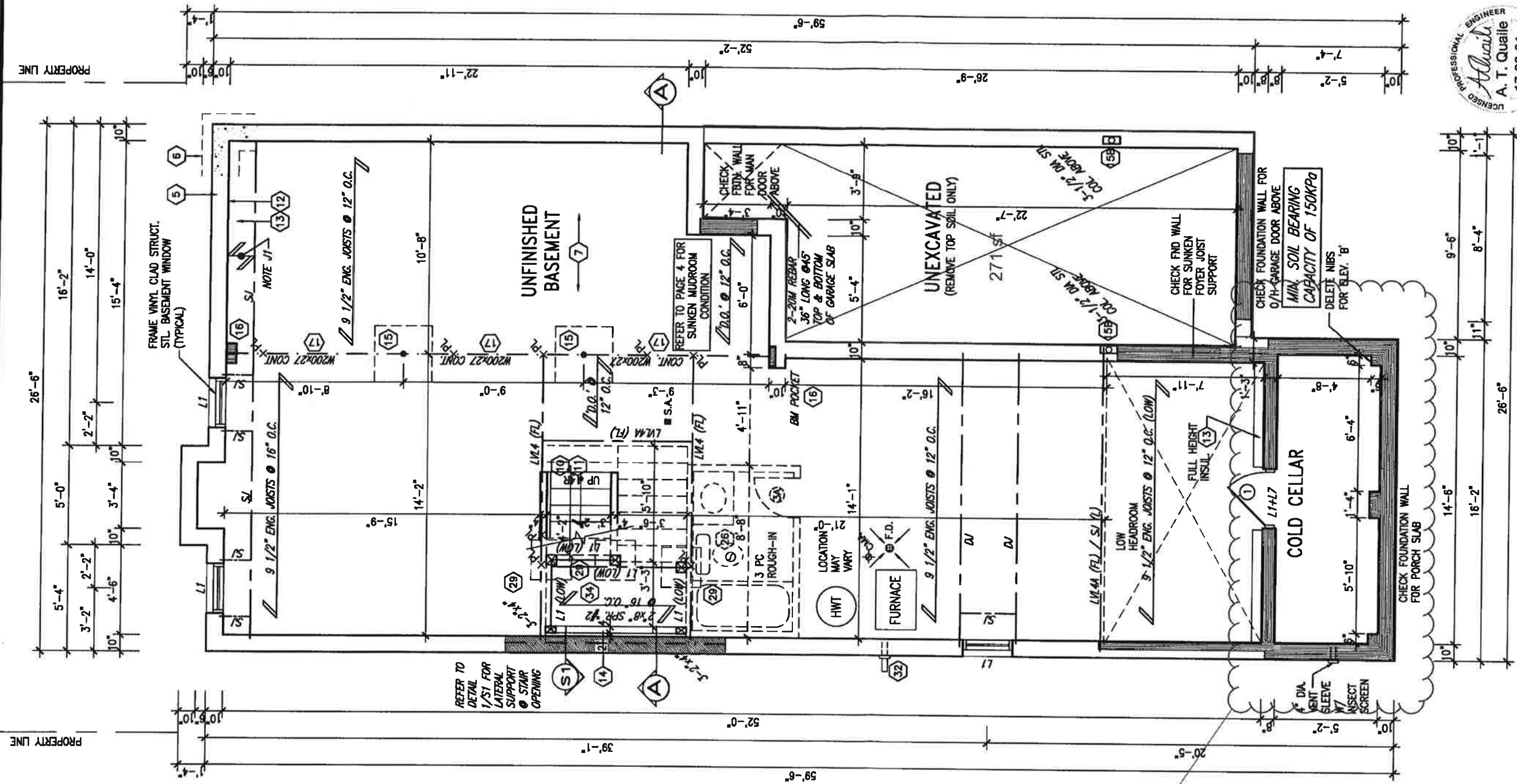


AREA CALCULATIONS		
	ELEV. A	ELEV. B
GROUND FLOOR AREA	1136 SF	1136 SF
SECOND FLOOR AREA	1347 SF	1337 SF
SUBTOTAL	2483 SF	2473 SF
DEDUCT ALL OPENINGS	0 SF	0 SF
TOTAL NET AREA	2483 SF	2473 SF
FINISHED BSMT AREA	230.68 m ²	229.75 m ²
COVERAGE W/OUT PORCH	0 SF	0 SF
	1411 SF	1411 SF
	131.09 m ²	131.09 m ²
COVERAGE W/ PORCH	1508 SF	1508 SF
	140.10 m ²	140.10 m ²

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or for the construction of any house can be properly built or located on as lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED FOR TECHNICAL REVIEW
JUL 09 2017
JANE C. WILLIAMS-ELLISON, Architect



BASEMENT PLAN 'A' & 'B' 10'0" GARAGE

Town of Innisfil Certified Model
05/01/2018 9:33:38 AM kgervais



The undersigned has reviewed and taken responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
Jno-Baptiste
registration information
VAD Design Inc. 42658
BCN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are not to be reproduced or used for any other purpose without the written consent of the Designer.
no. description date by

5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	25591
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SB	42658
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

NOTE-JL: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

provide 4" of rigid insulation for protection of footings on interior of cold cellar.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

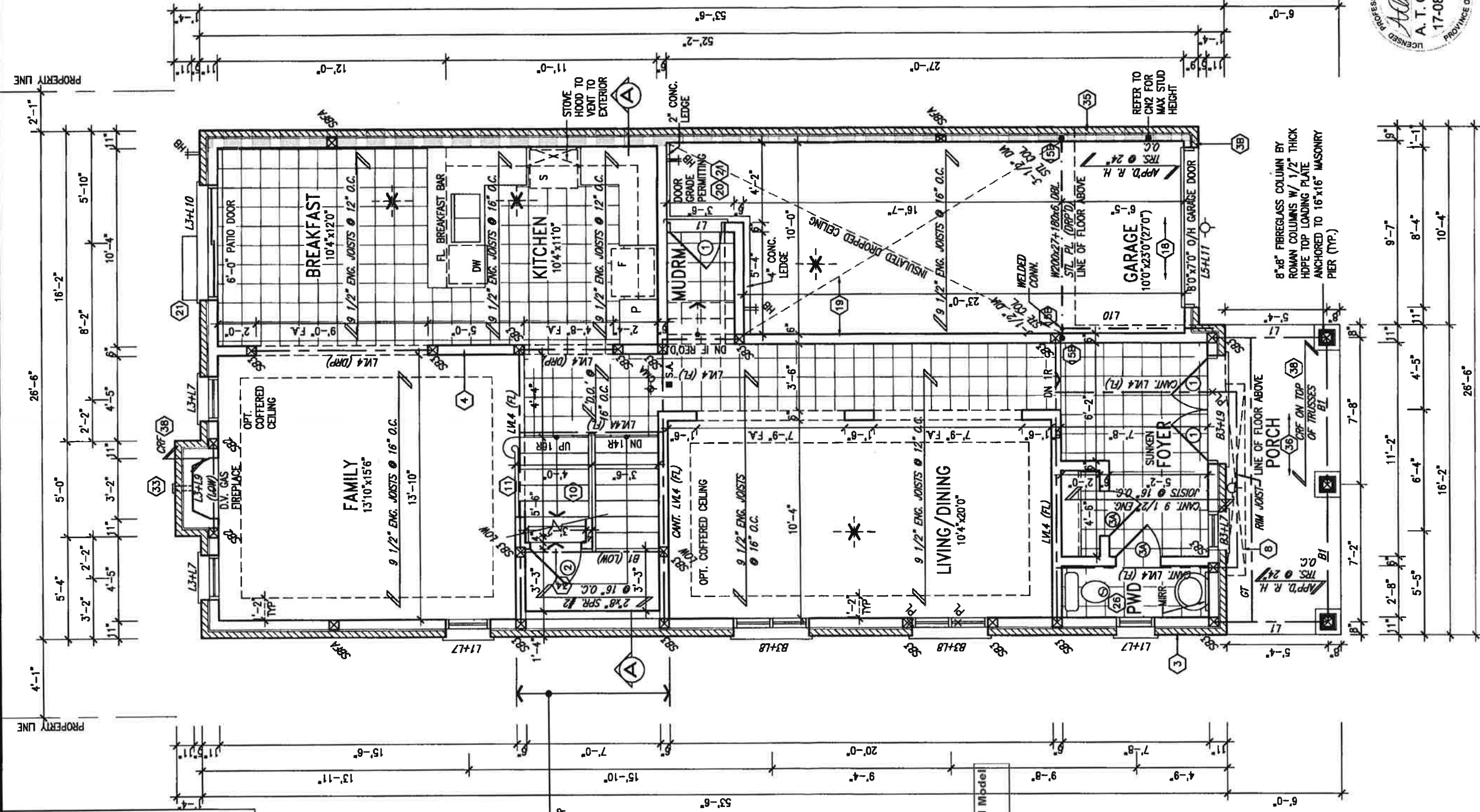
BAYVIEW WELLINGTON
S32-4-10G
PELICAN 4-10

project name	ALCONA	city	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	drawn by	BD.BM	checked by	3/16" = 1'-0"
scale		date	17-08-01	drawing no.	1
title	BASEMENT PLAN 'A' & 'B'	file name	13049-S32-4-10		

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and the Subdivision Act, 1968, and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
JANUARY 24 2017
JAMES G. WILKINSON LIMITED, ARCHITECTS



GROUND FLOOR PLAN 'A' 10'0" GARAGE

INDICATES REDUCED SIDE YARD

no.	description	date	by
5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S32-4-10G
PELICAN 4-10

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	BO.BM	drawing no.	2
drawn by	BO.BM	scale	3/16" = 1'-0"	the name	GROUND FLOOR PLAN 'A'
checked by	BO.BM	date	NOV. 2015	project no.	13049-S32-4-10
drawn by	BO.BM	scale	3/16" = 1'-0"	the name	GROUND FLOOR PLAN 'A'

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS,
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LM'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

Town of Innisfil Certified Model
05/01/2018 9:33:56 AM Kgenvals

PROFESSIONAL ENGINEER
A. T. Quaille
17-08-01
PROVINCE OF ONTARIO

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the zoning provisions and any provisions in the zoning by-law. The Architect is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW APPROVAL

NOV 03 2017

John D. Williams Limited Architect

Town of Innisfil Certified Model

05/01/2018 9:34:04 AM kgervais

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

no.	description	date	by
9			
8			
7			
6			
5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

VAS3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

ALCONA

INNISFIL, ONTARIO

NOV. 2015

BD.BIM

3/16" = 1'-0"

S32-4-10G

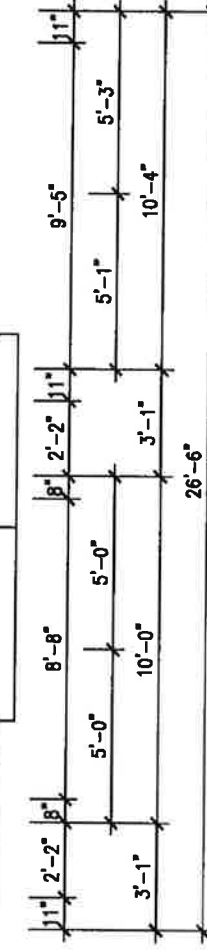
PELICAN 4-10

13049

SECOND FLOOR PLAN 'A'

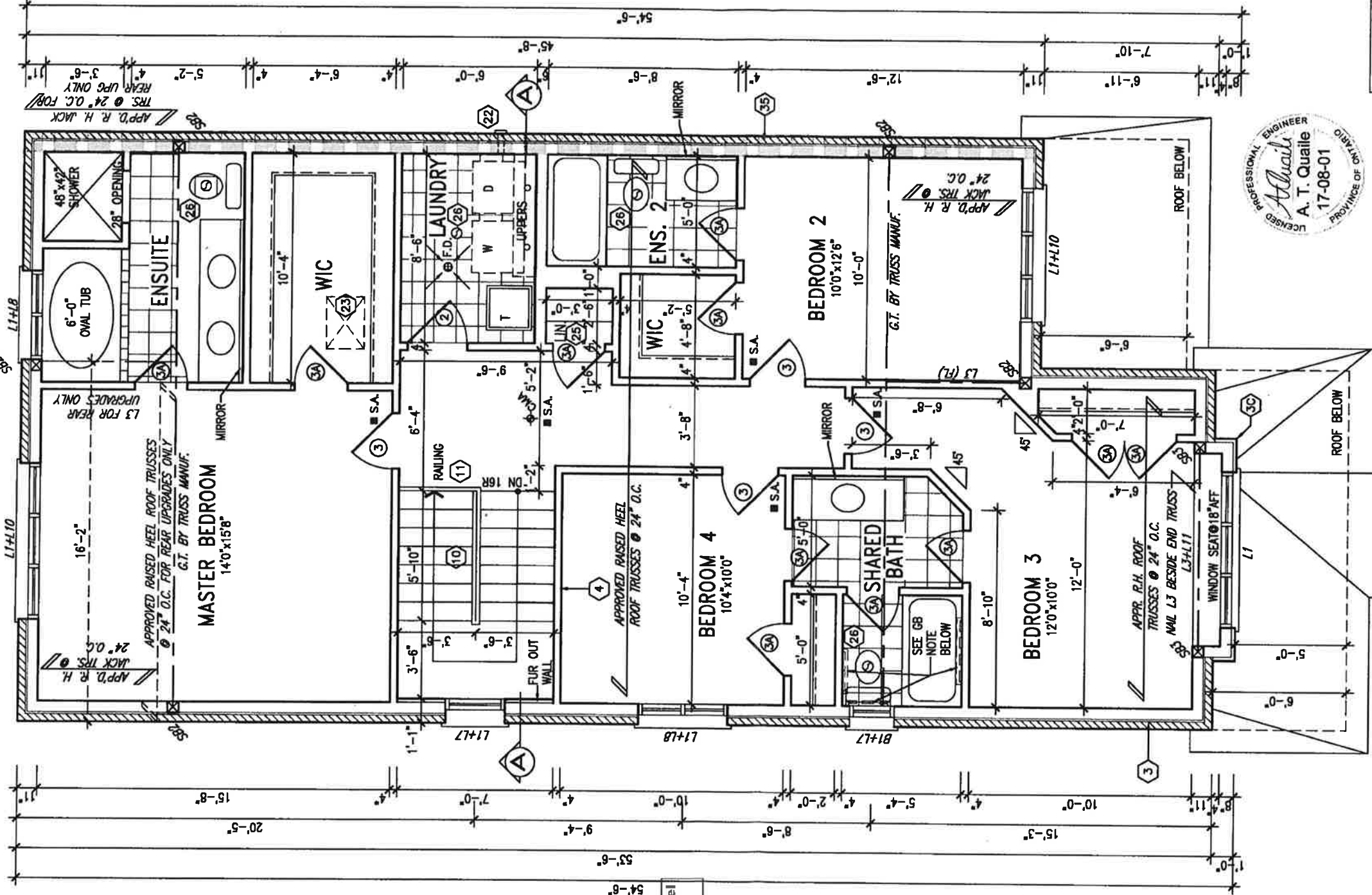
13049-S32-4-10

3



SECOND FLOOR PLAN 'A' 10'0" GARAGE

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO CBC 9.5.2.3, 3.8.3.8.(3)(c), 3.8.3.13.(2)(i) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



APPROVED RAISED HEEL ROOF TRUSSES @ 24" O.C. FOR REAR UPGRADES ONLY. G.T. BY TRUSS MANUF.

APPROVED RAISED HEEL ROOF TRUSSES @ 24" O.C. JACK TRS. 24" O.C.

APPR. R.H. ROOF TRUSSES @ 24" O.C. MAIL L3 BESIDE END TRUSS L3+L11

WINDOW SEAT @ 18" AFF

ROOF BELOW

ROOF BELOW

ROOF BELOW

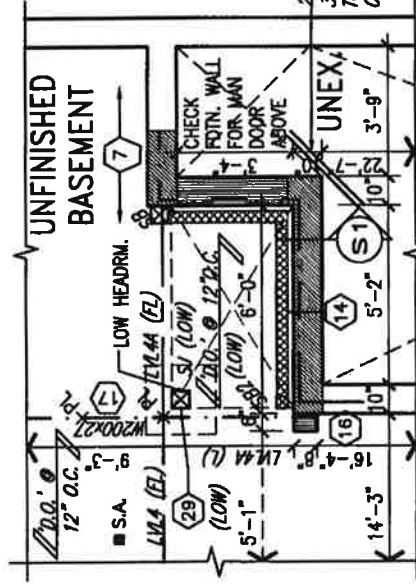
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect/Engineer is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL

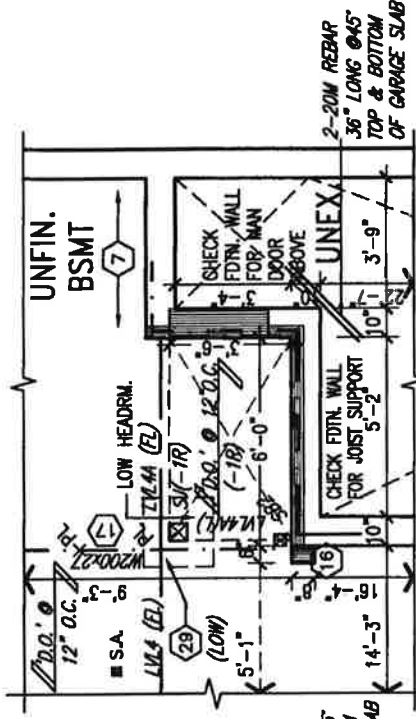
NOV 04 2017

John G. Wellman Limited, Architects



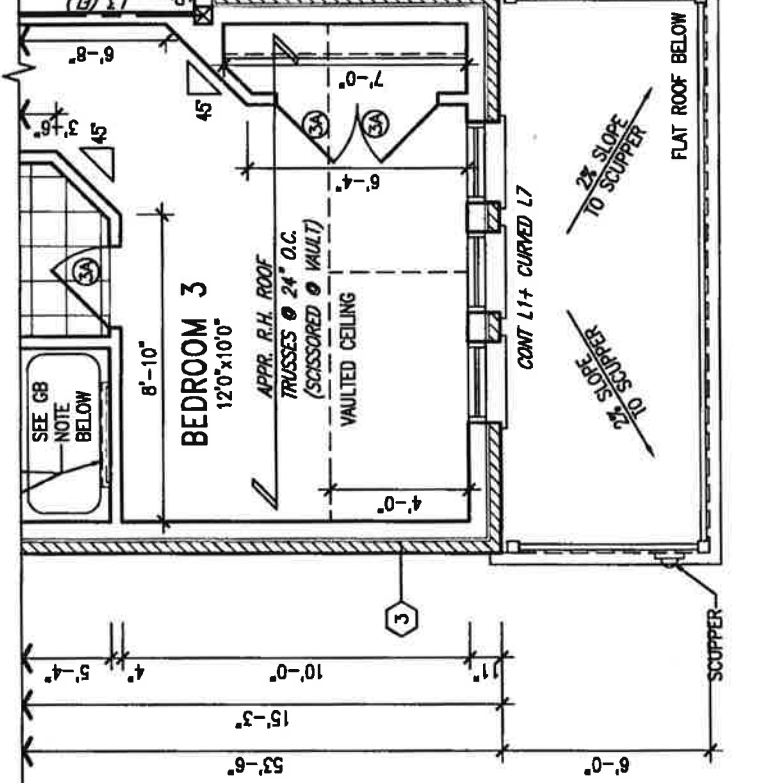
PART. BSMT PLAN

MUD ROOM SUNKEN >1R



PART. BSMT PLAN

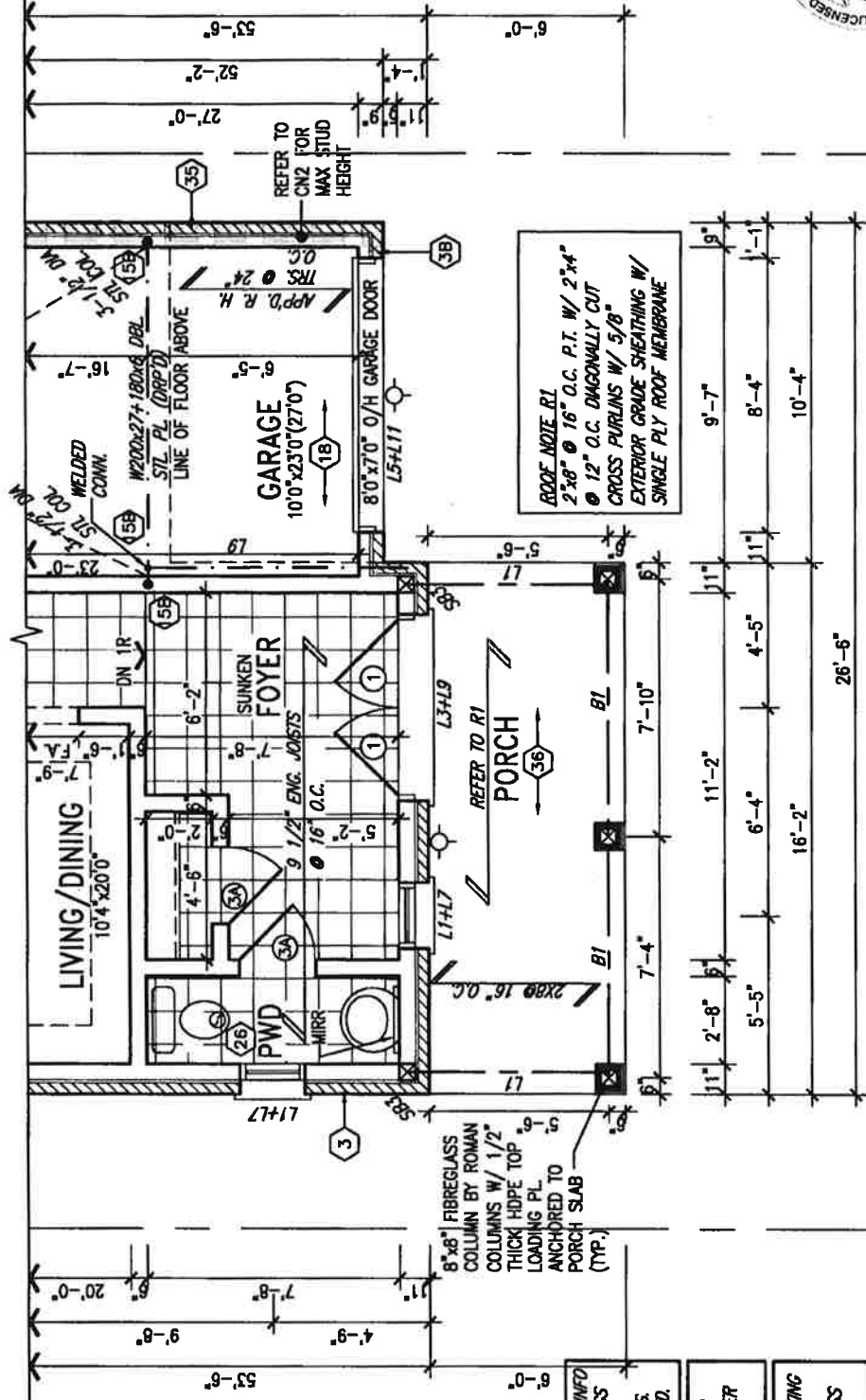
MUD ROOM SUNKEN 1R



Town of Innisfil Certified Model
05/01/2018 9:34:20 AM kgervais

PART. SECOND FLOOR
PLAN 'B' 10'0" GARAGE

INDICATES REDUCED SIDE YARD



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
1.416.630.2235 | 1.416.630.4782
vo3design.com

BAYVIEW WELLINGTON

S32-4-10G
PELICAN 4-10

project name	ALCONA	location	INNISFIL, ONTARIO	drawing no.	13049
date	NOV. 2015	part	PARTIAL PLANS 'B'	sheet no.	4
drawn by	BO.BM	scale	3/16" = 1'-0"	file name	13049-S32-4-10
checked by	REWARD	date	13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM		



Town of Innisfil Certified Model
05/01/2018 9:34:38 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

max 6"(150mm) rise into doorway.
9.9.6.6.(2)

8"x18" PRECAST DECORATIVE ELEMENT W/ 1/2" PROJ. (TYP.)

PREFIN. MTL FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)

CONT. PRECAST CONC. BAND ON BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.)

MTL FLASHING W/ CAULKING BEHIND CLADDING (TYP.)

1"x6" STUCCO FRIEZE BD. (TYP.)

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

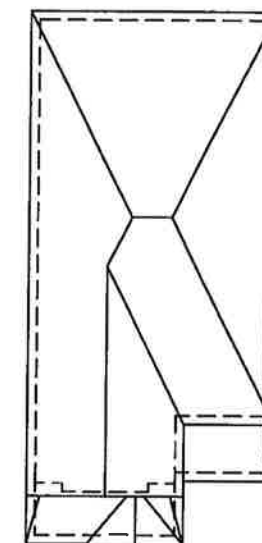
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

1'-0"

1'-0"

1'-0"

ROOF PLAN 'A'
N.T.S.



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

STUCCO FINISH (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

BRICK SOLDIER HEADER ON BRICK SOLDIER STACKBOND W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

STL BEAM LOCATION

MUNICIPAL ADDRESS PLAQUE

BRICK SOLDIER HEADER W/ PRECAST KEYSTONE W/ 1/2" PROJ. (TYP.)

STEPPED FOOTING

6'-2 1/2" [1.88M]

6'-2 1/2" [1.88M]

24'-2 1/2" [7.38M]

7'-10" U/S OF SOFFIT

4'-0" MIN.

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

FRONT ELEVATION 'A'
10'0" GARAGE

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
32-4-10 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	115.056 S.F.	21.71 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	123 S.F.	23.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3200.00 S.F.	346.28 S.F.	10.82 %
TOTAL SQ. M.	297.29 S.M.	32.17 S.M.	10.82 %



The undersigned has reviewed and takes responsibility for the design and from the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Wellington Jno-Baptiste 25591
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be stamped with the name and the date of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

BAYVIEW WELLINGTON

S32-4-10G
PELICAN 4-10

project no.	13049
location	INNISFIL, ONTARIO
front elevation 'A'	FRONT ELEVATION 'A'
scale	3/16" = 1'-0"
date	NOV. 2015
drawn by	BD.BIM
checked by	
project no.	13049-S32-4-10
sheet no.	5

RECORDED - IN ARCHIVE WORKING 2015.13049.BIM UNITS 32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

no.	description	date	by
9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SR	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SR	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

[illegible]

LEFT SIDE ELEVATION 'A'
10'0" GARAGE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
05/01/2018 9:36:47 AM kgervais

max 6"(150mm) rise
into doorway.
9.9.6.6.(2)

PREFIN. MTL FLASHING W/
—CAULKING TO MATCH
MASONRY (TYP.)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-4-10G
PELICAN 4-10

BAYVIEW WELLINGTON

date NOV. 2015
 city ALBERTA
 county ALBERTA
 municipality INNISFIL, ONTARIO
 project 13049
 drawing no. 8



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the authority and power to bind the undersigned and set in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.

25559
BC2000
425558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

Al Green

REAR ELEVATION 'A' & 'B'
10'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

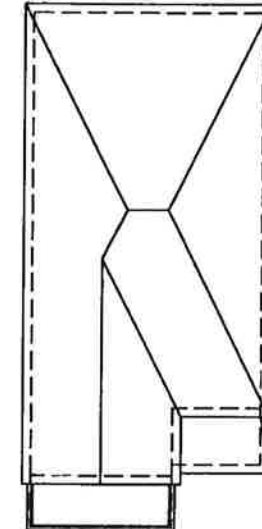
9	*	*			
8	*	*			
7	*	*			
6	*	*			
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	name	25591
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	registration information	BCN
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16	SB	VAS Design Inc.	42658
2	AUD WOOD AND REAR UPGRADE	JUL 22-16	SB		
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM		
no.	description	date	by	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 <i>Jno-Baptiste</i> signature Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

Town of Innisfil Certified Model
05/01/2018 9:37:17 AM kgervais

ROOF
PLAN 'B'
N.T.S.



FACE BRICK (TYP.)

VAULTED CEILING
BEYOND (6:12)

1"x6" ALUM. FRIEZE
BD. (TYP.)

10" PRECAST ARCH W/ PRECAST
KEYSTONE ON PRECAST SURROUND
BETWEEN WINDOWS ALL W/ 1/2" PROJ.

18" HIGH PREFIN. ALUM.
RAILING (TYP.)

PREFIN. ALUM.
CLAD COPING

STUCCO FINISH
(TYP.)

max 6"(150mm) rise
into doorway.
9.9.6.6.(2)

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO PORCH
SLAB (TYP.)

FIN. SUNKEN FOYER

POURED CONC. PORCH SLAB
AND DOOR SILL (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

MID-POINT OF ROOF

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

10" PRECAST HEADER ON
10" PRECAST SURROUND
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

STL BEAM LOCATION

MUNICIPAL ADDRESS
PLAQUE

10" PRECAST HEADER W/
PRECAST KEYSTONE W/
1/2" PROJ. (TYP.)

STONE VENEER (TYP.)

8'0"x7'0" O/H GARAGE DOOR

STEPPED FOOTING

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

FRONT ELEVATION 'B'
10'0" GARAGE

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	556 S.F.	115.056 S.F.	20.69 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	123 S.F.	23.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3226.00 S.F.	346.28 S.F.	10.73 %
TOTAL SQ. M.	299.70 S.M.	32.17 S.M.	10.73 %

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and taken responsibility for the design and construction of the building and its components in accordance with the Ontario Building Code to be a Design Professional.

qualification information
Wellspring Architects Inc. 25591
name
registration information
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and shall not be reproduced or used for any other purpose without the written permission of the Designer. Drawings are not to be scaled.

no. description
date by

5 REVISED AS PER ENG COMMENTS JUL 21-17 RC
4 REVISED FND WALLS TO BE 10" DEC 14-16 SB
3 REVISED AS PER ENG TRUSS LAYOUT SEP 26-16 RC
2 ADD WOOD AND REAR UPGRADE JUL 22-16 SB
1 ISSUED FOR CLIENT REVIEW JUL 04-16 BM

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

S32-4-10G
PELICAN 4-10

BAYVIEW WELLINGTON

project no.
13049

drawn by
9

checked by
3/16" = 1'-0"

scale
13049-S32-4-10

date
NOV. 2015

project name
ALCONA

municipality
INNISFIL, ONTARIO

front elevation 'B'

sheet no.
9

project no.
13049

drawn by
9

checked by
3/16" = 1'-0"

scale
13049-S32-4-10

date
NOV. 2015

project name
ALCONA

municipality
INNISFIL, ONTARIO

front elevation 'B'

sheet no.
9

project no.
13049

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-4-10G
PELICAN 4-10

BAYVIEW WELLINGTON



The undersigned has reviewed and takes responsibility for this design and the design information it contains. The undersigned is duly qualified and meets the requirements set out in the Ontario Building Code to be a Designer. signature <i>[Signature]</i> 25591	name BOEN 42658
Wellington Jno-Suplata registration information WDS Design Inc.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5	REVISED AS PER ENG COMMENTS	JUL 21-17 RC	
4	REVISED FND WALLS TO BE 10"	DEC 14-16 SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

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05/01/2018 9:37:36 AM kgervais

12:12
ROOF FOR REAR
UPGRADE ELEV 'B'

12:12

4'-0"
OR REAR UP
ONLY

4'-0"
RET.

TOP OF PLATE

TOP OF WINDOW
CONT. 10" PRECAST CONC.
BAND W/ 1/2" PROJ.

— PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

FIN. SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO PORCH
SLAB (TYP.)

FIN. GROUND FLOOR

FIN. SUNKEN FOYER
FIN. GRADE

TOP OF SLAB

WALL AREA	1070.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	74.90 SQ. FT.
OPENING PROVIDED	72.24 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'
10'0" GARAGE

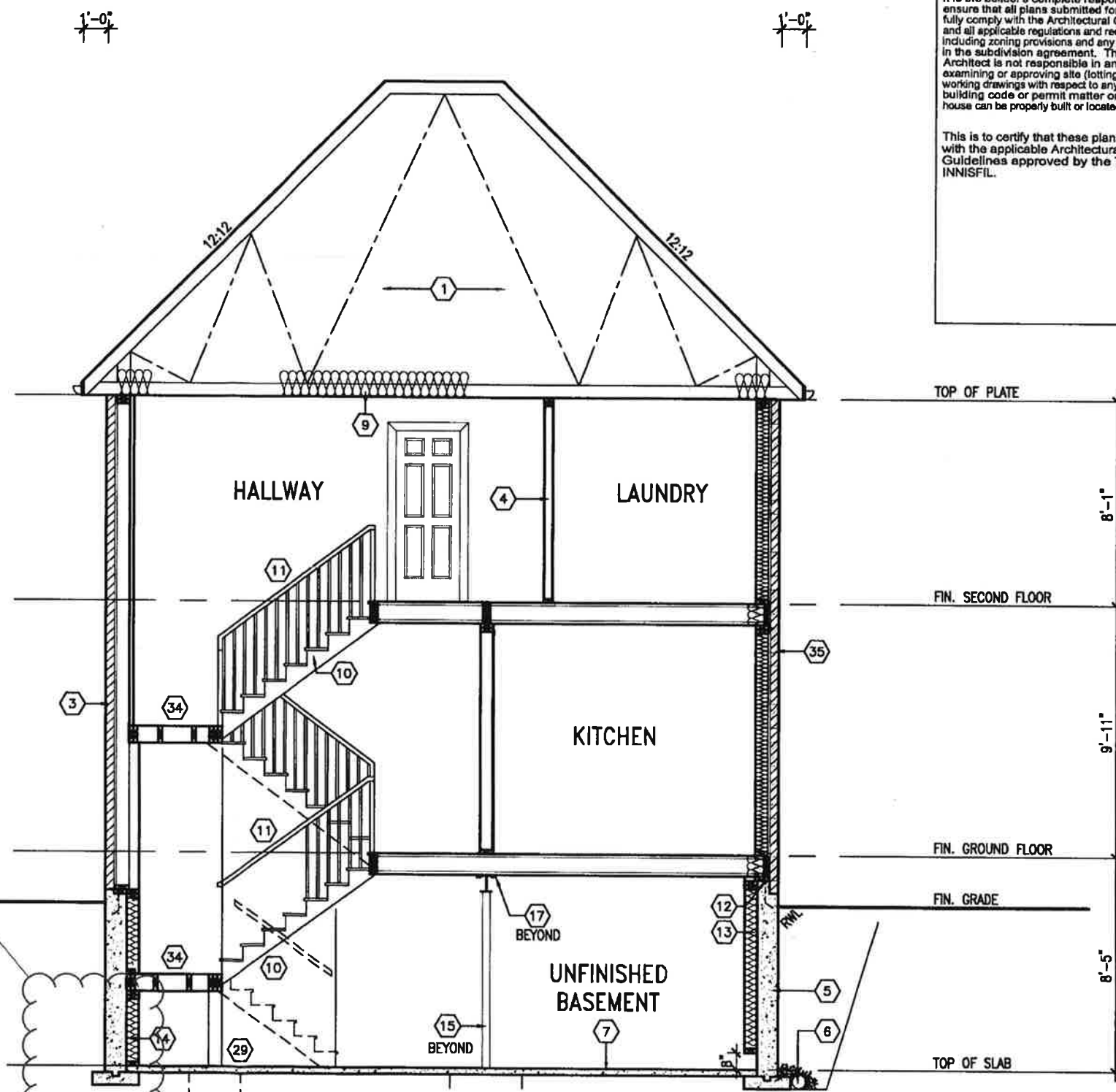

 LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
 A. T. Quaile
 17-08-01
 PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

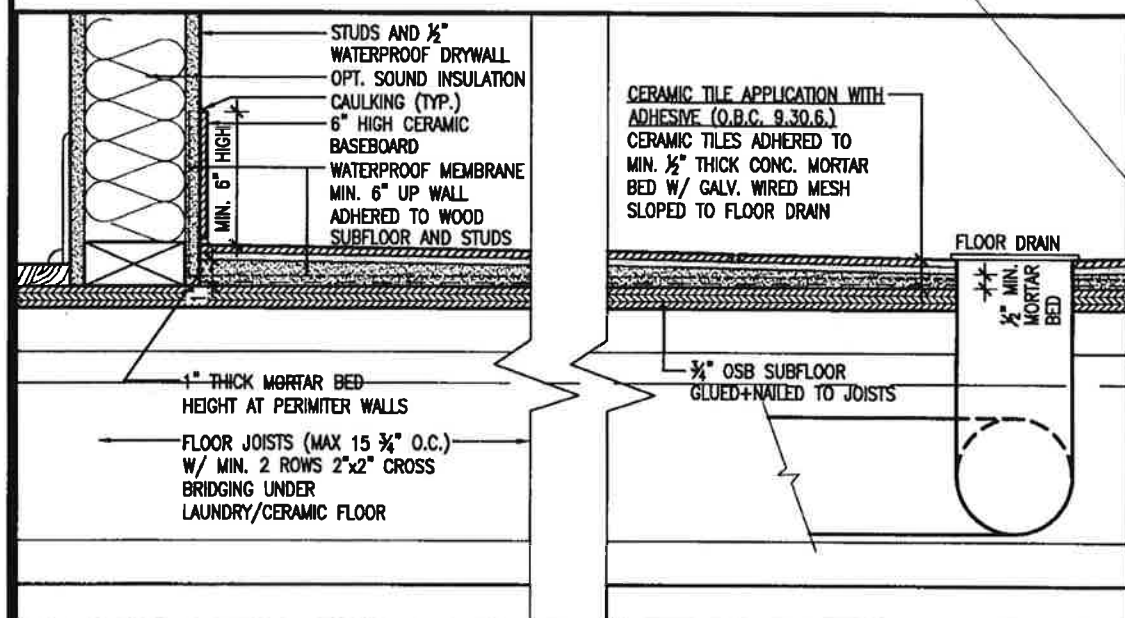
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

foundation drainage shall be provided at the bottom of every foundation wall containing the building interior. 9.14.2.1.



CROSS SECTION 'A-A'
10'0" GARAGE



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

9	REVISD AS PER ENG COMMENTS	JUL 21-17 RC	name	Wellington Jno-Baptiste	25591
8	3 REVISED FNO WALLS TO BE 10"	DEC 14-16 SB	creation information	WAS Design Inc.	42058
7	4 REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	signature	<i>[Signature]</i>	
6	2 ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
5	1 ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	date		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
www.va3design.com

BAYVIEW WELLINGTON

S32-4-10G
PELICAN 4-10

product name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	CROSS SECTION 'A-A'		drawing no.	12
BY	B.D.B.M.	scale	3/16" = 1'-0"	file name	13049-S32-4-10
checked by		PELICAN 4-10			

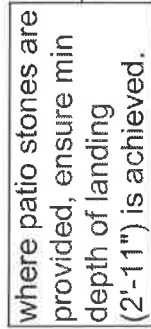
RICHARD - H:\ARCHIVE\WORKING\2013\13049-BMW\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM
vwodesign.com

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05/01/2018 9:42:51 AM kgervais

05/01/2018 9:42:51 AM kaenvais

ARCHITECTURAL REVIEW JOURNAL
JULY Q 3 2017
JAMES G. WILKINS LIMITED, AUSTIN

John C. Walters Limited, Australia



where patio stones are provided, ensure min depth of landing (2'-11") is achieved.

**MIN. SOIL BEARING
CAPACITY OF 150KPa**

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.



INDICATES REDUCED SIDE YARD

[illegible]

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Town of Innisfil Certified Model
05/01/2018 9:43:41 AM kgervais

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

S32-4-10G
PELICAN 4-10

BAYVIEW WELLINGTON

project no. 13049
drawing no. 14
project name ALCONA
municipality INNISFIL, ONTARIO
date NOV. 2015
drawn by BO.BIM
checked by
scale 3/16" = 1'-0"
file name 13049-S32-4-10
PROJECT - H:\ARCHIVE\WORKING\2015\13049.BM\UNITS\S32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:05 PM
RECHARGED - H:\ARCHIVE\WORKING\2015\13049.BM\UNITS\S32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:05 PM

VAS
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 / 416.630.4782
vasdesign.com

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qualification information
Wellington - Inc. - Registered
25591
BCR
42658
name information
VAS Design Inc.
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

1'-0"

1'-0"



REAR ELEVATION 'A' & 'B'
W.O.D. 9R AND MORE COND.
10'0" GARAGE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

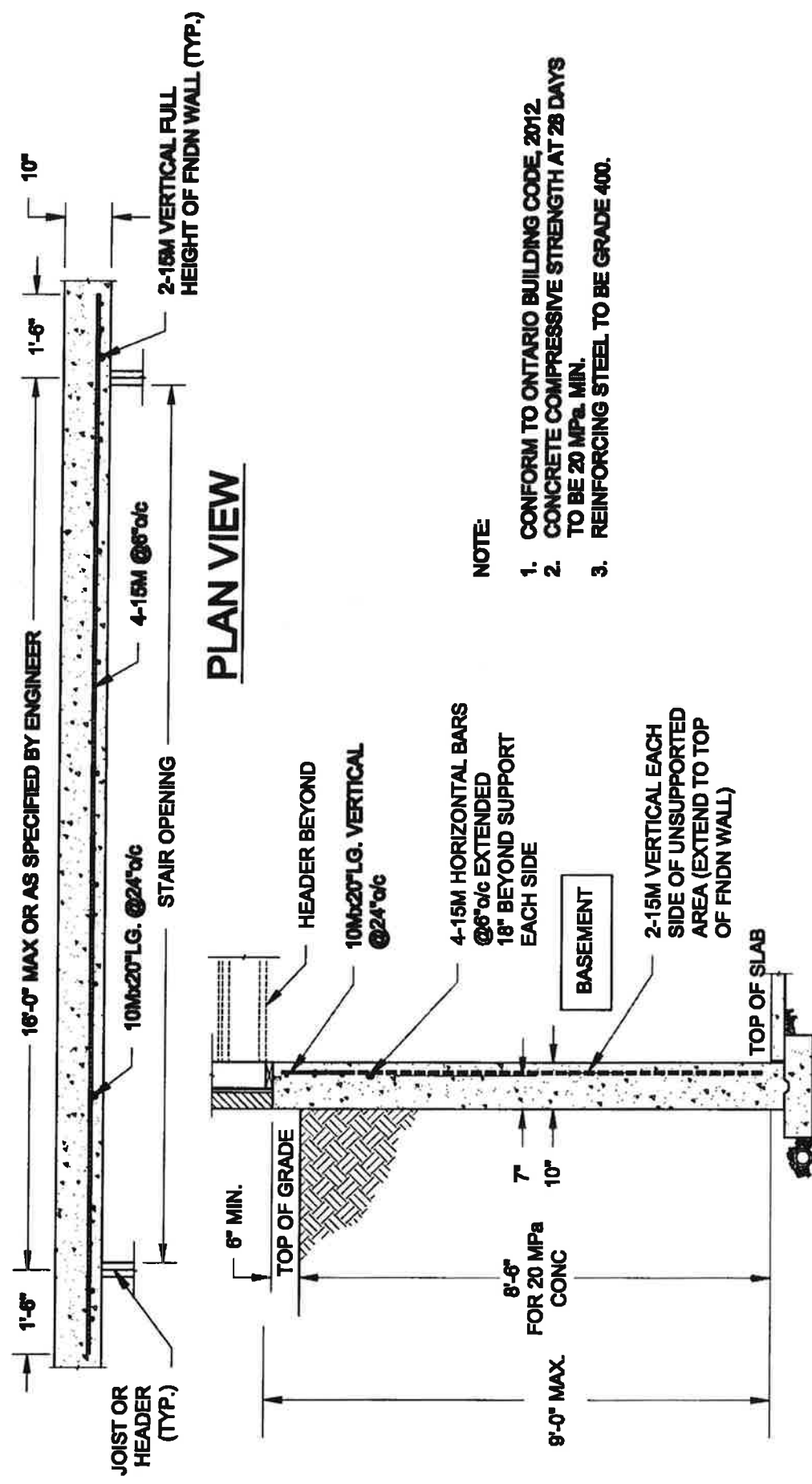
max 6" (150mm) rise
into doorway.
9.9.6.6.(2)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

32-4-10 ELEVATION A 9R WOD		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	530 S.F.	115.056 S.F.	21.71 %	
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %	
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %	
REAR	636 S.F.	131.889 S.F.	20.74 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3306.00 S.F.	355.17 S.F.	10.74 %	
TOTAL SQ. M.	307.13 S.M.	33.00 S.M.	10.74 %	

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

32-4-10 ELEVATION B 9R WOD		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	556 S.F.	115.056 S.F.	20.69 %	
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %	
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %	
REAR	636 S.F.	131.889 S.F.	20.74 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3332.00 S.F.	355.17 S.F.	10.66 %	
TOTAL SQ. M.	309.55 S.M.	33.00 S.M.	10.66 %	



PLAN VIEW

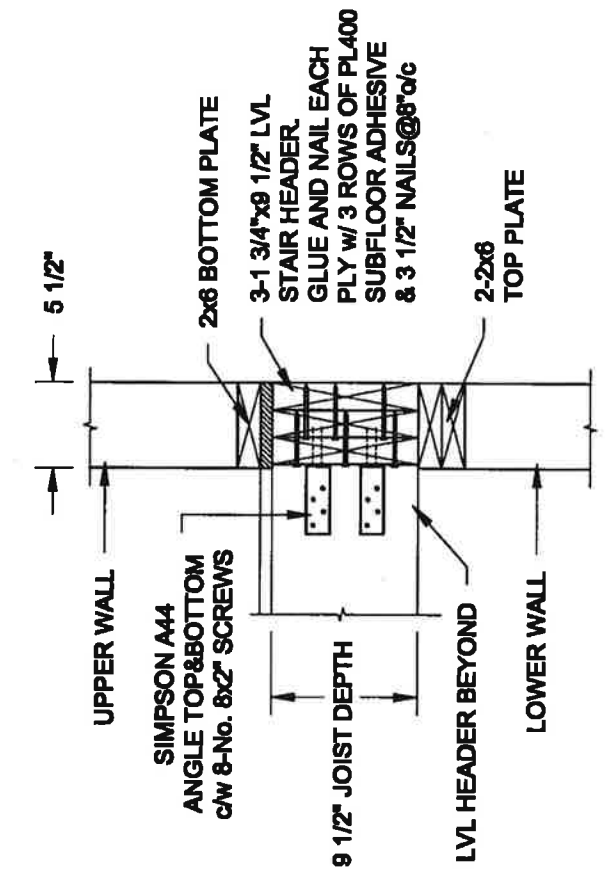
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

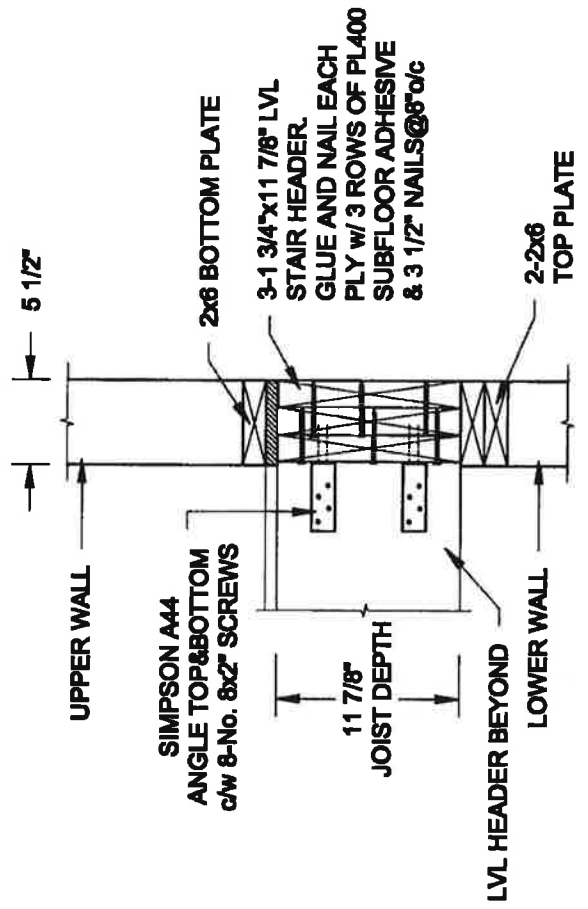
1 LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

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05/01/2018 9:44:48 AM kgervais

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



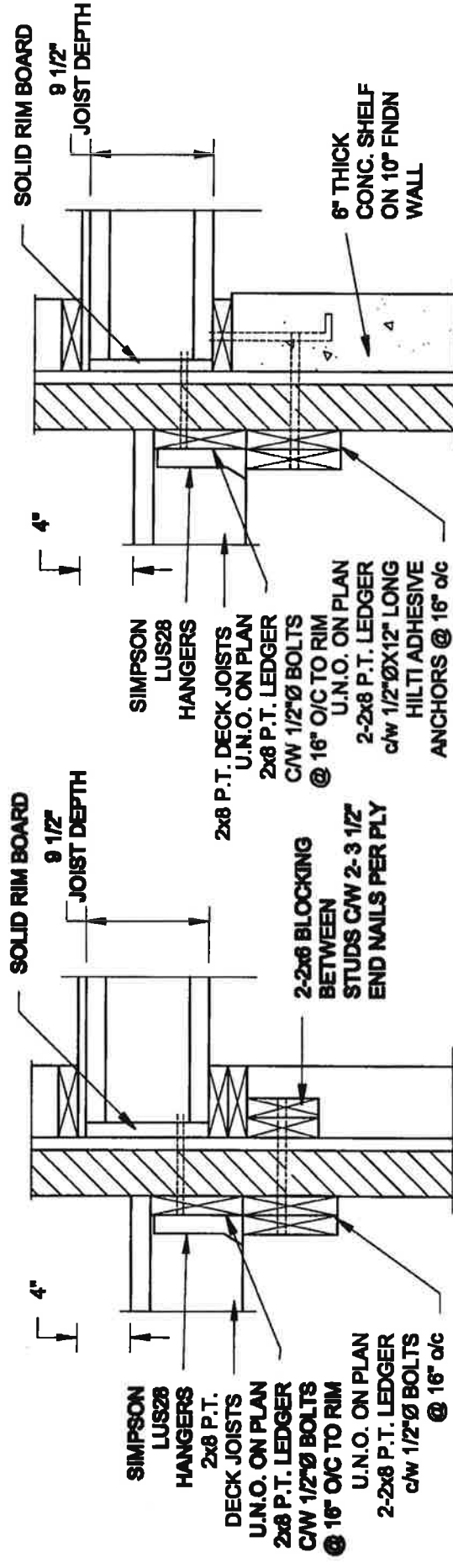
2 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com		Engineer's Sd:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO
Date: JUL-31-2017					
Drawn: SC	Checked: SJB	TYPICAL STRUCTURAL DETAILS FOR SINGLES			
		Project No.: 16-083		Drawing No.: S1	

2106mC-08-20161616-083 BAYVIEW WELLINGTON ALCONA BRIDGE 16-083.dwg

FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

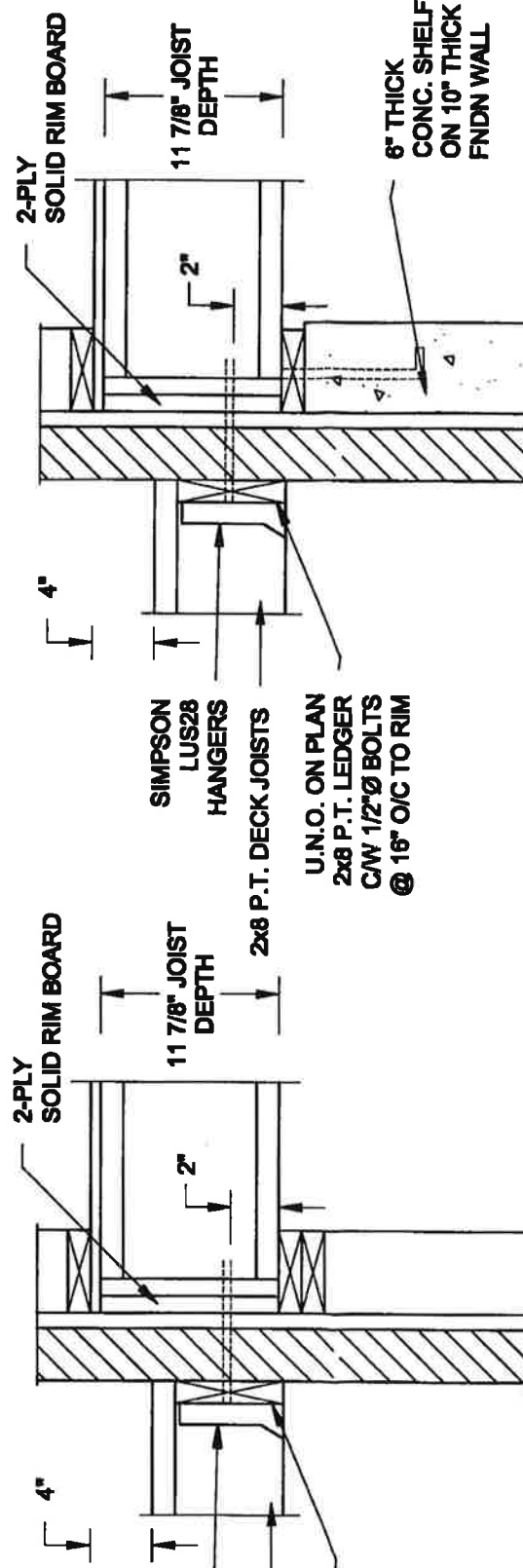
FOR 11 7/8" JOIST DEPTH

Town of Innisfil Certified Model
05/01/2018 9:44:56 AM kaervais

05/01/2018 9:44:56 AM kaervais

4" **SOLID RIM BOARD**

**SIMPSON
LUS28
HANGERS
2x8 P.T.
DECK JOISTS
U.N.O. ON PLAN
2x8 P.T. LEDGER
CW 1/2" BOLTS
@ 16" O/C TO RIM**



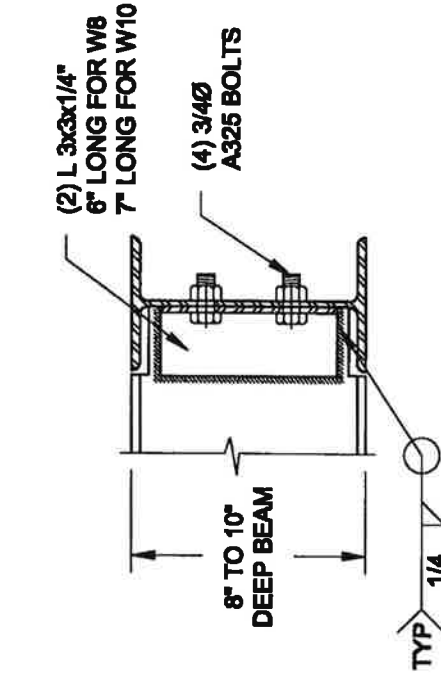
2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

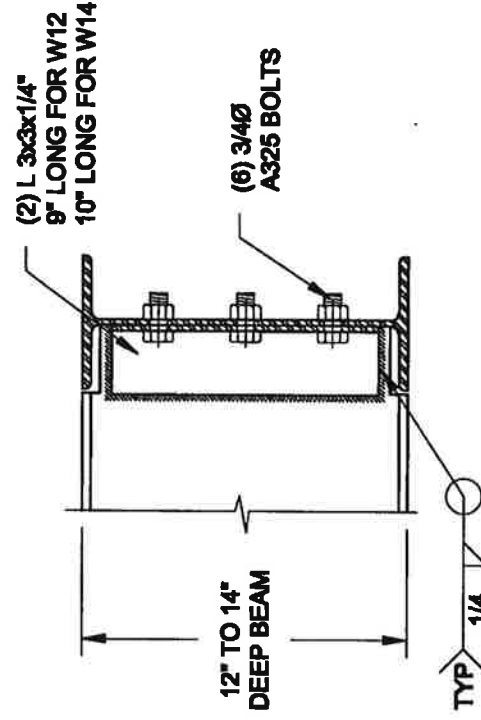
2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2"x8" @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

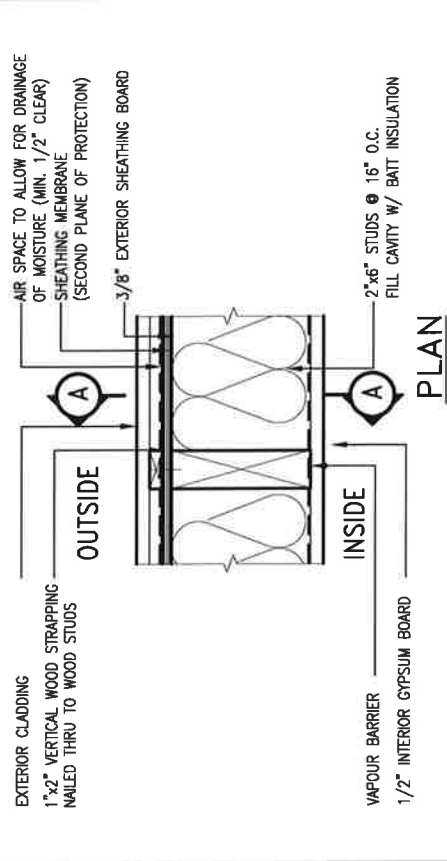
3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

SCALE: 1-1/2" = 1'-0"

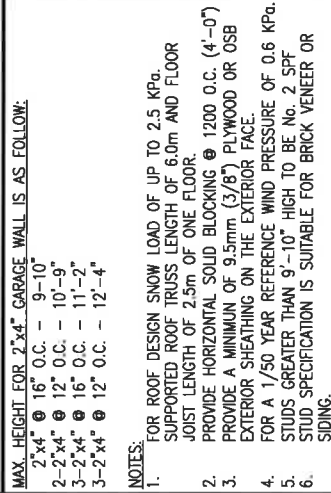



 A. T. Quaille
 17-08-01
 PROVINCE OF ONTARIO
 LICENSED ENGINEER

Scale: AS NOTED		Engineer's Seal:		Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT MISSISSAUGA, ONTARIO	
Date: JUL-01-2017		Project No.: 16-063		Drawing No.: 82	
Drawn: SC		Checked: SJB		TYPICAL STRUCTURAL DETAILS FOR SINGLES	



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OF BATHTUB IN MAIN BATHROOM PER OBC. DIV. 9-5.2.3.1.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO OBC. DIV. 9- WATER CLOSET 3.8.3.8.(3)(g) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). & BATHTUB 3.8.3.13.(4)(e). AND DETAILS PROVIDED BELOW.



NOTES:

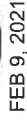
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE
5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE TENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.1.2.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLANCE EXHAUST. 3.0m



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va3design.com

9.	*	*	
8.	*	*	
7.	*	*	
6.	*	*	
5.	*	*	
4.	*	*	
3.	*	*	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

name

registration information

VAS Design Inc.



signature

25591

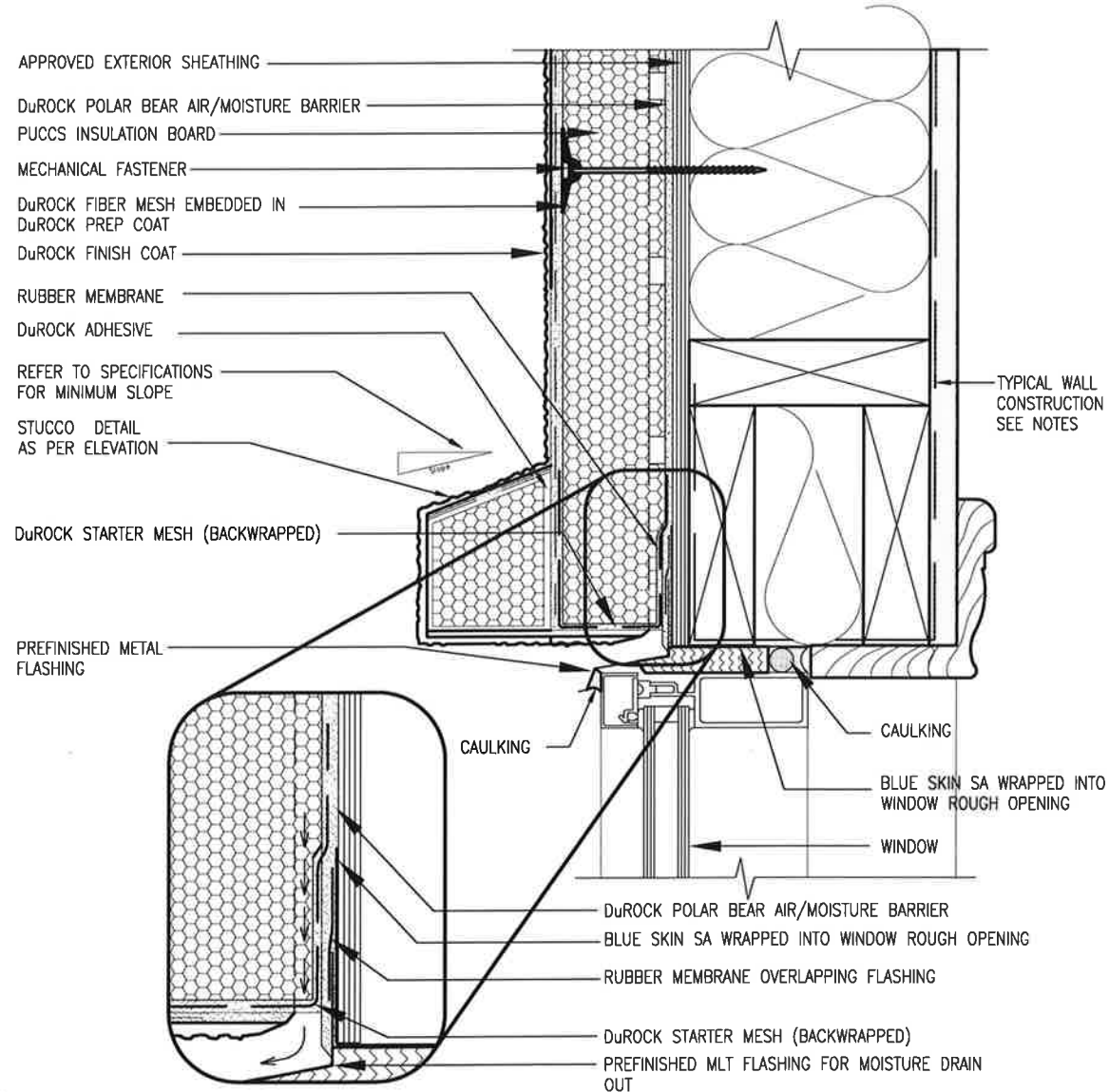
BCIN

42658

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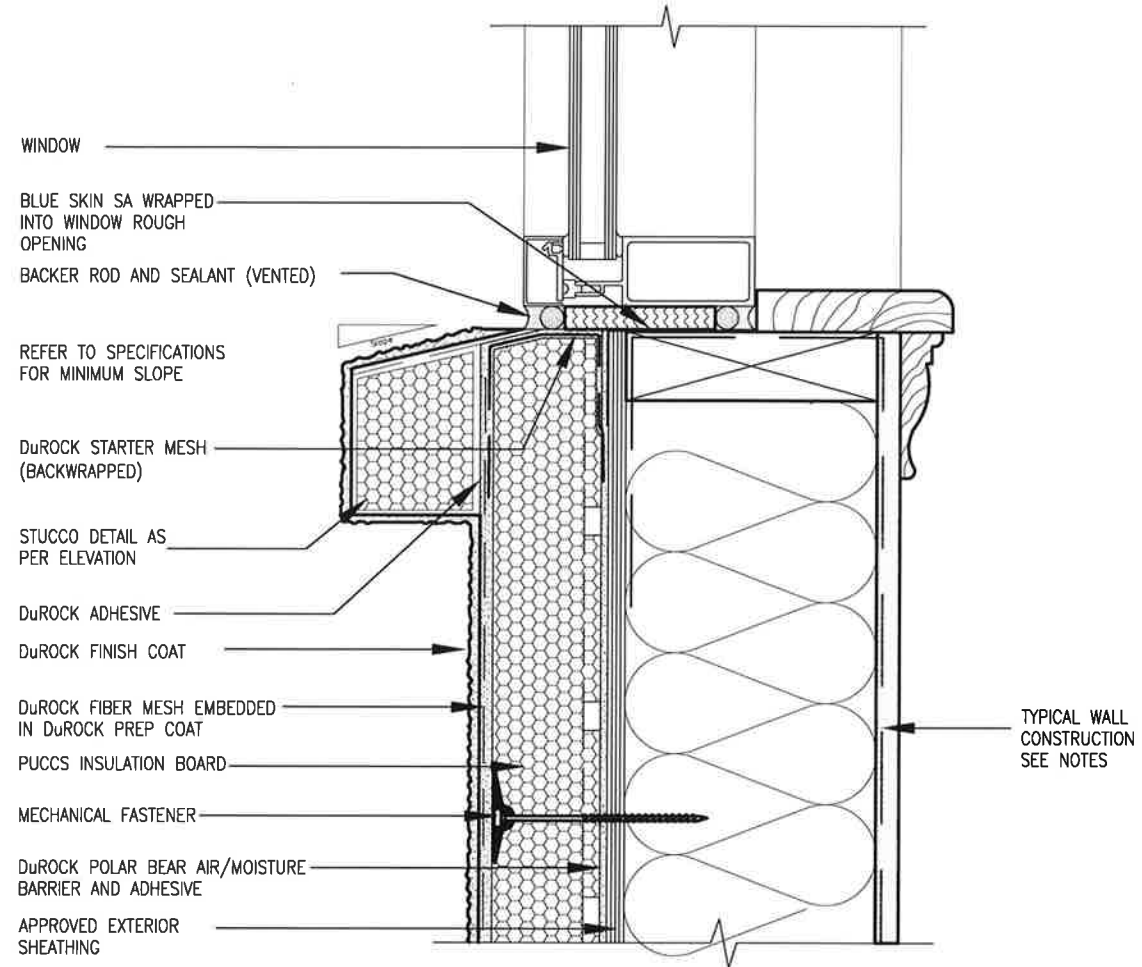
2. UPDATE TO OBC VER 2020	FEB 09 - 21	RC	
1. ISSUE FOR CLIENT REVIEW	AUG 04 - 17	RC	
not description	date	by	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		INNSFLON.	
project no.	13049	project name	ALCONA	date	MAY 2016
drawing no.	CN3	checked by	RC	scale	3/16" = 1'-0"
CONSTRUCTION NOTES		13049-CN-A1 VER 2020			
file name		13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM			
RECHARGE - H:\ARCHIVE\WORKING\2013\13049-BAYVIEW\UNITS\ON\Notes\13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM					
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no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

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qualification information

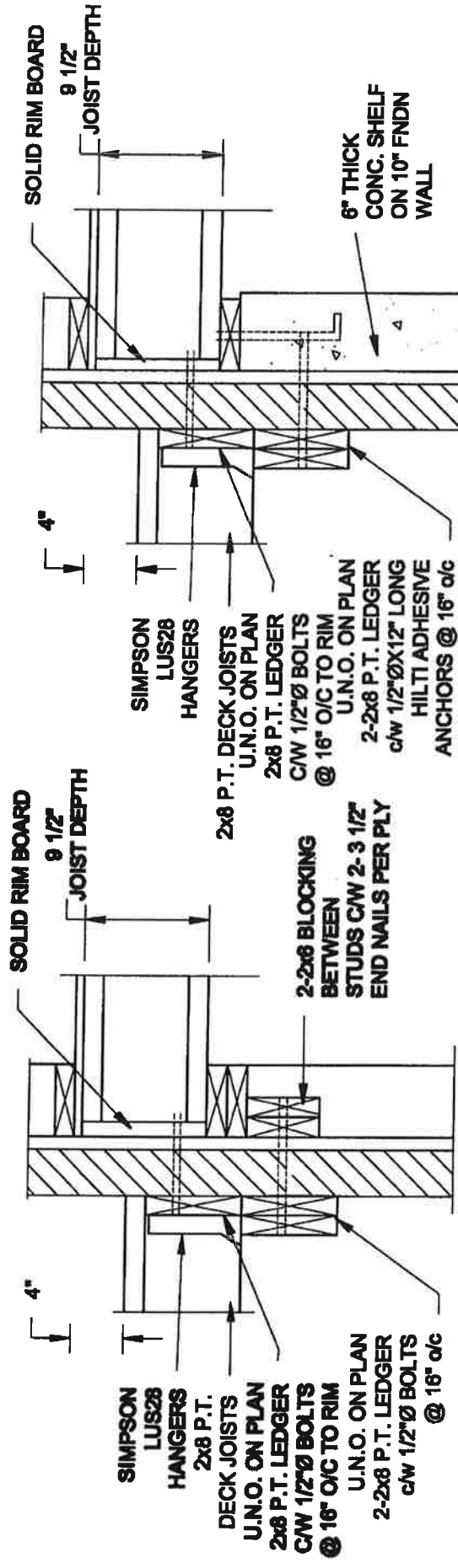
Wellington Jno-Baptiste 25591 BCN

name registration information

V&A Design Inc. 42658

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FOR 9 1/2" JOIST DEPTH

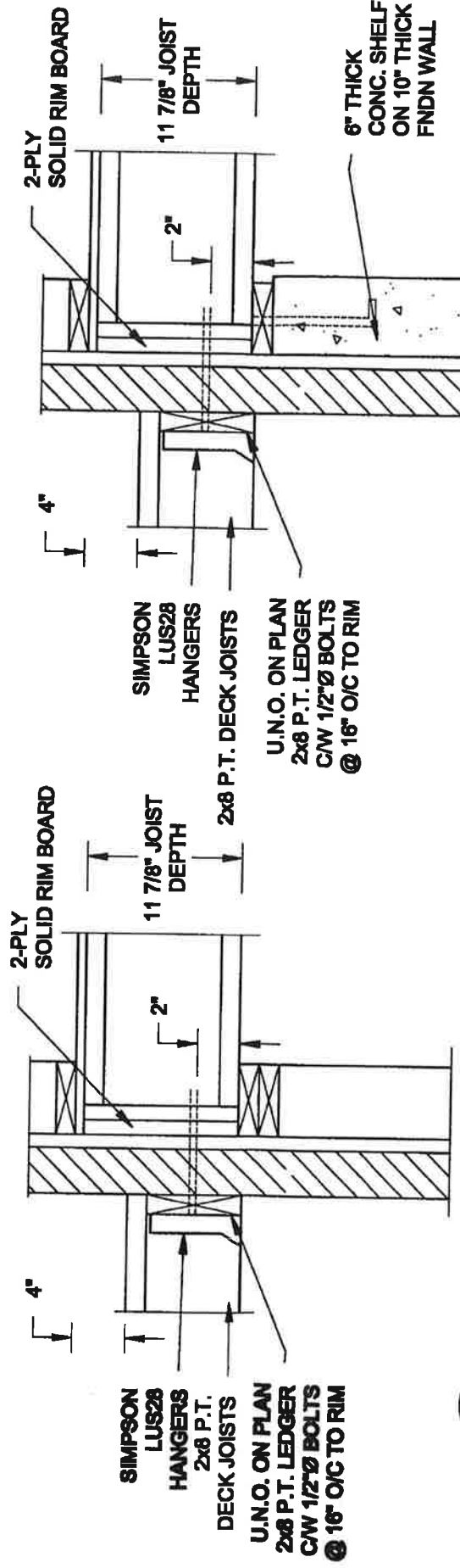


1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

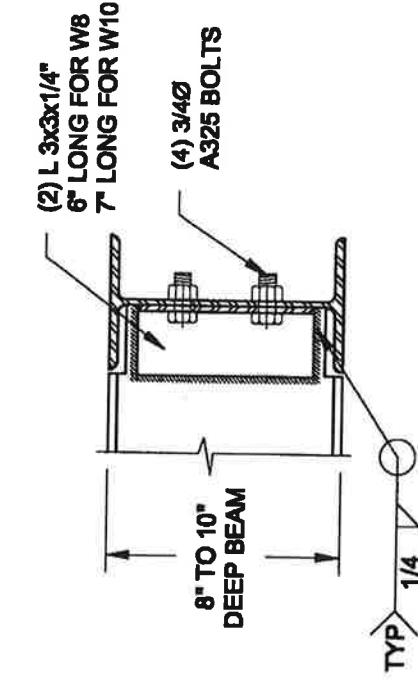
FOR 11 7/8" JOIST DEPTH



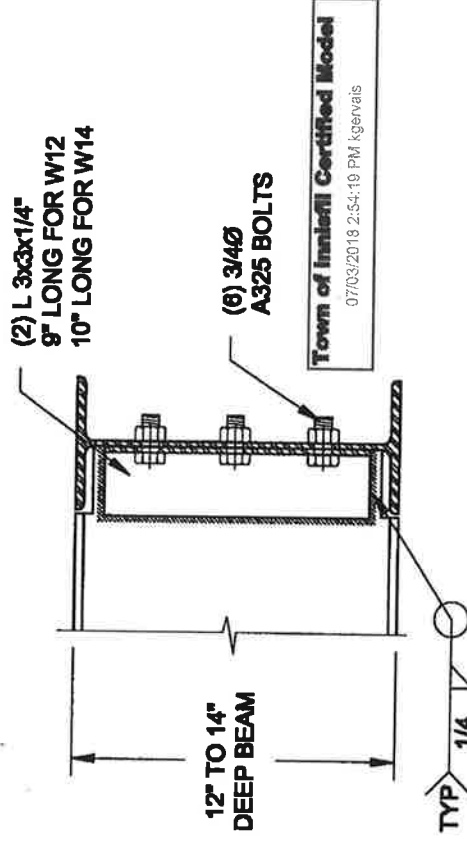
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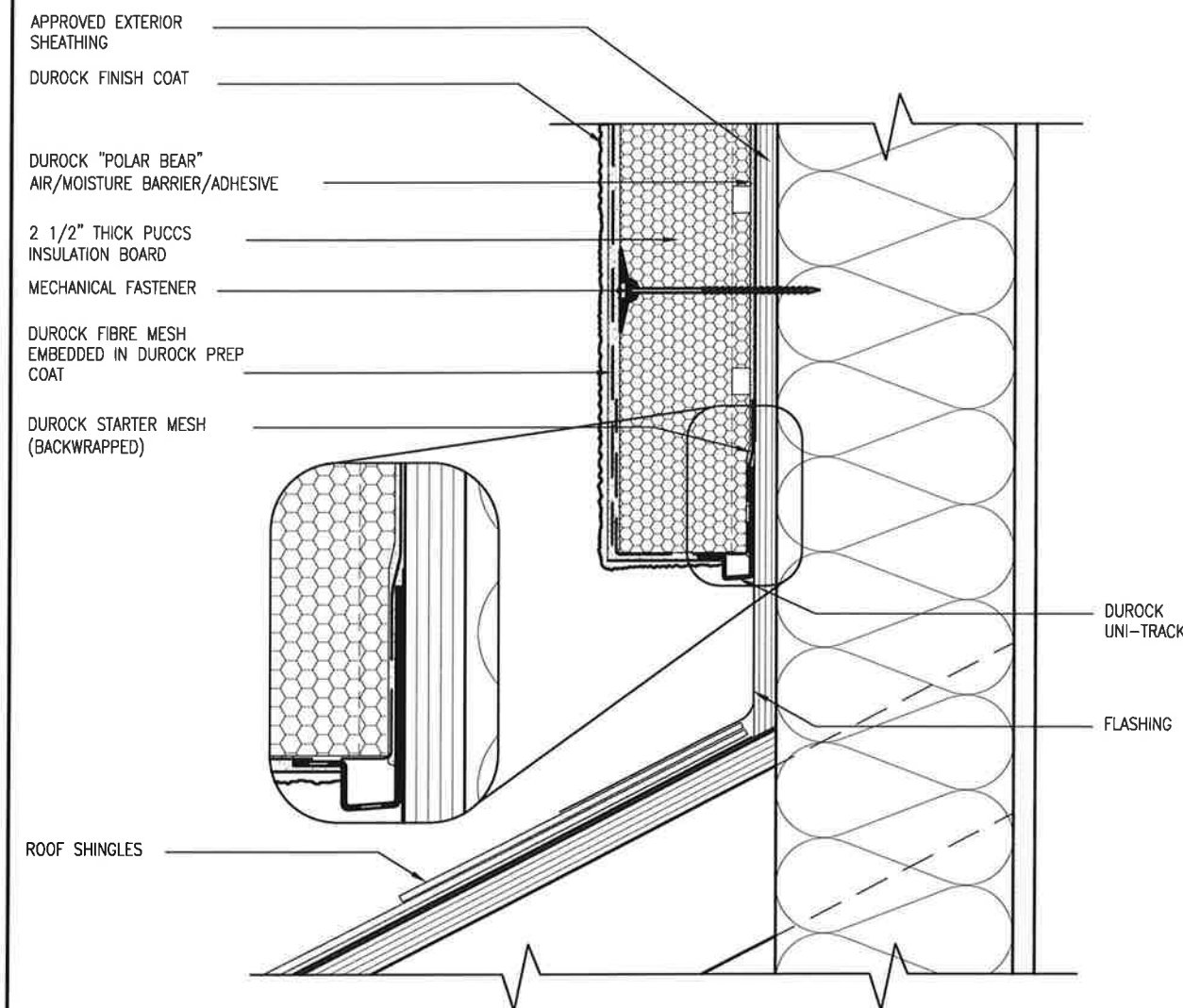
**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

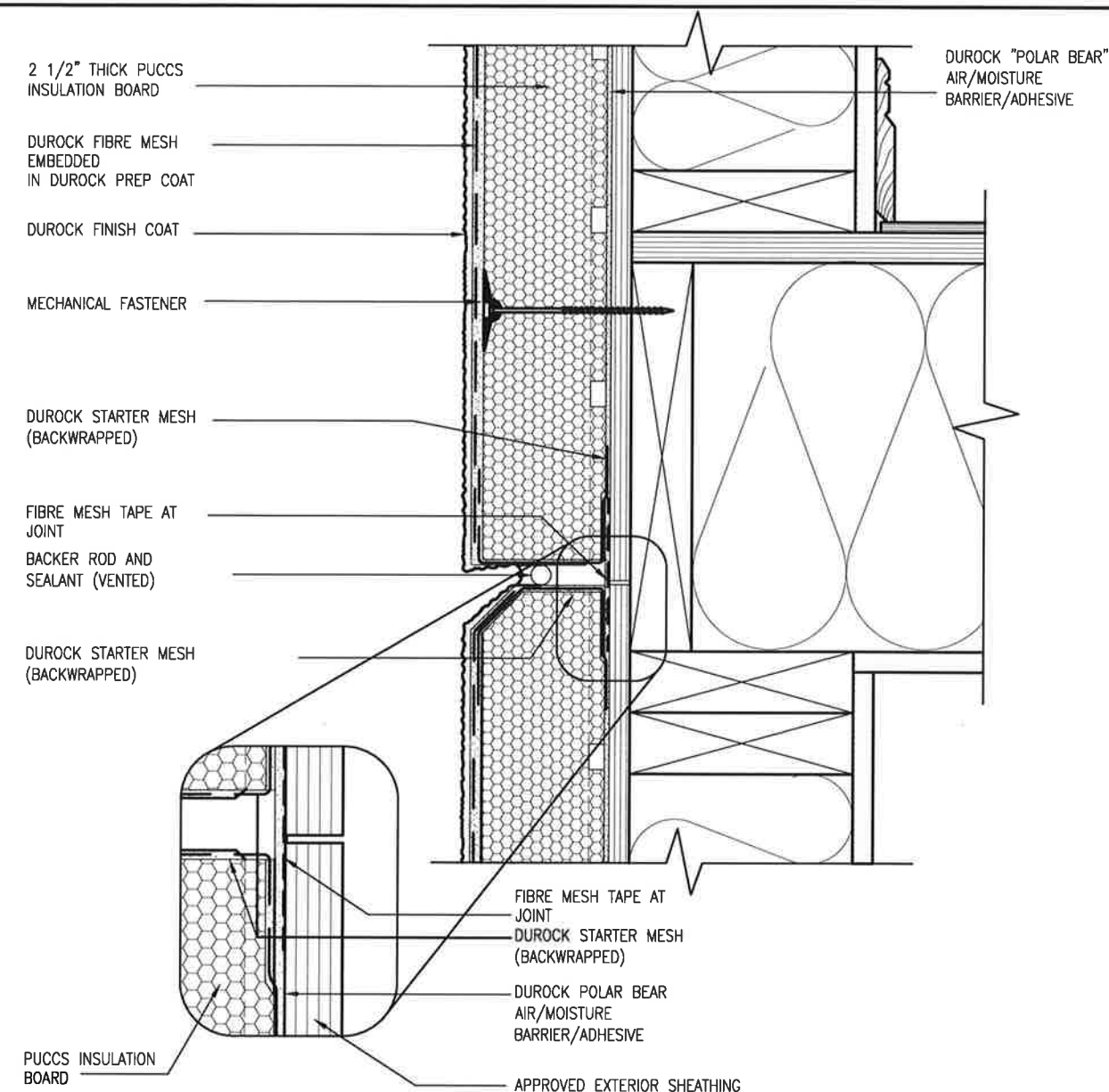
3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

Scale: AS NOTED			QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quale_eng@rogers.com	Engineer's Seal 	Project: DAYVIEW WELLINGTON HOMES - ALCONA PROJECT MISSISSAUGA, ONTARIO TYPICAL STRUCTURAL DETAILS FOR SINGLE	Project No.: 16-088	Drawing No.: 92
Date: JUL-01-2017	Drawn: SC	Checked: SJB					



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



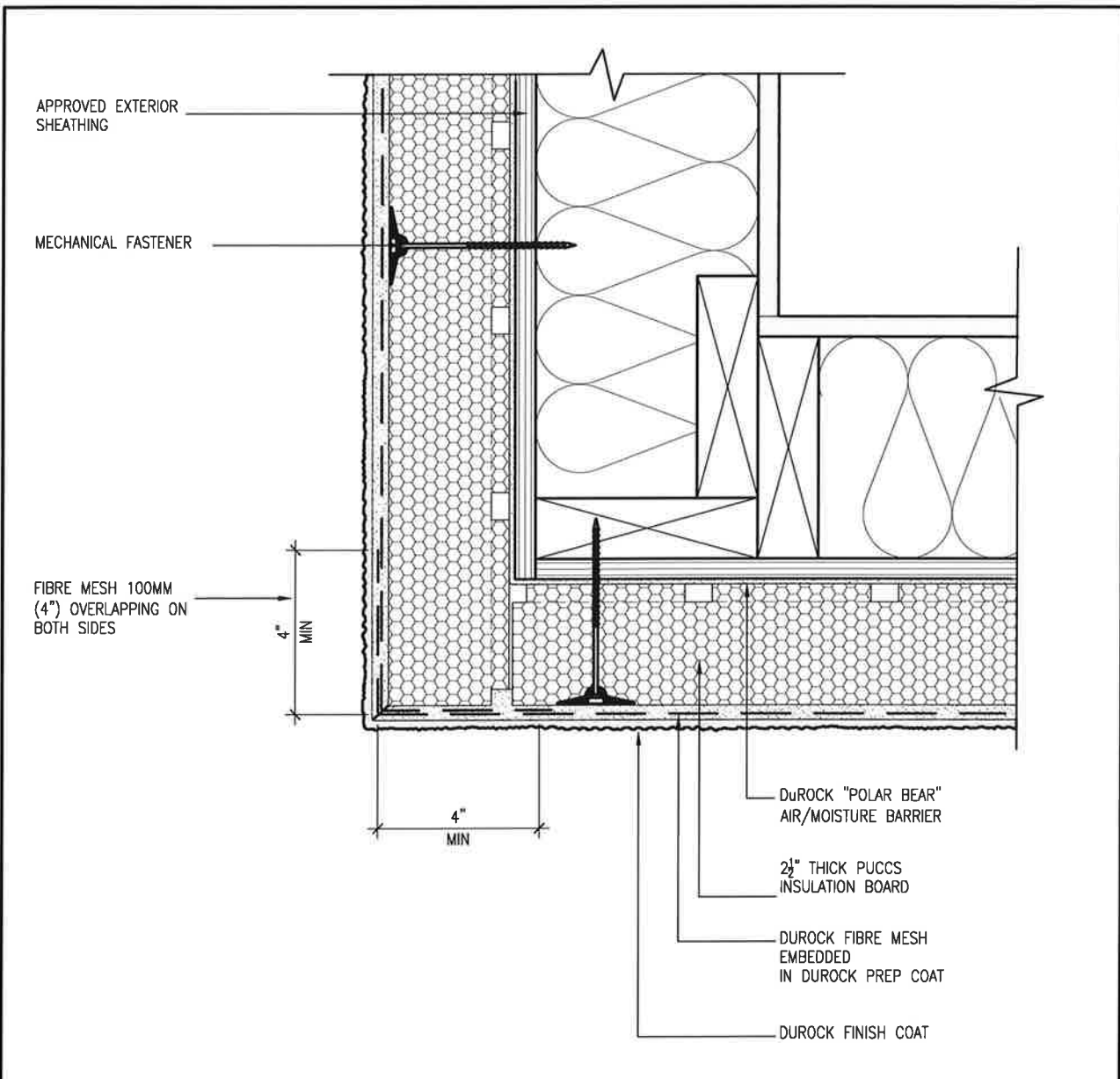
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

[illegible]

VAD3
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255 Consumers Rd Suite 1
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t : 416.630.2255 f 416.630.4143
va3design.com

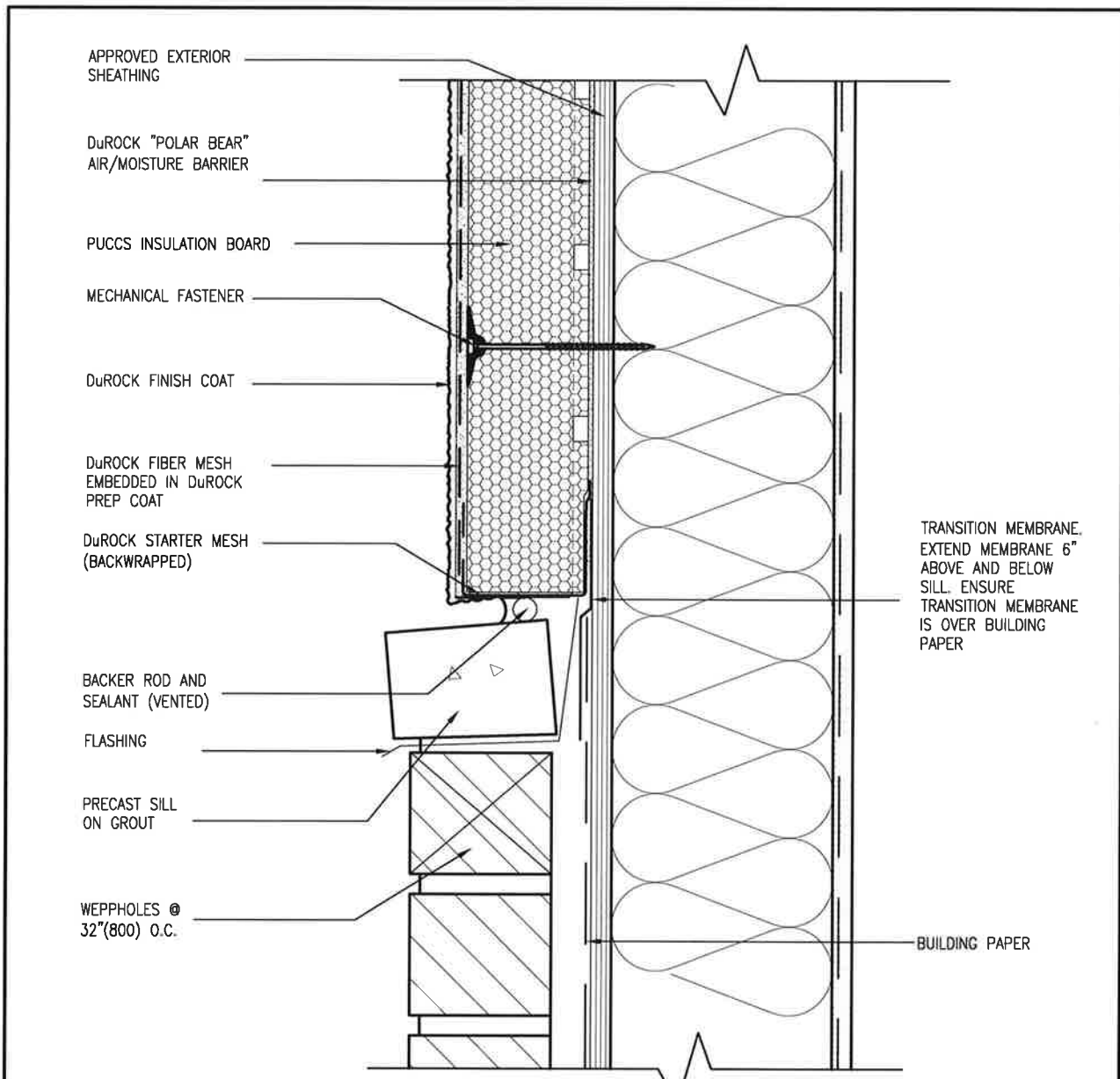
BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	drawing no. CN47
drawn by RC	checked by —
scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
RICHARD - H. LARSEN INC., WILKINSON, 2021 UNIT 10045 BAYVIEW STATION, NETHERVILLE, CN A-1 VER. 2020 Ceq. — Tue - Feb 9 2021 - 17 AM	

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5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



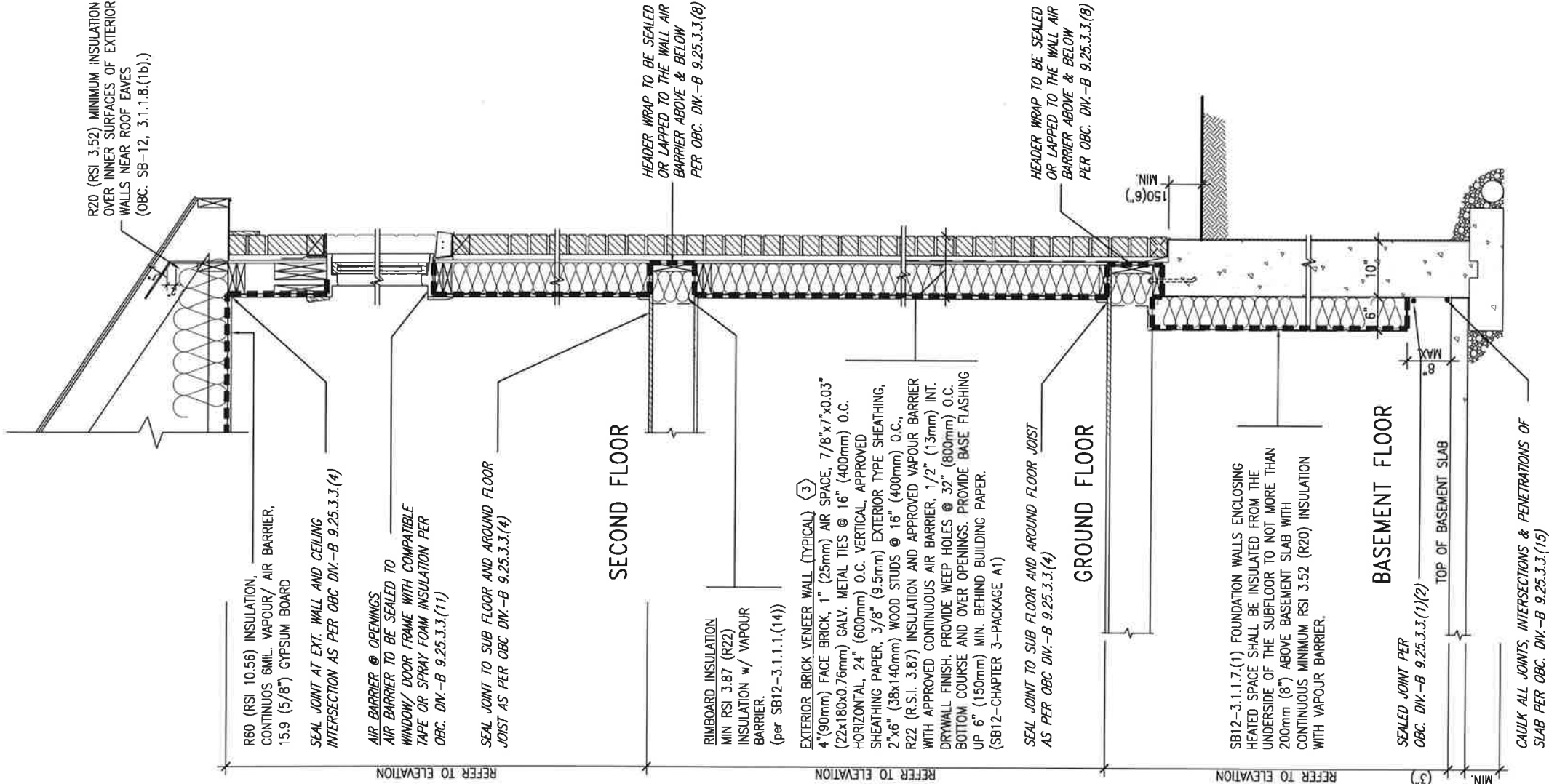
6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

project name		project no.	
ALCONA		13049	
municipality		drawing no.	
INNISFIL, ON.		CN5	
date		checked by	
MAY 2016		RC	
scale		3/16" = 1'-0"	
CONSTRUCTION NOTES		file name	
13049-CN-A1 VER 2020		13049-CN-A1 VER 2020	
RC-HQ - IN ADOBE WORKING 2013.1.1048 BAYVIEW (ON, Notes) 13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste			
signature			
25591			
BCN			
42656			
V3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no. description		date	
2 UPDATE TO OBC VER 2020		FEB 09-21 RC	
1 ISSUE FOR CLIENT REVIEW		AUG 04-17 RC	

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Bayview Wellington
CONST NOTE

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

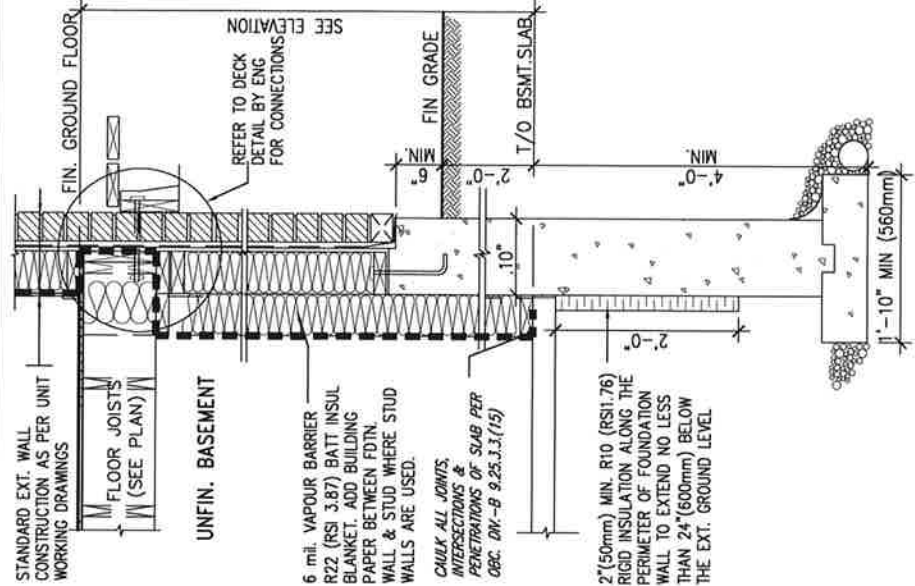
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Walls Above Grade	3.52ci	OPTION TO USE R12+R10ci.
Basement Walls	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value	1.6	
Edge of Below Grade Slab		
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass		
Doors		
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Minimum Water Heat		
Drain Water Heat		
Recovery Unit (DWHR)		
		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.2 for information.

ci- Denotes Continuous Insulation without framing interruption.



FEB 9, 2021

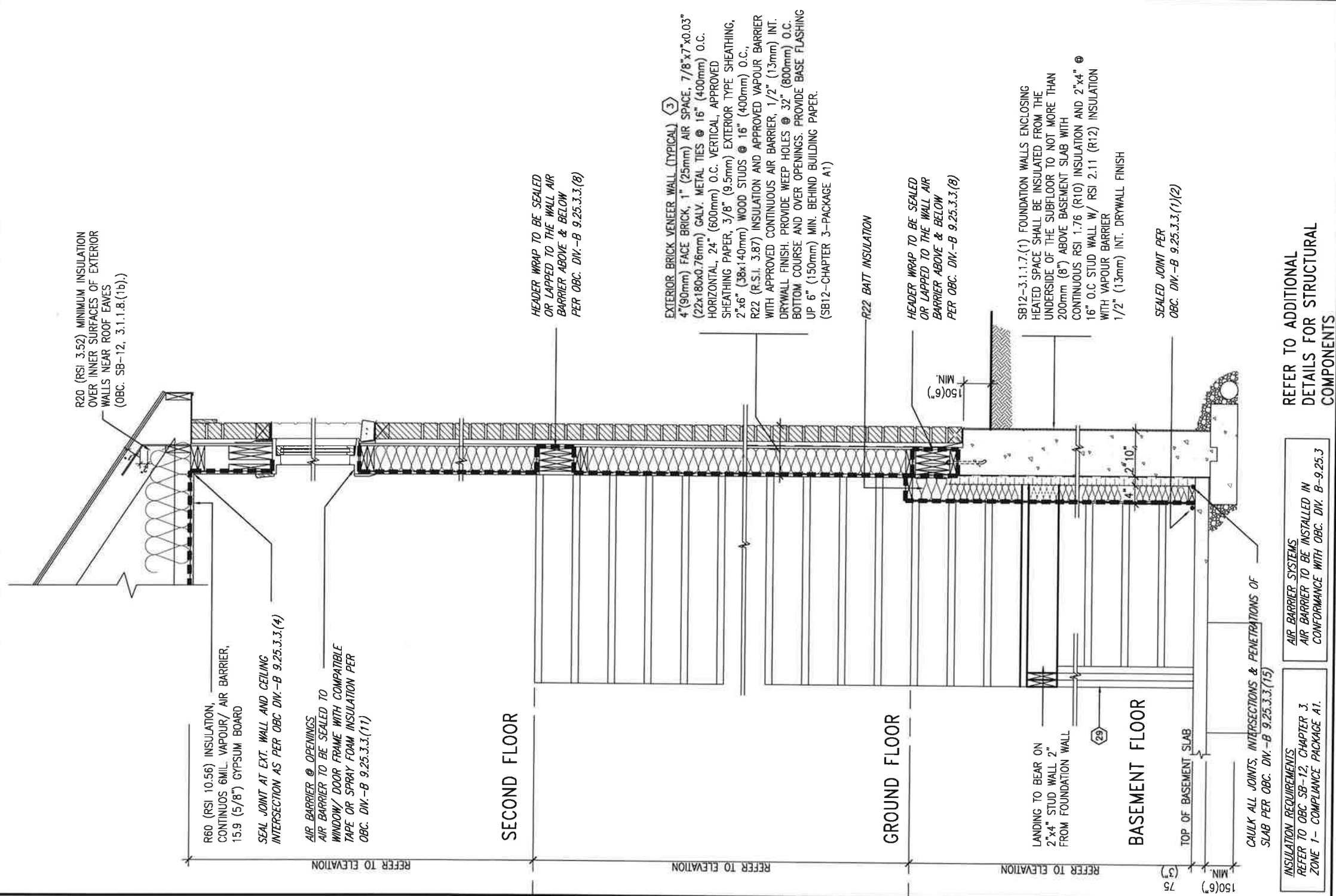


* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

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SB12-COMPLIANCE PACKAGE 'A1'



REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

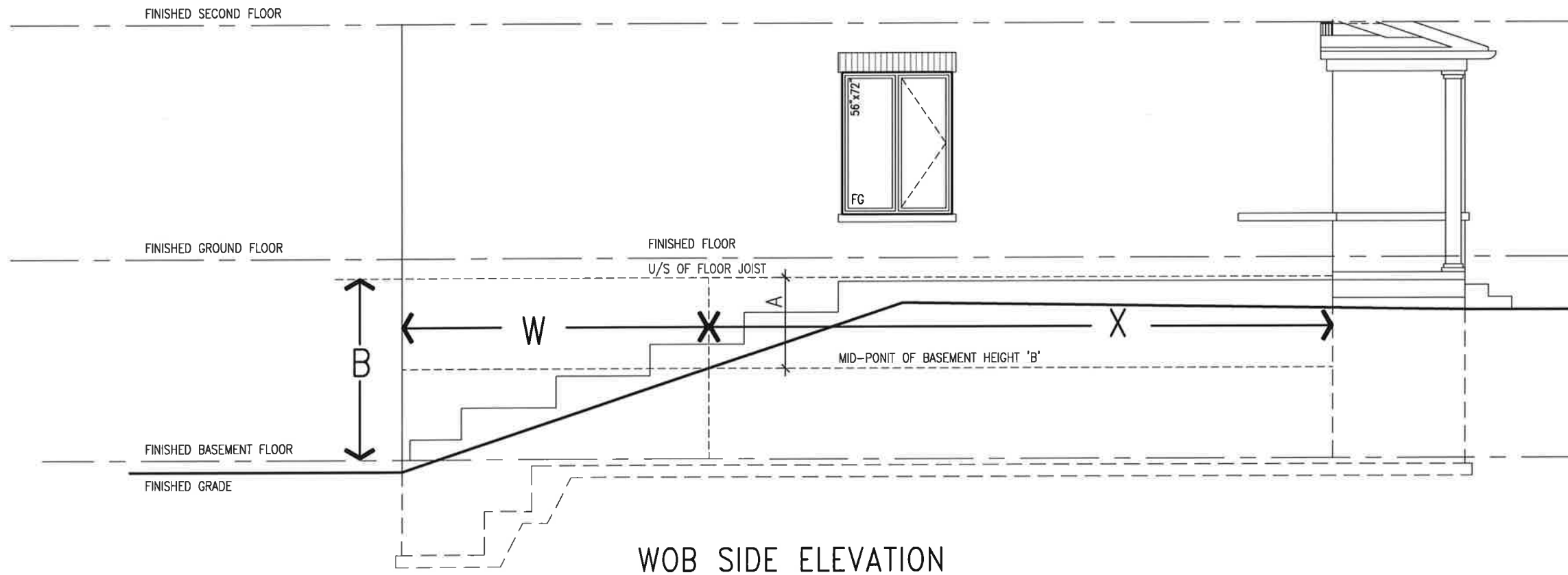
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

9.	*	*			
8.	*	*			
7.	*	*			
6.	*	*			
5.	*	*			
4.	*	*			
3.	*	*			
2.	UPDATE TO CBC VER 2020	FEB 09-21	RC		
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		


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COMPLIANCE TO OBC SB-12 2.1.1.1(11)

WOB PLAN

WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

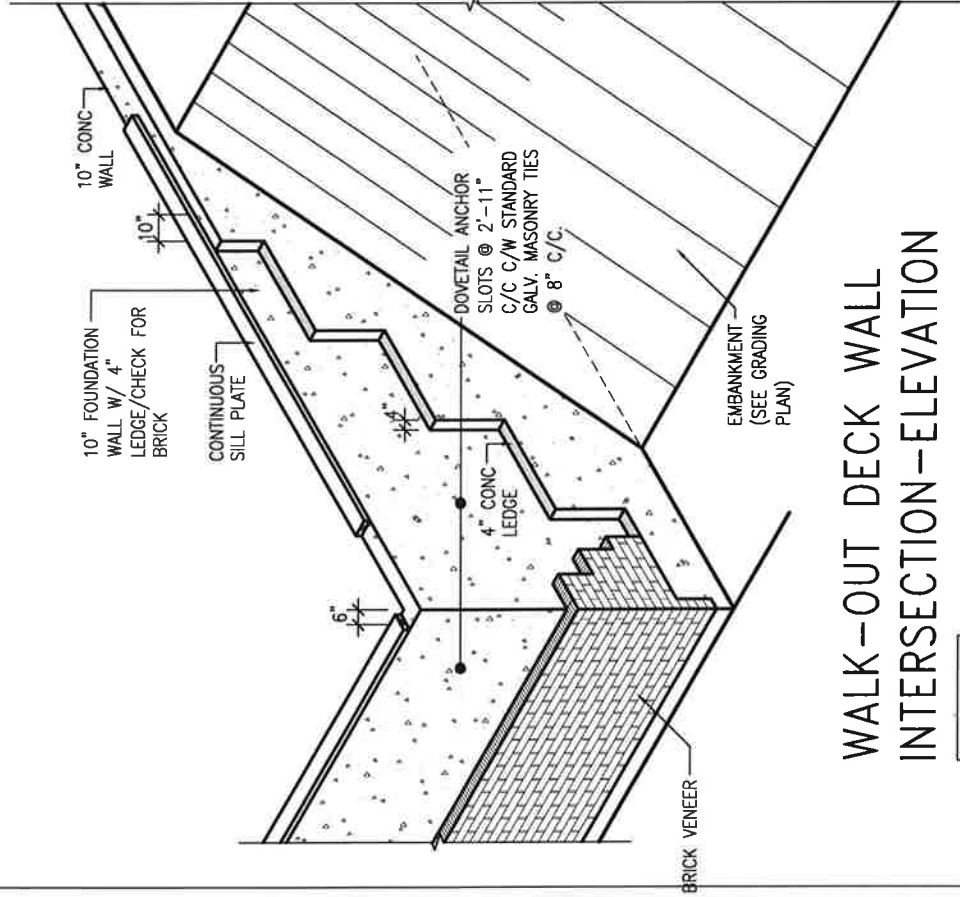


BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
project no.	13049	construction notes	CN8
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
file name	13049-CN-A1	file name	13049-CN-A1
date	VER 2020	date	VER 2020
no.	1	description	ISSUE FOR CLIENT REVIEW
date	FEB 09-21	date	FEB 09-21
by	RC	by	RC
no.	2	description	UPDATE TO OBC VER 2020
date	AUG 04-17	date	AUG 04-17
by	RC	by	RC
no.	1	description	ISSUE FOR CLIENT REVIEW

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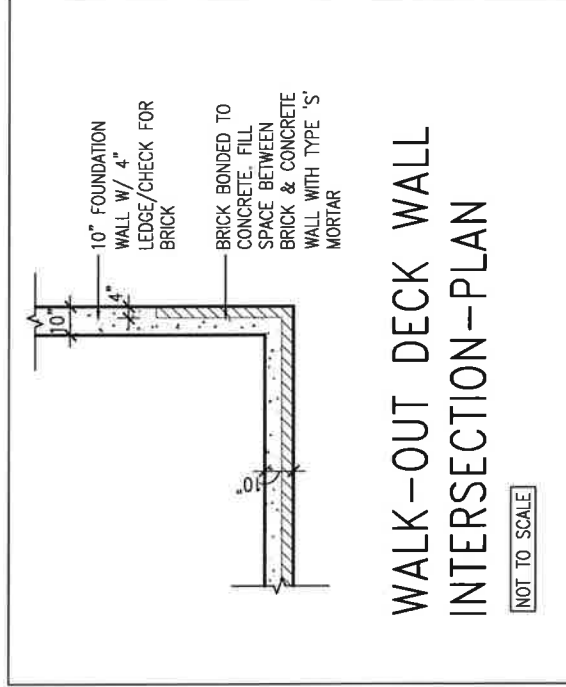
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature
Wellington Jno-Baptista 25591
name
VAS Design Inc.
registration information
BCN
42658

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WALK-OUT DECK WALL
INTERSECTION-ELEVATION

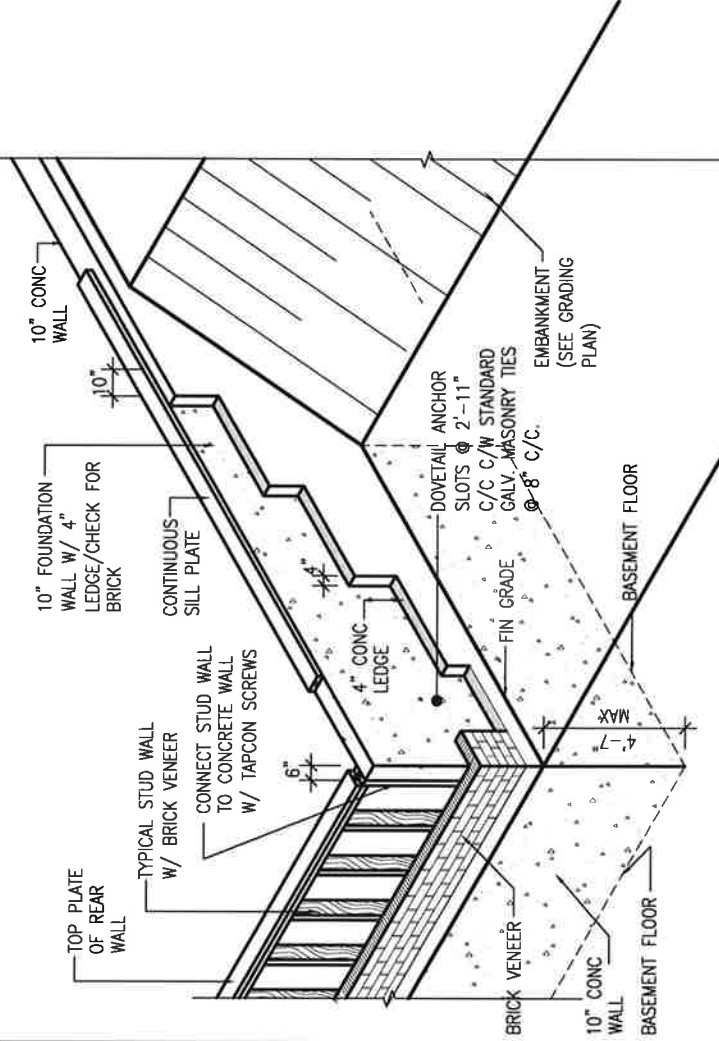
[NOT TO SCALE]



WALK-OUT DECK WALL
INTERSECTION-PLAN

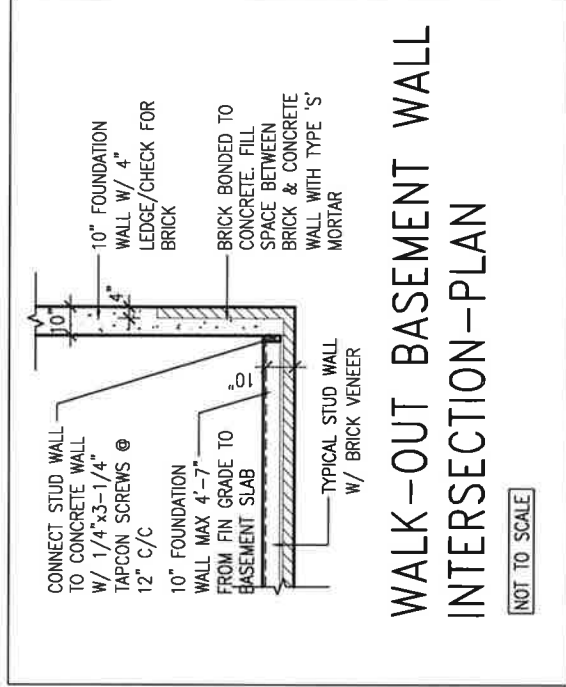
[NOT TO SCALE]

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

[NOT TO SCALE]



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

[NOT TO SCALE]

(10" FOUNDATION WALL)



FEB 9, 2021

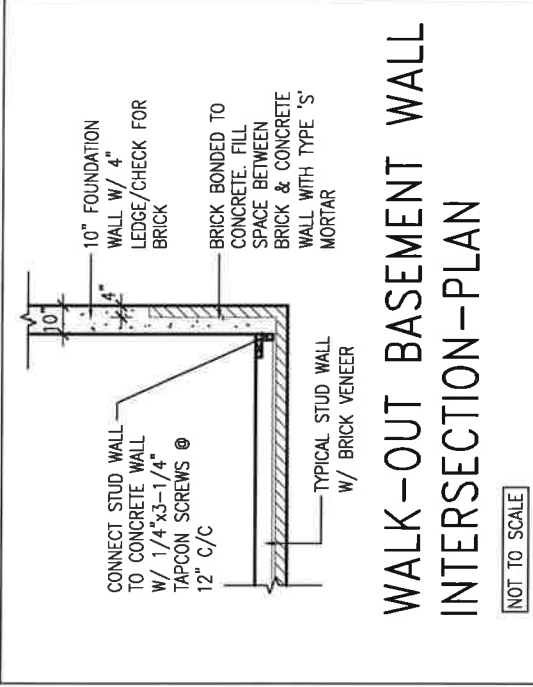
no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

The undersigned has reviewed and taken responsibility for this design and for the specifications and the requirements set out in the Ontario Building Code to be a Designer.	signature	25591
qualification information		ECN
name	Wellington Jno-Baptiste	42658
registration information	VAS Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

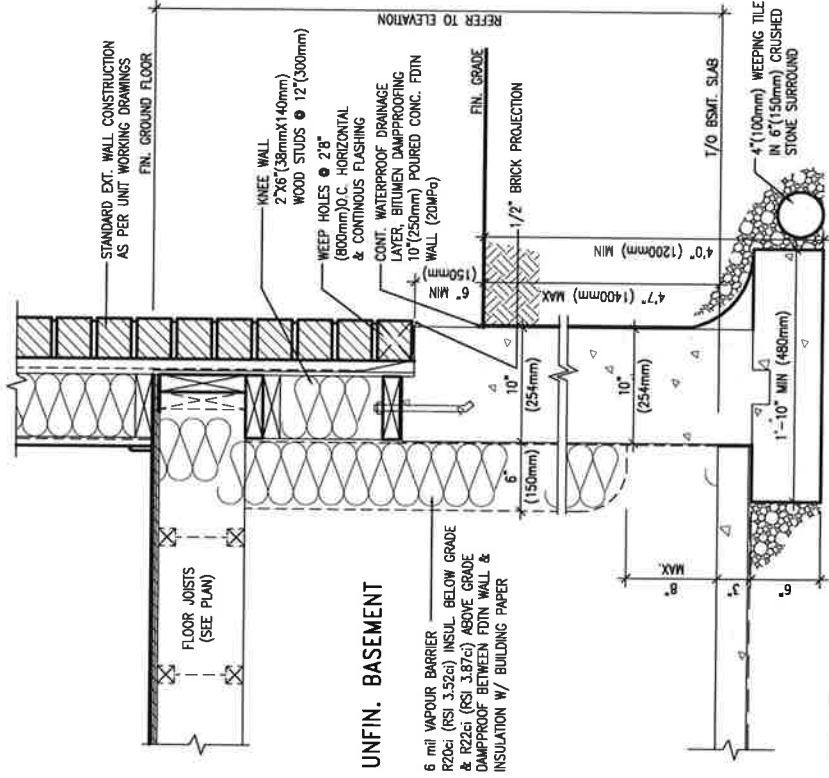
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

project name	ALCONA	project no.	13049
city	MAY 2016	drawing no.	CN10
drawn by	RC	checked by	3/16" = 1'-0"
scale		CONSTRUCTION NOTES	13049-CN-A1 VER 2020
the name			
the date			

BAYVIEW WELLINGTON	CONST NOTE
project name	ALCONA
city	MAY 2016
drawn by	RC
checked by	3/16" = 1'-0"
scale	
CONSTRUCTION NOTES	13049-CN-A1 VER 2020
the name	
the date	



(10" FOUNDATION WALL)



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



	*	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
9	*	-	qualification information
8	*	-	
7	*	-	
6	*	-	
5	*	-	Wellingdon Jno-Baptiste signature
4	*	-	name registration information BCN 25591
3	*	-	VAS Design Inc. 42658
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are returned at the completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	All drawings and specifications are instruments of service and the property of the firm. They shall remain in our possession until payment is received. Drawings are not to be copied.
no,	description	date by	

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL, ON.
date MAY 2016	project no. 13049
drawing by RC	drawing no. CN111
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
— H:\ARCHIVE\WORKING\2017\13049 BAYVIEW (ON - Notes)\13049-CN-A1 VER 2020.dwg — Tue Feb 9 2021 — 11:41 AM	

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