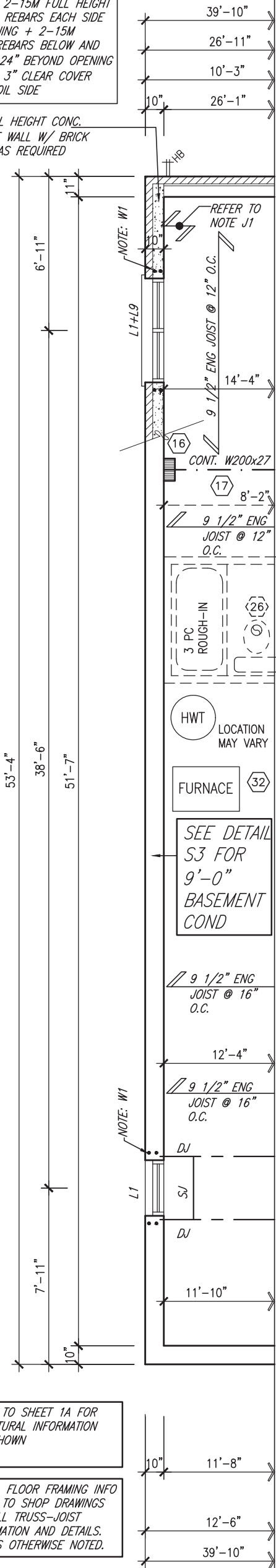


NOTE W1
PROVIDE 2-15M FULL HEIGHT
VERTICAL REBARS EACH SIDE
OF OPENING + 2-15M
HORIZ. REBARS BELOW AND
EXTEND 24" BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

10" FULL HEIGHT CONG.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED



REFER TO SHEET 1A FOR
STRUCTURAL INFORMATION
NOT SHOWN

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

PART. BASEMENT PLAN 'B'

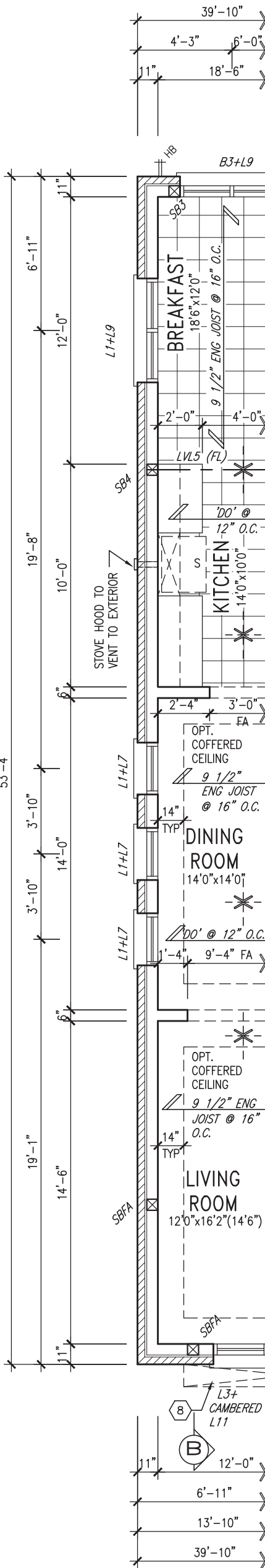
AREA CHART ON PAGE 4

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

PART. GROUND FLOOR PLAN 'B'



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg



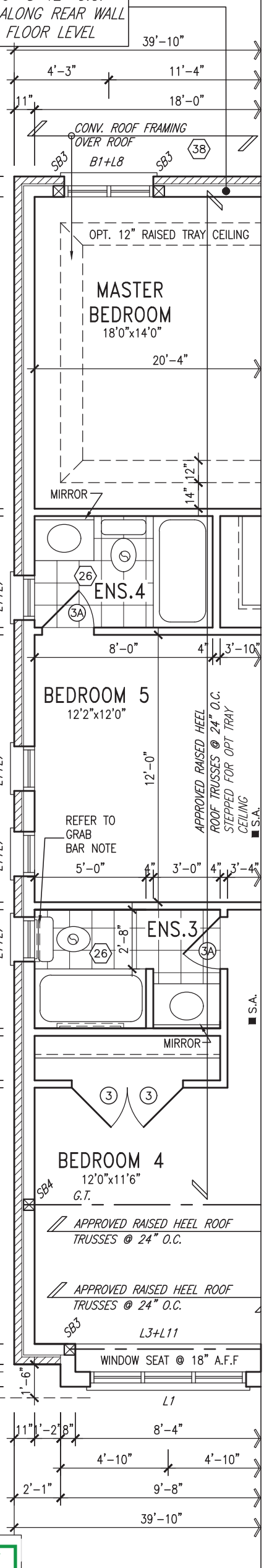
APR 22, 2021

GRAB BAR NOTE:
**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
building drawings submitted for approval.
If a building or lot is located on a lot that is
not a lot, the lot owner must submit a
plan to the Architect for approval.
This is to certify that the plans comply
with the applicable Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
building drawings submitted for approval.
If a building or lot is located on a lot that is
not a lot, the lot owner must submit a
plan to the Architect for approval.

PROVIDE 2"x6" @ 12" O.C.
STUD WALL ALONG REAR WALL
@ SECOND FLOOR LEVEL



PART. SECOND FLOOR PLAN 'B'

LOT 11

9	.	.	.
8	.	.	.
7	REV AS PER ENG COMMENTS	APR 22-21	RC
6	CREATE SIDE/REAR UPGRADE FOR LOT 11	APR. 13/21	WT
5	ADD 9'0" BASEMENT PLAN	APR. 13/21	WT
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			S48-3 GOLDENEYE 3		
project name ALCONA		municipality INNISFIL, ONTARIO		project no. 13049	
date NOV. 2015		PART. FLOOR PLANS 'B'- LOT 11			drawing no.
drawn by RC	checked by .	scale 3/16" = 1'-0"	file name 13049-S48-3	19	
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\48\13049-S48-3.dwg - Thu - Apr 22 2021 - 6:29 AM					



FRONT ELEVATION 'B' - LOT 11

ROOF PLAN 'B'
UPGRADE LOT 11

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: APR 22, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
U/S GARAGE FOOTING
FIN BASEMENT FLOOR

project name		project no.		drawing no.	
BAYVIEW WELLINGTON		S48-3		13049	
ALCONA		GOLDENEYE 3		20	
municipality		project no.		drawing no.	
INNISFIL, ONTARIO		13049		20	
date		drawn by		checked by	
NOV. 2015		RC		RC	
scale		file name		date	
3/16" = 1'-0"		13049-S48-3		APR 22 2021 - 6:29 AM	
drawn by		checked by		date	
RC		RC		APR 22 2021 - 6:29 AM	
description		no.		date	
7 REV AS PER ENG COMMENTS		6		APR 22-21 RC	
8 CREATE SIDE/REAR UPGRADE FOR LOT 11		5		APR 13/21 WT	
9 ADD 9'0" BASEMENT PLAN		4		APR 13/21 WT	
10 REVISED AS PER EN COMMENTS		3		AUG 14-17 RC	
11 REVISED FDN WALLS TO BE 10"		2		DEC 20/16 SB	
12 REVISED INSULATION AT STAIRS		1		SEPT 19/16 SB	
13 ISSUED FOR CLIENT REVIEW		1		APR 22 2021 - 6:29 AM	



APR 22, 2021

LOT 11

1'-0"



APR 22, 2021

1'-6"

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: APR 22, 2021
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PREFINISHED METAL ROOF
W/ RAISED SEAMS

PROVIDE MIN. 6" FLASHING
BEHIND STUCCO (TYP.)

12:12

STUCCO FINISH

6"x16" RAISED
STUCCO ACCENT

17'-7"

17'-7"

12:12

ASPHALT SHINGLES

6:12

1"x6" ALUM. CLAD
FRIEZE BD.

PREFINISHED METAL
ROOF W/ RAISED
SEAMS

16:12

16:12

5'-2"

FG

FG

FG

FG

BRICK VENEER

PRECAST CONC. HEADER
W/ 1/2" PROJ.

FG

FG

FG

PRECAST CONC. SILL
W/ 1/2" PROJ.

FG

FG

FG

56"x60"
FG

8'-4"
TOP OF WINDOW

56"x60"
FG

PRECAST CONC. SILL
W/ 1/2" PROJ.

FG

FG

FG

30"x16"

RWL

POURED CONC. PORCH
SLAB AND DOOR SILL

TOP OF PLATE

TOP OF WINDOW

STUCCO FINISH

4" STUCCO SILL

6'-10"

8'-1"

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

1'-0"

8" STUCCO
BRACKET

12:12

1'-0"

CONT. PRECAST CONC. SILL
STONE VENEER W/ 1/2"
PROJECTION (TYP.)

6'-10"

FIN. GROUND FLOOR

FIN. GRADE

TOP OF WINDOW

7'-10"

9'-11"

FIN BASEMENT FLOOR

WALL AREA 1265.10 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 88.56 SQ. FT.
OPENING PROVIDED 86.25 SQ. FT.
(GLASS AREA FROM CATALOGUE)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

UPGRADED LEFT SIDE ELEVATION 'B' - LOT 11

LOT 11

S48-3
GOLDENEYE 3

BAYVIEW WELLINGTON

ALCONA

VA3
DESIGN

25591
BCIN
42658

Wellington Jno-Baptiste
VA3 Design Inc.

APR 22-21 RC
APR 13/21 WT
APR 13/21 WT
AUG 14-17 RC
DEC 20/16 SB
SEPT 19/16 SB

7 REV AS PER ENG COMMENTS
6 CREATE SIDE/REAR UPGRADE FOR LOT 11
5 ADD 9'0" BASEMENT PLAN
4 REVISED AS PER EN COMMENTS
3 REVISED FDN WALLS TO BE 10"
2 REVISED INSULATION AT STAIRS
1 ISSUED FOR CLIENT REVIEW

project no.
13049

municipality
INNISFIL, ONTARIO

project name
LEFT SIDE ELEVATION B - LOT 11

date
NOV. 2015

drawn by
RC

checked by
RC

scale
3/16" = 1'-0"

drawing no.
21

file name
13049-S48-3

drawn by
RC

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.



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APPROVED BY: _____
DATE: APR 22, 2021

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Design Guidelines only and bears no further
professional responsibility.

BAYVIEW WELLINGTON

project name	municipality	project no.
ALCANIA	ININISCI	17010

ALCUNA	INNISFIL, UNIARIU	drawing no.	13043
--------	-------------------	-------------	-------

22

file name	-S48-3
-----------	--------

130

A3

DESIGN

253 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

Ontario Building Code to be a Designer.
qualification information

Wellington Jno-Baptiste 25591

name	signature	BCIN
registration information		

VA3 Design Inc. 42658

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

00	00	-	-	-
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	7	REV AS PER ENG COMMENTS		APR 22-21	RC

6	CREATE SIDE/REAR UPGRADE FOR LOT 11	APR. 13/21	WT
---	-------------------------------------	------------	----

5	ADD 90 BASEMENT PLAN	APR. 13/21	WI
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC

3	REVISED FDN WALLS TO BE 10"		DEC 20/16	SB
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2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB
1	ISSUED FOR CLIENT REVIEW	.

no.	description	date	by
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RIGHT SIDE ELEVATION 'B' - LOT 11

LOT 11

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S48-3 ELEVATION B LOT 11	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	802 S.F.	189.167 S.F.	23.59 %
LEFT SIDE	1274 S.F.	124.667 S.F.	9.79 %
RIGHT SIDE	1193 S.F.	75.000 S.F.	6.29 %
REAR	1106 S.F.	292.778 S.F.	26.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4375.00 S.F.	681.61 S.F.	15.58 %
TOTAL SQ. M.	406.45 S.M.	63.32 S.M.	15.58 %



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: APR 22, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S48-3 GOLDENEYE 3		BAYVIEW WELLINGTON	
project no. 13049	project name ALCONA	municipality INNISFIL, ONTARIO	date NOV. 2015
drawing no. 23	file name 13049-S48-3	checked by RC	drawn by RC
UPGRADED REAR ELEVATION B - LOT 11			
scale 3/16" = 1'-0"			

VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCIN
name
VAS Design Inc. 42658
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7	REV AS PER ENG COMMENTS	APR 22-21 RC	
6	CREATE SIDE/REAR UPGRADE FOR LOT 11	APR 13/21 WT	
5	ADD 9'0" BASEMENT PLAN	APR 13/21 WT	
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3	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		



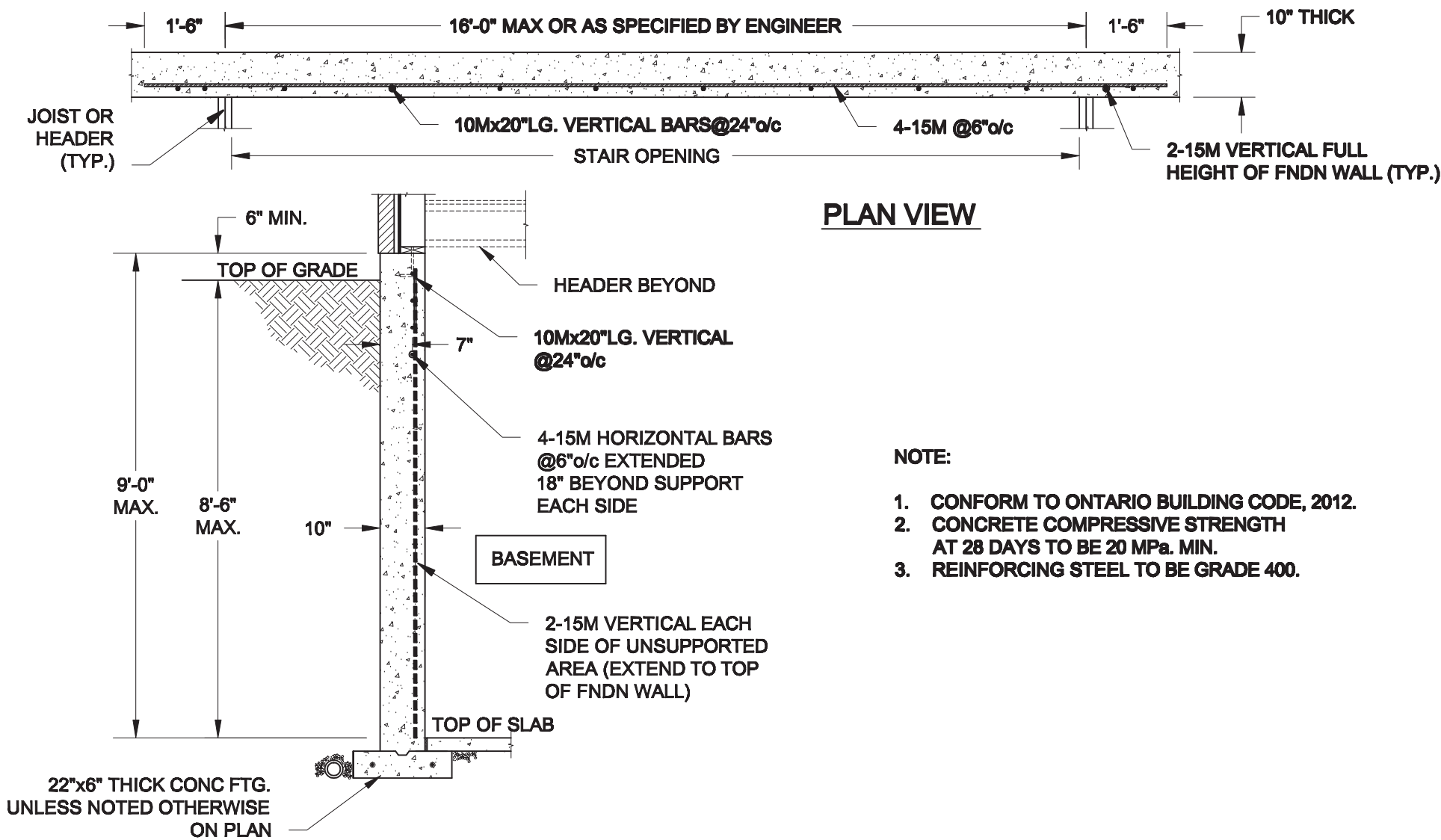
APR 22, 2021

UPGRADED REAR ELEVATION 'B'
W.O.B. COND. - LOT 11

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

LOT 11

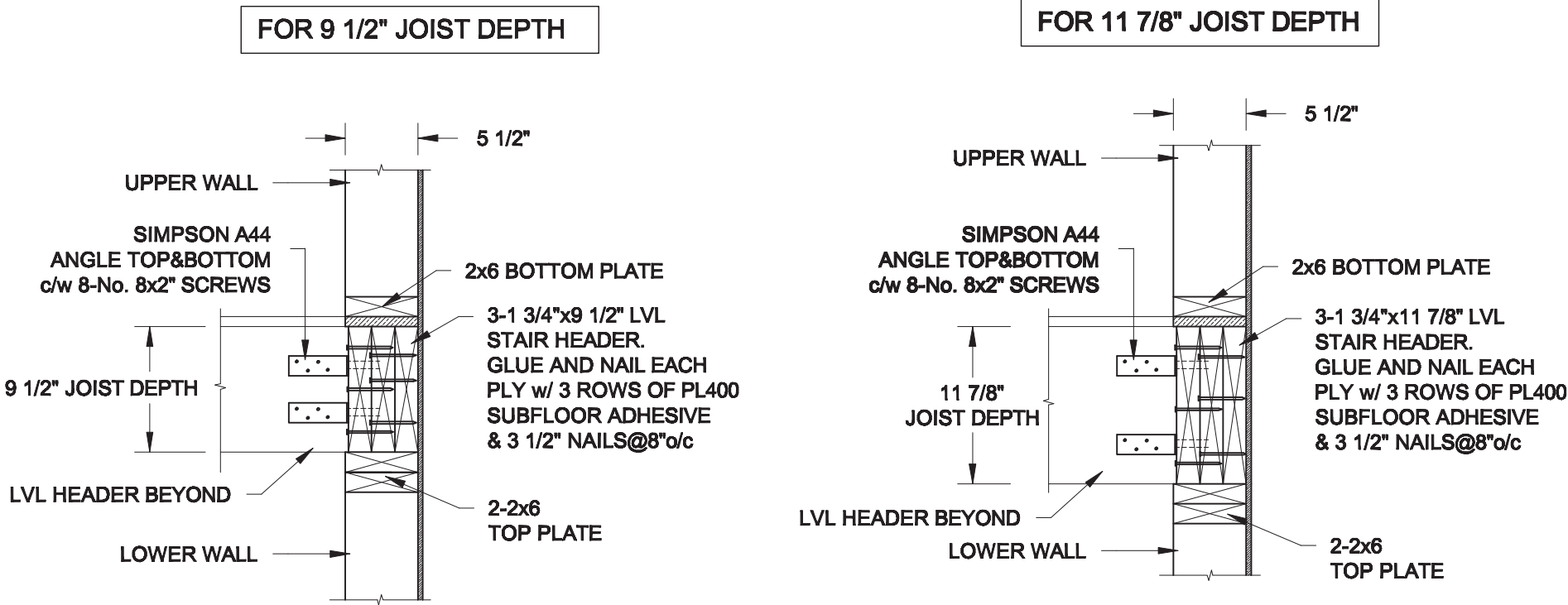
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PLAN VIEW

- NOTE:
- CONFORM TO ONTARIO BUILDING CODE, 2012.
 - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
 - REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL
S1 SCALE: 3/8" = 1'-0"



2 STAIR HEADER @ EXTERIOR WALL
S1 SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
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E: quaille.eng@rogers.com

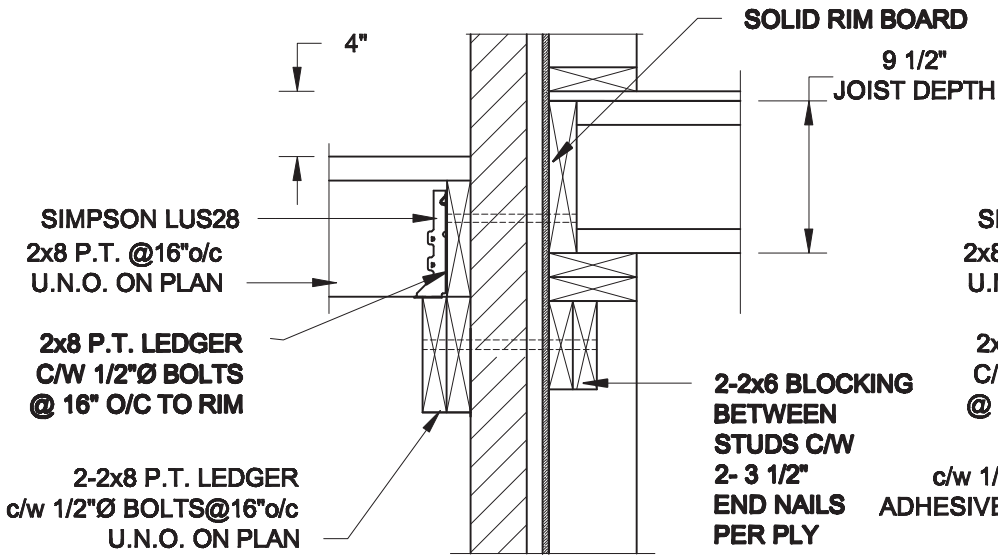


Project:
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

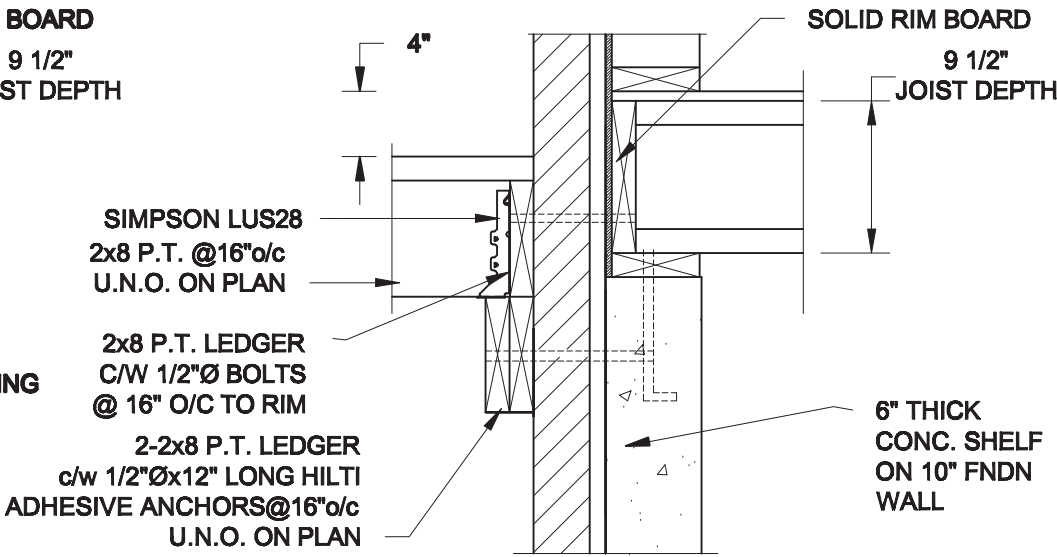
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:
21-065

Drawing No.:
S1

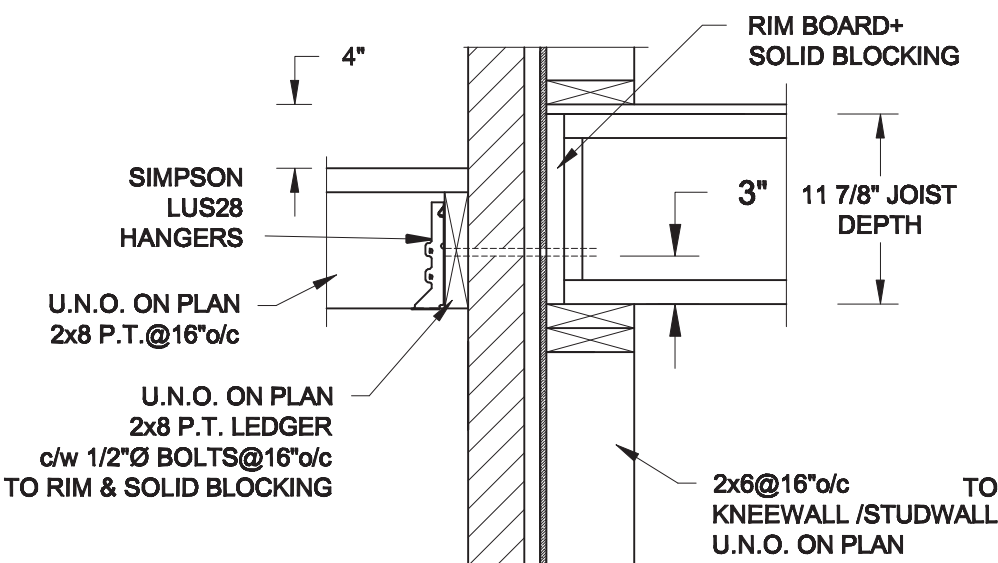


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

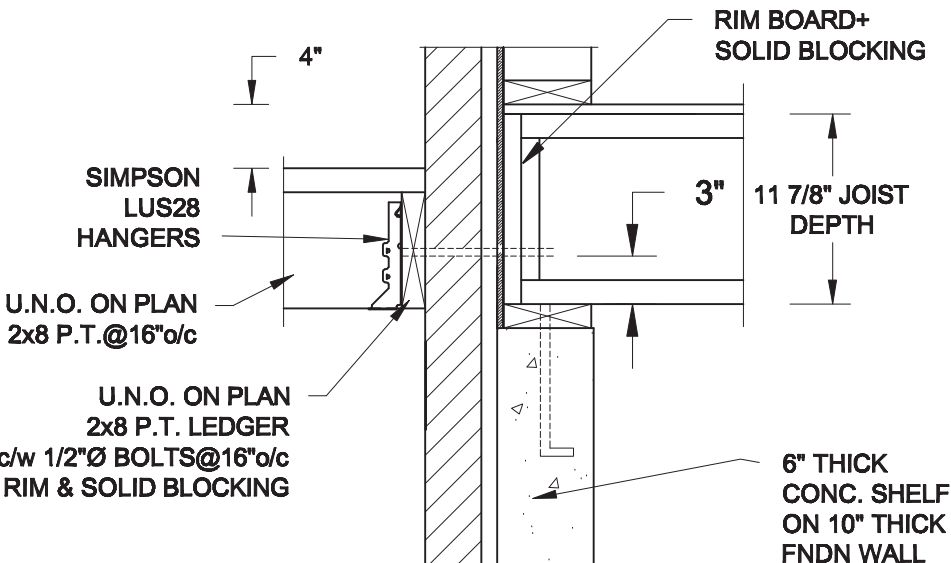


1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

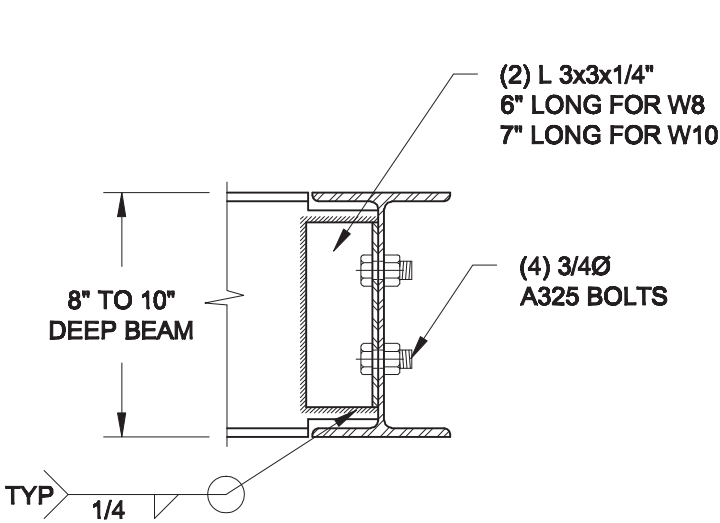


2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



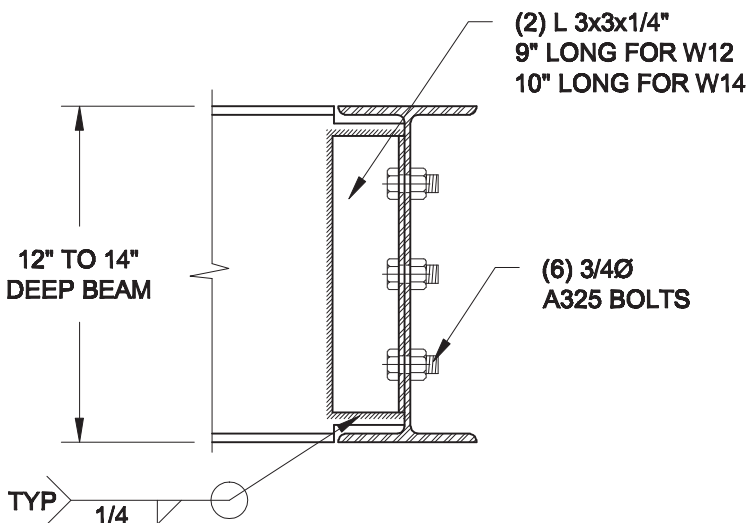
2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

3A BEAM CONNECTION
S2 SCALE: 1 1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3B BEAM CONNECTION
S2 SCALE: 1 1/2" = 1'-0"

Scale:
AS NOTED

Date:
APR-30-2021

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
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Engineer's Seal



APR 22, 2021

Project:

BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

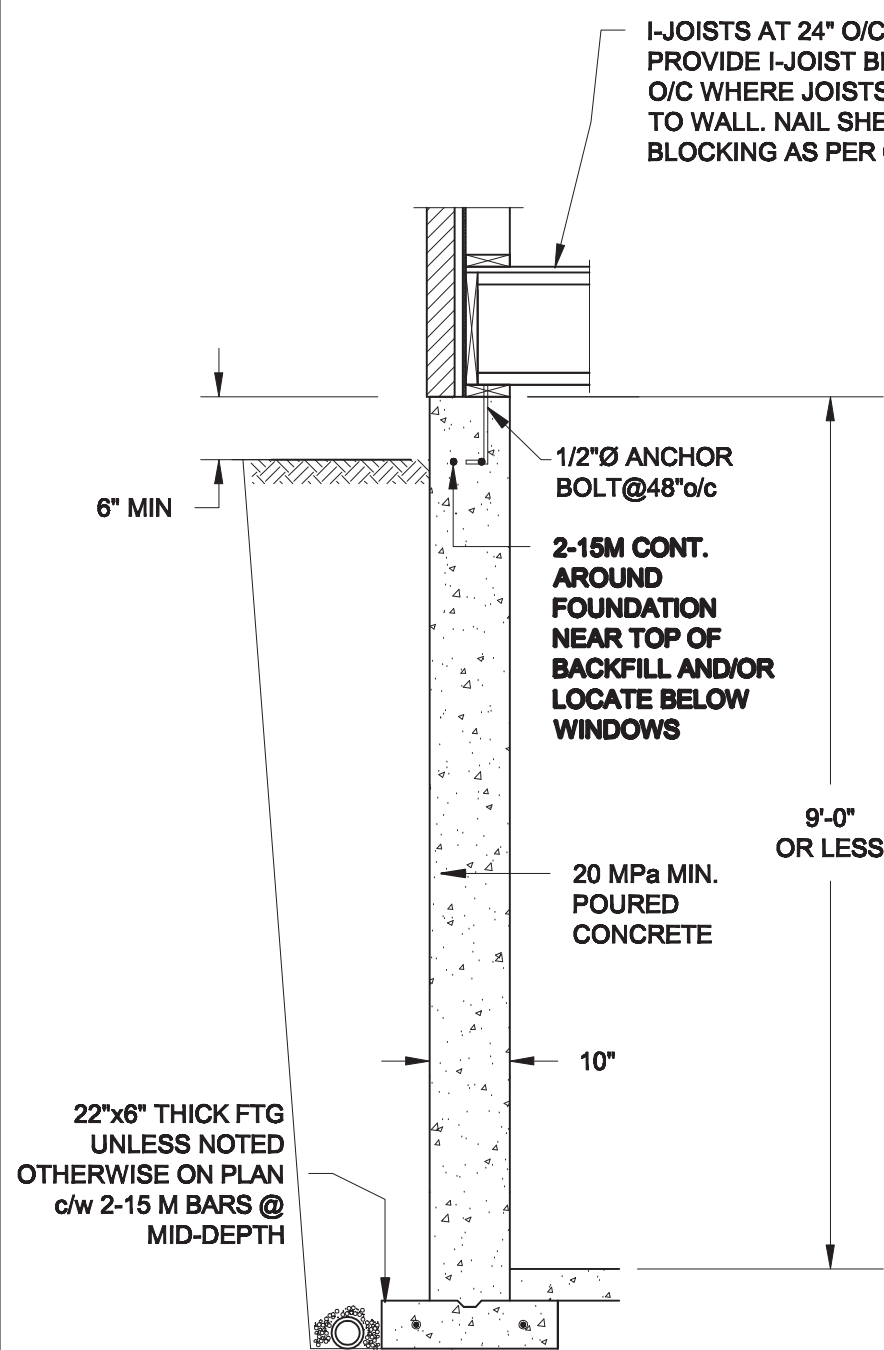
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

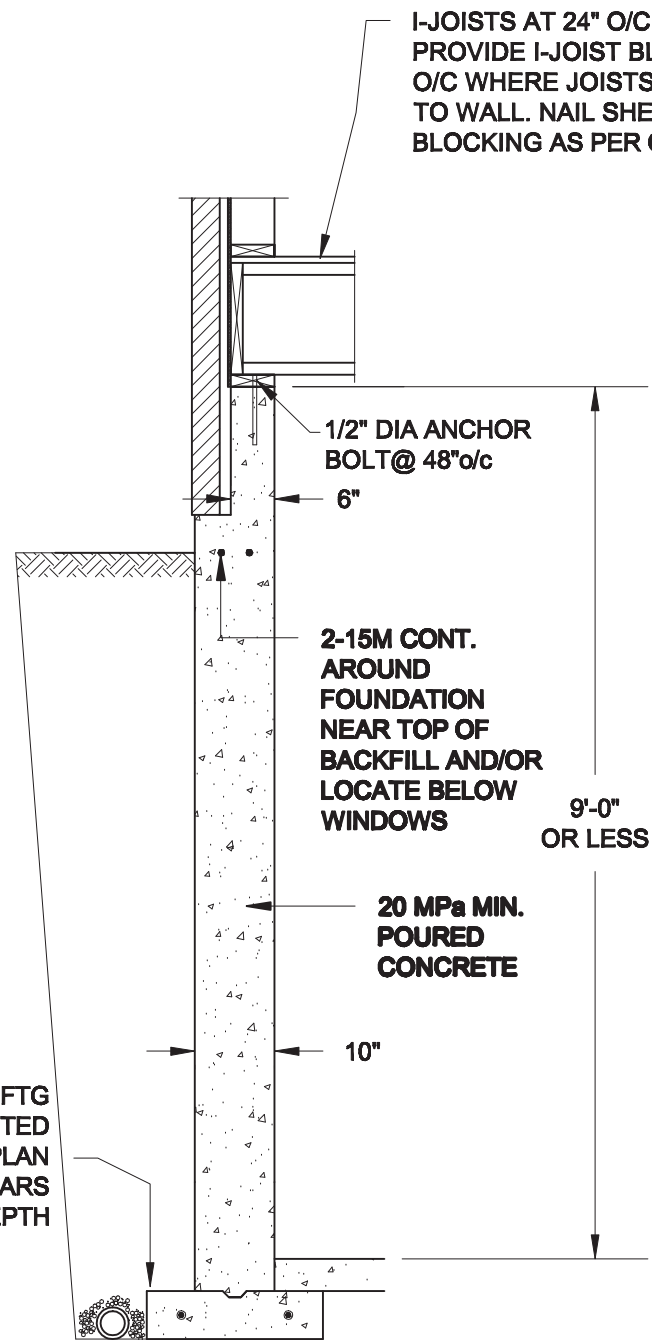
21-065

Drawing No.:

S2



1A
S3 **FOUNDATION WALL**
SCALE: 1/2" = 1' - 0"

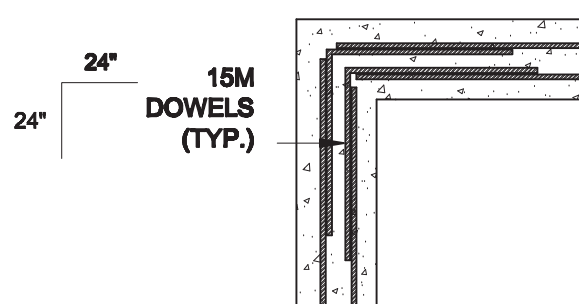


1B
S3 **DROPPED VENEER**
SCALE: 1/2" = 1' - 0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE FULL-HEIGHT 2-15M
VERTICALLY AT EACH SIDE +
2-15M HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).



1C
S3 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



APR 22, 2021

Project:

**BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO**

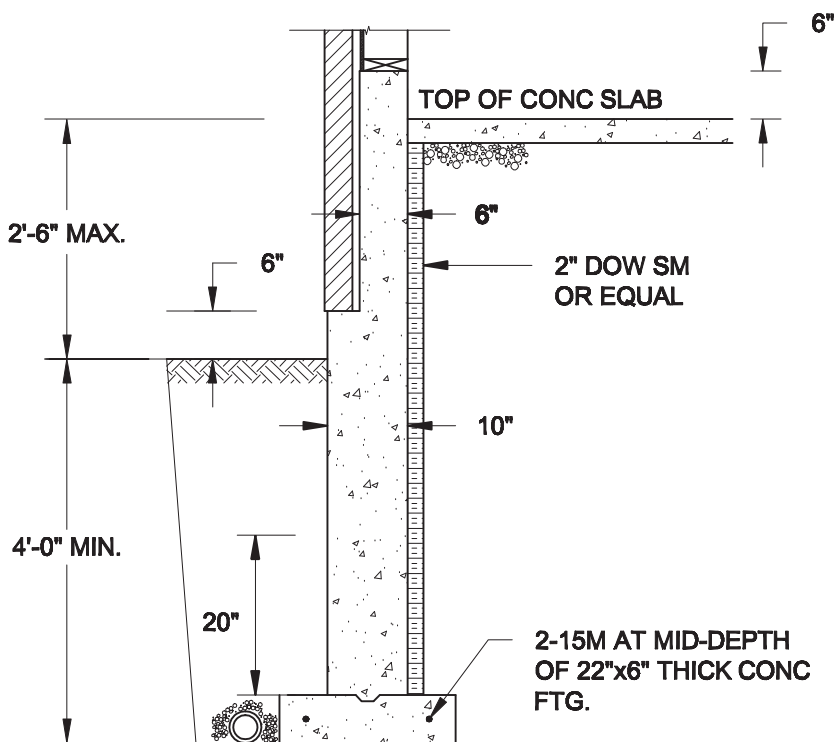
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

21-065

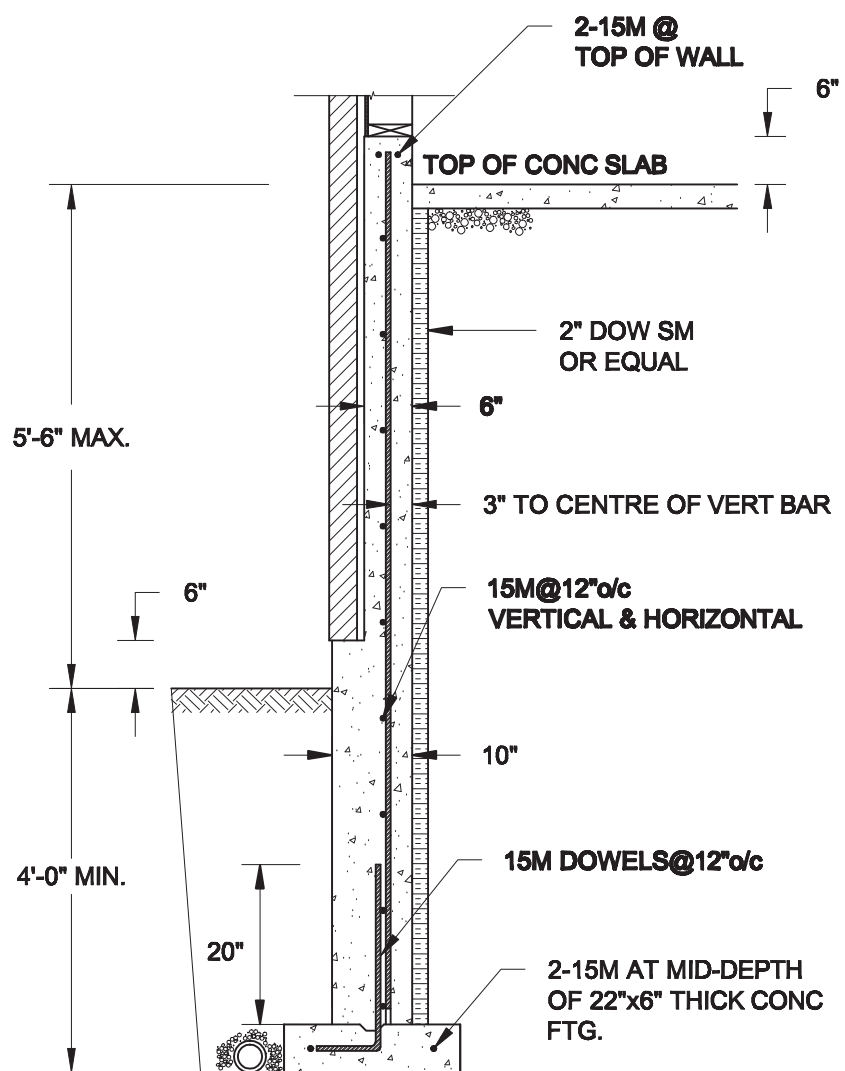
Drawing No.:

S3





1A
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

- NOTE:**
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE TO HAVE 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
 3. REINFORCING BARS TO BE GRADE 400 DEFORMED STEEL.
 4. PROVIDE 3" COVER TO SOIL MINIMUM.



1B
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	Engineer's Seal  APR 22, 2021	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO
Date: APR-20-2021			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB		Project No.: 21-065	Drawing No.: S4