

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" THICK CONC. FTG.



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AREA CALCULATIONS	ELEV. C
GROUND FLOOR AREA	1152 SF
SECOND FLOOR AREA	1426 SF
SUBTOTAL	2578 SF
DEDUCT ALL OPEN AREAS	51 SF
TOTAL NET AREA	2527 SF
	(234.77 m ²)
FINISHED BSMT AREA	0 SF
COVERAGE	1602 SF
W/OUT PORCH	(148.83 m ²)
COVERAGE	1662 SF
W/ PORCH	(154.40 m ²)

BASEMENT PLAN 'C' LOT 141

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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6	REVISED AS PER FLOOR LAYOUT	JUN 03-21	RC
5	CREATED FOR L141	APR 22-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
signature
registration information
VA3 Design Inc. 42658

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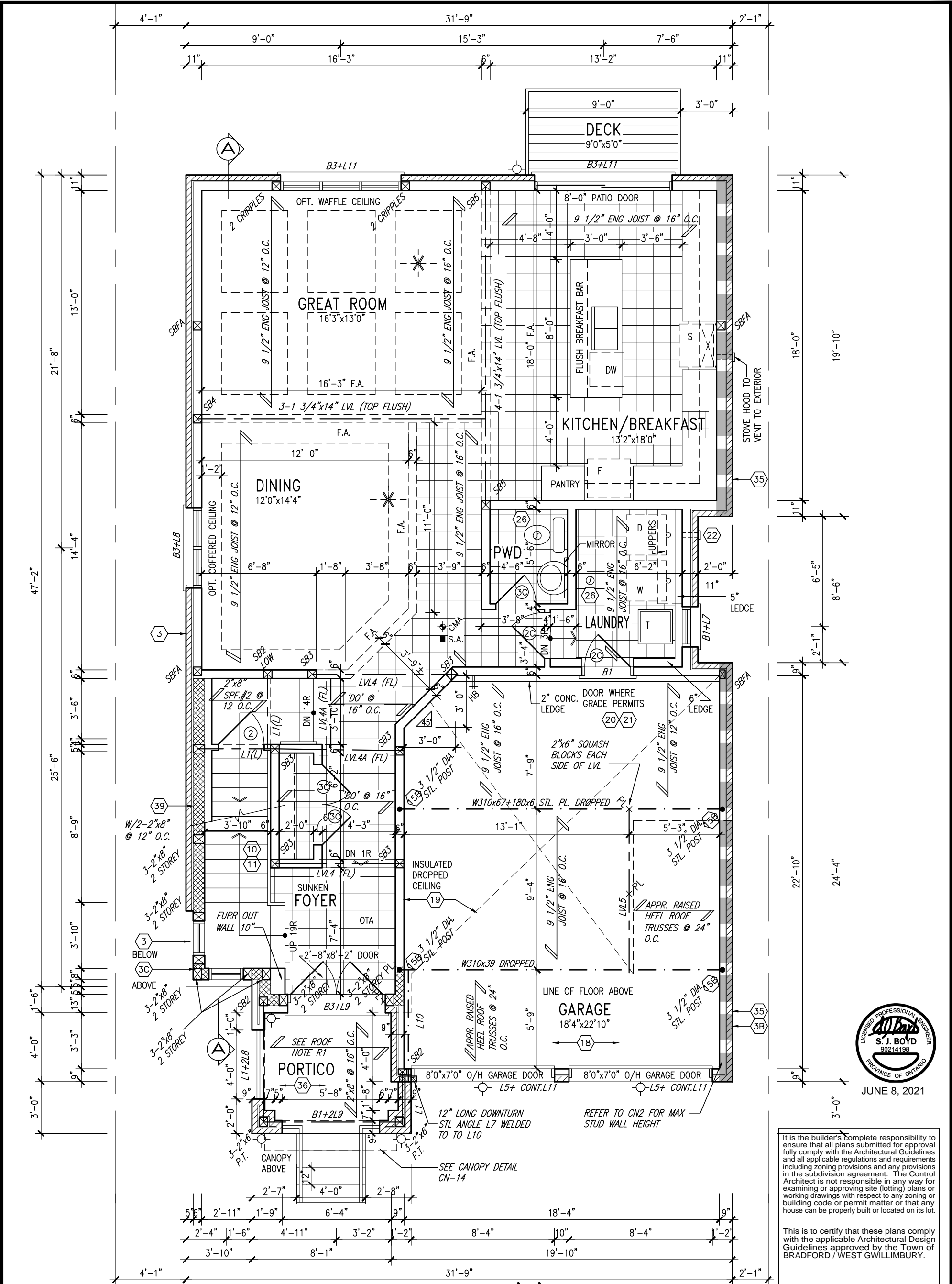
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

S38-3 L141 BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S38-3-L141	project no.	16023
drawing no.	1	drawing no.	1

BASEMENT PLAN ELEV. 'C'



INDICATES REDUCED SIDE YARD			NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.		NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.		NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.		ROOF NOTE R1 2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE	
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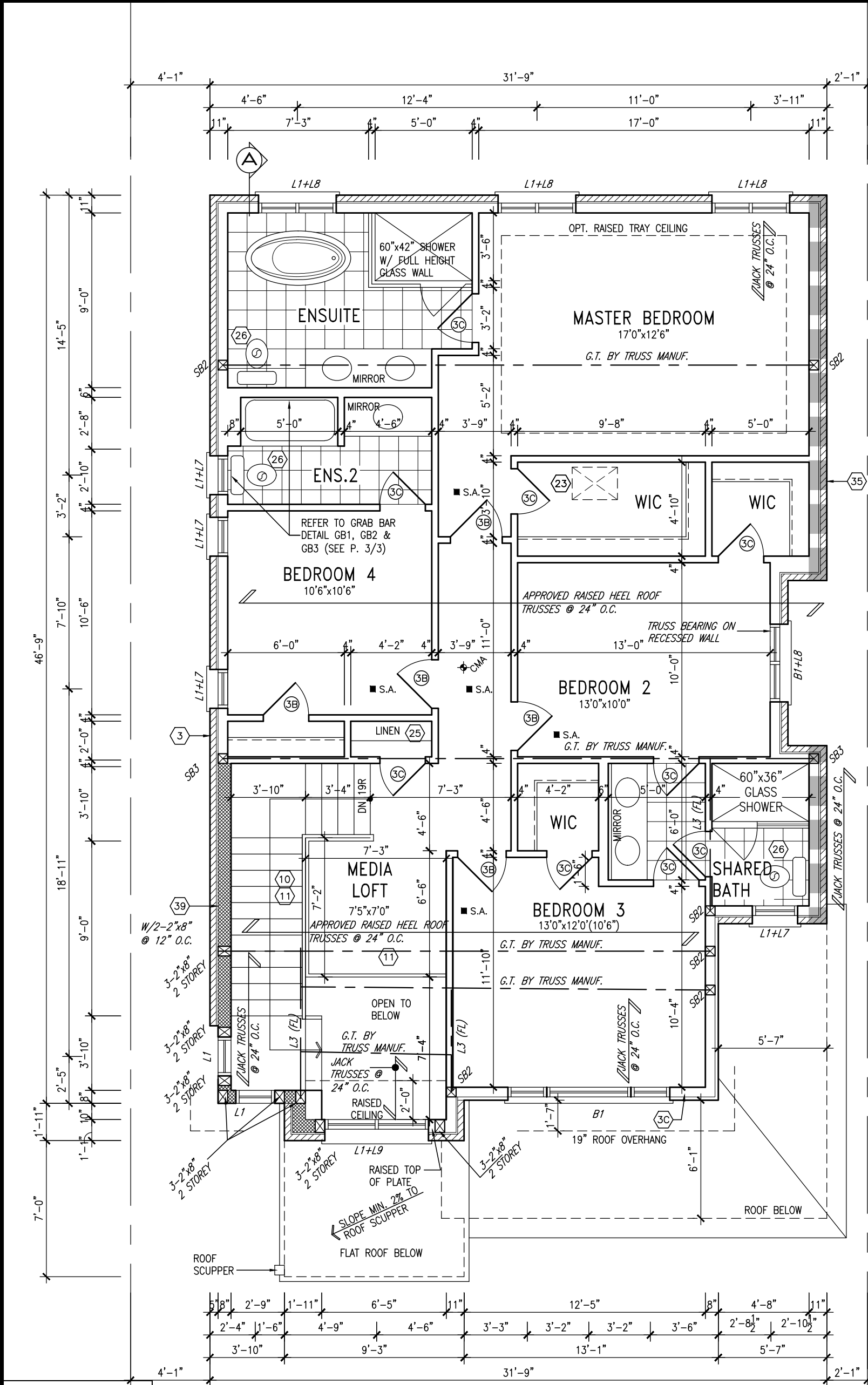
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GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'C' LOT 141

INDICATES REDUCED SIDE YARD



JUNE 8, 2021

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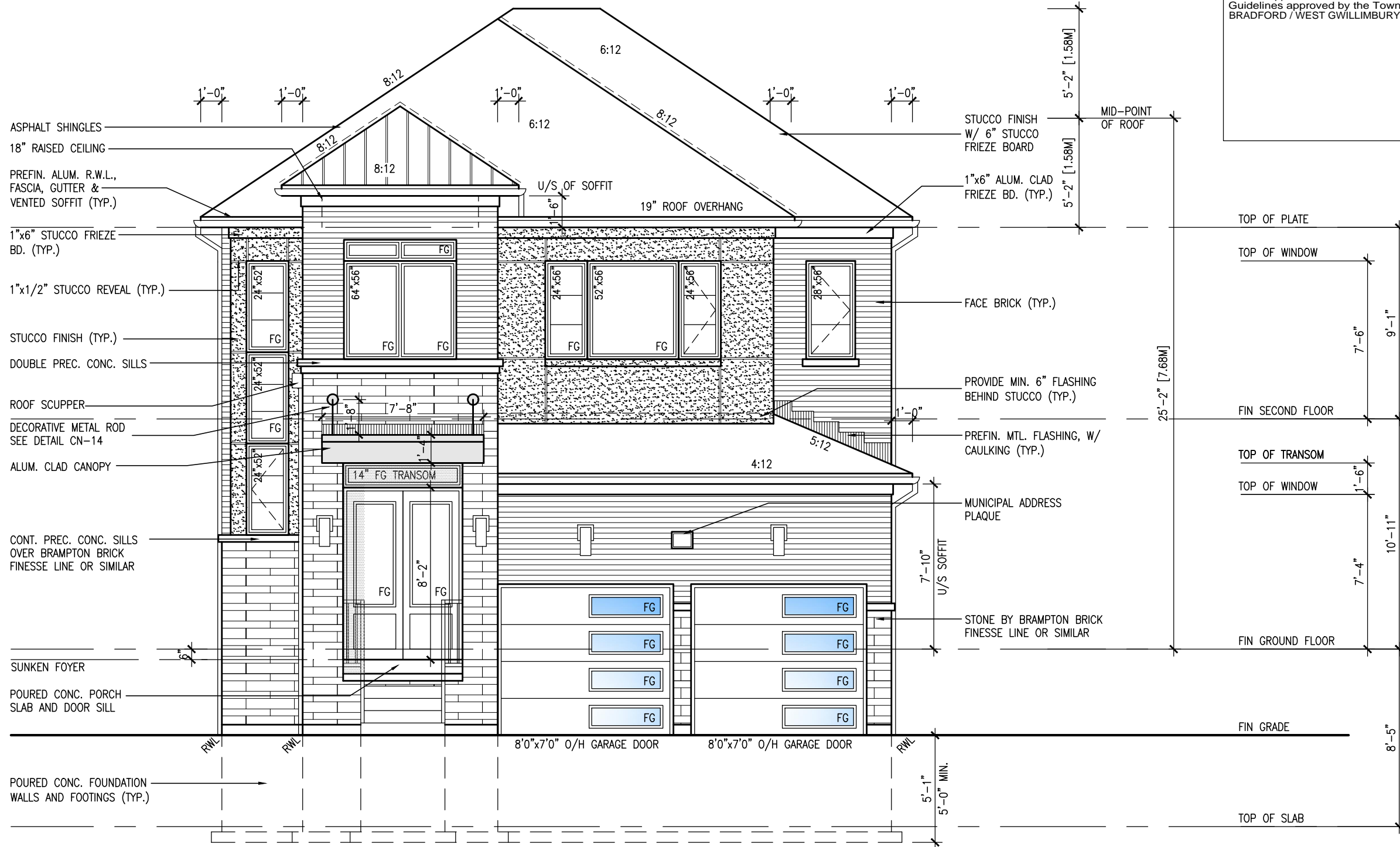


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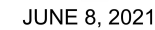
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S38-3 L141
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SECOND FLOOR PLAN ELEV. 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\Purchaser lot specific\completed\16023-S38-3-L141.dwg - Tue - Jun 8 2021 - 8:52 AM					



FRONT ELEVATION 'C'
LOT 141



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municipality	
FRONT ELEVATION 'C'	
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JANUARY, 2017	4
drawn by	file name
WCH	16023-S38-5-L141
checked by	scale
RC	3/16" = 1'-0"
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Signature: *W. Baptiste*

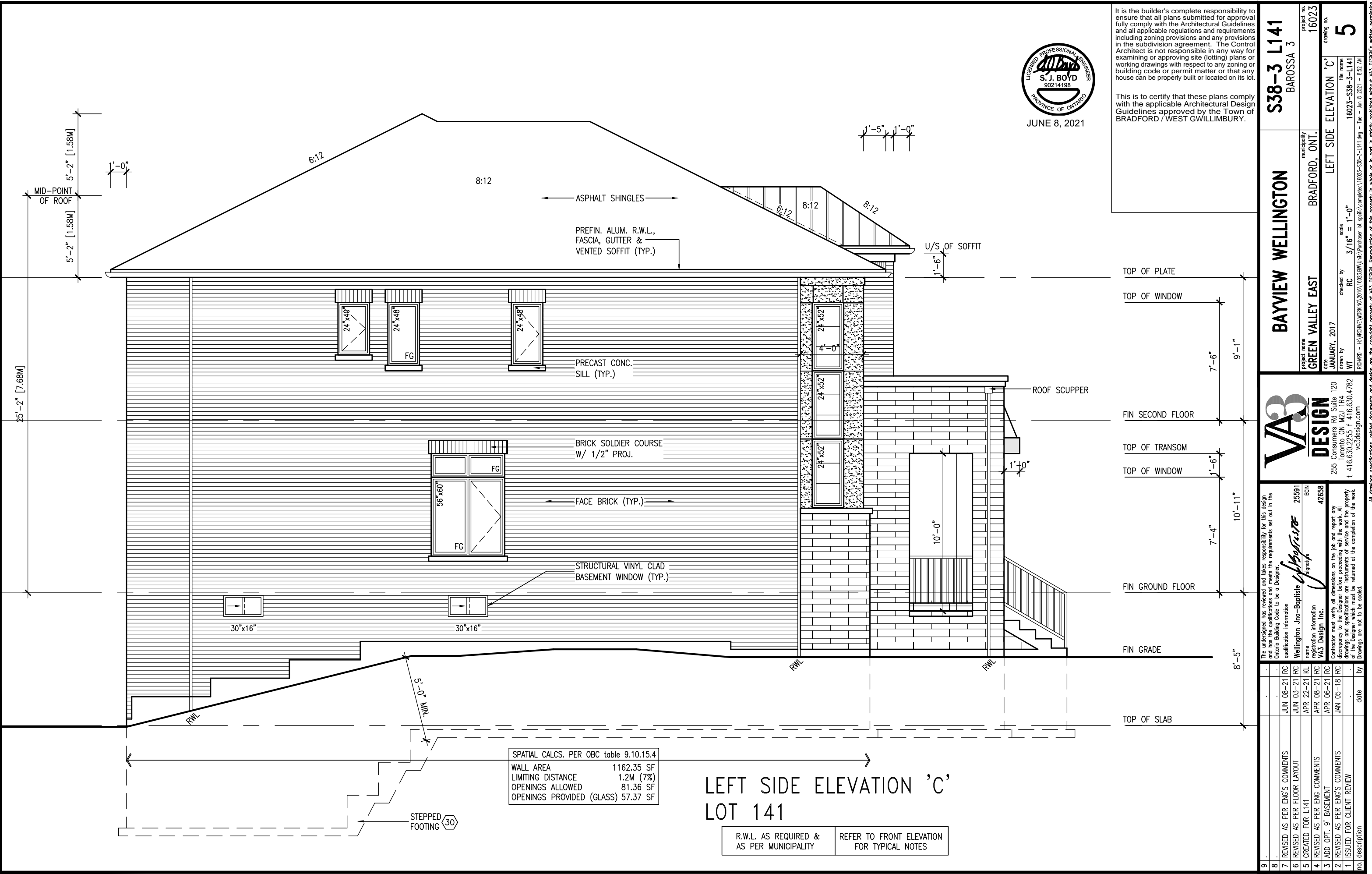
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JUNE 8, 2021

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF SLAB

FIN GRADE

WHERE GRADE DIFFERENCE
IS GREATER THAN 2'-6"
REINFORCE FOUNDATION
WALL AS PER DETAIL 1/S3

RIGHT SIDE ELEVATION 'C' LOT 141

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SPATIAL CALCS. PER OBC table 9.10.15.4	
WALL AREA	1299.40 SF
LIMITING DISTANCE	1.2M (7%)
OPENINGS ALLOWED	90.96 SF
OPENINGS PROVIDED (GLASS)	17.01 SF

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

SUNKEN LAUNDRY (-3R)

STEPPED FOOTING 30



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	JUN 08-21	RC
6	REVISED AS PER FLOOR LAYOUT	JUN 03-21	RC
5	CREATED FOR L141	APR 22-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		

BAYVIEW WELLINGTON

S38-3 L141
BAROSSA 3

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
6

date
JANUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

file name
16023-S38-3-L141

date
JUN 8 2021 - 8:52 AM

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JUNE 8, 2021

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TOP OF PLATE

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

9'-1"

10'-11"

8'-5"

SECTION A-A

S38-3 L141
BAROSSA 3

BAYVIEW WELLINGTON

VAS3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

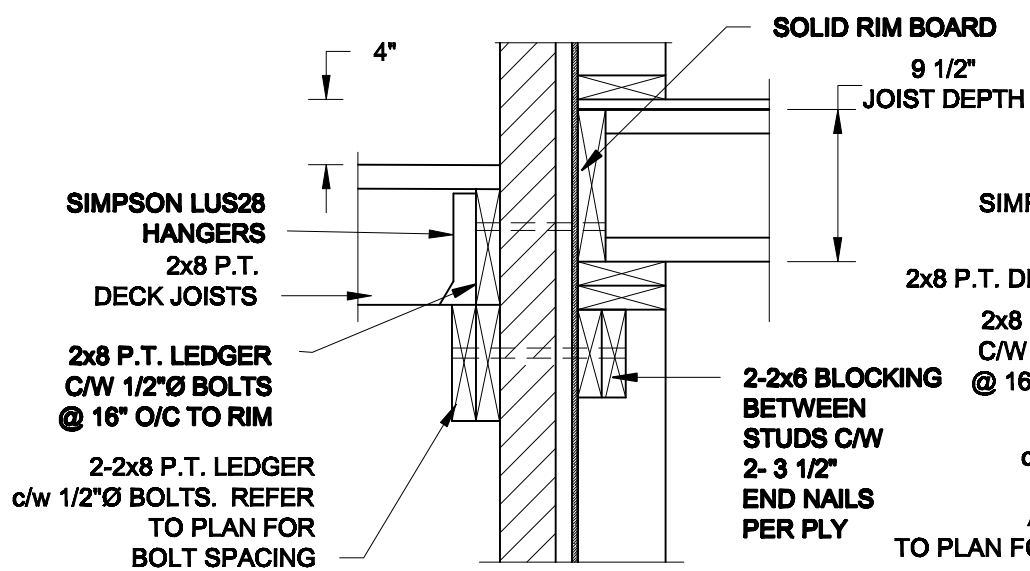
Wellington Jno-Baptiste 25591 BCIN
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	.	.	.
8	.	.	.
7	REVISED AS PER ENG'S COMMENTS	JUN 08-21	RC
6	REVISED AS PER FLOOR LAYOUT	JUN 03-21	RC
5	CREATED FOR L141	APR 22-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.

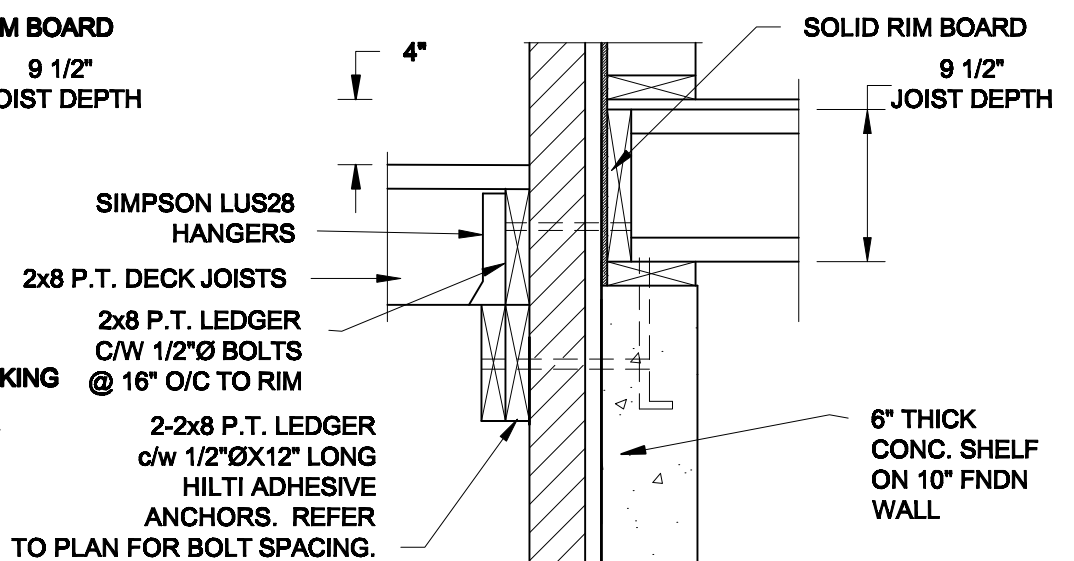
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drawing no. 8
project name SECTION 'A-A'
municipality BRADFORD, ONT.
date JANUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL

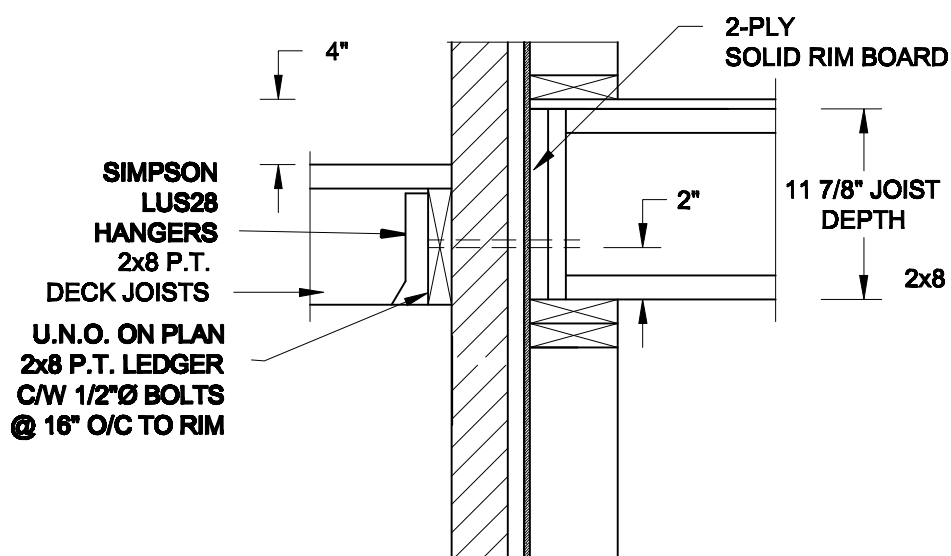
S2 SCALE: 1" = 1'-0"



1B DECK FASTENING DETAIL

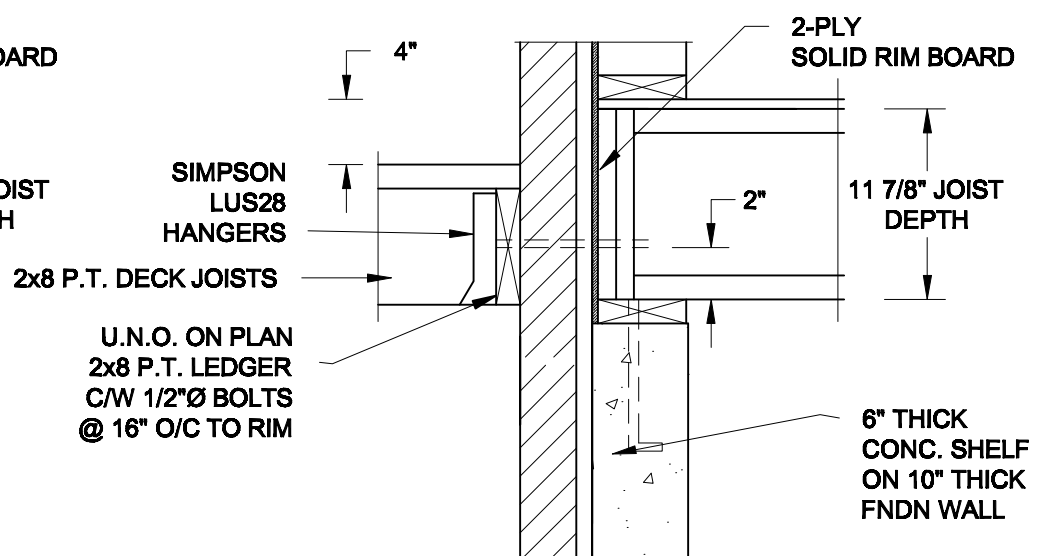
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

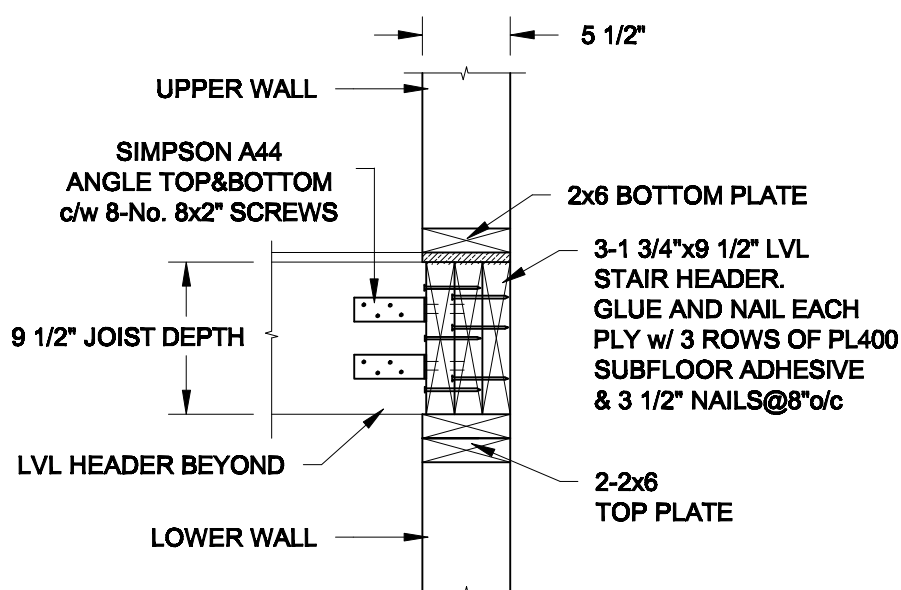


1D DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

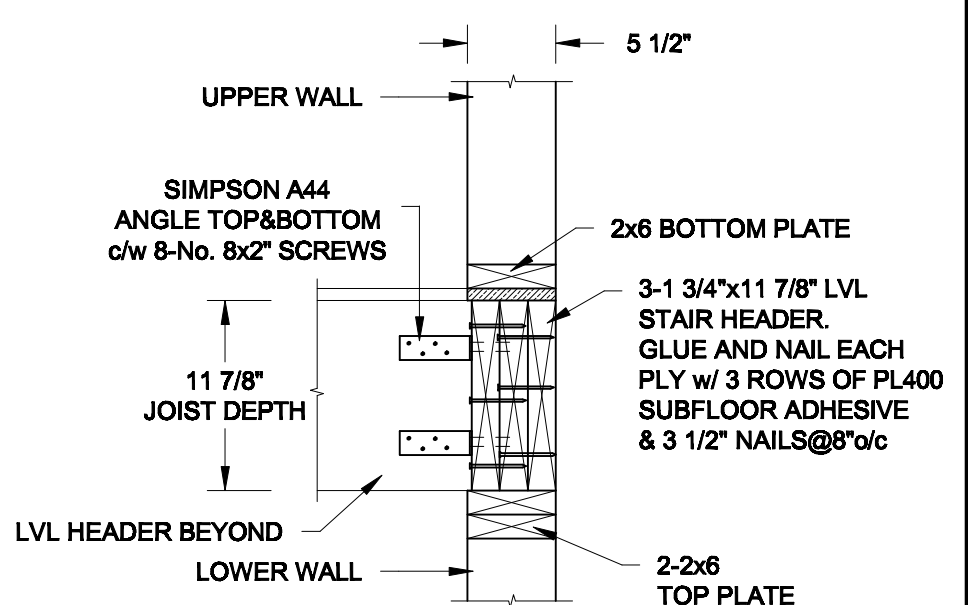
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B **STAIR HEADER**
S2 **SCALE: 1" = 1'-0"**

Scale:
AS NOTED

Date:
MAR-15-2021

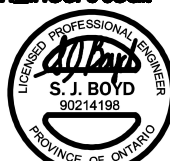
Drawn: SC	Checked: SJB
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QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
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E: qualle.eng@rogers.com**

Engineer's Sect



MAR 30. 2021

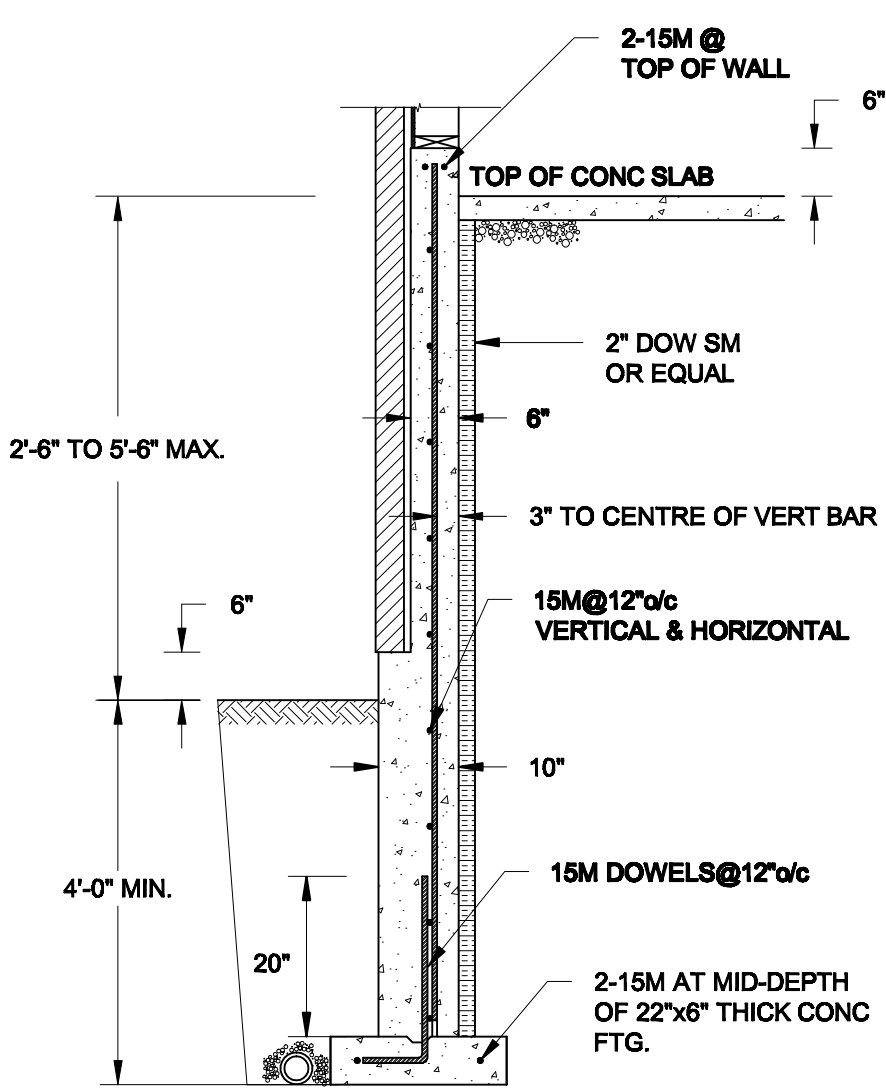
Project

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATE - SINGLE
BRADFORD, ONTARIO

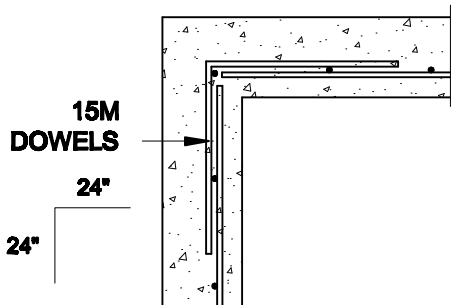
TYPICAL STRUCTURAL DETAILS

Project No.:
21-038

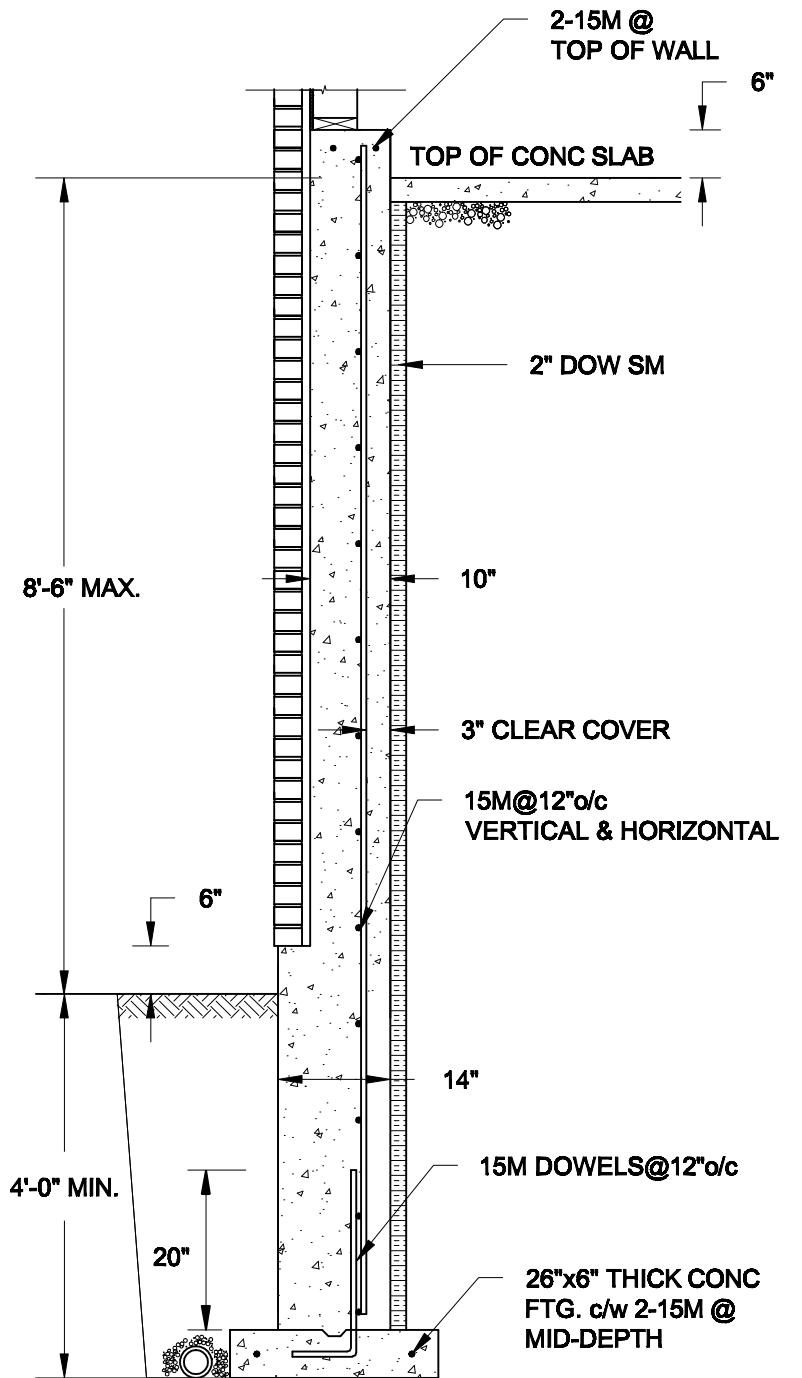
Drawing No.: **S2**



1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"



1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.

Scale: AS NOTED	
Date: MAR-15-2021	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



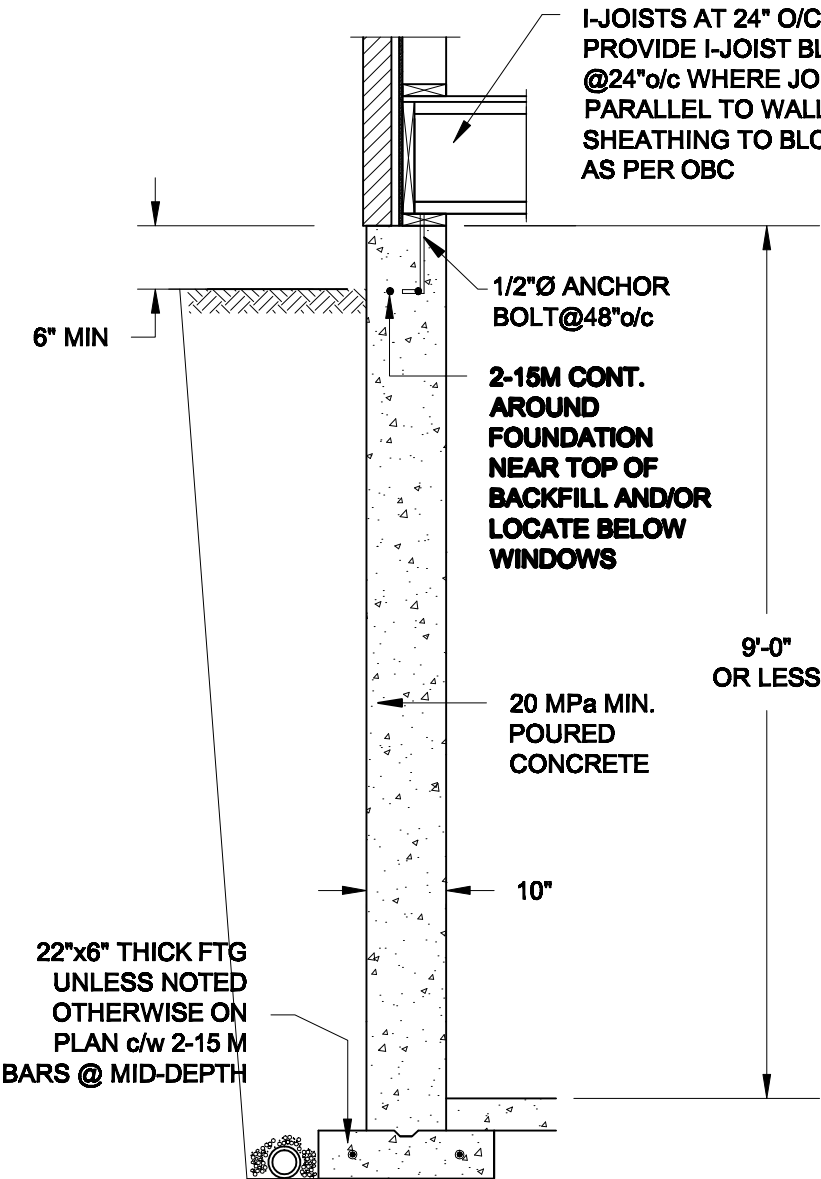
38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal

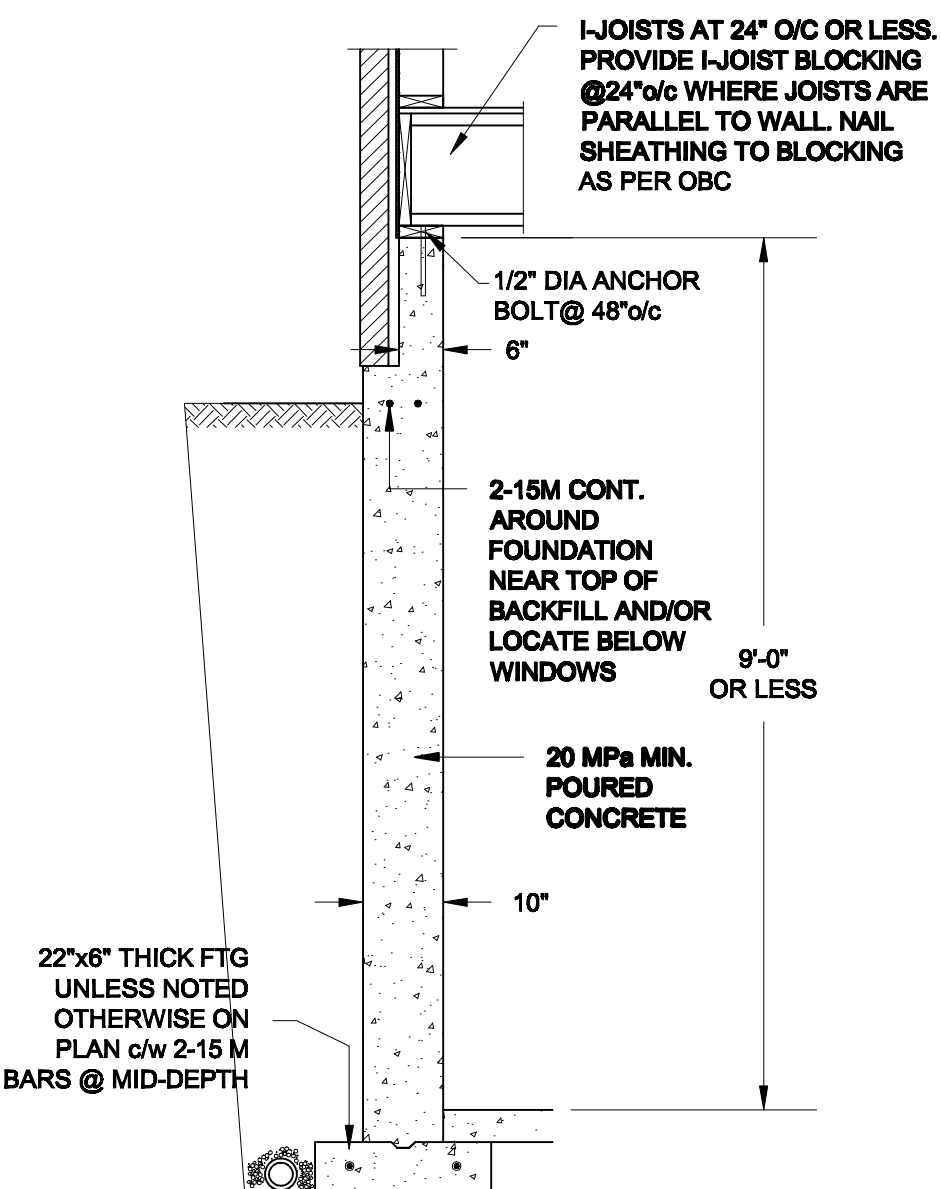


MAR 30, 2021

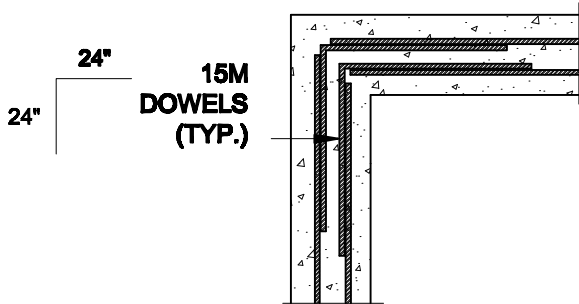
Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
TYPICAL STRUCTURAL DETAILS	
Project No.: 21-038	Drawing No.: S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4