

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: JUL 30, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

Town of Innisfil

Lot Grading & Zoning Approval

kbayley


Aug 24, 2021

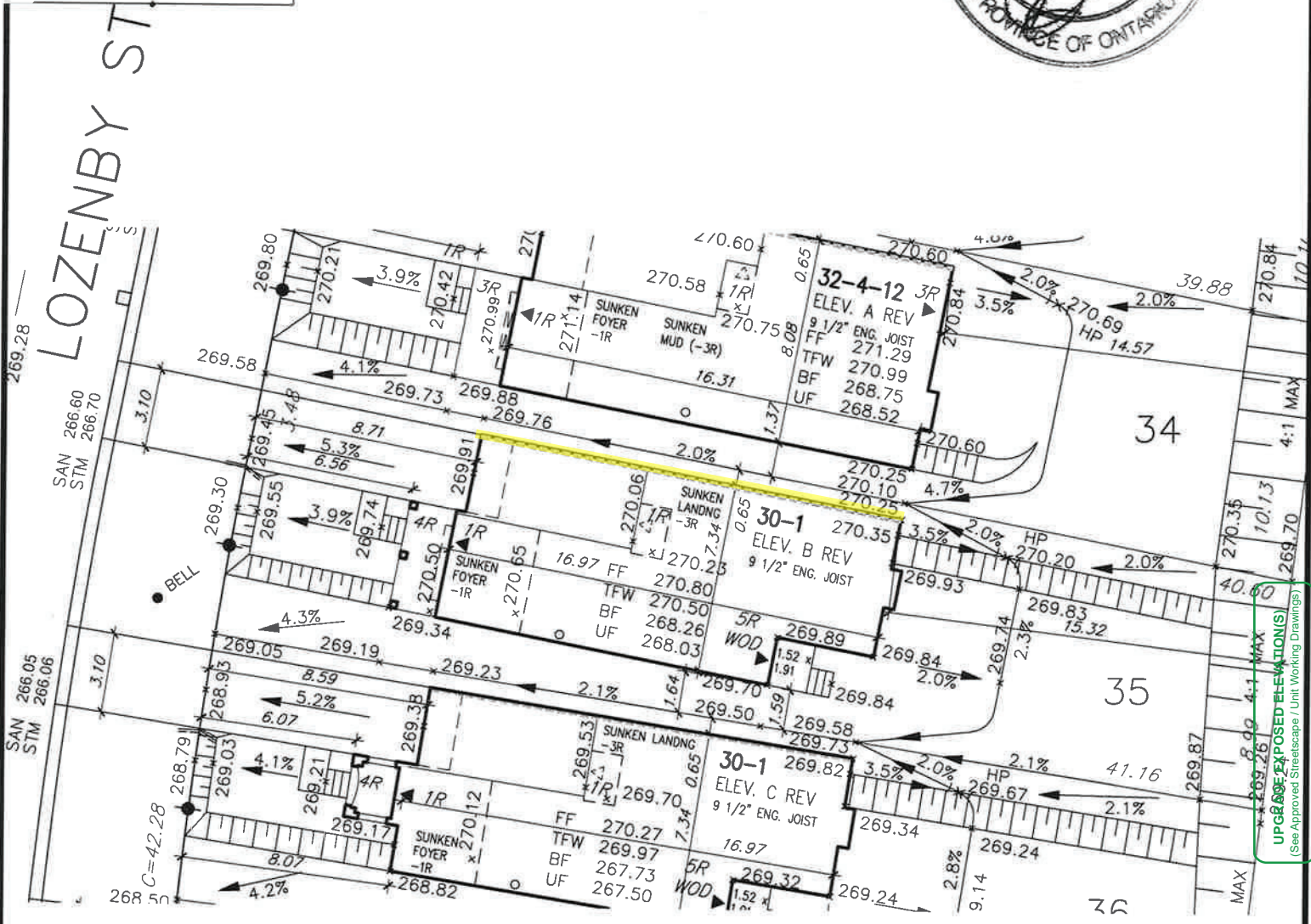
Innisfil

URBAN ECOSYSTEMS LTD., HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO. 35

DATE July 30, 2021





ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIVEWAY	LANDSCAPE	%
35	30-1 'B'	394.907 S.M.	127.48 S.M.	32.28 %	$\frac{270.25+270.35+269.93+269.84+269.89+269.70+269.34+269.74+269.91}{9} = 269.88$	8.00	27.00	240.43	60.88

**Grading Notes:**  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR CLIENT REVIEW JUN 04-21 RC

2 REVISED AS PER ENGS COMMENTS RC

3

PROPOSED VALVE

LP LIGHT POLE

WATER SERVICE

DOUBLE STM./SAN. CONNECTION

SINGLE STM./SAN. CONNECTION

CATCH BASIN

CABLE TELEVISION PEDESTAL

BELL PEDESTAL

H HYDRANT

TRANSFORMER

FF NO. OF RISERS

FINISHED FLOOR ELEVATION

ML FINISHED MAIN LEVEL ELEVATION

UF UNDERSIDE FOOTING ELEVATION

TFW FIN. BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

UFR UNDERSIDE FOOTING AT REAR

UFF UNDERSIDE FOOTING AT FRONT

UFS UNDERSIDE FOOTING AT SIDE

DECK WALK OUT DECK

W.O.B. WALK OUT BASEMENT

REV REVERSE PLAN

STREET SIGN

MAIL BOX

RETAINING WALL

CHAIN LINK FENCE (SEE LANDSCAPE PLAN)

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

HYDRO METER

GAS METER

EMBANKMENT (3:1 SLOPE unless otherwise noted)

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

OPT. DOOR LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

VA3 DESIGN

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Wellington Jno-Baptiste

signature

25591

BCIN

42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.

Builder to verify service connection elevations prior to constructing foundations. \*\* Drawings NOT to be scaled \*\*

BAYVIEW WELLINGTON

project name

ALCONA SHORES

date

SEP 2017

checked by

RC

scale

1:250

municipality

INNISFIL

lot/block no.

35

registered plan no.

13049

project no.

13049

drawing no.

1

SITE PLAN

file name

13049-SP-TAB-PH3

date

Fri - Jul 30 2021 - 9:33 AM

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