

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO. 38
DATE July 30, 2021



ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

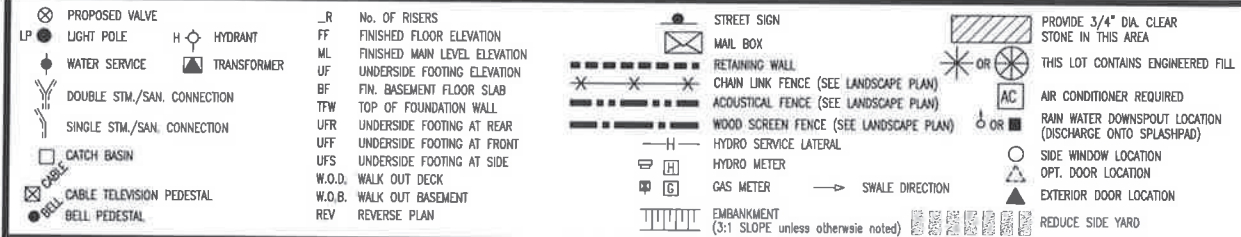
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 30, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

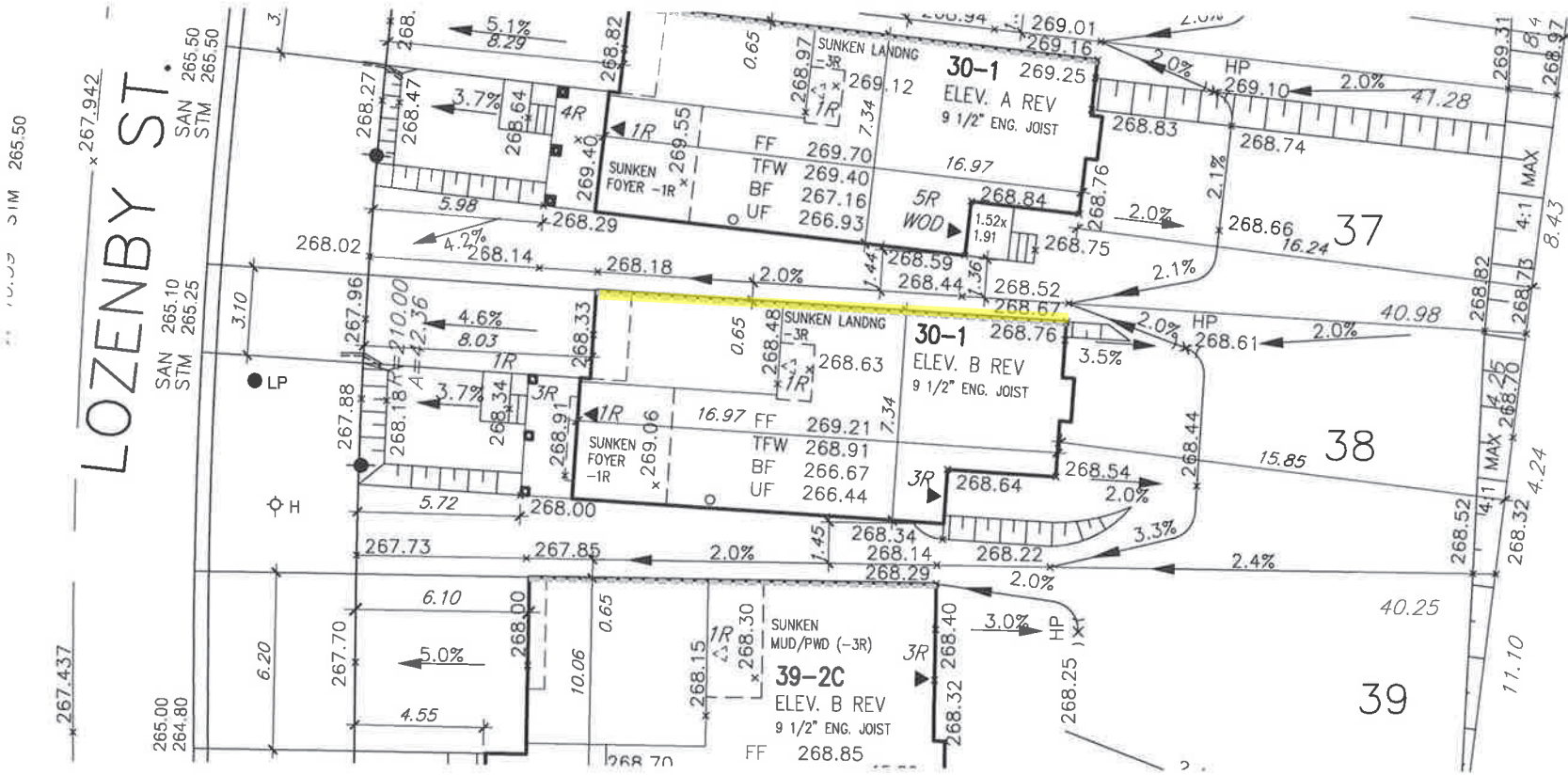
Town of Innisfil
Lot Grading & Zoning Approval
kbayley
Aug 24, 2021
Innisfil

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.



| COVERAGE | | | | | BLD. HEIGHT 9.0M (MAX) | | MIN LANDSCAPE (30%) | | |
|----------|----------|---------------|--------------------|------------|--|--------|---------------------|-----------|-------|
| LOT NO. | MODEL | LOT AREA S.M. | UNIT COVERAGE S.M. | (MAX. 45%) | AVG. GRADE AROUND EXT WALL | HEIGHT | DRIVEWAY | LANDSCAPE | % |
| 38 | 30-1 'B' | 384.917 S.M. | 124.58 S.M. | 32.37 % | (268.67+268.76+268.54+268.64+268.00+268.34+268.33)/7= 268.47 | 7.82 | 24.94 | 235.40 | 61.16 |



UPGRADE EXPOSED ELEVATION(S)
(See Approved Streetscape / Unit Working Drawings)

BAYVIEW WELLINGTON

project name
project no. 38
registered plan no. 13049

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
va3design.com

INNISFIL

project name
project no. 13049

SITE PLAN

date SEP 2017
drawn by RC
checked by RC
scale 1:250
file name 13049-SP-TAB-PH3
no. description
1 ISSUED FOR CLIENT REVIEW
2 REV AS PER ENG COMMENTS
3
4
5
6
7
8
9

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wallingford Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to provide at his own expense. The undersigned is not responsible for any foundation. Drawings NOT to be scaled.
no. description
1 ISSUED FOR CLIENT REVIEW
2 REV AS PER ENG COMMENTS
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