

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED BY:

DATE: JUL 19, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

kbayley

Aug 04, 2021



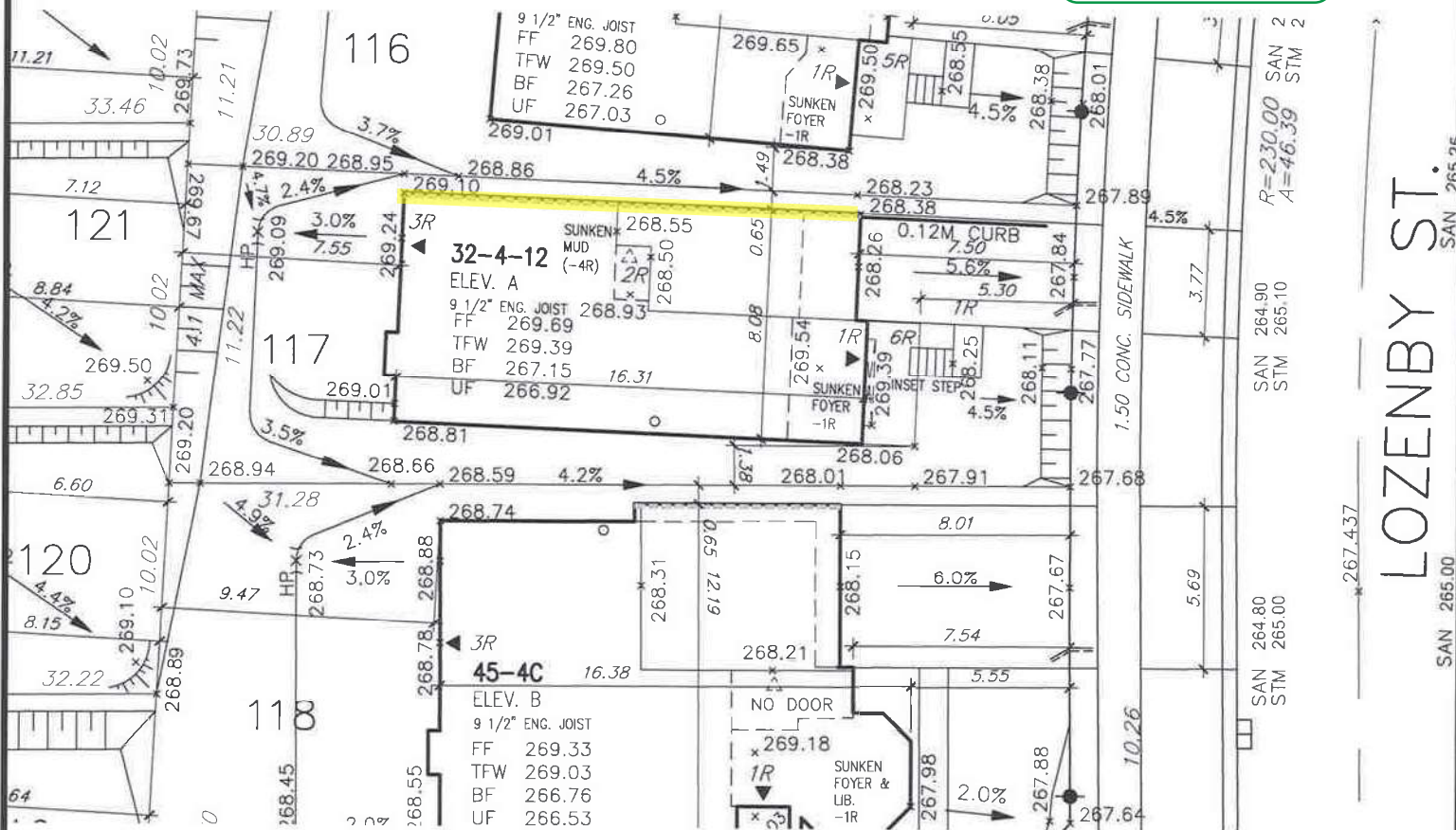
URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS.

LOT NO. 117

DATE July 16, 2021



POURED-IN-PLACE STAIRS WITH MASONRY VENEER ON BOTH SIDES



ALL DIMENSIONS ARE IN METRIC
UNLESS OTHERWISE NOTED

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIVEWAY	LANDSCAPE	%
117	32-4-12 'A'	327.411 S.M.	138.70 S.M.	42.36 %	$\frac{268.38+268.26+268.25+268.06+268.11+269.01+269.24+269.10}{8}=268.64$	8.43	28.09	160.62	49.06

Grading Notes:

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

V43 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to V43 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

1 ISSUED FOR CLIENT REVIEW		JUN 04-21		RC	2 REV AS PER ENG'S COMMENTS		RC	3
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☒ PROPOSED VALVE

LP ☒ LIGHT POLE H ☐ HYDRANT

☒ WATER SERVICE ☒ TRANSFORMER

☒ DOUBLE STM./SAN. CONNECTION

☒ SINGLE STM./SAN. CONNECTION

☐ CATCH BASIN

☒ CABLE TELEVISION PEDESTAL

☒ BELL PEDESTAL

JR No. OF RISERS

FF FINISHED FLOOR ELEVATION

ML FINISHED MAIN LEVEL ELEVATION

UF UNDERSIDE FOOTING ELEVATION

BF FIN. BASEMENT FLOOR SLAB

TFW TOP OF FOUNDATION WALL

UFR UNDERSIDE FOOTING AT REAR

UFF UNDERSIDE FOOTING AT FRONT

UFS UNDERSIDE FOOTING AT SIDE

DECK WALK OUT DECK

W.O.B. WALK OUT BASEMENT

REV REVERSE PLAN

STREET SIGN

MAIL BOX

RETAINING WALL

CHAIN LINK FENCE (SEE LANDSCAPE PLAN)

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

HYDRO METER

GAS METER

SWALE DIRECTION

EMBANKMENT

(3:1 SLOPE unless otherwise noted)

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

OPT. DOOR LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

north arrow

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *[Signature]* 25591

name registration information BCIN

VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

lot/block no. 117

registered plan no. -

project name ALCONA SHORES	municipality INNISFIL
date: SEP 2017	
drawn by: RC	checked by: RC
	scale: 1:250
<div style="display: flex; justify-content: space-between;"> RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\SITE PLAN\13049-sp-TAB-PH3.dwg - Thu - Jul 15 2021 - 3:42 PM </div>	

SITE PLAN

file name
13049-SP-TAB-PH3

drawing no.
1

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.

Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled **

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