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SEE DETAIL S4 FOR  
9'-0" BASEMENT  
COND

**NOTE W1**  
PROVIDE 2-15M FULL HEIGHT  
VERTICAL REBARS EACH SIDE  
OF OPENING + 2-15M  
HORIZ. REBARS BELOW AND  
EXTEND 24" BEYOND OPENING  
PROVIDE 3" CLEAR COVER  
FROM SOIL SIDE



MAY 11, 2021

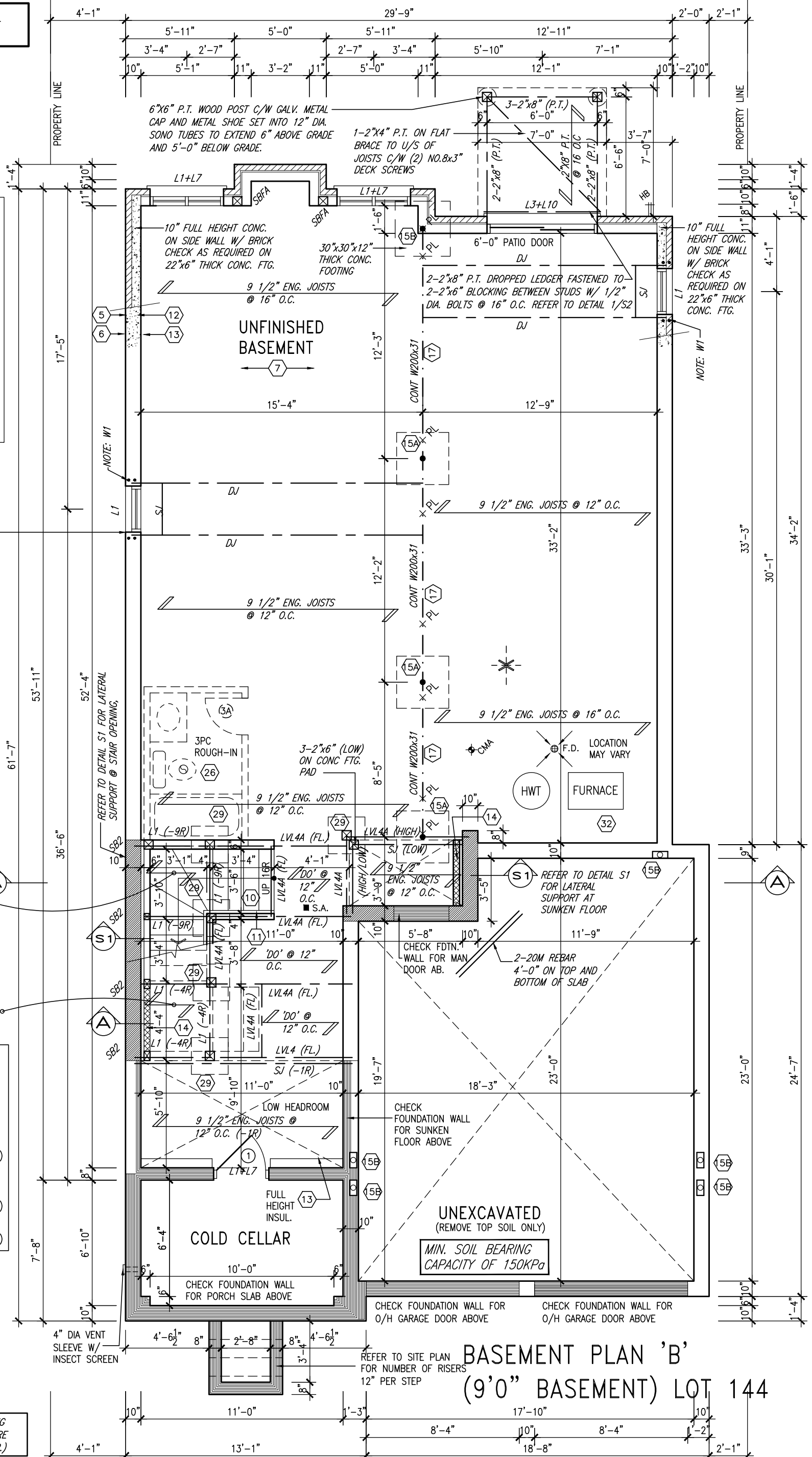
<u>AREA CALCULATIONS</u>	<u>FL. 'B'</u>
GROUND FLOOR AREA	1311 SF
SECOND FLOOR AREA	1595 SF
SUBTOTAL	2906 SF
DEDUCT ALL OPEN AREAS	15 SF
<b>TOTAL NET AREA</b>	<b>2891 SF</b> (268.58 m2)
FINISHED BSMT AREA	0 SF
COVERAGE	1753 SF
W/OUT PORCH	(162.86 m2)
<b>COVERAGE</b>	<b>1846 SF</b>
W/ PORCH	(171.50 m2)

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

**NOTE:** FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED;

NOTE J1: PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN 'B'  
(9'0" BASEMENT) LOT 144

9	.	.	.	The undersigned has reviewed and takes responsibility for this design
8	.	.	.	and has the qualifications and meets the requirements set out in the
7	.	.	.	Ontario Building Code to be a Designer
6	REVISED AS PER ENG COMMENTS	MAY 11-21	RC	qualification information
5	CREATED FOR LOT 144	APR 23-21	KL	<b>Wellington Jno-Baptiste</b> 25591
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC	name <i>Jno-Baptiste</i> BCIN
3	ADD OPT. 9' BASEMENT	APR 06-21	RC	registration information <b>YA3 Design Inc.</b> 42658
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	Contractor must verify all dimensions on the job and report any
1	ISSUED FOR CLIENT REVIEW	.	.	discrepancy to Designer before proceeding with the work. All
no.	description	date	by	drawings and specifications are instruments of service and the property
				of the Designer which must be returned at the completion of the work.
				Drawings are not to be scaled.



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

# BAYVIEW WELLINGTON

**S38-6 L144**  
BAROSSA 6

project name	municipality		project no.
GREEN VALLEY EAST	BRADFORD, ONT.		16023
date	BASEMENT PLAN ELEV. 'B'		drawing no.
JANUARY, 2017			1
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-6-L144
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\Purchaser lot spec\completed\16023-S38-6-L144.dwg - Tue - May 11 2021 - 9:57 AM			

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**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST. 3.0m

KIT-EX-NOTE-2020.dwg

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**NOTE:** ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

**NOTE:** SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.



MAY 11, 2021

**ROOF NOTE R1**  
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

3-2"x6" P.T. BUILT-UP POST ANCHORED AT TOP & BOTTOM W/ GALV. MTL. SHOE (TYP.)

9	.	.	.
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
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**BAYVIEW WELLINGTON**

**S38-6 L144**  
BAROSSA 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-6-L144	drawing no.	2
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\Purchaser lot specific\completed\16023-S38-6-L144.dwg - Tue - May 11 2021 - 9:57 AM					

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

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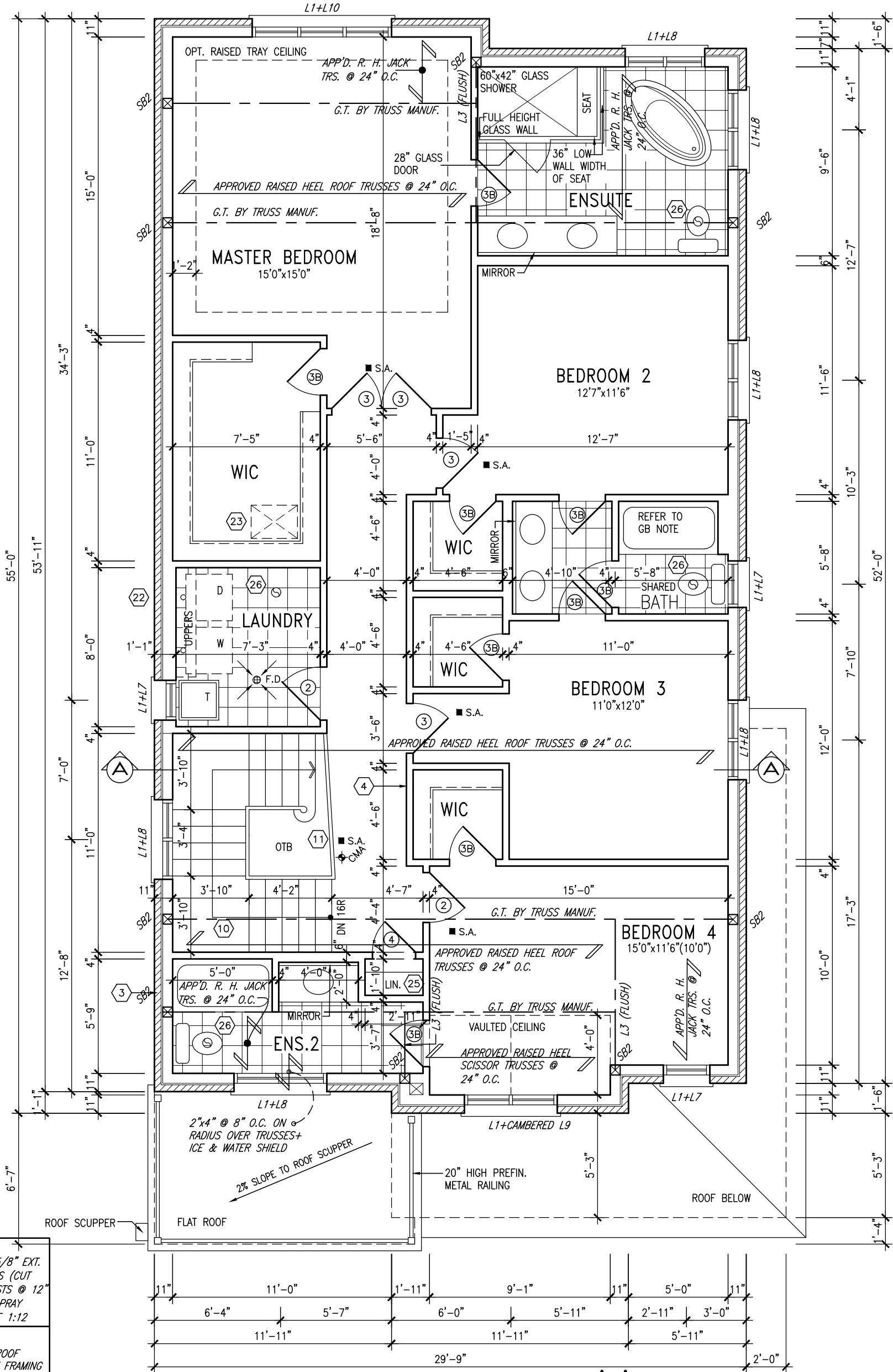
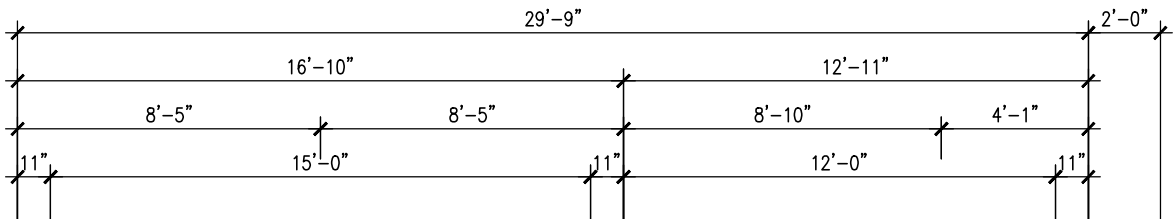


MAY 11, 2021

CANOPY ROOF NOTE:  
P.T. 2"x8" ROOF JOIST @ 16"  
O.C., 5/8" SHEATHING SLOPED  
FORWARD WITH PREFIN. METAL CAP

FLAT ROOF OVER LIVING SPACE: R2  
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.  
GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT  
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"  
O.C. FLAT ROOF TO BE INSULATED W/ SPRAY  
INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12

NOTE:  
ROOF TRUSS INFORMATION REFER TO ROOF  
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.



SECOND FLOOR PLAN 'B' LOT 144

9	.	.	.	.	.
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1	ISSUED FOR CLIENT REVIEW	.	.		
no.	description	date	by		

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qualification information

Wellington Jno-Baptiste 25591

name

registration information

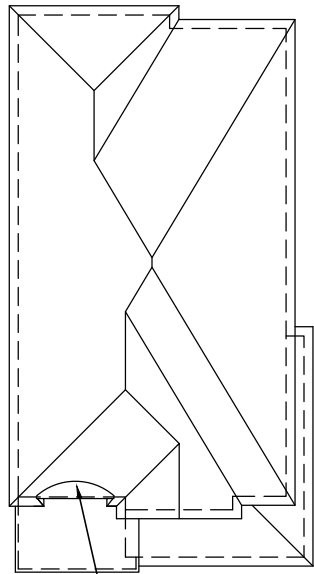
VA3 Design Inc. 42658

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<b>BAYVIEW WELLINGTON</b>		<b>S38-6 L144</b>	
GREEN VALLEY EAST		BAROSSA 6	
project name	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	drawing no.	3
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S38-6-L144
SECOND FLOOR PLAN ELEV. 'B'			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\Purchaser lot specific\completed\16023-S38-6-L144.dwg - Tue - May 11 2021 - 9:57 AM			



ROOF PLAN B

2"x4" @ 8'-7" O.C. W/  
3/8" EXTERIOR GRADE  
PLYWOOD W/ ICE & WATER  
SHIELD UNDER ROLLED ROOF  
TO MATCH SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

1"x6" ALUM. FRIEZE  
BD. (TYP.)

4"+8" PRECAST CONC. ARCH  
ON 8" PRECAST CONC.  
SURROUND W/ 1/2" PROJ.  
(TYP.) OVER VINYL PANEL

20" HIGH PREFIN. METAL  
RAILING  
PREFIN. ALUM. CLAD TRIM  
PRROOF SCUPPER

STONE VENEER (TYP.)

4"+10" PRECAST CONC. ARCH  
W/ 1/2" PROJ. (TYP.)

8" PRECAST CONC. HEADER  
ON 8"+4" PRECAST CONC.  
SURROUND W/ 1/2" PROJ.  
(TYP.)

CONT. PRECAST CONC. SILL  
OVER STONE VENEER W/  
1/2" PROJ. (TYP.)

POURED CONC. PORCH SLAB  
AND DOOR SILL (TYP.)

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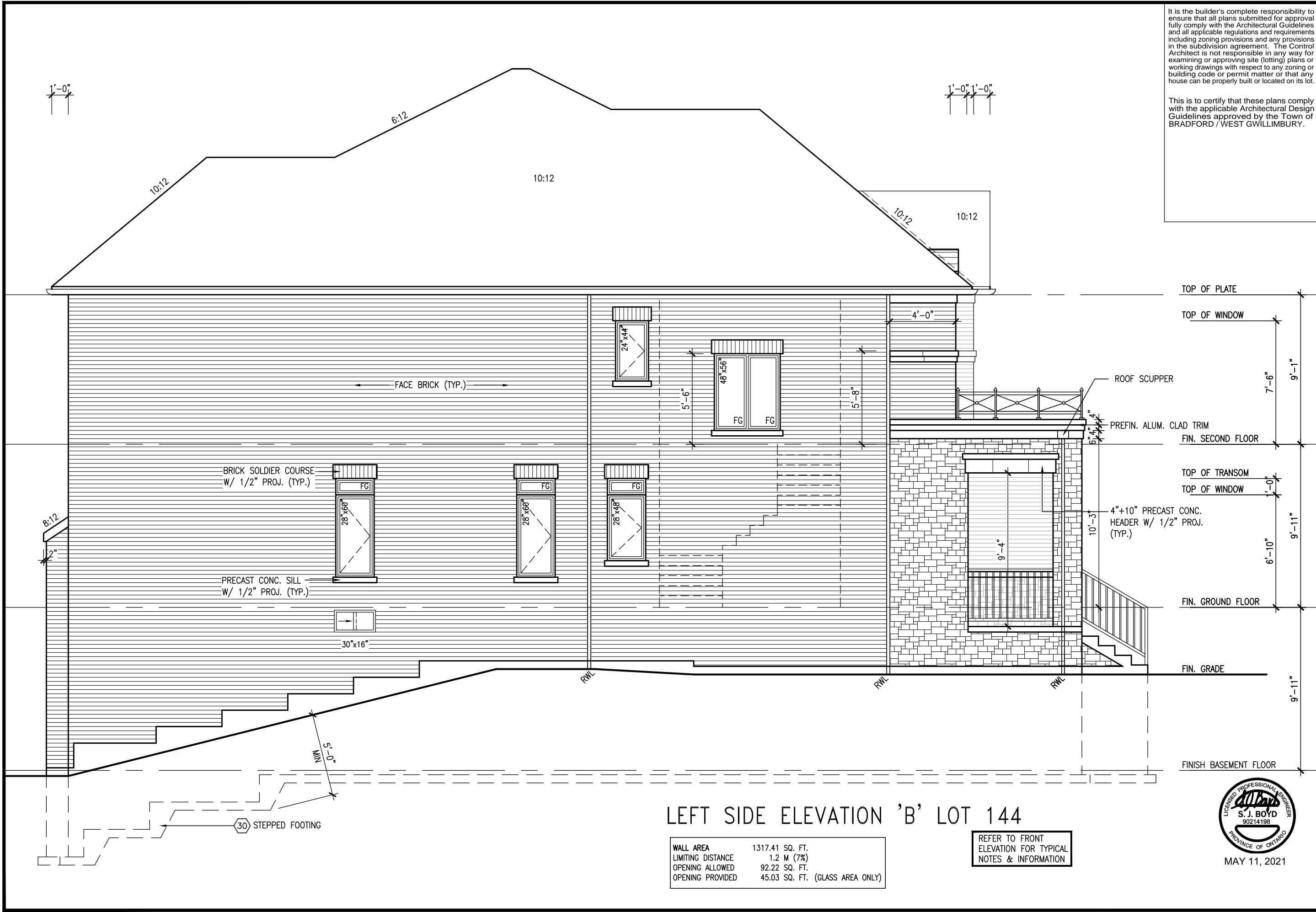
10:12

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8'-7"

RADIUS=7'-6"



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BAYVIEW WELLINGTON		S38-6 L144	
GREEN VALLEY EAST		BAROSSA 6	
BRADFORD, ONT.		LEFT SIDE ELEVATION 'B'	
project name	project no.	project no.	drawing no.
BRADFORD, ONT.	16023	16023	13
date	checked by	scale	file name
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S38-6-L144
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-6-L144
RICHARD - H. ARCHITECT WORKING 2016 \16023-S38-6-L144.dwg - Tue - May 11 2021 - 9:57 AM			

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signature  
Wellington Jno-Baptiste 25591 BCN

name  
VAS Design Inc. 42658

registration information  
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9	REVISED AS PER ENG. COMMENTS	MAY 11-21	RC
8	CREATED FOR LOT 144	APR 23-21	KL
7	REVISED AS PER ENG. COMMENTS	APR 08-21	RC
6	ADD OPT. 9' BASEMENT	APR 06-21	RC
5	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
4	ISSUED FOR CLIENT REVIEW		

## LEFT SIDE ELEVATION 'B' LOT 144

WALL AREA	1317.41 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	92.22 SQ. FT.
OPENING PROVIDED	45.03 SQ. FT. (GLASS AREA ONLY)

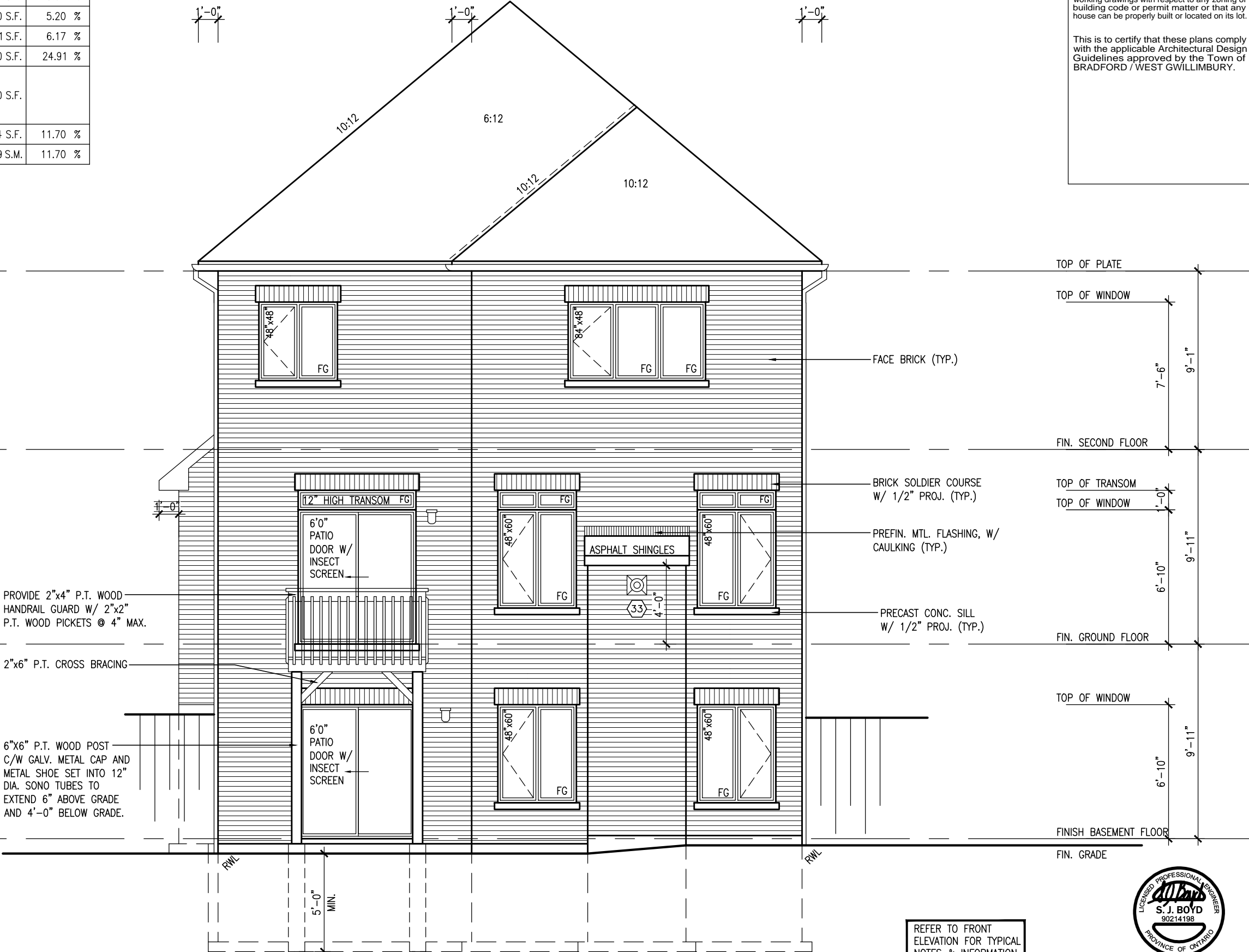
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



MAY 11, 2021



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
38-6 ELEVATION B L144	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	694.92 S.F.	125.33 S.F.	18.04	%
LEFT SIDE	1328.15 S.F.	69.00 S.F.	5.20	%
RIGHT SIDE	1344.25 S.F.	82.911 S.F.	6.17	%
REAR	883.24 S.F.	220.00 S.F.	24.91	%
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	4250.56 S.F.	497.24 S.F.	11.70	%
TOTAL SQ. M.	394.89 S.M.	46.19 S.M.	11.70	%



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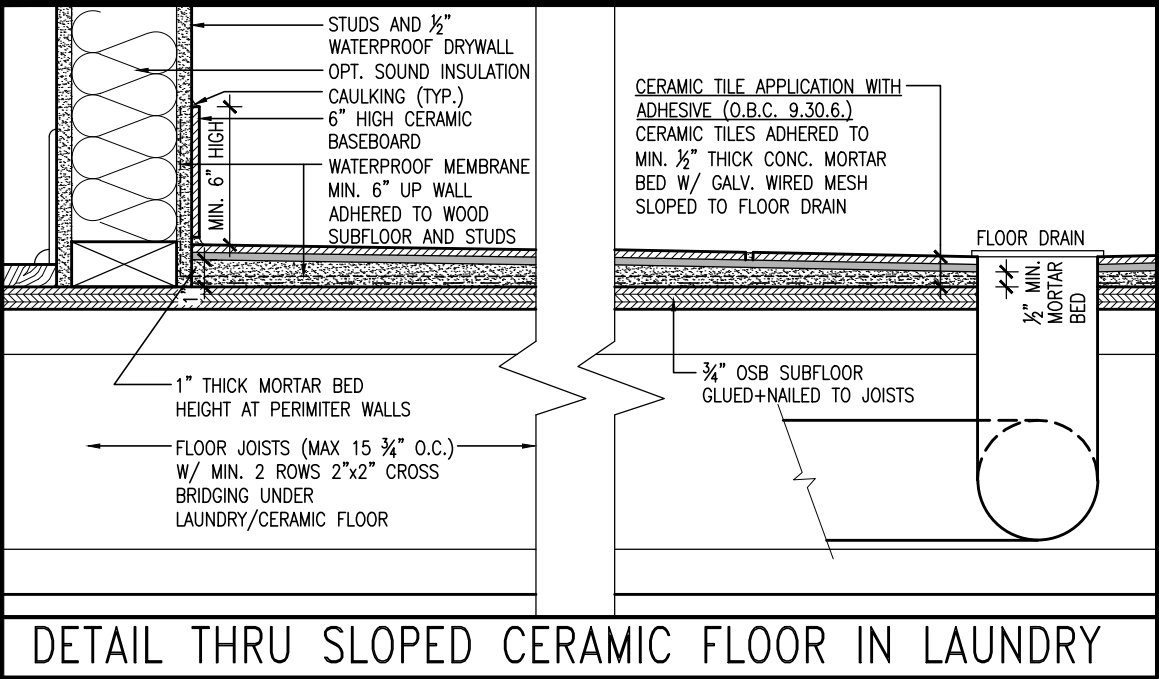
BAYVIEW WELLINGTON		S38-6 L144		BAROSSA 6	
GREEN VALLEY EAST		BRADFORD, ONT.		W.O.B. REAR ELEVATION 'A'	
project name		project no.		drawing no.	
16023		16023		22	
date		file name			
JANUARY, 2017		16023-S38-6-L144			
drawn by		scale			
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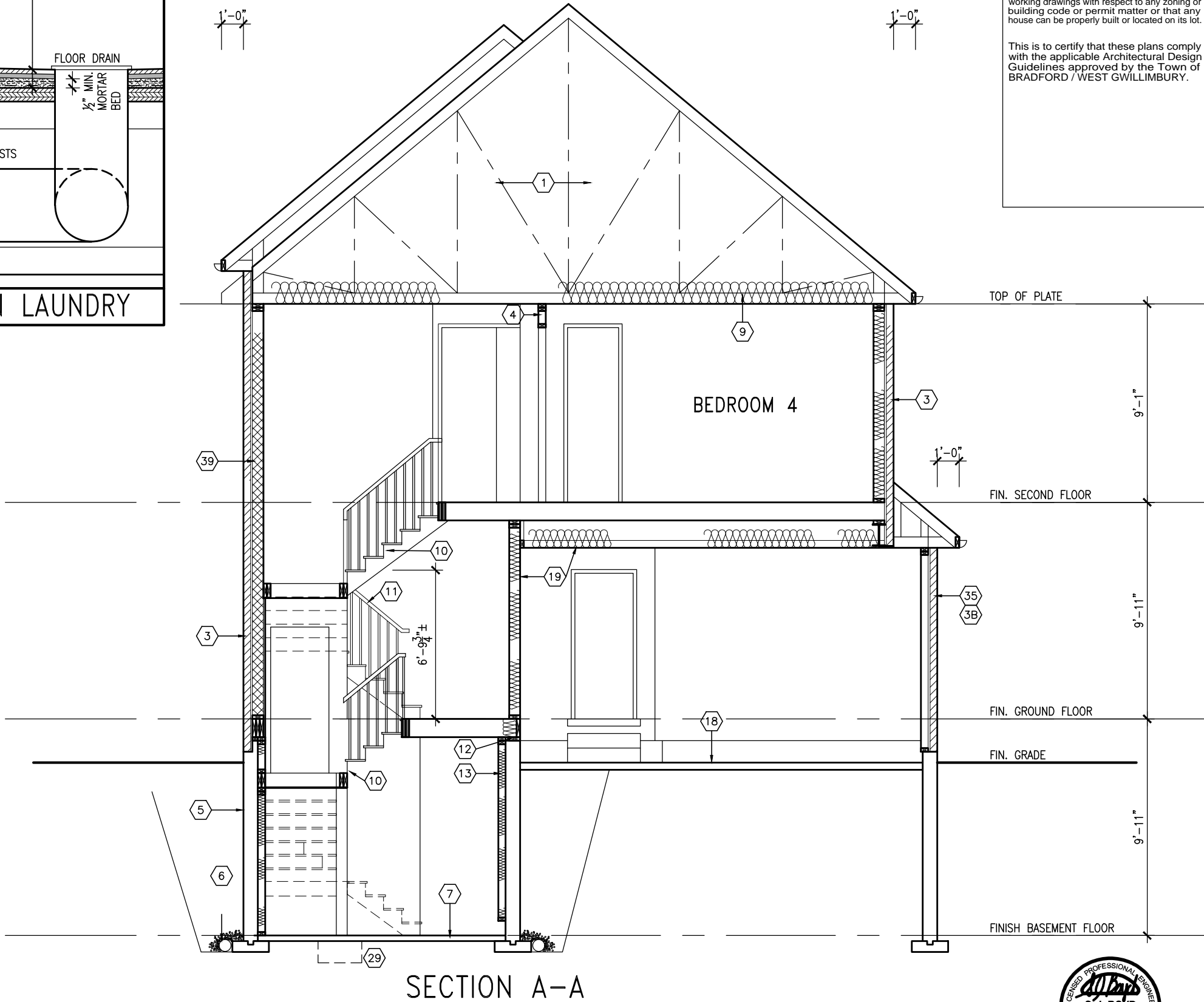
MAY 11, 2021

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

W.O.B. REAR ELEVATION 'B' LOT 144



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



SECTION A-A



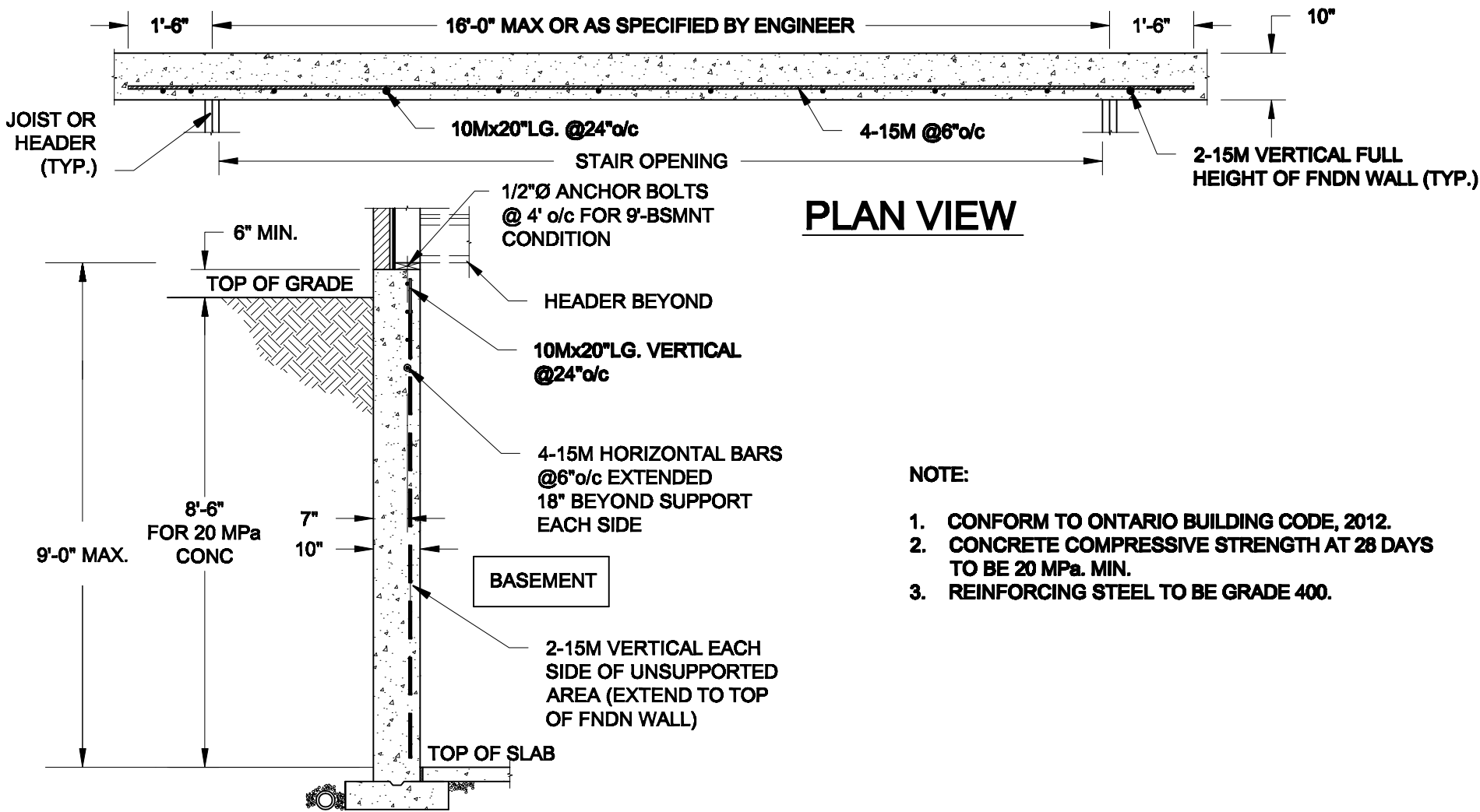
MAY 11, 2021

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON		S38-6 L144		BAROSSA 6	
GREEN VALLEY EAST		BRADFORD, ONT.		SECTION A-A	
project name		project no.		drawing no.	
JANUARY, 2017		16023		18	
drawn by		checked by		scale	
WT		RC		3/16" = 1'-0"	
date		file name		16023-S38-6-L144	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\Purchaser lot specific\completed\16023-S38-6-L144.dwg - Tue - May 11 2021 - 9:57 AM		municipality		16023-S38-6-L144	
255 Consumers Rd Suite 120		25591		42658	
Toronto ON M2J 1P4		BCIN		BCIN	
t 416.630.2255 f 416.630.4782		VAS Design Inc.		VAS Design Inc.	
vo3design.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.		description		date	
9		REVISED AS PER ENG. COMMENTS		MAY 11-21	
8		CREATED FOR LOT 144		APR 23-21	
7		REVISED AS PER ENG. COMMENTS		APR 08-21	
6		ADD OPT. 9' BASEMENT		APR 06-21	
5		REVISED AS PER ENG'S COMMENTS		JAN 08-18	
4		ISSUED FOR CLIENT REVIEW		.	
3		.		.	
2		.		.	
1		.		.	

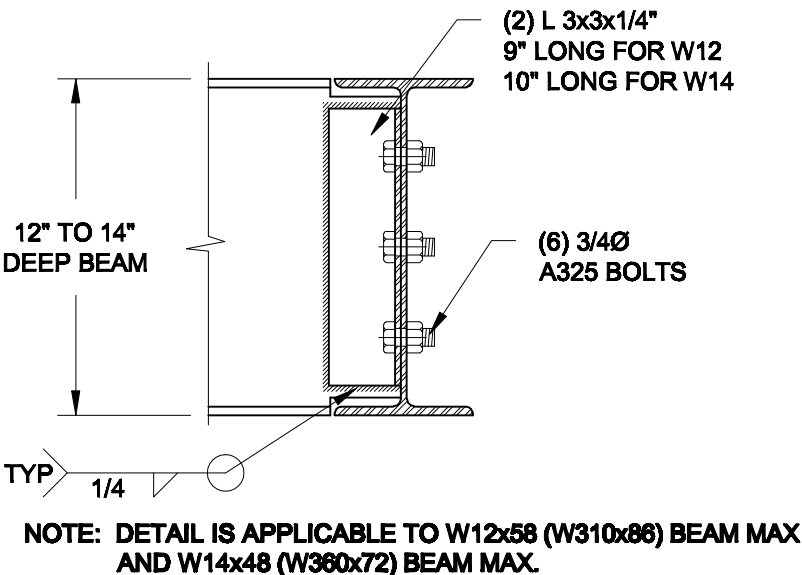
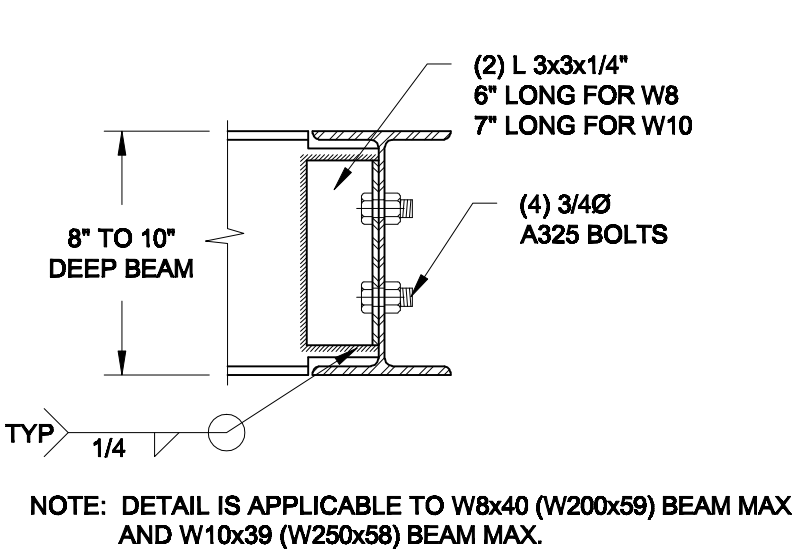






PLAN VIEW

- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
  2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
  3. REINFORCING STEEL TO BE GRADE 400.

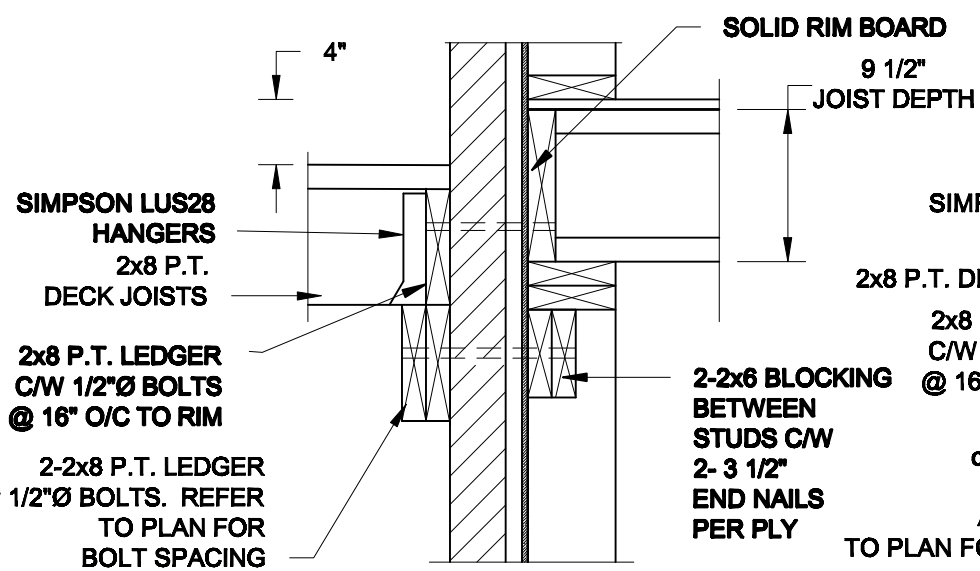
1  
S1  
LATERALLY UNSUPPORTED WALL  
SCALE: 3/8" = 1'-0"



2  
S1  
STEEL BEAM CONNECTION DETAIL  
SCALE: 1-1/2" = 1'-0"

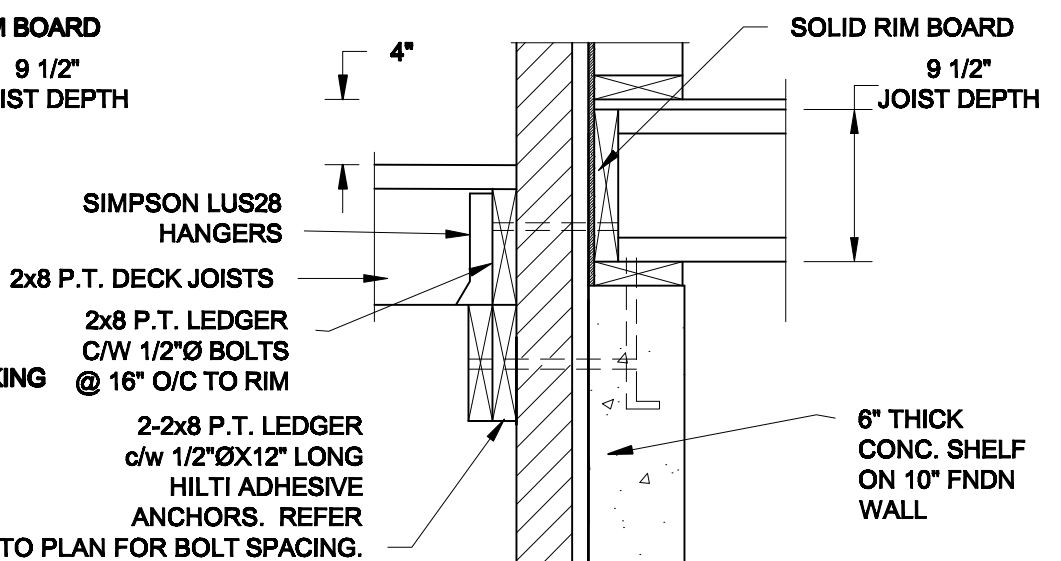
<b>Scale:</b> AS NOTED		<b>QUAILE ENGINEERING LTD.</b>  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	<b>Engineer's Seal</b>  MAR 30, 2021		<b>Project:</b> BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
<b>Date:</b> MAR-15-2021					TYPICAL STRUCTURAL DETAILS	
<b>Drawn:</b> SC	<b>Checked:</b> SJB		<b>Project No.:</b> 21-038		<b>Drawing No.:</b> S1	

**FOR 9 1/2" JOIST DEPTH**



# 1A DECK FASTENING DETAIL

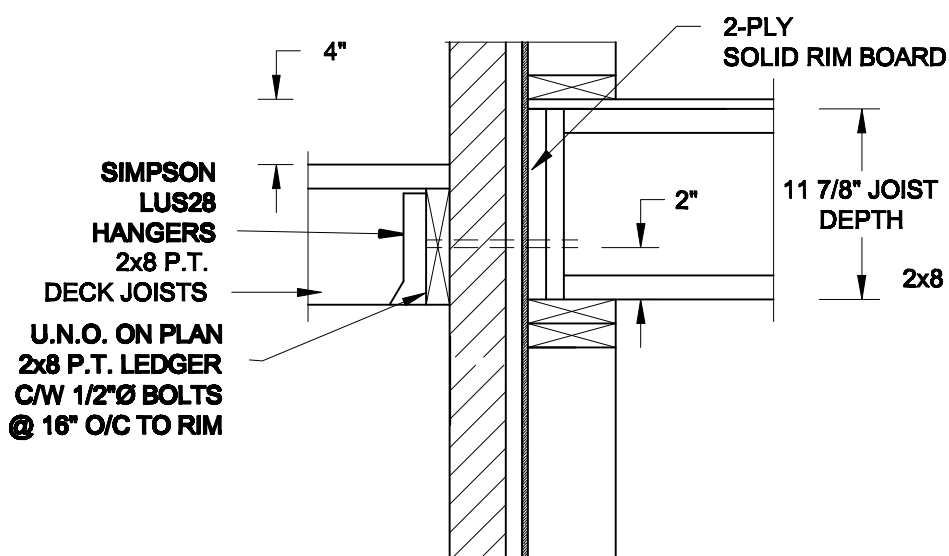
## S2 SCALE: 1" = 1'-0"



# 1B DECK FASTENING DETAIL

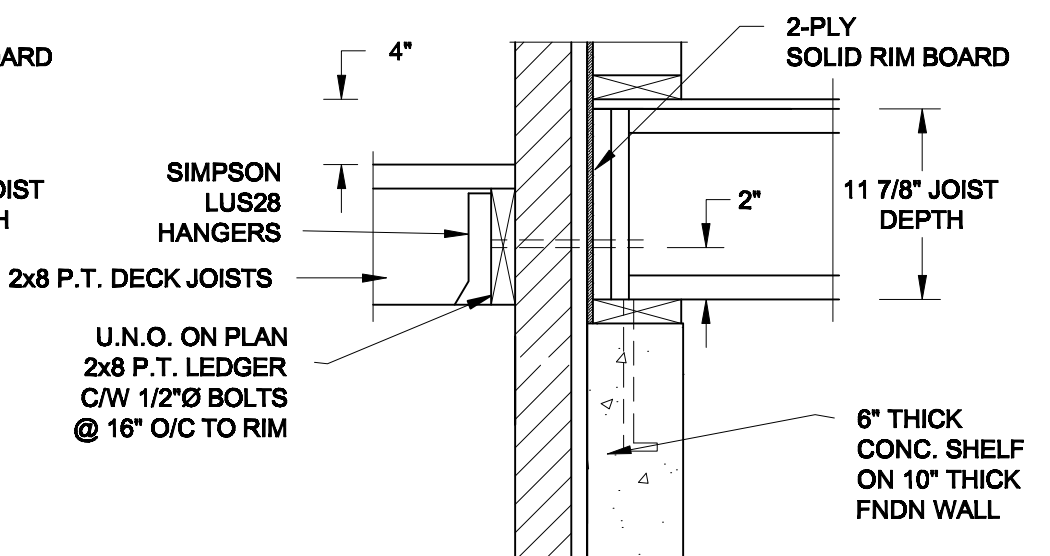
## S2 SCALE: 1" = 1'-0"

**FOR 11 7/8" JOIST DEPTH**



# 1C DECK FASTENING DETAIL

## S2 SCALE: 1" = 1'-0"

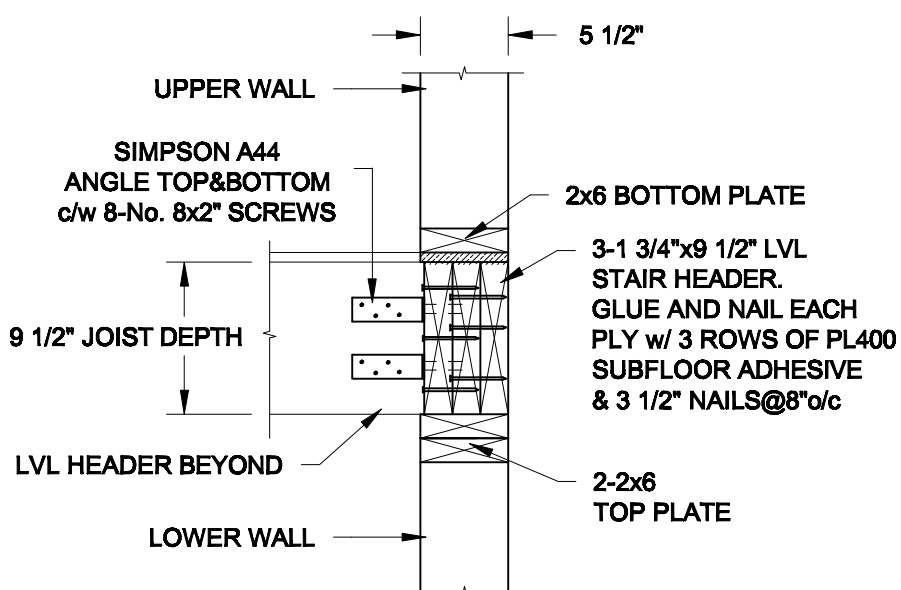


# 1D DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

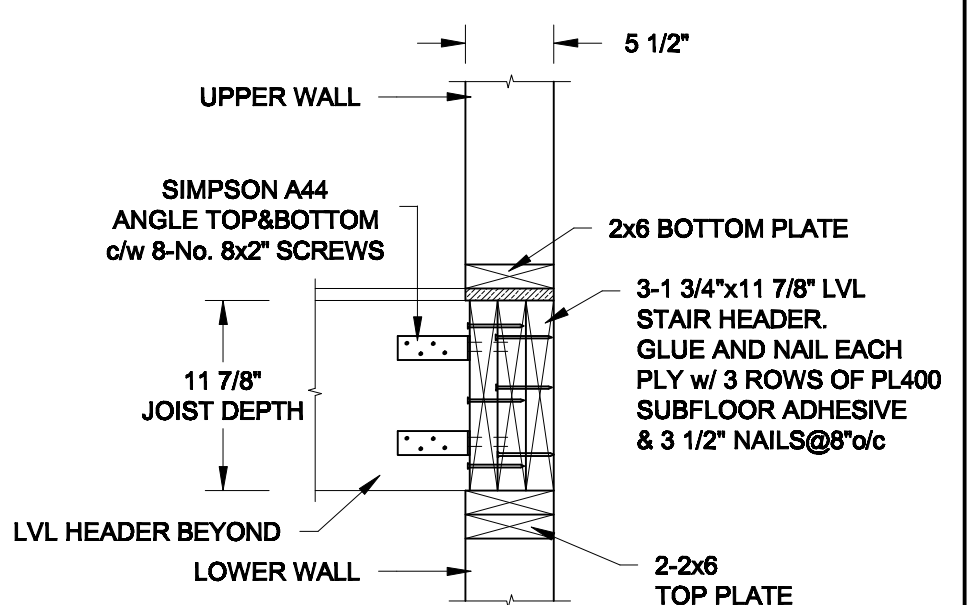
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**  
**2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL**  
**3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.**

**FOR 9 1/2" JOIST DEPTH**



**2A** STAIR HEADER  
**S2** SCALE: 1" = 1'-0"

**FOR 11 7/8" JOIST DEPTH**



**2B** **STAIR HEADER**  
**S2** **SCALE: 1" = 1'-0"**

**Scale:**  
**AS NOTED**

**Date:**  
**MAR-15-2021**

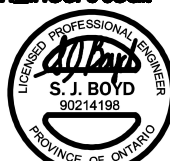
<b>Drawn:</b> SC	<b>Checked:</b> SJB
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**QUAILE ENGINEERING LTD.**



**38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: [qualle.eng@rogers.com](mailto:qualle.eng@rogers.com)**

## Engineer's Sect



MAR 30. 2021

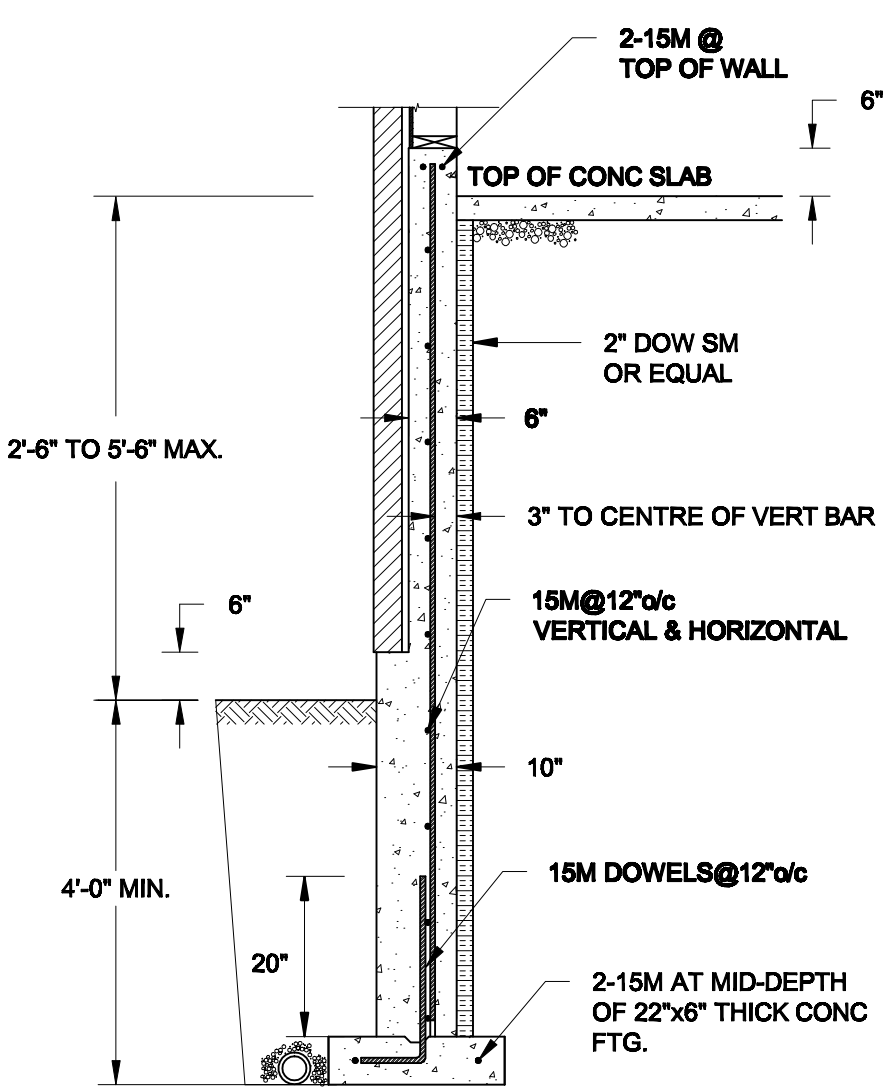
**Project:**

**BAYVIEW WILLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES**  
**BRADFORD, ONTARIO**

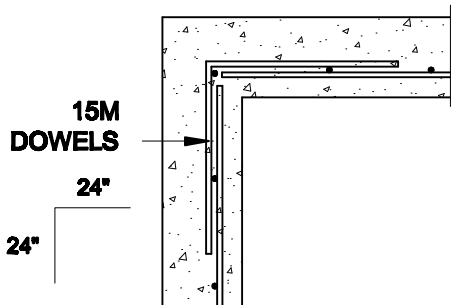
## TYPICAL STRUCTURAL DETAILS

**Project No.:**  
**21-038**

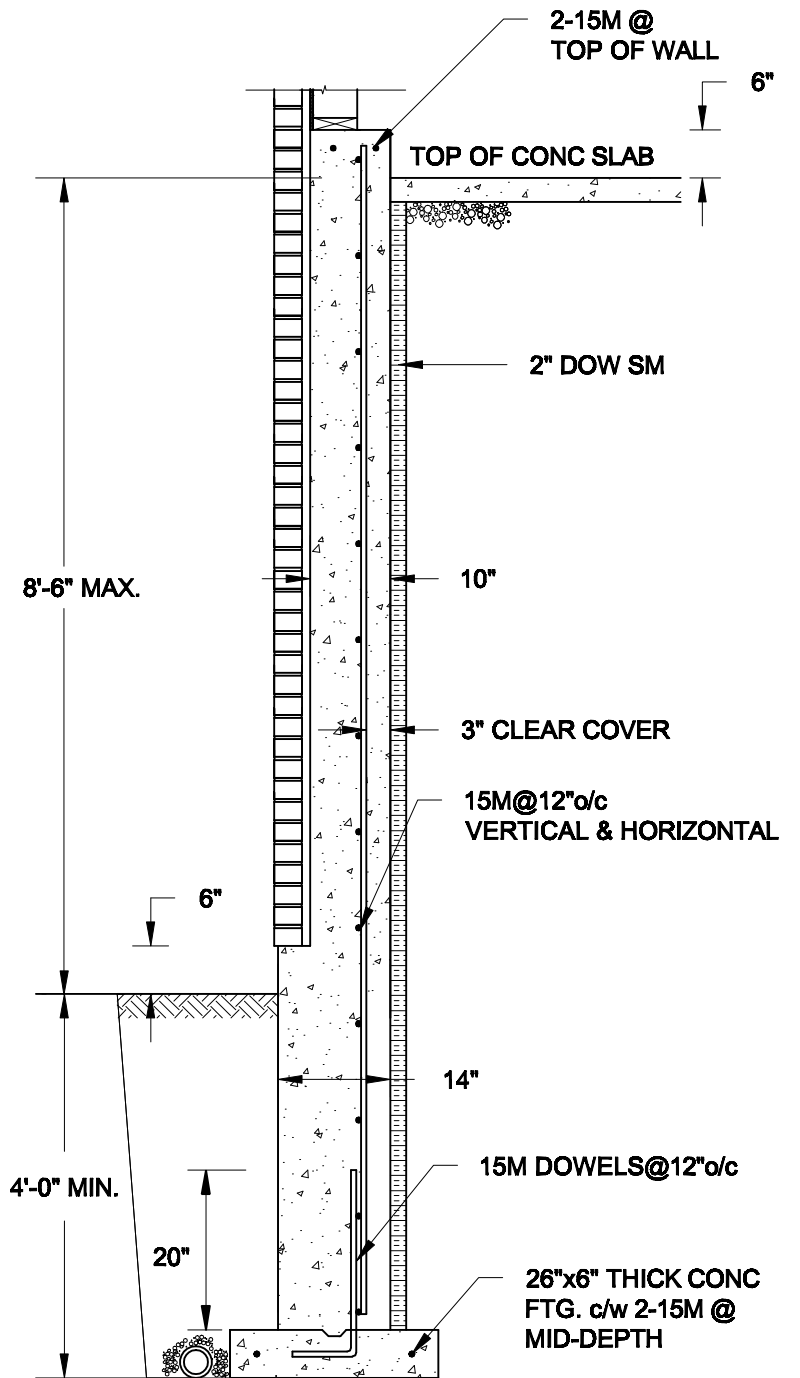
**Drawing No.:** **S2**



**1A**  
**S3** **REINFORCED BRICKSHELF**  
SCALE: 1/2" = 1' - 0"



**1C**  
**S3** **PLAN VIEW AT CORNER**  
SCALE: 1/2" = 1' - 0"



**1B**  
**S3** **REINFORCED BRICKSHELF**  
SCALE: 1/2" = 1' - 0"

**NOTES:**

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.

Scale: AS NOTED	
Date: MAR-15-2021	
Drawn: SC	Checked: SJB

**QUAILE ENGINEERING LTD.**



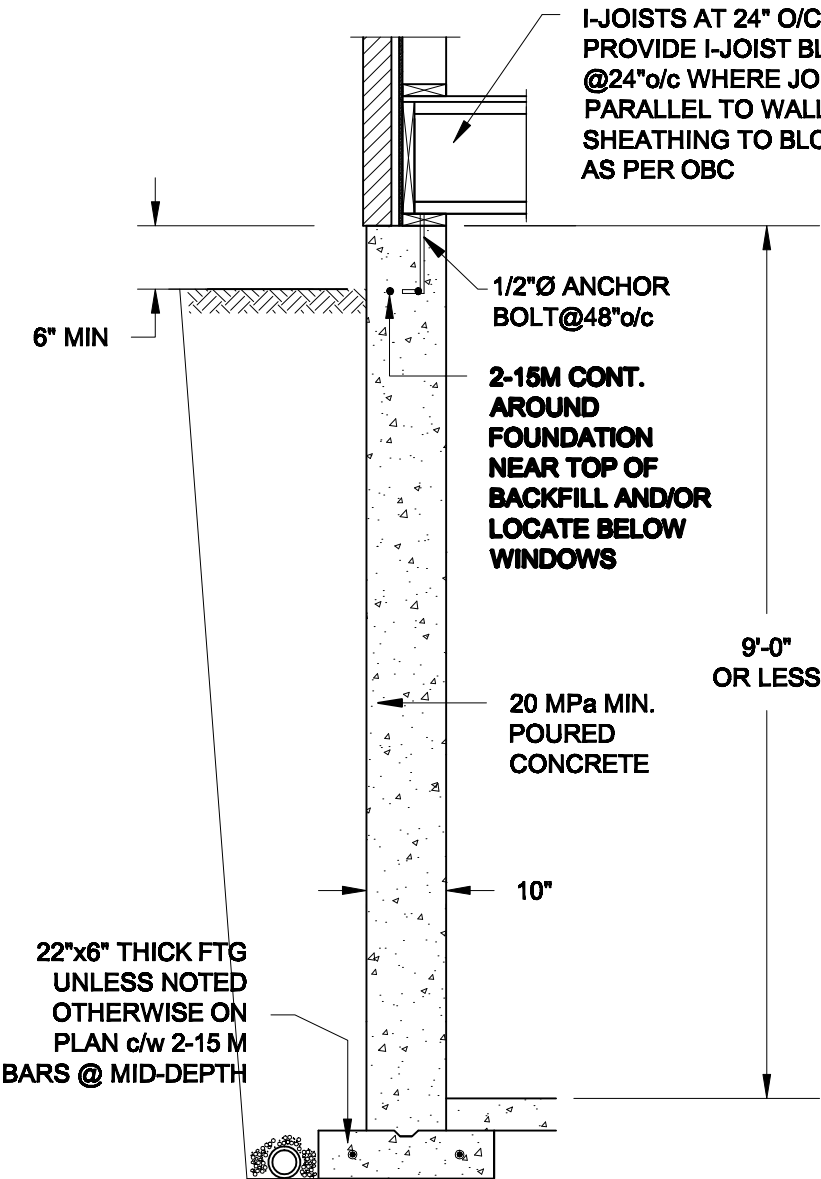
38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaile.eng@rogers.com

**Engineer's Seal**

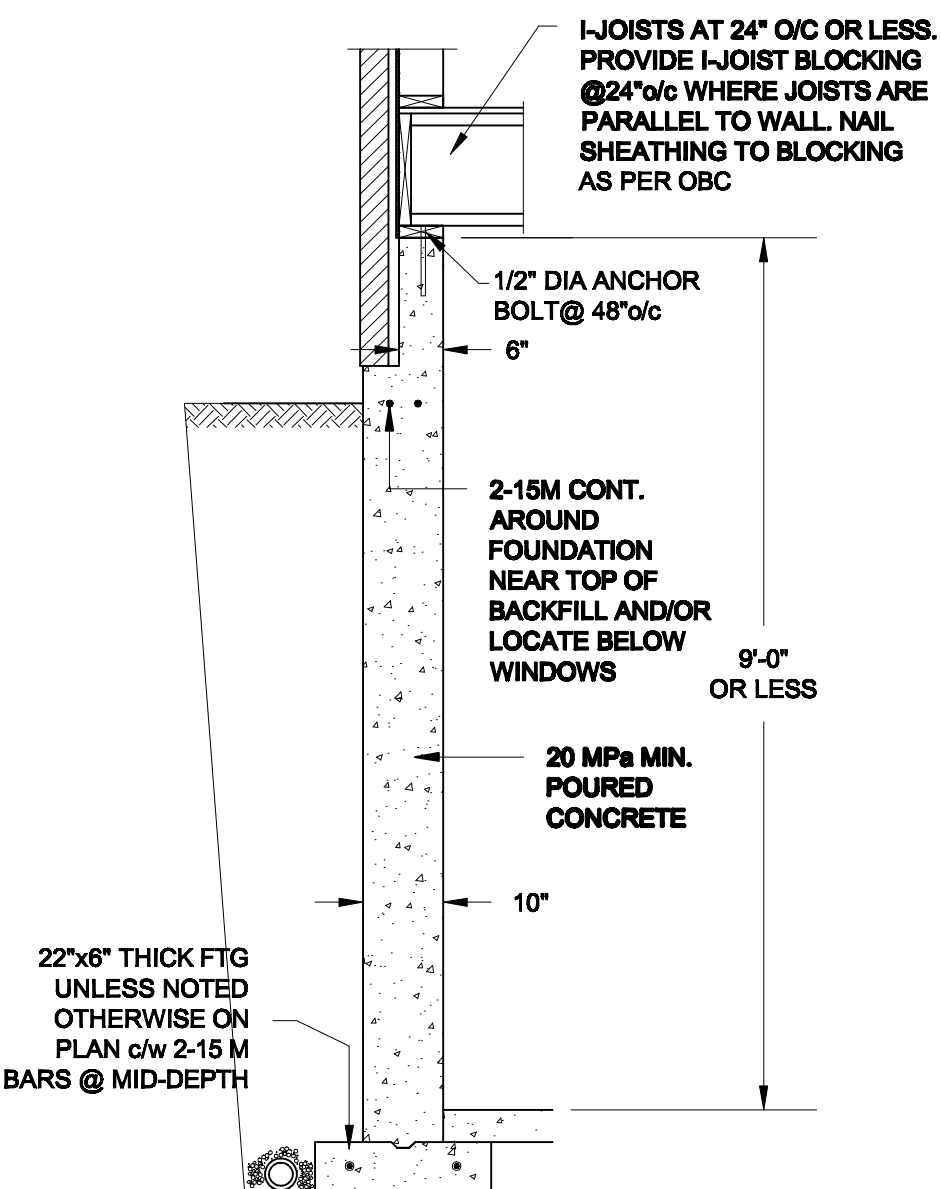


MAR 30, 2021

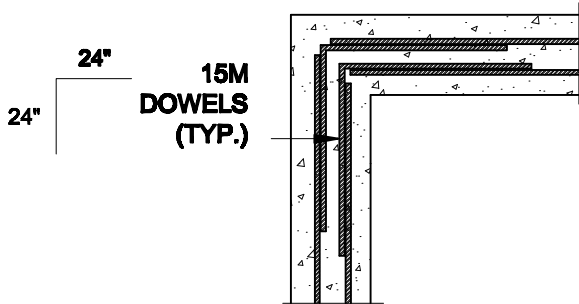
Project: <b>BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO</b>	
TYPICAL STRUCTURAL DETAILS	
Project No.: <b>21-038</b>	Drawing No.: <b>S3</b>



**1A**  
**S4** **FOUNDATION WALL**  
SCALE: 1/2" = 1'-0"



**1B**  
**S4** **DROPPED VENEER**  
SCALE: 1/2" = 1'-0"





**1C**  
**S4** **TYP. PLAN VIEW AT CORNER**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
AT ALL WINDOW OPENINGS,  
PROVIDE 2-15M VERTICALLY  
AT EACH SIDE + 2-15M  
HORIZONTALLY 2" BELOW &  
EXTEND 24" BEYOND OPENING

**NOTES:**

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

<b>Scale:</b> AS NOTED		<b>QUAILE ENGINEERING LTD.</b>  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	<b>Engineer's Seal:</b>  MAR 30, 2021	<b>Project:</b> BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
<b>Date:</b> MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
<b>Drawn:</b> SC	<b>Checked:</b> SJB			<b>Project No.:</b> 21-038	<b>Drawing No.:</b> S4