

BASEMENT PLAN 'A' (9'0" BASEMENT)



APR 22, 2021

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	
6	REV AS PER ENG COMMENTS	APR 22-21	RC	Wellington Jno-Baptiste 25591
5	ADD 9'0" BASEMENT PLAN	APR. 12/21	WT	name
4	CREATE SIDE/REAR UPGRADE FOR LOT 1	APR. 12/21	WT	registration information
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16	AJE	VA3 Design Inc. 42658
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S45-1

HUMMINGBIRD 1

project name ALCONA municipality INNISFIL, ONTARIO

project no. 13049

date NOV. 2015

BASEMENT FLOOR PLAN 'A' (9'0" BASMENT)

drawing no.

drawn by RC

checked by

scale 3/16" = 1'-0"

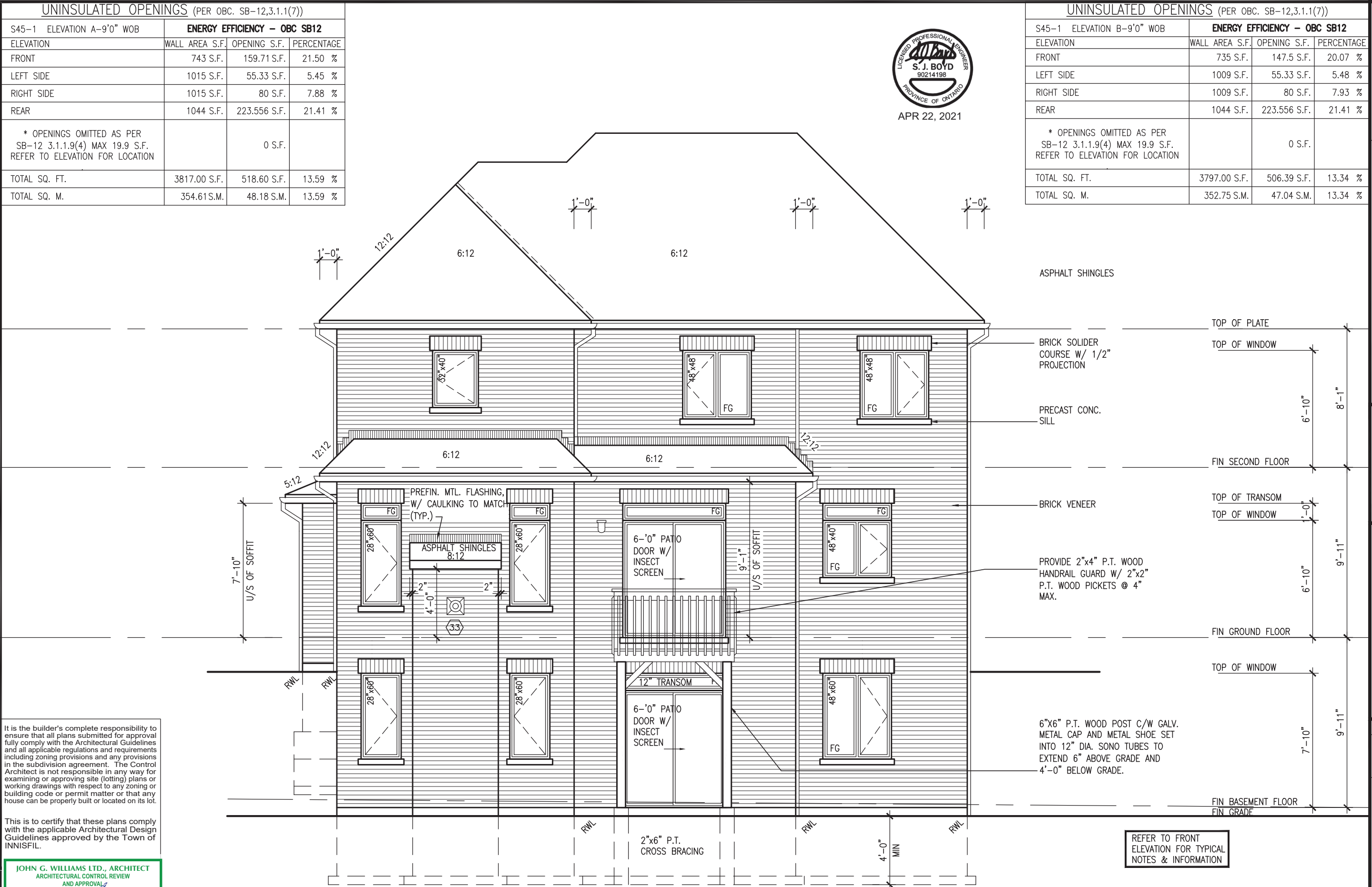
file name 13049-S45-1

1A

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\45\13049-S45-1.dwg - Thu - Apr 22 2021 - 6:09 AM

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S45-1 ELEVATION A-9'0" WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	743 S.F.	159.71 S.F.	21.50 %
LEFT SIDE	1015 S.F.	55.33 S.F.	5.45 %
RIGHT SIDE	1015 S.F.	80 S.F.	7.88 %
REAR	1044 S.F.	223.556 S.F.	21.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3817.00 S.F.	518.60 S.F.	13.59 %
TOTAL SQ. M.	354.61 S.M.	48.18 S.M.	13.59 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S45-1 ELEVATION B-9'0" WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735 S.F.	147.5 S.F.	20.07 %
LEFT SIDE	1009 S.F.	55.33 S.F.	5.48 %
RIGHT SIDE	1009 S.F.	80 S.F.	7.93 %
REAR	1044 S.F.	223.556 S.F.	21.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3797.00 S.F.	506.39 S.F.	13.34 %
TOTAL SQ. M.	352.75 S.M.	47.04 S.M.	13.34 %



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: APR 22, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



S45-1

HUMMINGBIRD 1

BAYVIEW WELLINGTON

ALCONA

project no. 13049

project name HUMMINGBIRD 1

date NOV. 2015

drawn by RC

checked by

scale 3/16" = 1'-0"

drawn by

checked by

scale

drawn by

checked by

scale

project no. 13049

project name HUMMINGBIRD 1

date NOV. 2015

drawn by RC

checked by

scale 3/16" = 1'-0"

drawn by

checked by

scale

drawn by

checked by

scale

VA3 DESIGN

255 Consumers Rd. Suite 120

Toronto, ON M2J 1P4

t 416.630.2255 f 416.630.4782

vo3design.com

Wellington Jno-Baptiste

25591

BCIN

42658

VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

9

8

7

6

5

4

3

2

1

no. description

APR 22-21 RC

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

APR 12/21 WT

REV AS PER ENG COMMENTS

ADD 9'0" BASEMENT PLAN

CREATE SIDE/REAR UPGRADE FOR LOT 1

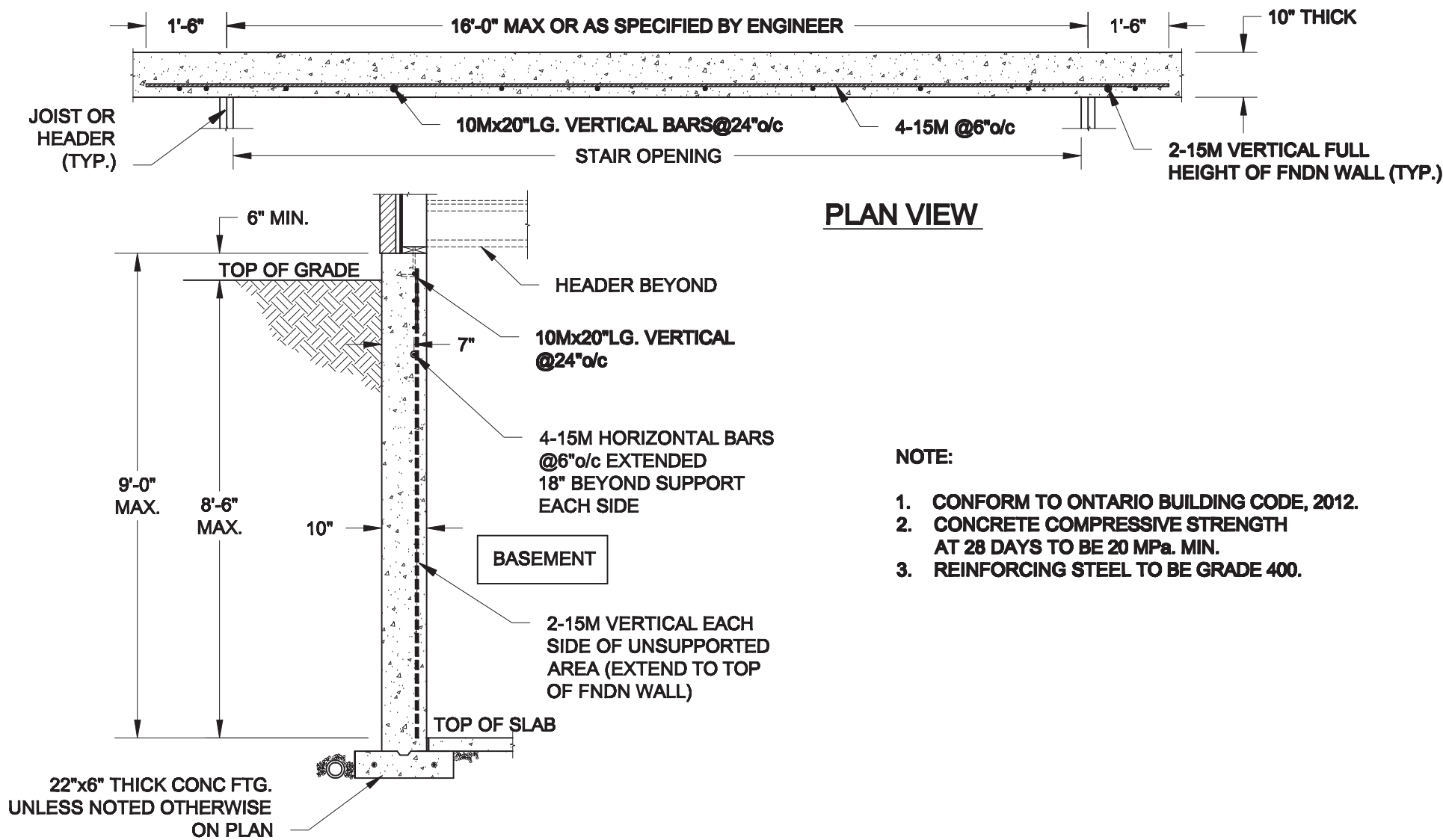
REVISED TO 10" FOUNDATION WALLS

REVISED INSULATION AT STAIRS

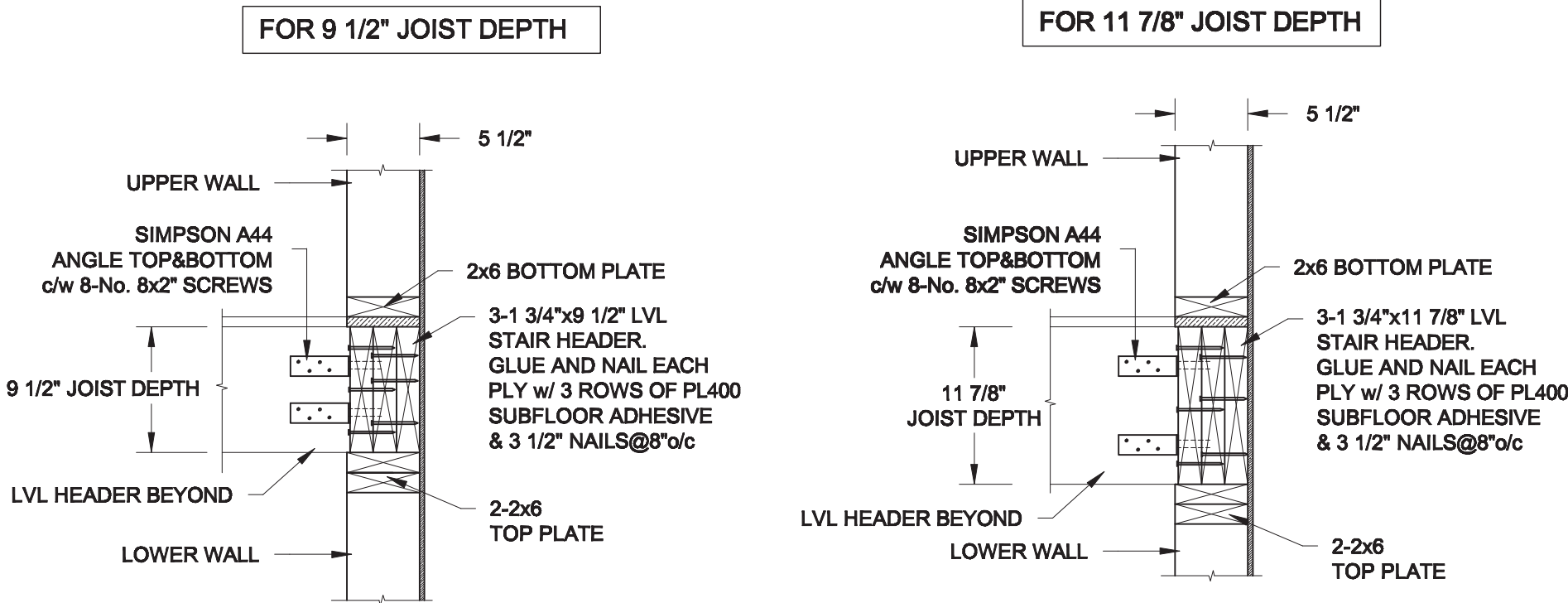
ISSUED FOR CLIENT REVIEW

date

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal:



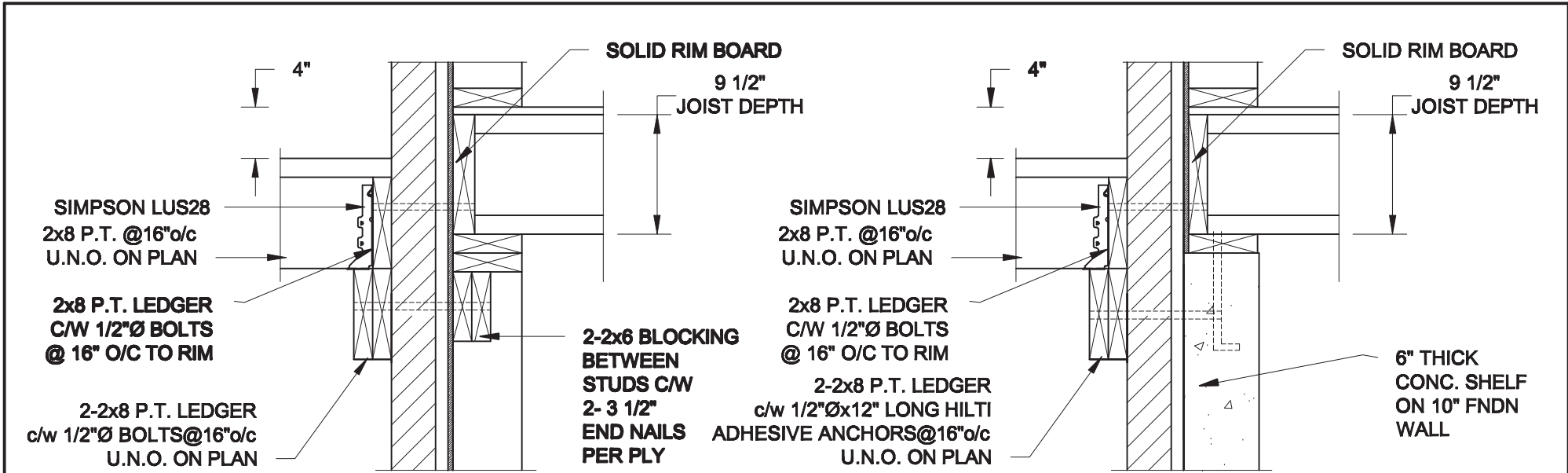
APR 22, 2021

Project:
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:
21-065

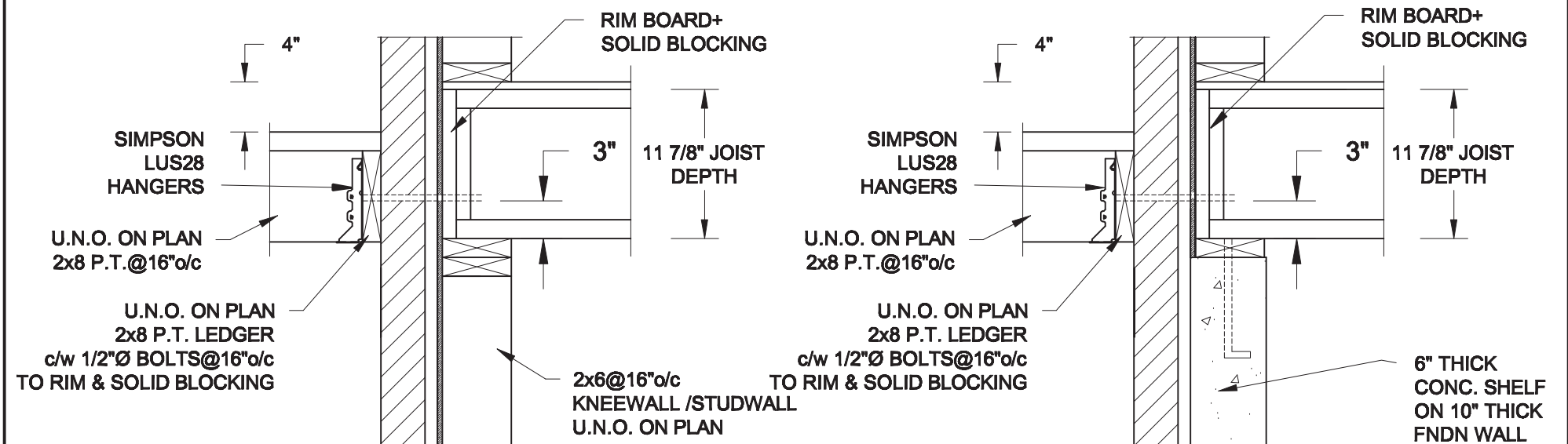
Drawing No.:
S1



1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

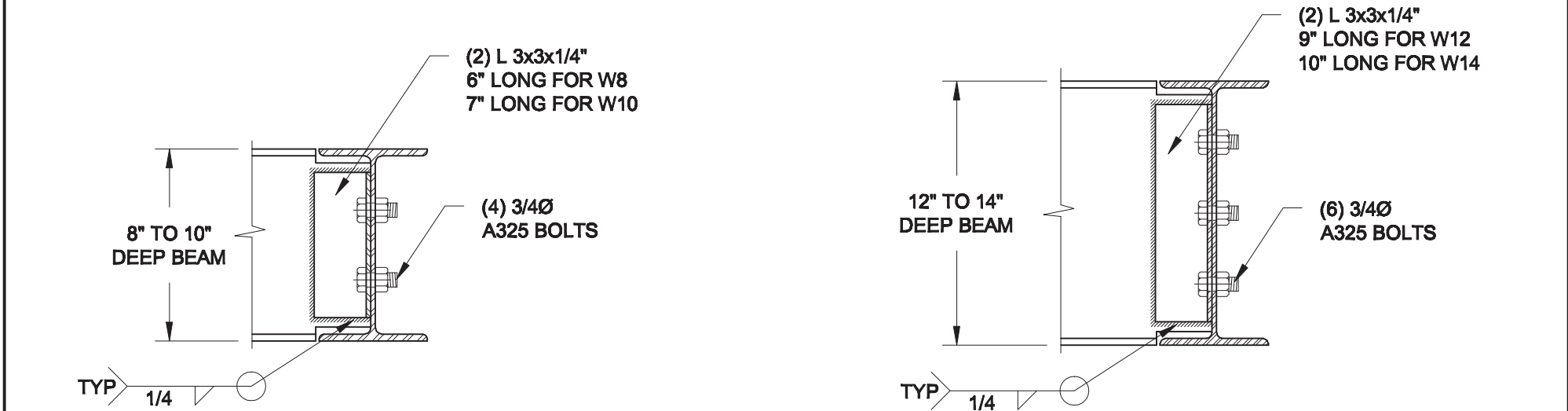
- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



2A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"



2B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

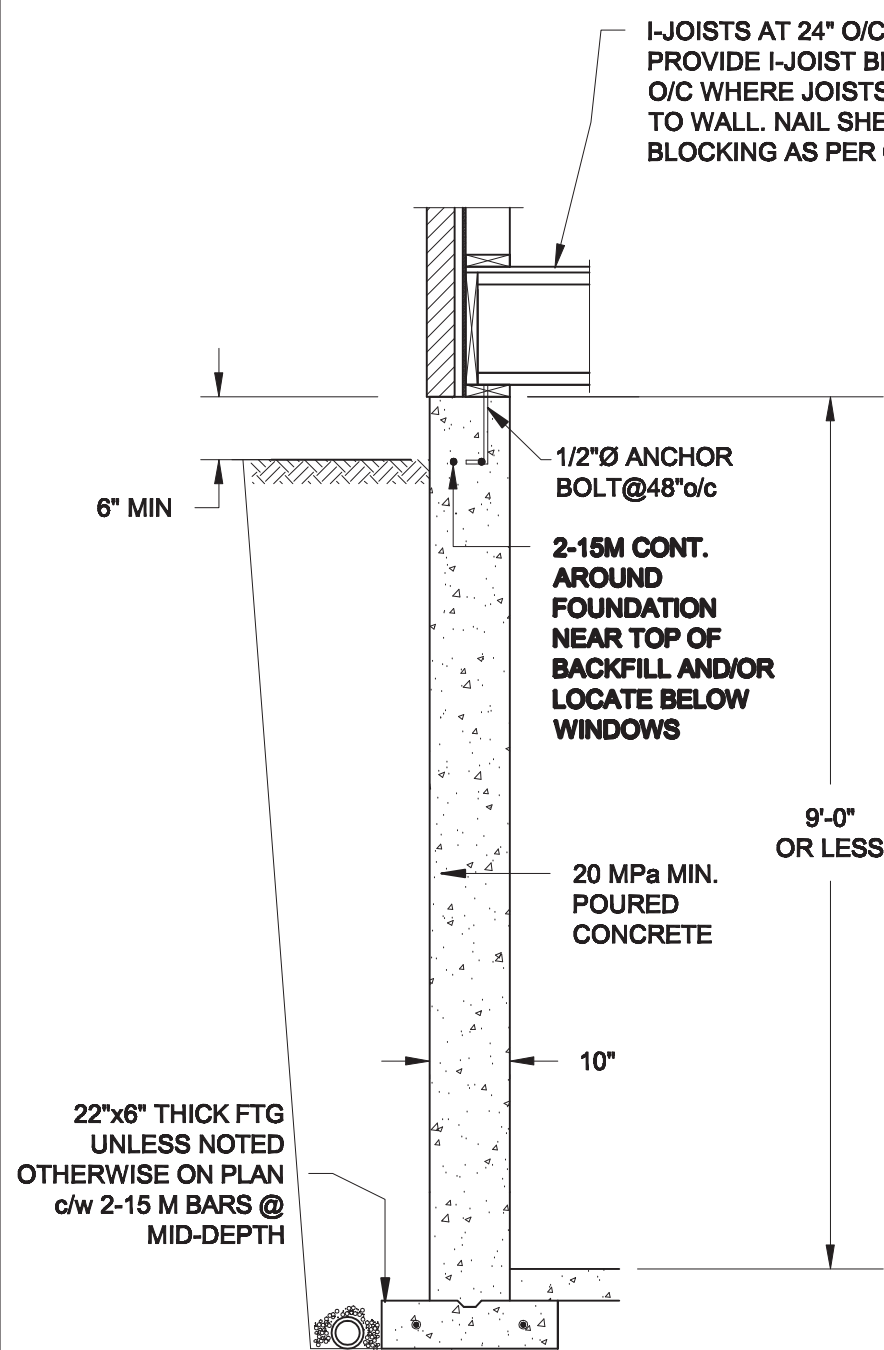
- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



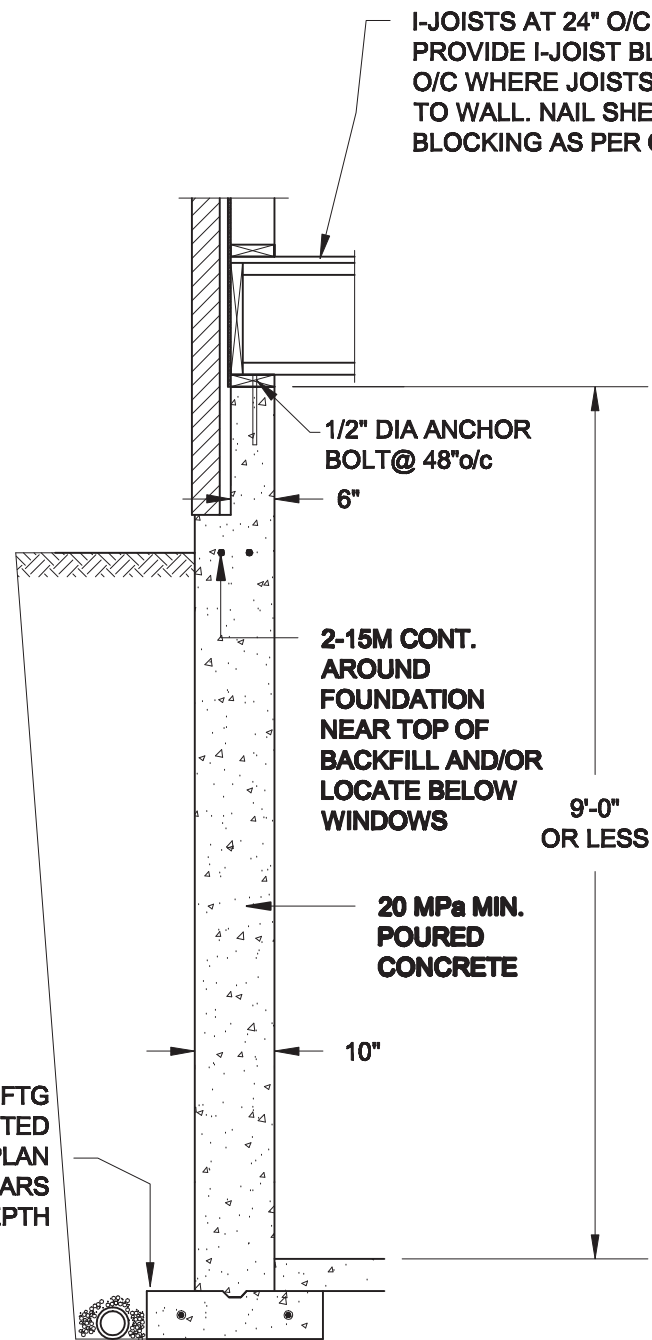
3A
S2 **BEAM CONNECTION**
SCALE: 1 1/2" = 1'-0"

3B
S2 **BEAM CONNECTION**
SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  APR 22, 2021	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: APR-30-2021				TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB			Project No.: 21-065	Drawing No.: S2



1A
S3 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"

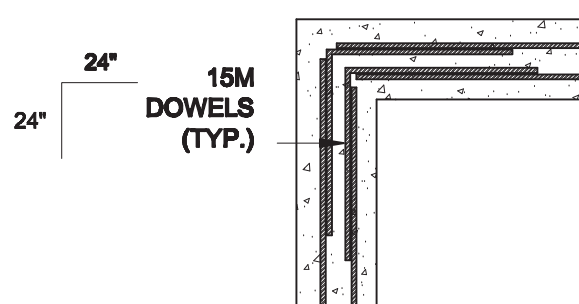


1B
S3 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE FULL-HEIGHT 2-15M
VERTICALLY AT EACH SIDE +
2-15M HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).



1C
S3 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED	
Date: APR-20-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



APR 22, 2021

Project:

**BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO**

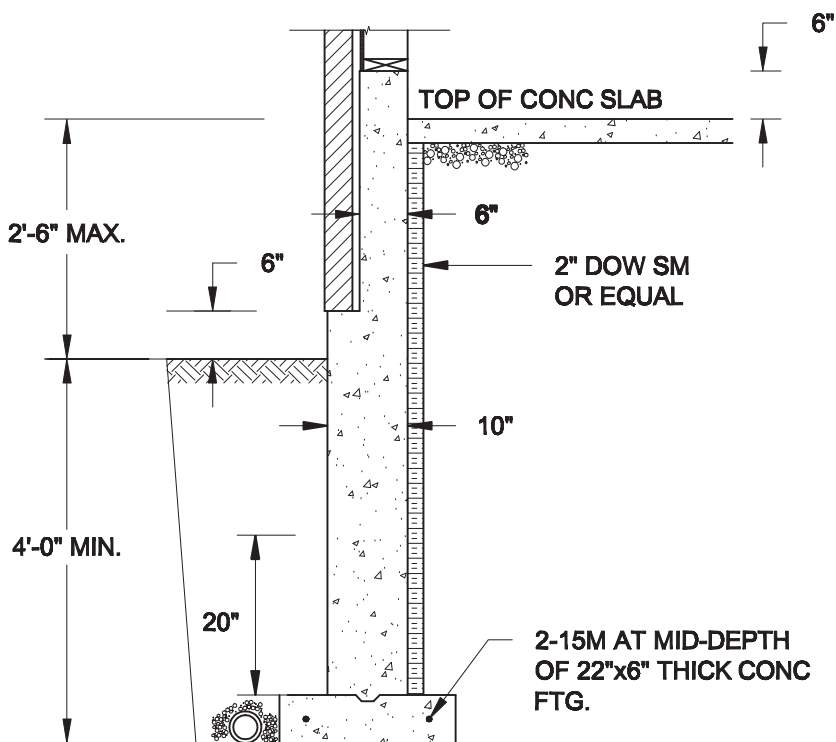
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

21-065

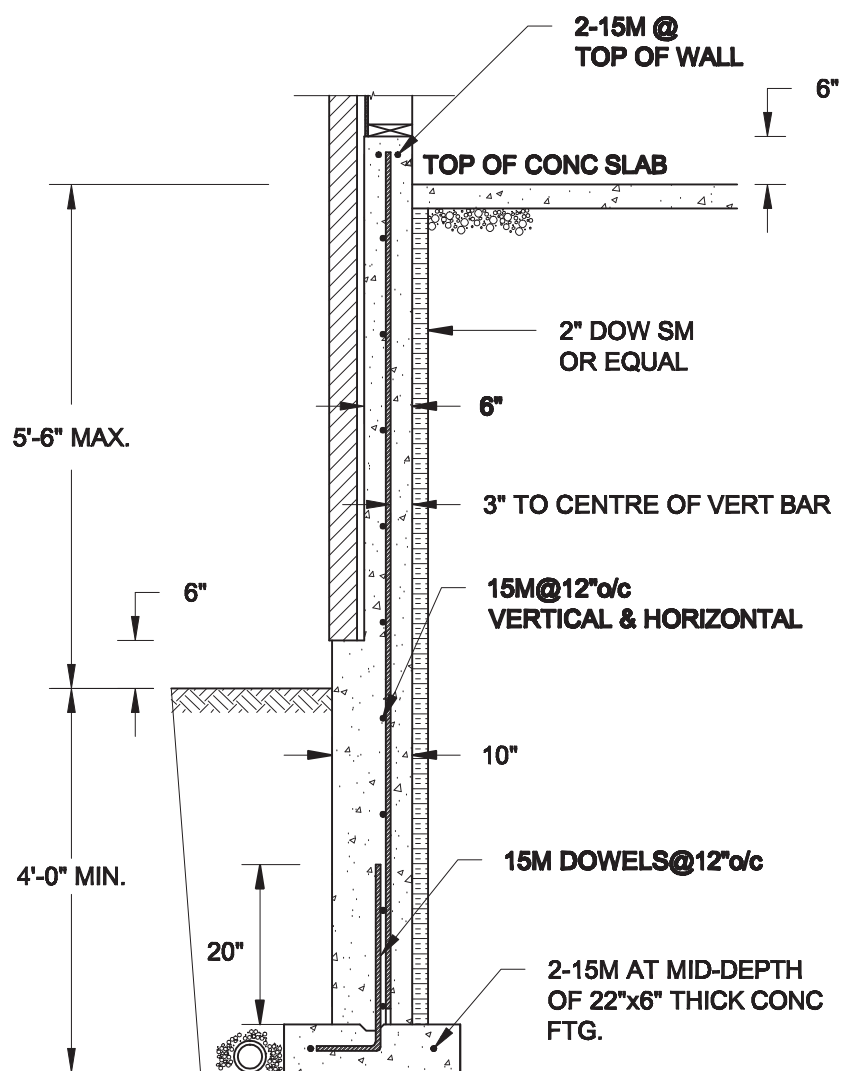
Drawing No.:

S3





1A
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

- NOTE:**
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE TO HAVE 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
 3. REINFORCING BARS TO BE GRADE 400 DEFORMED STEEL.
 4. PROVIDE 3" COVER TO SOIL MINIMUM.



1B
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	Engineer's Seal  APR 22, 2021	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO
Date: APR-20-2021			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB		Project No.: 21-065	Drawing No.: S4