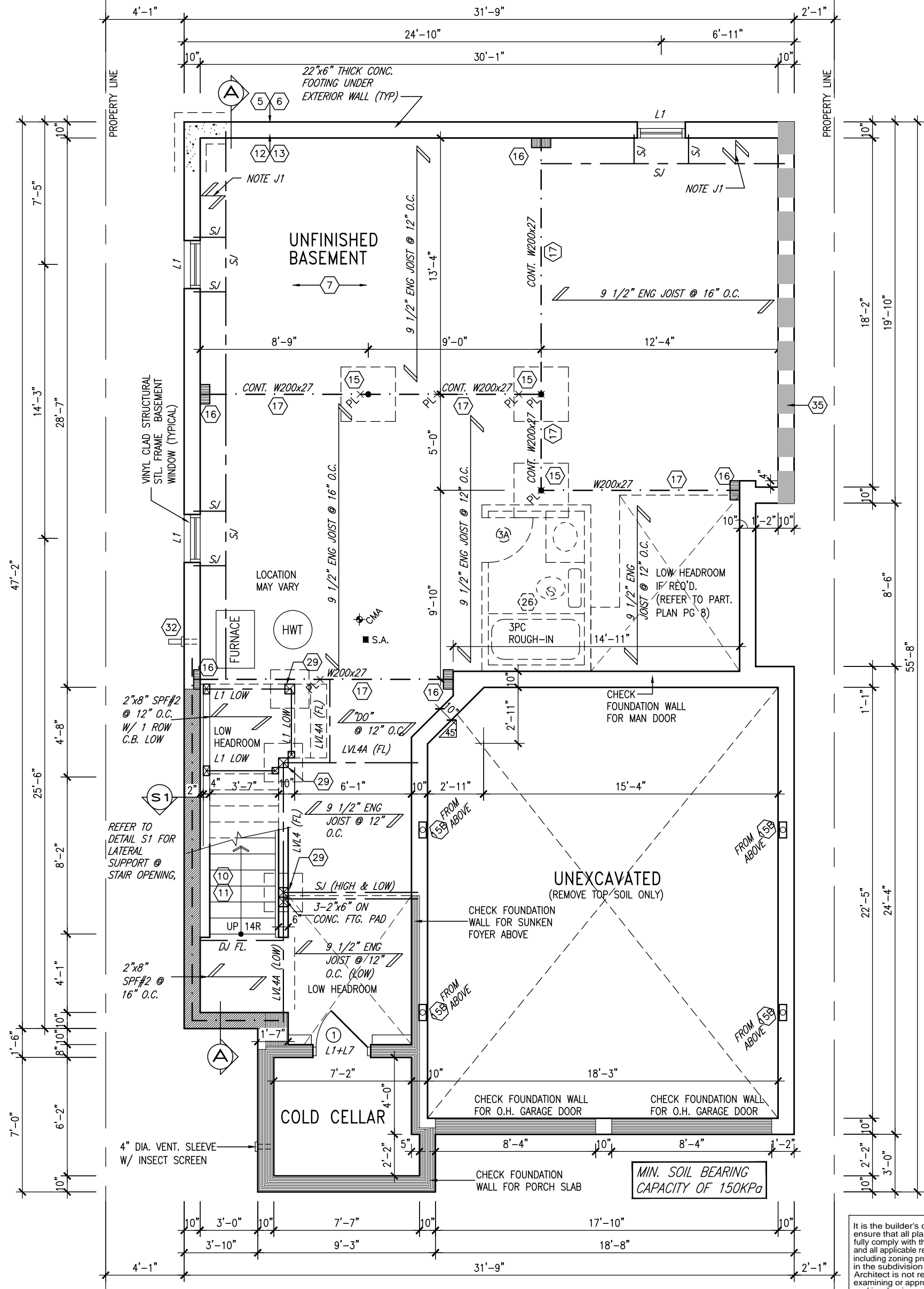


PRELIMINARY



BASEMENT PLAN 'A'

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name **GREEN VALLEY EAST** municipality **BRADFORD, ONT.**

project no. **16023**

date **JANUARY, 2017**

BASEMENT PLAN ELEV. 'A'

drawing no.

drawn by **WT**

checked by **RC**

scale **3/16" = 1'-0"**

file name **16023-S38-3-10GRND**

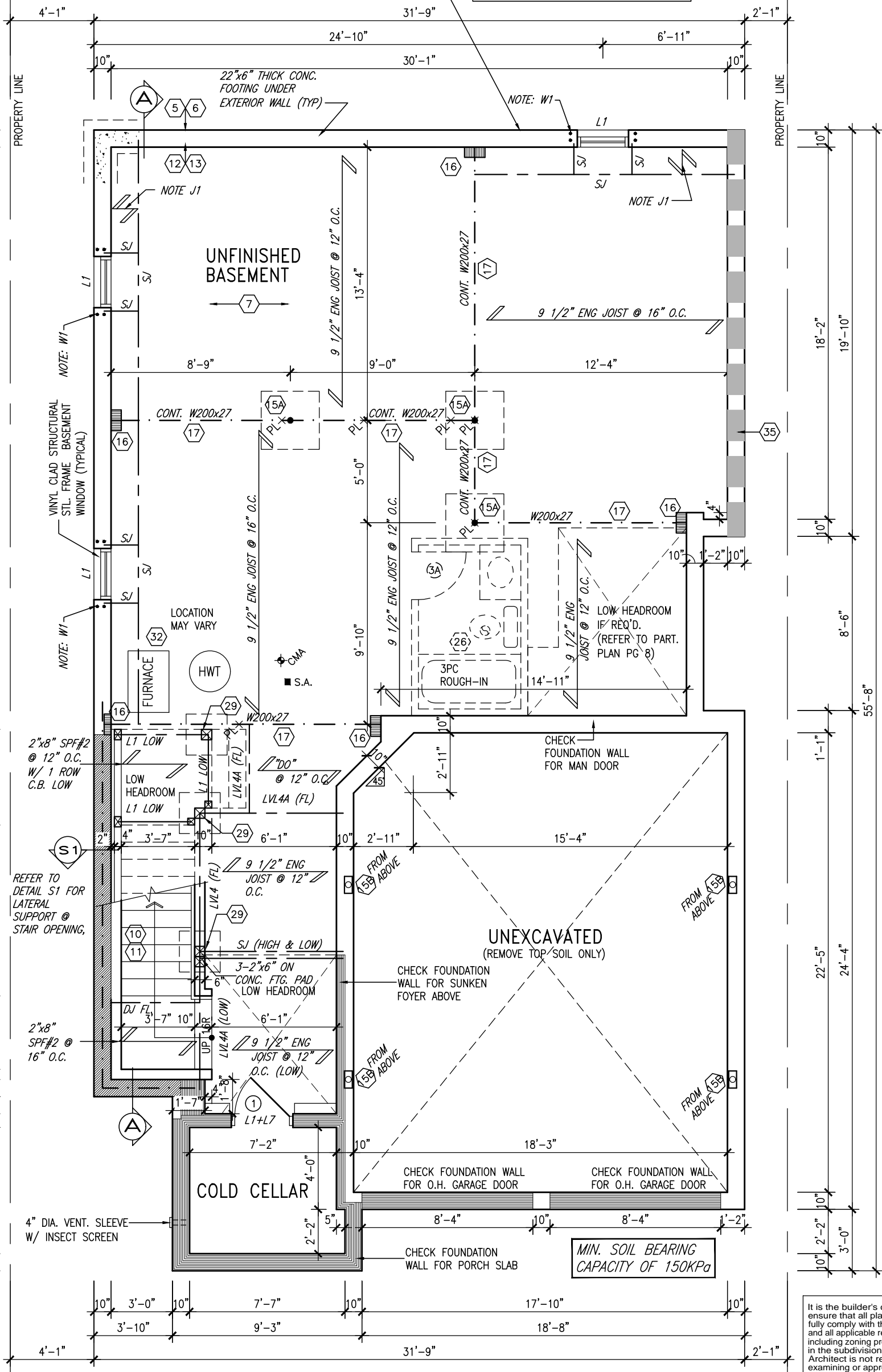
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NOTE W1
PROVIDE 2-15M
FULL HEIGHT
VERTICAL REBARS
EACH SIDE OF
OPENING + 2-15M
HORIZ. REBARS
BELOW AND EXTEND
24" BEYOND
OPENING PROVIDE
3" CLEAR COVER
FROM SOIL SIDE

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

10' GROUND



BASEMENT PLAN 'A'
(9'-0" BASEMENT)
ELEV. 'B' & 'C' SIMILAR

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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5	10' GROUND FLOOR	MAY 10-21	RC
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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
JANUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

BASEMENT PLAN ELEV. 'A'

file name
16023-S38-3-10GRND

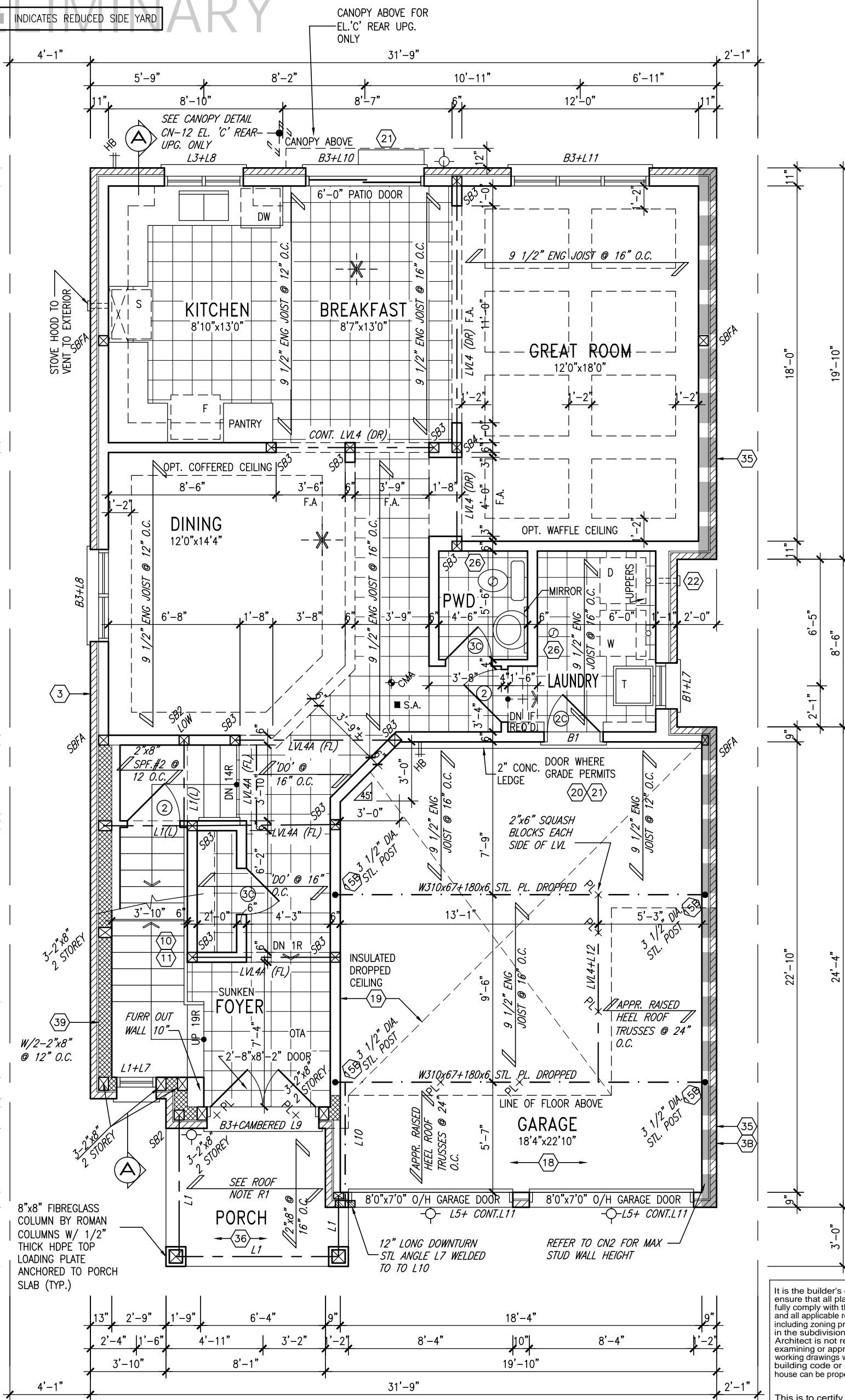
drawing no.
1A

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INDICATES REDUCED SIDE YARD

CANOPY ABOVE FOR EL.'C' REAR UPG. ONLY

10' GROUND



GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

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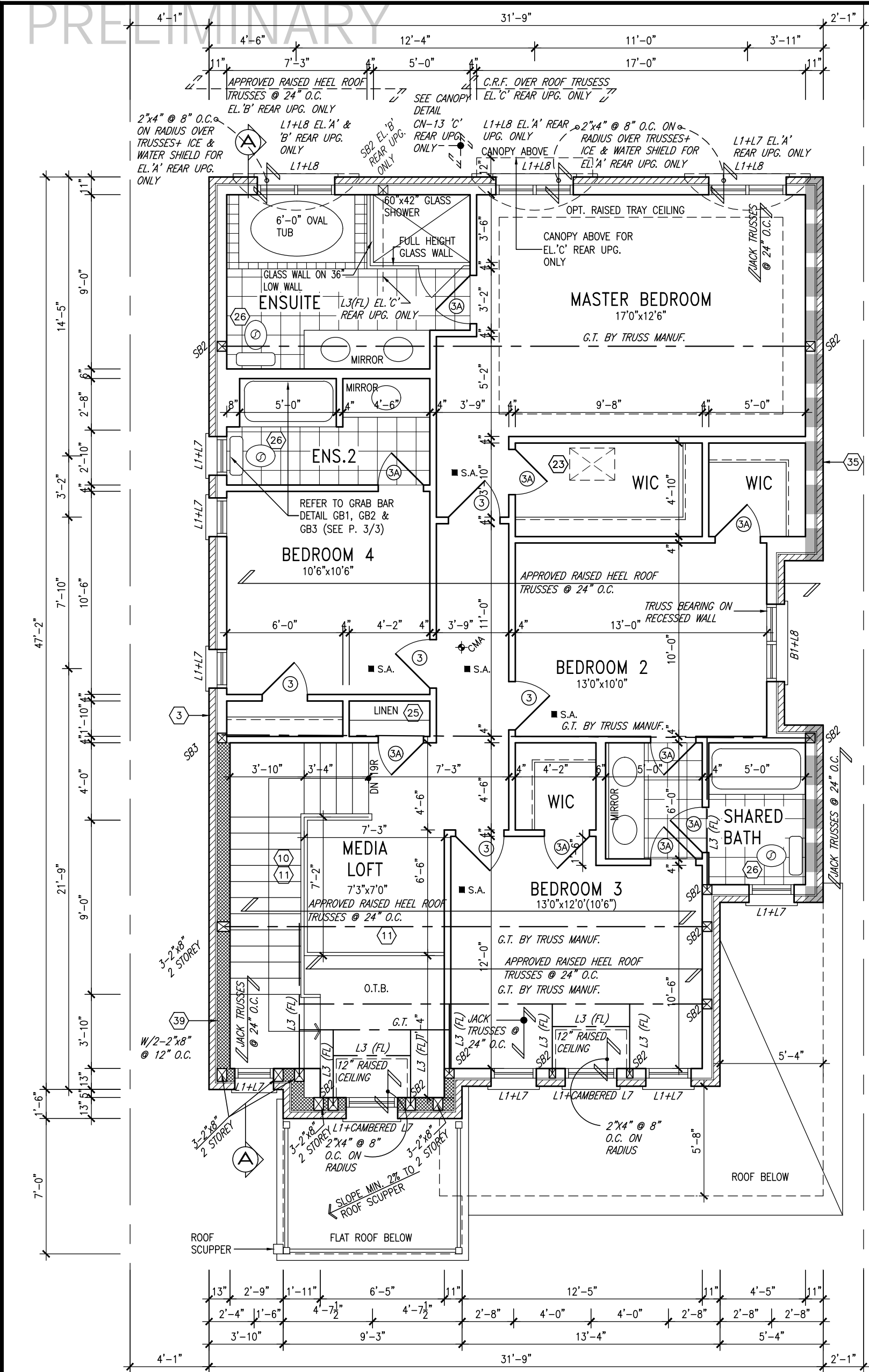
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6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
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3	ADD OPT. 9' BASEMENT	APR 06-21	RC
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1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON		S38-3 BAROSSA 3	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 2
date JANUARY, 2017	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-3-10GRND
GRROUND FLOOR PLAN ELEV. 'A'			
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SECOND FLOOR PLAN 'A'

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.			
8.			
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5.	10' GROUND FLOOR	MAY 10-21	RC
4.	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3.	ADD OPT. 9' BASEMENT	APR 06-21	RC
2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

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BAYVIEW WELLINGTON

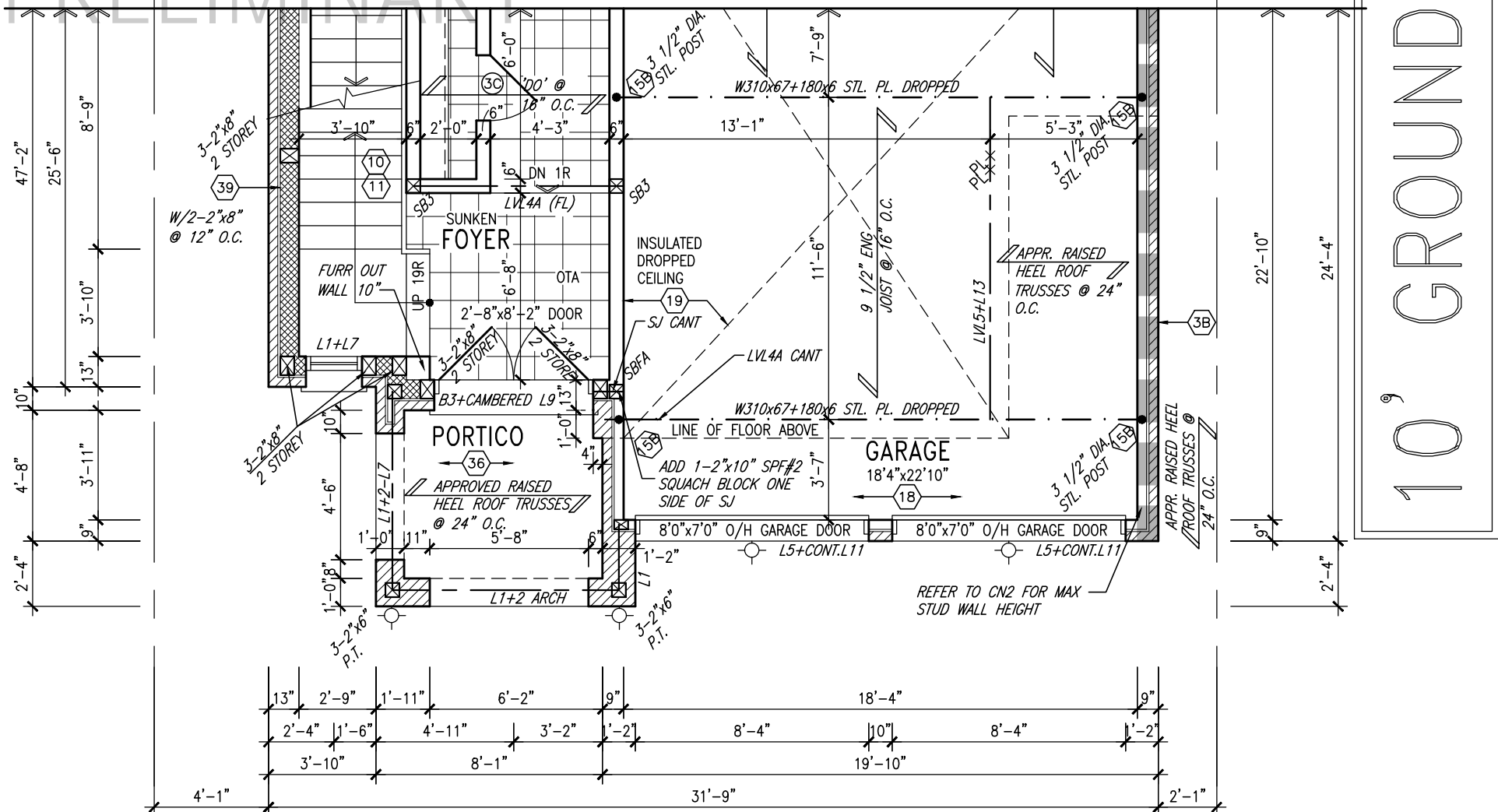
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date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-3-10GRND	drawing no.	3
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S38-3
BAROSSA 3

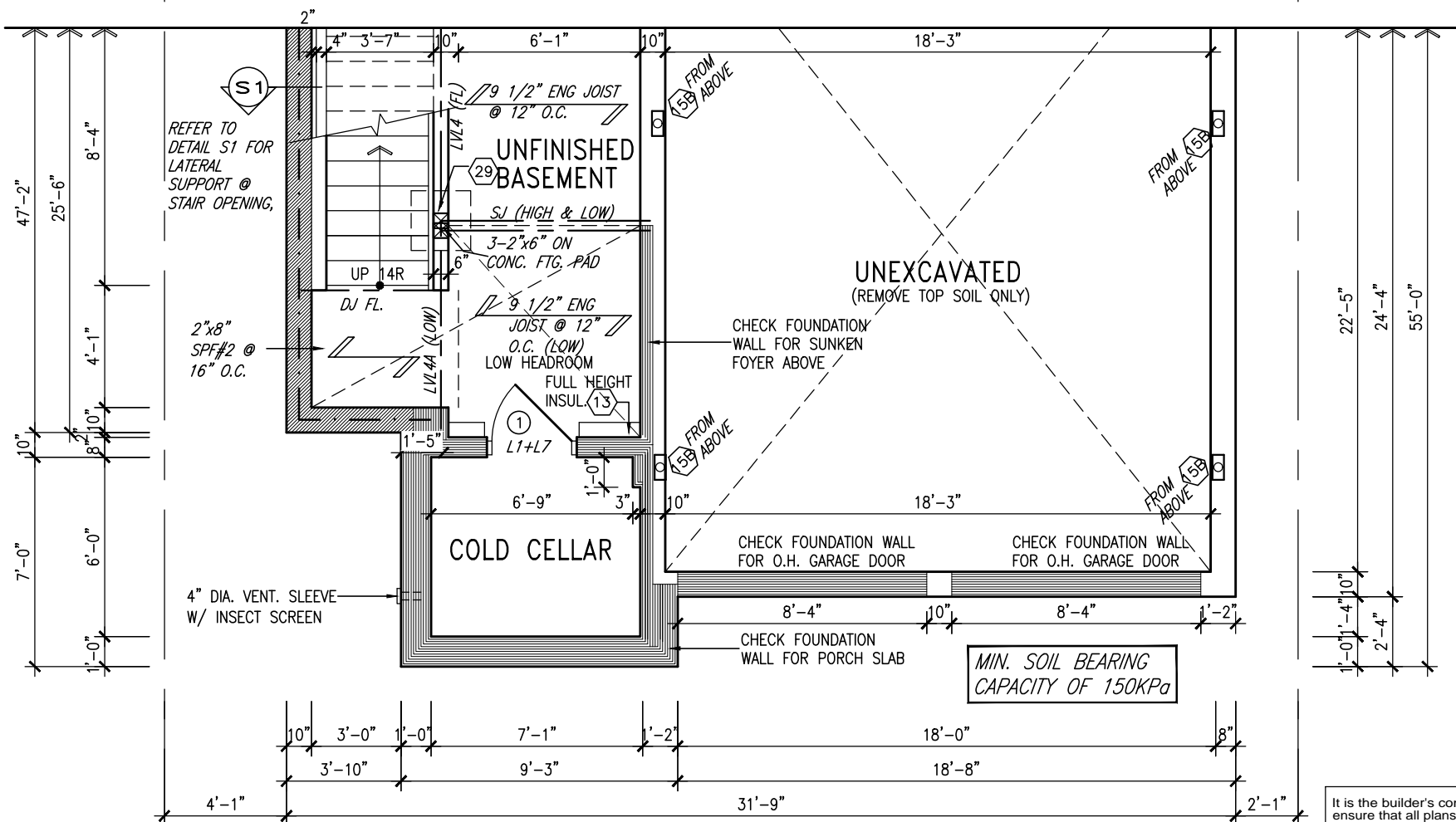
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PRELIMINARY



PARTIAL GROUND FLOOR PLAN 'B'
(10'-0" GROUND)



PARTIAL BASEMENT PLAN 'B'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

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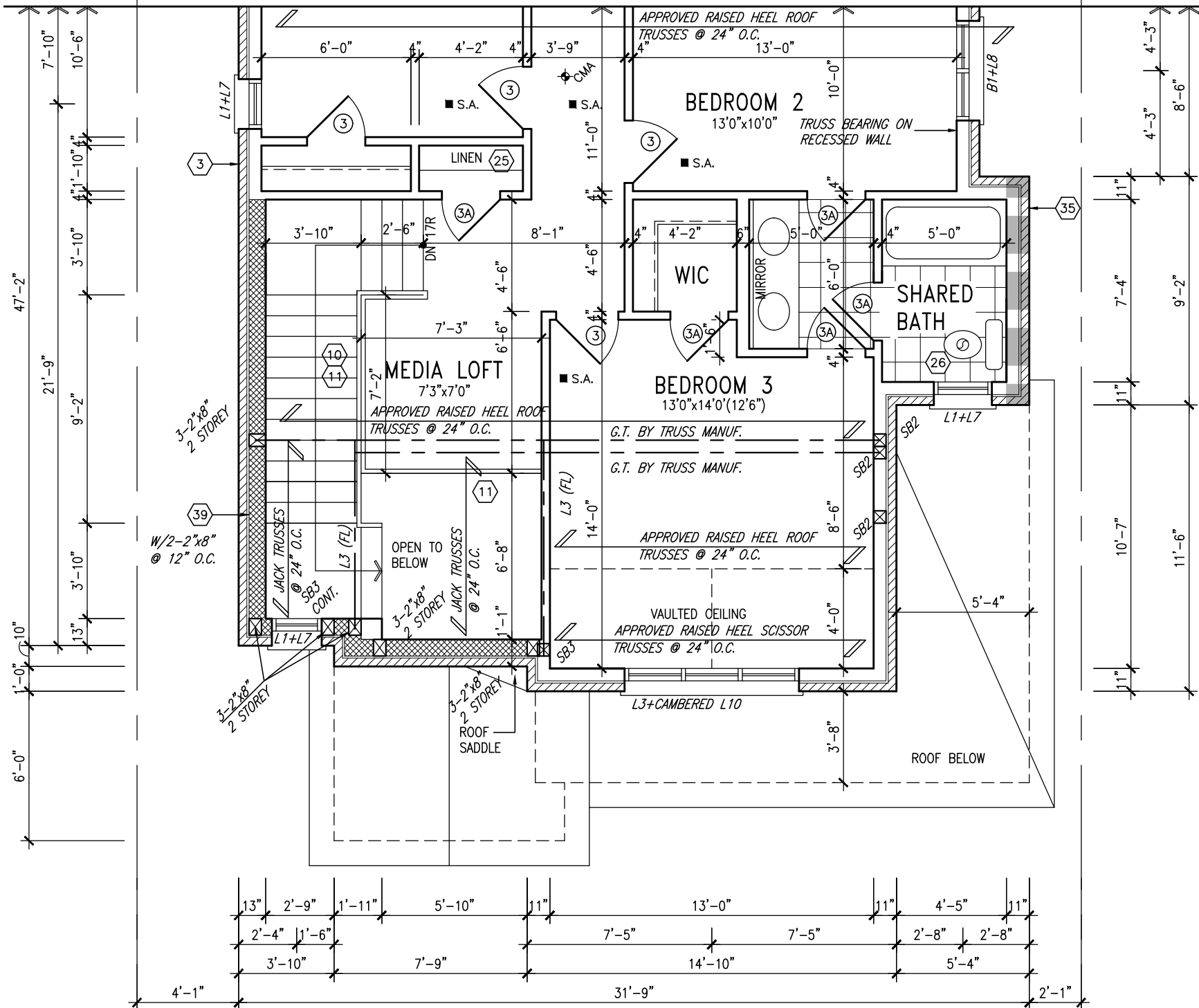
BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	scale	3/16" = 1'-0"	file name	16023-S38-3-10GRND
drawn by	WT	checked by	RC	drawing no.	4
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PRELIMINARY

10' GROUND



PARTIAL SECOND FLOOR PLAN 'B'

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

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NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name
GREEN VALLEY EAST municipality
BRADFORD, ONT.

project no.
16023

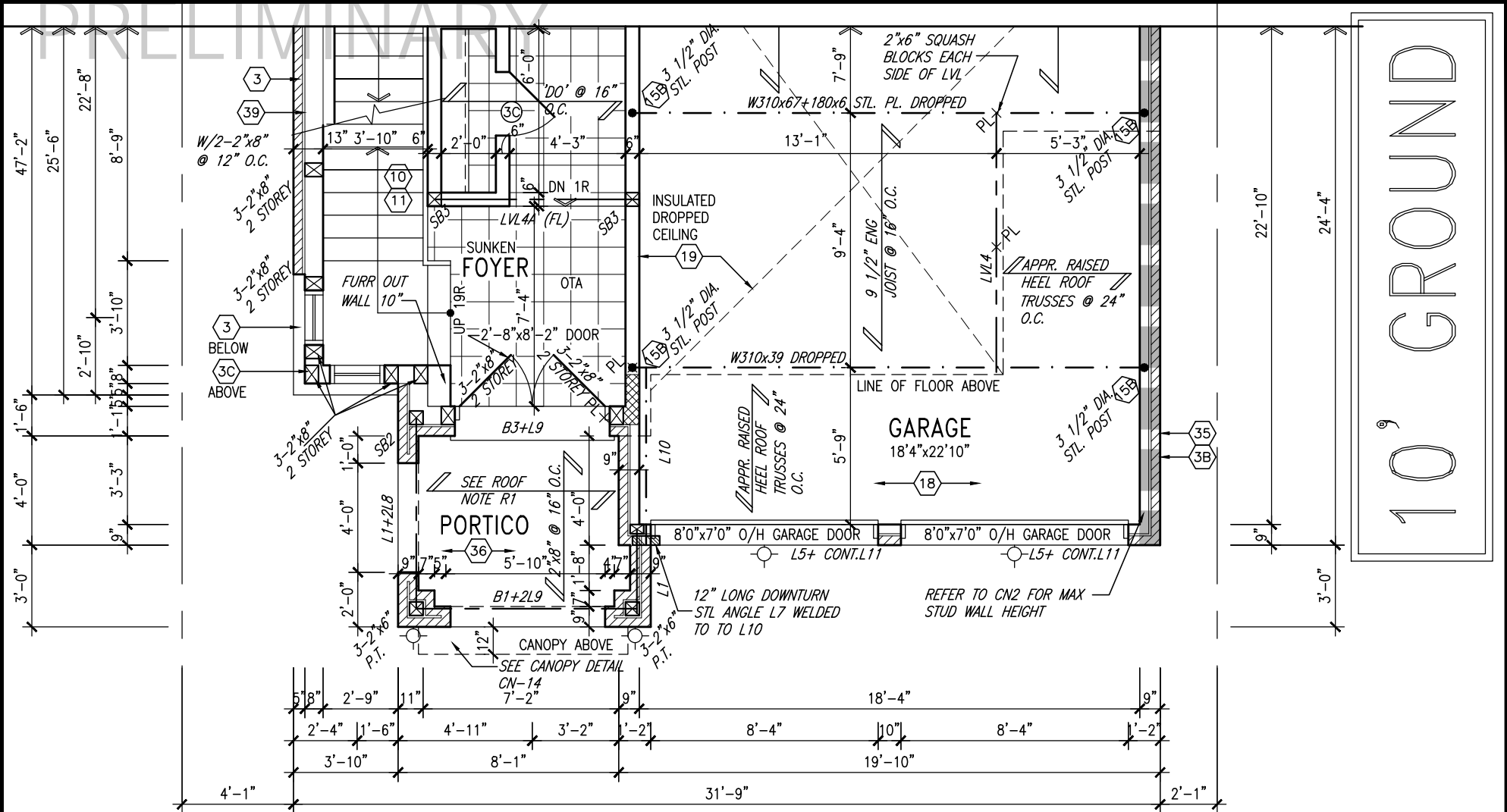
date
JANUARY, 2017 scale
PART. SECOND FLOOR PLAN ELEV. 'B'

drawing no.

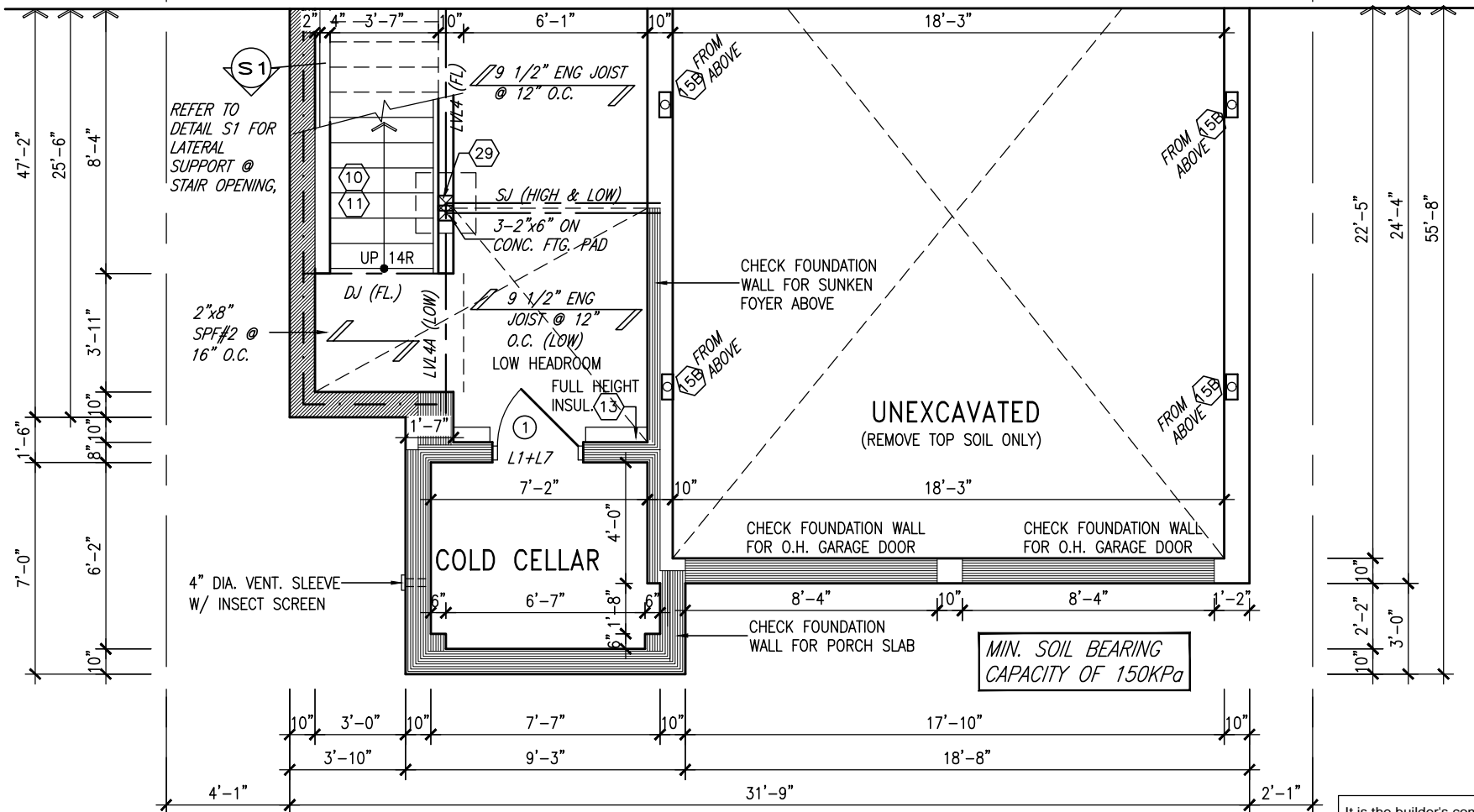
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WT checked by
RC 3/16" = 1'-0" file name
16023-S38-3-10GRND

5

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PARTIAL GROUND FLOOR PLAN 'C'
(10'-0" GROUND)



PARTIAL BASEMENT PLAN 'C'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

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2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

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• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

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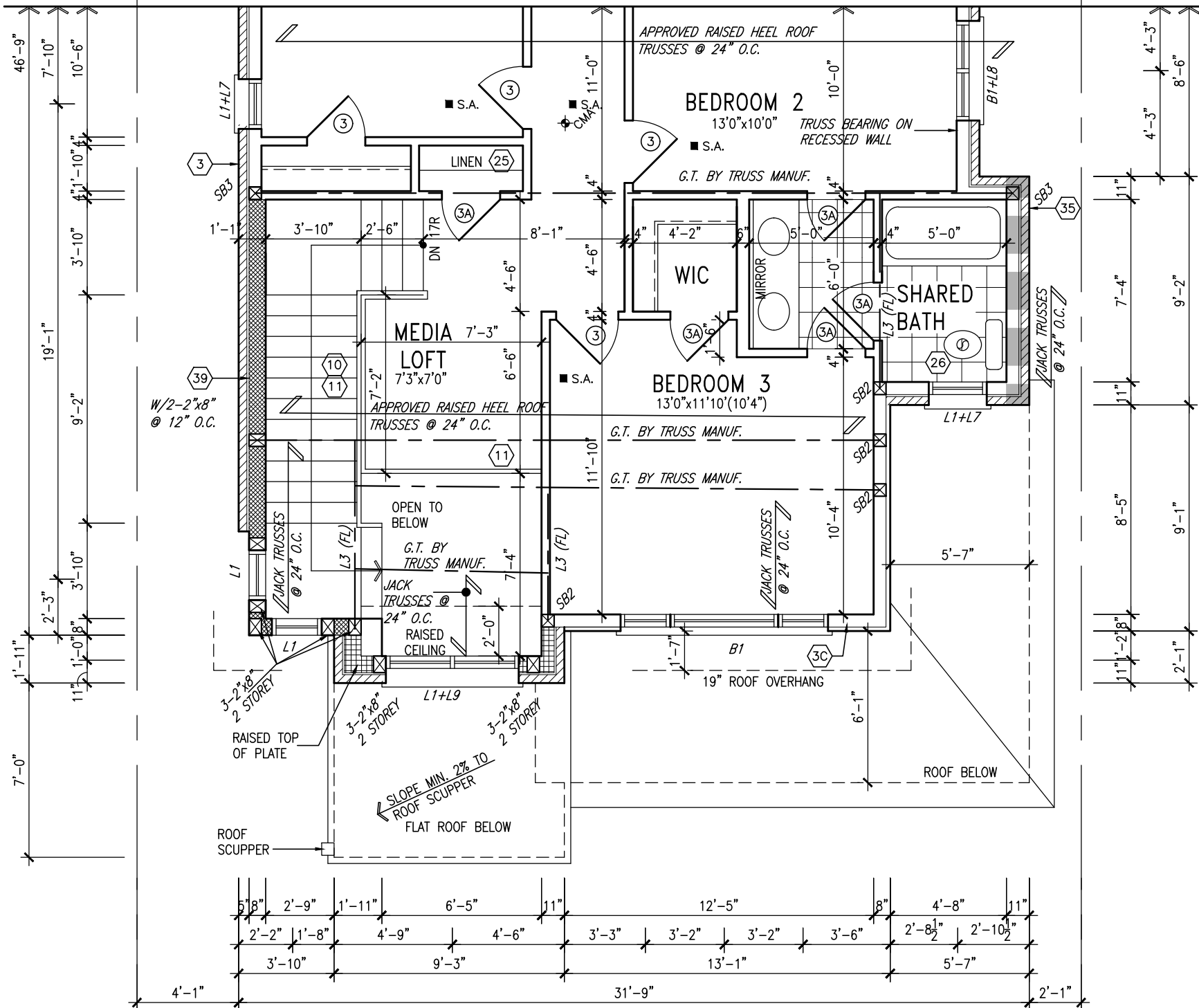
BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-3-10GRND	drawing no.	6
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PRELIMINARY

10' GROUND



PARTIAL SECOND FLOOR PLAN 'C'

GRAB BAR NOTE:

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NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

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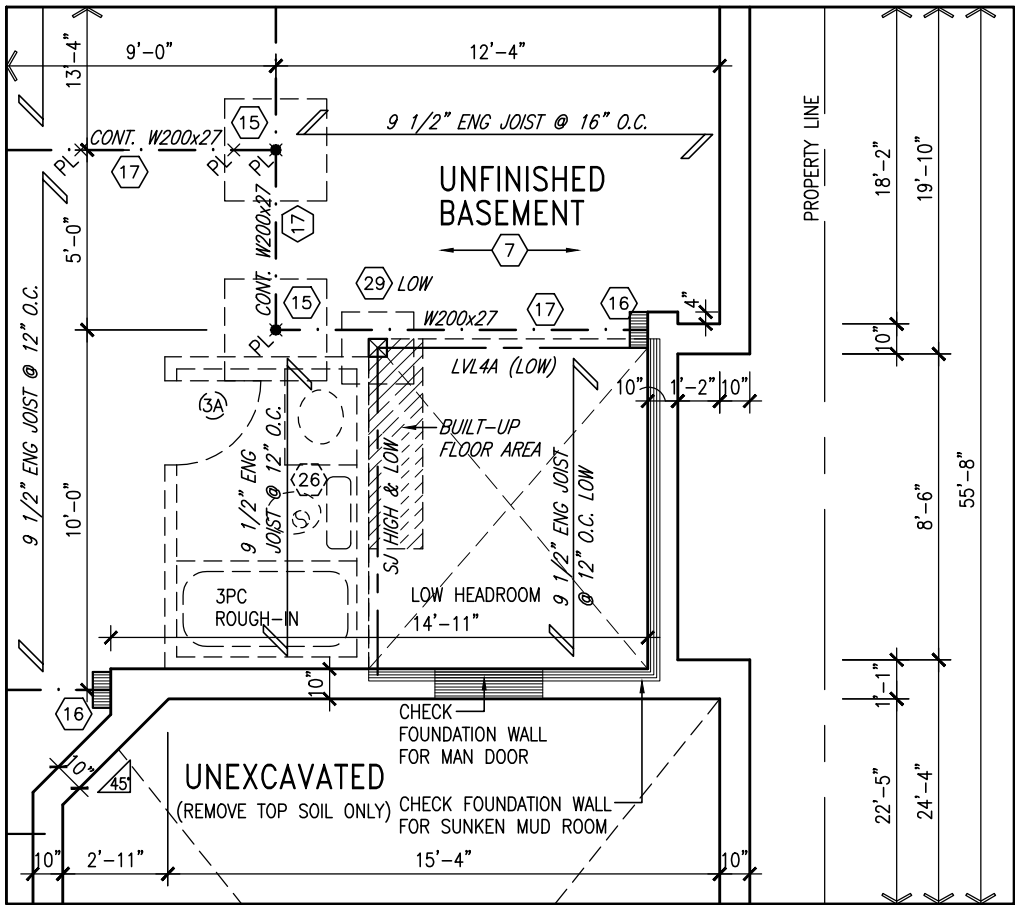
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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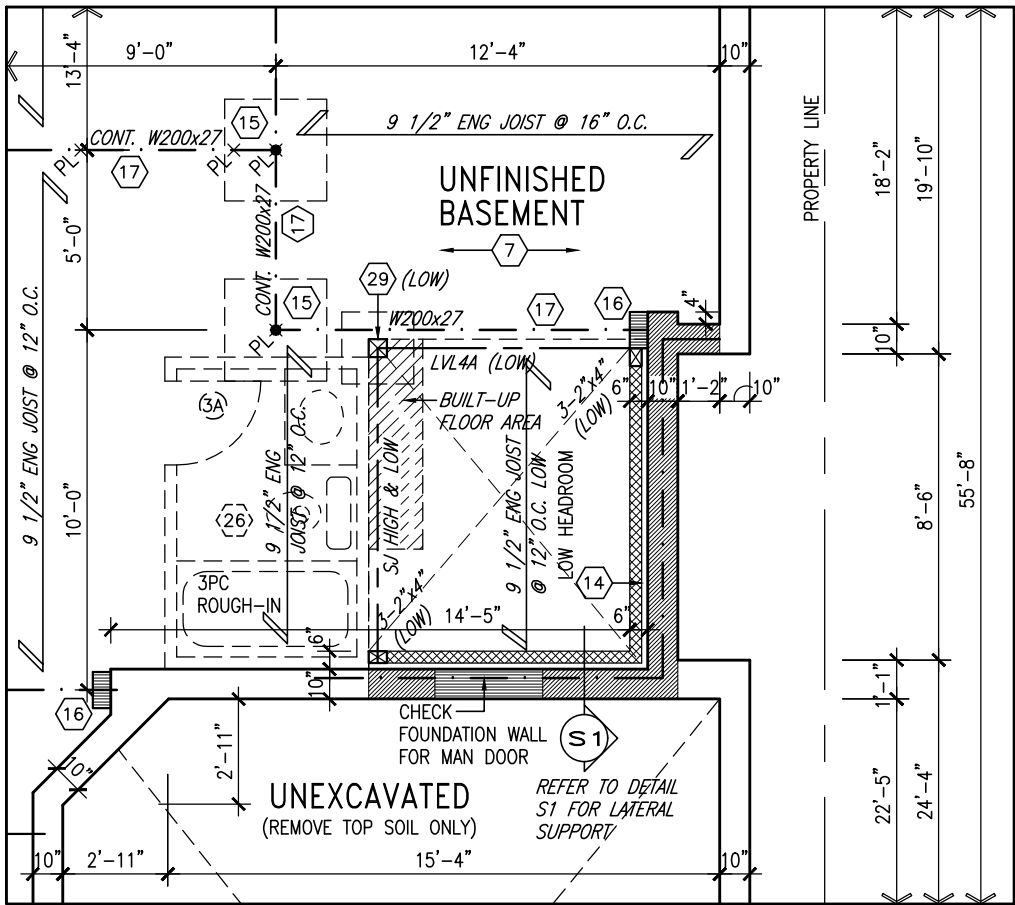
S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC	file name	16023-S38-3-10GRND
PART. SECOND FLOOR PLAN ELEV. 'C'					
drawing no. 7					

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PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 1R
CONDITION



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 2R-3R
CONDITION

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1151.8 SF	1145.9 SF	1151.8 SF
SECOND FLOOR AREA	1440.6 SF	1462.6 SF	1425.9 SF
SUBTOTAL	2592.5 SF	2608.6 SF	2577.7 SF
DEDUCT ALL OPENINGS	48.7 SF	44.4 SF	48.7 SF
TOTAL NET AREA	2544 SF	2564 SF	2529 SF
	236.3 m2	238.2 m2	234.9 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	2544 SF	2564 SF	2529 SF
	236.3 m2	238.2 m2	234.9 m2
COVERAGE W/O PORCH	1601.7 SF	1596.4 SF	1601.7 SF
	148.8 m2	148.3 m2	148.8 m2
COVERAGE W/PORCH	1661.8 SF	1655.7 SF	1661.8 SF
	154.4 m2	153.8 m2	154.4 m2

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-3-10GRND	drawing no.	8
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10⁹ GROUND

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

LEFT SIDE ELEVATION 'A'

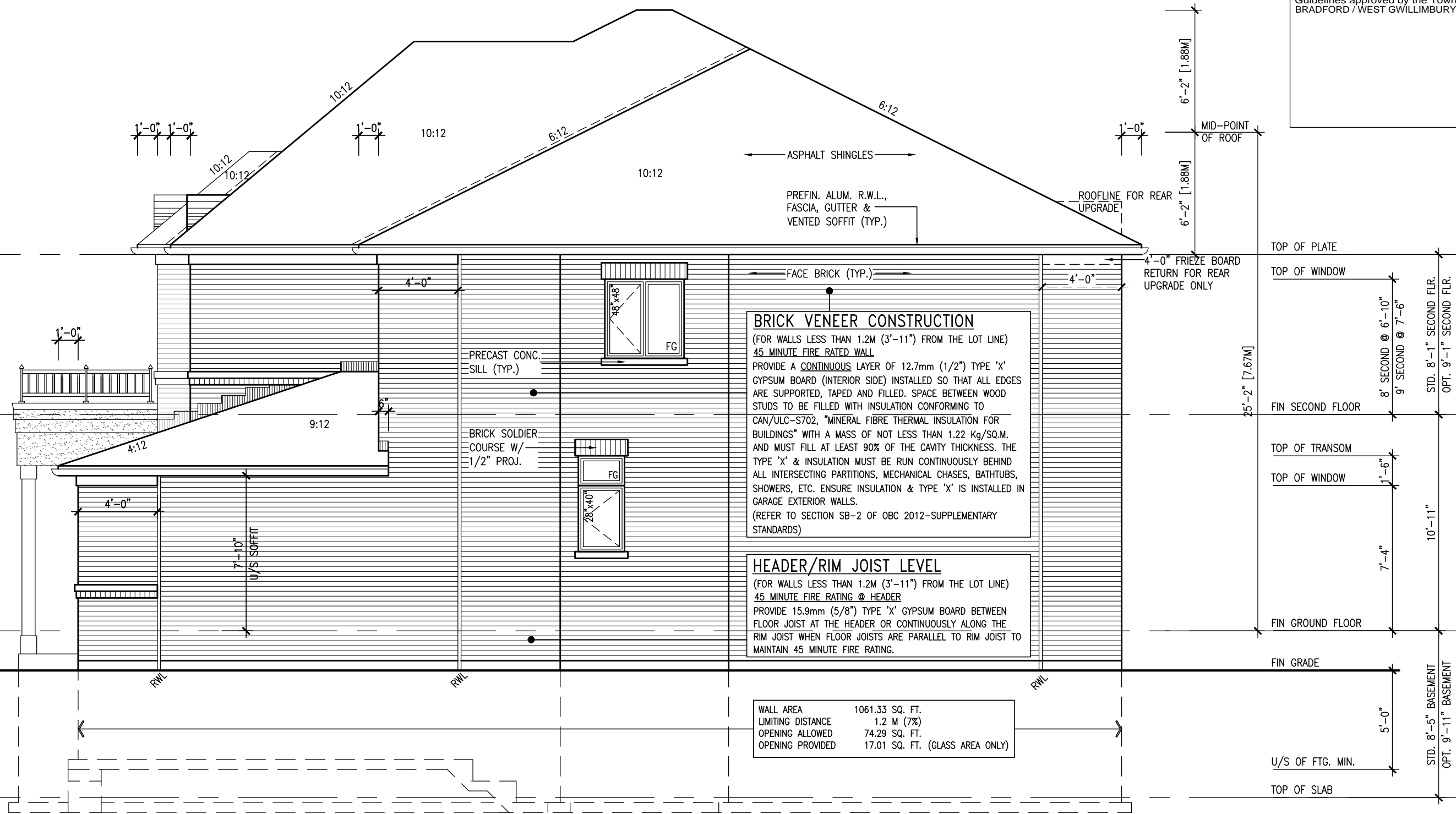
R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

[illegible]

10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



RIGHT SIDE ELEVATION 'A'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
---	---

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

9	.	.	.	.	.
8	.	.	.	.	.
7	.	.	.	.	.
6	.	.	.	.	.
5	10' GROUND FLOOR		MAY 10-21	RC	
4	REVISED AS PER ENG COMMENTS		APR 08-21	RC	
3	ADD OPT. 9' BASEMENT		APR 06-21	RC	
2	REVISED AS PER ENG'S COMMENTS		JAN 05-18	RC	
1	ISSUED FOR CLIENT REVIEW		.	.	
no.	description		date	by	

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S38-3
BAROSSA 3

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no.
16023

municipality

project name
JANUARY, 2017

date

RIGHT SIDE ELEVATION 'A'

scale
3/16" = 1'-0"

checked by
RC

drawn by
WT

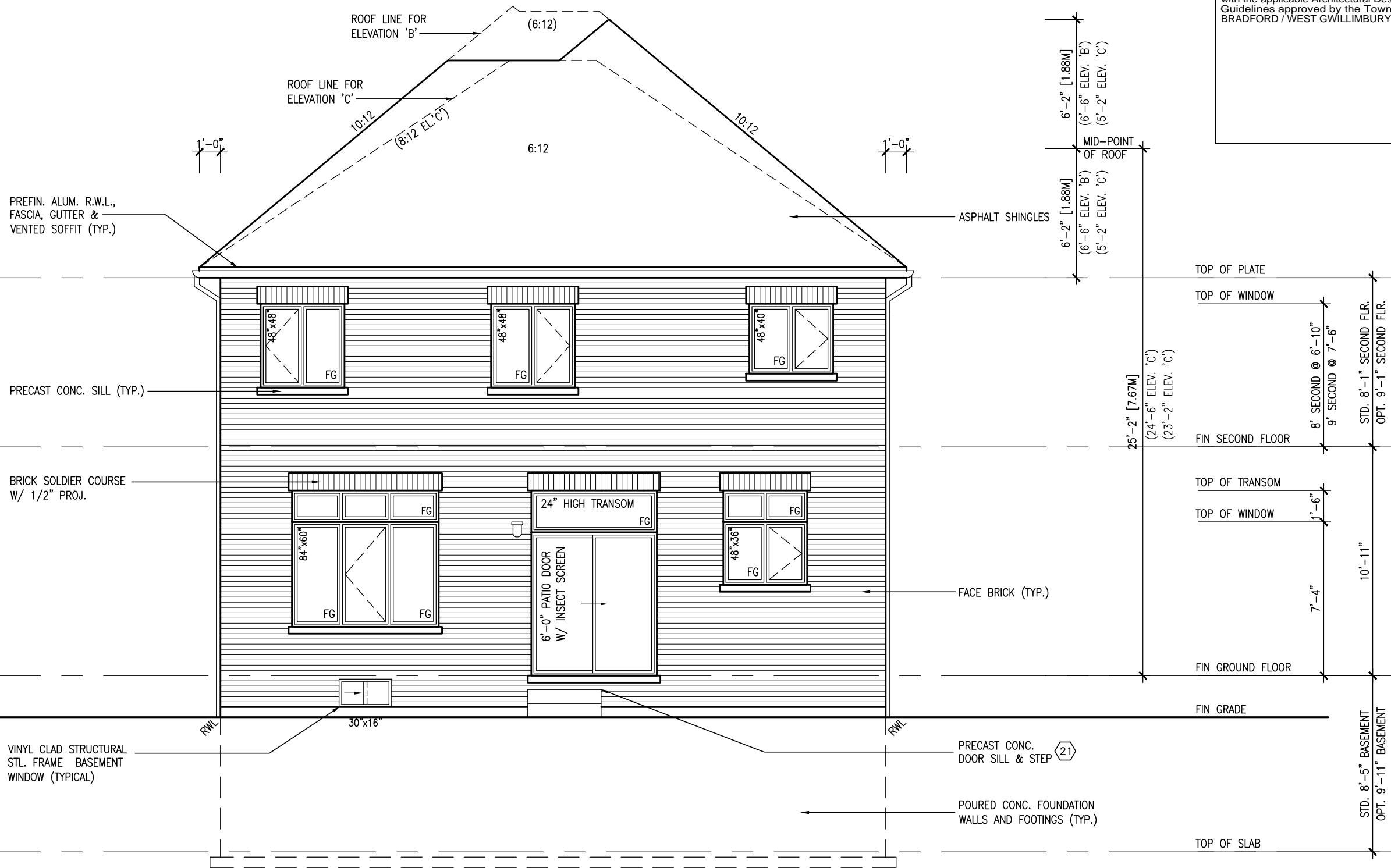
file name
16023-S38-3-10GRND

drawing no.
11

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10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

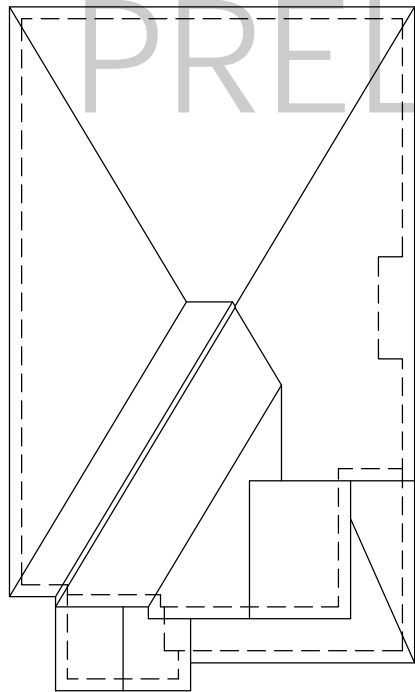
R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

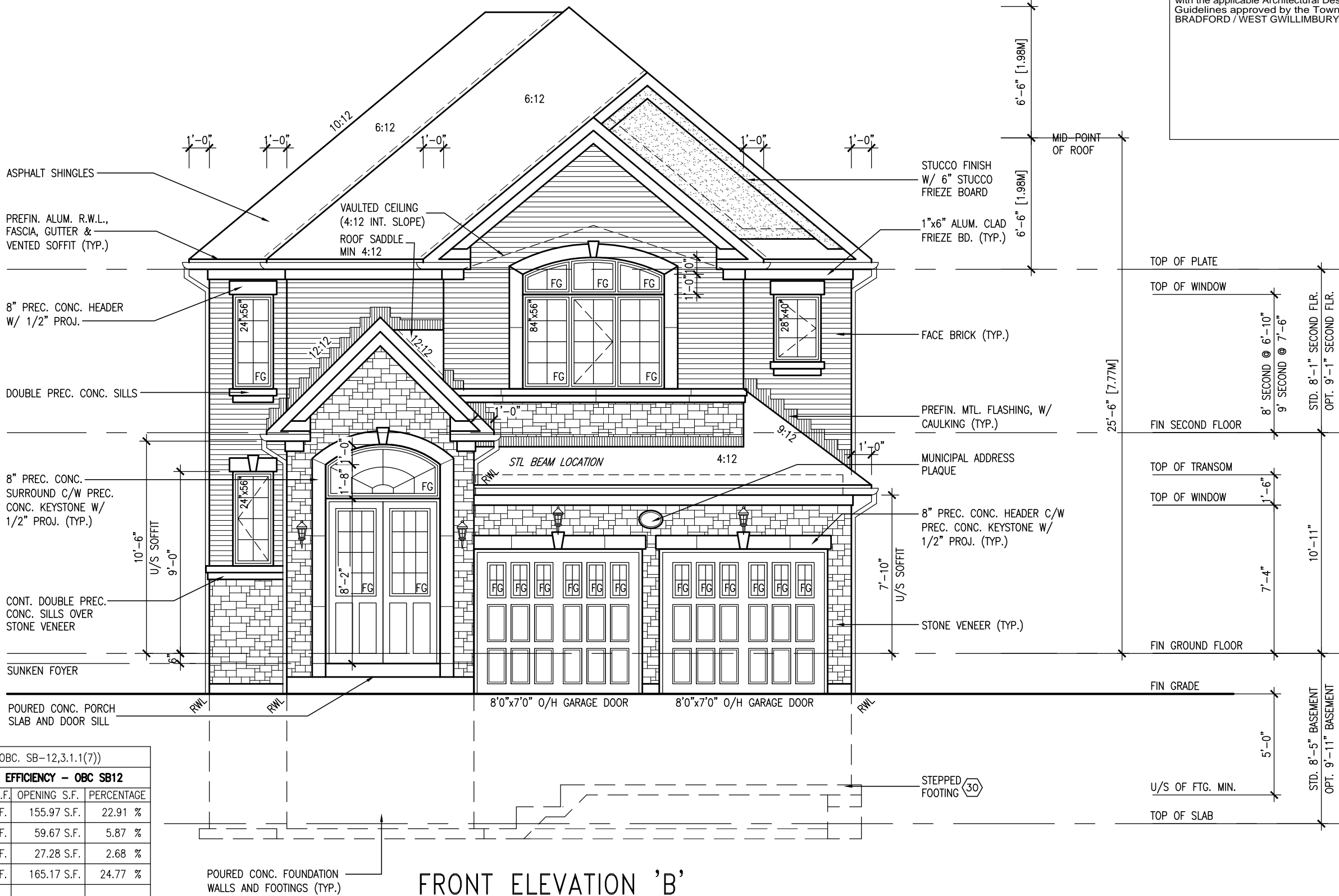
[illegible]

10⁹ GROUND

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ROOF PLAN 'B'



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	680.83 S.F.	155.97 S.F.	22.91 %
LEFT SIDE	1017.00 S.F.	59.67 S.F.	5.87 %
RIGHT SIDE	1016.92 S.F.	27.28 S.F.	2.68 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3381.50 S.F.	408.09 S.F.	12.07 %
TOTAL SQ. M.	314.15 S.M.	37.91 S.M.	12.07 %

[illegible]

10⁹ GROUND

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LEFT SIDE ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

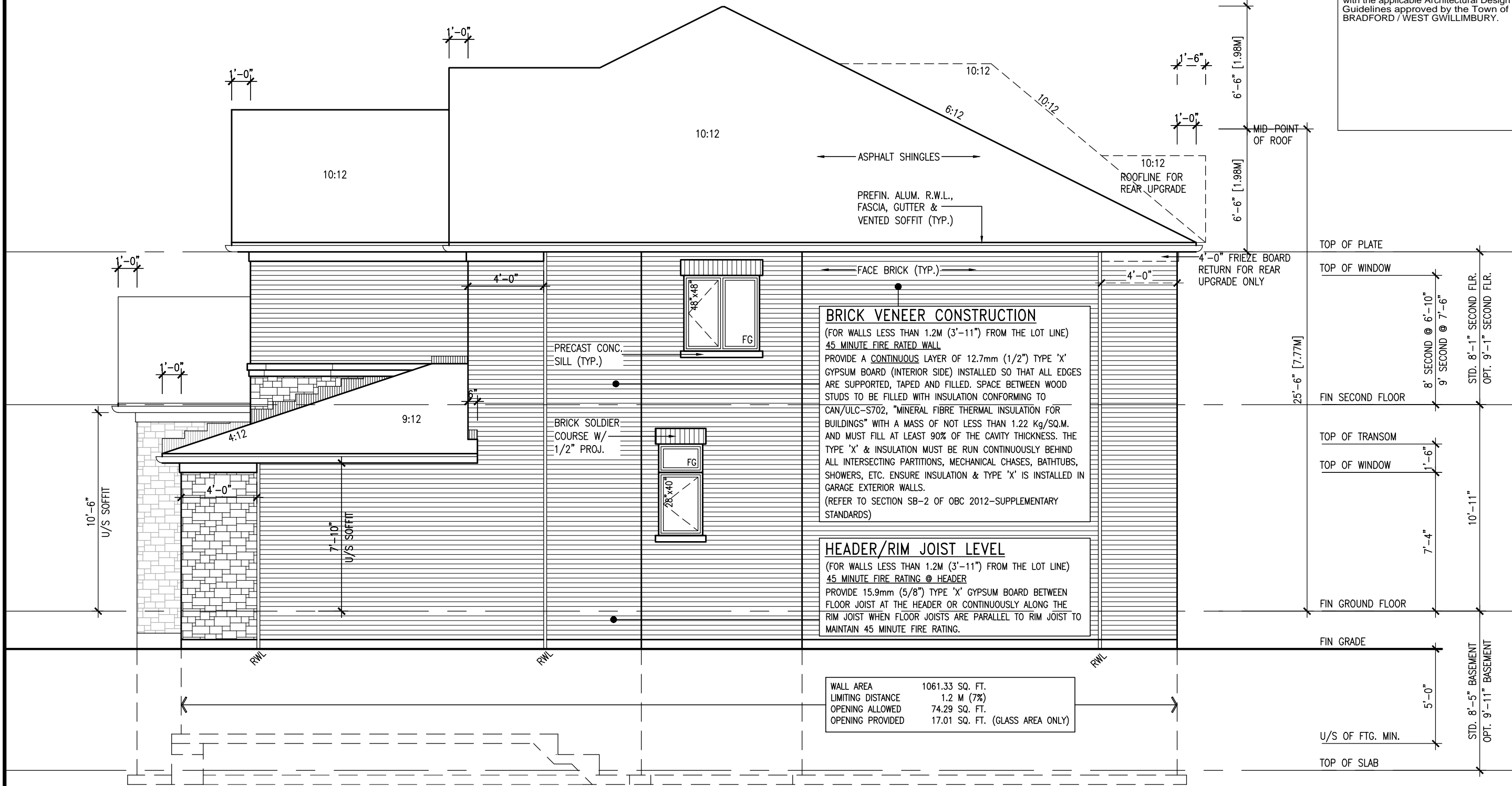
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PRELIMINARY

10' GROUND

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RIGHT SIDE ELEVATION 'B'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

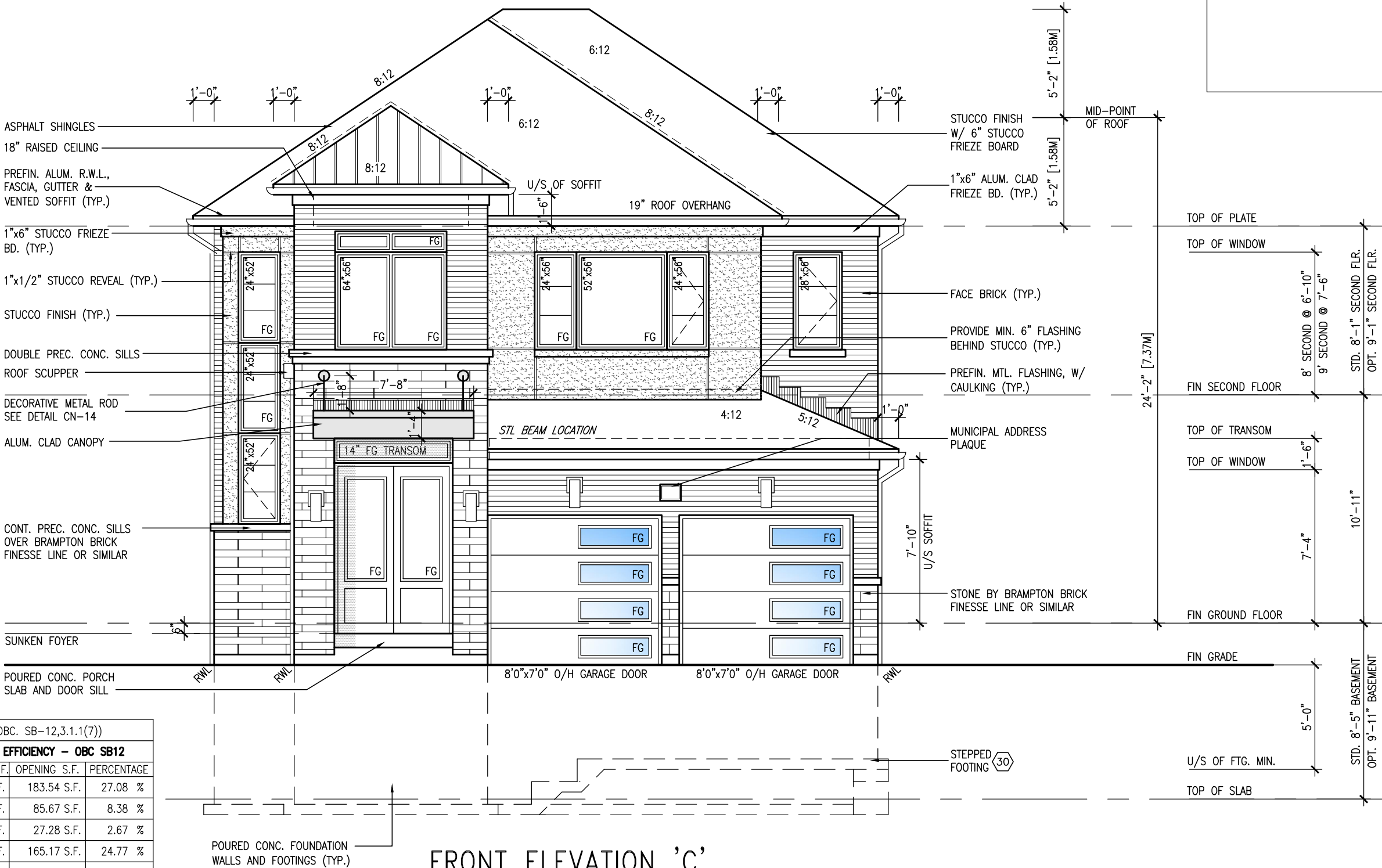
SEE DETAIL S4 FOR 9'-0" BASEMENT COND

project no. 16023		project name S38-3 BAROSSA 3		municipality BRADFORD, ONT.	
drawing no. 15		date JANUARY, 2017		checked by RC	
file name 16023-S38-3-10GRND		scale 3/16" = 1'-0"		drawn by WT	
RIGHT SIDE ELEVATION 'B'		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-3-10GRND.dwg - Tue - Jun 22 2021 - 8:07 AM			
no. description		date			
9
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5	10' GROUND FLOOR	MAY 10-21	RC	.	.
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC	.	.
3	ADD OPT. 9' BASEMENT	APR 06-21	RC	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC	.	.
1	ISSUED FOR CLIENT REVIEW	.	.	.	.

10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ROOF PLAN 'C'



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	666.75 S.F.	165.17 S.F.	24.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3388.58 S.F.	461.66 S.F.	13.62 %
TOTAL SQ. M.	314.81 S.M.	42.89 S.M.	13.62 %

BAYVIEW WELLINGTON

S38-3

project name
GREEN VALLEY EAST

BRADFORD, ONT. municipality

project no.
16023

date
JANUARY, 2017

FRONT

Drawing no.

drawn by	checked by	RC
WT		

[illegible]

16

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Full Name:

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10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

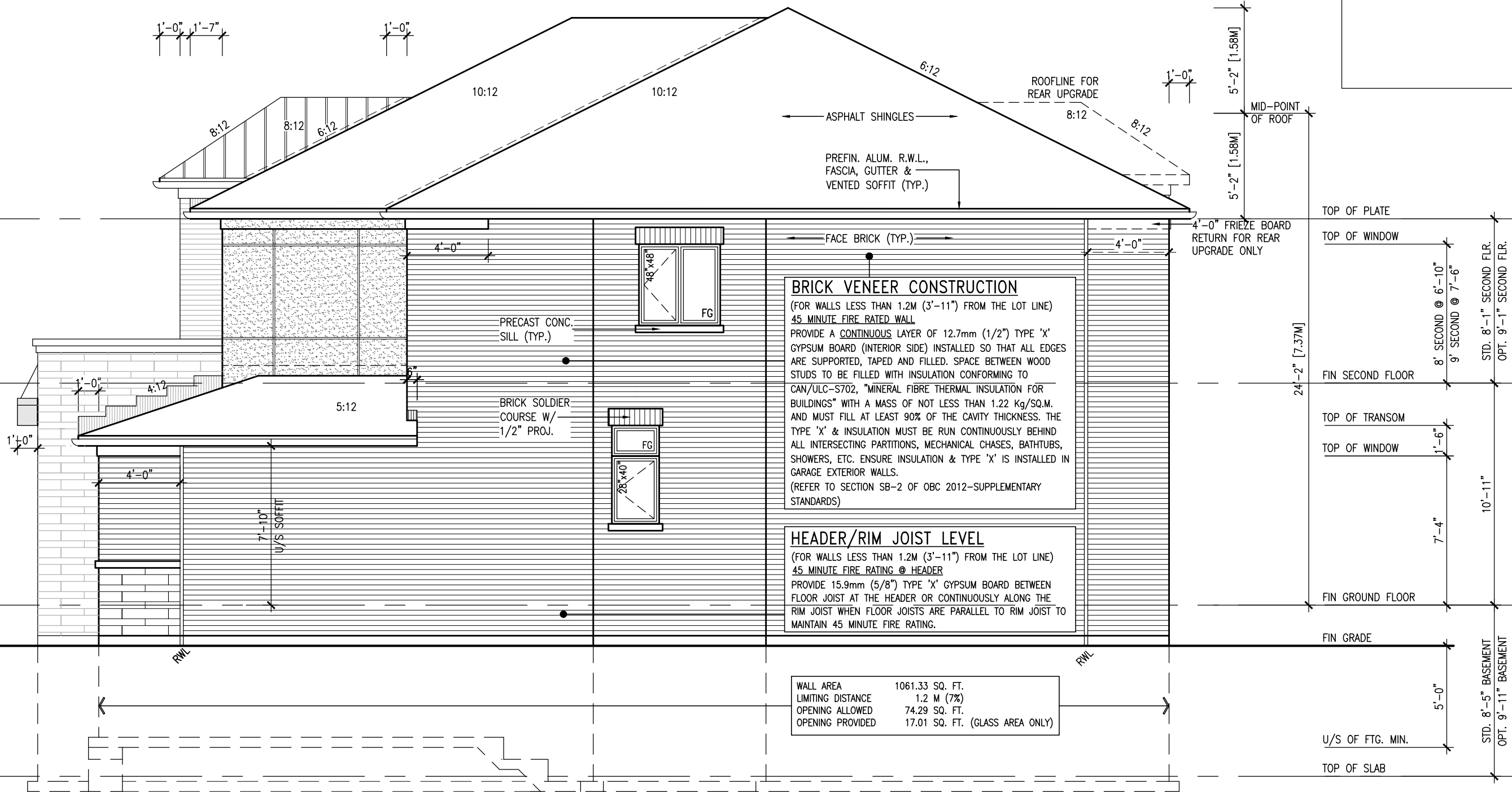
LEFT SIDE ELEVATION 'C'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
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[illegible]

10⁹ GROUND

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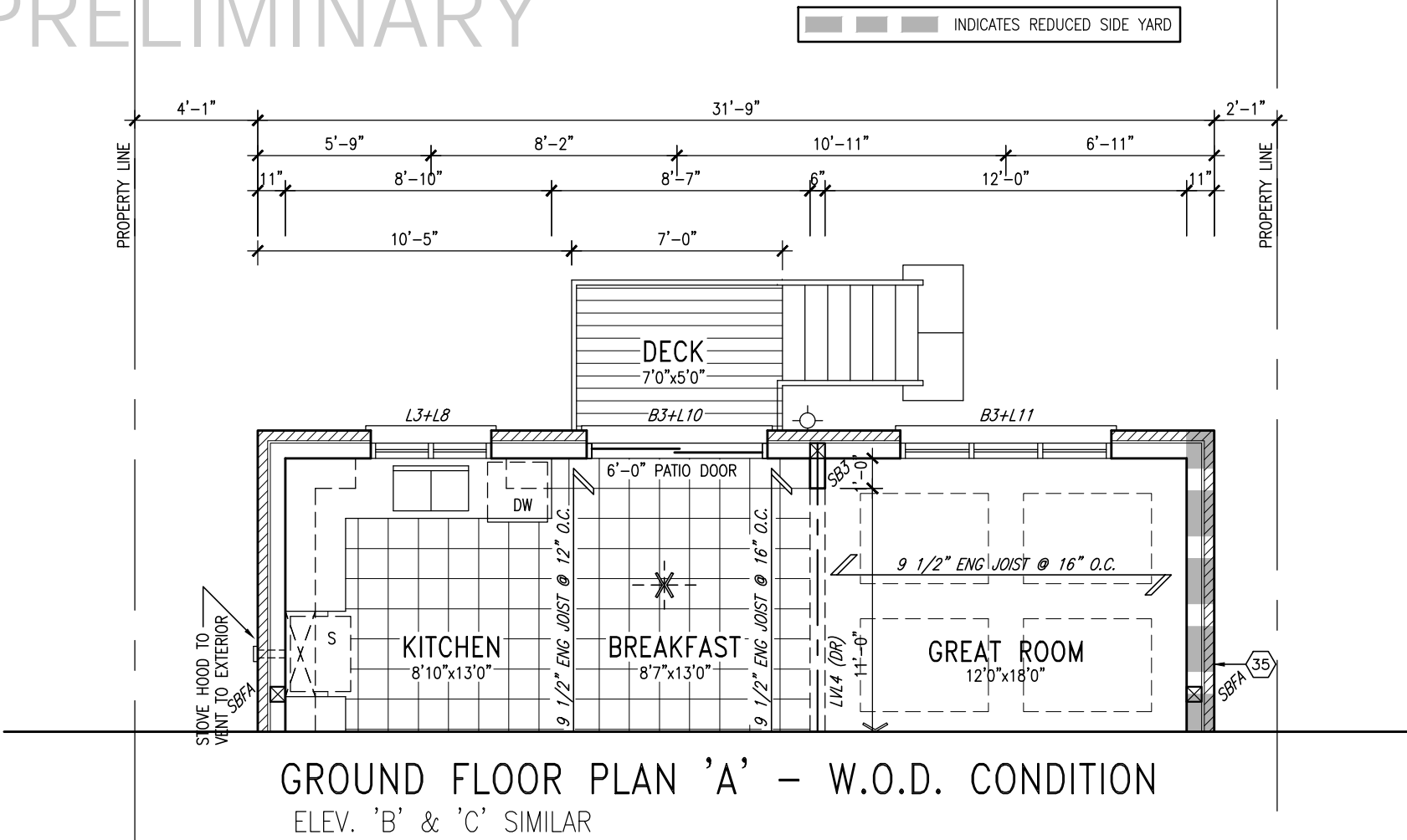
RIGHT SIDE ELEVATION 'C'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
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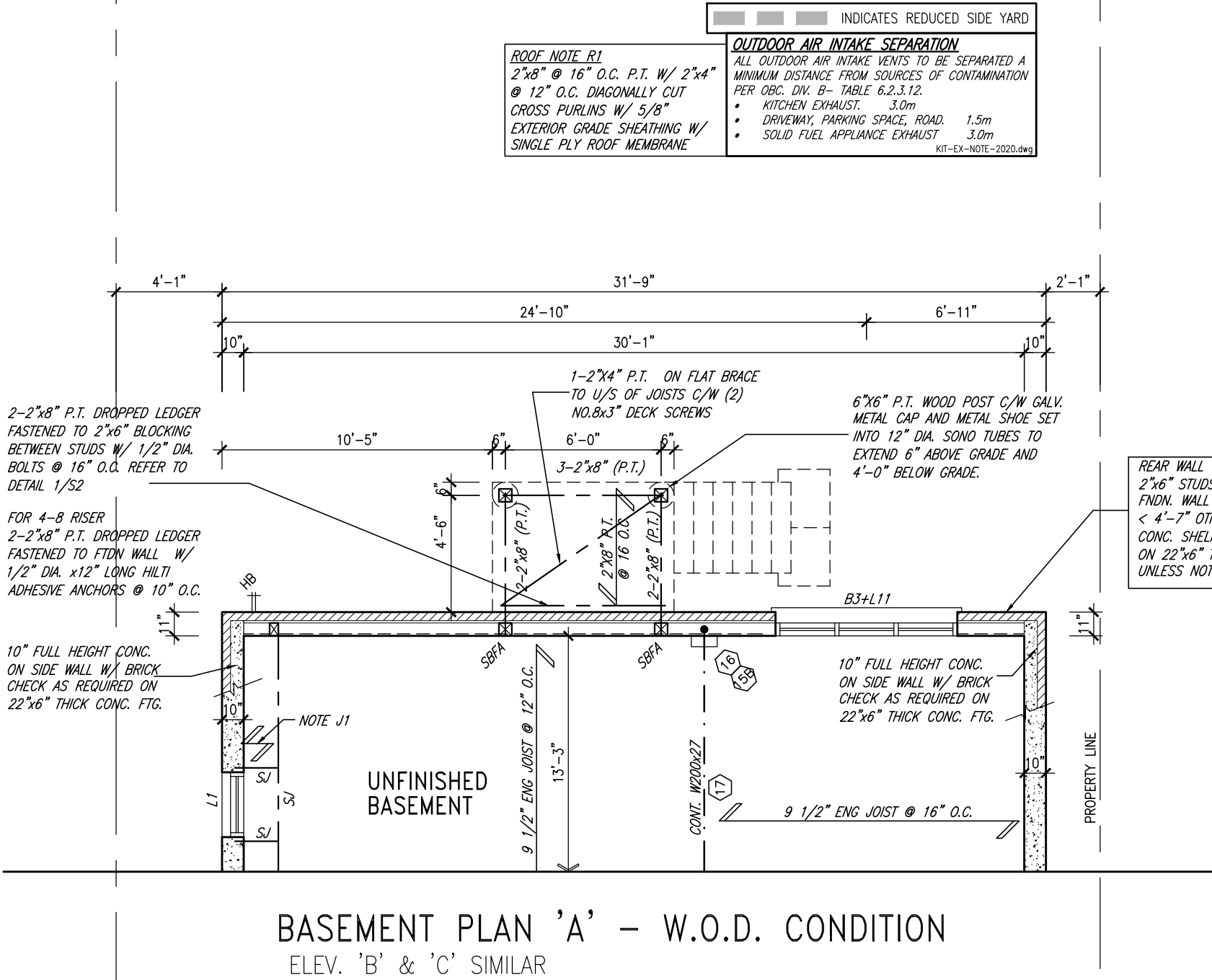
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

[illegible]

PRELIMINARY



10' GROUND



REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN. WALL FOR BACKFILL HEIGHT < 4'-7" OTHERWISE PROVIDE 6" CONC. SHELF ON 10" FNDN. WALL ON 22"x6" THICK CONC. FOOTING UNLESS NOTED OTHERWISE

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
JANUARY, 2017

drawn by
WT

checked by
RC

PART. FLOOR PLANS - W.O.D. COND.

scale
3/16" = 1'-0"

file name
16023-S38-3-10GRND

drawing no.
19

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10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 E.L.C WOD W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	793.75 S.F.	184.17 S.F.	23.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3515.58 S.F.	480.66 S.F.	13.67 %
TOTAL SQ. M.	326.61 S.M.	44.65 S.M.	13.67 %




SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

W.O.D. REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME
 BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP
 OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

9
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5	10' GROUND FLOOR	MAY 10-21	RC		
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC		
3	ADD OPT. 9' BASEMENT	APR 06-21	RC		
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC		
1	ISSUED FOR CLIENT REVIEW	.	.	date	by

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project no. 16023

project name GREEN VALLEY EAST

municipality BRADFORD, ONT.

date JANUARY, 2017

drawn by WT

checked by RC

scale 3/16" = 1'-0"

file name 16023-S38-3-10GRND

drawing no. 20

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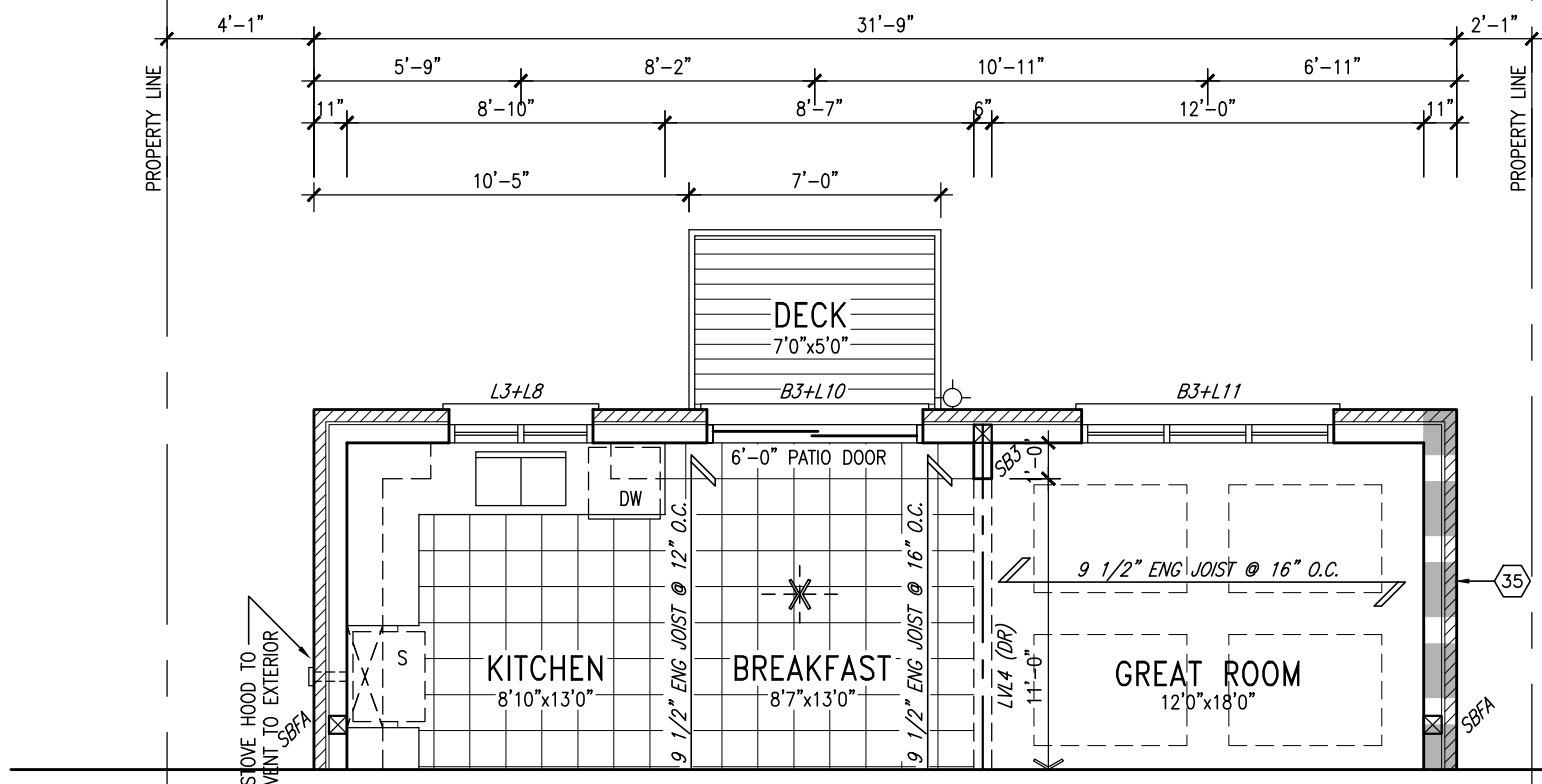
S38-3

BAROSSA 3

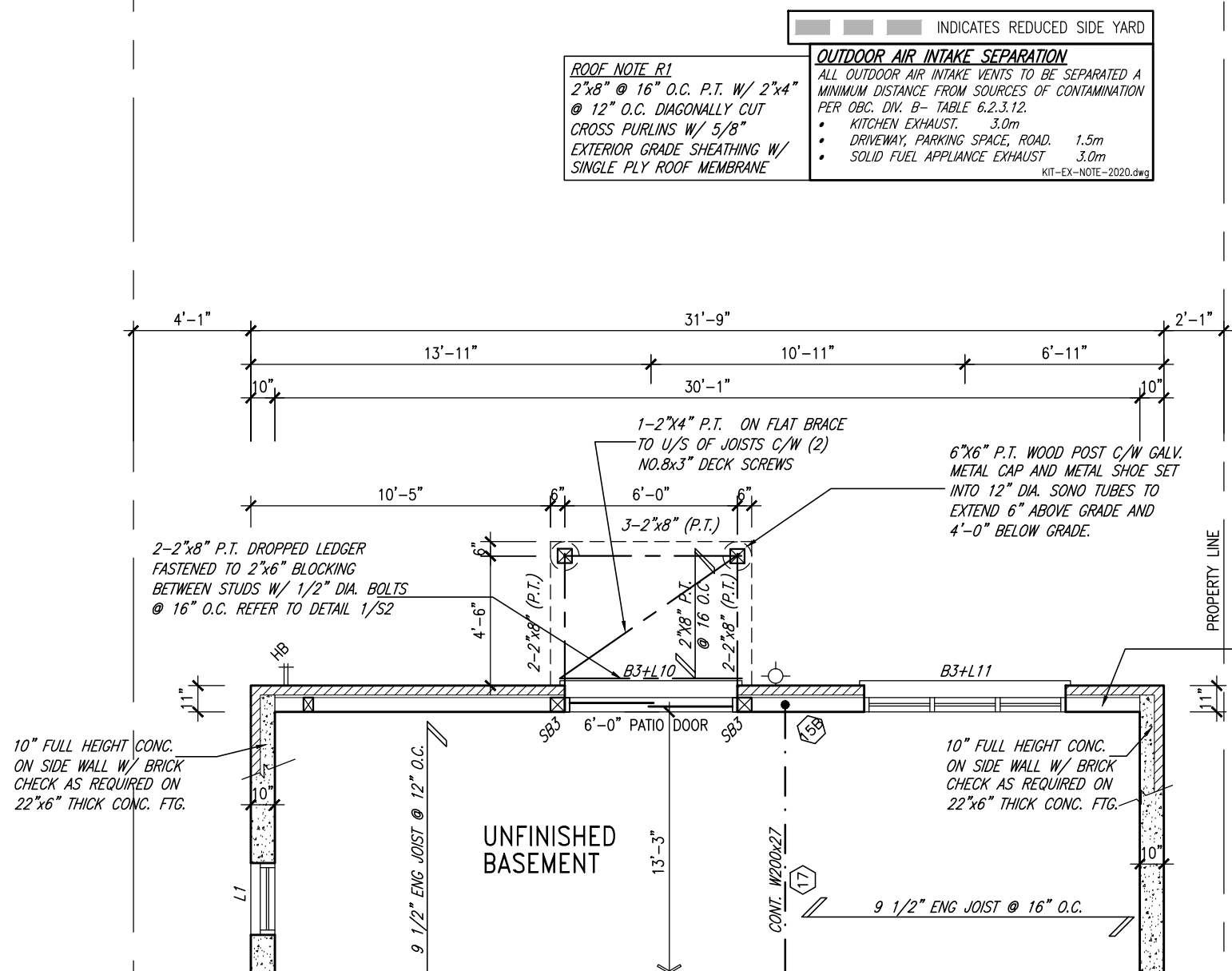
BAYVIEW WELLINGTON

INDICATES REDUCED SIDE YARD

10 Ground



GROUND FLOOR PLAN 'A' – W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR



BASEMENT PLAN 'A' - W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

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NOTE:
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NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

project no.
16023

date **JANUARY, 2017** PART. FLOOR PLANS – W.O.B. COND.

drawing no.

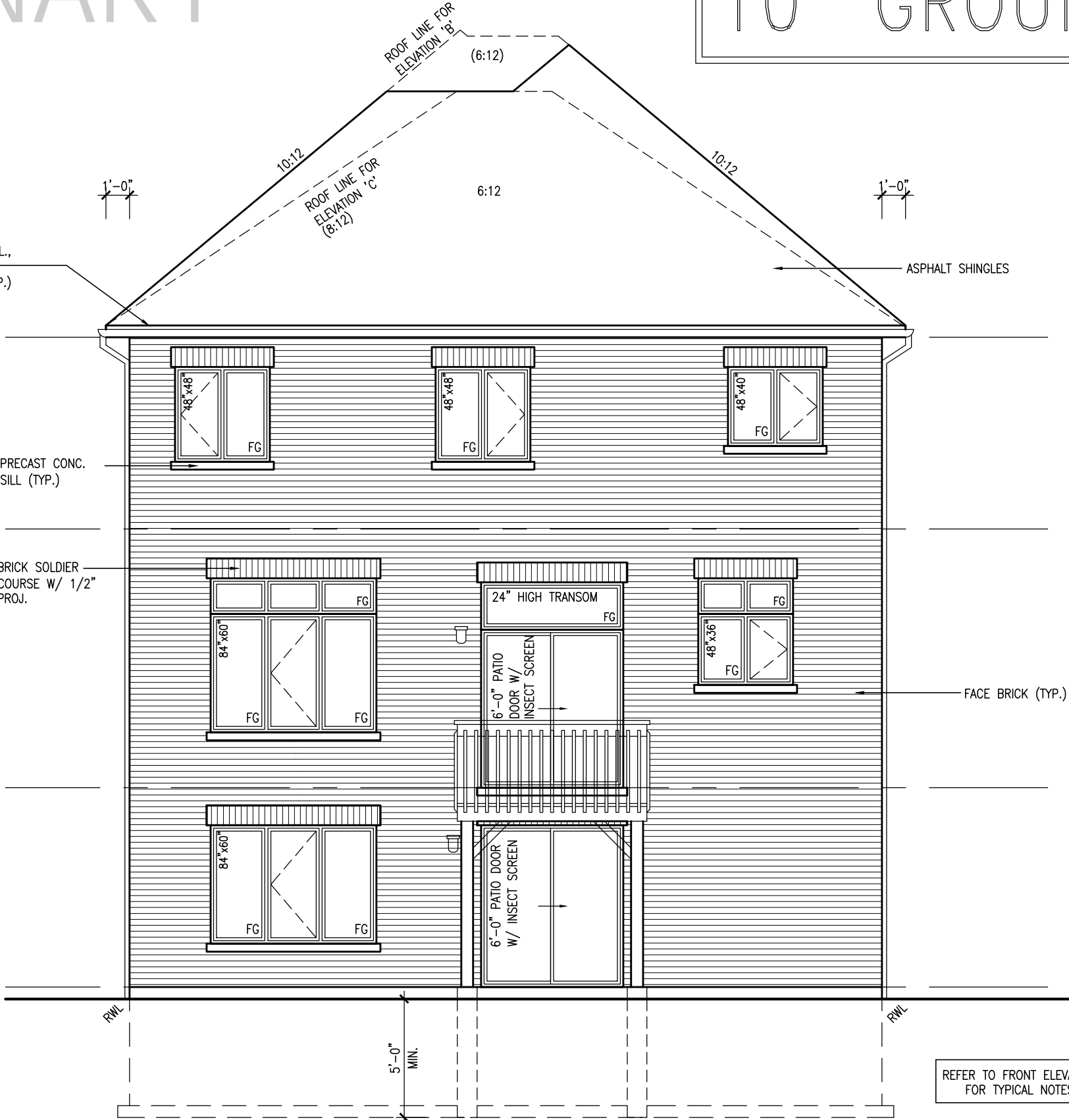
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-3-10GRND
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21

10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C WOB W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	886.36 S.F.	236.84 S.F.	26.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3608.19 S.F.	533.33 S.F.	14.78 %
TOTAL SQ. M.	335.21 S.M.	49.55 S.M.	14.78 %




W.O.B. REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC	
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC	
3	ADD OPT. 9' BASEMENT	APR 06-21	RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

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project no. 16023

drawing no. 22

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

drawing no. 22

S38-3

BAROSSA 3

project no. 16023

drawing no. 22

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

drawing no. 22

S38-3

BAROSSA 3

project no. 16023

drawing no. 22

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

drawing no. 22

S38-3

BAROSSA 3

project no. 16023

drawing no. 22

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

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BRADFORD, ONT.

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drawing no. 22

S38-3

BAROSSA 3

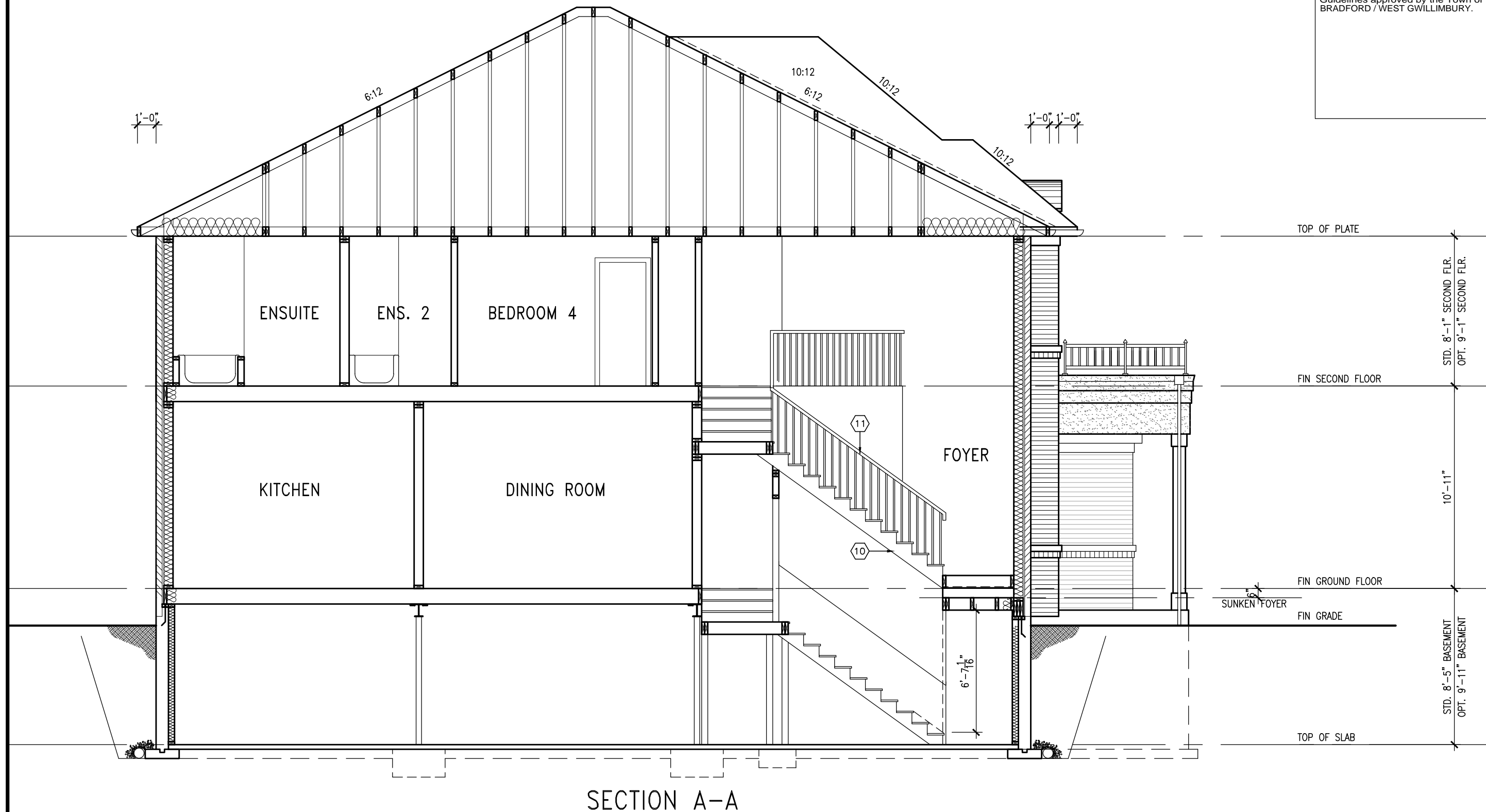
project no. 16023

drawing no. 22

10⁹ GROUND

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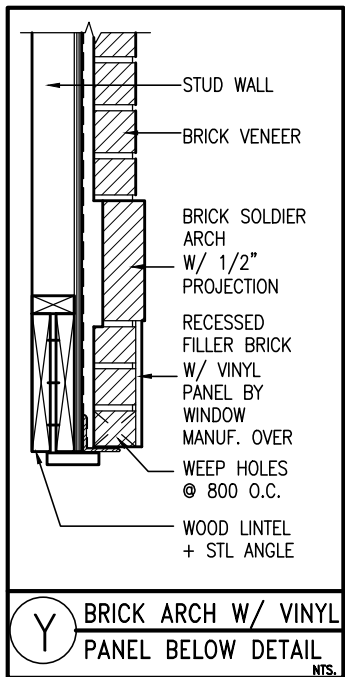
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ROOF PLAN 'A'
W/ REAR UPGRADE



Architectural elevation drawing of a house showing the front facade. The drawing includes dimensions for the roof, windows, and doors, as well as material specifications and structural details.

Roof: Asphalt shingles, 6:12 pitch. Eave overhang: 1'-0" on both sides.

Dimensions:

- Overall width: 21'-0"
- Roof overhang: 1'-0" (left), 1'-0" (right)
- Window spacing: 6'-9" (left), 4'-2" (middle), 6'-9" (right)
- Window width: 4'-0" (left), 4'-0" (middle), 4'-0" (right)
- Window height: 4'-0" (left), 4'-0" (middle), 4'-0" (right)
- Door width: 6'-0"
- Door height: 6'-0"
- Basement window width: 3'-0"
- Basement window height: 1'-6"

Materials and Details:

- 2"x4" @ 6'9" O.C. ON RADIUS W/ 3/8" EXT. GRADE PLYWOOD SHEATHING & ICE & WATER SHIELD ROLL ROOFING W/ PREFINISHED METAL FINISH
- DOUBLE BRICK ROWLOCK ARCH OVER ROWLOCK STACKS W/ 1/2" PROJ.
- PRECAST CONC. SILL ON BRICK ROWLOCK
- DOUBLE BRICK ROWLOCK COURSE OVER ROWLOCK STACKS W/ 1/2" PROJ.
- FACE BRICK (TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
- VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYPICAL)
- PRECAST CONC. DOOR SILL & STEP
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

Structural Details:

- 30"x16" (Basement window sill)
- 6'-0" PATIO DOOR W/ INSECT SCREEN
- FG (Finish Grade)
- RWL (Right Wall Line)

UPGRADED REAR ELEVATION 'A'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

BAYVIEW WELLINGTON

S38-3

project name
GREEN VALLEY EAST

project no.
16023

date
JANUARY, 2017

ing no.

drawn by WT checked by RC

4

RICHARD - H:\ARCHIVE\WORKING\2016

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DESIGN
Consumers Rd Suite

Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 10-21	RC
4	REVISED AS PER ENG. COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

10⁹ GROUND

[illegible]

UPGRADED REAR ELEVATION 'B'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON

S38-3

project no.
16023

BRADFORD, ONT.

ION 'B'	drawing no.
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file name	25
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DESIGN

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Toronto ON M2J 1R4

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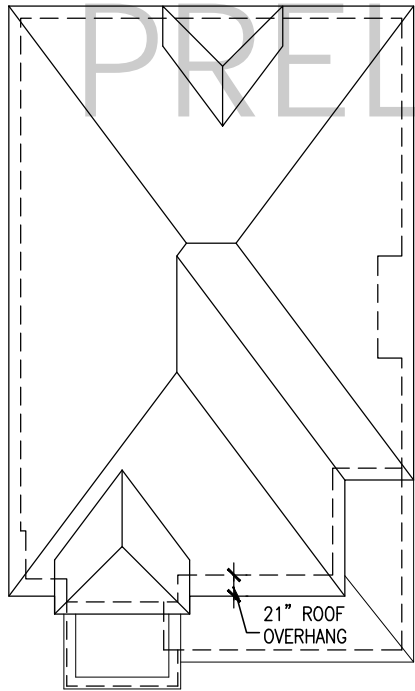
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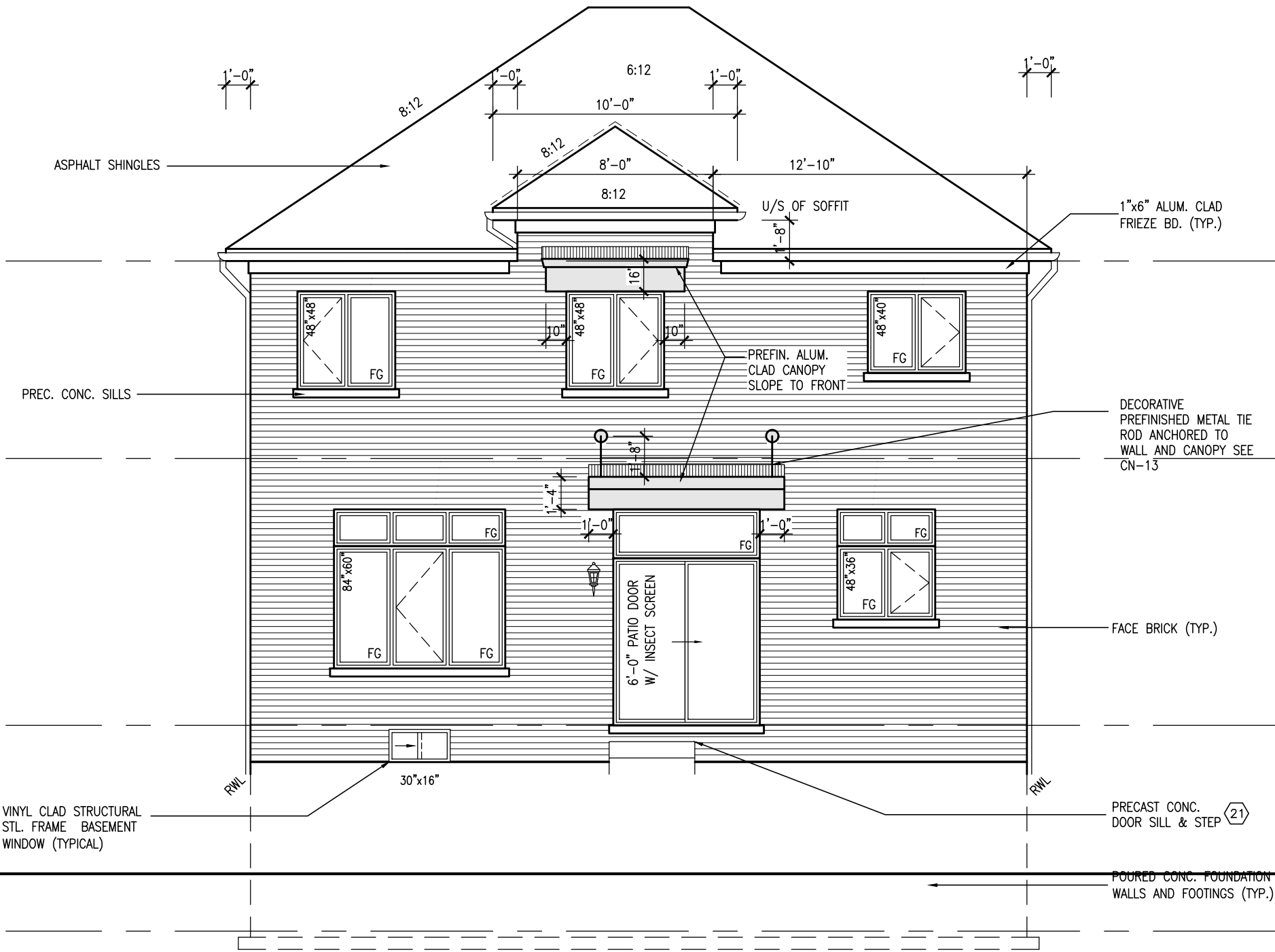
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ROOF PLAN 'C'
W/ REAR UPGRADE



UPGRADED REAR ELEVATION 'C'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

10' GROUND

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TOP OF PLATE			
TOP OF WINDOW			
FIN SECOND FLOOR	8' SECOND @ 6'-10"	9' SECOND @ 7'-6"	STD. 8'-1" SECOND FLR. OPT. 9'-1" SECOND FLR.
TOP OF TRANSOM			
TOP OF WINDOW	1'-6"		
FIN GROUND FLOOR	7'-4"		
FIN GRADE			
TOP OF SLAB			

9	
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PRELIMINARY

10' GROUND

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project no.	16023
project name	S38-3 BAROSSA 3
municipality	BRADFORD, ONT.
date	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S38-3-10GRND
drawing no.	27

project name	BAYVIEW WELLINGTON
project no.	16023
municipality	BRADFORD, ONT.
date	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S38-3-10GRND
drawing no.	27

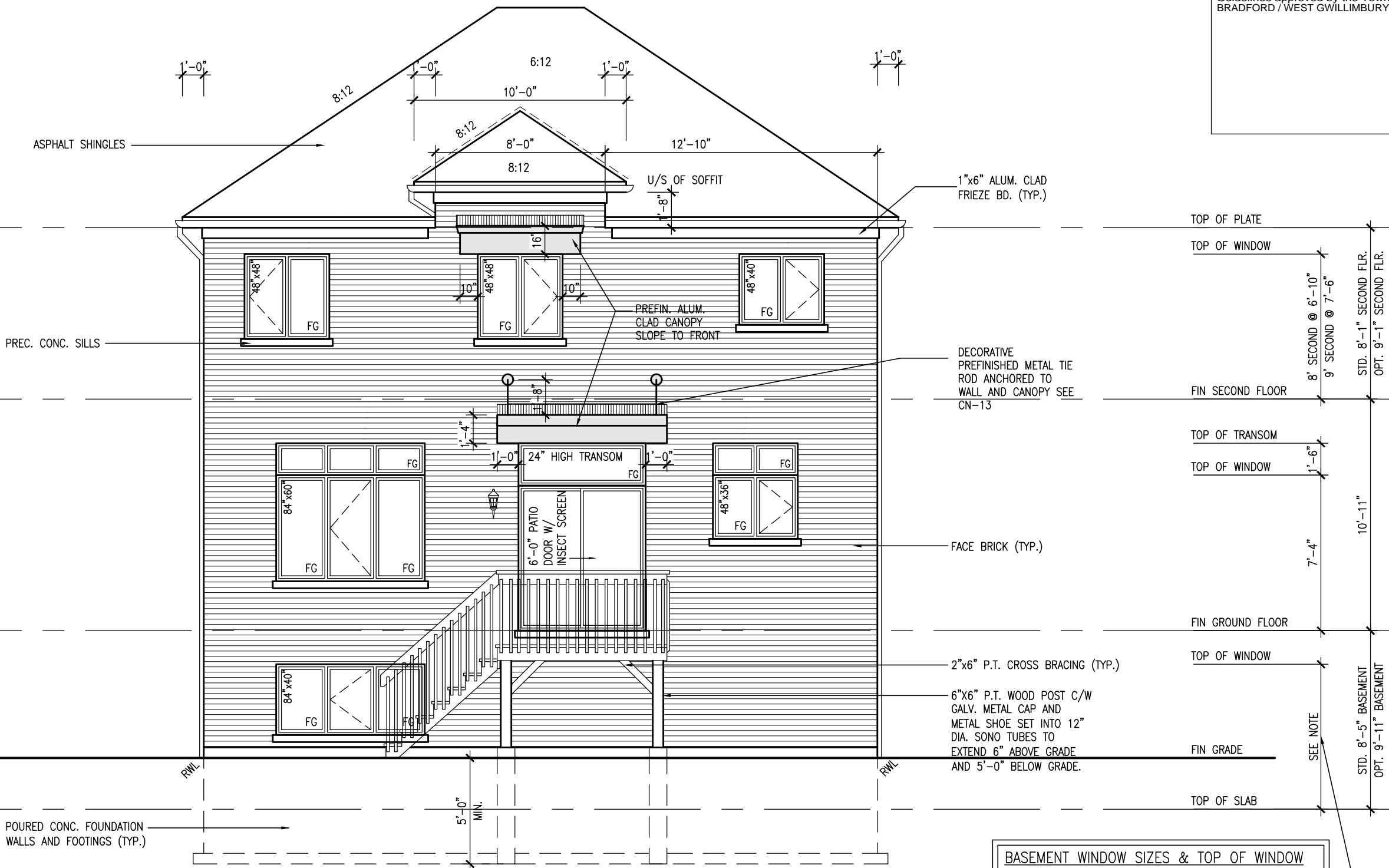
project name	BAYVIEW WELLINGTON
project no.	16023
municipality	BRADFORD, ONT.
date	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S38-3-10GRND
drawing no.	27

no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 10-21 RC	
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
3	ADD OPT. 9' BASEMENT	APR 06-21 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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PRELIMINARY

10' GROUND



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW			
STD. BASEMENT			
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME			
BASEMENT WINDOWS			
OPT. 9'-0" BASEMENT			
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP			
OF WINDOW			
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @			
6'-10" TOP OF WINDOW			

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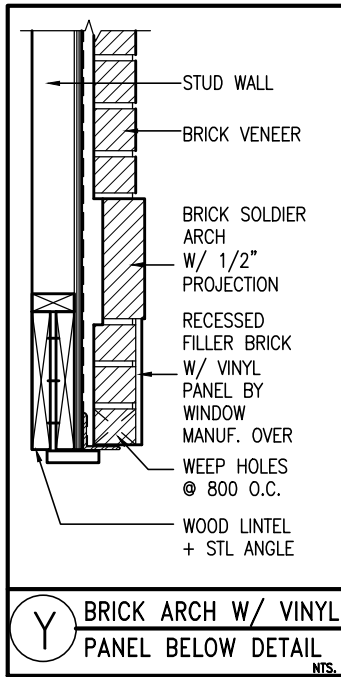
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project no.		project name		municipality		date		drawn by		checked by		scale		file name	
16023		S38-3 BAROSSA 3		BRADFORD, ONT.		JANUARY, 2017		WT		RC		3/16" = 1'-0"		16023-S38-3-10GRND	
drawing no.		UPGRADED REAR ELEVATION 'C'-W.O.D COND.		GREEN VALLEY EAST		BAYVIEW WELLINGTON		S38-3		BAROSSA 3		29		16023-S38-3-10GRND	
no.		description		date		by		date		by		date		by	
9		10' GROUND FLOOR		MAY 10-21		RC		10' GROUND FLOOR		MAY 10-21		RC		10' GROUND FLOOR	
8		REVISED AS PER ENG COMMENTS		APR 08-21		RC		REVISED AS PER ENG COMMENTS		APR 08-21		RC		REVISED AS PER ENG COMMENTS	
7		ADD OPT. 9' BASEMENT		APR 06-21		RC		ADD OPT. 9' BASEMENT		APR 06-21		RC		ADD OPT. 9' BASEMENT	
6		REVISED AS PER ENG'S COMMENTS		JAN 05-18		RC		REVISED AS PER ENG'S COMMENTS		JAN 05-18		RC		REVISED AS PER ENG'S COMMENTS	
5		ISSUED FOR CLIENT REVIEW		JAN 05-18		RC		ISSUED FOR CLIENT REVIEW		JAN 05-18		RC		ISSUED FOR CLIENT REVIEW	
4		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.		JAN 05-18		RC		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.		JAN 05-18		RC		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.	
3		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com		JAN 05-18		RC		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com		JAN 05-18		RC		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com	
2		VO3 DESIGN		JAN 05-18		RC		VO3 DESIGN		JAN 05-18		RC		VO3 DESIGN	
1		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com		JAN 05-18		RC		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com		JAN 05-18		RC		255 Consumers Rd Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com	
0		VO3 DESIGN		JAN 05-18		RC		VO3 DESIGN		JAN 05-18		RC		VO3 DESIGN	

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10⁹ GROUND

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

[illegible]

PRELIMINARY

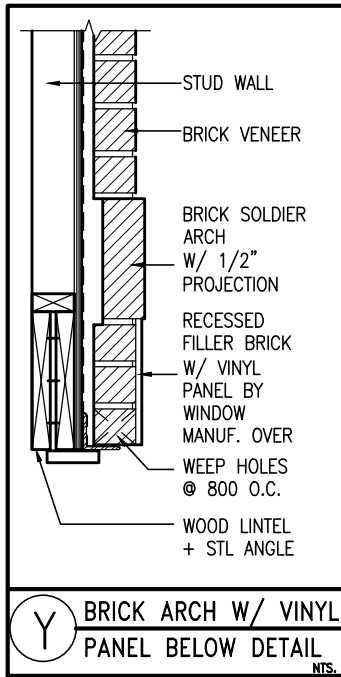
10' GROUND



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TOP OF PLATE	
TOP OF WINDOW	
8" SECOND @ 6'-10"	
9" SECOND @ 7'-6"	
STD. 8'-1" SECOND FLR.	
OPT. 9'-1" SECOND FLR.	
FIN SECOND FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
1'-6"	
7'-4"	
10'-11"	
FIN GROUND FLOOR	
TOP OF WINDOW	
6'-10"	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
TOP OF SLAB	
FIN GRADE	



POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.) REFER TO FRONT ELEVATION FOR TYPICAL NOTES

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

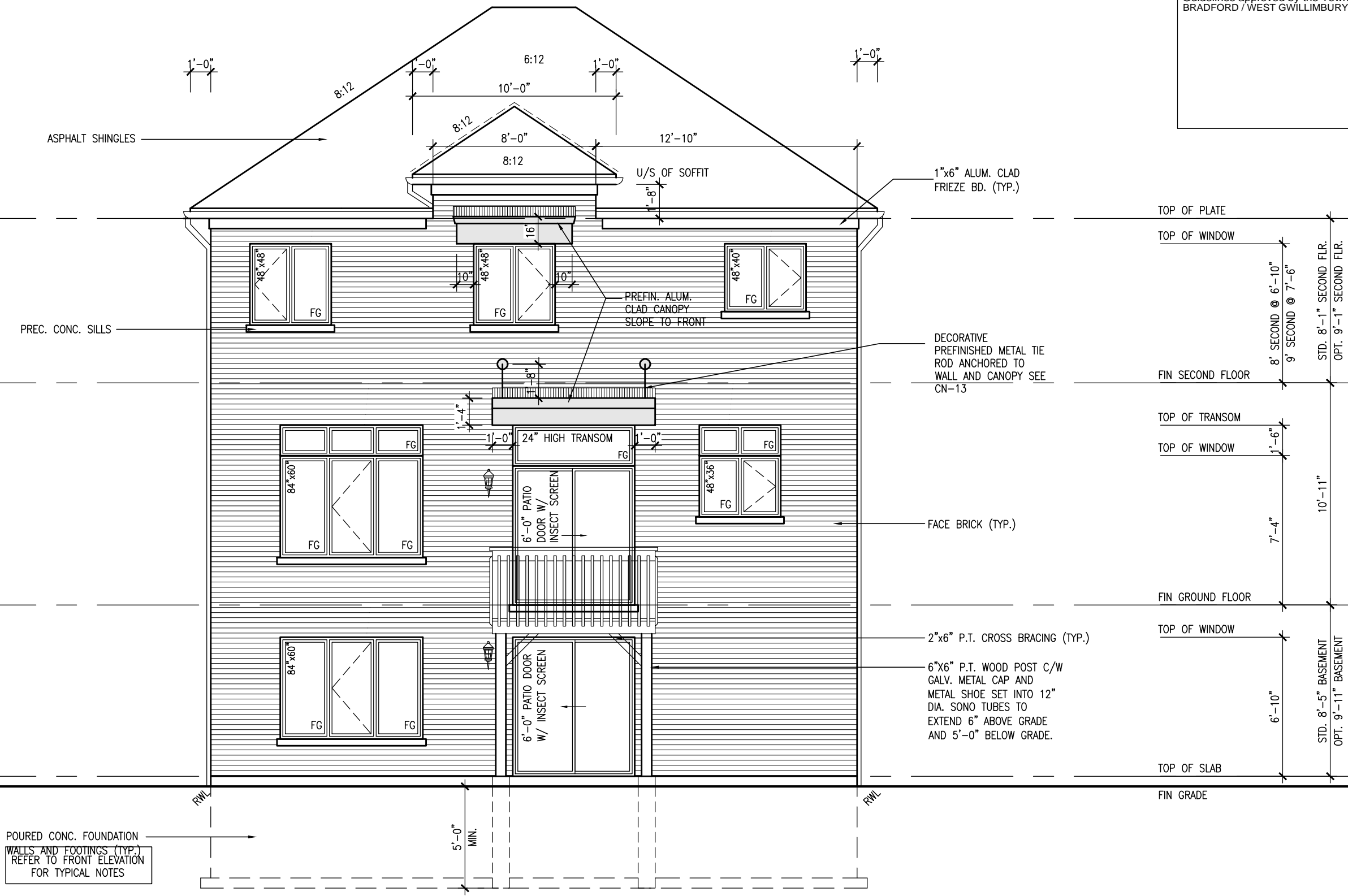
UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION

S38-3 BAROSSA 3		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONT.		UPGRADED REAR ELEVATION 'B' - W.O.B. COND.		16023-S38-3-10GRND		31	
project no.		municipality		date		drawn by		checked by		scale		file name	
16023		BRADFORD, ONT.		JANUARY, 2017		WT		RC		3/16" = 1'-0"		16023-S38-3-10GRND	
drawing no.		project name		municipality		date		drawn by		checked by		scale	
31		BAYVIEW WELLINGTON		BRADFORD, ONT.		JANUARY, 2017		WT		RC		3/16" = 1'-0"	
no.		description		date		by		date		by		date	
9		10' GROUND FLOOR		MAY 10-21		RC							
8		REVISED AS PER ENG COMMENTS		APR 08-21		RC							
7		ADD OPT. 9' BASEMENT		APR 06-21		RC							
6		REVISED AS PER ENG'S COMMENTS		JAN 05-18		RC							
5		ISSUED FOR CLIENT REVIEW											
4													
3													
2													
1													

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10⁹ GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION[illegible]

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PRELIMINARY

10' GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.A W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3545.67 S.F.	414.98 S.F.	11.70 %
TOTAL SQ. M.	329.40 S.M.	38.55 S.M.	11.70 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3543.00 S.F.	408.09 S.F.	11.52 %
TOTAL SQ. M.	329.15 S.M.	37.91 S.M.	11.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	698.50 S.F.	165.17 S.F.	23.65 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3549.42 S.F.	461.66 S.F.	13.01 %
TOTAL SQ. M.	329.75 S.M.	42.89 S.M.	13.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.A WOD W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3672.67 S.F.	433.98 S.F.	11.82 %
TOTAL SQ. M.	341.20 S.M.	40.32 S.M.	11.82 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.37 S.F.	5.57 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3670.00 S.F.	426.79 S.F.	11.63 %
TOTAL SQ. M.	340.95 S.M.	39.65 S.M.	11.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	825.50 S.F.	184.17 S.F.	22.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3676.42 S.F.	480.66 S.F.	13.07 %
TOTAL SQ. M.	341.55 S.M.	44.65 S.M.	13.07 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.A WOB W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3765.27 S.F.	486.65 S.F.	12.92 %
TOTAL SQ. M.	349.80 S.M.	45.21 S.M.	12.92 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3762.60 S.F.	479.76 S.F.	12.75 %
TOTAL SQ. M.	349.55 S.M.	44.57 S.M.	12.75 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	918.10 S.F.	236.84 S.F.	25.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3769.02 S.F.	533.33 S.F.	14.15 %
TOTAL SQ. M.	350.15 S.M.	49.55 S.M.	14.15 %

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10' GROUND FLOOR

4

REVISED AS PER ENG COMMENTS

3

ADD OPT. 9' BASEMENT

2

REVISED AS PER ENG'S COMMENTS

1

ISSUED FOR CLIENT REVIEW

no.

description

10-21

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08-21

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06-21

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05-18

RC

date

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10-21

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08-21

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06-21

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05-18

RC

date

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project no.

16023

project name

S38-3 BAROSSA 3

municipality

BRADFORD, ONT.

date

JANUARY, 2017

drawn by

WT

checked by

RC

scale

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drawing no.

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file name

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PRELIMINARY

10' GROUND

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.A WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	674.08 S.F.	162.86 S.F.	24.16 %
LEFT SIDE	1022.00 S.F.	59.67 S.F.	5.84 %
RIGHT SIDE	1022.00 S.F.	27.28 S.F.	2.67 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3652.06 S.F.	486.65 S.F.	13.33 %
TOTAL SQ. M.	339.28 S.M.	45.21 S.M.	13.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	680.83 S.F.	155.97 S.F.	22.91 %
LEFT SIDE	1017.00 S.F.	59.67 S.F.	5.87 %
RIGHT SIDE	1016.92 S.F.	27.28 S.F.	2.68 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3648.73 S.F.	479.76 S.F.	13.15 %
TOTAL SQ. M.	338.98 S.M.	44.57 S.M.	13.15 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	677.87 S.F.	183.54 S.F.	27.08 %
LEFT SIDE	1021.98 S.F.	85.67 S.F.	8.38 %
RIGHT SIDE	1021.98 S.F.	27.28 S.F.	2.67 %
REAR	933.98 S.F.	236.84 S.F.	25.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3655.81 S.F.	533.33 S.F.	14.59 %
TOTAL SQ. M.	339.63 S.M.	49.55 S.M.	14.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.A WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	705.83 S.F.	162.86 S.F.	23.07 %
LEFT SIDE	1070.67 S.F.	59.67 S.F.	5.57 %
RIGHT SIDE	1070.67 S.F.	27.28 S.F.	2.55 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3812.90 S.F.	486.65 S.F.	12.76 %
TOTAL SQ. M.	354.23 S.M.	45.21 S.M.	12.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	712.58 S.F.	155.97 S.F.	21.89 %
LEFT SIDE	1066.00 S.F.	59.67 S.F.	5.60 %
RIGHT SIDE	1065.92 S.F.	27.28 S.F.	2.56 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3810.23 S.F.	479.76 S.F.	12.59 %
TOTAL SQ. M.	353.98 S.M.	44.57 S.M.	12.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 EL.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	709.62 S.F.	183.54 S.F.	25.86 %
LEFT SIDE	1070.65 S.F.	85.67 S.F.	8.00 %
RIGHT SIDE	1070.65 S.F.	27.28 S.F.	2.55 %
REAR	965.73 S.F.	236.84 S.F.	24.52 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3816.65 S.F.	533.33 S.F.	13.97 %
TOTAL SQ. M.	354.58 S.M.	49.55 S.M.	13.97 %

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5

10' GROUND FLOOR

4

REVISED AS PER ENG COMMENTS

3

ADD OPT. 9' BASEMENT

2

REVISED AS PER ENG'S COMMENTS

1

ISSUED FOR CLIENT REVIEW

no.

description

date

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MAY 10-21

RC

APR 08-21

RC

APR 06-21

RC

JAN 05-18

RC

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by

VAD3

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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

BAYVIEW WELLINGTON

GREEN VALLEY EAST

DATE JANUARY, 2017

DRAWN BY WT

CHECKED BY RC

MUNICIPALITY BRADFORD, ONT.

PROJECT NO. 16023

DRAWING NO. 34

S38-3

BAROSSA 3

SB12 – OPT. 9' BASEMENT W/ 8' 2ND OR 9' 2ND

16023-S38-3-10GRND

3/16" = 1'-0"

16023-S38-3-10GRND.dwg - Tue - Jun 22 2021 - 8:08 AM

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