



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

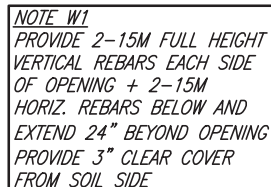
KIT-EX-NOTE-2020.dwg



STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg



REFER TO SHEET 1A FOR
STRUCTURAL INFORMATION
NOT SHOWN

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

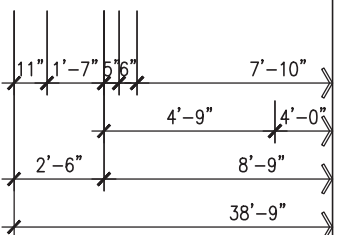
NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.



APR 22, 2021

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located in any lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: APR 22, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. BASEMENT
PLAN 'B'

PART. GROUND
FLOOR PLAN 'B'

LOT 1

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	REV AS PER ENG COMMENTS	APR 22-21	RC	name	BCIN
5	ADD 9'0" BASEMENT PLAN	APR. 12/21	WT	registration information	
4	CREATE SIDE/REAR UPGRADE FOR LOT 1	APR. 12/21	WT	YA3 Design Inc.	42658
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16	AJE		
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB		
1	ISSUED FOR CLIENT REVIEW	.	.		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S45-1

HUMMINGBIRD 1

project name
ALCONA

INNISFIL, ONTARIO municipality

project no.
13049

date
NOV. 2015

PART. UPGRADED FLOOR PLAN 'B' - LOT 1

Drawing no.

drawn by
RC

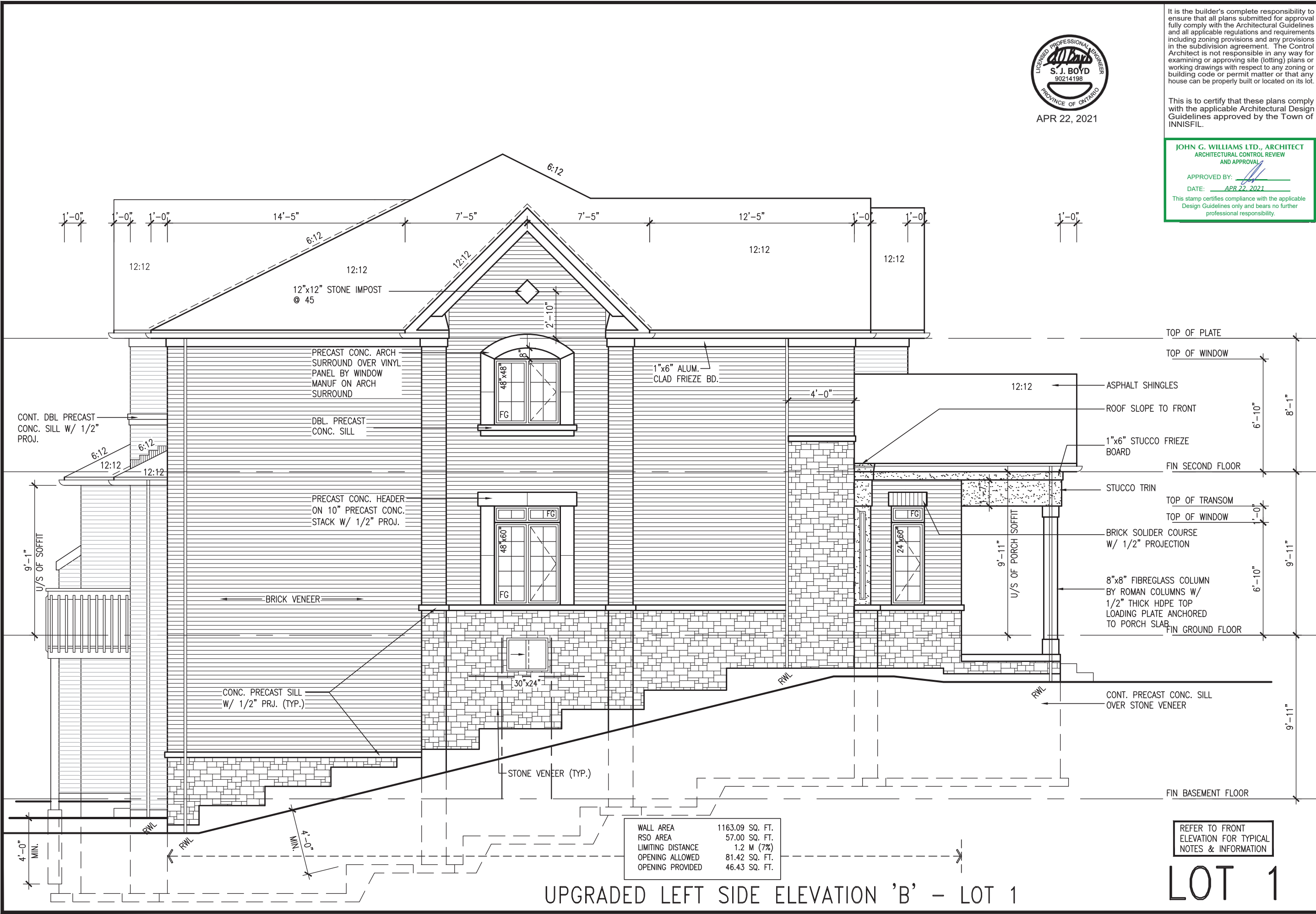
checked by scale
 $3/16" = 1'-0"$

file name
13049-S45-1

25

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\45\13049-S45-1.dwg - Thu - Apr 22 2021 - 6:22 AM

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project name		project no.	
ALCONA		13049	
municipality		drawing no.	
INNISFIL, ONTARIO		27	
date		file name	
NOV. 2015		13049-S45-1	
drawn by		scale	
RC		3/16" = 1'-0"	
checked by		drawn by	
.		.	
date		drawing no.	
APR 22 2021		13049-S45-1	
description		drawing no.	
UPGRADE LEFT SIDE ELEVATION B - LOT 1		27	
project name		project no.	
BAYVIEW WELLINGTON		13049	
municipality		drawing no.	
INNISFIL, ONTARIO		27	
date		file name	
NOV. 2015		13049-S45-1	
drawn by		scale	
RC		3/16" = 1'-0"	
checked by		drawn by	
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checked by		drawn by	
.		.	
date		drawing no.	
APR 22 2021		13049-S45-1	
description		drawing no.	
UPGRADE LEFT SIDE ELEVATION B - LOT 1		27	

WALL AREA	1163.09 SQ. FT.
RSO AREA	57.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	81.42 SQ. FT.
OPENING PROVIDED	46.43 SQ. FT.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

LOT 1



APR 22, 2021

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

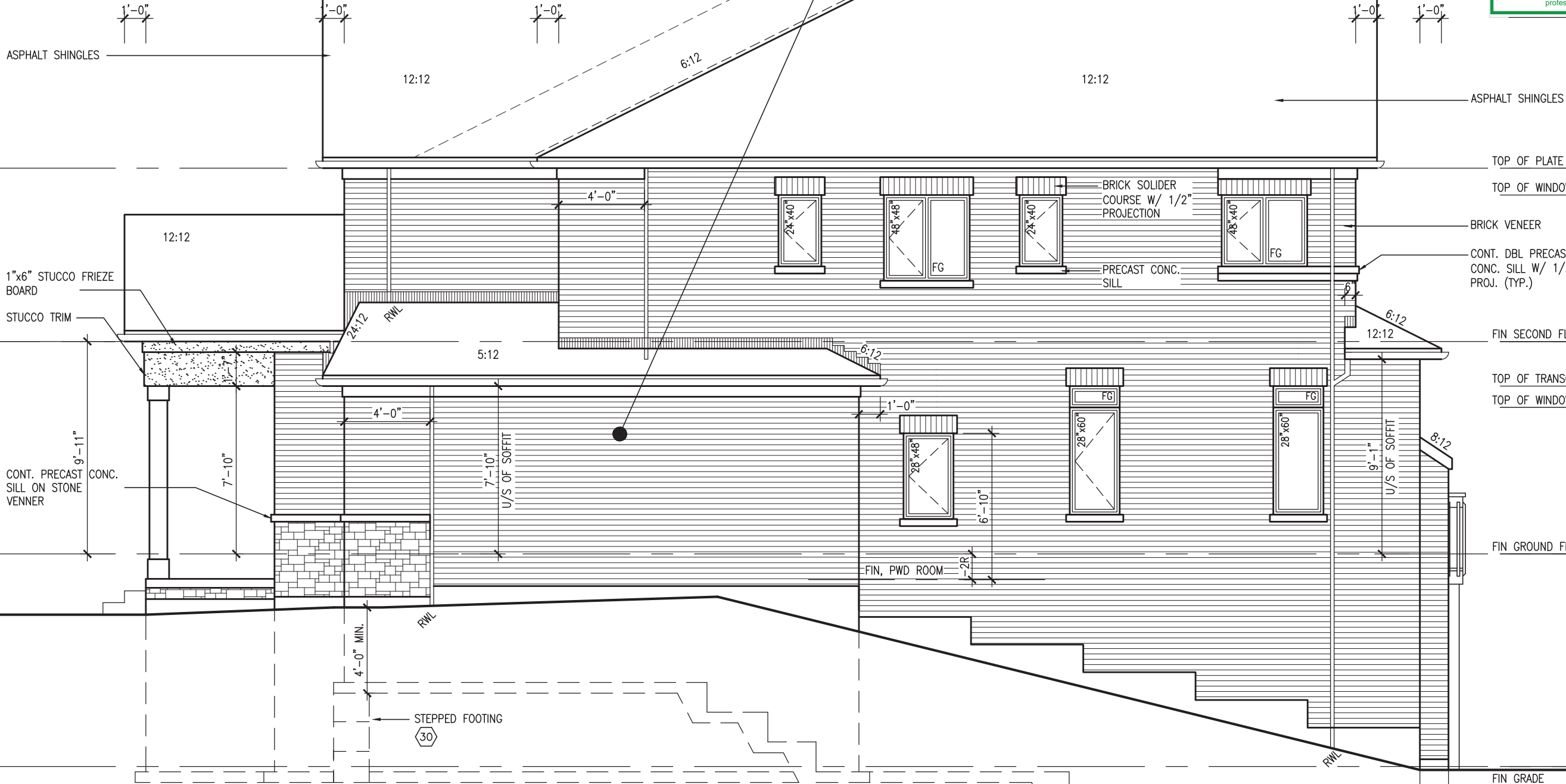
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: APR 22, 2021

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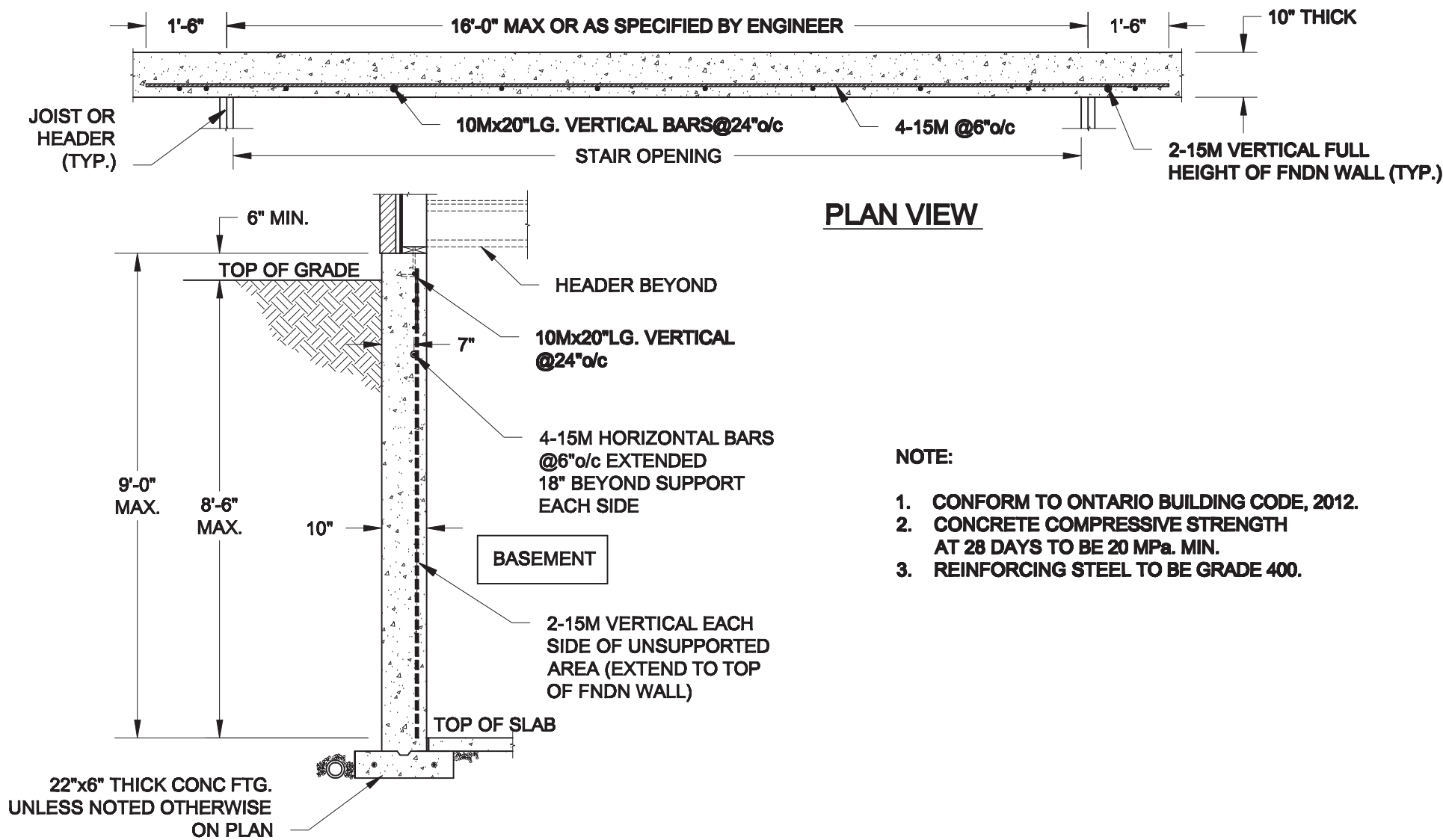


WALL AREA	1152.65 SQ. FT.
RSO AREA	80.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	80.69 SQ. FT.
OPENING PROVIDED	52.68 SQ. FT. (GLASS AREA)
(GLASS AREA FROM CATALOGUE)	

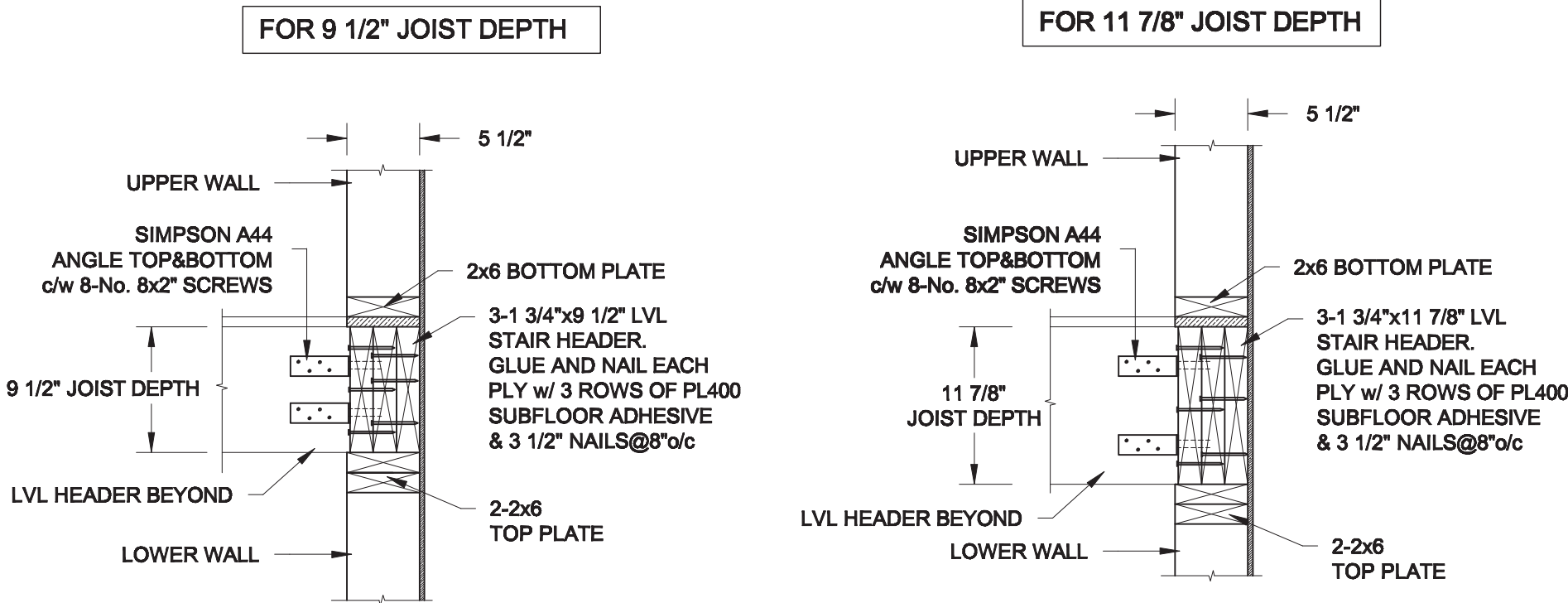
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

LOT 1

			
255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	
one Underdesigner has reviewed and takes full responsibility for this design and the Underdesigner's design team has reviewed and accepts the requirements set out in the Ontario Building Code to be a Designer.		one Underdesigner has reviewed and takes full responsibility for this design and the Underdesigner's design team has reviewed and accepts the requirements set out in the Ontario Building Code to be a Designer.	
qualification information		qualification information	
Wellington Jno-Baptiste 		Wellington Jno-Baptiste 	
name		name	
BCIN		BCIN	
VA3 Design Inc.		VA3 Design Inc.	
revision information		revision information	
APR. 22-21 RC		APR. 12/21 WT	
6 REV AS PER ENG COMMENTS		4 CREATE SIDE/REAR UPGRADE FOR LOT 1	
5 ADD 90° BASEMENT PLAN		3 REVISED TO 10" FOUNDATION WALLS	
8		2 REVISED INSULATION AT STAIRS	
9		1 ISSUED FOR CLIENT REVIEW	
7			
date		date	
by		by	
description		description	



1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



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Engineer's Seal:



APR 22, 2021

Project:

BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

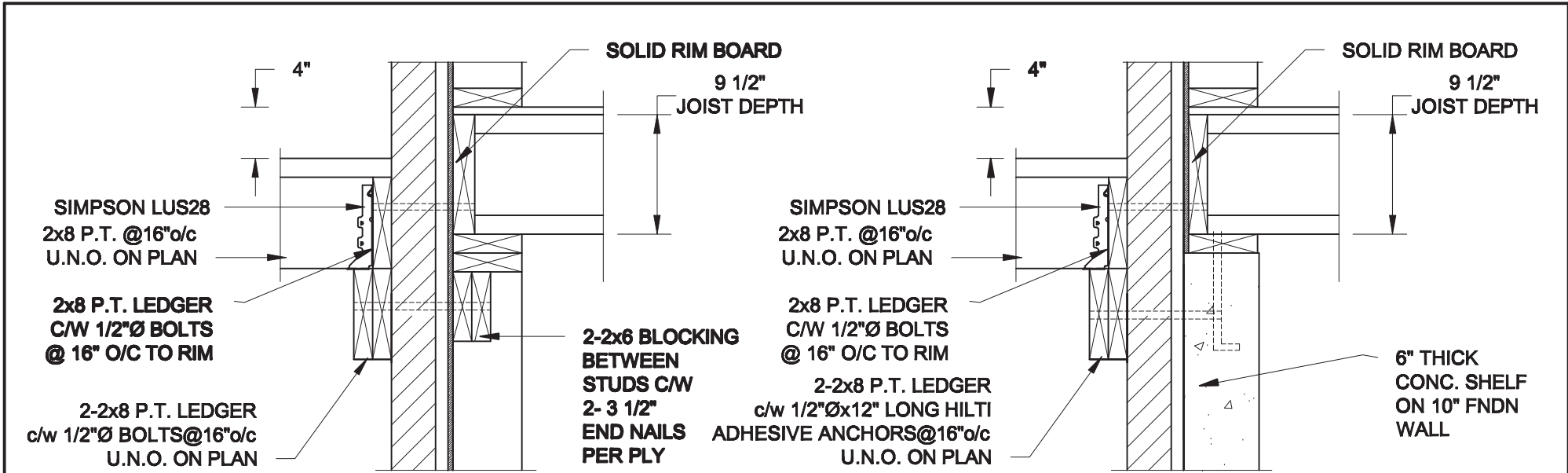
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

21-065

Drawing No.:

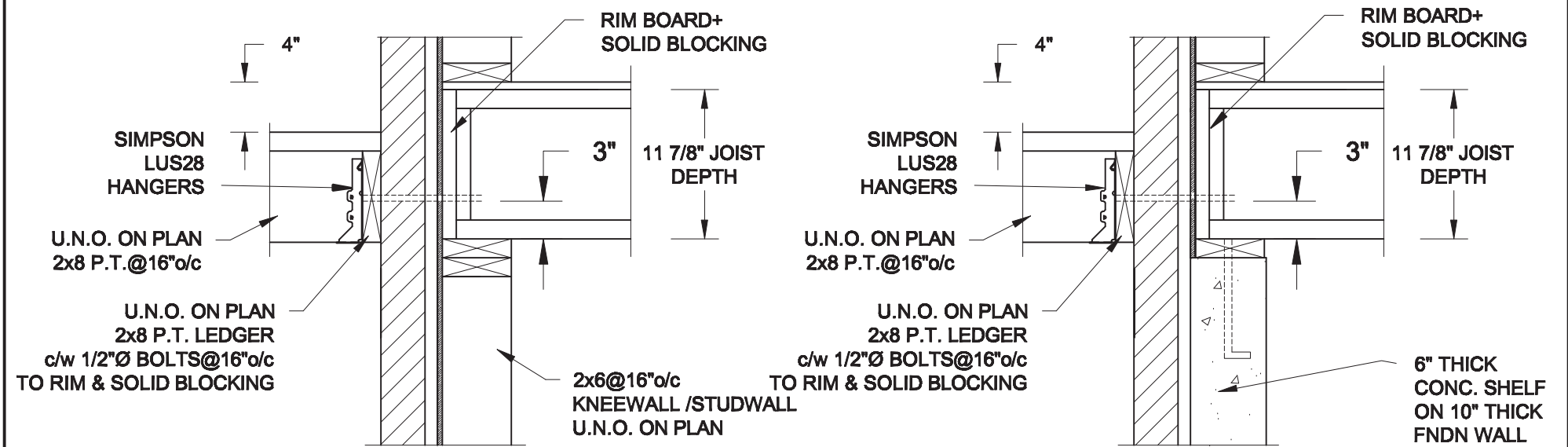
S1



1A **DECK FASTENING DETAIL**
S2 SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
S2 SCALE: 1" = 1'-0"

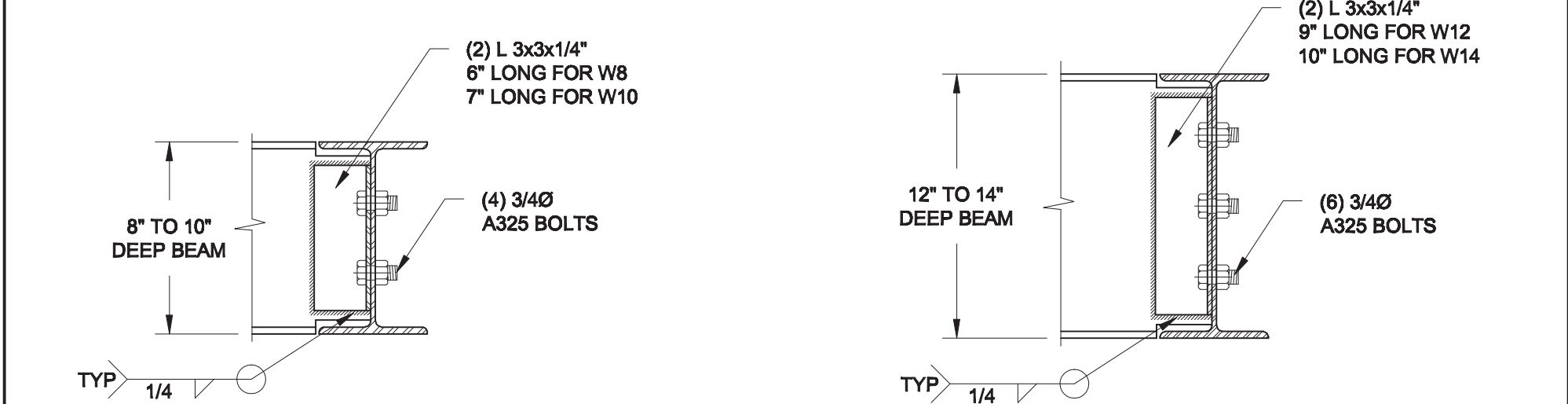
- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



2A **DECK FASTENING DETAIL**
S2 SCALE: 1" = 1'-0"



2B **DECK FASTENING DETAIL**
S2 SCALE: 1" = 1'-0"

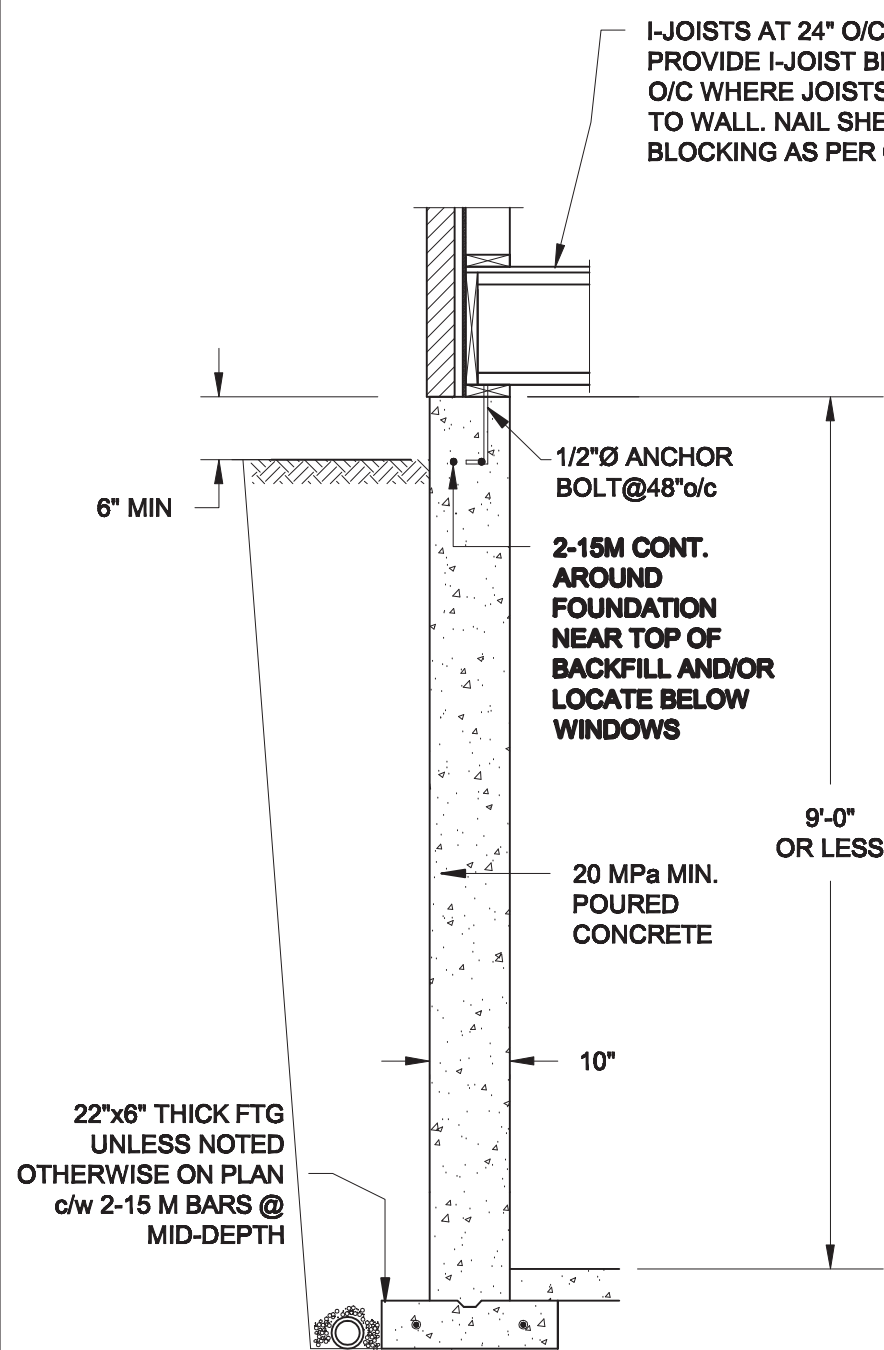
- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



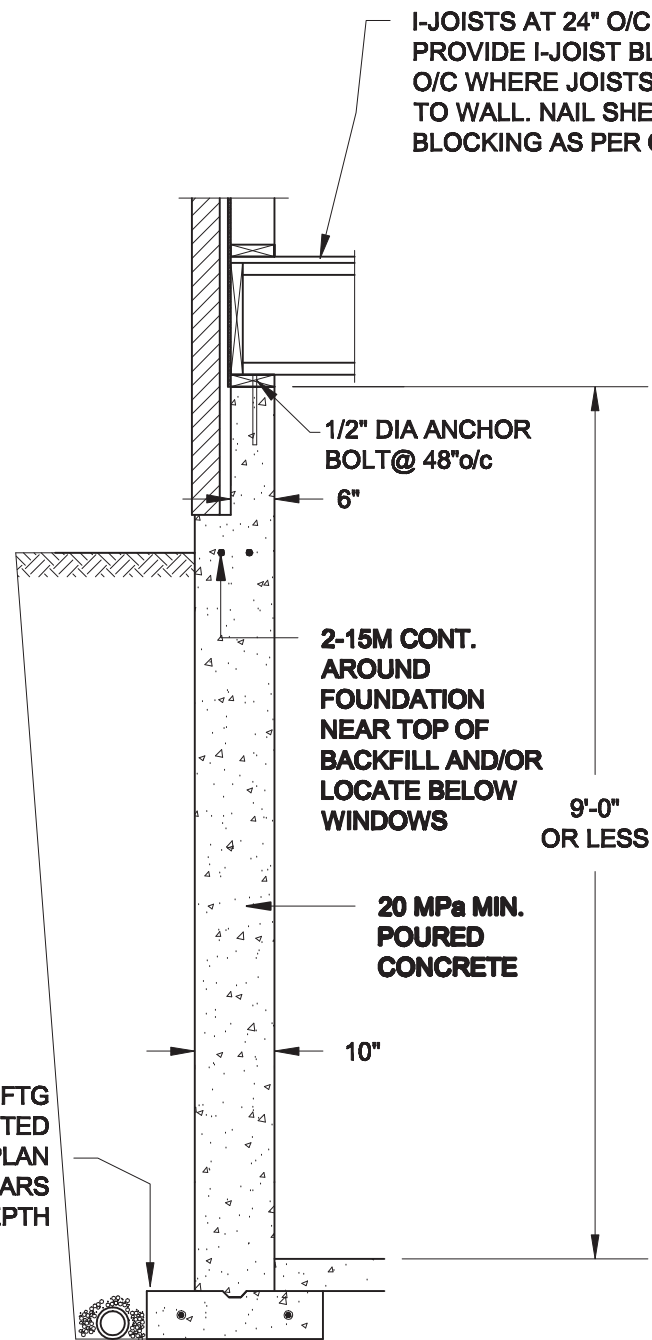
3A **BEAM CONNECTION**
S2 SCALE: 1 1/2" = 1'-0"

3B **BEAM CONNECTION**
S2 SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  APR 22, 2021	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: APR-30-2021				TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB			Project No.: 21-065	Drawing No.: S2



1A
S3 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"

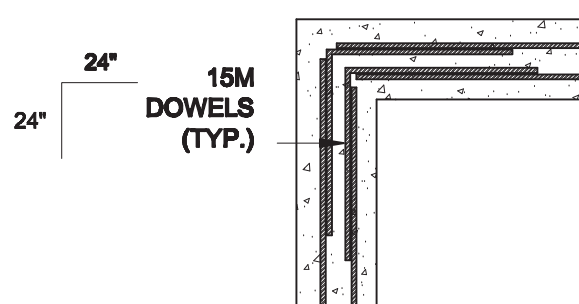


1B
S3 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE FULL-HEIGHT 2-15M
VERTICALLY AT EACH SIDE +
2-15M HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).



1C
S3 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

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Engineer's Seal



APR 22, 2021

Project:

**BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO**

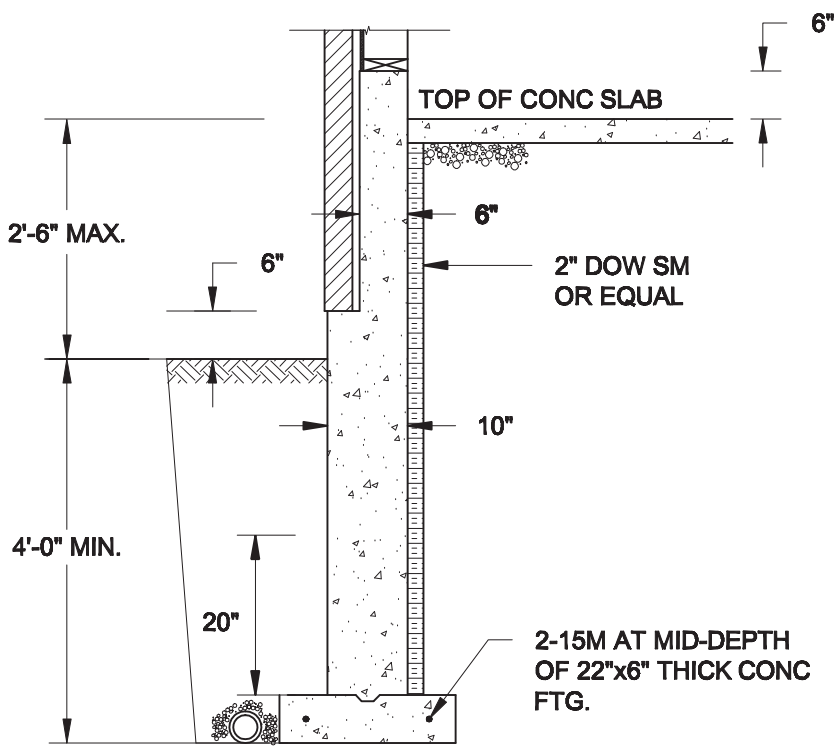
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

21-065

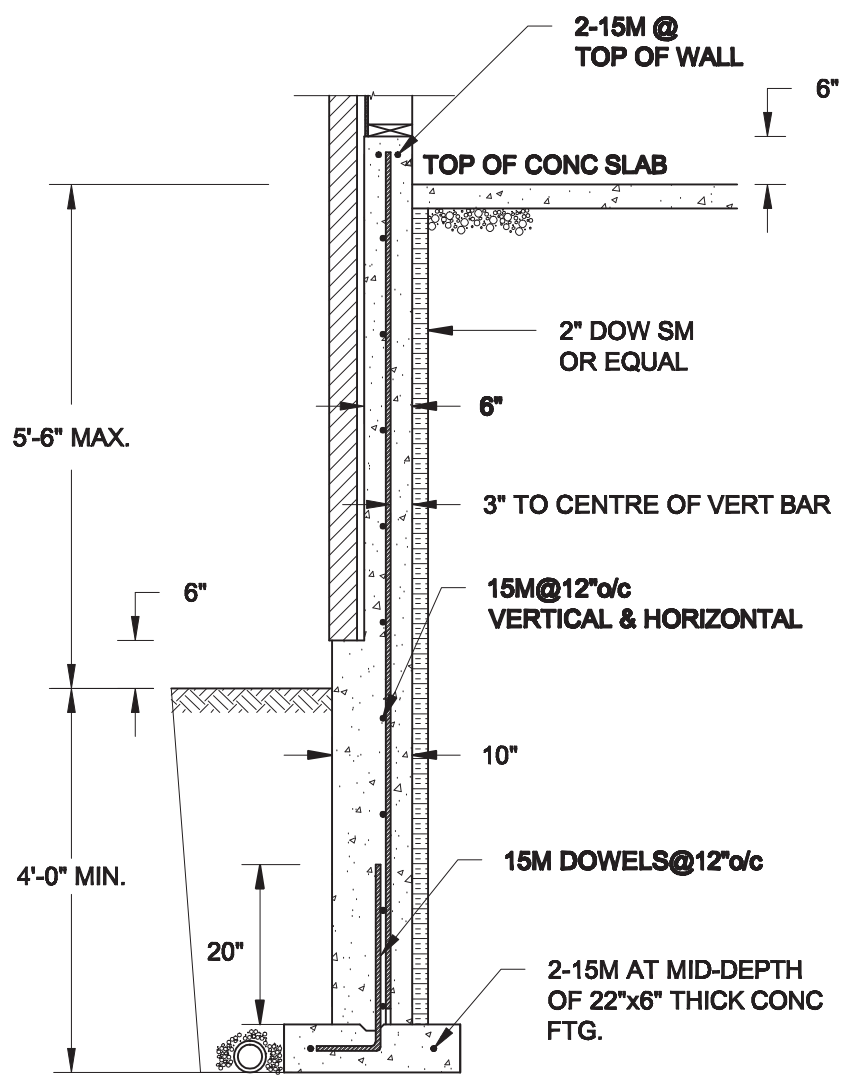
Drawing No.:

S3





1A
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

- NOTE:**
- 1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 - 2. CONCRETE TO HAVE 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
 - 3. REINFORCING BARS TO BE GRADE 400 DEFORMED STEEL.
 - 4. PROVIDE 3" COVER TO SOIL MINIMUM.



1B
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	Engineer's Seal  APR 22, 2021	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO
Date: APR-20-2021			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB		Project No.: 21-065	Drawing No.: S4