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

date
JAN. 2017

drawn by
SB

checked by

scale
3/16" = 1'-0"

file name
16023-S38-1-10GRND

drawing no.
9

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

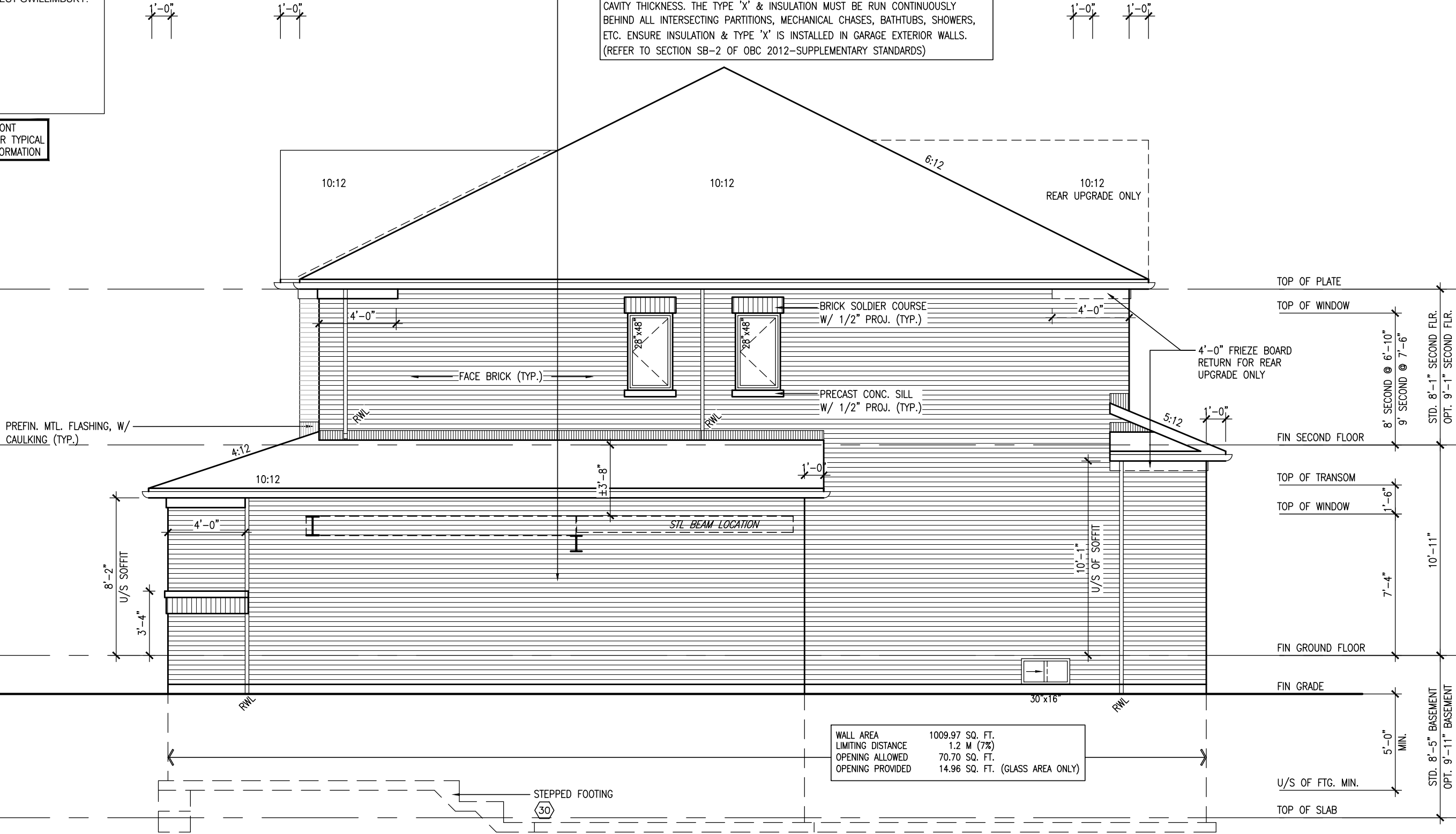
10' GROUND

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'A'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

WALL AREA	1009.97 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	70.70 SQ. FT.
OPENING PROVIDED	14.96 SQ. FT. (GLASS AREA ONLY)



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project name	BAYVIEW WELLINGTON	project no.	S38-1
project name	GREEN VALLEY EAST	project no.	BAROSSA 1
date	JAN. 2017	project no.	16023
drawn by	SB	project no.	16023
checked by		project no.	16023
scale	3/16" = 1'-0"	project no.	16023
file name	16023-S38-1-10GRND	project no.	16023
drawn by	SB	project no.	16023
checked by		project no.	16023
scale	3/16" = 1'-0"	project no.	16023
file name	16023-S38-1-10GRND	project no.	16023
drawn by	SB	project no.	16023
checked by		project no.	16023
scale	3/16" = 1'-0"	project no.	16023
file name	16023-S38-1-10GRND	project no.	16023

no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
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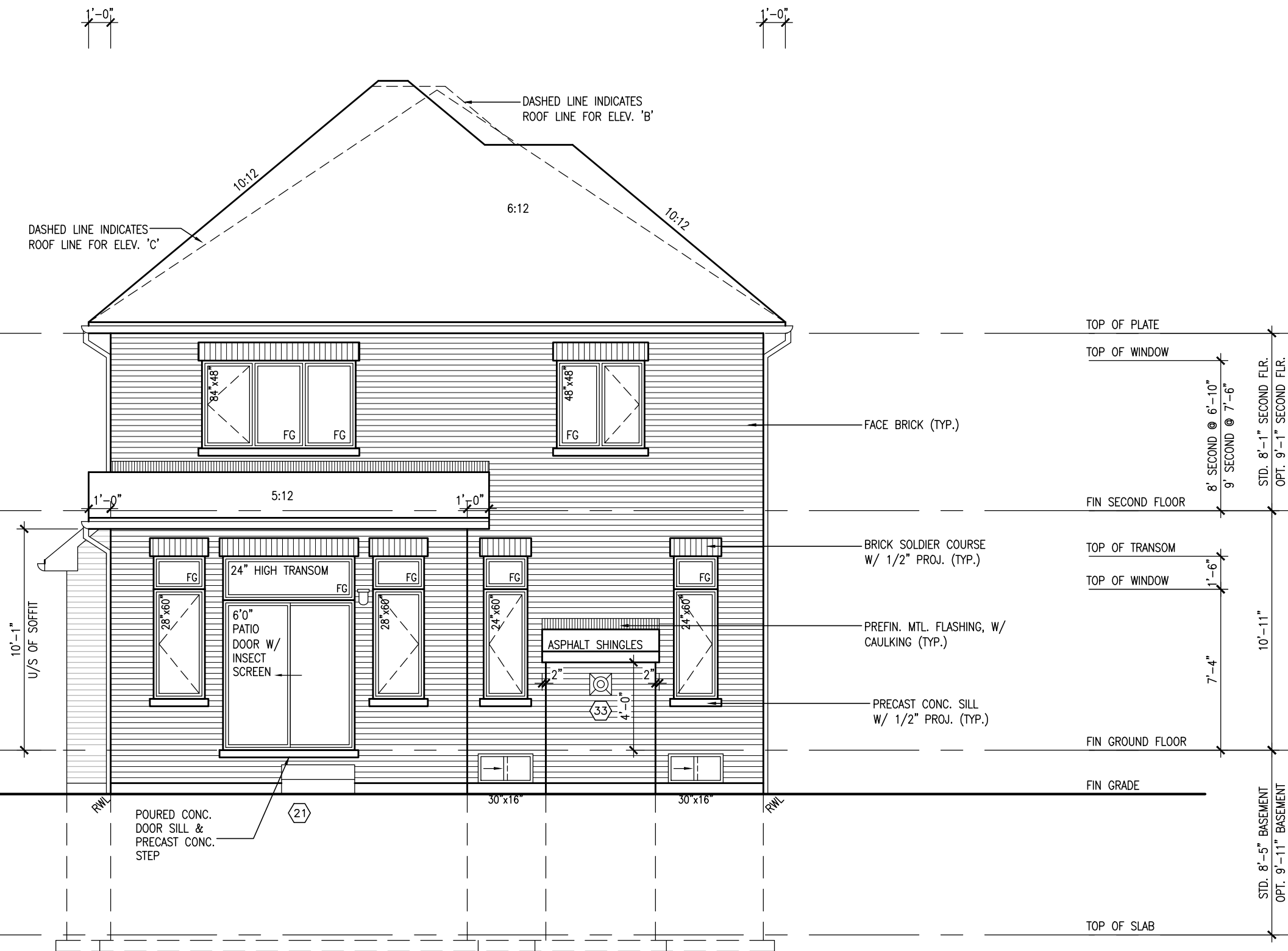
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REFER TO FRONT
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NOTES & INFORMATION

10' GROUND




SEE DETAIL S4 FOR 9'-0"
BASEMENT COND


REAR ELEVATION 'A', 'B' & 'C'

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8				
7				
6				
5 10' GROUND FLOOR	MAY 13-21	KL					
4 ADDED OPT. 9' BASEMENT	MAY 13-21	KL					
3 REV ROOF STRUCT. FOR UPG. REAR E.L.C	MAR 18-19	RC					
2 REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC					
1 ISSUED FOR CLIENT REVIEW	.	.					
no. description	date	by					

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project name GREEN VALLEY EAST		municipality BRADFORD	
project no. 16023		drawing no. 11	
date JAN. 2017		date 11	
drawn by SB		drawn by 11	
checked by .		checked by .	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
file name 16023-S38-1-10GRND		file name 16023-S38-1-10GRND	
REAR ELEVATION		REAR ELEVATION	
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BAYVIEW WELLINGTON		S38-1	
project name GREEN VALLEY EAST		BAROSSA 1	
project no. 16023		drawing no. 11	
date JAN. 2017		date 11	
drawn by SB		drawn by 11	
checked by .		checked by .	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
file name 16023-S38-1-10GRND		file name 16023-S38-1-10GRND	
REAR ELEVATION		REAR ELEVATION	
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10' GROUND

Architectural cross-section A-A of a two-story house with a basement. The drawing shows the main bath, PWD (Pantry/Walk-in Cooler), hall, and storage areas. It includes a staircase with dimensions and various structural details like roof pitch (10:12), floor levels (TOP OF PLATE, FIN SECOND FLOOR, FIN GROUND FLOOR, FIN GRADE, TOP OF SLAB), and foundation details. Callouts 1 through 35 are used to identify specific components.

Key features and dimensions:

- Roof pitch: 10:12
- Floor levels: TOP OF PLATE, FIN SECOND FLOOR, FIN GROUND FLOOR, FIN GRADE, TOP OF SLAB
- Rooms: MAIN BATH, PWD, HALL, STORAGE, UNFINISHED BASEMENT
- Staircase dimensions: $\pm 3'-8"$, $\pm 7'-5"$
- Foundation details: 15, 29, 18, 14, 10, 11, 12, 13, 5, 6, 7, 8, 9, 4, 3, 1, 2, 35, 3B

CROSS SECTION A-A

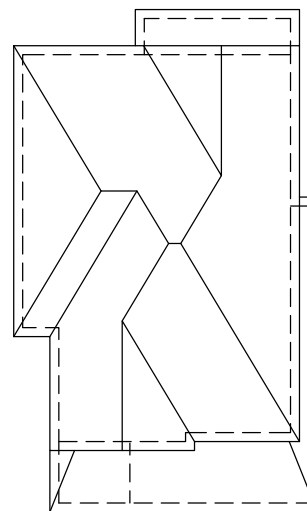
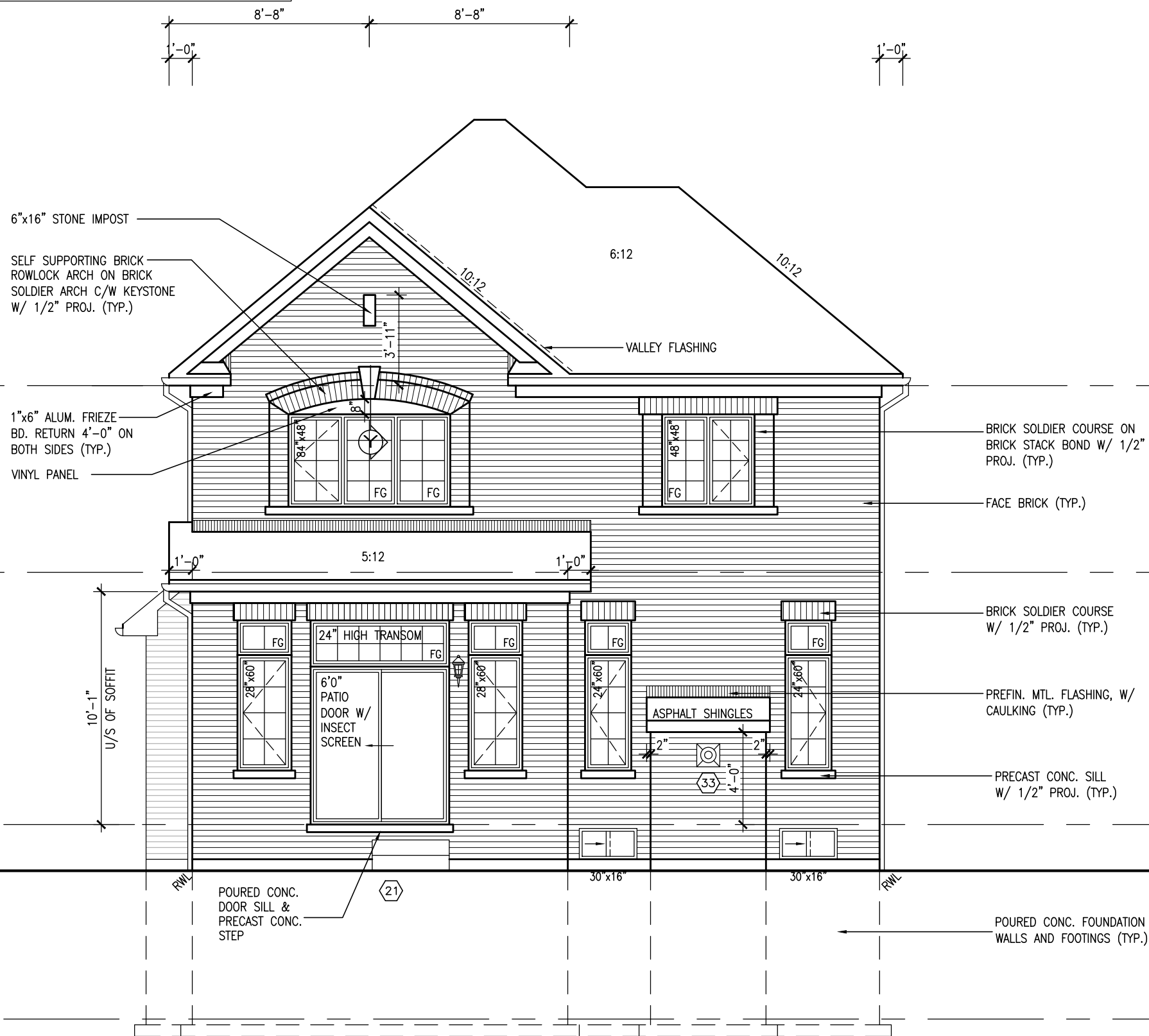
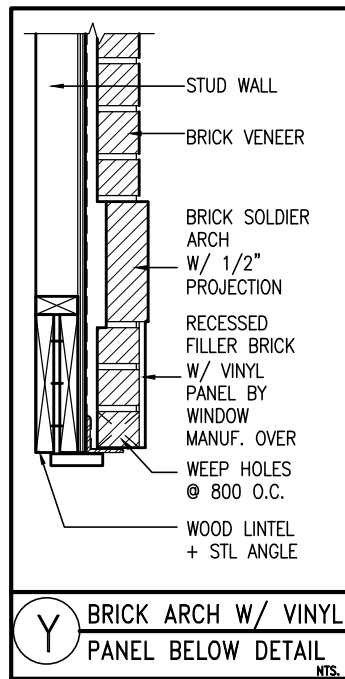
CROSS SECTION A-A

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REFER TO FRONT
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ROOF PLAN A
W/ REAR UPGRADE

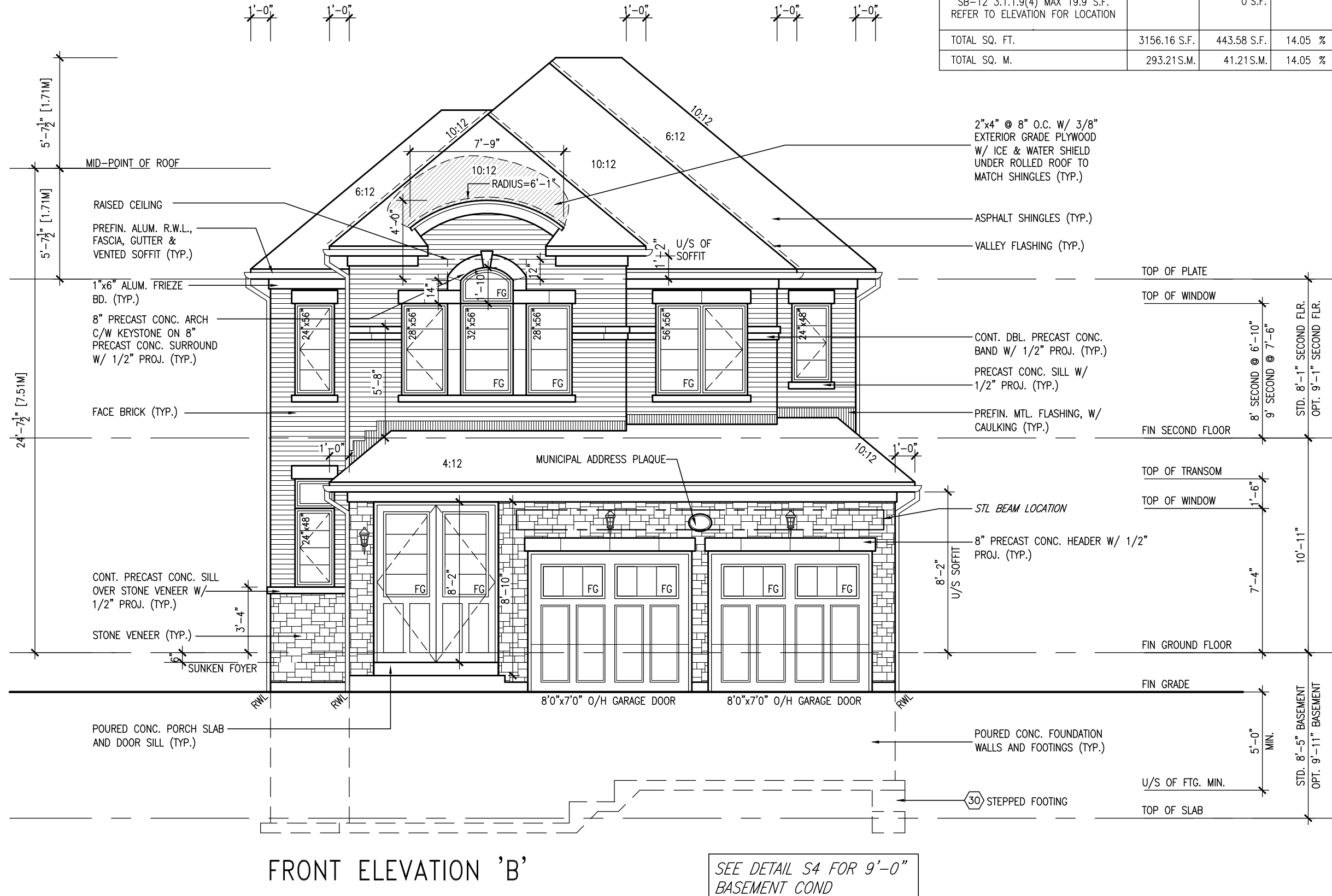
ELEVATION 'A' REAR UPGRADE

[illegible]

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ROOF PLAN
ELEVATION 'B'



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B W/ 8" SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3156.16 S.F.	443.58 S.F.	14.05 %
TOTAL SQ. M.	293.21 S.M.	41.21 S.M.	14.05 %

[illegible]

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



LEFT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

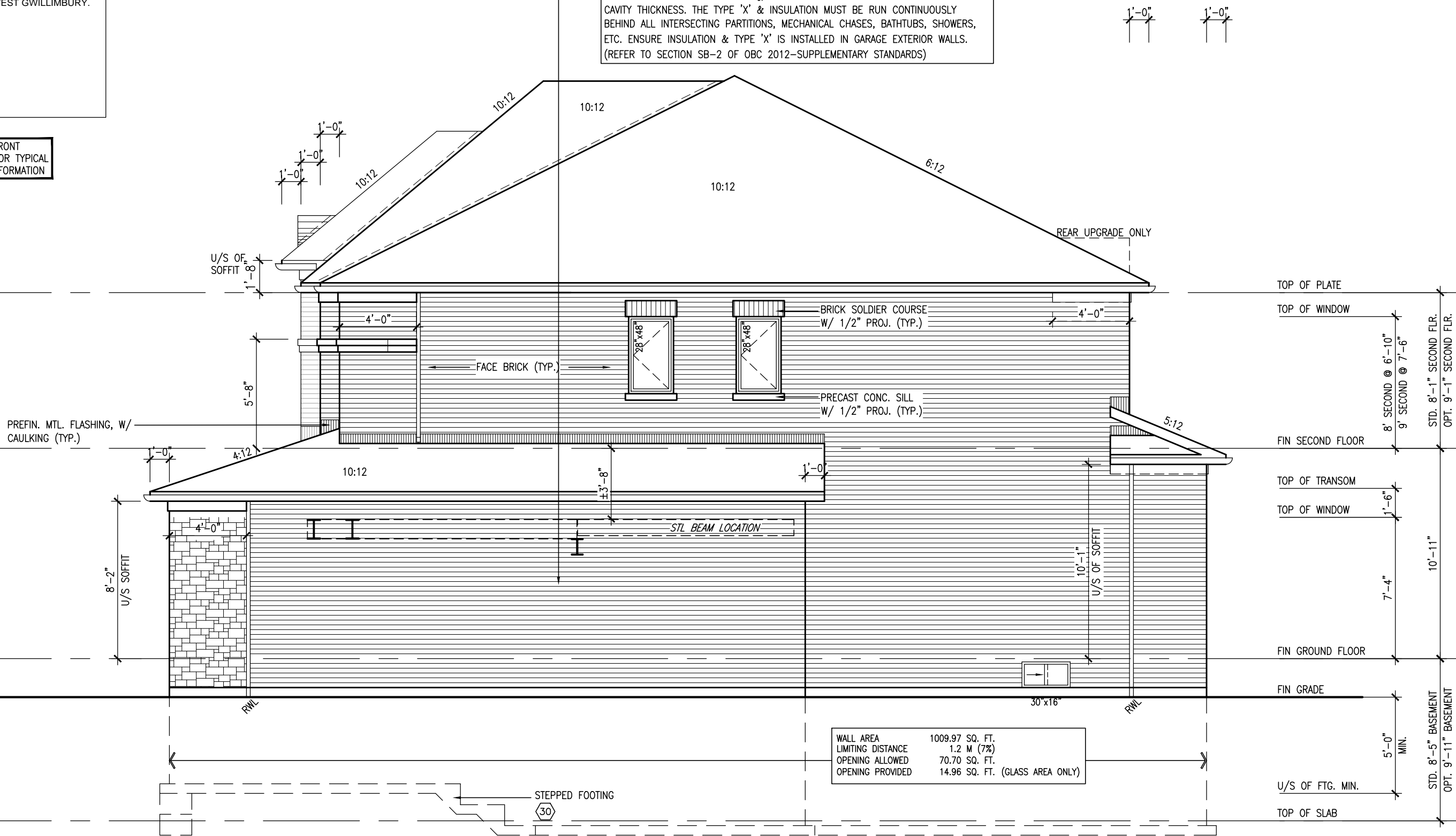
10⁹ GROUND

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'B'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	municipality	project no.
GREEN VALLEY EAST	BR	10007
	BR	10007
	BR	10007
	BR	10007

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023

[illegible]

file name	checked by	scale
NIGHT SIDE ELEVATION B		

16023-S38-1-10GRND	3/16" = 1'-0"	16023-S38-1-10GRND
16023-S38-1-10GRND	3/16" = 1'-0"	16023-S38-1-10GRND

© RICHARD H. WURKING, 2016. 160223-IBW Units 30, 160223-336-1-1 UGRNDJ.org - 1UE - JUN 22, 2021 7:36 AM

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V

DECISION

DESIGN
Consumers Rd Suite

toronto ON M2J 1R4

va3design.com

ations, related documents

contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All draw

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR		MAY 13-21 KL
4	ADDED OPT. 9' BASEMENT		MAY 13-21 KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC		MAR 18-19 RC
2	REVISED AS PER ENG'S COMMENTS		JAN 04-18 RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

Downloaded from <http://ajph.org/> on November 10, 2015

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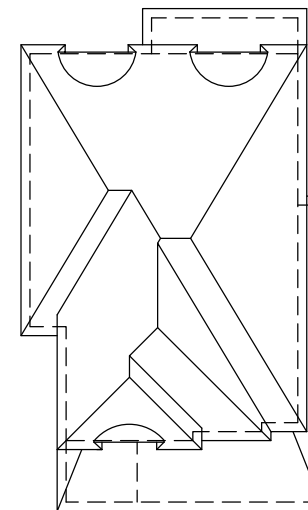
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10⁹ GROUND



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

ELEVATION 'B' REAR UPGRADE

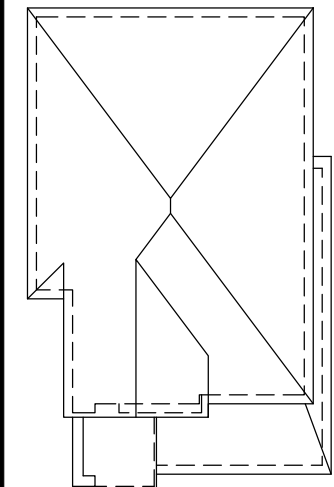


ROOF PLAN B
W/ REAR UPGRADE

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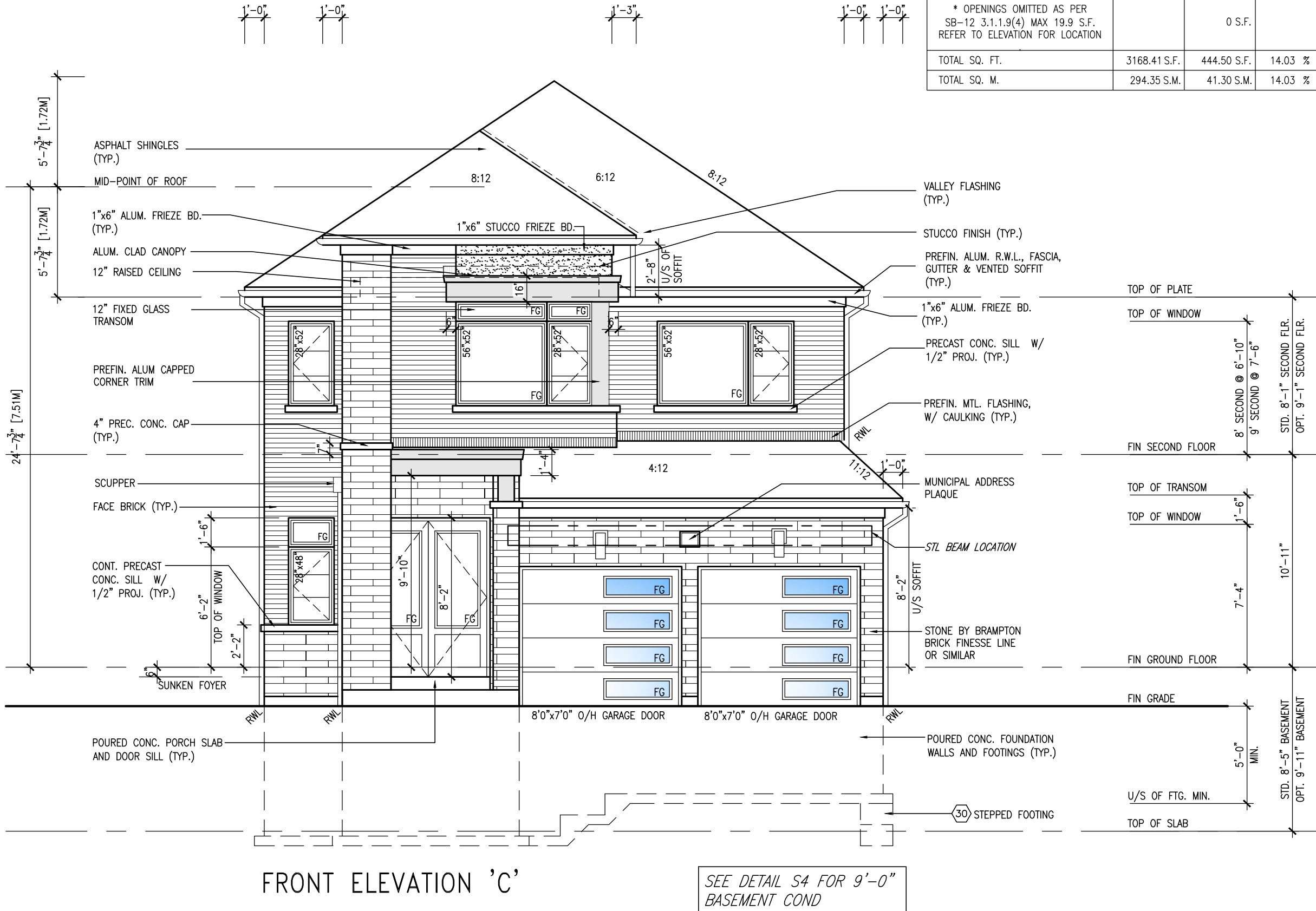
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ROOF PLAN
ELEVATION 'C'

10' GROUND




SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 E.L.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	624.75 S.F.	160.00 S.F.	25.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3168.41 S.F.	444.50 S.F.	14.03 %
TOTAL SQ. M.	294.35 S.M.	41.30 S.M.	14.03 %

9		10' GROUND FLOOR		MAY 13-21 KL		3 REV ROOF STRUCT. FOR UPC. REAR ELC		MAR 18-19 RC		2 REVISED AS PER ENG'S COMMENTS		1 ISSUED FOR CLIENT REVIEW		JAN 04-18 RC		no. description		date		by	
8																					
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1																					
no. description																					

S38-1 BAROSSA 1		BAYVIEW WELLINGTON		project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023		drawing no. 18	
date JAN. 2017		checked by SB		scale 3/16" = 1'-0"		file name 16023-S38-1-10GRND		FRONT ELEVATION 'C'		drawing no. 18	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-1-10GRND.dwg - Tue - Jun 22, 2021 - 7:56 AM											



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

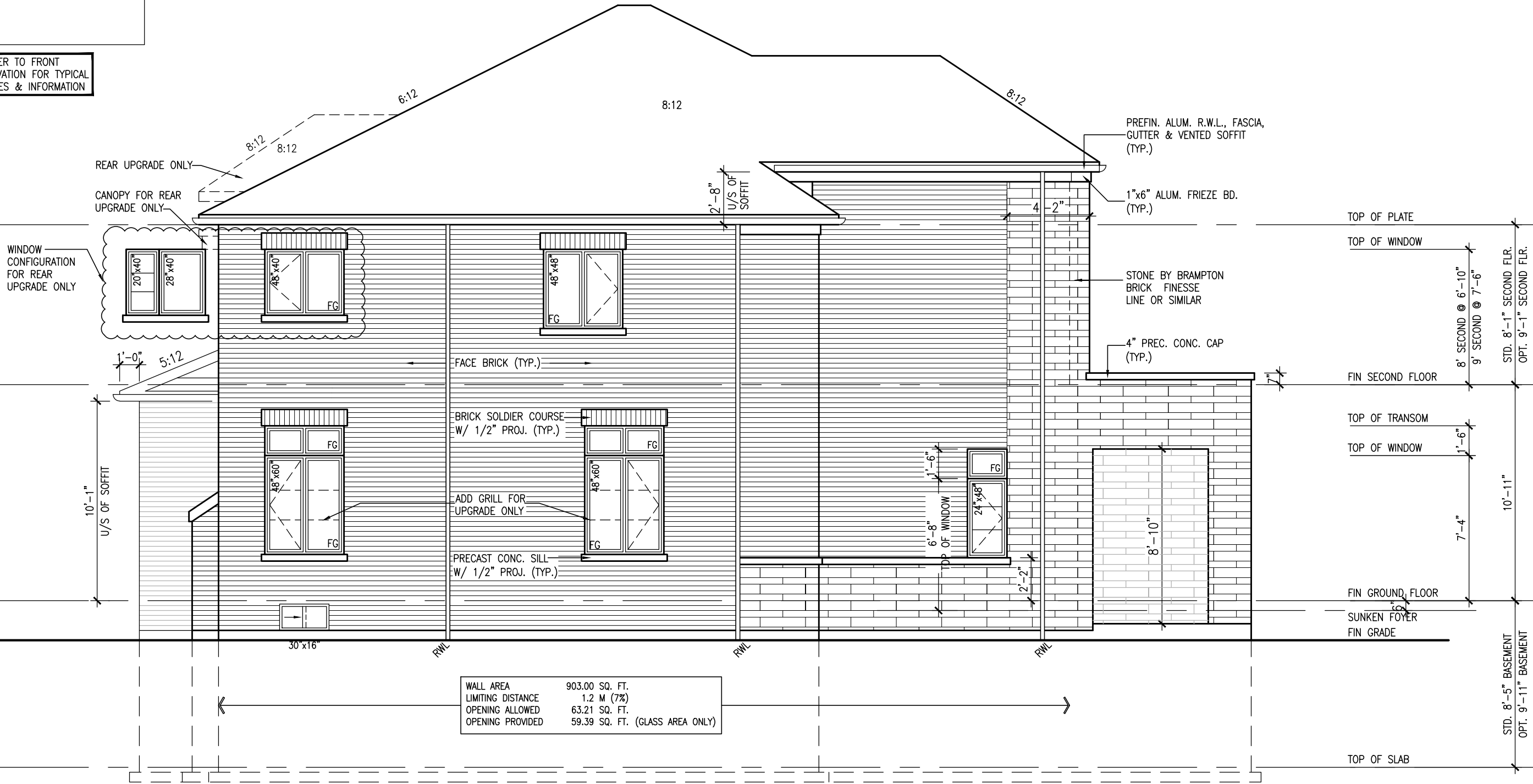
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. The Designer is not responsible for any errors or omissions in the drawings. The Designer's drawings are not to be scaled.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10' GROUND




LEFT SIDE ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

WALL AREA	903.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	63.21 SQ. FT.
OPENING PROVIDED	59.39 SQ. FT. (GLASS AREA ONLY)

TOP OF PLATE	
TOP OF WINDOW	
8' SECOND @ 6'-10"	
9' SECOND @ 7'-6"	
STD. 8'-1" SECOND FLR.	
OPT. 9'-1" SECOND FLR.	
FIN SECOND FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
7'-4"	
1'-6"	
6'-8"	
2'-2"	
8'-10"	
FIN GROUND FLOOR	
SUNKEN FOYER	
FIN GRADE	
10'-11"	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
TOP OF SLAB	

							
				255 Consumers Rd Suite 120 Toronto, ON M2J 1H4 t 416.630.2255 f 416.630.4782 vo3design.com			
				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by				
9							
8							
7							
6							
5	10' GROUND FLOOR	MAY 13-21	KL				
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL				
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC				
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC				
1	ISSUED FOR CLIENT REVIEW						

project name		project no.	
GREEN VALLEY EAST		16023	
municipality		drawing no.	
BRADFORD		19	
LEFT ELEVATION 'C'		file name	
scale		16023-S38-1-10GRND	
checked by		3/16" = 1'-0"	
date		SB	
drawn by		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-1-10GRND.dwg - Tue - Jun 22 2021 - 7:56 AM	
JAN. 2017			

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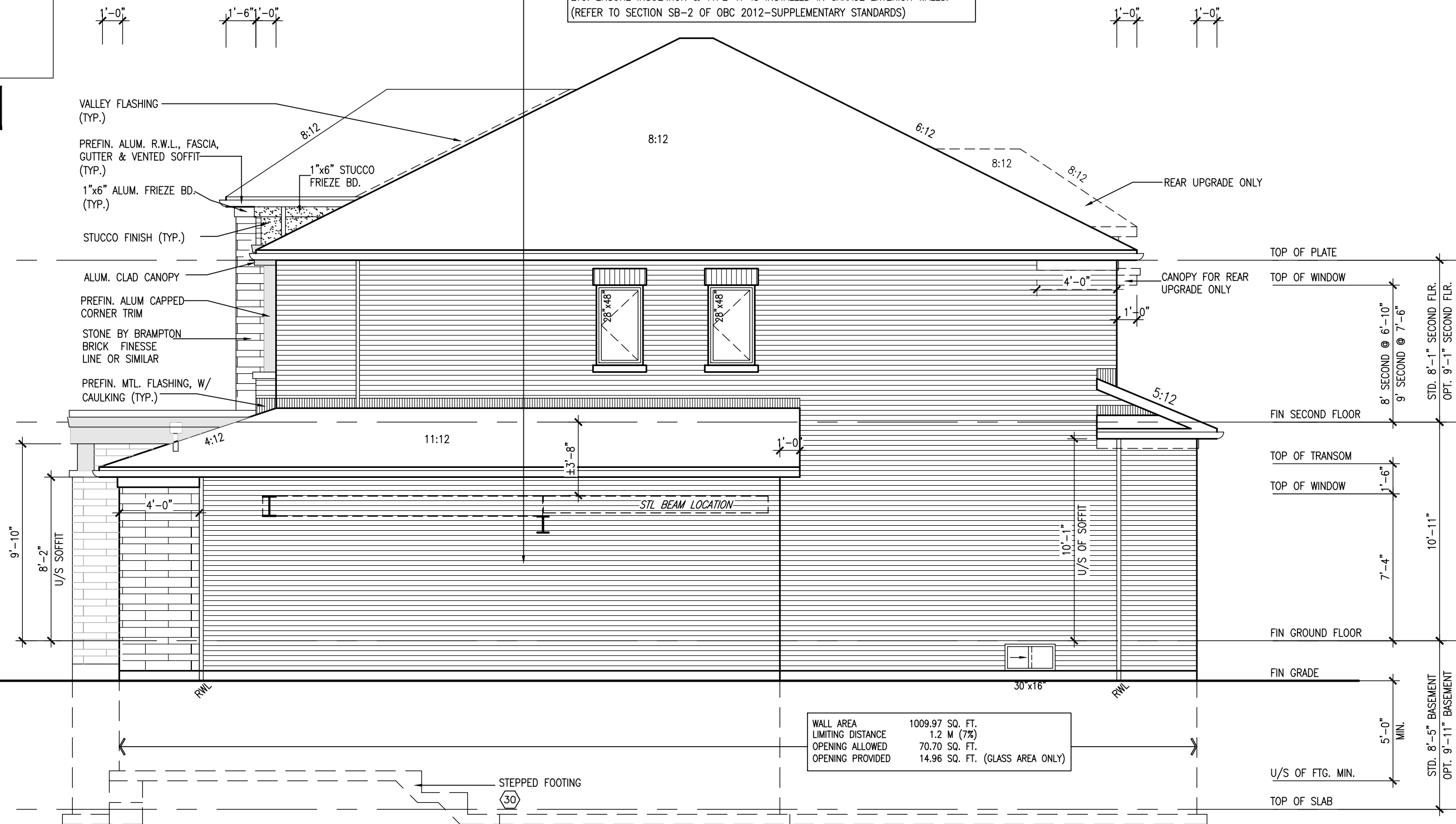
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL


PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)





RIGHT SIDE ELEVATION 'C'


SEE DETAIL S4 FOR 9'-0"
BASEMENT COND


WALL AREA	1009.97 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	70.70 SQ. FT.
OPENING PROVIDED	14.96 SQ. FT. (GLASS AREA ONLY)


9 .	.	.	 <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	date by
8 .	.	.			
7 .	.	.			
6 .	.	.			
5 10' GROUND FLOOR	MAY 13-21	KL			
4 ADDED OPT. 9' BASEMENT	MAY 13-21	KL			
3 REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC			
2 REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC			
1 ISSUED FOR CLIENT REVIEW	.	.			
no. description	date	by			


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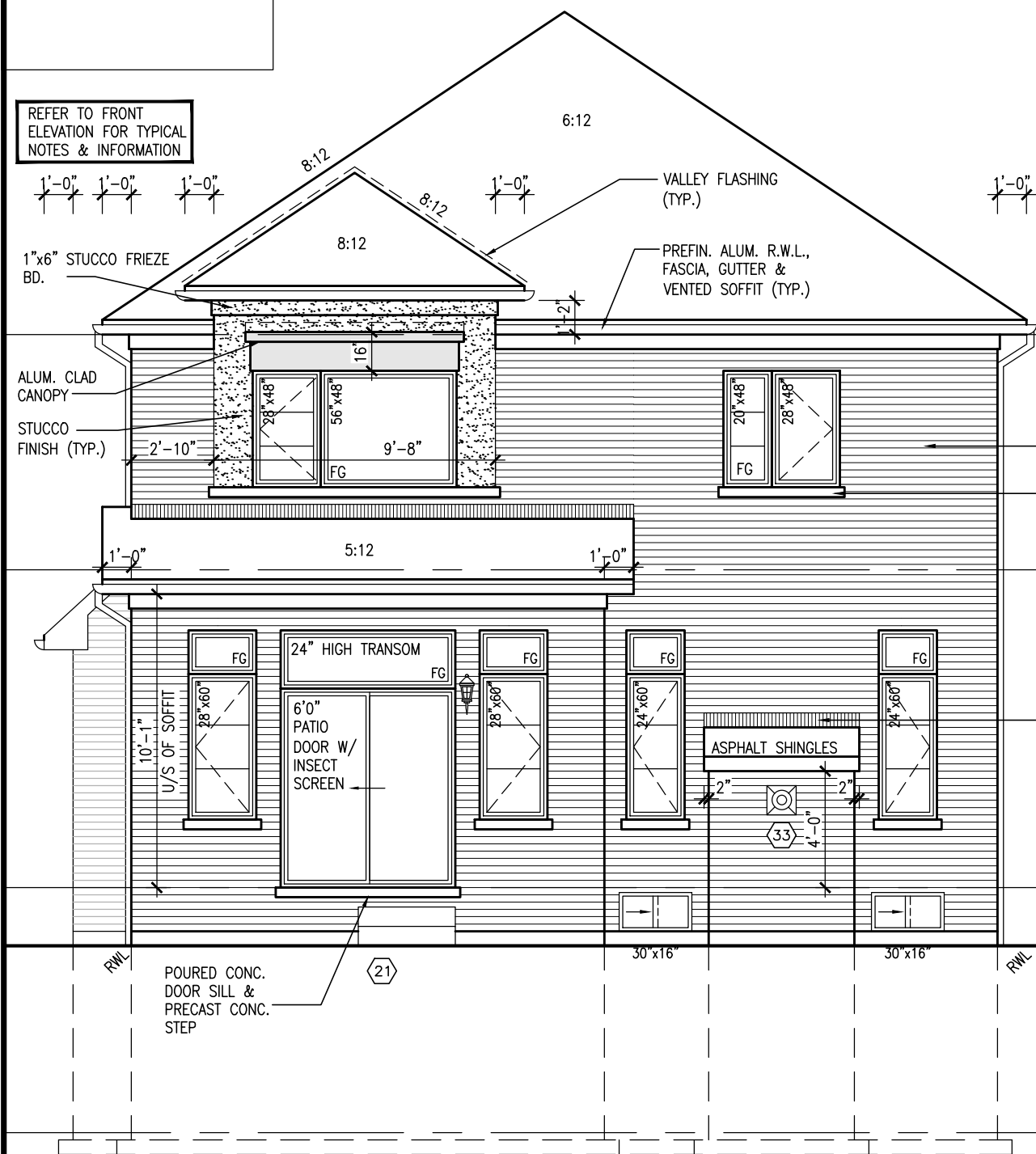
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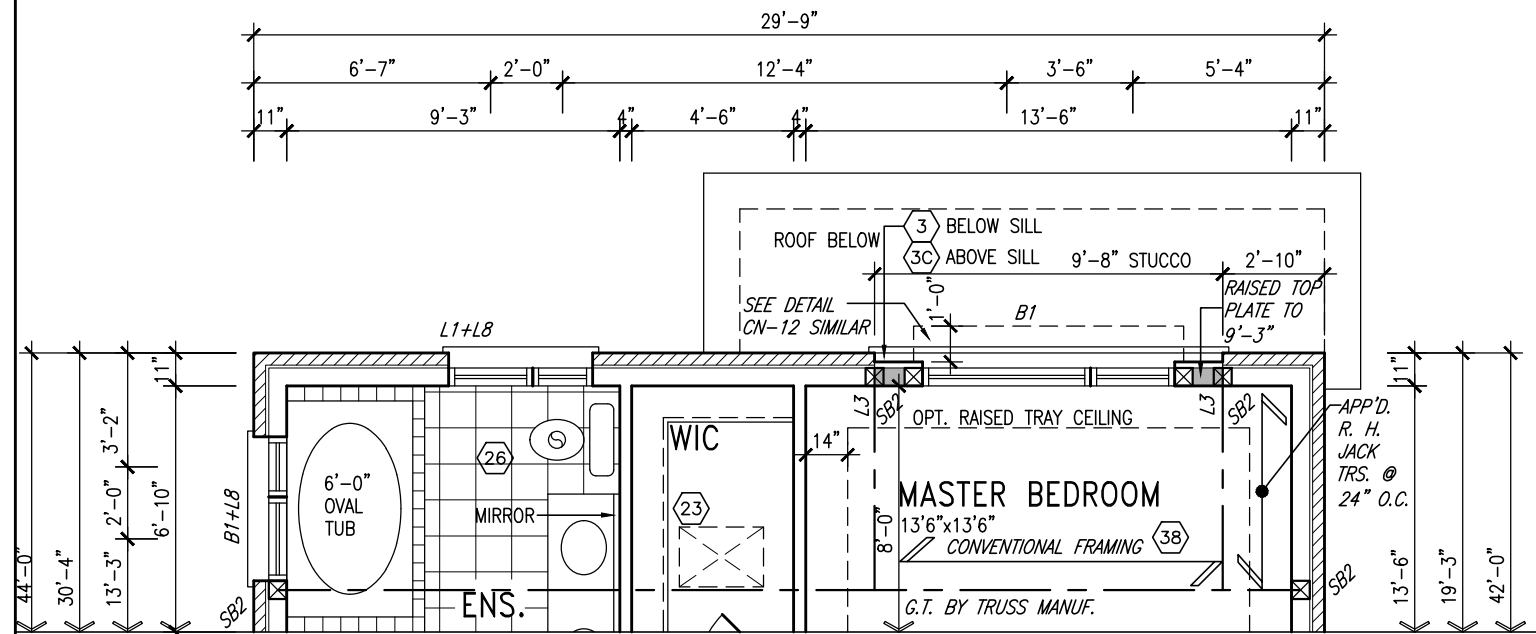
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



ELEVATION 'C' REAR UPGRADE

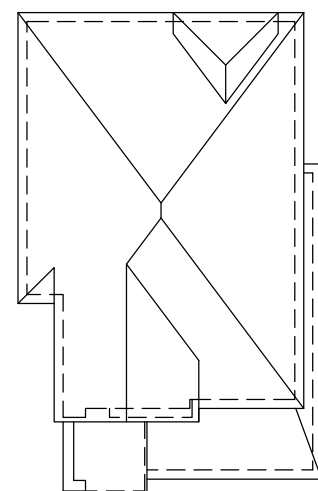
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



PARTIAL SECOND FLOOR FOR ELEVATION 'C' REAR UPGRADE


NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.



ROOF PLAN C
W/ REAR UPGRADE

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7	.	.	.		
6	.	.	.		
5	10' GROUND FLOOR	MAY 13-21	KL		
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL		
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19	RC		
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC		
1	ISSUED FOR CLIENT REVIEW	.	.	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON

BAYVIEW VALLEY EAST

GREEN VALLEY EAST

ELEVATION 'C' REAR UPGRADE

BRADFORD

project no. 16023

project name BAROSSA 1

date JAN. 2017

drawn by SB

checked by

scale 3/16" = 1'-0"

file name 16023-S38-1-10GRND

drawing no. 21

16023-S38-1-10GRND.dwg → Tue - Jun 22 2021 → 7:56 AM

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10' GROUND

HSS 3 1/2" x 3 1/2"x1/4"
2 STOREY COL C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" THICK CONC. FTG.

PREMANUF. VINYL CLAD
STRUCT. STL. BASEMENT
WINDOW (TYPICAL)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT
BRACE TO U/S OF
JOISTS C/W (2) NO.8x3"
DECK SCREWS
7'-0"

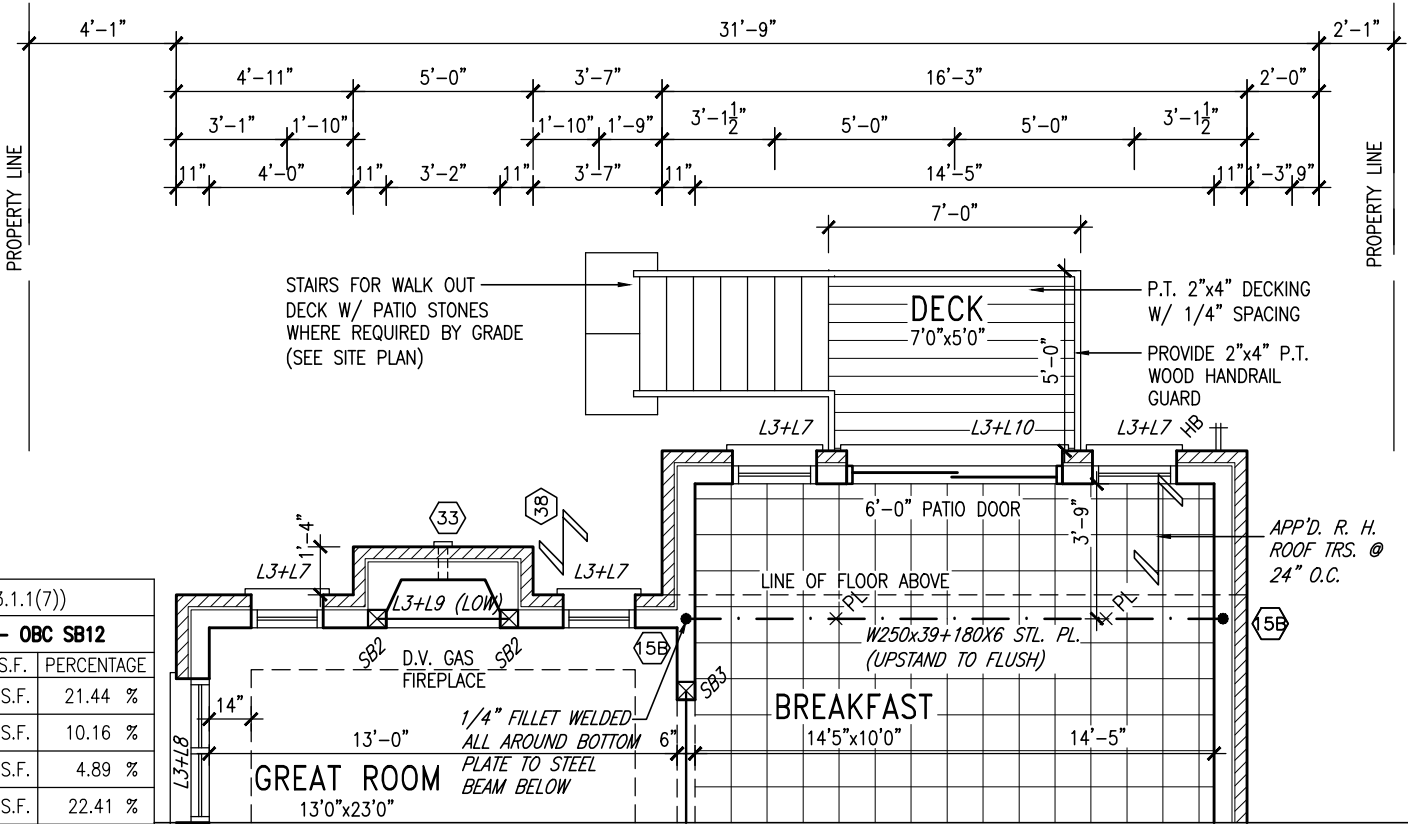
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO
2"x6" BLOCKING BETWEEN
STUDS W/ 1/2" DIA.
BOLTS @ 16" O.C. REFER
TO DETAIL 1/S2

FOR 4-8 RISER
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO
FTDN WALL W/ 1/2" DIA.
x12" LONG HILTI
ADHESIVE ANCHORS @ 10"
O.C.

10" FULL HEIGHT
CONC. ON SIDE
WALL W/ BRICK
CHECK AS
REQUIRED ON
22"x6" THICK
CONC. FTG.

PARTIAL BASEMENT PLAN 'A' - 9R OR MORE W.O.D. CONDITION ELEV. 'B' & 'C' SIMILAR

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.



PARTIAL GROUND FLOOR PLAN 'A' - 9R OR MORE W.O.D. CONDITION ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3283.67 S.F.	446.48 S.F.	13.60 %
TOTAL SQ. M.	305.06 S.M.	41.48 S.M.	13.60 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3275.16 S.F.	450.25 S.F.	13.75 %
TOTAL SQ. M.	304.27 S.M.	41.83 S.M.	13.75 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	743.75 S.F.	166.67 S.F.	22.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3287.41 S.F.	451.17 S.F.	13.72 %
TOTAL SQ. M.	305.41 S.M.	41.91 S.M.	13.72 %

9	.	.	.
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7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR EL.C	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	checked by	scale	16023-S38-1-10GRND	drawing no.
drawn by	SB		3/16" = 1'-0"		22
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10⁹ GROUND




SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
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scale
3/16" = 1'-0"

file name
16023-S38-1-10CRND

drawing no.
23

S38-1
BAROSSA 1

project no.
16023

drawing no.
23

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

REAR ELEVATION 9R W.O.D.

16023-S38-1-10CRND

3/16" = 1'-0"

JAN. 2017

SB

checked by .

scale 3/16" = 1'-0"

file name 16023-S38-1-10CRND

drawing no. 23

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scale
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file name
16023-S38-1-10CRND

drawing no.
23

S38-1
BAROSSA 1

project no.
16023

drawing no.
23

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH W/ 1/2" PROJECTION

RECESSED FILLER BRICK W/ VINYL PANEL BY WINDOW MANUF. OVER

WEEP HOLES @ 800 O.C.

WOOD LINTEL + STL ANGLE

Y

BRICK ARCH W/ VINYL PANEL BELOW DETAIL

NTS.

6"x16" STONE IMPOST

SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.) OVER VINYL PANEL

1"x6" ALUM. FRIEZE BD. RETURN 4'-0" ON BOTH SIDES (TYP.)

2"x6" P.T. CROSS BRACING

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.



UPGRADED REAR ELEVATION 'A' W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

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municipality	BRADFORD
project name	GREEN VALLEY EAST
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drawn no.	16023-S38-1-10GRND
drawing no.	24

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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 13-21 KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21 KL	
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND

2"x4" @ 7'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.



2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD
W/ ICE & WATER SHIELD
UNDER ROLLED ROOF TO
MATCH SHINGLES (TYP.)

FACE BRICK (TYP.)

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
6'-10" TOP OF WINDOW

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

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municipality BRADFORD
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

BASEMENT WINDOW SIZES & TOP OF WINDOW			
STD. BASEMENT			
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- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW			

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10' GROUND

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

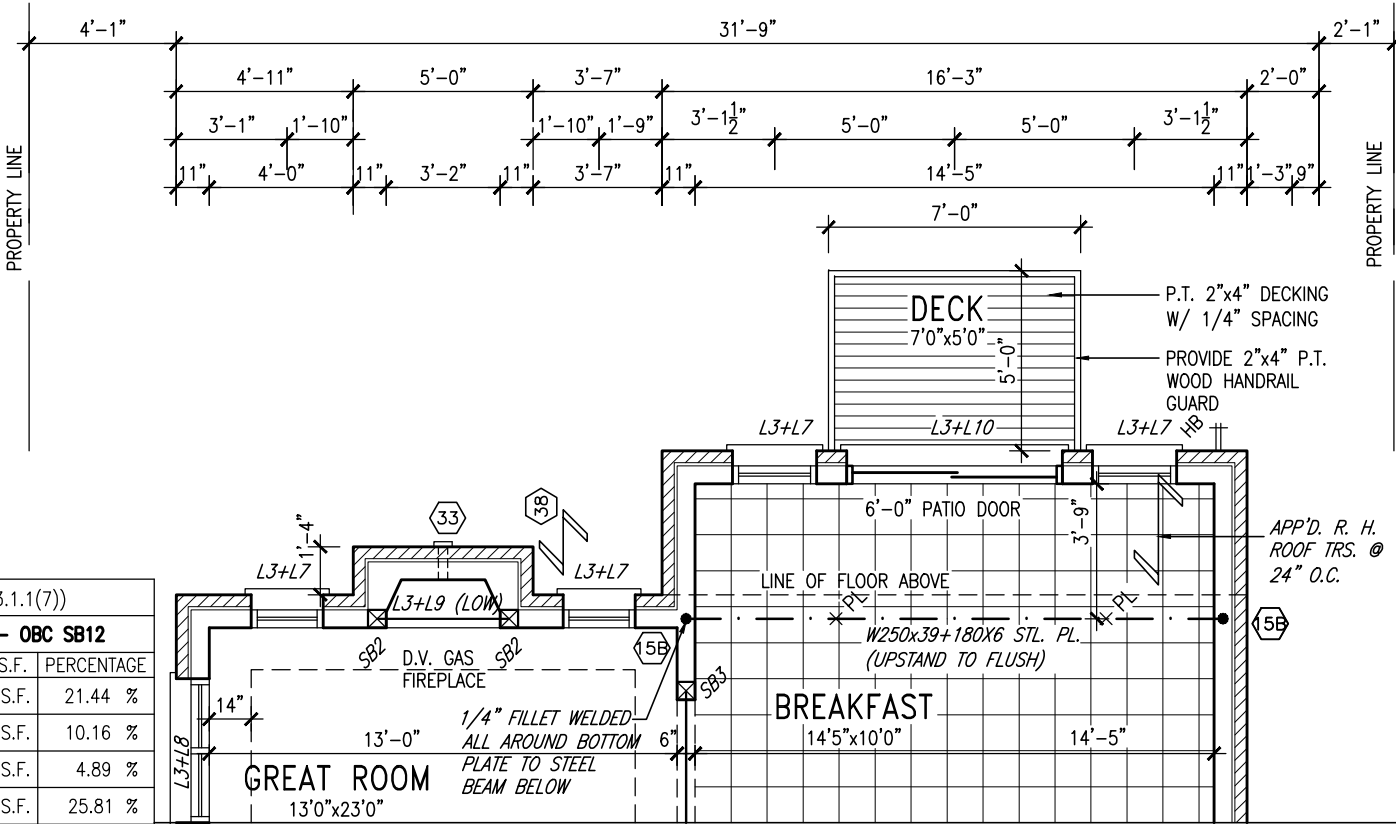
HSS 3 1/2" x 3 1/2"x1/4"
2 STOREY COL C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL
SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6"
ABOVE GRADE AND 5'-0" BELOW GRADE.

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" THICK CONC. FTG.
PREMANUF. VINYL CLAD
STRUCT. STL. BASEMENT
WINDOW (TYPICAL)

PARTIAL BASEMENT PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR



PARTIAL GROUND FLOOR PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.A WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.26 S.F.	136.64 S.F.	21.44 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3370.44 S.F.	494.14 S.F.	14.66 %
TOTAL SQ. M.	313.12 S.M.	45.91 S.M.	14.66 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	628.75 S.F.	140.41 S.F.	22.33 %
LEFT SIDE	951.33 S.F.	96.67 S.F.	10.16 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3361.93 S.F.	497.91 S.F.	14.81 %
TOTAL SQ. M.	312.33 S.M.	46.26 S.M.	14.81 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	637.00 S.F.	142.33 S.F.	22.34 %
LEFT SIDE	955.33 S.F.	95.67 S.F.	10.01 %
RIGHT SIDE	951.33 S.F.	46.50 S.F.	4.89 %
REAR	830.52 S.F.	214.33 S.F.	25.81 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3374.18 S.F.	498.83 S.F.	14.78 %
TOTAL SQ. M.	313.47 S.M.	46.34 S.M.	14.78 %

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7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR EL.C	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	checked by	scale	WALK-OUT BASEMENT CONDITION	drawing no.
drawn by	SB		3/16" = 1'-0"	16023-S38-1-10GRND	27
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1-10GRND.dwg - Tue - Jun 22 2021 - 7:56 AM					

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10' GROUND



REAR ELEVATION 'A', 'B' & 'C'

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

BRADFORD	project no.	16023
GREEN VALLEY EAST	municipality	BRADFORD

date	READ ELEVATION	WORK	drawing no.
------	----------------	------	-------------

date	BEAR ELEVATION	WAD

file name	scale	checked by	drawn by	JAN. 2017	REAR ELEVATION WUB
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SB	$3/16'' = 1'-0''$	16023-S38-1-10GRND
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— H: \ARCHIVE\WORKING\2016\1602.3.BW\Units\38\16023-S38-1-10.GRND.dwg — Tue — Jun 22 2021 7:56 AM

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9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 13-21	KL
4	ADDED OPT. 9' BASEMENT	MAY 13-21	KL
3	REV ROOF STRUCT. FOR UPG. REAR ELC	MAR 18-19	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH W/ 1/2" PROJECTION

RECESSED FILLER BRICK W/ VINYL PANEL BY WINDOW MANUF. OVER

WEEP HOLES @ 800 O.C.

WOOD LINTEL + STL ANGLE

Y

BRICK ARCH W/ VINYL PANEL BELOW DETAIL

NTS

6"x16" STONE IMPOST

SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.) OVER VINYL PANEL

1"x6" ALUM. FRIEZE BD. RETURN 4'-0" ON BOTH SIDES (TYP.)

2"x6" P.T. CROSS BRACING

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION



BRICK SOLDIER COURSE ON BRICK STACK BOND W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

TOP OF PLATE	
TOP OF WINDOW	
8' SECOND @ 6'-10"	
9' SECOND @ 7'-6"	
STD. 8'-1" SECOND FLR.	
OPT. 9'-1" SECOND FLR.	
FIN SECOND FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
1'-6"	
7'-4"	
10'-11"	
FIN GROUND FLOOR	
TOP OF WINDOW	
6'-10"	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
TOP OF SLAB	
FIN GRADE	

S38-1

BAROSSA 1

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

REAR UPGRADE ELEVATION 'A' WOB

project no. 29

drawing no. 29

date JAN. 2017

checked by SB

scale 3/16" = 1'-0"

drawn by

16023-S38-1-10GRND

16023-S38-1-10GRND.dwg - Tue - Jun 22 2021 - 7:56 AM

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no.	description	date	by
9.			
8.			
7.			
6.			
5.	10' GROUND FLOOR	MAY 13-21 KL	
4.	ADDED OPT. 9' BASEMENT	MAY 13-21 KL	
3.	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19 RC	
2.	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1.	ISSUED FOR CLIENT REVIEW		

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

2"x4" @ 7'9" O.C. ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 13-21 KL	
4	ADDED OPT. 9' BASEMENT	MAY 13-21 KL	
3	REV ROOF STRUCT. FOR UPC. REAR ELC	MAR 18-19 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

date
JAN. 2017

drawn by
SB

drawing no.
30

file name
16023-S38-1-10GRND

scale
3/16" = 1'-0"

checked by
SB

drawn by
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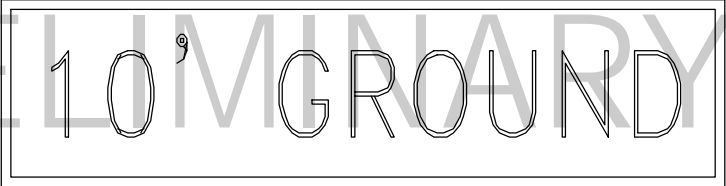
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3310.17 S.F.	439.81 S.F.	13.29 %
TOTAL SQ. M.	307.52 S.M.	40.86 S.M.	13.29 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3301.66 S.F.	443.58 S.F.	13.44 %
TOTAL SQ. M.	306.73 S.M.	41.21 S.M.	13.44 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	654.50 S.F.	160.00 S.F.	24.45 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3313.91 S.F.	444.50 S.F.	13.41 %
TOTAL SQ. M.	307.87 S.M.	41.30 S.M.	13.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3429.17 S.F.	446.48 S.F.	13.02 %
TOTAL SQ. M.	318.58 S.M.	41.48 S.M.	13.02 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3420.66 S.F.	450.25 S.F.	13.16 %
TOTAL SQ. M.	317.79 S.M.	41.83 S.M.	13.16 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	773.50 S.F.	166.67 S.F.	21.55 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3432.91 S.F.	451.17 S.F.	13.14 %
TOTAL SQ. M.	318.93 S.M.	41.91 S.M.	13.14 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELA WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	667.01 S.F.	136.64 S.F.	20.49 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3515.94 S.F.	494.14 S.F.	14.05 %
TOTAL SQ. M.	326.64 S.M.	45.91 S.M.	14.05 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	658.50 S.F.	140.41 S.F.	21.32 %
LEFT SIDE	994.33 S.F.	96.67 S.F.	9.72 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3507.43 S.F.	497.91 S.F.	14.20 %
TOTAL SQ. M.	325.85 S.M.	46.26 S.M.	14.20 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	142.33 S.F.	21.35 %
LEFT SIDE	998.33 S.F.	95.67 S.F.	9.58 %
RIGHT SIDE	994.33 S.F.	46.50 S.F.	4.68 %
REAR	860.27 S.F.	214.33 S.F.	24.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3519.68 S.F.	498.83 S.F.	14.17 %
TOTAL SQ. M.	326.99 S.M.	46.34 S.M.	14.17 %

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5 10' GROUND FLOOR				MAY 13-21 KL	
4 ADDED OPT. 9' BASEMENT				MAY 13-21 KL	
3 REV ROOF STRUCT. FOR UPC. REAR ELC				MAR 18-19 RC	
2 REVISED AS PER ENG'S COMMENTS				JAN 04-18 RC	
1 ISSUED FOR CLIENT REVIEW				.	.
no. description				date	by



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vo3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

drawing no.
32

date
JAN. 2017

drawn by
SB

checked by
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scale
3/16" = 1'-0"

SB12 – W/ OPT. 9' SECOND FLOOR

16023-S38-1-10GRND

file name
16023-S38-1-10GRND

drawn on
Jun 22 2021 - 7:56 AM

