

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

LOT NO. 124
DATE July 16, 2021



ALL DIMENSIONS ARE IN INCHES
UNLESS OTHERWISE NOTED

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED BY: _____
DATE: JUL 19, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

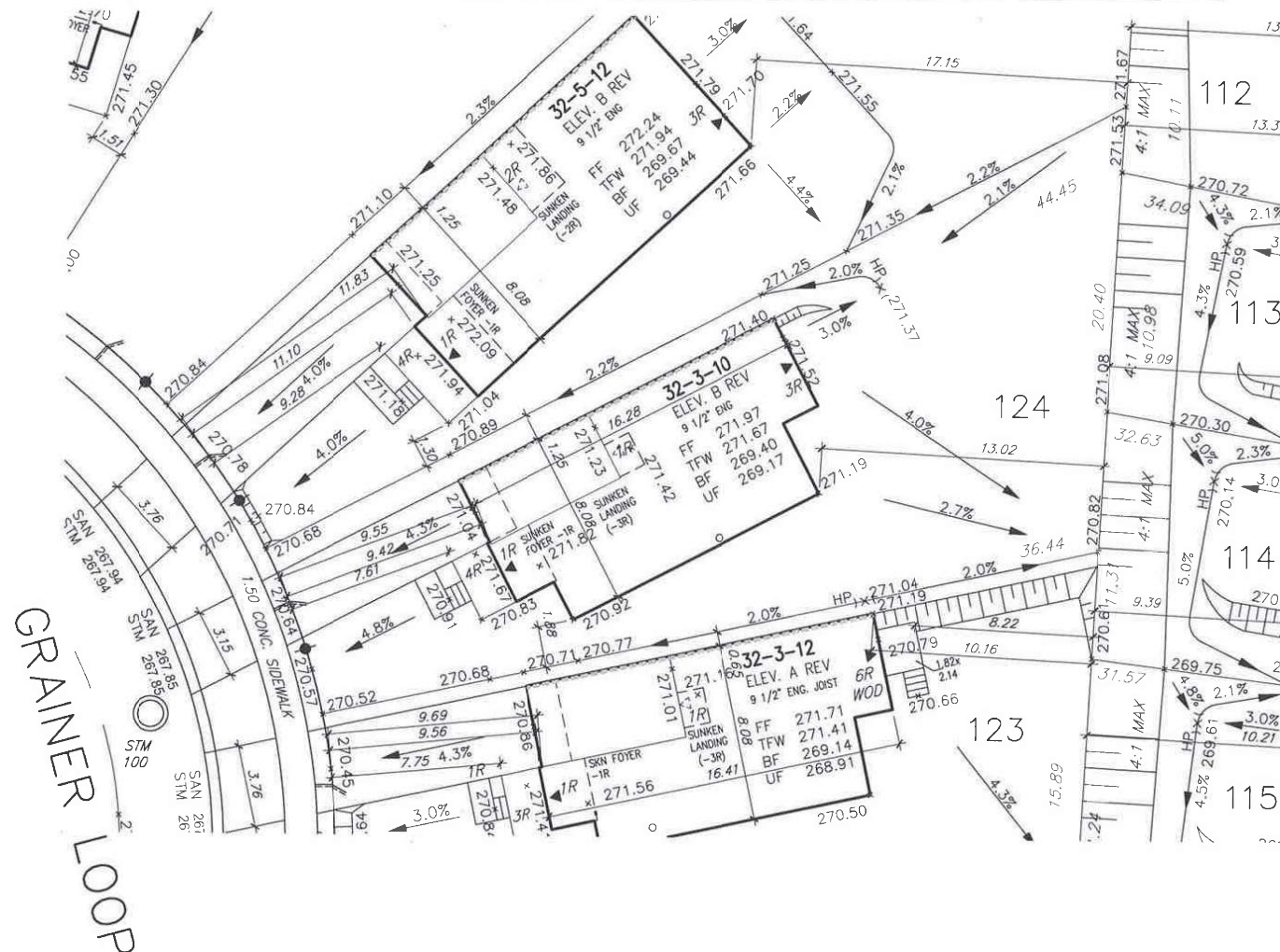
kbayley

Aug 05, 2021



Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIVEWAY	LANDSCAPE	%
124	32-3-10 'B'	533.232 S.M.	127.37 S.M.	23.89 %	271.40+271.52+271.19+270.92+270.83+270.91+271.04)/7= 271.12	8.07	29.77	376.09	70.53



PROPOSED VALVE
 LIGHT POLE
 WATER SERVICE
 DOUBLE STM/SAI, CONNECTION
 SINGLE STM/SAI, CONNECTION
 CATCH BASIN
 CABLE TELEVISION PEDESTAL
 BELL PEDESTAL
 HYDRANT
 TRANSFORMER
 No. of RISERS
 FINISHED FLOOR ELEVATION
 FINISHED MAIN LEVEL ELEVATION
 FIN. BASEMENT FLOOR ELEVATION
 FT. OF FOUNDATION WALL
 UNDERSIDE FOOTING AT FRONT
 UNDERSIDE FOOTING AT REAR
 UNDERSIDE FOOTING AT SIDE
 W.O.D. WALK OUT DECK
 W.O.B. WALK OUT BASEMENT
 REV. REVERSE PLAN
 STREET SIGN
 MAIL BOX
 RETAINING WALL
 CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
 ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
 WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 HYDRO SERVICE LATERAL
 HYDRO METER
 GAS METER
 SWALE DIRECTION
 EASEMENT
 (3:1 SLOPE unless otherwise noted)
 PROCTOR 3/4" DIA. CLEAR STONE IN THIS AREA
 AIR CONDITIONER REQUIRED
 RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPLASH)
 SIDE WINDOW LOCATION
 DOOR LOCATION
 EXTERIOR DOOR LOCATION
 REDUCE SIDE YARD



BAYVIEW WELLINGTON

V3
DESIGN
155 Consumers Rd. Suite 101
Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
va3design.com

no.	description	date	by
2	REV AS PER ENG COMMENTS		RC
1	ISSUED FOR CLIENT REVIEW	JUN 04 '21	
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