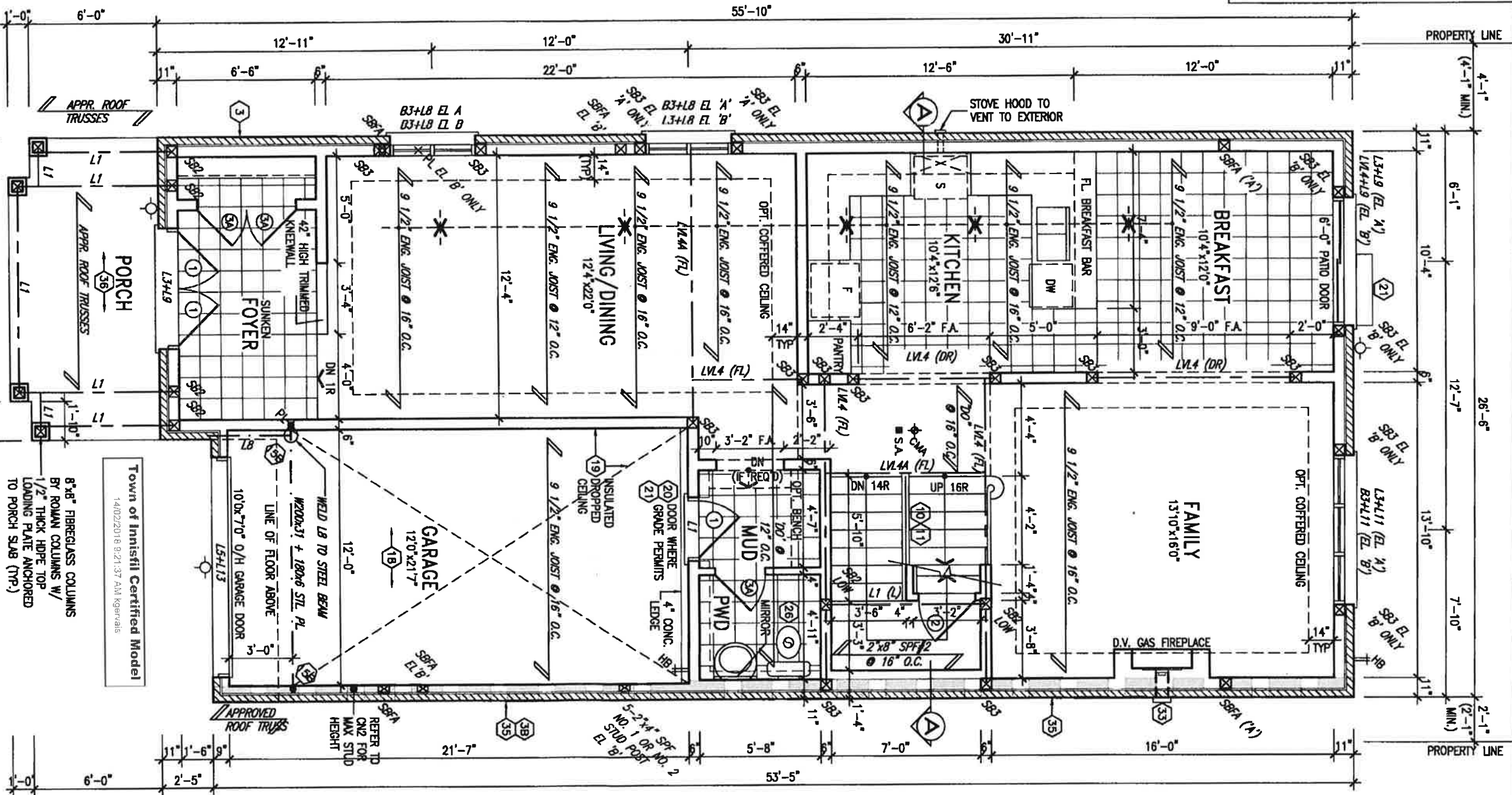


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building details. It is the responsibility of the building owner to ensure that any building can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

APPROVED FOR REVIEW BY ARCHITECT
DATE: 2015-11-10
A. T. QUALIE
A. T. QUALIE ARCHITECT
416-530-4782



NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN 'A'

INDICATES FIRE RATED WALL ASSEMBLY



9.	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	The undersigned has reviewed and taken responsibility for this design. I am a duly qualified and licensed Professional Engineer in the Province of Ontario. Building Code to be a Designer.	42858
8.	REVISED AS PER ENG COMMENTS	DEC 15-16	RC	questionnaire information	25591
7.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	Wallington Jno-Bogdanoff	42858
6.	REVISED INSULATION AT STAIRS	SEP 19-16	SB	name	42858
5.	REVISED INSULATION AT STAIRS	JUL 22-16	SB	revision information	42858
4.	ADD WOOD AND REAR UPGRADE	MAY 30-16	RC	VAS Design Inc.	42858
3.	REVISED AS PER ENG'S COMMENTS	APR 27-16	RC	Contractor must verify all dimensions on the job and report any discrepancies to the designer. The designer is not responsible for the accuracy of the dimensions on the job and the property of the building which must be returned at the completion of the work.	42858
2.	REVISED AS PER TRUSS LAYOUTS	NOV 10-15	CM	date	42858
1.	ISSUED FOR CLIENT REVIEW			by	42858
0.	description				42858

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DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1K4
416.530.2255 / 416.530.4782
vasdesign.com

BAYVIEW WELLINGTON

project name

ALCONA SHORES

drawn by

checked by

date

3/16" = 1'-0"

GROUND FLOOR PLAN ELEVATION 'A'

project no.

13049

drawing no.

2

S32-5-12C

PELICAN 5-12

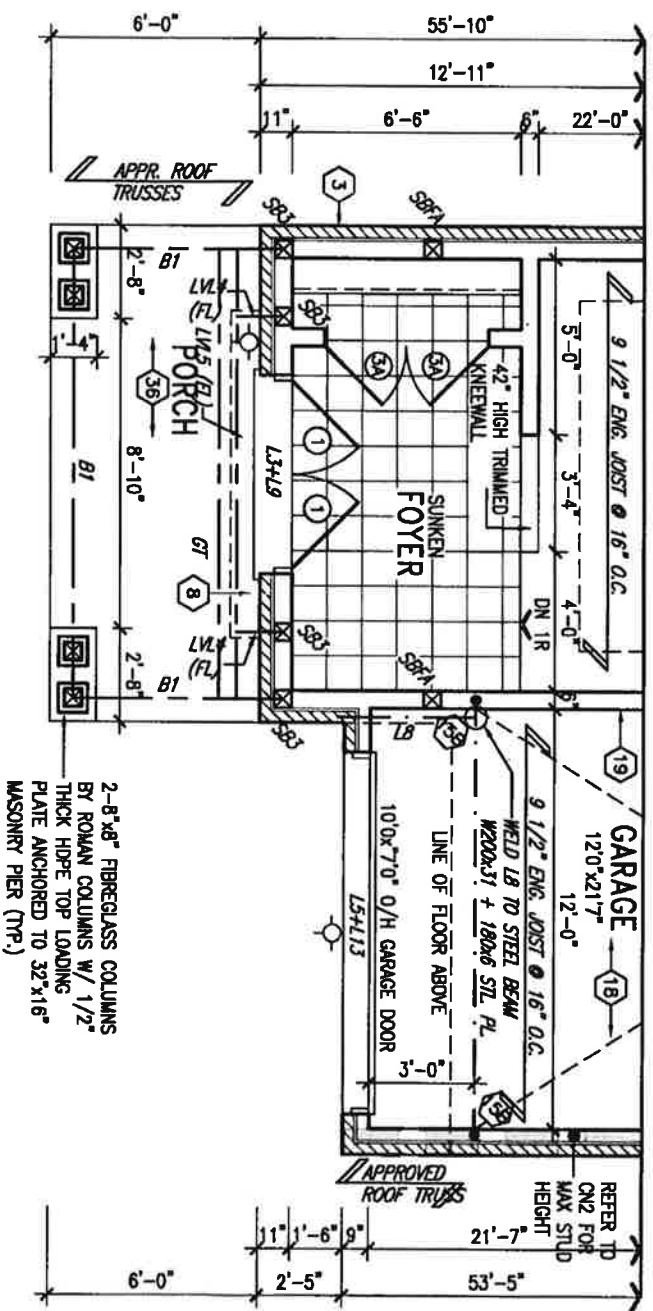
It is the builder's complete responsibility to ensure that all plans submitted for approval to the Corporation of the City of Mississauga and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL DESIGN & CONSTRUCTION
1402/2018 9:23:13 AM
A. T. Qualle
PROVIDE TYPICAL, APPROVED

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHING IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.1.1(1)(d), & 3.8.3.1.3(1)(d) AND DETAILS PROVIDED

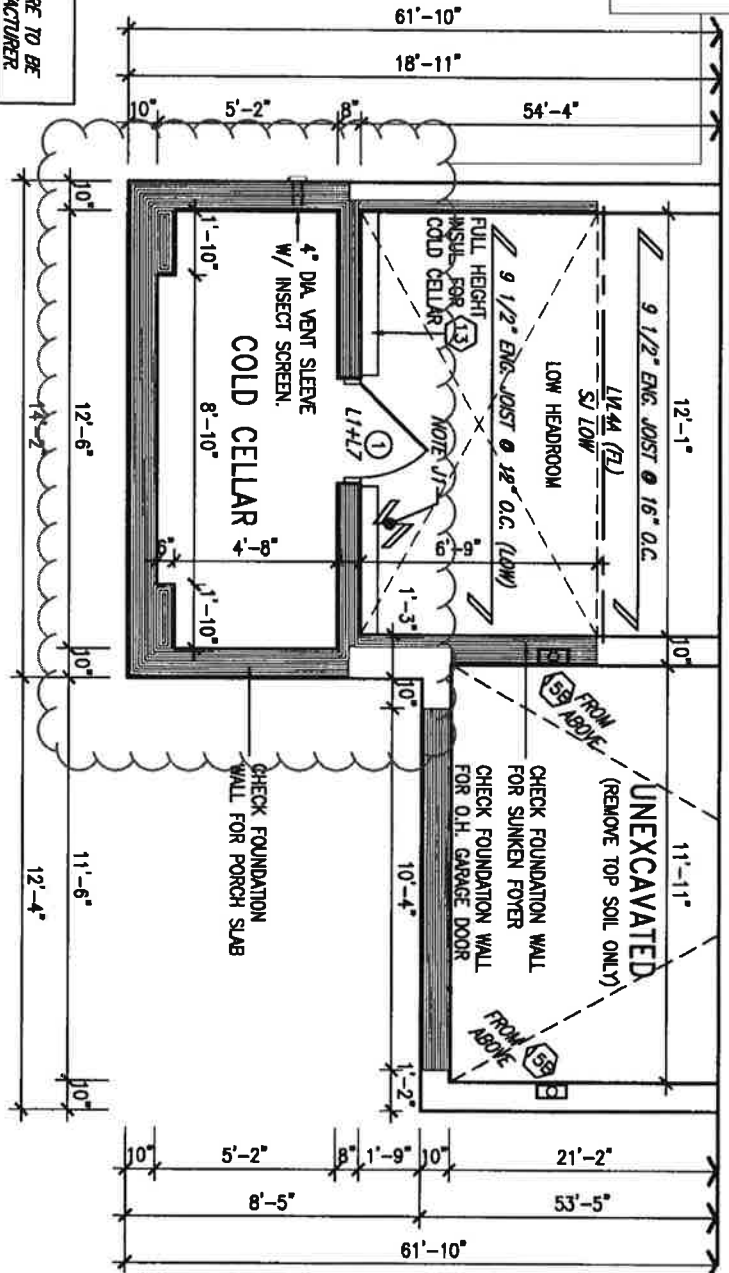
NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



Provide 4" of rigid insulation below slab for protection of footings on interior of cold cellar.

PARTIAL GROUND FLOOR PLAN 'B'

Town of Innisfil Certified Model
1402/2018 9:23:13 AM HGRVARS



PARTIAL BASEMENT PLAN 'B'

NOTE:
ALL 1M'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL 1M'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL 1M'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

BAYVIEW WELLINGTON		S32-5-12G	
ALCONA SHORES		PELICAN 5-12	
INNISFIL, ON.		PARTIAL PLANS ELEVATION 'B'	
NOVEMBER 2015		13049-S32-5-12	
drawn by		checked by	
3/16" = 1'-0"		13049-S32-5-12	
13049-S32-5-12		drawing no.	
4		13049	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1K4
416.630.2255 f 416.630.4782
v3design.com

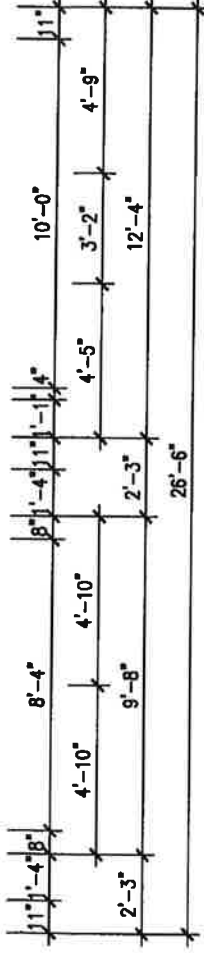
Project name: BAYVIEW WELLINGTON
Location: ALCONA SHORES
City: INNISFIL, ON.
Drawing: PARTIAL PLANS ELEVATION 'B'
Date: NOVEMBER 2015
Scale: 3/16" = 1'-0"
Drawing no: 13049-S32-5-12
Drawing by: 4
Drawing no: 13049

INDICATES FIRE RATED WALL ASSEMBLY

Licensed Professional Engineer
A. T. Qualle
17-08-01
PROVINCE OF ONTARIO

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

John G. Williams, University of Maryland



Town of Innisfil Certified Model
14/02/2018 9:23:38 AM kgenvais



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

[illegible]

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4780
vo3design.com

project name	ALCONA SHORES
jurisdiction	INNISFIL, ON.

NOVEMBER 2015

data	drawn by	checked by	scale
CM		-	$3/16" = 1'-0"$

[illegible]

ELEVATION 'B'	drawing no.	project no.
		13049

5	13049-S32-5-12	for name	ELEVATION D
---	----------------	----------	-------------

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RIGHT SIDE ELEVATION 'A'

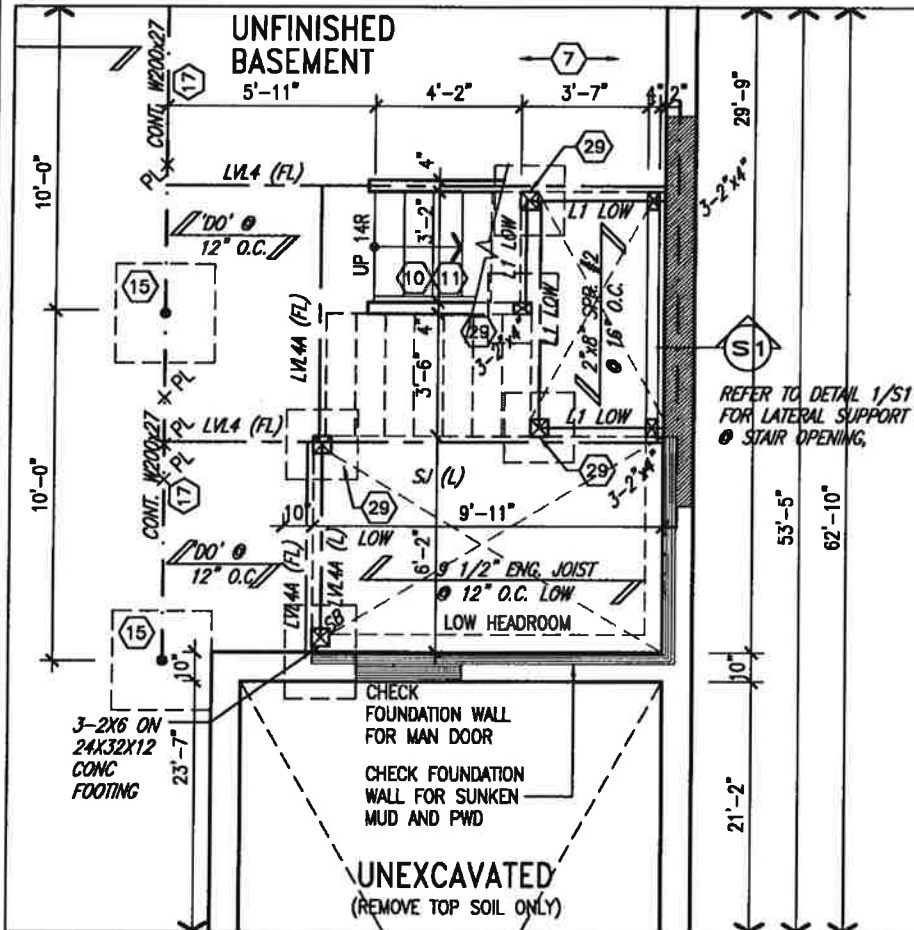


project name ALCONA SHORES date NOVEMBER 2015 drawn by - checked by 3/16" = 1'-0" scale - file name 13049-S32-5-12 drawing no. 8	manipulated INNISFILL, ON. BAYVIEW WELLINGTON S32-5-12G PELICAN 5-12
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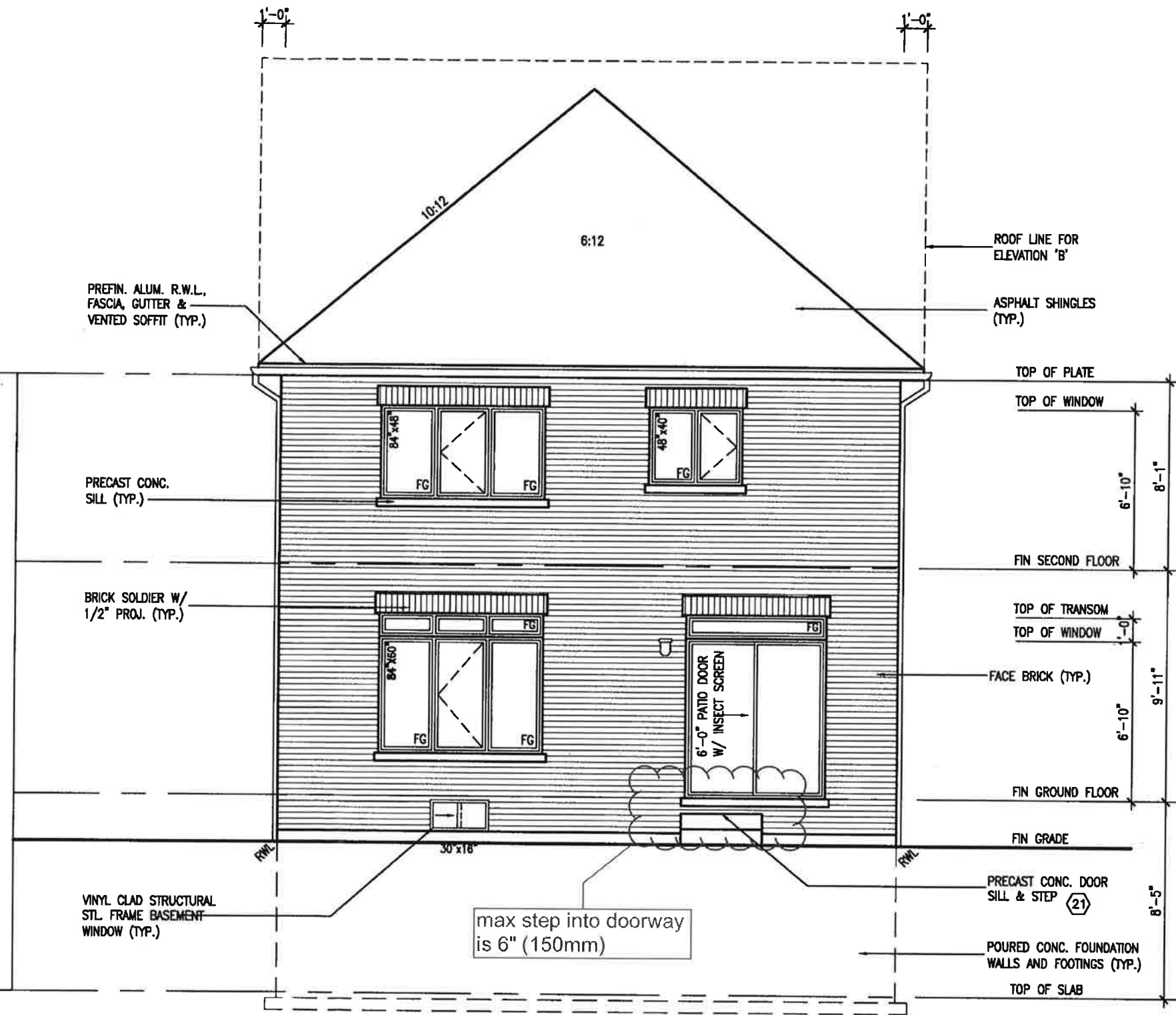
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Town of Innisfil Certified Model
14/02/2018 9:27:30 AM kgervais



PARTIAL BASEMENT PLAN FOR
SUNKEN MUD & PWD MAX 1R



REAR ELEVATION 'A' & 'B'



BAYVIEW WELLINGTON		S32-5-12G PELICAN 5-12	
ALCONA SHORES		INNISFIL, ON.	
NOVEMBER 2015		REAR ELEVATION 'A' & 'B'	
checked by: 3/16" = 1'-0"		scale: 3/16" = 1'-0"	
date: NOV 10-15 CM		date: NOV 10-15 CM	
no. description		no. description	
1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW	
2 REVISED AS PER ENG'S COMMENTS		2 REVISED AS PER ENG'S COMMENTS	
3 REVISED AS PER TRUSS LAYOUTS		3 REVISED AS PER TRUSS LAYOUTS	
4 ADD WOOD AND REAR UPGRADE		4 ADD WOOD AND REAR UPGRADE	
5 REVISED INSULATION AT STAIRS		5 REVISED INSULATION AT STAIRS	
6 REVISED AS PER ENG TRUSS LAYOUT		6 REVISED AS PER ENG TRUSS LAYOUT	
7 REVISED TO 10" FOUNDATION WALLS		7 REVISED TO 10" FOUNDATION WALLS	
8 REVISED AS PER ENG COMMENTS		8 REVISED AS PER ENG COMMENTS	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

name: A. T. Quail
qualification: Professional Engineer
no. 17-08-01
date: 17-08-01

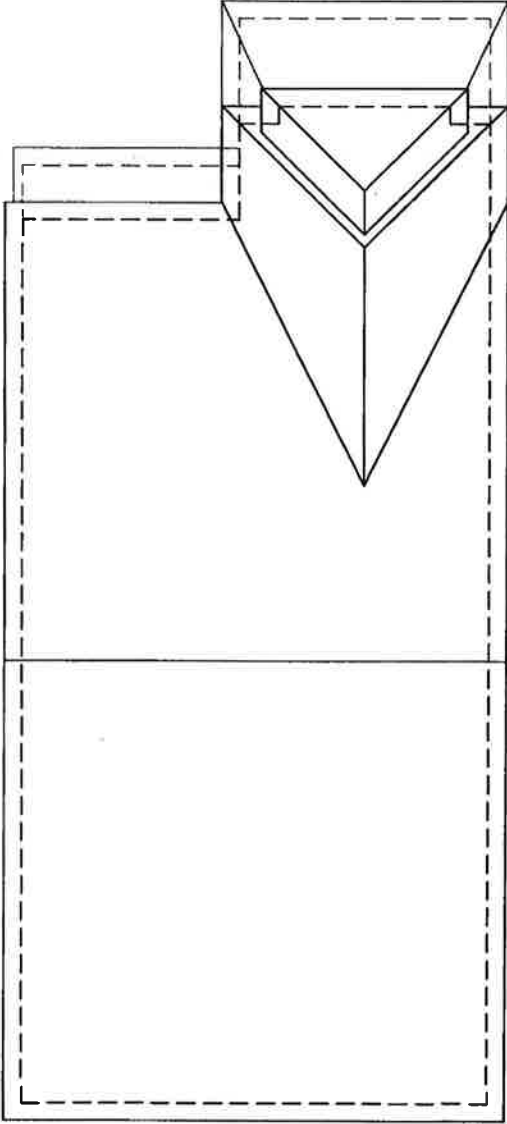
25591 25591 42558 42558

WELLINGTON INC. - BAPTISTE
V.A.S. DESIGN INC.

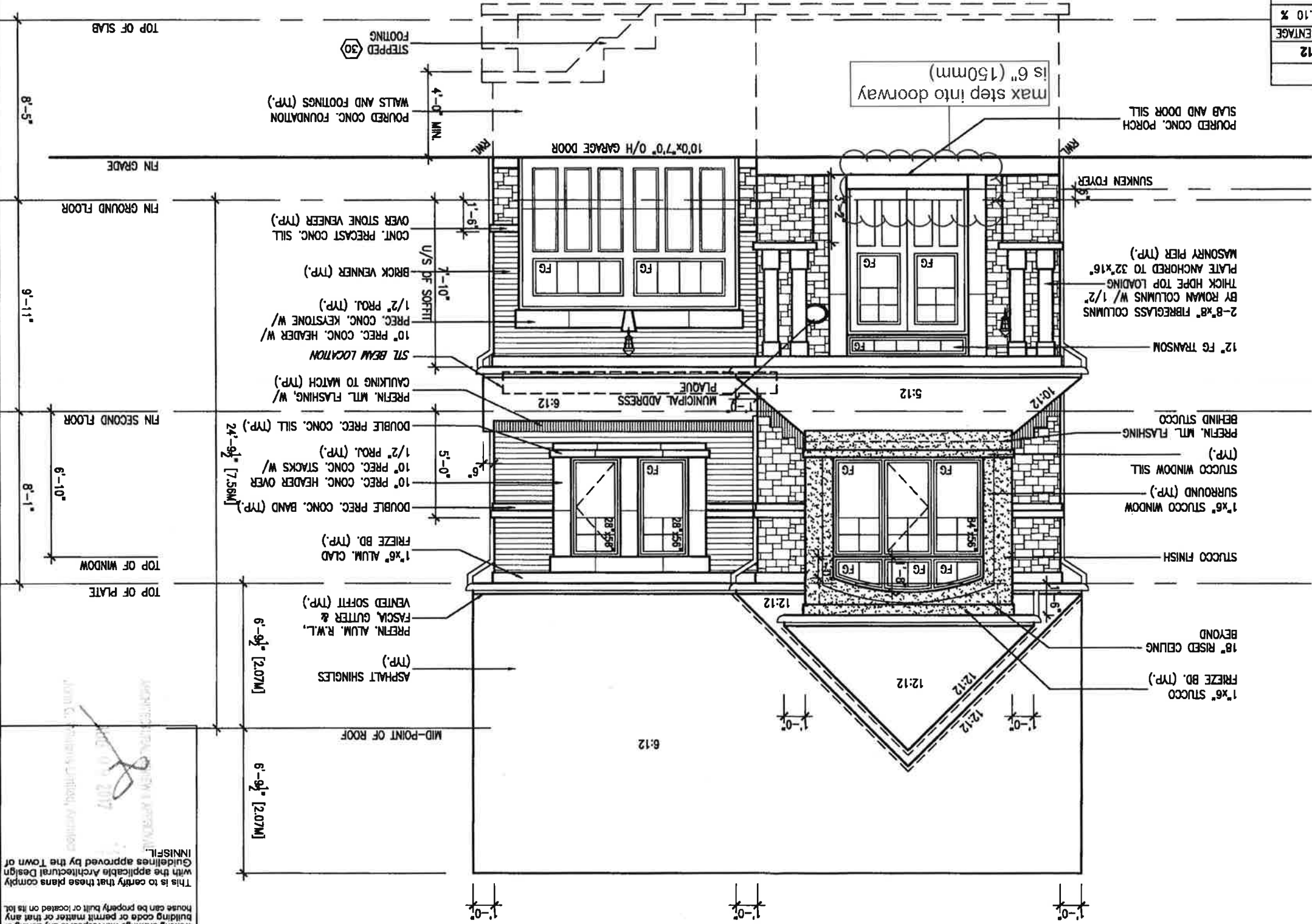
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))	
32-5-12 ELEVATION B	ENERGY EFFICIENCY - OBC SB12
ELEVATION	WALL AREA S.F.
FRONT	542 S.F.
LEFT SIDE	1117 S.F.
RIGHT SIDE	1117 S.F.
REAR	530 S.F.
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	
	0 S.F.
TOTAL SQ. FT.	3306.00 S.F.
TOTAL SQ. M.	307.13 S.M.
	26.79 S.M.
	8.72 %

ROOF PLAN 'B'



Town of Innisfil Certified Model
14/02/2018 9:27:36 AM Kgevals



FRONT ELEVATION 'B'



9.	REMOVED AS PER ENG. COMMENTS	JUL 21-17	RC	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the contract. Nothing shall be a design. Contractor Information Wellington Two-Boplaite name: <i>John Boplaite</i> 25591 registration information: <i>John Boplaite</i> VMS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the design office promptly with the work. All drawings and specifications are instruments of service and the property of the design firm. The material is loaned to the completion of the work. Drawings are not to be copied.
8.	REMOVED AS PER ENG. COMMENTS	DEC 15-16	AE	
7.	REMOVED TO FOUNDATION WALLS	SEP 26-16	RC	
6.	REMOVED AS PER ENG. TRUSS LAYOUT	SEPT 19/16	SB	
5.	REMOVED INSULATION AT STAIRS	JUL 22-16	S8	
4.	ADD WOOD AND REAM UPGRADE	MAY 30-16	RC	
3.	REMOVED AS PER ENG.'S COMMENTS	APR 21-16	RC	
2.	REMOVED AS PER TRUSS LAYOUTS	NOV 10-15	CM	
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
w3design.com

BAYVIEW WELLINGTON

S32-5-12G

PELICAN 5-12

ALCONA SHORES

NOVEMBER 2015

date **drawn by**

CM

RICHARD - H:\MACHINE\WORK

is the copyright property of

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of

2017 09 08

All drawings, specifications, related documents and design are the copyright property of WJ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WJ DESIGN's written permission.

Town of Innisfil Certified Model
14/02/2018 9:27:57 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BAYVIEW WELLINGTON

S32-5-12G

PELICAN 5-12

ALCONA SHORES

INNISFIL, ON.

NOVEMBER 2015

LEFT SIDE ELEVATION 'B'

11

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
v3design.com

no. description

date

by

8

REVISED AS PER ENG COMMENTS

JUL 21-17 RC

7

REVISED TO 10' FOUNDATION WALLS

DEC 15-16 A/E

6

REVISED AS PER ENG TRUSS LAYOUT

SEP 26-16 RC

5

REVISED INSULATION AT STAIRS

SEP 19-16 SB

4

ADD WOOD AND REAR UPGRADE

JUL 22-16 SB

3

REVISED AS PER ENG'S COMMENTS

MAY 30-16 RC

2

REVISED AS PER TRUSS LAYOUTS

APR 27-16 RC

1

ISSUED FOR CLIENT REVIEW

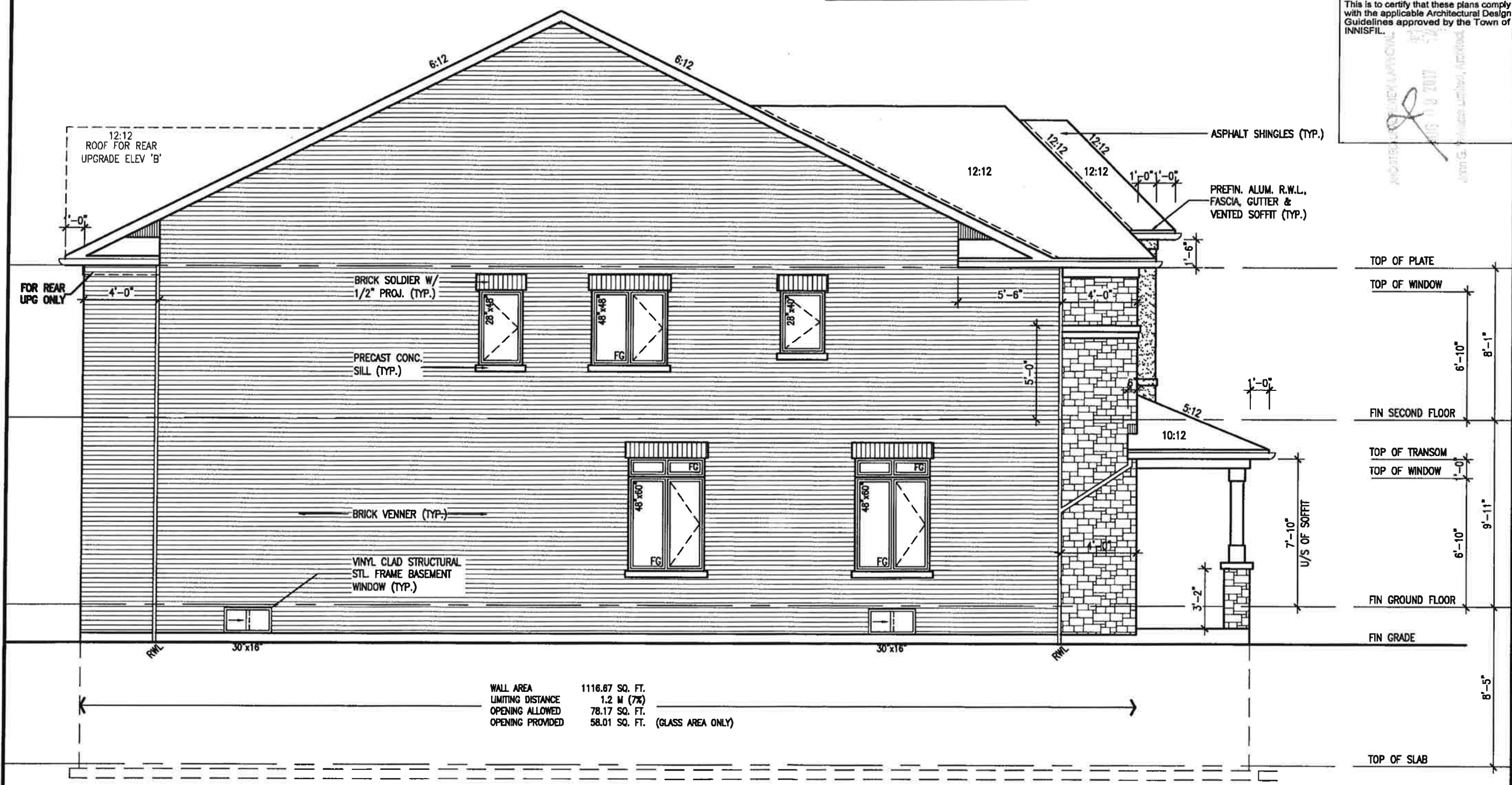
NOV 10-15 CM

no. description

date

by

9



WALL AREA	1116.87 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	78.17 SQ. FT.
OPENING PROVIDED	58.01 SQ. FT. (GLASS AREA ONLY)

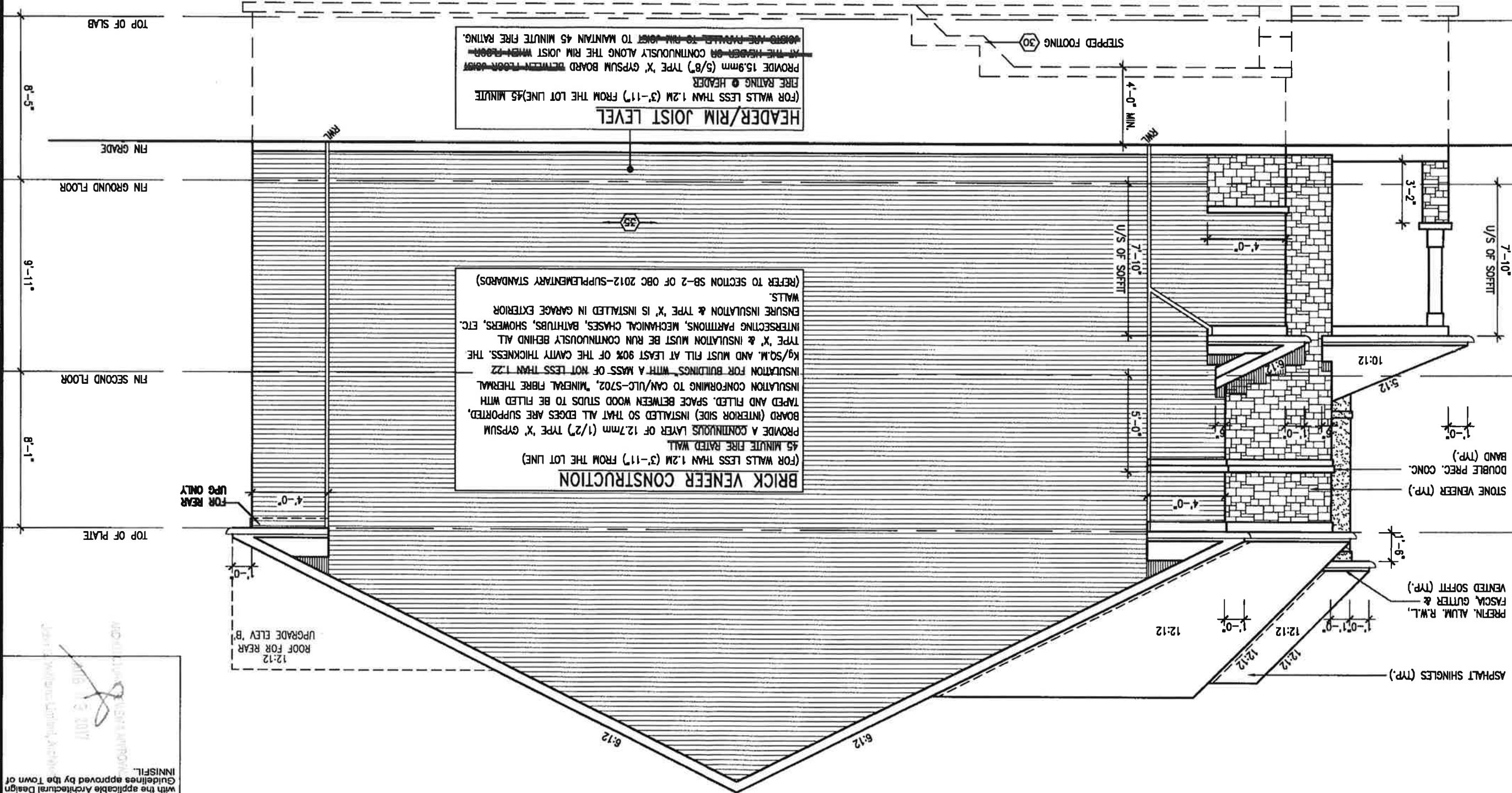
REFER TO FRONT
ELEVATION FOR
ADDITIONAL NOTES

LEFT SIDE ELEVATION 'B'



REFER TO FRONT
ELEVATION FOR
ADDITIONAL NOTES

RIGHT SIDE ELEVATION 'B'



HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOISTS
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM
BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED,
TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH
INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL
Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE
TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL
INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC.
ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR
WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

Town of Innisfil Certified Model
14/02/2018 9:32:34 AM kgvalais

9	REVISIONS	DATE	BY	DESCRIPTION
1	ISSUED FOR CLIENT REVIEW	NOV 10-15 CM		
2	REVISIONS AS PER TRUSS LAYOUTS	APR 27-16 RC		
3	REVISIONS AS PER ENG'S COMMENTS	MAY 30-16 RC		
4	ADD WOOD AND REAR UPGRADE	SEP 19/16 SB		
5	REVISIONS INSULATION AT STAIRS	JUL 22-16 SB		
6	REVISIONS AS PER ENG TRUSS LAYOUT	SEP 26-16 RC		
7	REVISIONS TO 10" FOUNDATION WALLS	DEC 15-16 AE		
8	REVISIONS AS PER ENG COMMENTS	JUL 21-17 RC		



VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
ALCONA SHORES
INISFIL, ON.
RIGHT SIDE ELEVATION 'B'

S32-5-126
PELICAN 5-12
13049

12

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

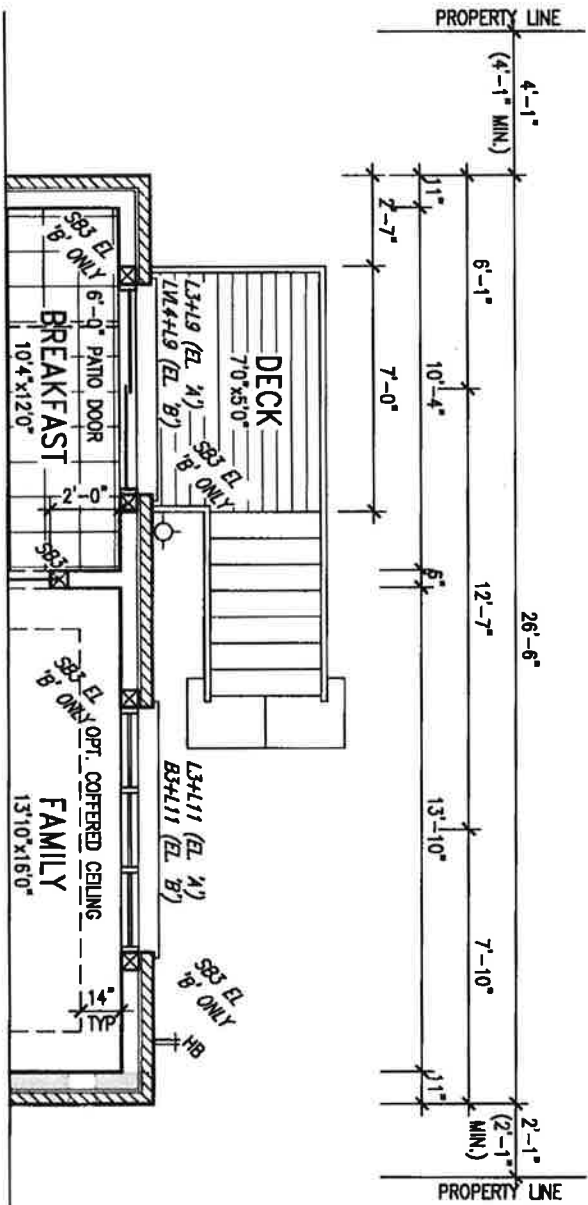
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

14/02/2018 9:32:34 AM kgvalais

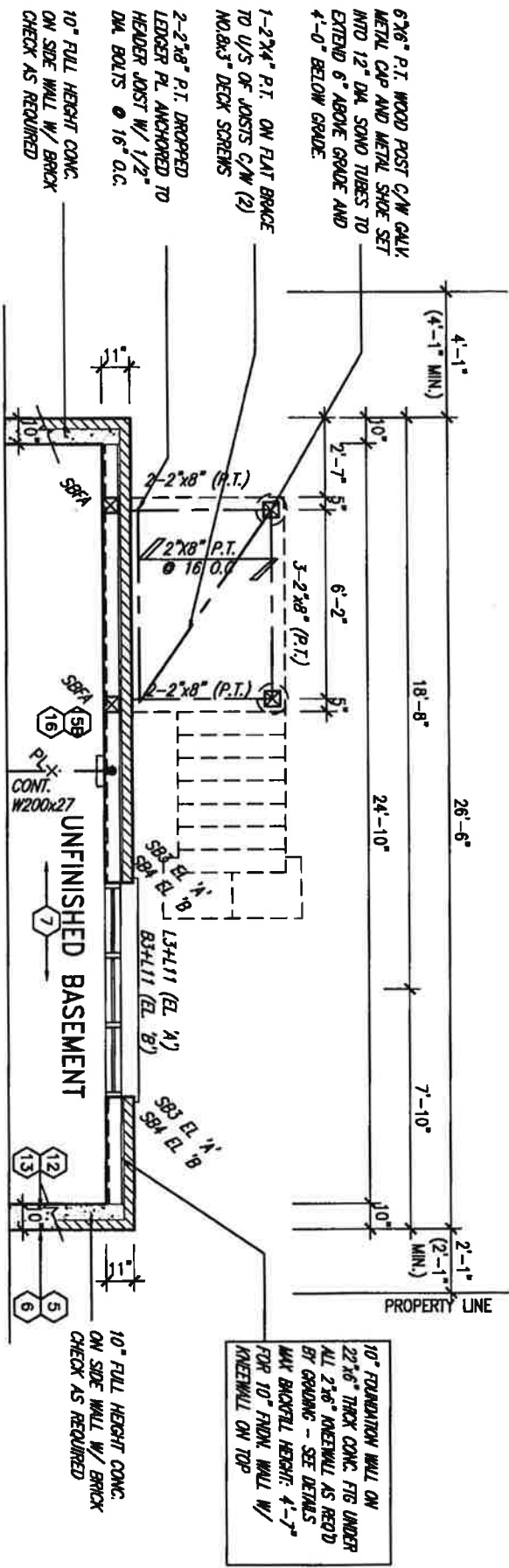
It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

INNOVATION IN ARCHITECTURE
ARCHITECTURE & INTERIOR DESIGN
JUL 19 2017
JUL 19 2017
JUL 19 2017



PARTIAL GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

MIN. SOIL BEARING
CAPACITY OF 150KPa

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL
CEMENT TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

Town of Innisfil Certified Model
1402/2016 9:33:53 AM Kervais

LICENSED PROFESSIONAL ENGINEER
A. T. Quail
17-08-01
PROVINCE OF ONTARIO

9.	REVISIONS	DATE	BY	REASON
8.	REVISIONS	JUL 21-17	RC	THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A BUILDING.
7.	REVISIONS	DEC 15-16	AE	Verification Information
6.	REVISIONS	SEP 26-16	RC	Wellington Jno-Bophts
5.	REVISIONS	SEP 19/16	SB	name
4.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	revision information
3.				VAS Design Inc.
2.				42859
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB	Contractor must verify all dimensions on the job and report any discrepancies to the designer before proceeding with the work. All drawings and specifications are submitted as the property of the designer and shall be returned at the completion of the work. Drawings are not to be made.
no.	description	date	by	

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4792
vaddesign.com

BAYVIEW WELLINGTON

ALCONA SHORES

PARTIAL W.O.D. BASEMENT / GROUND FLOOR PLANS

INNISFIL, ON.

S32-5-126

PELICAN 5-12

13049-S32-5-12

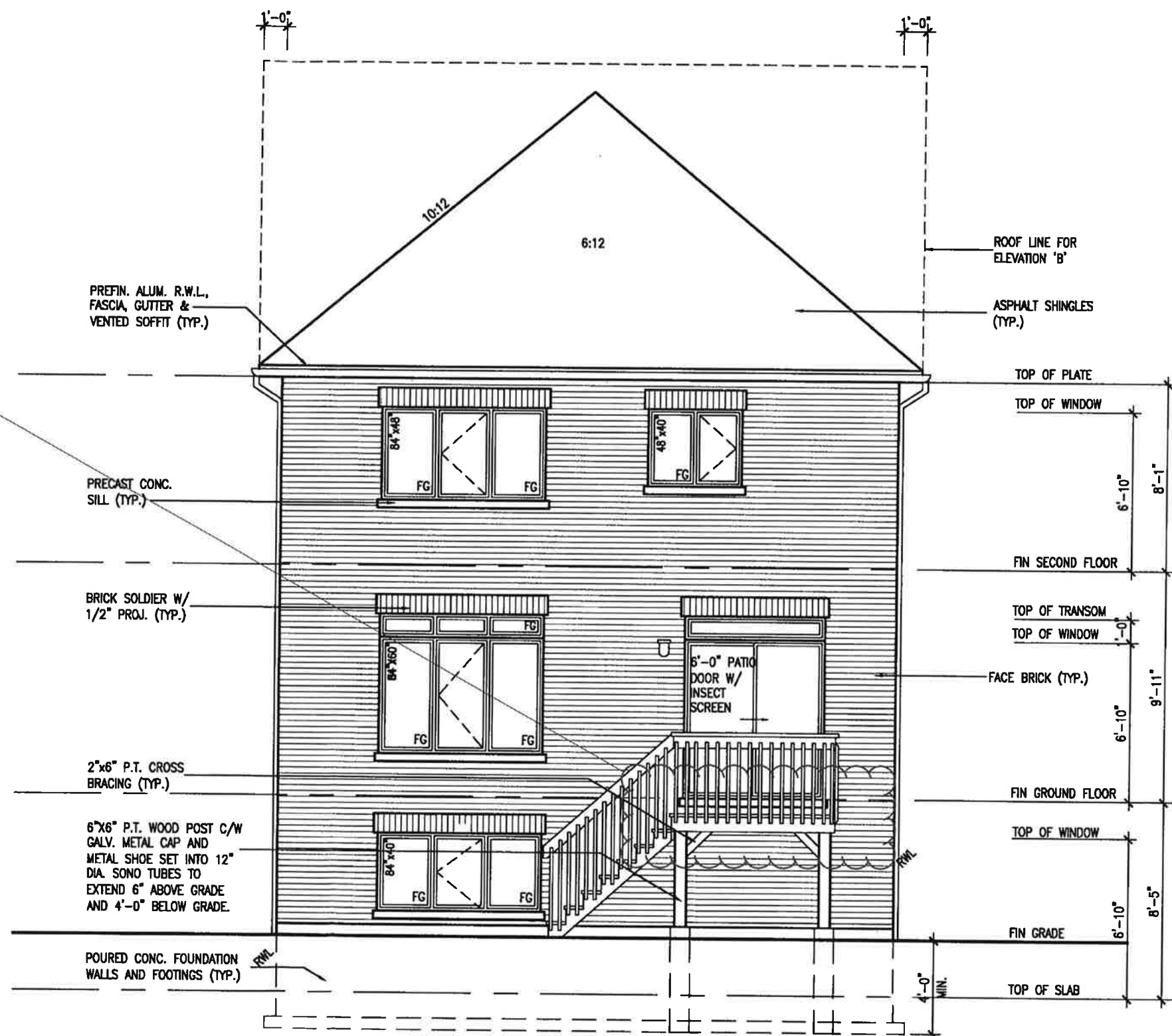
14

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

14/02/2018 9:34:59 AM kcervais

max rise of step into doorway is 6" (150mm)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-5-12 ELEVATION A 9R WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	102.293 S.F.	18.87 %
LEFT SIDE	1117 S.F.	87.778 S.F.	7.86 %
RIGHT SIDE	1117 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	153.667 S.F.	24.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3412.00 S.F.	343.74 S.F.	10.07 %
TOTAL SQ. M.	316.98 S.M.	31.93 S.M.	10.07 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-5-12 ELEVATION B 9R WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	108.967 S.F.	20.10 %
LEFT SIDE	1117 S.F.	87.778 S.F.	7.86 %
RIGHT SIDE	1117 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	153.667 S.F.	24.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3412.00 S.F.	350.41 S.F.	10.27 %
TOTAL SQ. M.	316.98 S.M.	32.55 S.M.	10.27 %



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

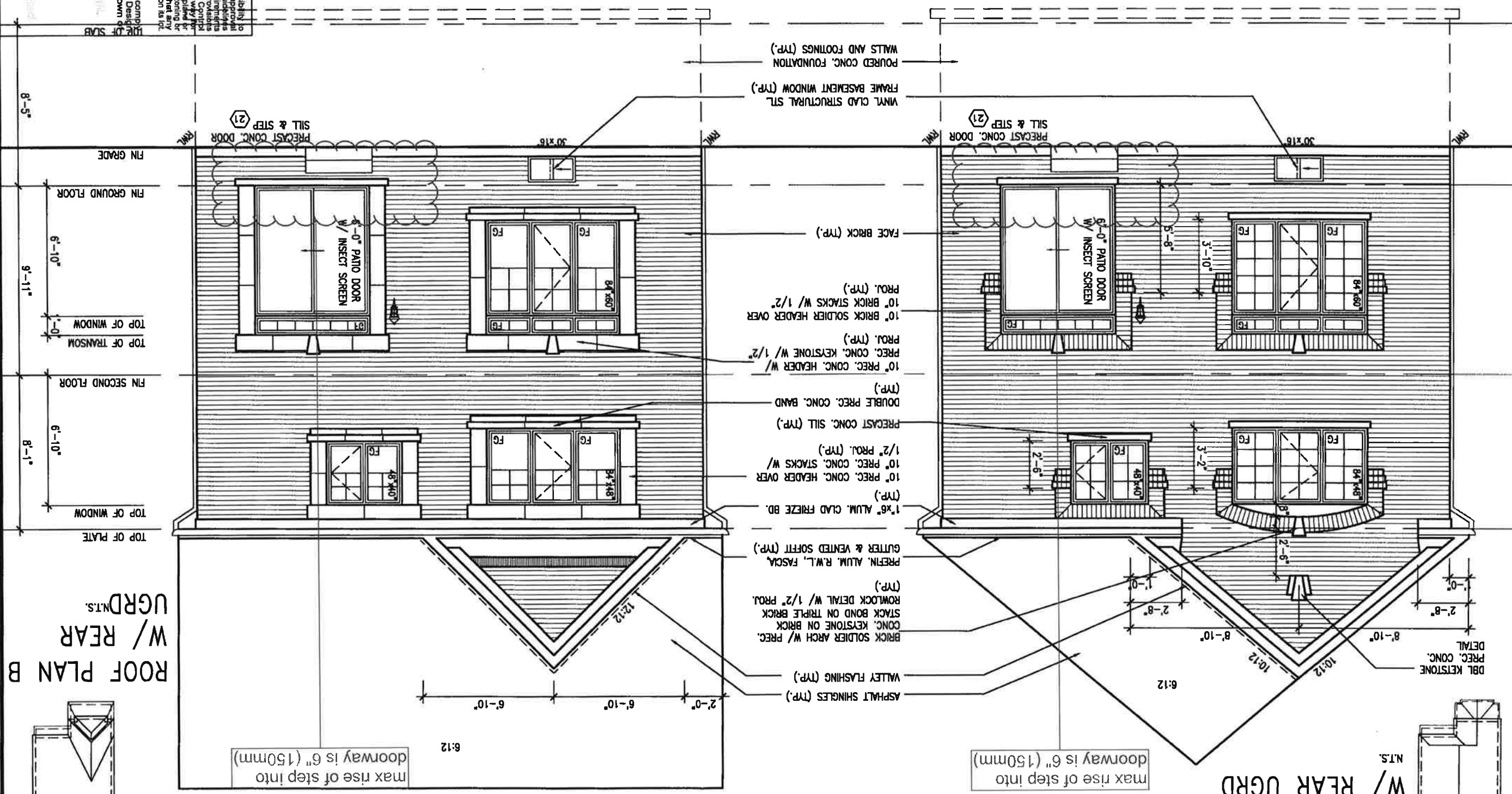
REAR ELEVATION 'A' & 'B'
W.O.D.9R AND MORE COND.
12'0" GARAGE

[illegible]



REAR ELEVATION 'B' UPGRADE
12'0" GARAGE

REAR ELEVATION 'A' UPGRADE
12'0" GARAGE



ROOF PLAN B
W/ REAR UGRD N.T.S.

ROOF PLAN A
W/ REAR UGRD N.T.S.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	NOV 10-15 CM	
2	REVISED AS PER ENG'S COMMENTS	APR 27-16 RC	
3	REVISED AS PER ENG'S COMMENTS	MAY 30-16 RC	
4	ADD WOOD AND REAR UPGRADE	MAY 30-16 RC	
5	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
6	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
7	REVISED TO 10' FOUNDATION WALLS	DEC 15-16 AE	
8	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
9			

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

ALCONA SHORES

INNISFIL, ON.

NOVEMBER 2015

drawn by: *3/16" = 1'-0"*

checked by: *3/16" = 1'-0"*

scale: *3/16" = 1'-0"*

date: *3/16" = 1'-0"*

PROJECT NO. 13049

16

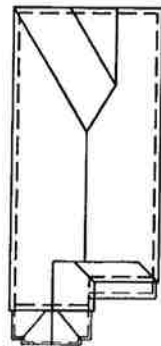
S32-5-12G

PELICAN 5-12

REAR ELEVATION 'A' & 'B' UPGRADE

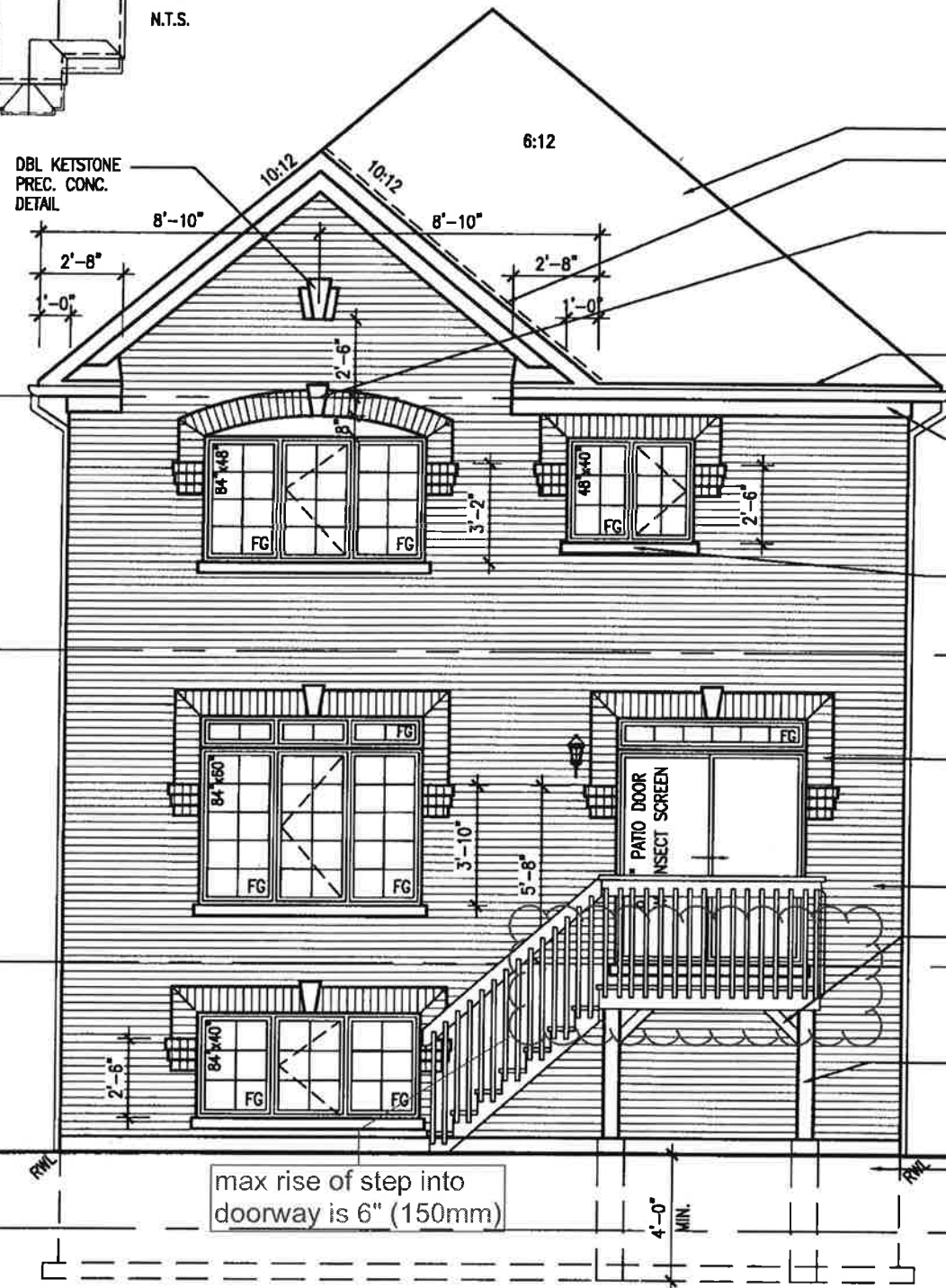
13049-S32-5-12

13049



ROOF PLAN A W/ REAR UGRD

N.T.S.



REAR ELEVATION 'A' UPGRADE
W.O.D.9R AND MORE COND.
12'0" GARAGE

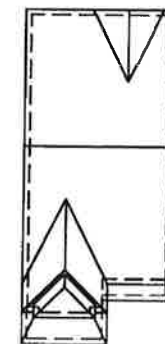


BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- BRICK SOLDIER ARCH W/ PREC. CONC. KEYSTONE ON BRICK STACK BOND ON TRIPLE BRICK ROWLOCK DETAIL W/ 1/2" PROJ. (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
- 10" PREC. CONC. HEADER OVER 10" PREC. CONC. STACKS W/ 1/2" PROJ. (TYP.)
- PRECAST CONC. SILL (TYP.)
- DOUBLE PREC. CONC. BAND (TYP.)
- 10" PREC. CONC. HEADER W/ PREC. CONC. KEYSTONE W/ 1/2" PROJ. (TYP.)
- 10" BRICK SOLDIER HEADER OVER 10" BRICK STACKS W/ 1/2" PROJ. (TYP.)
- FACE BRICK (TYP.)
- 2"x6" P.T. CROSS BRACING (TYP.)
- 6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 4'-0" BELOW GRADE.
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)



ROOF PLAN B W/ REAR UGRD

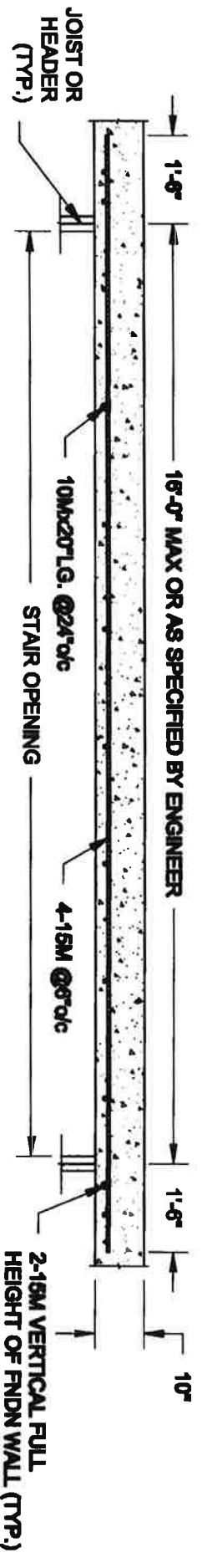


REAR ELEVATION 'B' UPGRADE
W.O.D.9R AND MORE COND.
12'0" GARAGE

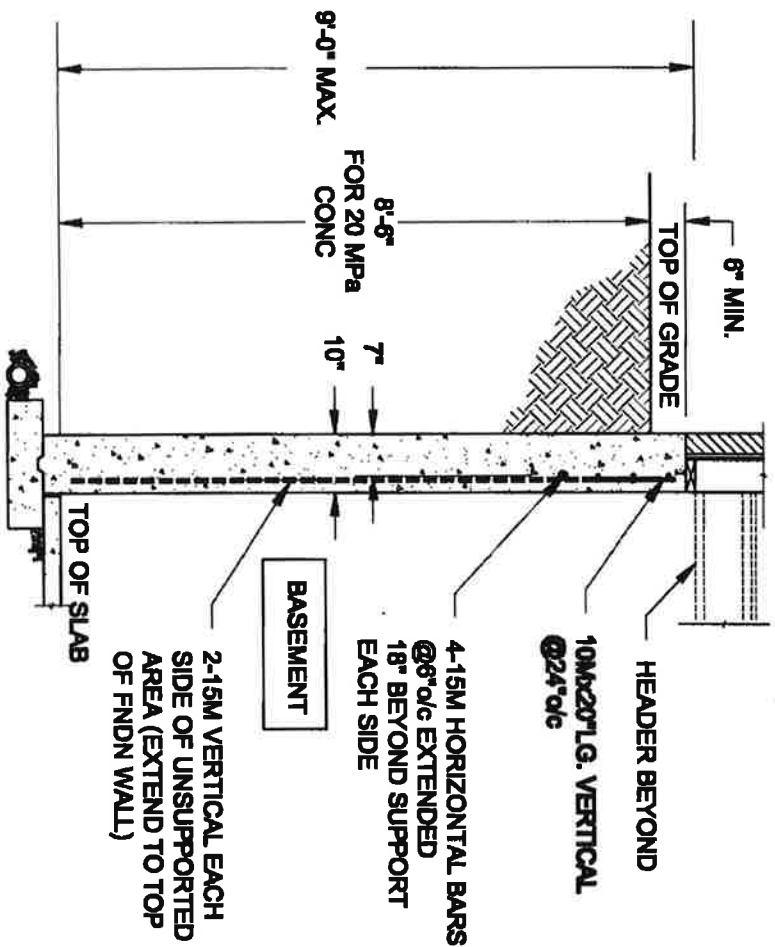
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the subdivision agreement. The Contractor is responsible for obtaining all necessary permits and for ensuring that all work is done in accordance with the approved plans and specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that all work is done in accordance with the approved plans and specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that all work is done in accordance with the approved plans and specifications.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil, ON.

BAYVIEW WELLINGTON		S32-5-12G	13049
ALCONA SHORES		PELICAN 5-12	13049
INNISFIL, ON.		NOVEMBER 2015 REAR ELEVATION 'A' & 'B' UPGRADE 9R OR MORE WOD	17
255 Consumers Rd Suite 120		checked by	3/16" = 1'-0"
Toronto ON M2J 1R4		drawn by	13049-S32-5-12
1-416-630-2255		date	13049-S32-5-12
1-416-630-4782		date	13049-S32-5-12
v3design.com		date	13049-S32-5-12
The undersigned has reviewed and takes responsibility for this design and for the accuracy and completeness of the information provided and for the building code to be a design.		date	13049-S32-5-12
qualification information		date	13049-S32-5-12
Wellington Jno-Baptiste		date	13049-S32-5-12
v3design.com		date	13049-S32-5-12
JUL 21-17 RC		date	13049-S32-5-12
DEC 15-16 AE		date	13049-S32-5-12
SEP 26-16 RC		date	13049-S32-5-12
SEP 19-16 SR		date	13049-S32-5-12
JUL 22-16 SR		date	13049-S32-5-12
MAY 30-16 RC		date	13049-S32-5-12
APR 27-16 RC		date	13049-S32-5-12
NOV 10-15 CM		date	13049-S32-5-12
no. description		date	13049-S32-5-12



PLAN VIEW



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

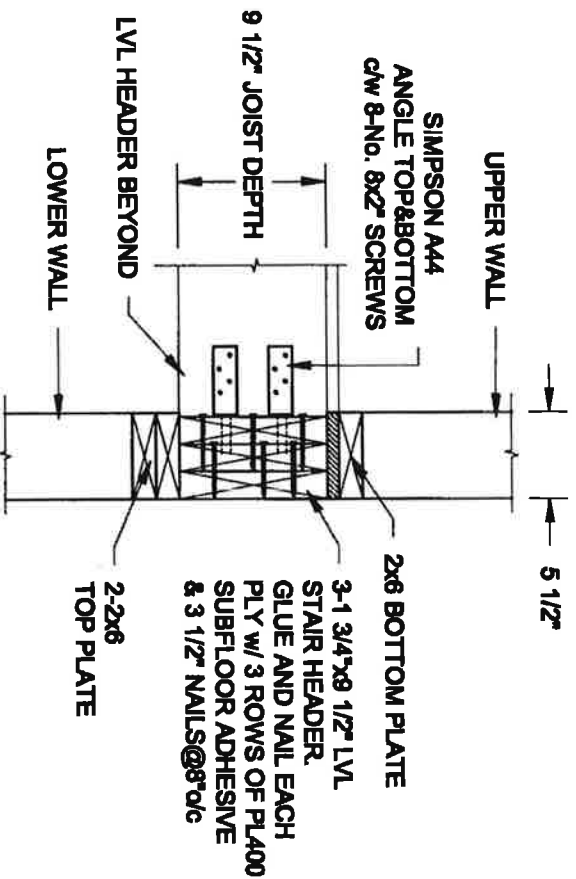
1 LATERALLY UNSUPPORTED WALL

S1

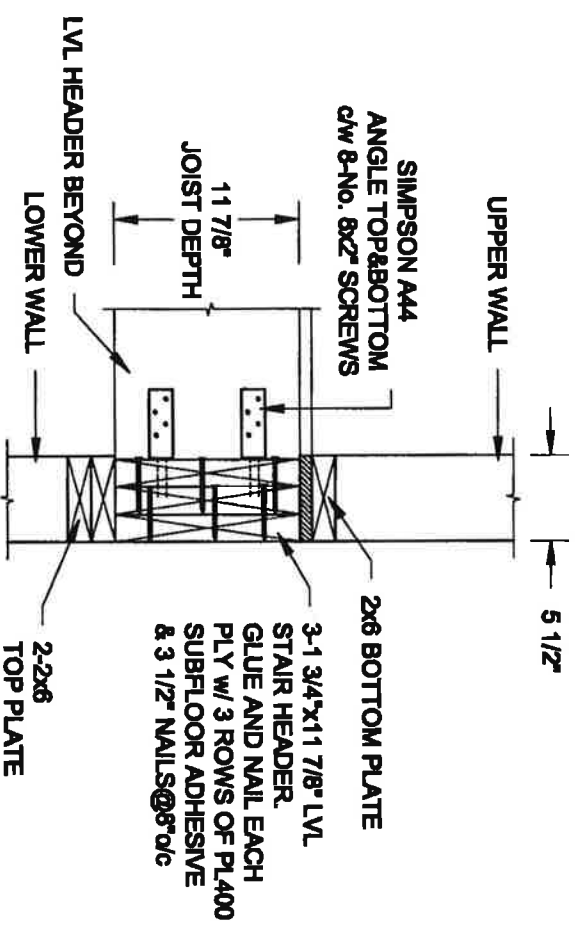
SCALE: 3/8" = 1'-0"

Town of Innisfil Certified Model
14/02/2016 9:36:45 AM kgervais

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



2 STAIR HEADER @ EXTERIOR WALL

S1

SCALE: 1" = 1'-0"



QUAILE ENGINEERING LTD.

Scale: AS NOTED
Date: JUL-31-2017
Drawn: 9C
Checked: SJB



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.engineers.com

Engineer's Seal:

Project:

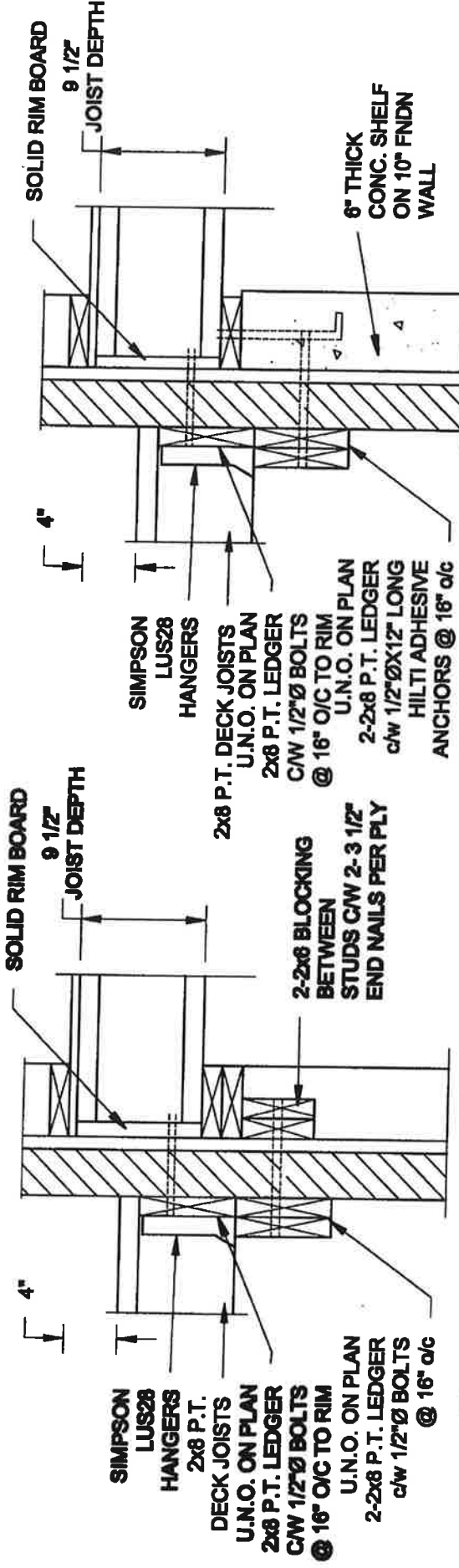
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.: 16-083

Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

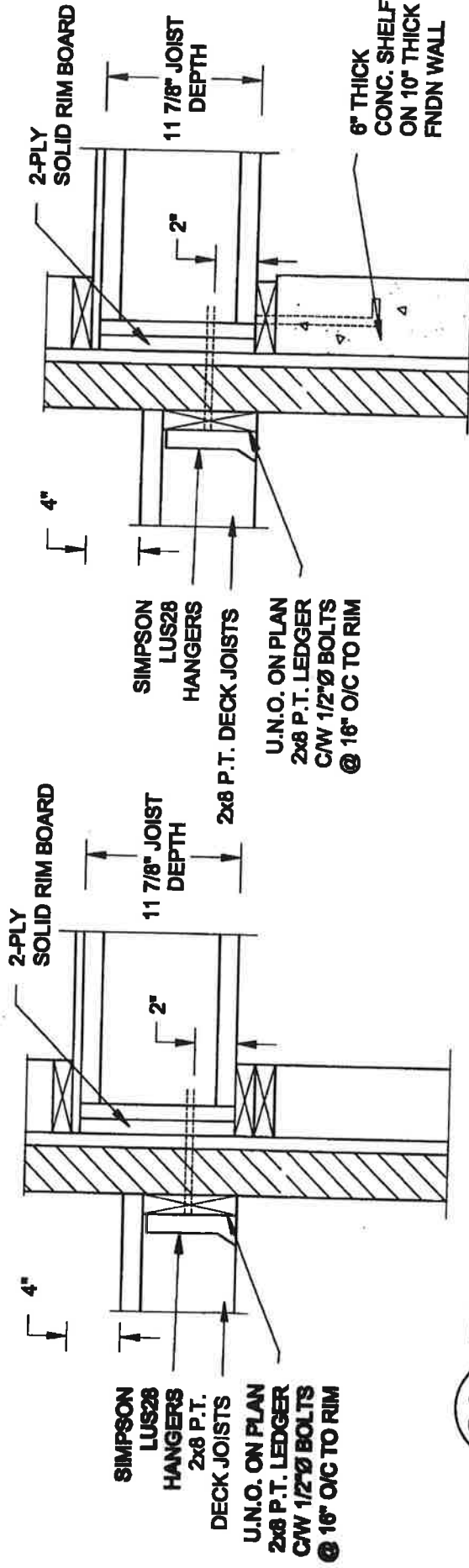


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

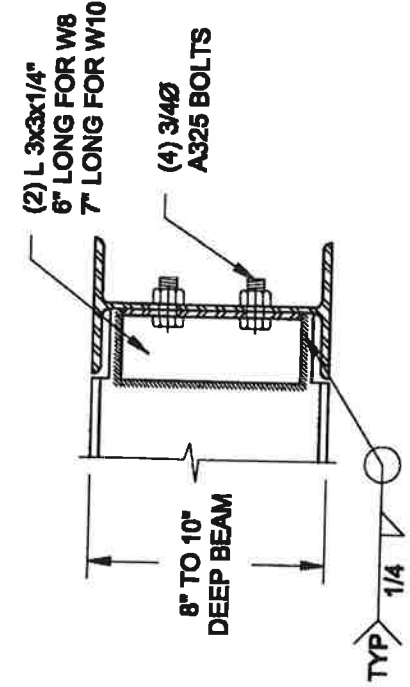
FOR 11 7/8" JOIST DEPTH



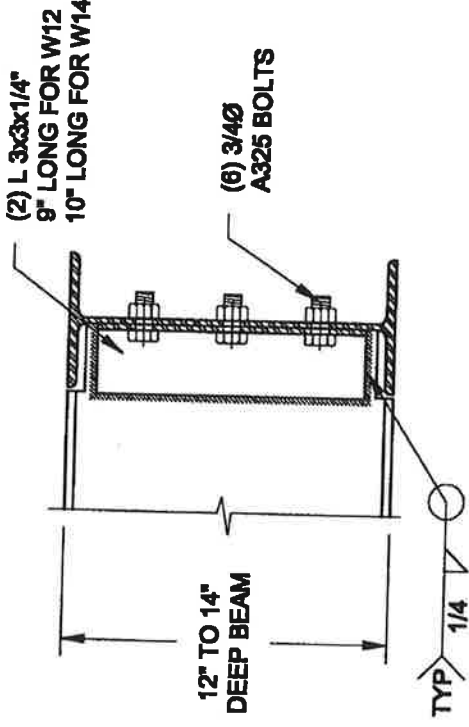
2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x68 (W310x88) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	Engineer's Seal: QUAILE ENGINEERING LTD.	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INVERFL, ONTARIO
Date: JUL-01-2017	38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 4J9 T: 905-883-8647 E: quaile.eng@rogers.com	TYPICAL STRUCTURAL DETAILS FOR SINGLE
Drawn: SC	Checked: SJS	Project No.: 10-063
		Drawing No.: S2



CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. QNT. REG. 332/12-2012, OBC

1. ROOF CONSTRUCTION
NO.210 (10.25kg/m²) CHLIPS, APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") EXTEND INNER FACE OF EXTERIOR WALL. LEAVES PROTECTION NOT REQ FOR ROOF SLOPES 8:12 OR GREATER. 38x89 (2'x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CORNER, PREPIN, ALUM. EAVES/ROUGH FASCIA, PVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/G ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 904 (116") ATIC VENTILATION 1300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.1.12).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
SIDING AS PER ELEV., 19x38 (1'x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, 13mm (1/2") DRY WALL FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS
SIDING AS PER ELEV., 19x38 (1'x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1 (2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2'x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, MID-HEIGHT BLOCKING REQ'D IF NO SHEATHING APPLIED, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
90mm (4") FACE BRICK 25mm (1") AIR SPACE 22x18x40 (8"x6"x16") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 400mm (24") O.C. VERTICAL APPROVED SHEATHING PAPER 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS
90mm (4") FACE BRICK 25mm (1") AIR SPACE 22x18x40 (8"x6"x16") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 400mm (24") O.C. VERTICAL APPROVED SHEATHING PAPER 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1 (2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD FINISH, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

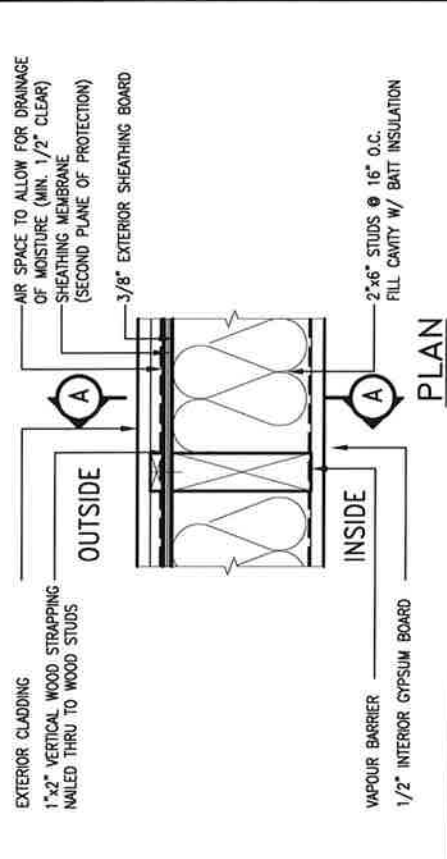
4. INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2'x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2'x4") @ 400mm (24") O.C., PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 219x89 (21/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2'x6") STUDS/P.LATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS (9.15.1, 9.15.4, 9.13.2, 9.14.21.1, 21.2)
250mm (10") POURED CONC. FDN WALL 20x20x6 (2'x20x6") WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER, DRAINAGE LAYER REQ'D, WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE, DRAINAGE LAYER IS NOT REQ'D. WHEN FDN. WALL IS WATERPROOFED, MAXIMUM POLYR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 1500kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

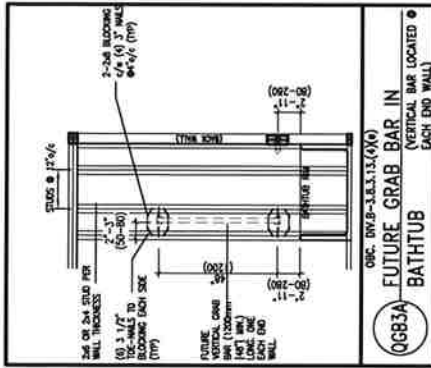
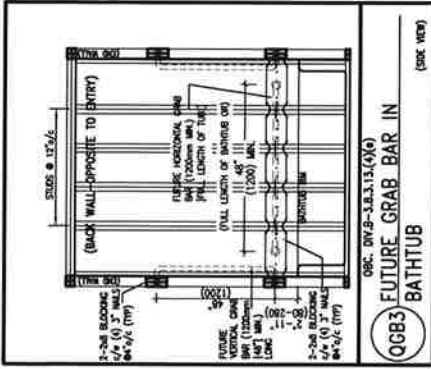
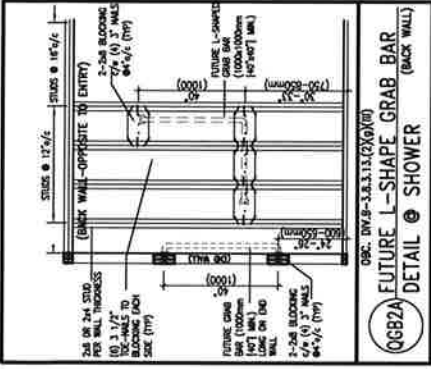
STOREYS SUPPORTED (W/ MASONRY VENEER (W/ SIDING ONLY)
1 18" WIDE x 6" DEEP 18" WIDE x 6" DEEP
2 22" WIDE x 6" DEEP 22" WIDE x 6" DEEP
3 25" WIDE x 9" DEEP 22" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa (50psf) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

6. BASEMENT SLAB OBC 9.14.2, 9.14.2.1, 9.14.2.1.1, 9.14.2.1.2, 9.14.2.1.3, 9.14.2.1.4, 9.14.2.1.5, 9.14.2.1.6, 9.14.2.1.7, 9.14.2.1.8, 9.14.2.1.9, 9.14.2.1.10, 9.14.2.1.11, 9.14.2.1.12, 9.14.2.1.13, 9.14.2.1.14, 9.14.2.1.15, 9.14.2.1.16, 9.14.2.1.17, 9.14.2.1.18, 9.14.2.1.19, 9.14.2.1.20, 9.14.2.1.21, 9.14.2.1.22, 9.14.2.1.23, 9.14.2.1.24, 9.14.2.1.25, 9.14.2.1.26, 9.14.2.1.27, 9.14.2.1.28, 9.14.2.1.29, 9.14.2.1.30, 9.14.2.1.31, 9.14.2.1.32, 9.14.2.1.33, 9.14.2.1.34, 9.14.2.1.35, 9.14.2.1.36, 9.14.2.1.37, 9.14.2.1.38, 9.14.2.1.39, 9.14.2.1.40, 9.14.2.1.41, 9.14.2.1.42, 9.14.2.1.43, 9.14.2.1.44, 9.14.2.1.45, 9.14.2.1.46, 9.14.2.1.47, 9.14.2.1.48, 9.14.2.1.49, 9.14.2.1.50, 9.14.2.1.51, 9.14.2.1.52, 9.14.2.1.53, 9.14.2.1.54, 9.14.2.1.55, 9.14.2.1.56, 9.14.2.1.57, 9.14.2.1.58, 9.14.2.1.59, 9.14.2.1.60, 9.14.2.1.61, 9.14.2.1.62, 9.14.2.1.63, 9.14.2.1.64, 9.14.2.1.65, 9.14.2.1.66, 9.14.2.1.67, 9.14.2.1.68, 9.14.2.1.69, 9.14.2.1.70, 9.14.2.1.71, 9.14.2.1.72, 9.14.2.1.73, 9.14.2.1.74, 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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb) REFER TO OBC. DW. B- WATER CLOSET 3.8.3.6.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.3.(2)(g), & BATHTUBS



1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0M AND FLOOR
JOIST LENGTH OF 2.5M OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
5. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
6. SIDING.

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 17'-0"
2"x8" @ 12" O.C. - 17'-9"
2"x8" @ 16" O.C. - 20'-4"
2'-2"x8" @ 12" O.C. - 22'-4"

NOTES:

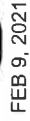
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 K_{PS}
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 K_{PS}
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.



OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12:

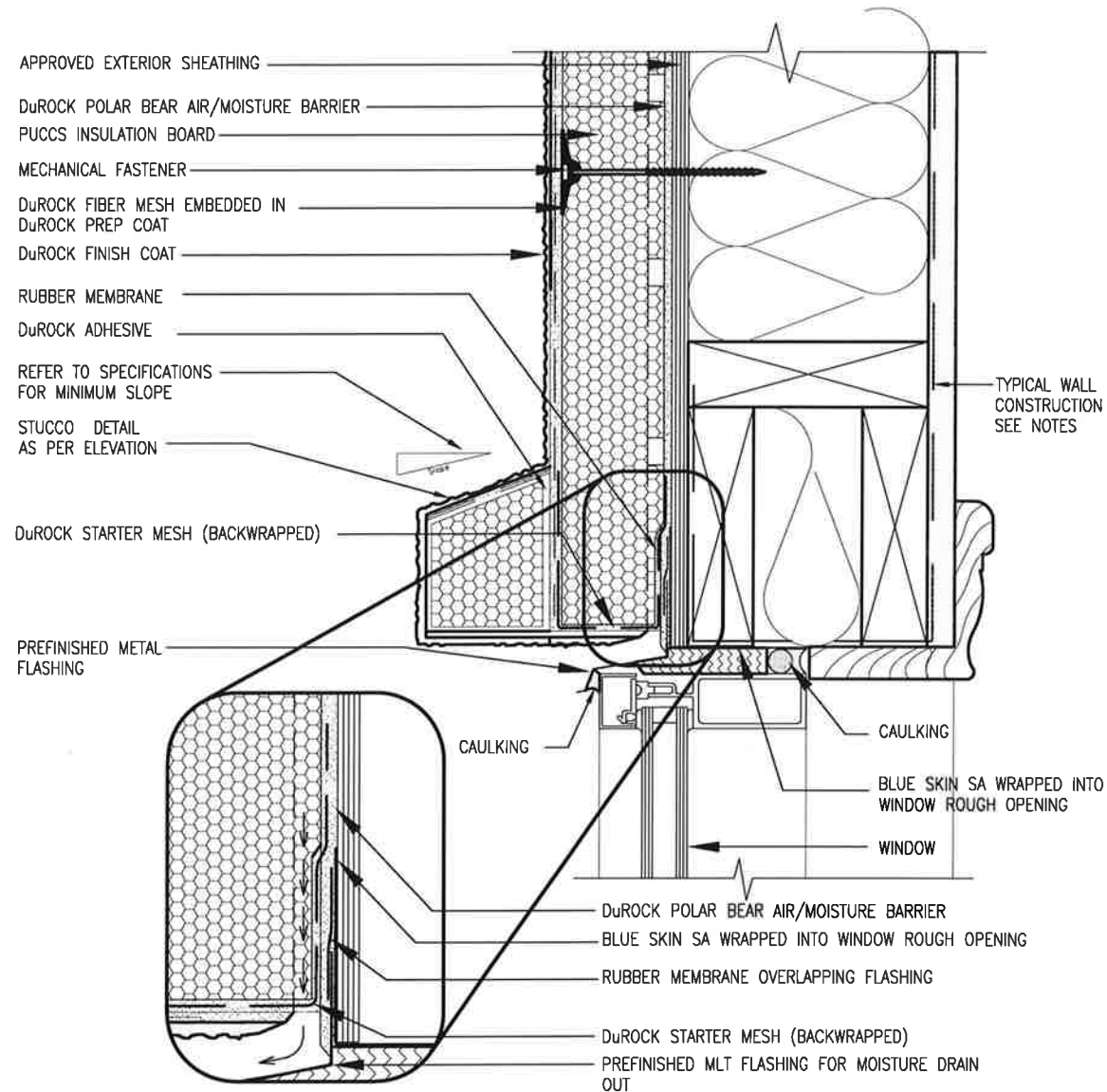
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

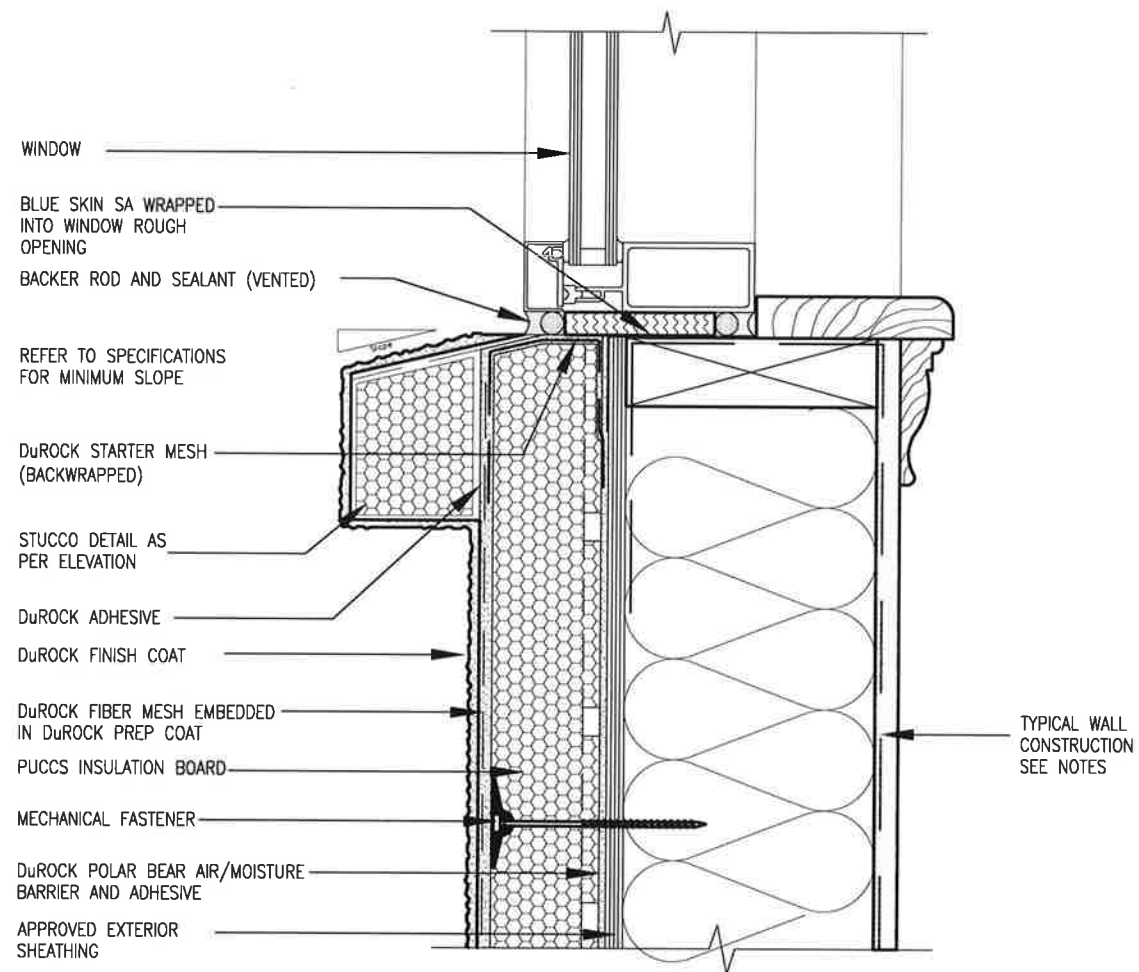
BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawn by RC	drawing no. CN2
checked by -	scale $3/16'' = 1'-0''$
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
P:\CHSRD - H\ARCHIVES\WORKSHEET\2013\13049 BVA ALCONA CN\Sheet\13049-C7-0-A1_VEP_2020.dwg -- Title = Eas O 7021 - 13049.A1	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

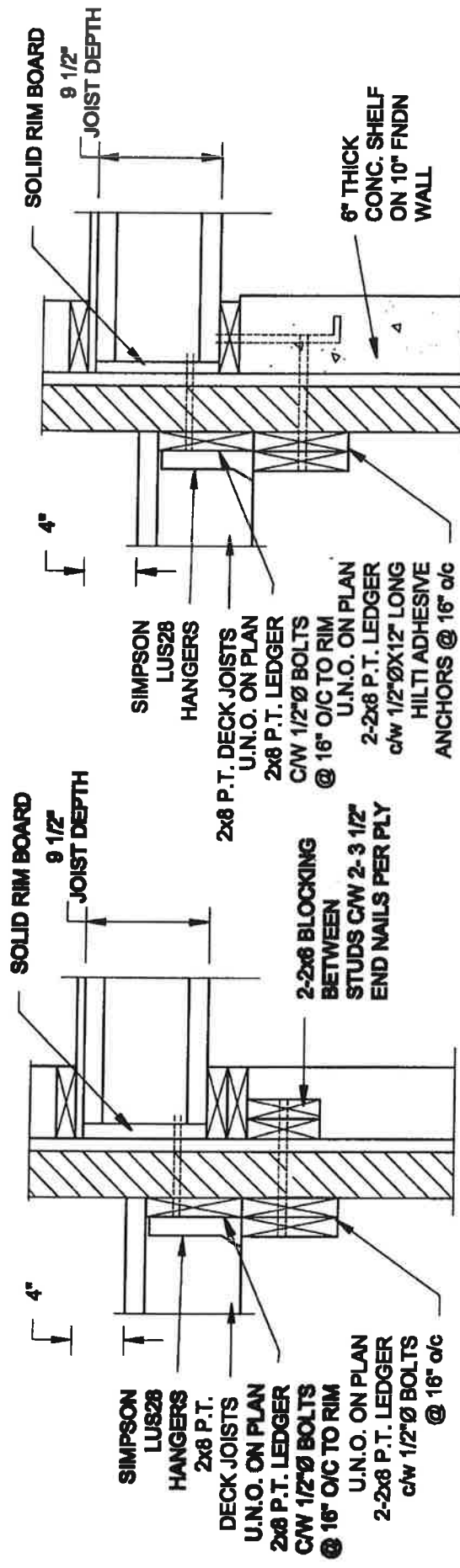


2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

BAYVIEW WELLINGTON project name: ALCONA municipality: NNISFLON		CONST NOTE	
project no: 13049 drawing no: CN3		CONSTRUCTION NOTES 13049-CN-A1 VER 2020 date: MAY 2016 checked by: RC scale: 3/16" = 1'-0"	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 signature Jno-Baptiste registration information VA3 Design Inc. 42858 signature Jno-Baptiste			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be copied.			
2 UPMINE TO OBC VER 2020 1 ISSUE FOR CLIENT REVIEW		FEB 09-21 RC AUG 04-17 RC	by date
no. description			

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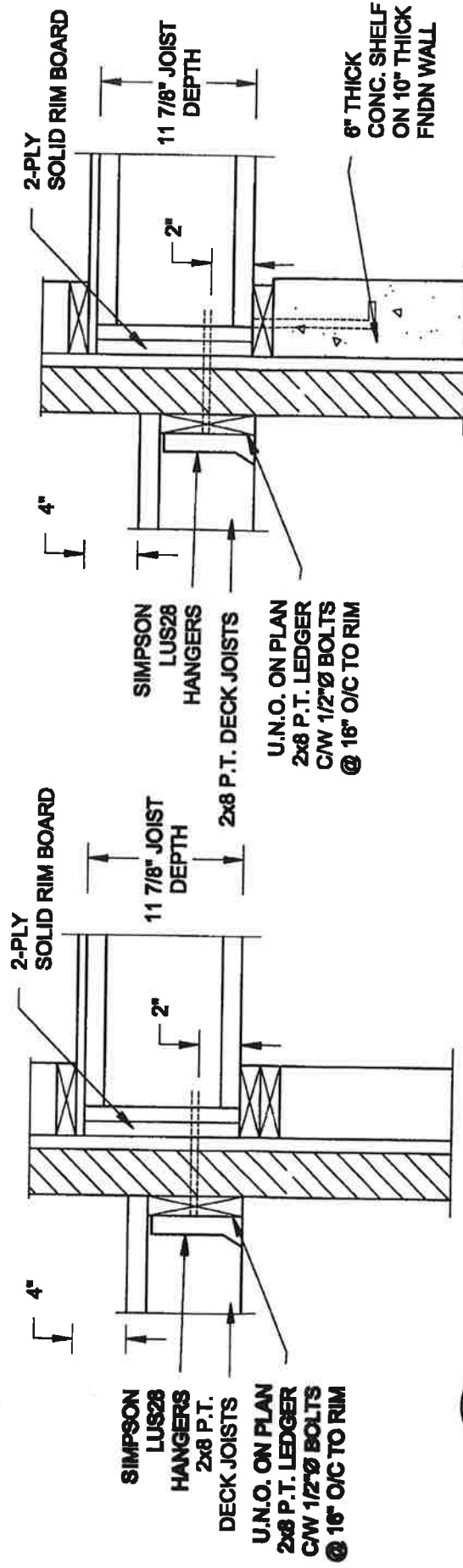
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

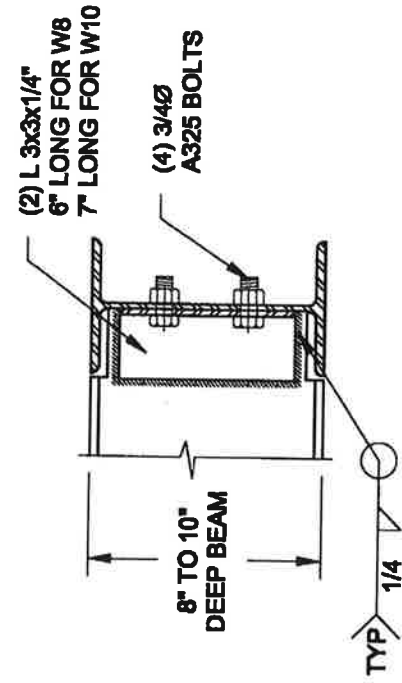
1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



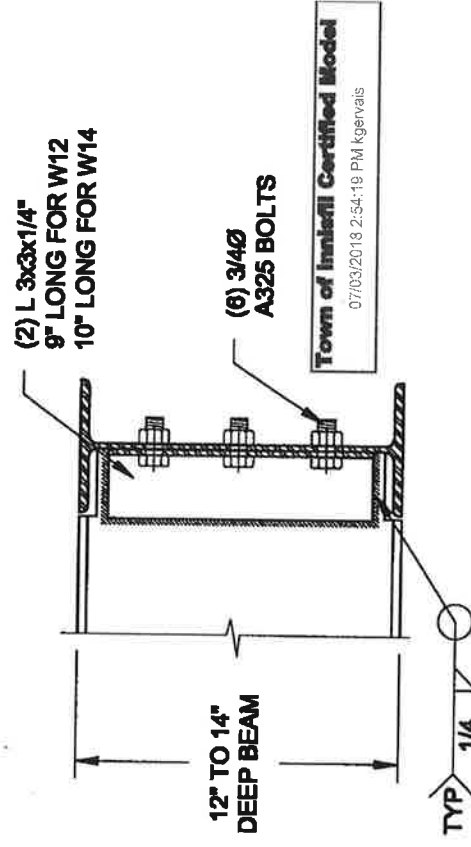
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



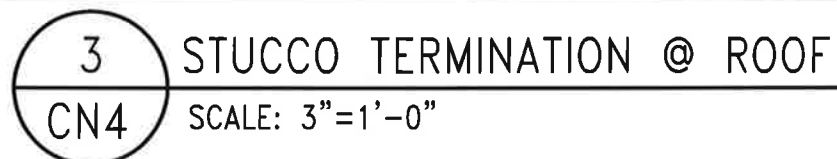
**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

3 S2 STEEL BEAM CONNECTION DETAIL

Scale: AS NOTED		Quaile Engineering Ltd. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com		Engineer's Seal  AUG 10, 2017		Project: DAYVIEW WELLINGTON HOMES - ALCONA PROJECT NEWFPL, ONTARIO TYPICAL STRUCTURAL DETAILS FOR SINGLE		Project No.: 16-083		Drawing No.: 82	
Date: JUL-01-2017		Drawn: SC		Checked: SJB							



2 1/2" THICK PUCCS INSULATION BOARD

DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT

DUROCK FINISH COAT

MECHANICAL FASTENER

DUROCK STARTER MESH (BACKWRAPPED)

FIBRE MESH TAPE AT JOINT

BACKER ROD AND SEALANT (VENTED)

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK "POLAR BEAR" AIR/MOISTURE BARRIER/ADHESIVE

PUCCS INSULATION BOARD

FIBRE MESH TAPE AT JOINT

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK POLAR BEAR AIR/MOISTURE BARRIER/ADHESIVE

APPROVED EXTERIOR SHEATHING

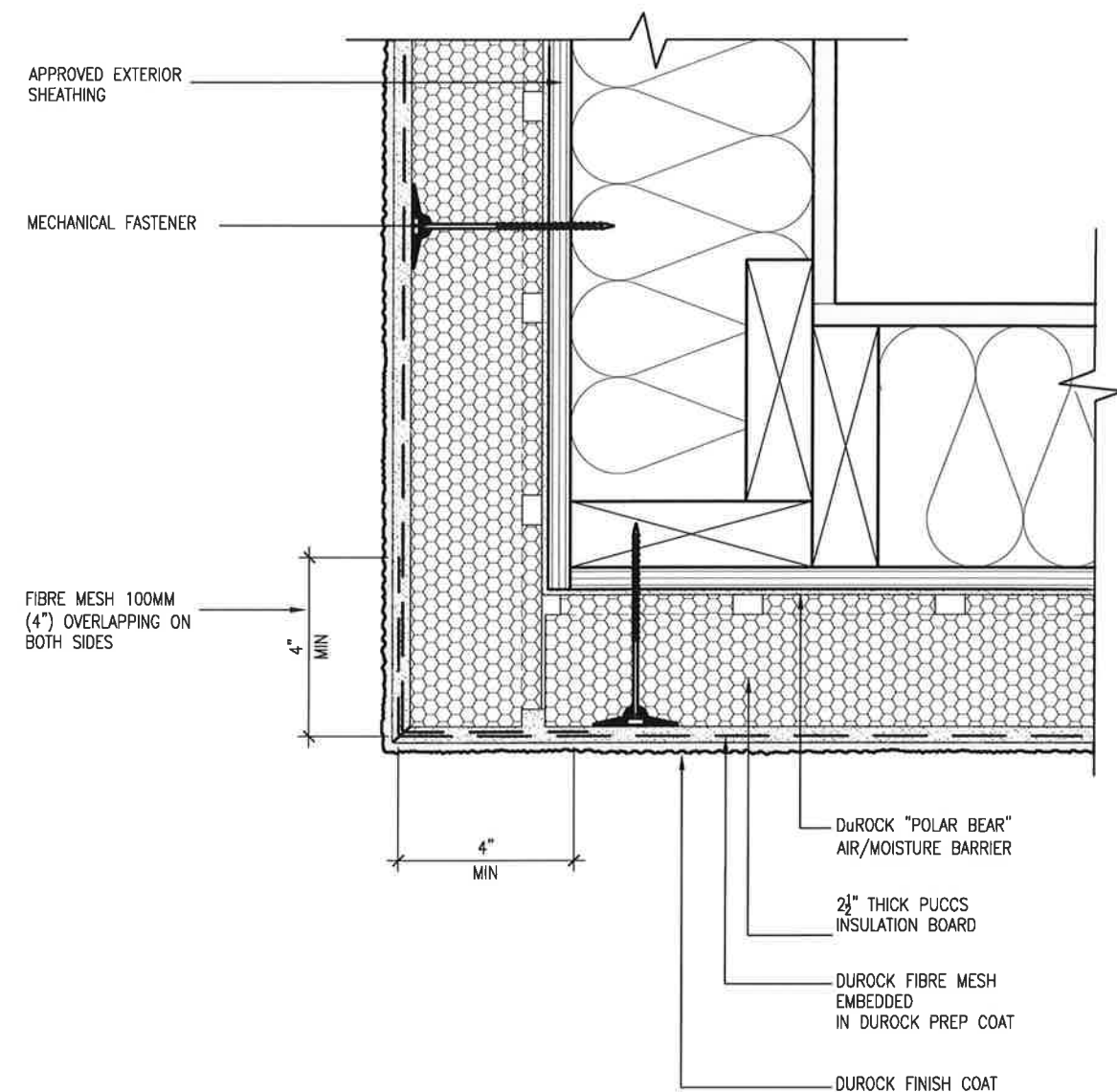
4 HORIZONTAL EXPANSION JOINT CN4 SCALE: 3"=1'-0"

									The undersigned has reviewed and accepts responsibility for this design
9.	*		*						and warrants that it conforms to the requirements set out in the Ontario Building Code to be a Designated Professional Engineer
8.	*		*						
7.	*		*						qualification information
6.	*		*						
5.	*		*						name Wellington Jno-Baptiste
4.	*		*						registration number BCEN 25591
3.	*		*						company <i>J Baptiste</i>
2.	UPDATE TO OBC VER 2020	FEB 09-21	RC						VAS Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

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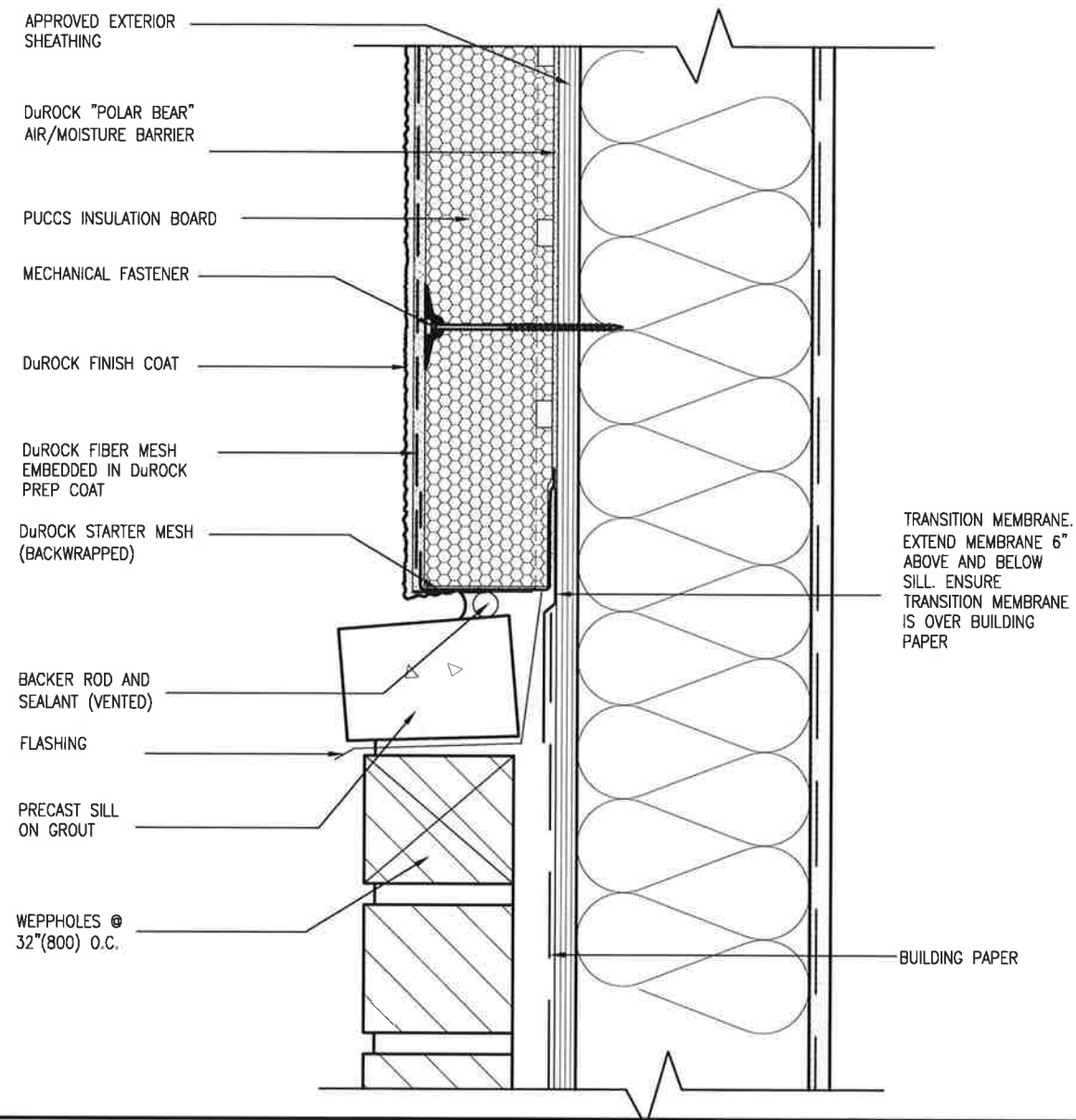
BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	project no. 13049
drawn by date MAY 2016	drawing no. CN4
municipality INNISFILON.	CONSTRUCTION NOTES
scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
checked by date RC	checked by date VER 2020

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5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

9	*	*					
8	*	*					
7	*	*					
6	*	*					
5	*	*					
4	*	*					
3	*	*					
2	UPDATE TO ORC MAY 2020	FEB 09-21 RC					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC					
no.	description	date	by				

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name Jno-Baptiste
 registration information
 VAS Design Inc. BCN
 signature 42658

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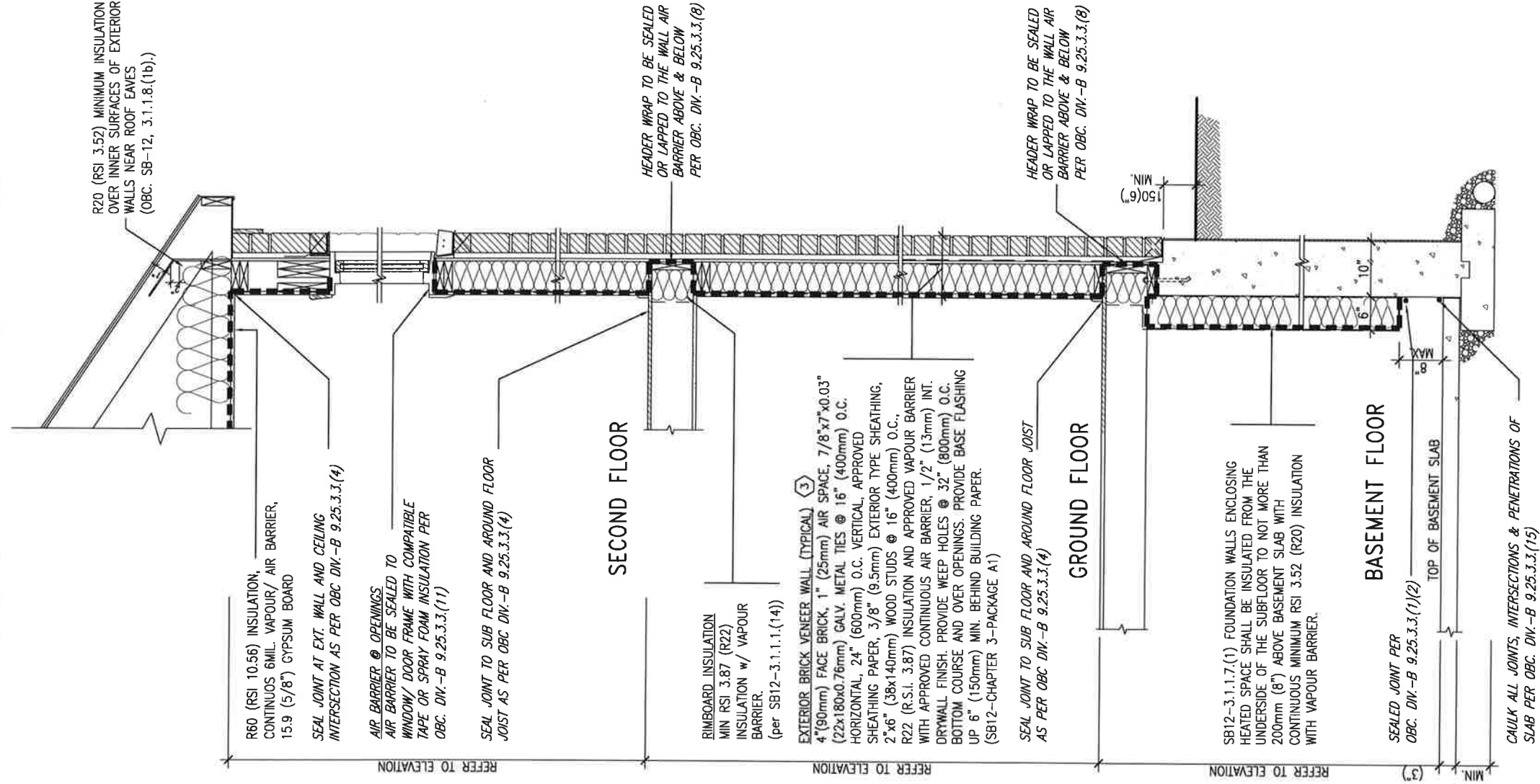
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BAYVIEW WELLINGTON	CONST NOTE
--------------------	------------

project name ALCONA	municipality INNISFILON.	project no. 13049
drawn by WY 2016	checked by —	drawing no. CN5
scale 3/16" = 1'-0"	CONSTRUCTION NOTES	
DATE 1 MAY 2020	13049-CN-A1 VER 2020	

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1- COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC, DIV. B-9.25.3
---	--

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY

SECTION w/ BRICK VENEER (PACKAGE A1)

SCALE: N.T.S.

9	-		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-		
7	-		qualification information
6	-		
5	-		
4	-		name registration information
3	-		VAS Design Inc. signature BCN 42658
2	UPGRADE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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116.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON CONST NOTE		project name ALCONA		project no. 13049	
date MAY 2016		drawn by RC		checked by -	
scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020		drawing no. CN6	
innisfil.on. CONSTRUCTION NOTES					

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

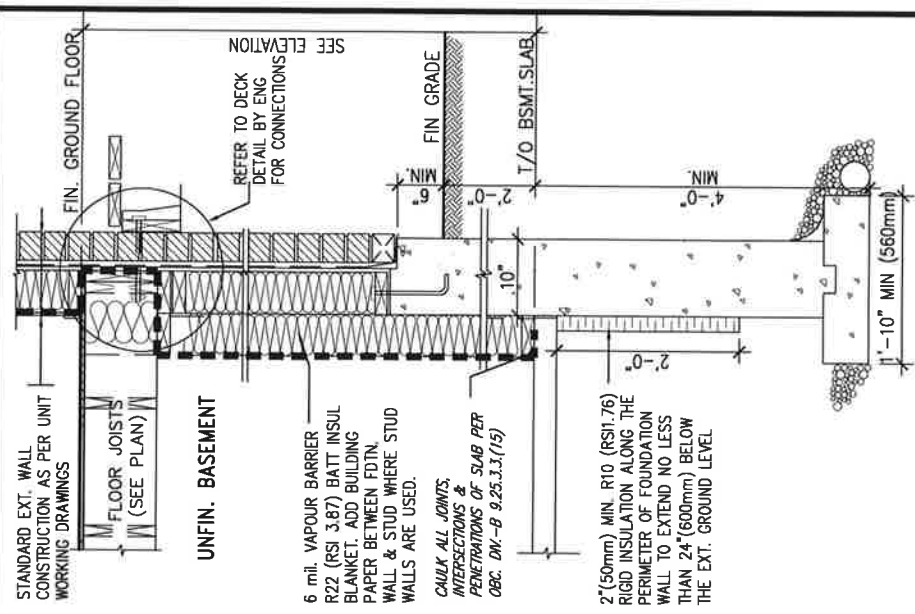
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		Minimum 1 OR Maximum 2 Required.
Drain Water Heat Recovery Unit (DWHR)		Dependent on number of showers installed. Refer to S912-3.1.1.12 for information.

ci- Denotes Continuous Insulation without framing interruption.



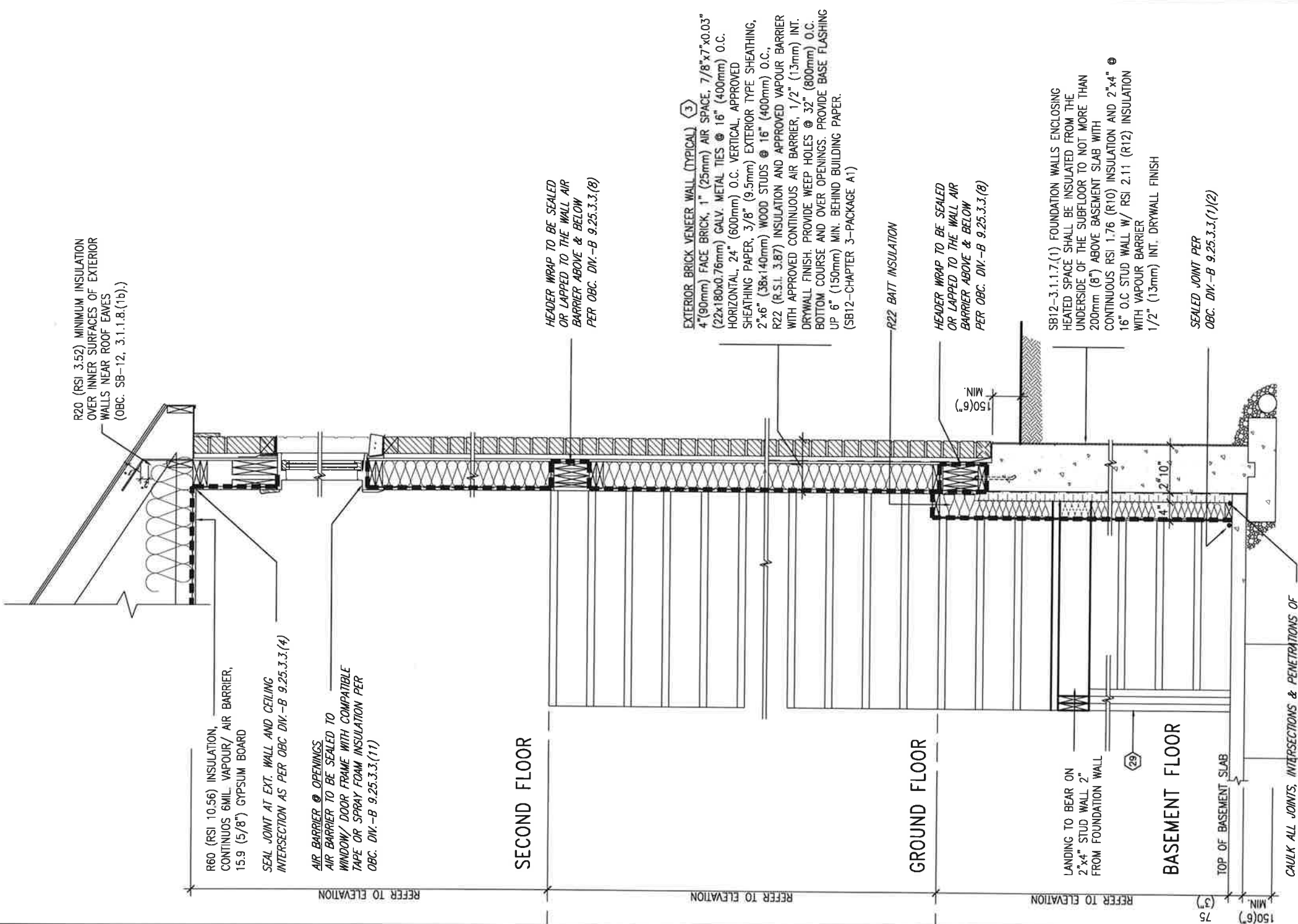
FEB 9, 2021



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9	-	-	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	-	-	-	-	
7	-	-	-	-	-	qualification information
6	-	-	-	-	-	Wellington Jno-Baptiste
5	-	-	-	-	-	name/signature information
4	-	-	-	-	-	signature
3	-	-	-	-	-	VAS Design Inc.
2	UPDATE TO ORC VER 2020	DATE	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer and must be returned at the completion of the work. Drawings are not to be used for any other purpose.
1	ISSUE FOR CLIENT REVIEW	DATE	AUG 04-17	RC		
no.	description	date				



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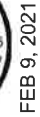
BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFILL, ON.	project no. 13049	
date MAY 2016		drawing no. CN7	
drawn by RC	checked by -	scale 3/16" = 1'-0"	
CONSTRUCTION NOTES		file name 13049-CN-A1 VER 2020	

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FEB 9, 2021

A hand-drawn schematic of a piping system. On the left, a vertical pipe leads up to a pump, represented by a rectangle with an arrow pointing upwards. A horizontal pipe extends to the right from the pump's outlet. This horizontal pipe contains two 'X' marks, with the letter 'W' positioned between them. The pipe then turns 90 degrees downward and then 90 degrees rightward to enter a large rectangular tank. A second horizontal pipe runs along the bottom of the tank. From the right side of the tank, another pipe exits, turns upward, and then rightward to enter a second, smaller rectangular tank. A zigzag line is drawn on the pipe entering the second tank, indicating a break in the pipe. The entire diagram is drawn with simple black lines on a white background.



Architectural elevation drawing of the 'WOR SIDE ELEVATION'. The drawing shows a sloped roofline and a vertical wall section. Key features include:

- Floor Levels:** FINISHED SECOND FLOOR, FINISHED GROUND FLOOR, FINISHED FLOOR, U/S OF FLOOR JOIST, FINISHED BASEMENT FLOOR, and FINISHED GRADE.
- Dimensions:**
 - B:** Vertical height from FINISHED BASEMENT FLOOR to FINISHED GROUND FLOOR.
 - W:** Horizontal distance from the vertical line of FINISHED GROUND FLOOR to the vertical line of FINISHED FLOOR.
 - A:** Vertical height from the horizontal line of FINISHED FLOOR to the horizontal line of U/S OF FLOOR JOIST.
 - X:** Horizontal distance from the vertical line of FINISHED FLOOR to the vertical line of FINISHED BASEMENT FLOOR.
- Other Labels:** MID-PONIT OF BASEMENT HEIGHT 'B', 56"x72", FG (Finish Grade).

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

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va3design.com

Wellington Jno-Bopliste	signature	BCN	25591
VA3 Design Inc.	registration information		42658

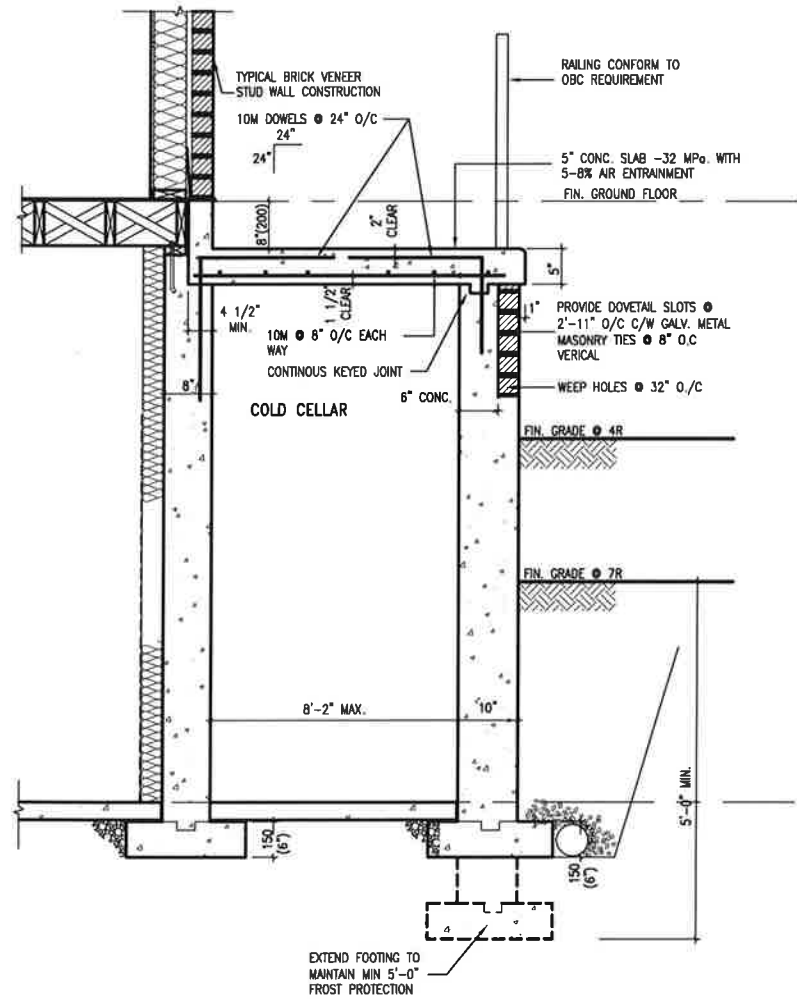
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2	UPDATE TO OBC VER 2020		FEB 09--21	RC
1	ISSUE FOR CLIENT REVIEW		AUG 04--17	RC
no.	description		date	by

date MAY 2016	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-41 VER 2020
CONSTRUCTION NOTES			

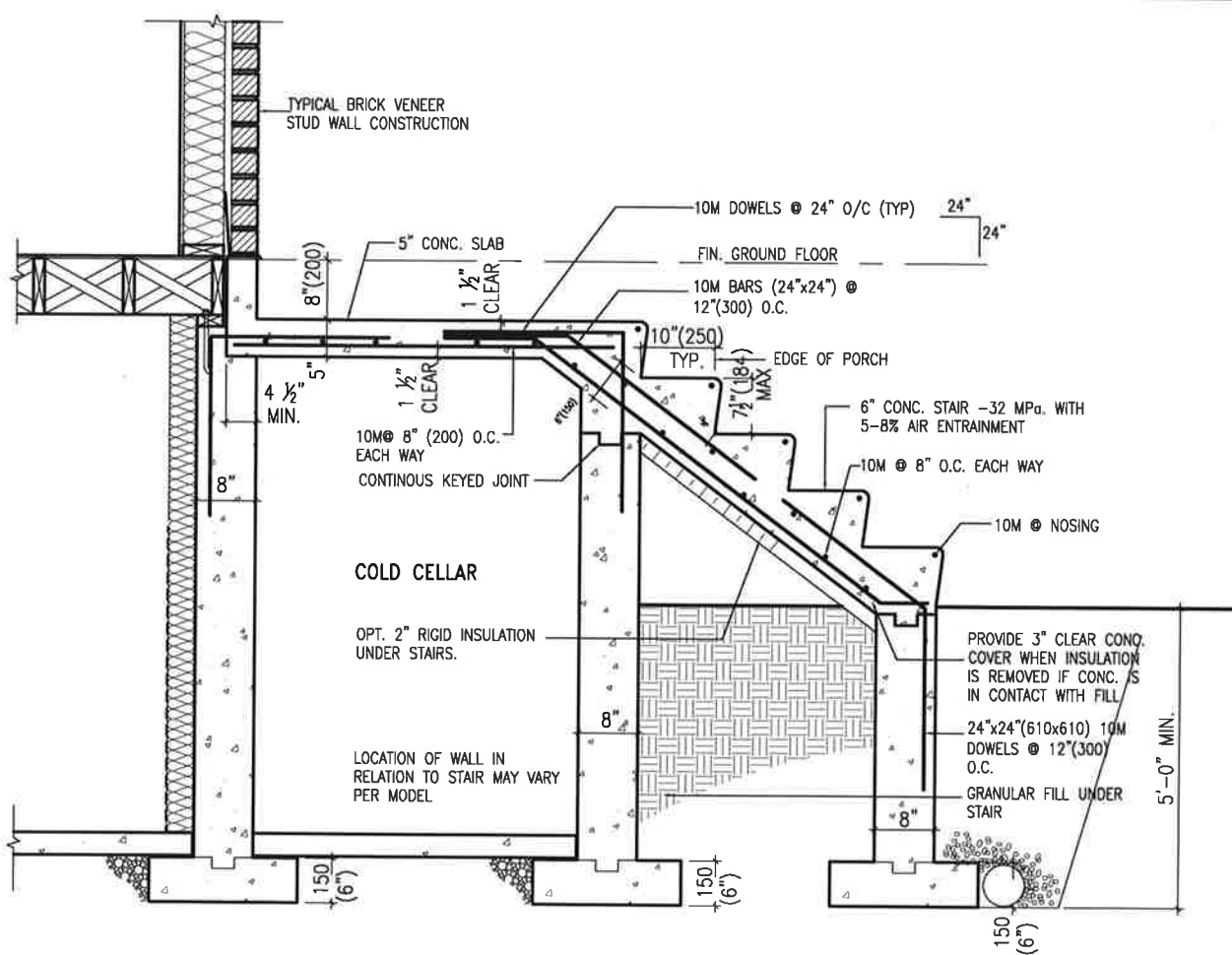
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FEB 9, 2021



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

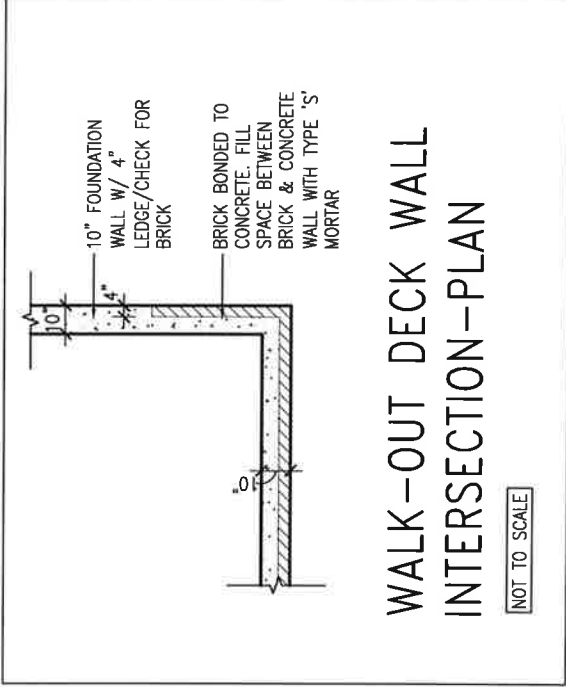


The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
name
registration information
VA3 Design Inc. 42658 BCN
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no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.
ALCONA	INNISFIL ON.	13049
date	checked by	scale
MAY 2016	RC	3/16" = 1'-0"
drawn by	checked by	scale
RC	RC	3/16" = 1'-0"
CONSTRUCTION NOTES	file name	drawing no.
13049-CN-A1 VER 2020	13049-CN-A1 VER 2020	CN9

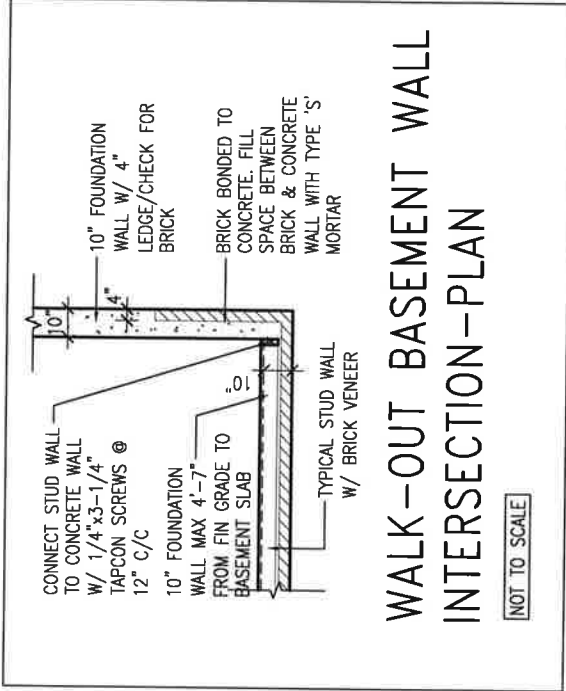
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WALK-OUT DECK WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

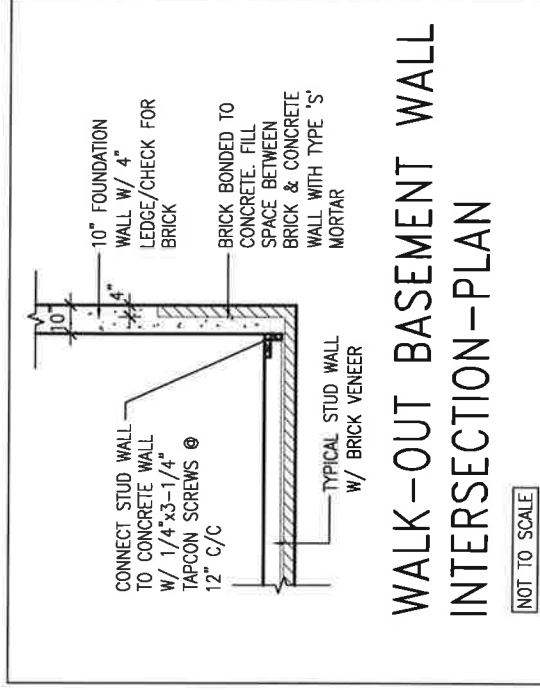
(10" FOUNDATION WALL)



9	*						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*						qualification information
7	*						
6	*						
5	*						Wellingtton Jno-Baptiste
4	*						name registration information
3	*						VAS Design Inc.
2	UPDATE TO OBC VER 2020	FEB 09-21	RC				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				Drawings are not to be scaled.
no.	description	date	by				

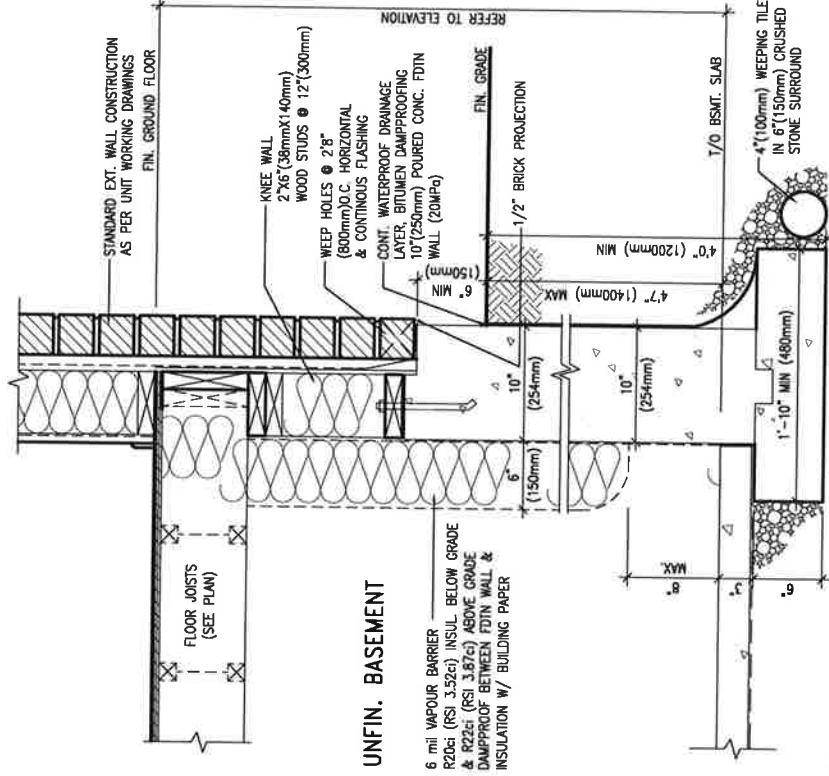
BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
date MAY 2016	CONSTRUCTION NOTES		
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
			drawing no. CN10

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NOT TO SCALE

(10" FOUNDATION WALL)



6 mil VAPOUR BARRIER
R20ci (RSI 3.52ci) INSUL BELOW GRADE
& R22ci (RSI 3.87ci) ABOVE GRADE
DAMP-PROOF BETWEEN FDTN WALL &
INSULATION W/ BUILDING PAPER

SCALE: N.T.S.

SCALE: N.T.S.



FEB 9, 2021

9	*	*	*
8	*	*	*
7	*	*	*
6	*	*	*
5	*	*	*
4	*	*	*
3	*	*	*
2	UPDATE TO OBC VER 2020	FFB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no. description		date	by

BAYVIEW WELLINGTON CONST NOTE		project name ALCONA		project no. 13049	
date MAY 2016		checked by -		scale 3/16" = 1'-0"	
drawn by RC		file name 13049-CN-A1		drawing no. CN11	
date MAY 2016		checked by -		scale 3/16" = 1'-0"	
drawn by RC		file name 13049-CN-A1		drawing no. CN11	

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