

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

LOT NO. 57

DATE July 16, 202




ALL DIMENSIONS ARE IN METRIC
UNLESS OTHERWISE NOTED

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the accuracy of approving site plans, plans or building code or permit number or that any house can be properly built or located on its lot.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

DATE: JUL 19, 2021

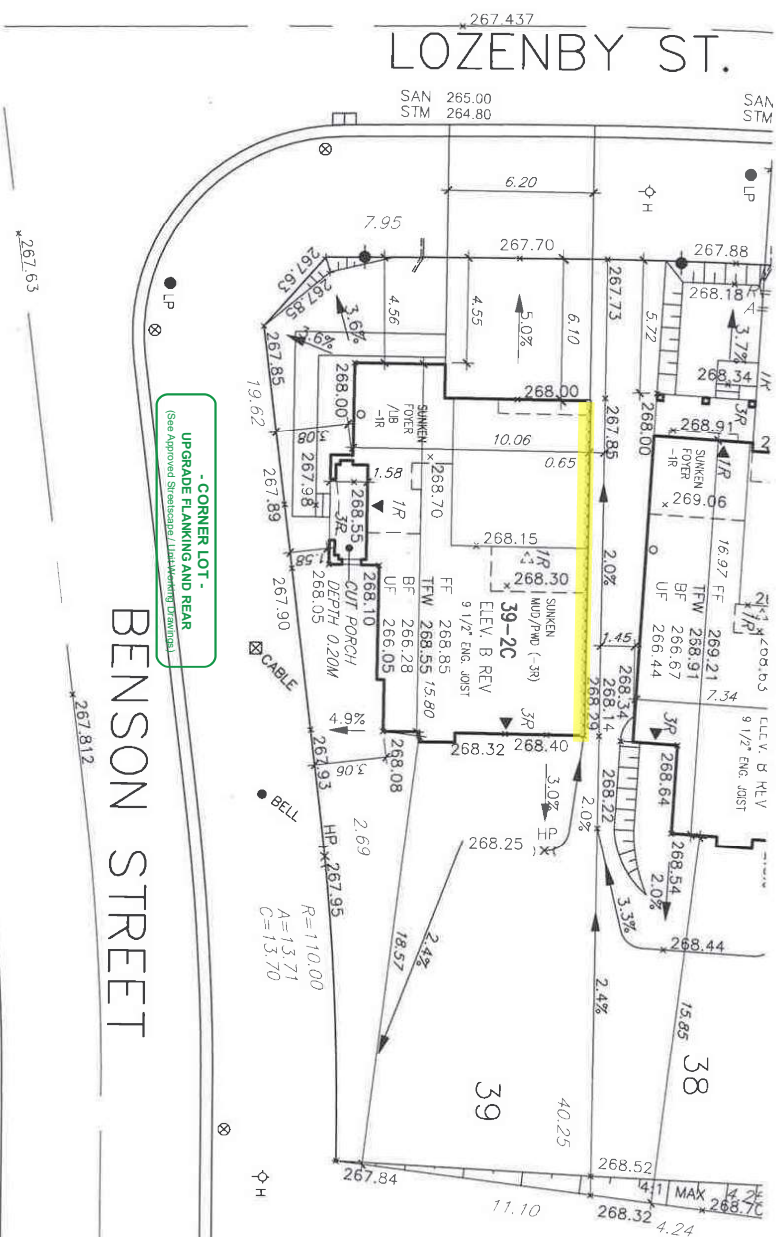
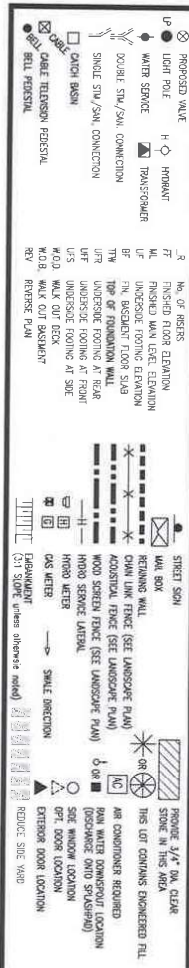
Town of Innisfil
Lot Grading & Zoning Approval
kbayley
Aug 04, 2021

The logo for the Town of Innisfil, featuring a stylized four-pointed star or flower shape in blue and green, followed by the word "Innisfil" in a bold, blue, sans-serif font.

W3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility or cost to W3 Design Inc. Foundation will shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIEWAY	LANDSCAPE	%
39	39-2C 'B'	492.426 S.M.	147.16 S.M.	29.88 %	268.29+268.40+268.33+268.08+268.10+268.05+267.98+268.00+268.00/9	8.25	37.63	307.64	62.47



9			-	-	The undersigned has reviewed and takes responsibility for this design and hen the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
8			-	-	qualification information		
7			-	-			
6			-	-	Wellington Jno-Baptiste	JNB	25591
5			-	-	name	signature	BCIN
4			-	-	registration information		
3			-	-	VAS Design Inc.		42658
2	REV AS PER ENG COMMENTS			RC	Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.		
1	ISSUED FOR CLIENT REVIEW	JUN 04-21		RC	Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled **		
no.	description		date	by			

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON		lot/block no. 39
project name —	municipality INNISFIL	registered plan no. —
date SEP 2017	drawing no. 13049	
drawn by RC	checked by RC	scale 1:250
file name 13049-SP-TAB-PH3		
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\SITE_PLAN\13049-sp-TAB-PH3.dwg - Fri Jul 16 2004 1:35:44 AM		

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