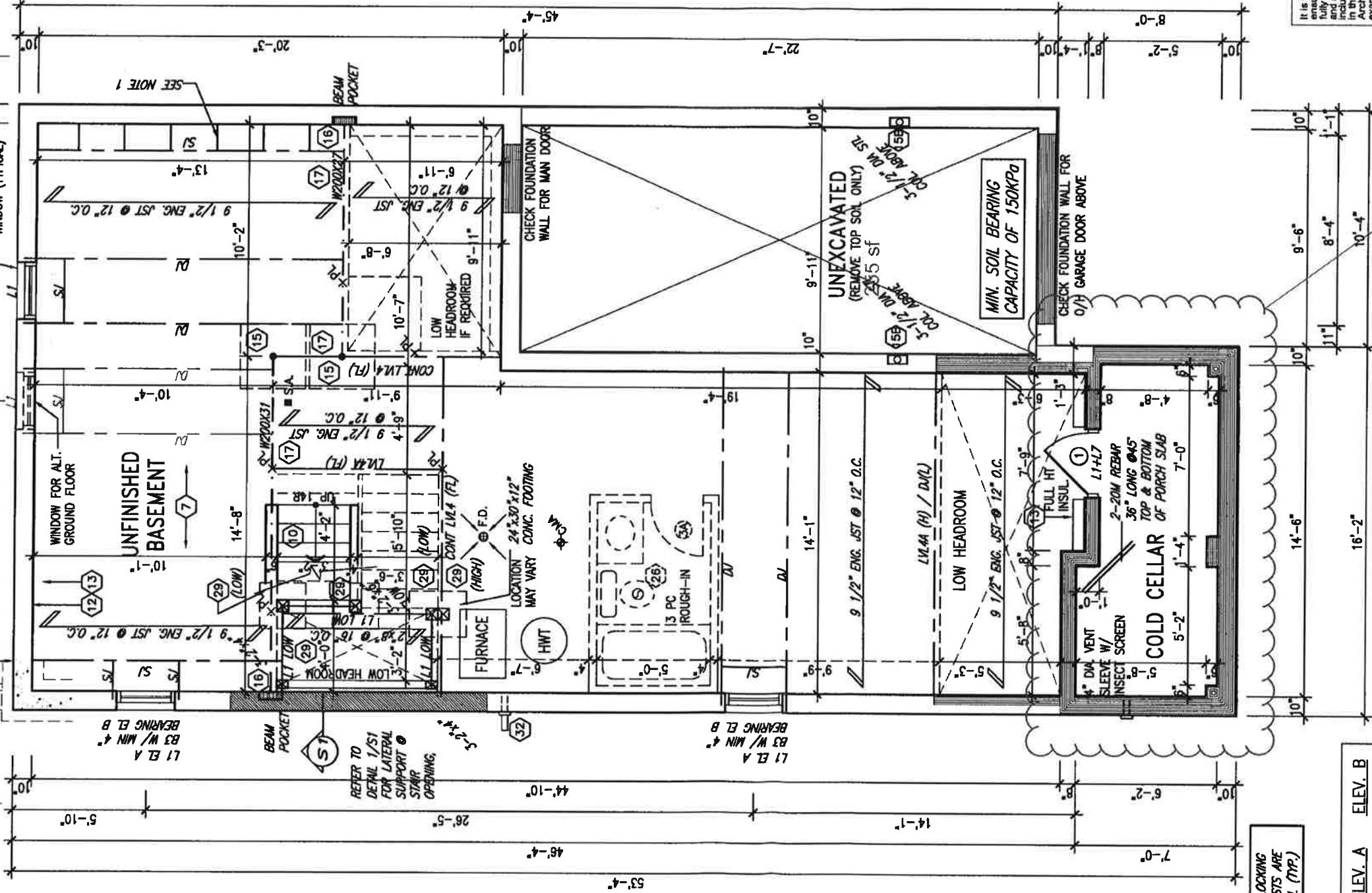


PROPERTY LINE

PROPERTY LINE

NOTE 1: PROVIDE SOLID BLOCKING
@ 24" O.C. @ FIRST JOIST SPACE
FOR FLOOR JOISTS RUNNING
PARALLEL TO FOUNDATION WALL
(TYP.)



NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: J/L: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA		972 SF	972 SF
SECOND FLOOR AREA		1163 SF	1163 SF
SUBTOTAL		2135 SF	2135 SF
DEDUCT ALL OPEN AREAS		- SF	- SF
TOTAL NET AREA		2135 SF	2135 SF
		(198.35 m ²)	(198.35 m ²)
FINISHED BSMT AREA		- SF	- SF
COVERAGE		1227 SF	1227 SF
W/OUT PORCH		(113.99 m ²)	(113.99 m ²)
COVERAGE		1331 SF	1285 SF
W/ PORCH		(123.65 m ²)	(119.38 m ²)

BASEMENT PLAN 'A'
10'0" GARAGE

Provide 4" of rigid
insulation for protection
of footings on interior
of cold cellar.

Town of Innisfil Certified Model
04/01/2018 11:15:14 AM kgervais



It is the builder's complete responsibility to
ensure that all plans submitted for approval
comply with the applicable Building Code
and all applicable regulations and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
INNISFIL.

ARCHITECTURAL
07/07/2017

9.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
8.	Qualification Information			
7.	Wellington Jno-Baptiste	25591	BCM	
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC		
5.	REVISED FOR WALLS TO BE 10"	DEC 14-16 SB		
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC		
3.	REVISED INSULATION AT STAIRS	SEP 19/16 SB		
2.	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB		
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM		
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 | 416.630.4782
vo3design.com

project name	ALCONA	municipality	INNISFIL, ONT.
project no.	13049	drawing no.	1
date	2015-11	checked by	3/16" = 1'-0"
drawn by	KM	scale	
designer	VA3 DESIGN	checked by	
project no.	13049-S32-2-10	drawing no.	1
date	2015-11	checked by	
drawn by	KM	scale	
designer	VA3 DESIGN	checked by	

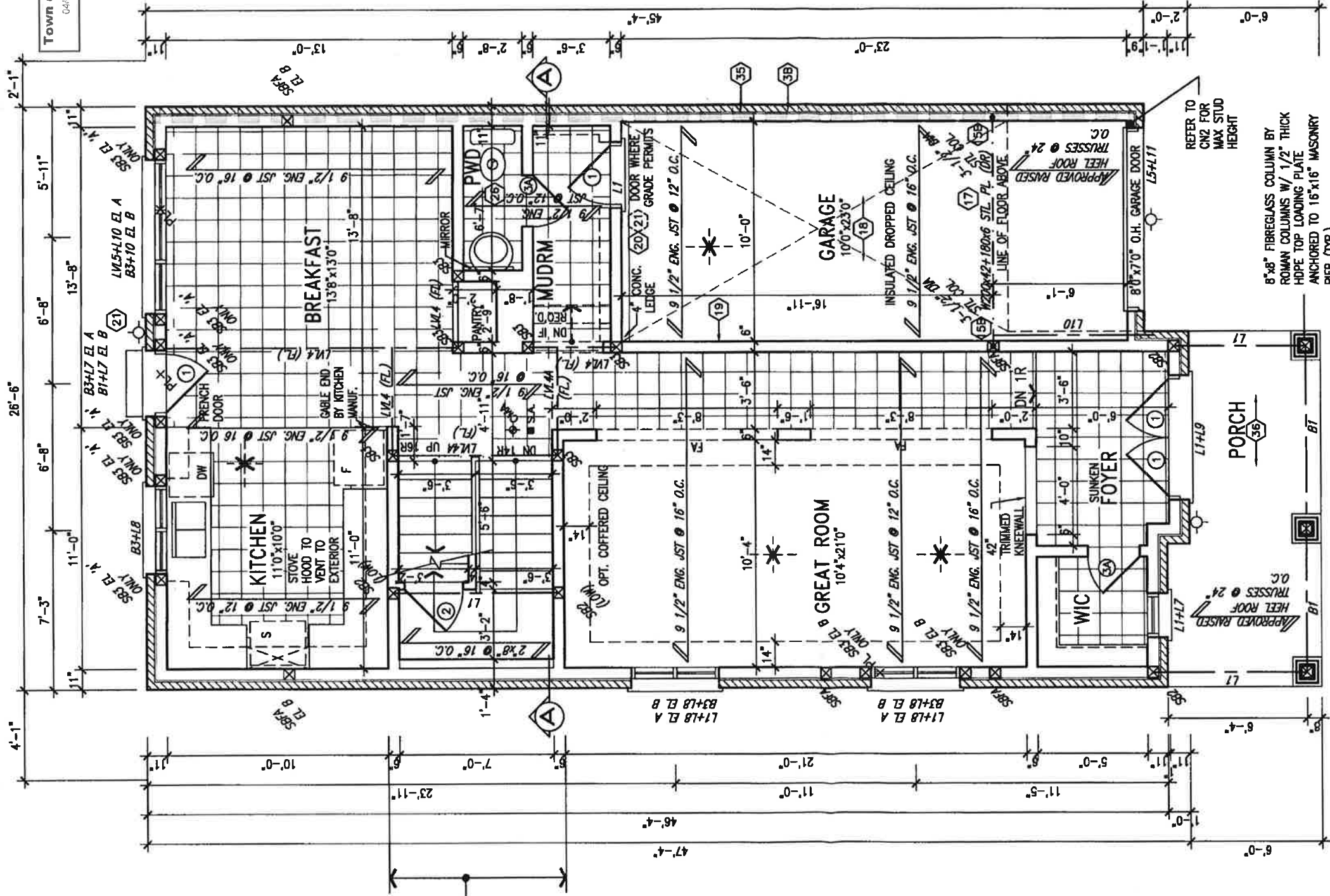
S32-2-10G
PELICAN 2-10

BAYVIEW WELLINGTON

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PROPERTY LINE

PROPERTY LINE



REFER TO
STAIR HEADER
DETAIL 2/51

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the Town of Innisfil. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED FOR THE TOWN OF INNISFIL
AUG 1 2017



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LM'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

INDICATES REDUCED SIDE YARD

GROUND FLOOR PLAN 'A' 10'0" GARAGE



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
5	REVISED FOR WALLS TO BE 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

BAYVIEW WELLINGTON

S32-2-10G
PELICAN 2-10

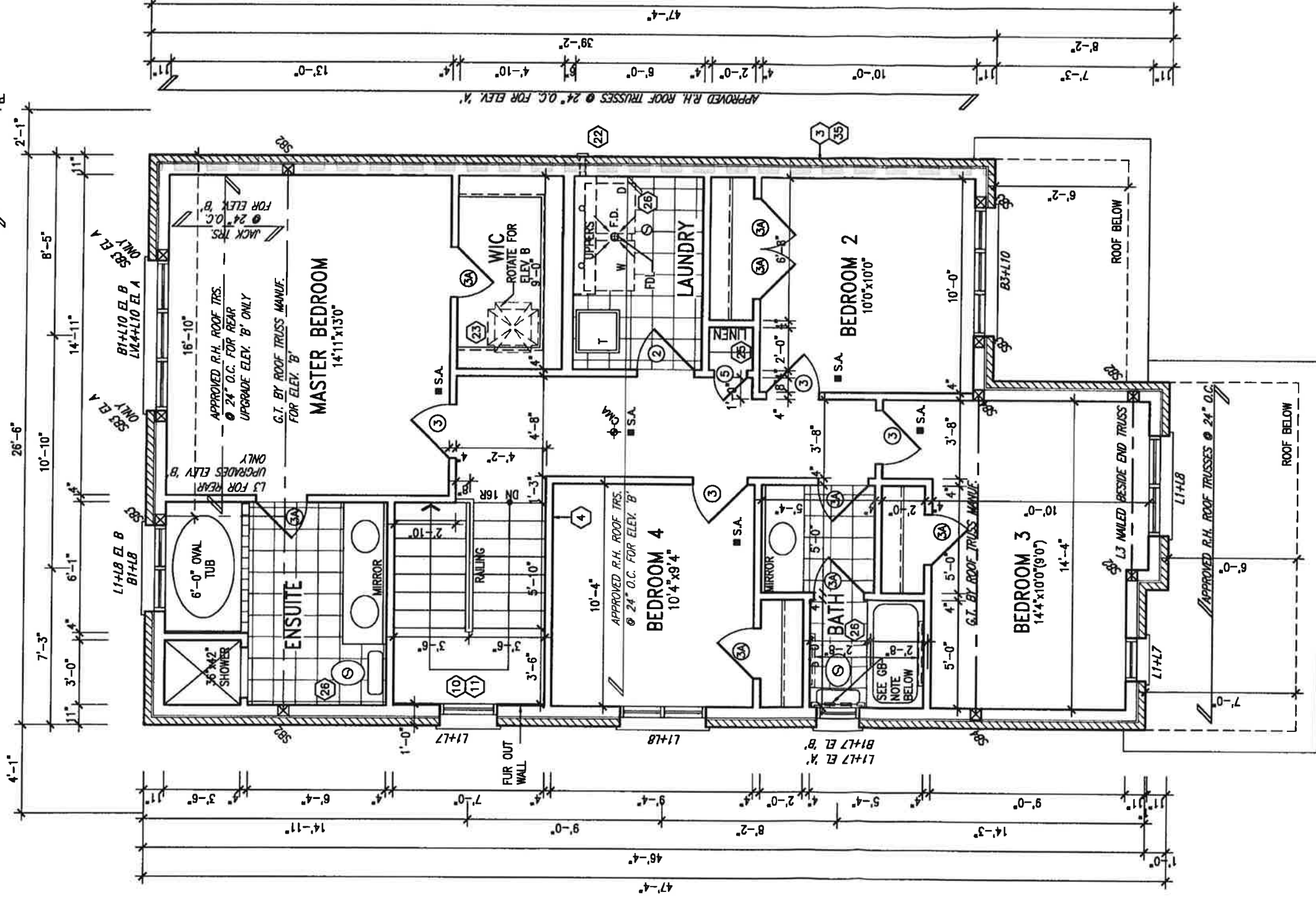
project name	ALCONA	project no.	13049
city	INNISFIL, ONT.	drawing no.	13049
date	2015-11	file name	GROUND FLOOR PLAN 'A'
drawn by	KM	checked by	3/16" = 1'-0"
scale		date	13049-S32-2-10
		time	11:51 AM

REMARKS - H:\ARCH\BAYVIEW\2015\13049-BAYVIEW\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM
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PROPERTY LINE

CONVENTIONAL FRAMING FOR REAR UPGRADE ELEV 'A' ONLY

PROPERTY LINE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision and the City of Innisfil. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW APPROVAL

AUG 01 2017

JOHN G. WILLIAMS LIMITED, Architect

GB NOTE:

STUD. WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSET AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.3.2.3, 3.8.3.6(1)(c), & 3.8.3.13(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

Town of Innisfil Certified Model

04/01/2018 11:15:58 AM kgervais

INDICATES REDUCED SIDE YARD

SECOND FLOOR PLAN 'A' 10'0" GARAGE



no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
5	REVISED FOR WALLS TO BE 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEP 19-16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements and out in the Ontario Building Code to be a Designer.

qualification information
name Wellington Jno-Baptiste
signature
name VAS Design Inc.
registration information 25591
42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S32-2-10G

project name ALCONA
municipality INNISFIL, ONT.

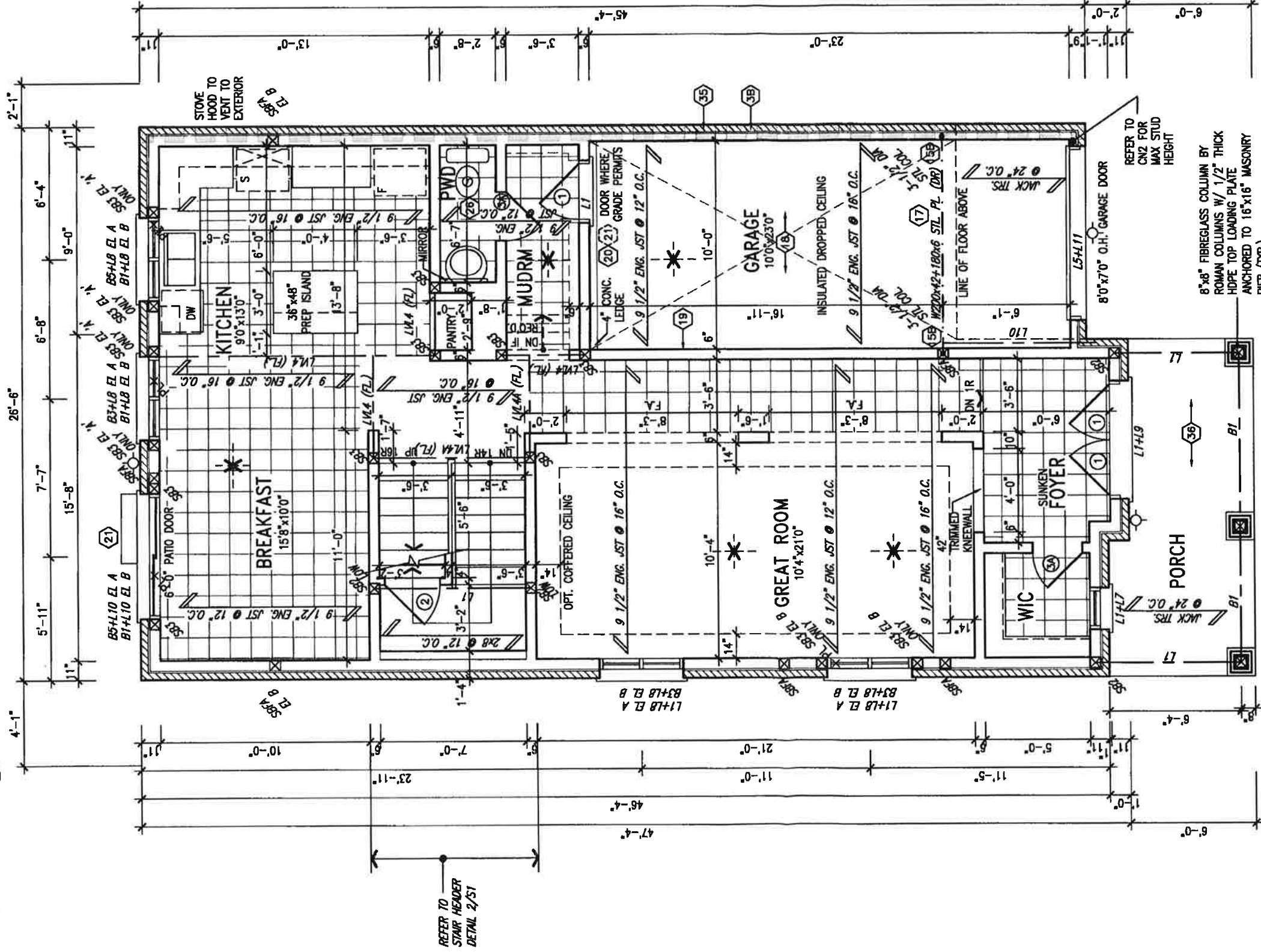
project no. 13049
drawing no. 2-10

date 2015-11
drawn by KM
checked by
scale 3/16" = 1'-0"
title SECOND FLOOR PLAN 'A'
project no. 13049-S32-2-10
drawing no. 3

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PROPERTY LINE

PROPERTY LINE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any structural or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

DATE: 9-2017
TOWN OF INNISFIL

INDICATES REDUCED SIDE YARD

ALT. GROUND FLOOR PLAN 'A' 10'0" GARAGE

Town of Innisfil Certified Model

04/01/2018 11:16:24 AM kgavals



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

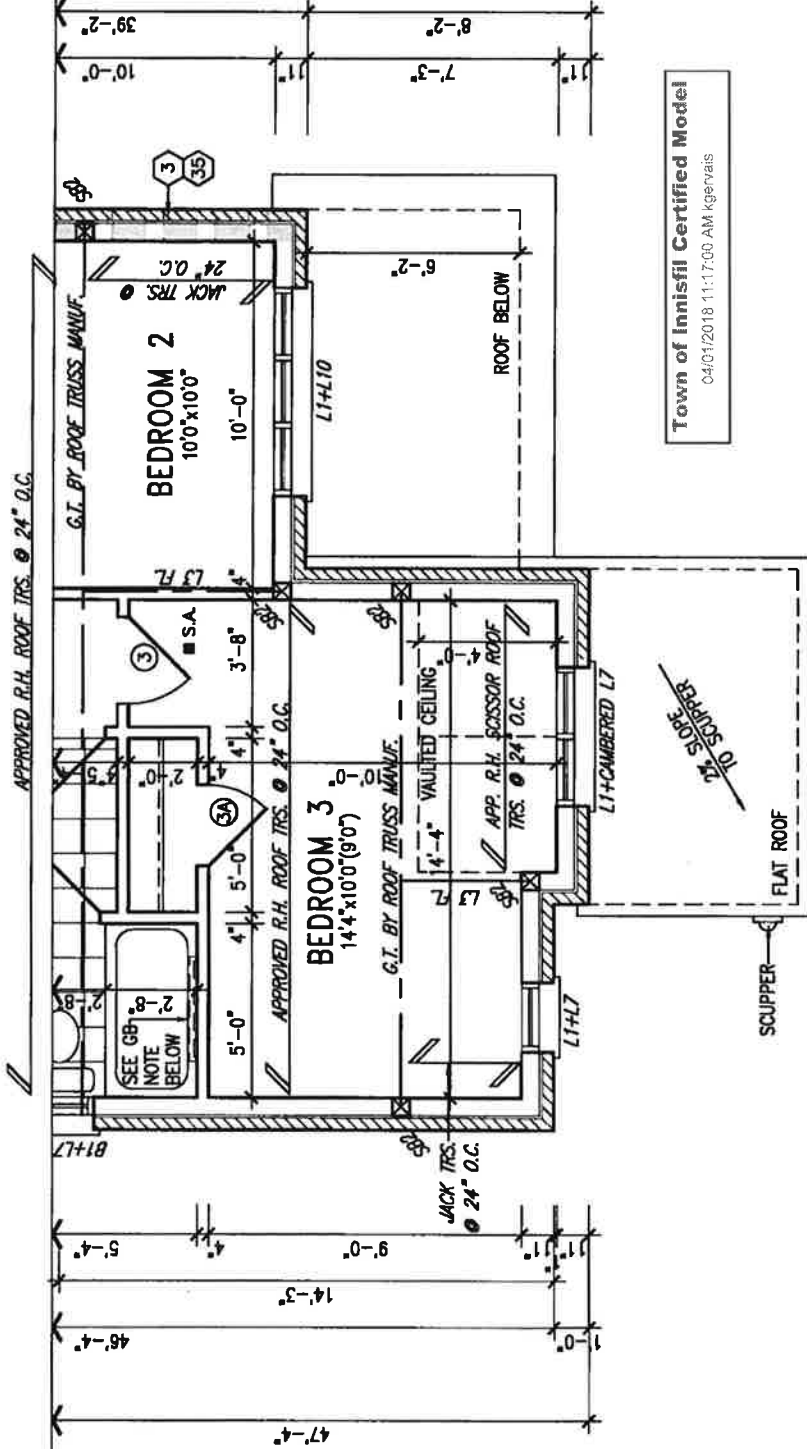
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

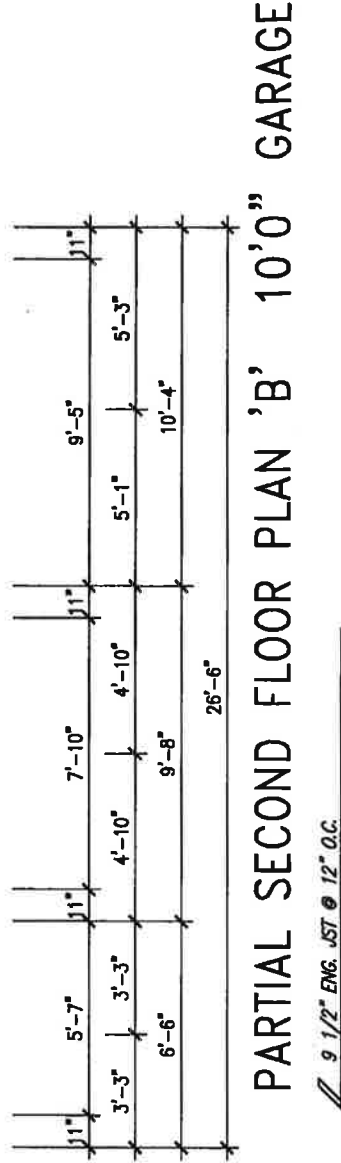
BAYVIEW WELLINGTON		S32-2-10G	
ALCONA		PELICAN 2-10	
project no.	13049	project no.	13049
city	INNISFIL, ONT.	city	INNISFIL, ONT.
date	2015-11	date	2015-11
checked by	3/16" = 1'-0"	checked by	3/16" = 1'-0"
drawn by	KM	drawn by	KM
file name	13049-S32-2-10	file name	13049-S32-2-10
date	Aug 1 2017 - 11:51 AM	date	Aug 1 2017 - 11:51 AM
ALT. GROUND FLOOR PLAN 'A'		ALT. GROUND FLOOR PLAN 'A'	
drawing no.		drawing no.	
4		4	



The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		25591	
name		25591	
registration information		25591	
V3S Design Inc.		25591	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		42658	
no.	description	date	by
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
5	REVISED FOR WALLS TO BE 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16 RC	
3	REVISED INSULATION AT STAIRS	SEP 19-16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

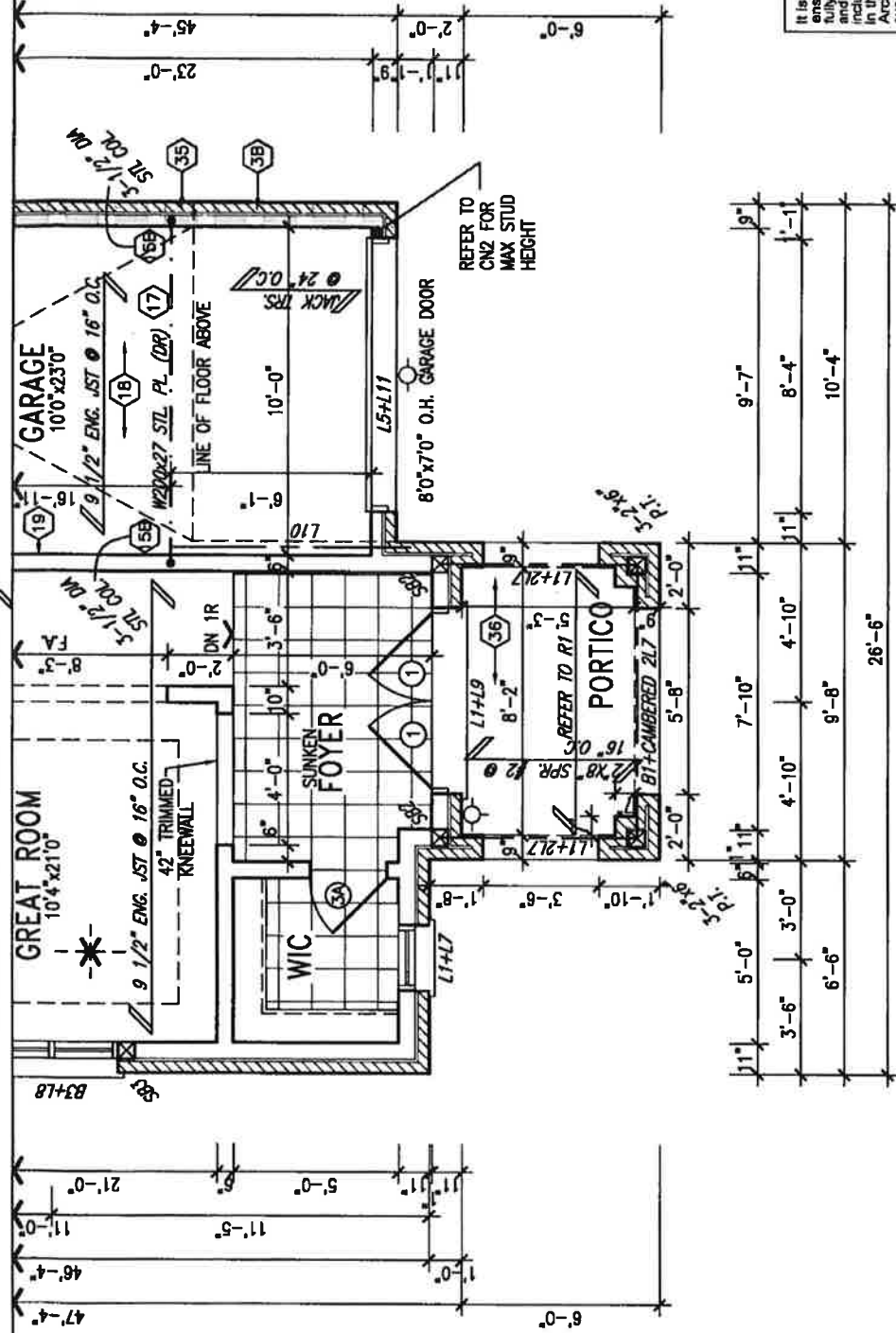


Town of Innisfil Certified Model
04/01/2018 11:17:00 AM kgervais



PARTIAL SECOND FLOOR PLAN 'B' 10'0" GARAGE

9 1/2" ENG. JST @ 12" O.C.



ROOF NOTE: R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable building code. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

No.	Description	Date	By
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	Wellington Inc-Baptiste
5	REVISED FPN WALLS TO BE 10"	DEC 14-16 SB	25591
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	42858
3	REVISED INSULATION AT STAIRS	SEP 19/16 SB	
2	ADD MOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vao3design.com

BAYVIEW WELLINGTON

S32-2-10G
PELICAN 2-10

project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049
date	2015-11	drawn by	KM	checked by	
drawn by	KM	scale	3/16" = 1'-0"	drawing no.	6
drawn by	KM	scale	3/16" = 1'-0"	drawing no.	6

REPRODUCED - H:\ARCHIVE\WORKING\201\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

04/01/2018 11:18:00 AM knervais



* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2954.00 S.F.	333.17 S.F.	11.28 %
TOTAL SQ. M.	274.43 S.M.	30.95 S.M.	11.28 %

max 6" (150mm) rise
into doorway.
9.9.6.6.(2)

[illegible]

drawings specifications, related documents and details on the assembly

RICHARD - PE VORCHIVE WORKING 2013\3049-SZ-2-10.dwg -- Tue -- Aug 1 2017 -- 11:51 AM

$$1' - 0'' \quad 1' - 0''$$

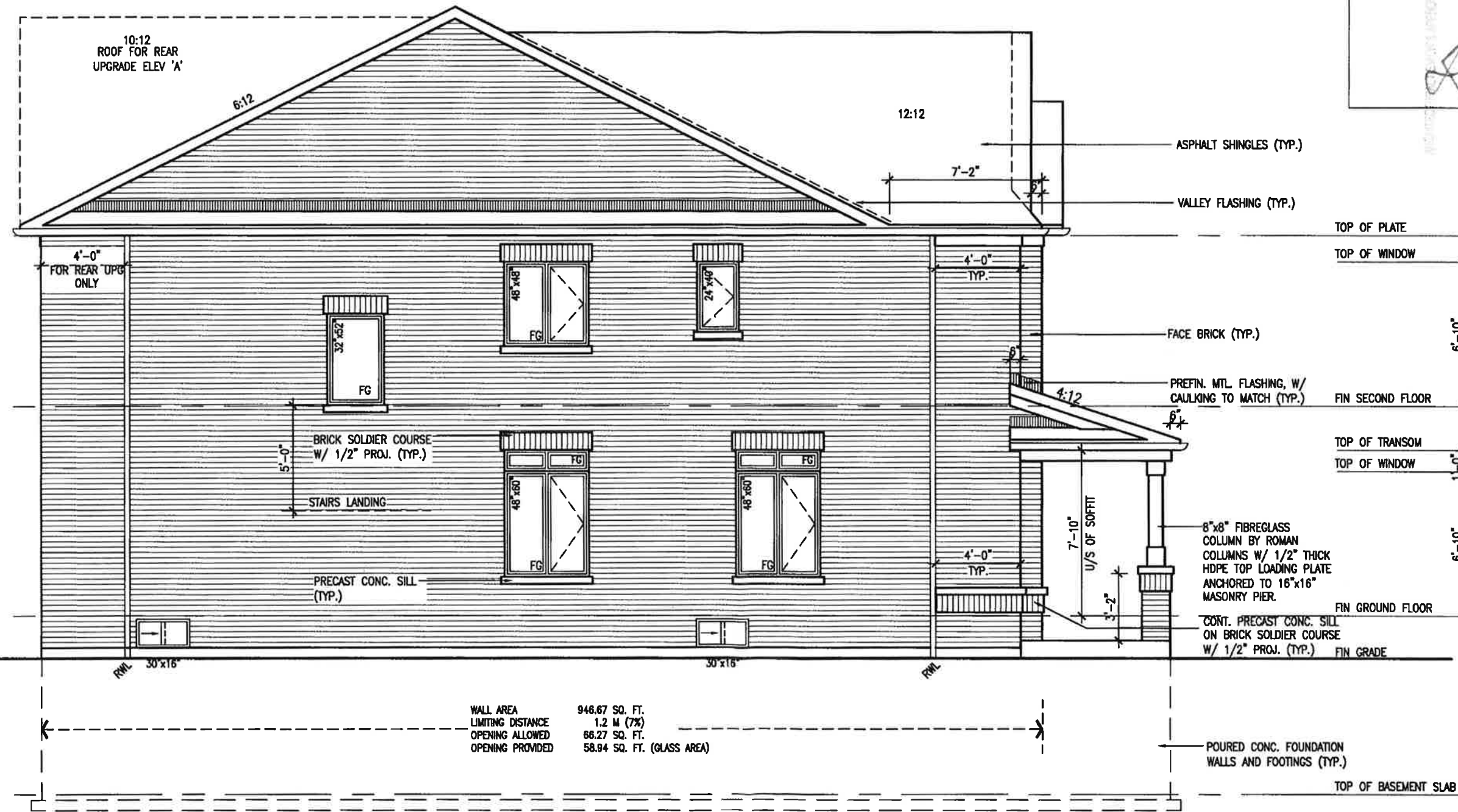
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

VAD
DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3d@design.com

name *John Baptiste* 25591
 address *Waukegan, Ill.* BGN
 telephone information *465-6518* 42658
 VA3 Design Inc.
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be constructed in accordance with the property lines and specifications shown. The Contractor is to be responsible for the completion of the work. Drawings are not to be scaled.

no.	description	date	by
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC
5	REVISED FOR WALLS TO BE 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM



LEFT SIDE ELEVATION 'A'
10'0" GARAGE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
04/01/2018 11:19:46 AM kgervais

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-2-10G
PELICAN 2-10
project no. 13049
drawing no. 9

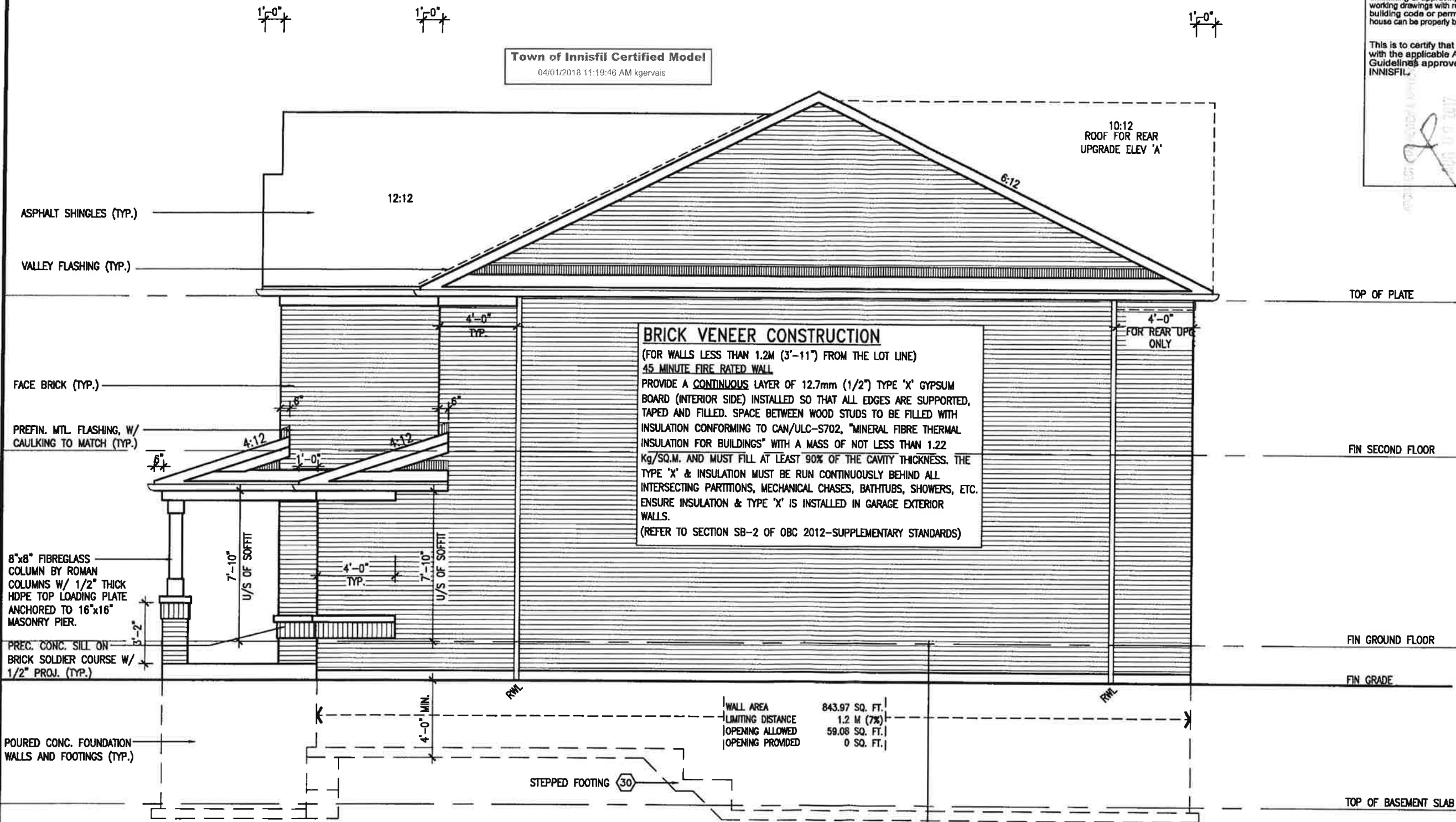
BAYVIEW WELLINGTON
project name ALCONA
city 2015-11
checked by KM
date 2017-11-11
drawing no. 9
scale 3/16" = 1'-0"

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jho-Bopiste 25591
VA3 Design Inc. 42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be copied.

no.	description	date	by
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
5	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
2	AUD WOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

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BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

WALL AREA	843.97 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	59.08 SQ. FT.
OPENING PROVIDED	0 SQ. FT.

RIGHT SIDE ELEVATION 'A'
10'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

1'-0"

1'-0"

1'-0"

1'-0"

Town of Innisfil Certified Model

04/01/2018 11:20:41 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-2-10G
PELICAN 2-10

BAYVIEW WELLINGTON

VA3
DESIGN255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

name	Wellington Jno-Baptiste	license no.	25591
registration information	VAS Design Inc.	license no.	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

no.	description	date	by
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
5	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16 RC	
3	REVISED INSULATION AT STAIRS	SEPT 19-16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATIONALT. REAR ELEVATION 'A/B'
10'0" GARAGEREAR ELEVATION 'A/B'
10'0" GARAGEmax 6" (150mm) rise
into doorway.
9.9.6.6.(2)

ELEV 'B' ROOF LINE

10:12

6:12

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

PREC. CONC. SILL (TYP.)

FACE BRICK (TYP.)

PATIO DOOR
W/ INSECT
SCREEN

30"x16"

2) PRECAST CONC. DOOR
SILL & PRECAST CONC.
STEPPOURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

ELEV 'B' ROOF LINE

10:12

6:12

TOP OF PLATE

TOP OF WINDOW

6'-10"

8'-1"

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

6'-10"

9'-11"

FIN GROUND FLOOR

FIN GRADE

8'-5"

TOP OF BASEMENT SLAB

1'-0"

Town of Innisfil Certified Model
04/01/2018 11:21:17 AM kgervais

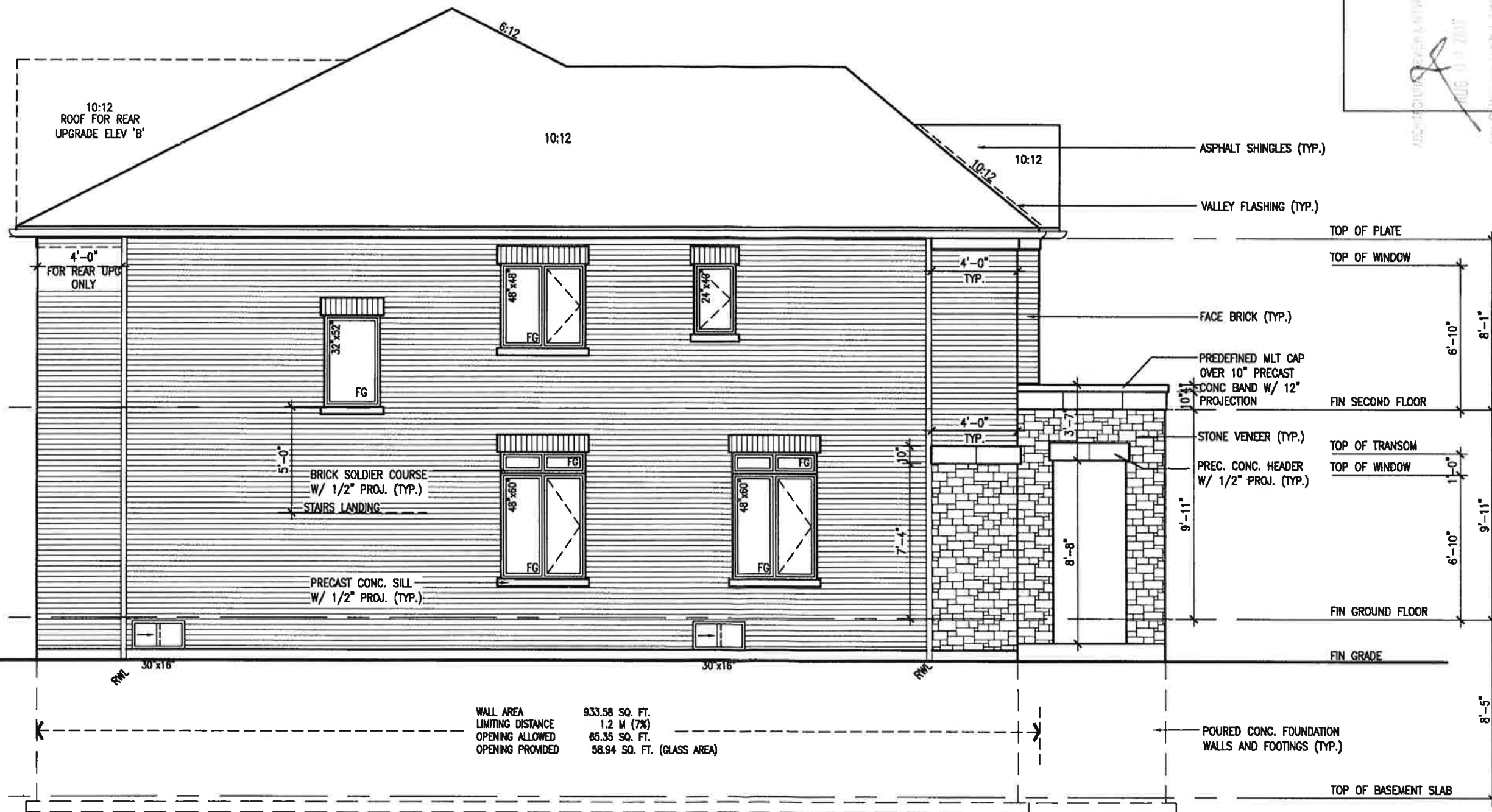
1'-0" 1'-0"

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL
DESIGN
13049-532-2-10

BAYVIEW WELLINGTON		S32-2-10G PELICAN 2-10	
project name	ALCONA	project no.	13049
city	INNISFIL, ONT.	drawing no.	12
year	2015-11	LEFT SIDE ELEVATION 'B'	
checked by	KM	scale	3/16" = 1'-0"
drawn by	KM	date	13049-532-2-10 TUE - AUG 1 2017 - 11:51 AM
REMARKS - H:\ARCHIVE\WORKING\2013\13049-532-2-10.dwg - TUE - AUG 1 2017 - 11:51 AM			
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Qualification Information Wellington Inc - Registered Professional Engineer 25591			
Name Registration Information VA3 Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned to the Designer at the completion of the work. Drawings are not to be copied.			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	25591
5	REVISED FIN WALLS TO BE 10"	DEC 14-16 SR	42658
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEPT 19/16 SR	
2	ADD WOD AND REAR UPGRADE	JUL 22-16 SR	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	
no.	description	date	by



WALL AREA 933.58 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 65.35 SQ. FT.
OPENING PROVIDED 58.94 SQ. FT. (GLASS AREA)

LEFT SIDE ELEVATION 'B'
10'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model

04/01/2018 11:21:24 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

S32-2-10G
PELICAN 2-10

project no.
13049

drawing no.
13

BAYVIEW WELLINGTON

project name
ALCONA

project no.
13049

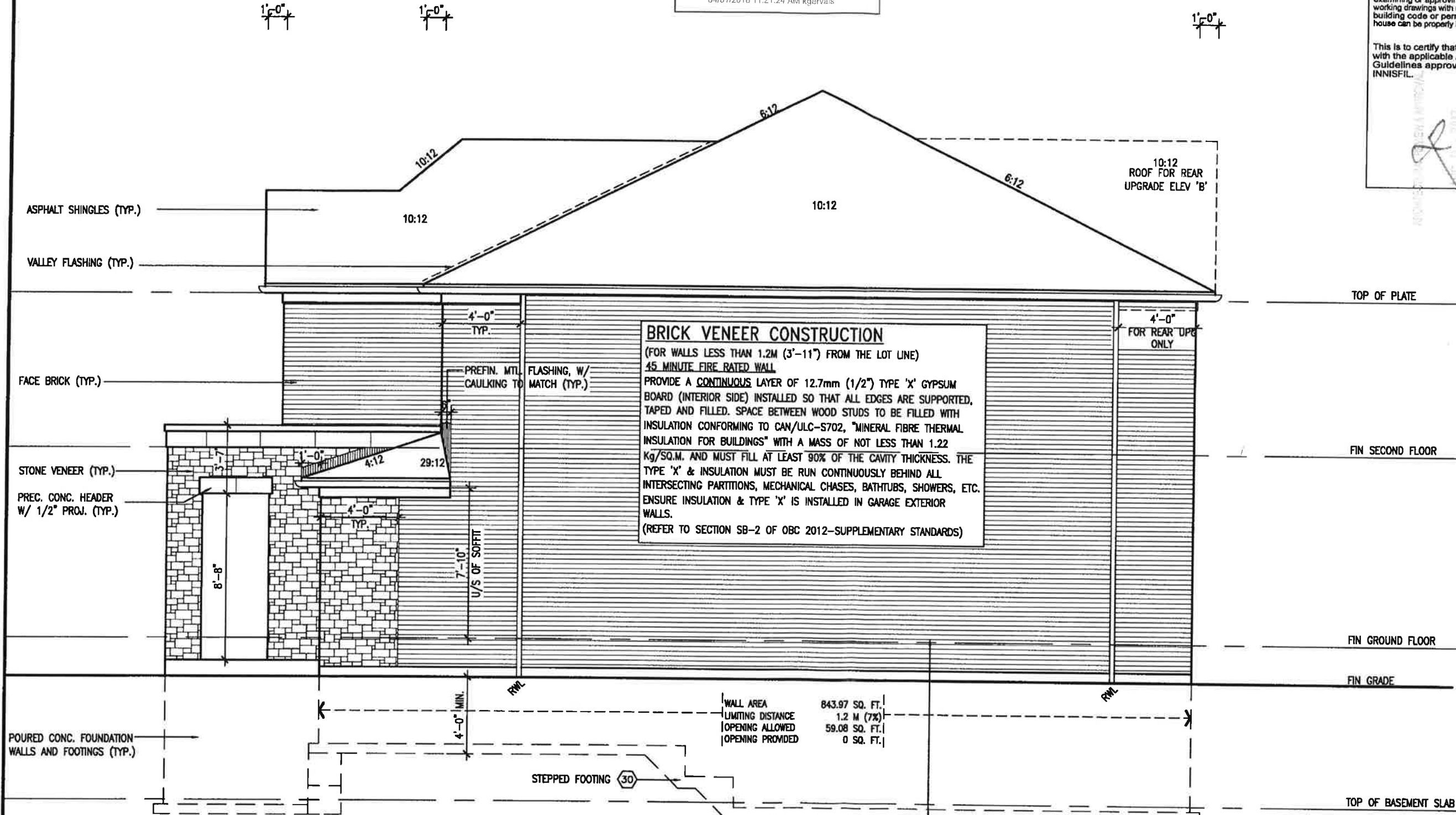
drawing no.
13

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.7255 f 416.630.7282
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	
2	ADD WOOD AND REAR UPGRADE	JULY 22-16 SB	
3	REVISED INSULATION AT STAIRS	SEP 19/16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
5	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB	
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	
7			
8			
9			



RIGHT SIDE ELEVATION 'B'
10'0" GARAGE

HEADER/RIM JOIST LEVEL

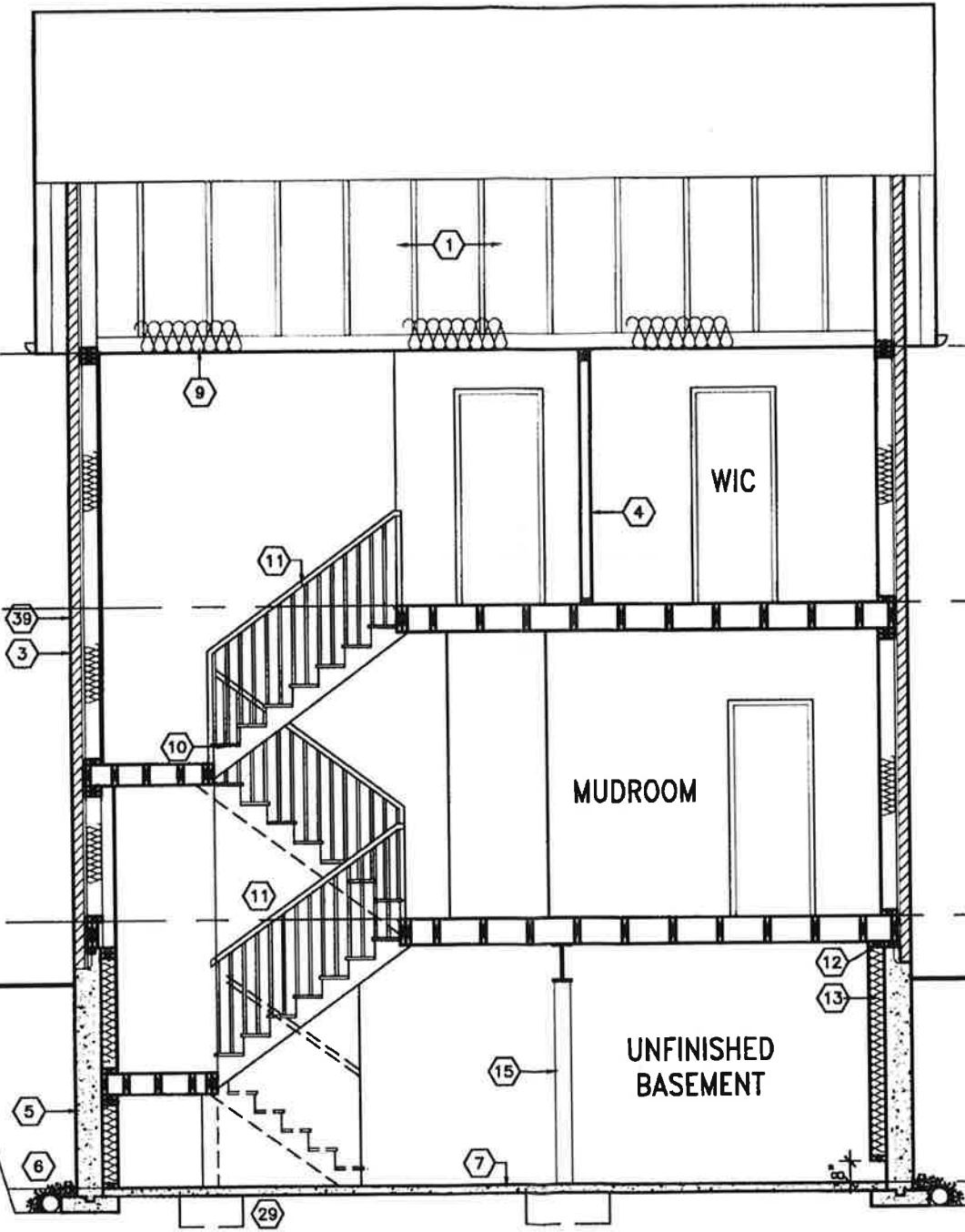
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
04/01/2018 11:22:21 AM kgervais

1'-0"

1'-0"



TOP OF PLATE

8'-1"

FIN SECOND FLOOR

9'-11"

FIN GROUND FLOOR

FIN GRADE

8'-5"

TOP OF BASEMENT SLAB

SECTION 'A-A'
10'0" GARAGE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

BAYVIEW WELLINGTON		S32-2-10G PELICAN 2-10	
project name ALCONA		project no. 13049	
municipality INNISFIL, ONT.		drawing no. 14	
date 2015-11		SECTION 'A-A'	
drawn by KM		file name 13049-S32-2-10	
checked by -		scale 3/16" = 1'-0"	
checked by -		date Aug 1 2017 - 11:51 AM	
REVISIONS - H:\ARCHIVE\WORKING\2013\13049-BAYVIEW\UNITS\S32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM			
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
name Wellington Aro-Baptiste			
registration number 25591			
expiry date DEC 14-16 SB			
name VA3 Design Inc.			
registration number 42658			
expiry date SEP 19-16 SB			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			
date JULY 04-16 KM			
by			
description			

All drawings, specifications, related documents and designs are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

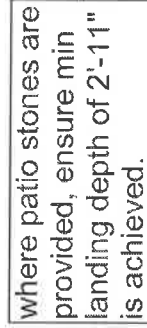
04/01/2018 11:24:19 AM kpervais

NOTE 1: PROVIDE SOLID BLOCKING @ 24" O.C. @ FIRST JOIST SPACE FOR FLOOR JOISTS RUNNING PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

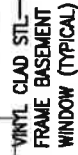
**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

**MIN. SOIL BEARING
CAPACITY OF 150KPa**



10" FOUNDATION WALL ON
22"x6" THICK CONC. FTG UNDER
ALL 2"x6" KNEEWALL AS REQ'D
BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7"
FOR 10" FOUND. WALL W/
KNEEWALL ON TOP

where patio stones are provided, ensure min landing depth of 2'-11" is achieved.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL

94210 • VOLUME 12 NUMBER 1 • 2001

9	-	-		The undersigned has reviewed and takes responsibility for this design and hereby certifies that it complies with all applicable Ontario Building Code requirements set out in the schedule.	
8	-	-			
7	-	-			
6	REMOVED AS PER ENG'S COMMENTS	JUL 21-17 RC		specificated information	
5	REVISED FOR WALLS TO BE 10"	DEC 14-16 SP		Wellington Jno-Baptiste	25591
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 25-16 SP		name modification Information	BCH
3	REVISED INSULATION AT STAIRS	SEPT 29/16 SP		VAS Design Inc.	426558
2	AUD WOOD AND REAR UPGRADE	JUL 22-16 SP			
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM			
no.	description	date	by		

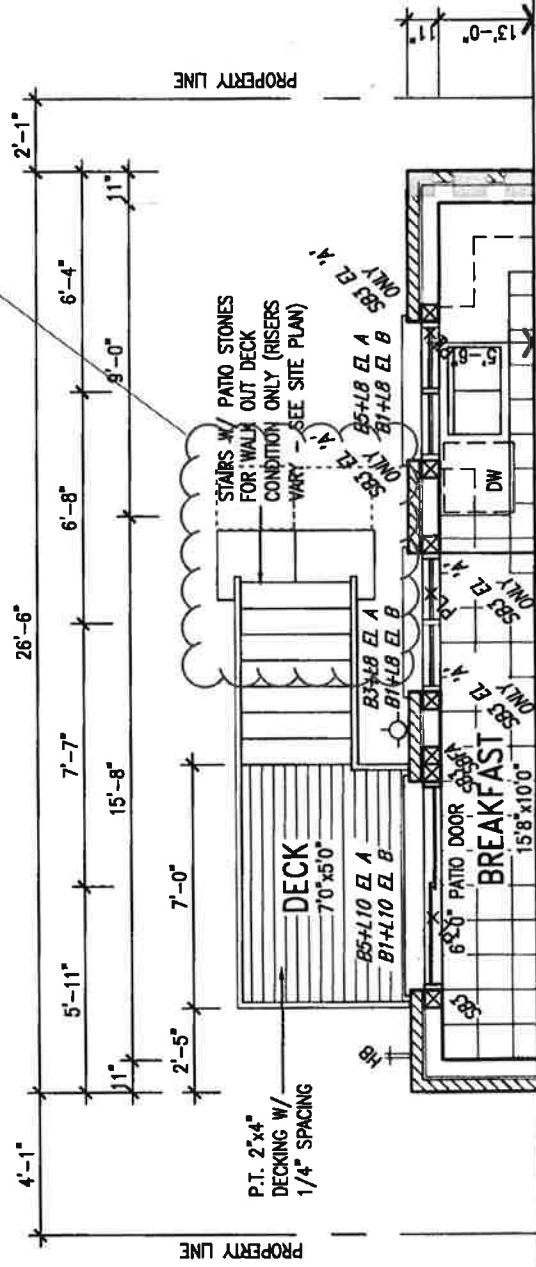
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work.
The Designer warrants that the instruments of service and the Property of the Employer have been returned at the completion of the work.
Drawings are not to be copied.

 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 info@va3design.com		BAYVIEW WELLINGTON project name ALCONA project no. 13049	
date JULY, 2016 drawn by SB		municipality INNISFIL, ONT. drawing no. 15	
checked by -		notes 3/16" = 1'-0"	
title PARTIAL STD. W.O.D. BASEMENT/GROUND FLOOR PLANS		file name 13049-S32-2-10	

All done

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

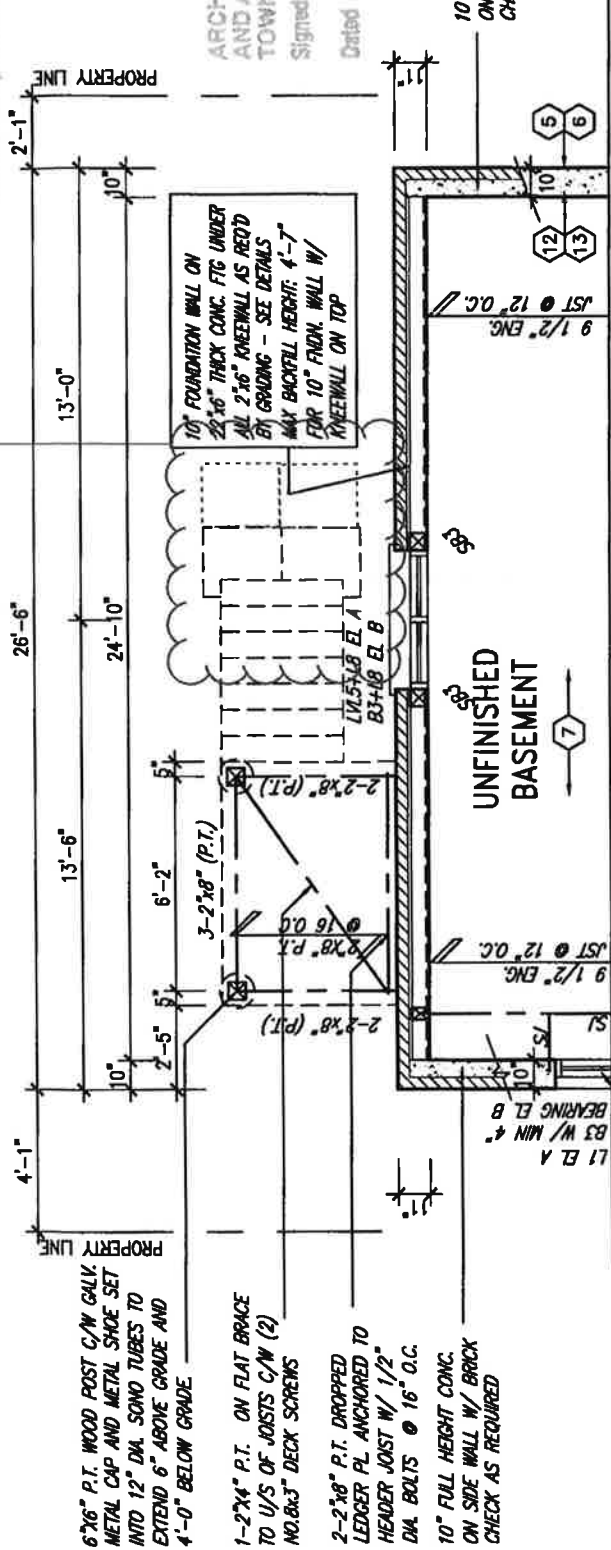
where patio stones are
provided, ensure min
landing depth of 2'-11"
is achieved.



PARTIAL ALT. GROUND FLOOR PLAN 'A' & 'B' W.O.D. 9R AND MORE COND.

where patio stones are
provided, ensure min
landing depth of 2'-11"
is achieved.

It is the builder's complete responsibility to ensure
that all plans submitted for approval fully comply
with the Architectural Guidelines and all applicable
regulations and requirements including zoning
provisions and any provisions in the subdivision
agreement. The Architect is not responsible
in any way for examining or approving any zoning
plans or zoning drawings with respect to any zoning
or building code or permit matter or that any house
can be properly built or located on its lot.



PARTIAL ALT. BASEMENT FLOOR PLAN 'A' & 'B' W.O.D. 9R AND MORE COND.

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

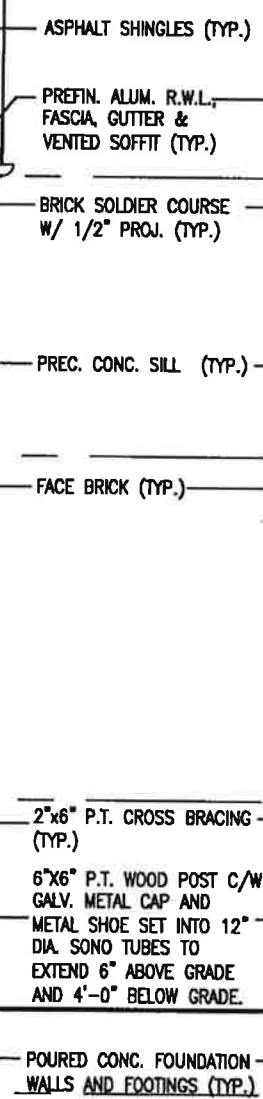
ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF INNISFIL
Signed: _____
Dated: AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
32-2-10 ELEV A 9R WOOD ALT	ENERGY EFFICIENCY – OBC SB12			32-2-10 ELEV. B 9R WOOD ALT	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		530 S.F.	111,278 S.F. 21.00 %	FRONT		537 S.F.	116,206 S.F. 21.64 %
LEFT SIDE		947 S.F.	88,889 S.F. 9.39 %	LEFT SIDE		947 S.F.	88,889 S.F. 9.39 %
RIGHT SIDE		947 S.F.	0 S.F. 0.00 %	RIGHT SIDE		947 S.F.	0 S.F. 0.00 %
REAR		636 S.F.	143 S.F. 22.48 %	REAR		636 S.F.	143 S.F. 22.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3060.00 S.F.	343.17 S.F.	11.21 %	TOTAL SQ. FT.	3067.00 S.F.	348.10 S.F.	11.35 %
TOTAL SQ. M.	284.28 S.M.	31.88 S.M.	11.21 %	TOTAL SQ. M.	284.93 S.M.	32.34 S.M.	11.35 %

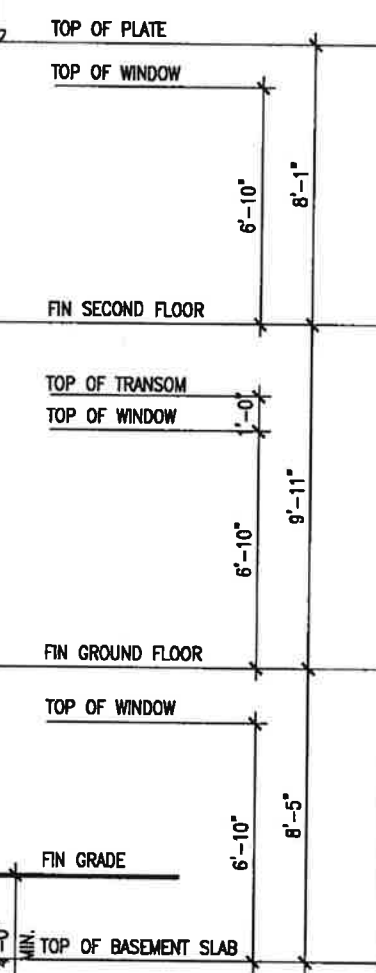
BAYVIEW WELLINGTON			S32-2-10G		
ALCONA			PELICAN 2-10		
JULY 2016			JULY 2016		
SB			SB		
255 Consumers Rd Suite 120			255 Consumers Rd Suite 120		
Toronto ON M2J 1R4			Toronto ON M2J 1R4		
t 416.630.2255 f 416.630.4782			t 416.630.2255 f 416.630.4782		
vo3design.com			vo3design.com		
The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
Wellington Jno-Baptista 25591			Wellington Jno-Baptista 25591		
DEC 14-16 SB			DEC 14-16 SB		
SEP 26-16 RC			SEP 26-16 RC		
SEP 19/16 SB			SEP 19/16 SB		
JUL 22-16 SB			JUL 22-16 SB		
JULY 04-16 KM			JULY 04-16 KM		
6 REVISED AS PER ENG'S COMMENTS			6 REVISED AS PER ENG'S COMMENTS		
4 REVISED FDN WALLS TO BE 10"			4 REVISED FDN WALLS TO BE 10"		
3 REVISED INSULATION AT STAIRS			3 REVISED INSULATION AT STAIRS		
2 ADD WOOD AND REAR UPGRADE			2 ADD WOOD AND REAR UPGRADE		
1 ISSUED FOR CLIENT REVIEW			1 ISSUED FOR CLIENT REVIEW		
no. description			no. description		

1'

BAYVIEW WELLINGTON		S32-2-10G PELICAN 2-10	
project name ALCONA	municipality INNISFIL, ONT.	project no. 13049	
date JULY, 2016	W.O.D. REAR ELEVATIONS 'A' & 'B'		
drawn by SB	checked by -	scale 3/16" = 1'-0"	file name 13049-S32-2-10
RICHARD - H. ARCHITECTS INCORPORATED, 2013, 13049 3RD AVE UNIT 13, S32-2-10G - JULY 1, 2017 - 11:51 AM			
you are the copyright property of H&A ARCHITECTS INCORPORATED. Reproduction of this property is whole or in part is strictly prohibited without H&A ARCHITECTS INCORPORATED's written permission.			



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "A. T. Quaile" is written in a stylized script, with "A. T. Quaile" printed in a bold, sans-serif font below it. The license number "17-08-01" is printed at the bottom of the seal.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9	-	-	-	
8	-	-	-	
7	-	-	-	
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC		
5	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB		
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC		
3	REVISED INSULATION AT STAIRS	SEP 19/16 SB		
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB		
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM		
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Joe-Baptiste *JBaptiste* 25591
signature

name
V&S Design Inc.
registration information
B204
42558

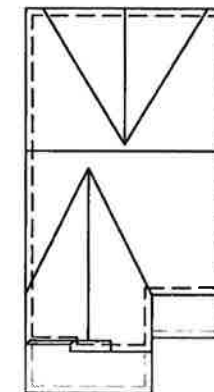
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04/01/2018 12:32:20 PM kgervais

1'-0" 1'-6" 11'-9" 11'-9" 1'-6" 1'-0"

6'-11" 16'-7"

Diagram of a roof truss showing dimensions for the top and bottom chords. The top chord has segments of 1'-0", 1'-6", 11'-9", 11'-9", and 1'-6" 1'-0". The bottom chord has segments of 6'-11" and 16'-7".



ROOF PLAN A
W/ REAR UGRD

TOP OF PLATE

TOP OF WINDOW

3

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF BASEMENT SLAB

max 6" (150mm) rise
into doorway.

max 6" (150mm) rise
into doorway.

ALT. REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
10'0" GARAGE

REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
10'0" GARAGE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulatory requirements and local subdivision agreements. The Architect is not responsible in any way for the subdivision agreement. The Control Architect is responsible for reviewing and examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located in its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INYUSSE!

1007



55 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
www.ydesian.com

11/09/11: Kyrenna

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	25591
name	signature	BCN
registration information		

VA3 Design Inc. ☒ Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

S32-2-10G
PELICAN 2-10

BAYVIEW WELLINGTON

CONDITION	drawing no.	project no. 13049
-----------	-------------	----------------------

INNISFIL, ONT.

20

NO NE COM

2017 - 11:51 AM

9-532-2-10.dwg - Tue

ROOF PLAN B W/ REAR UGRD

Town of Innisfil Certified Model
01/01/2017 10:37:14 PM kgervais

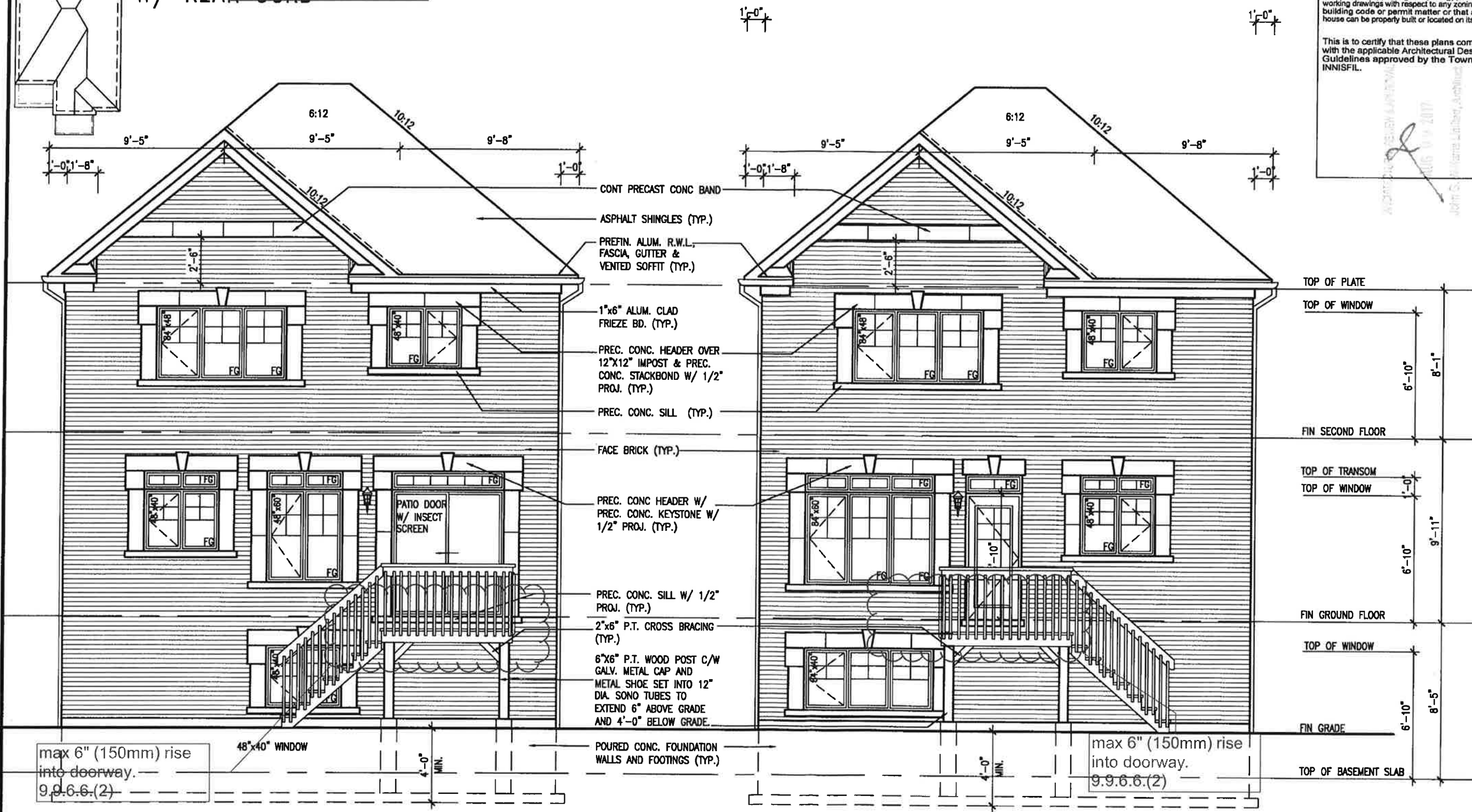
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

Project no.	13049
Project name	BAYVIEW WELLINGTON
City	ALCONA
Address	2015-1-REAR ELEVATIONS 'B' UPGRADE WOD 9R OR MORE CONDITION
Drawn by	RM
Check by	3/16" = 1'-0"
Scale	1/8" = 1'-0"
Date	13049-S32-2-10
Project no.	13049
Project name	PELICAN 2-10
City	INNISFIL, ONT.
Address	2015-1-REAR ELEVATIONS 'B' UPGRADE WOD 9R OR MORE CONDITION
Drawn by	RM
Check by	3/16" = 1'-0"
Scale	1/8" = 1'-0"
Date	13049-S32-2-10

VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
Tel: 416.630.2235
Fax: 416.630.4782
va3design.com

1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM
2	ADD WOD AND REAR UPGRADE	JULY 22-16	SR
3	REVISED INSULATION AT STAIRS	SEP 19/16	SR
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
5	REVISED FOM WALLS TO BE 10"	DEC 14-16	SR
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC
7	THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE Ontario Building Code to be a Designer.		
8	Wellington, Jno-Baptiste	25591	RCM
9	Registration Information		
10	VA3 Design Inc.	42558	
11	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
12	no. description	date	by



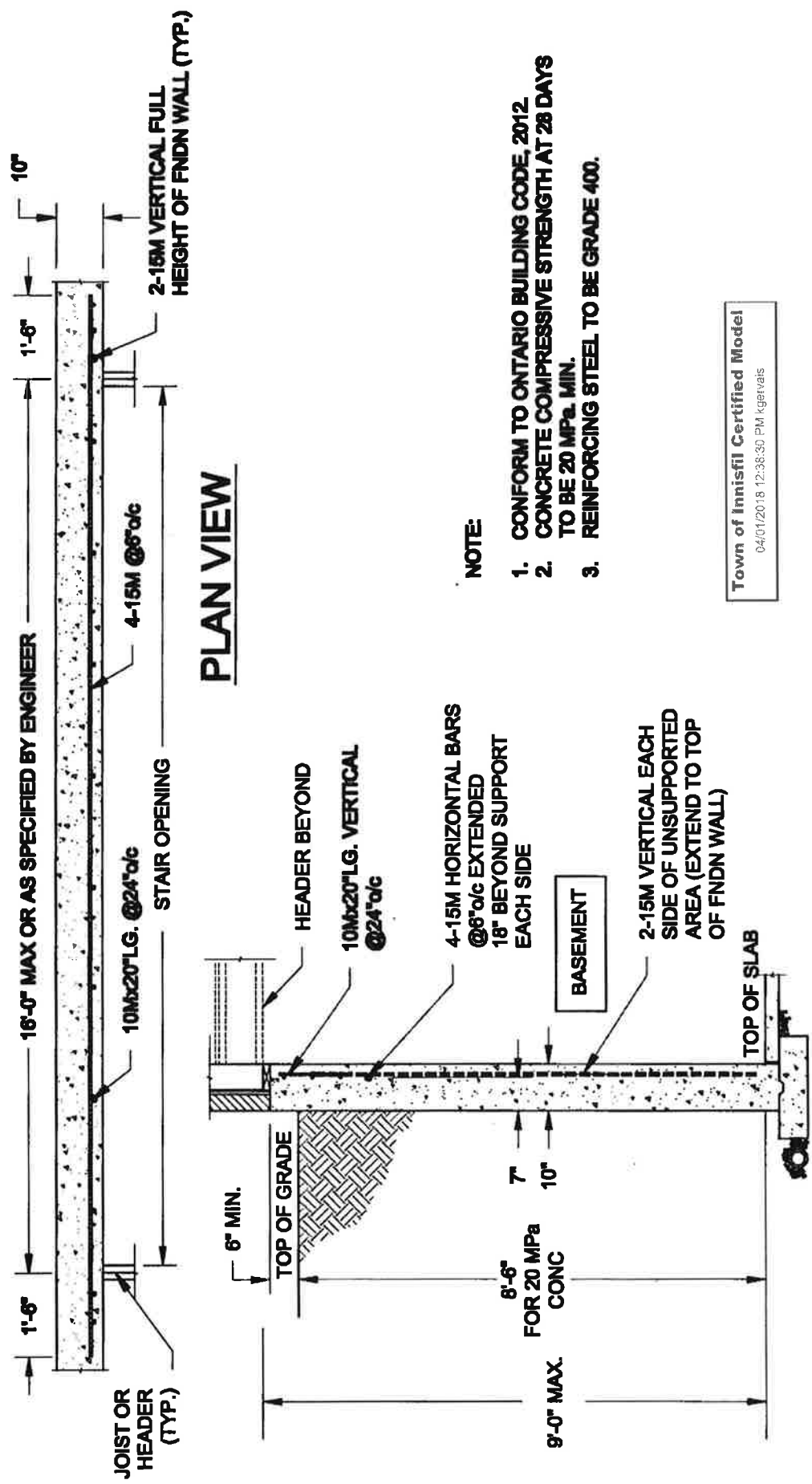
ALT. REAR ELEVATION 'B' UPGRADE
9R OR MORE WOD
10'0" GARAGE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REAR ELEVATION 'B' UPGRADE
9R OR MORE WOD
10'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



PLAN VIEW

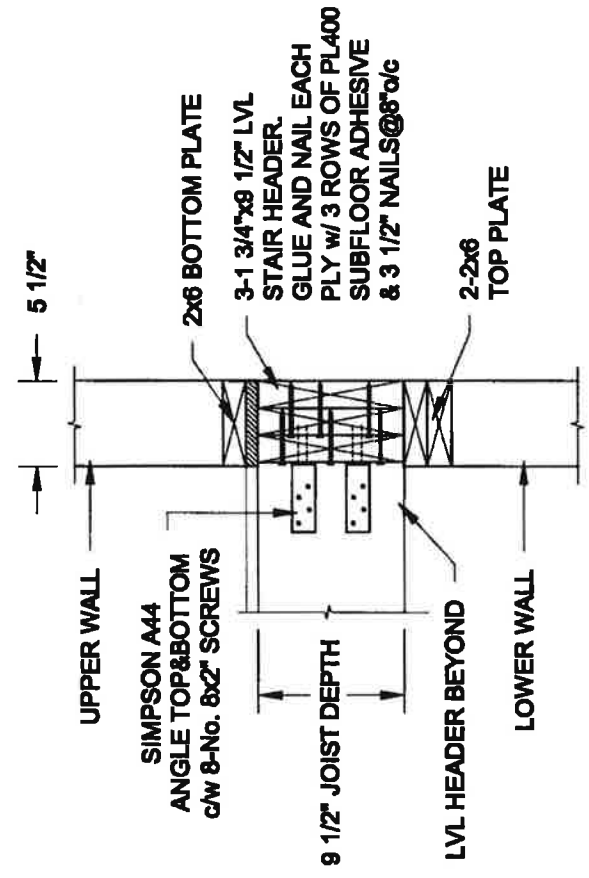
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

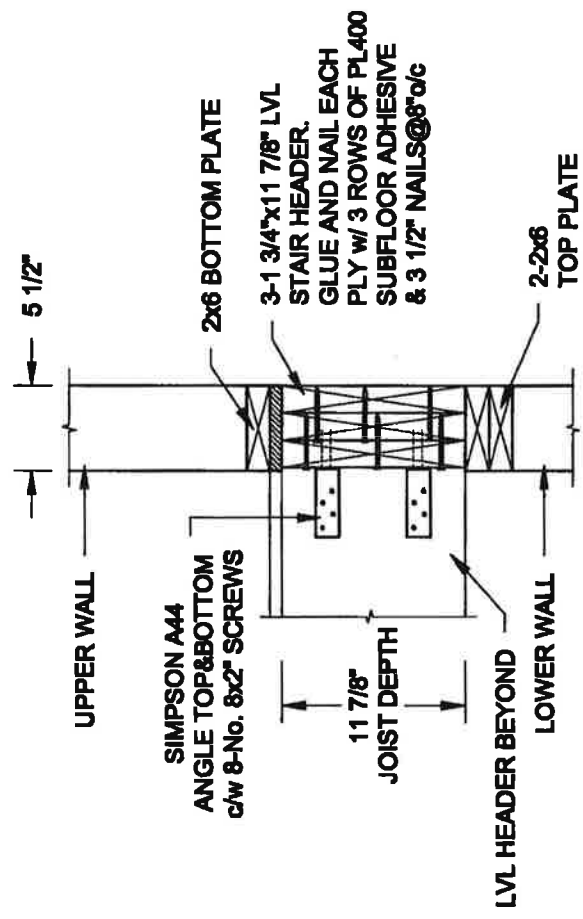
Town of Innisfil Certified Model
04/01/2018 12:38:30 PM kgervais

1 LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH

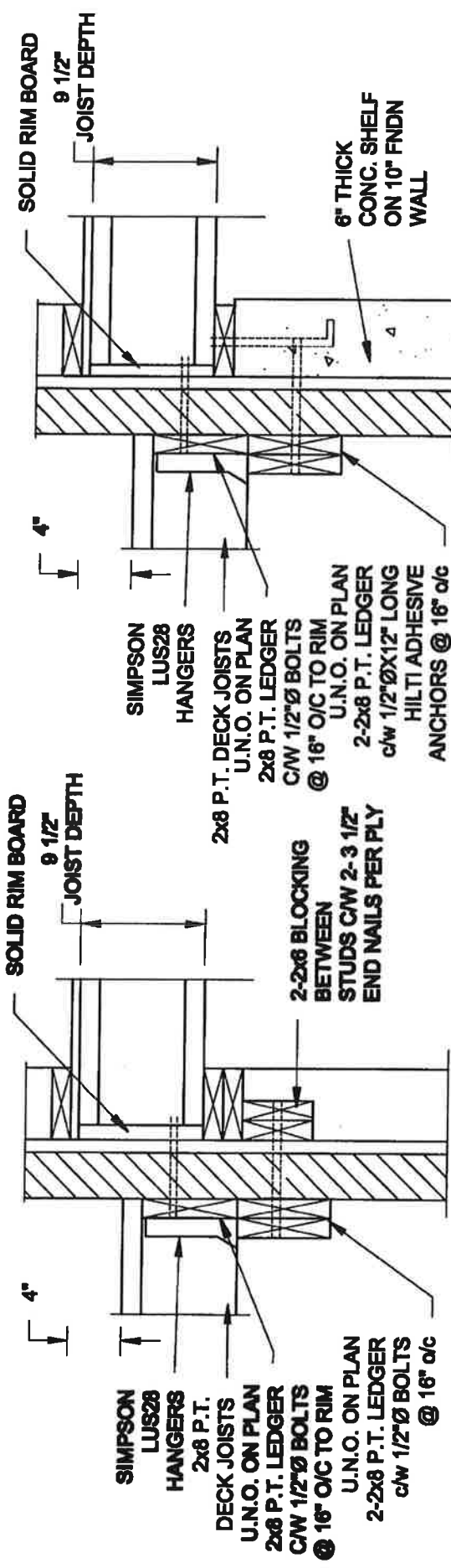


2 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Paradise Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-883-8647 E: quaile.eng@rogers.com		Engineer's Sect:	Project:	
Date: JUL-31-2017						
Drawn: SC	Checked: SJB	Project No.: 16-083				Drawing No.: S1
TYPICAL STRUCTURAL DETAILS FOR SINGLES						
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO						

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

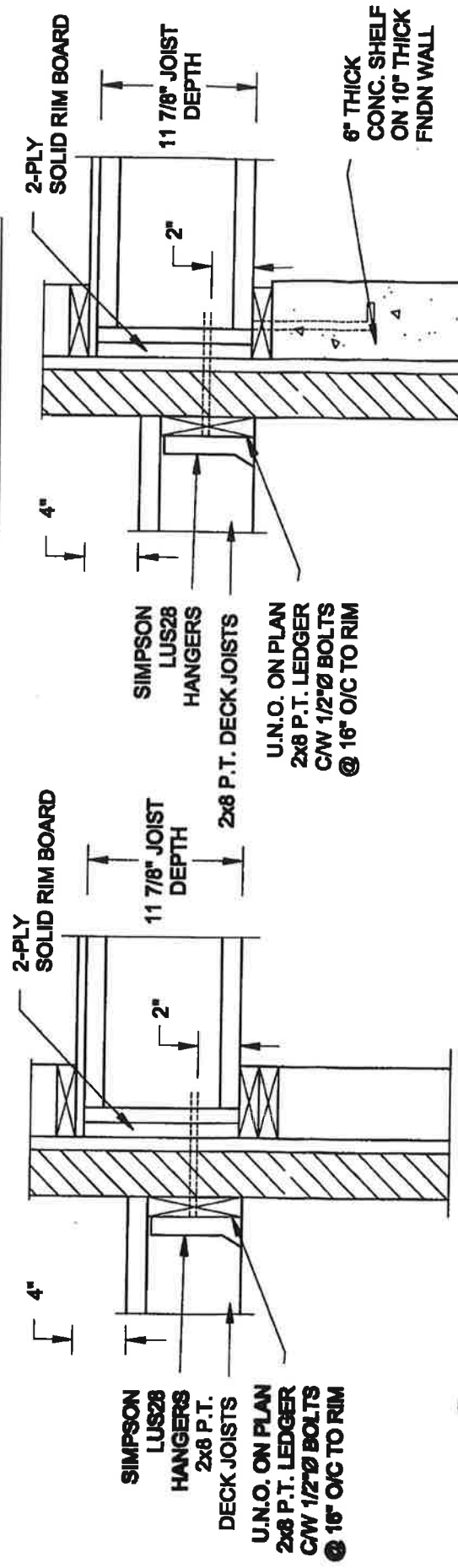
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

80A1E: 10 - 11 M

FOR 11 7/8" JOIST DEPTH



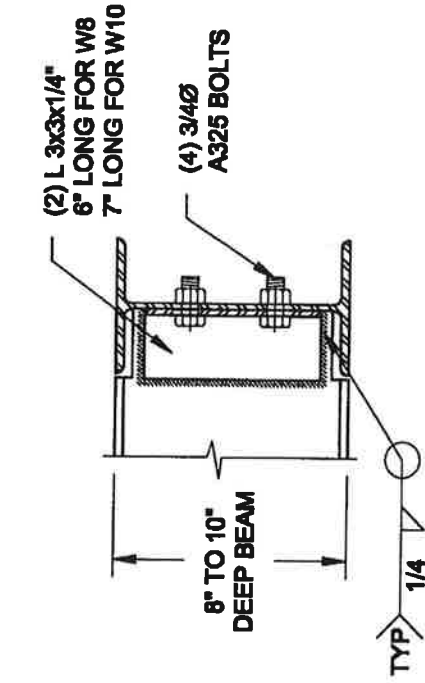
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

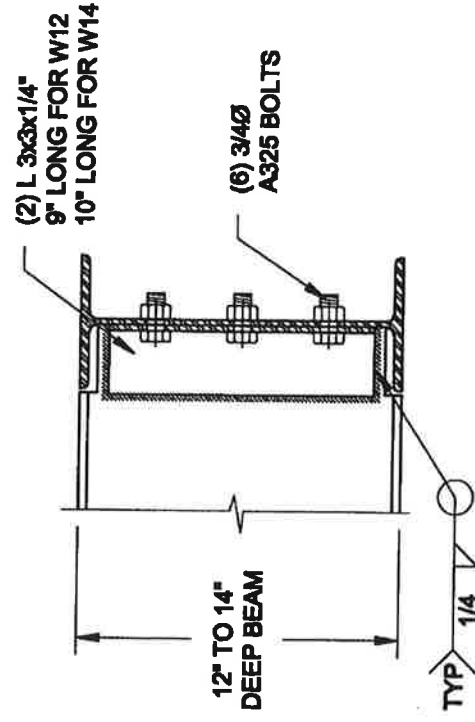
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o.c KNEEWALL ON 10" THICK CONC FNDN WALL.**
- 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.**
- 3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.**

2B DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

SCALE: 1" = 1' 0"



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



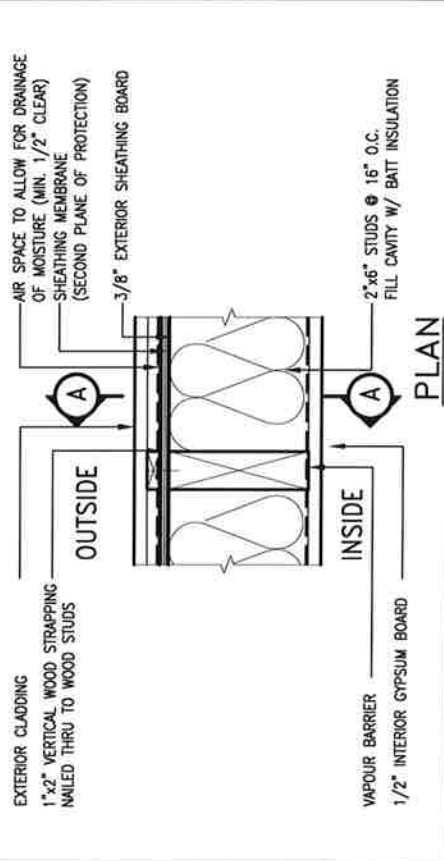
**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-863-8647 E: quaile.eng@ Rogers.com		Engineer's Seal	Project:
Date: JUL-01-2017				DAYVIEW WELLINGTON HOMES - ALCONA PROJECT RUSHFEL, ONTARIO
Drawn: SC	Checked: SJB			TYPICAL STRUCTURAL DETAILS FOR SINGLES
		Project No.:	Drawing No.:	
			18-083	82



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

[illegible]

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:

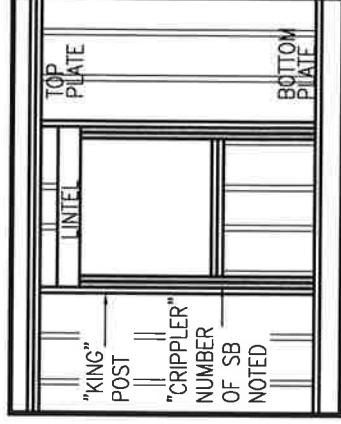
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0M AND FLOOR
JOIST LENGTH OF 2.5M OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- 2-x8" @ 16" O.C. @ 15'-0"
2-x8" @ 12" O.C. @ 17'-9"
2-2"x8" @ 16" O.C. @ 20'-4"
2-2"x8" @ 12" O.C. @ 22'-4"
- NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
 2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY
 3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE
 5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1(2)
 6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



"CRIPPLE" DETAIL



FEB 9, 2021

9	-		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-		qualification information	
7	-		name	Wellingtton Jno-Baptiste
6	-		registration information	BCON
5	-		signature	J. Baptiste
4	-		company	VAS Design Inc.
3	-			42658
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

The undersigned hereby assumes full and sole responsibility for this design and has the qualifications and means to meet the requirements set out in the California Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste
name
signature
registration information
VA3 Design Inc.

255911
BC2N
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All work must be done in accordance with the drawings, permits and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

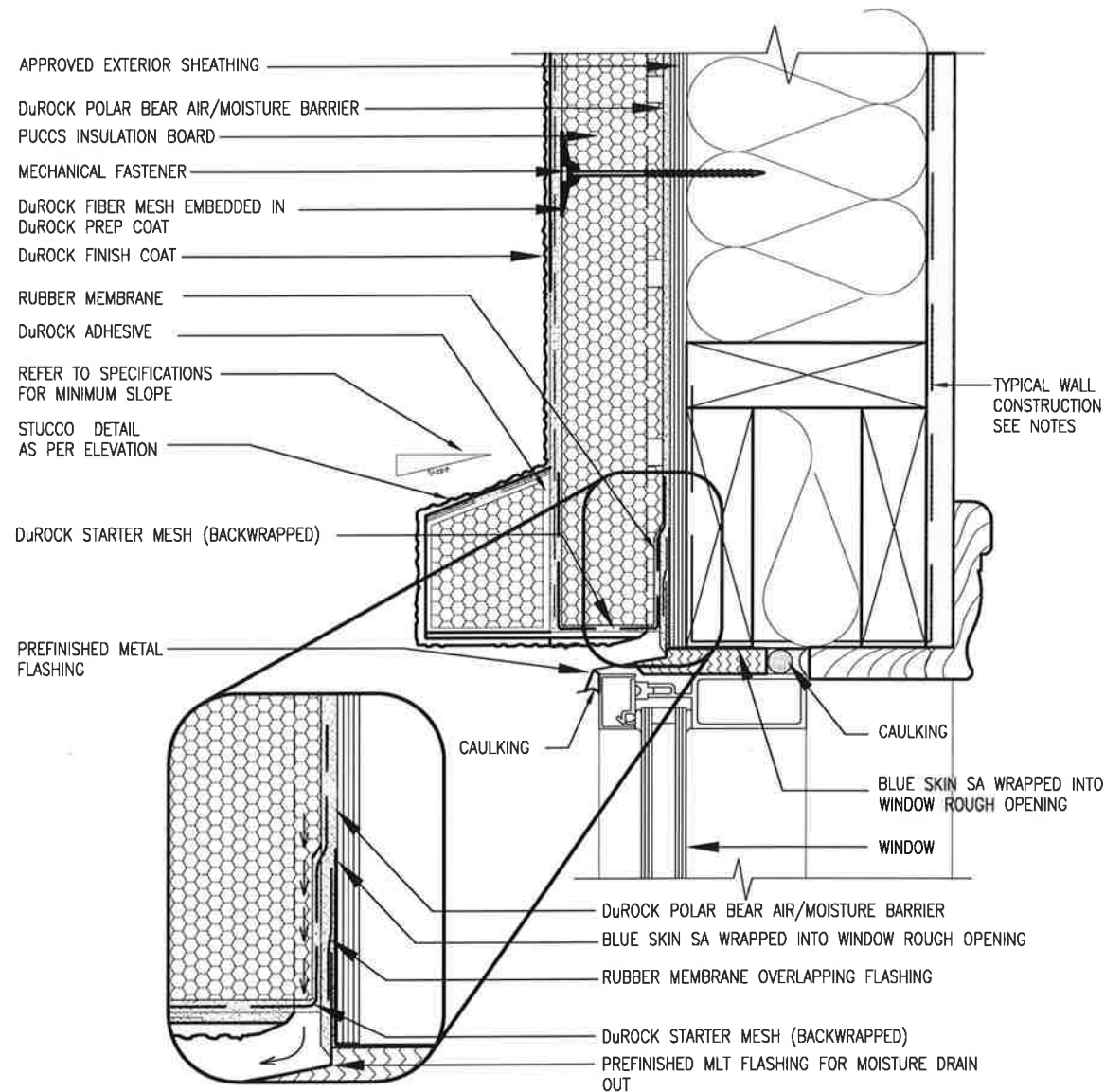


255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

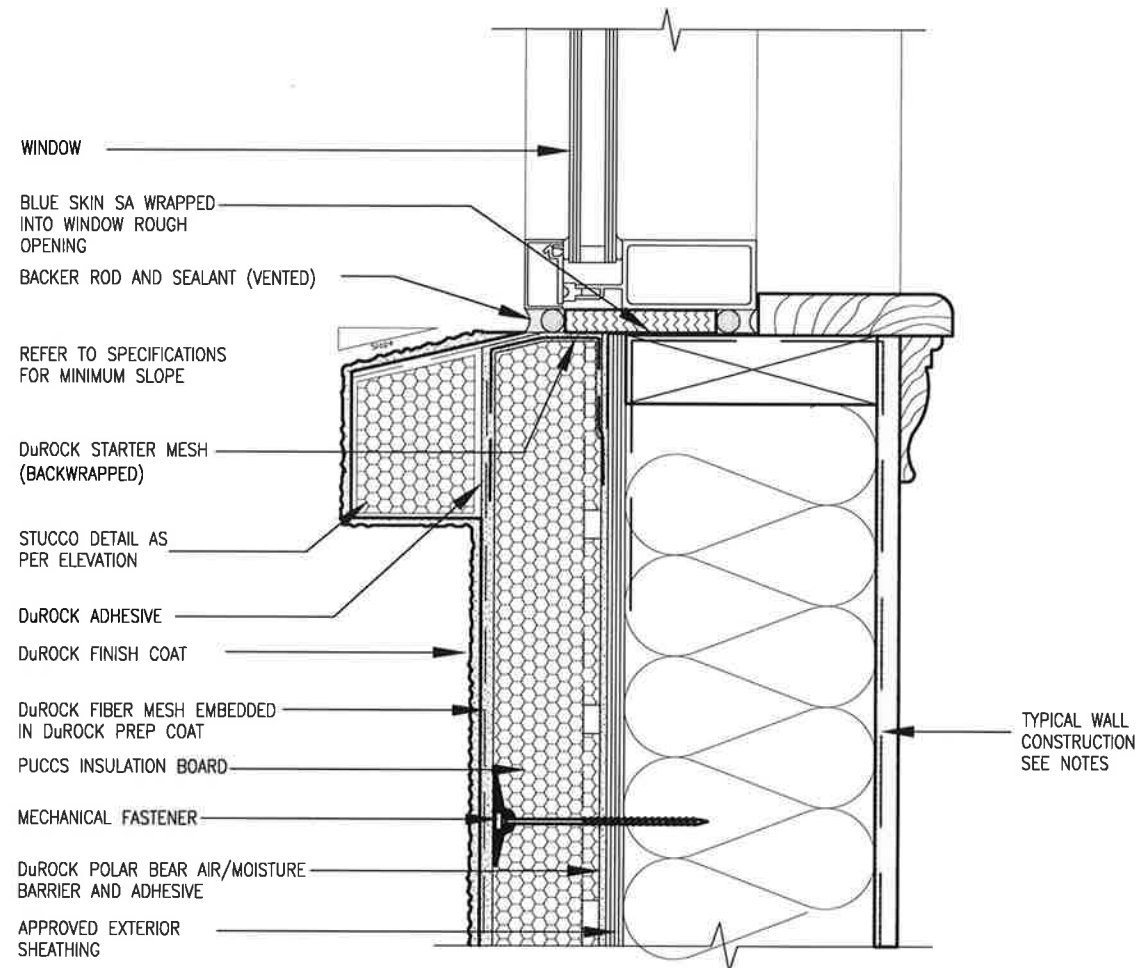
led.

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
project no.	13049	drawing no.	CN2
date MAY 2016		CONSTRUCTION NOTES	
drawn by	RC	checked by	scale
			3/16" = 1'-0"
file name		13049-CN-A1 VER 2020	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE			BAYVIEW WELLINGTON			CONSTRUCTION NOTES		
no.	description	date	by	date	checked by	scale	file name	drawing no.
9								
8								
7								
6								
5								
4								
3								
2	UPDATE TO OBC VER 2020	FEB 09-21	RC					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptista 25591 BCN name Jno-Baptista signature Jno-Baptista stamp Jno-Baptista Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.								
project name ALCONA date MAY 2016 drawn by RC			municipality INNISFIL ON. project no. 13049 drawing no. CN3			13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM		

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Left Diagram Labels:

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- C/W 1 1/2" Ø BOLTS @ 16" O/C TO RIM
- U.N.O. ON PLAN
- 2-2x8 P.T. LEDGER c/w 1 1/2" Ø X 12" LONG HILTI ADHESIVE ANCHORS @ 16" o/c
- 6" THICK CONC. SHELF ON 10" FNDN WALL

Right Diagram Labels:

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- C/W 1 1/2" Ø BOLTS @ 16" O/C TO RIM
- 2-2x8 P.T. LEDGER c/w 1 1/2" Ø X 12" LONG HILTI ADHESIVE ANCHORS @ 16" o/c
- 2-2x8 BLOCKING BETWEEN STUDS C/W 2-3 1/2" END NAILS PER PLY
- 6" THICK CONC. SHELF ON 10" FNDN WALL

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

(2) L 3x3x1/4"
6" LONG FOR W8
7" LONG FOR W10

(4) 3/4" Ø
A325 BOLTS

8" TO 10"
DEEP BEAM

TYP 1/4"

QUAILE ENGINEERING LTD.

NEERING LTD
38 Paradise Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8847
E: qualls.engage@neering.com

Engineer's Seal

The seal is circular with a black border. Inside the border, the text "PROFESSIONAL ENGINEER" is at the top, "S. J. BOYD" is in the center, and "PROVINCE OF ONTARIO" is at the bottom. A stylized signature "S.J. Boyd" is written across the center.

AUG 10, 2017

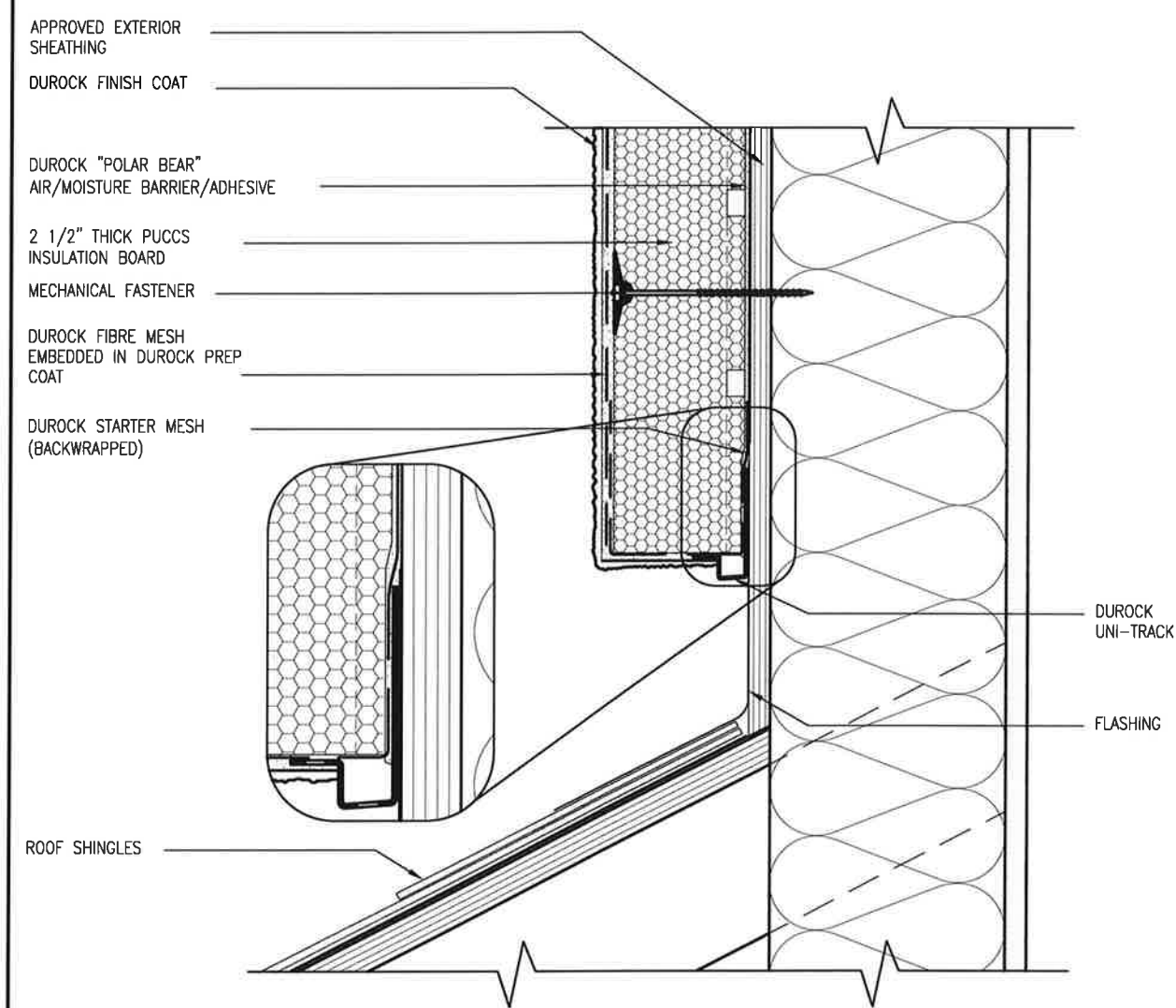
Project:
DAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INSEFTL, ONTARIO
TYPICAL STRUCTURAL DETAILS FOR SINGLE

Project No.:

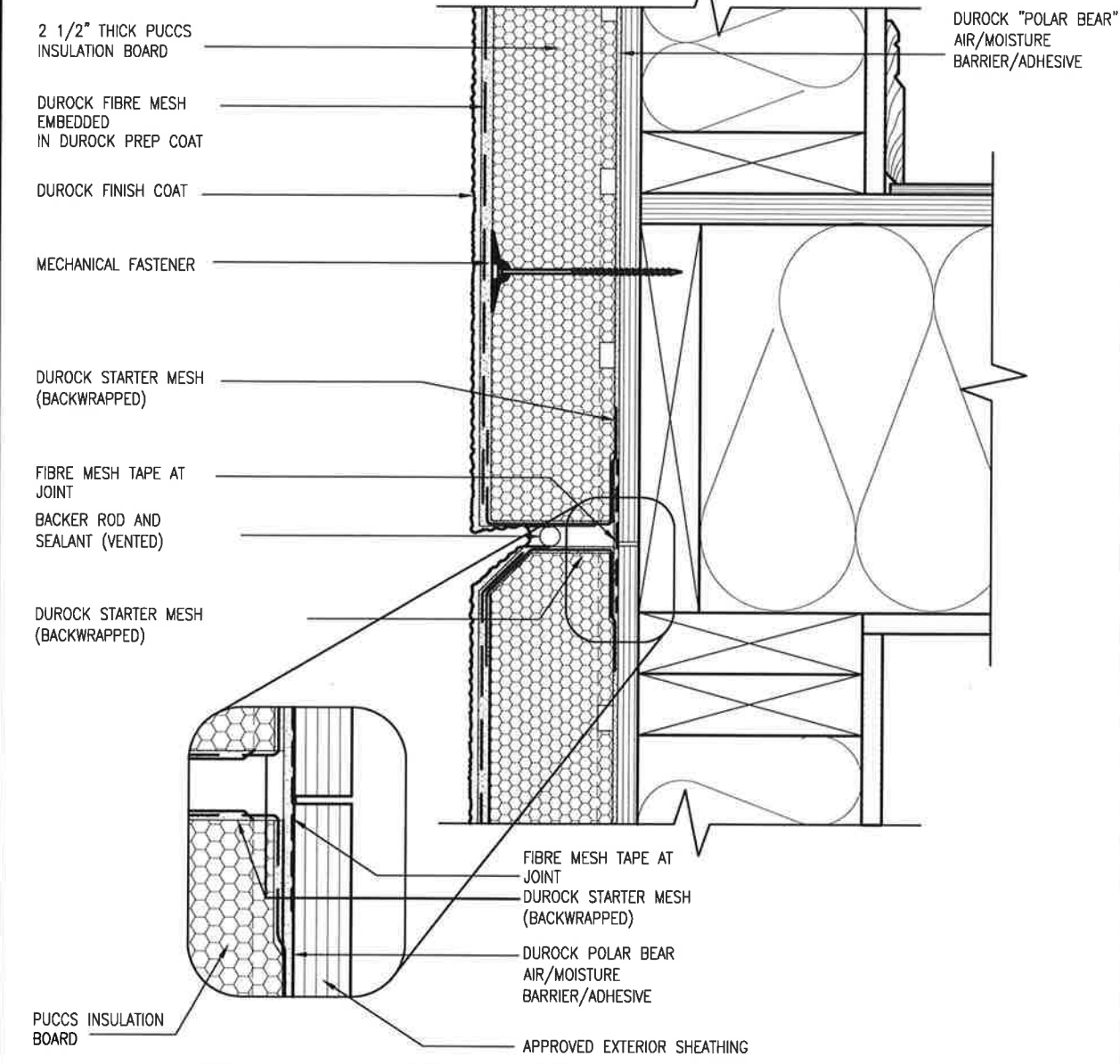
16-0683

Drawing No.:

ॐ



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE BAYVIEW WELLINGTON		CONSTRUCTION NOTES project no. 13049 drawing no. CN4	
project name ALCONA municipality INNISFIL, ON.		date MAY 2016 scale 3/16" = 1'-0" checked by RC drawn by RC	
project location 255 Consumers Rd Suite 120 Toronto, ON M2L 1P4 t 416.630.2235 f 416.630.4782 va3design.com		project no. 13049 drawing no. CN4 date MAY 2016 scale 3/16" = 1'-0" checked by RC drawn by RC	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptista name registration information VAS Design Inc. B.C.N. 25591 42658		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptista name registration information VAS Design Inc. B.C.N. 25591 42658	
2. UPDATE TO OBC VER 2020 1. ISSUE FOR CLIENT REVIEW		FEB 09-21 RC AUG 04-17 RC	
no. description		date by	



APPROVED EXTERIOR SHEATHING

DuROCK "POLAR BEAR" AIR/MOISTURE BARRIER

PUCCS INSULATION BOARD

MECHANICAL FASTENER

DuROCK FINISH COAT

DuROCK FIBER MESH EMBEDDED IN DuROCK PREP COAT

DuROCK STARTER MESH (BACKWRAPPED)

TRANSITION MEMBRANE. EXTEND MEMBRANE 6" ABOVE AND BELOW SILL. ENSURE TRANSITION MEMBRANE IS OVER BUILDING PAPER

BACKER ROD AND SEALANT (VENTED)

FLASHING

PRECAST SILL ON GROUT

WEPPHOLES @ 32"(800) O.C.

BUILDING PAPER

6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

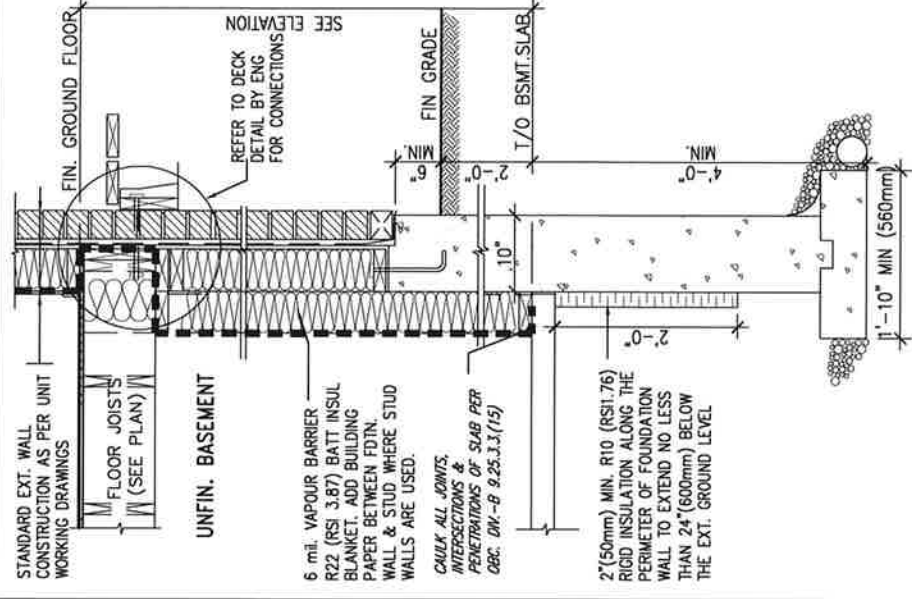
9	*				The undersigned has assumed full legal responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*				
7	*				
6	*				qualification information
5	*				Willington Jno-Baptista signature
4	*				name registration information VAS Design Inc.
3	*				25591 BCIN 42558
2	UPDATE TO ORC FEB 2020	FEB 09-21 RC			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner will be responsible for their return at the completion of the work. Dimensions are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC			
no.	description	date			by

VA3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project	13046
drawn by	RC	drawing no.	CN5
checked by	-	CONSTRUCTION NOTES	
scale	3/16" = 1'-0"	file name	13046-CH-A1 VER 2020

.....g.....

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1- COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC DIV. B-9.25.3.
---	--

SECTION w/ BRICK VENEER (PACKAGE A1)

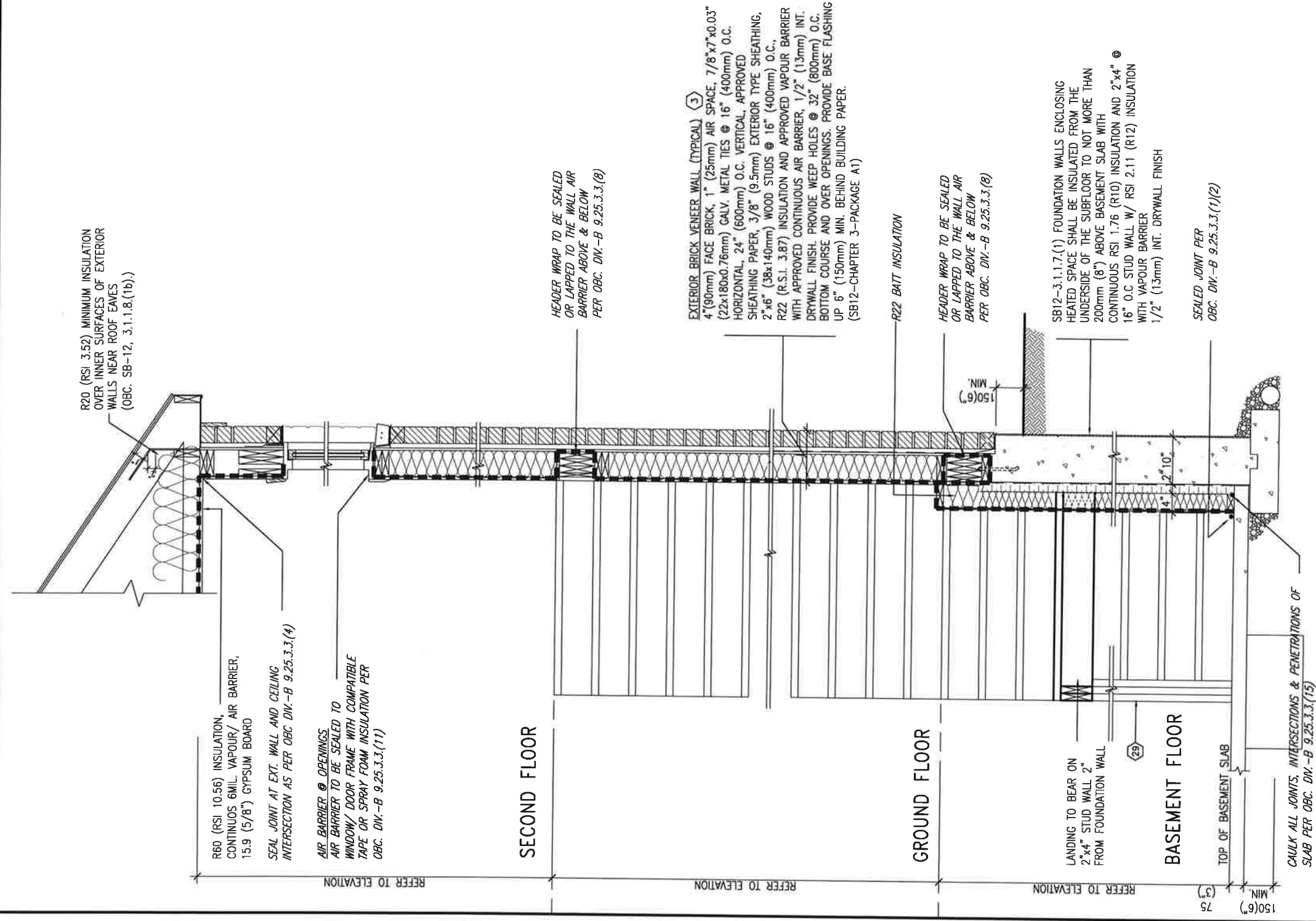
SCALE: N.T.S.

VA3 DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
T: 416.630.2255 f 416.630.2256
va3design.com

project name ALCONA		municipality INNISFIL ON.		project no 13045-CN	
date MAY 2016		scale 3/16" = 1'-0"		CONST. CONSTRUCTION NOTES CN6	
drawn by RC		checked by -		file name 13045-CN-A1 VER 2016	

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH IRC DIV. R-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington-Jno-Baptiste 25591

name registration information

Jno-Baptiste BCCN

V&J Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be copied. Drawings are not to be scaled.



BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	—
scale	3/16" = 1'-0"	drawing no.	CN7
		CONSTRUCTION NOTES	file name 13049-CN-A1 VER 2020

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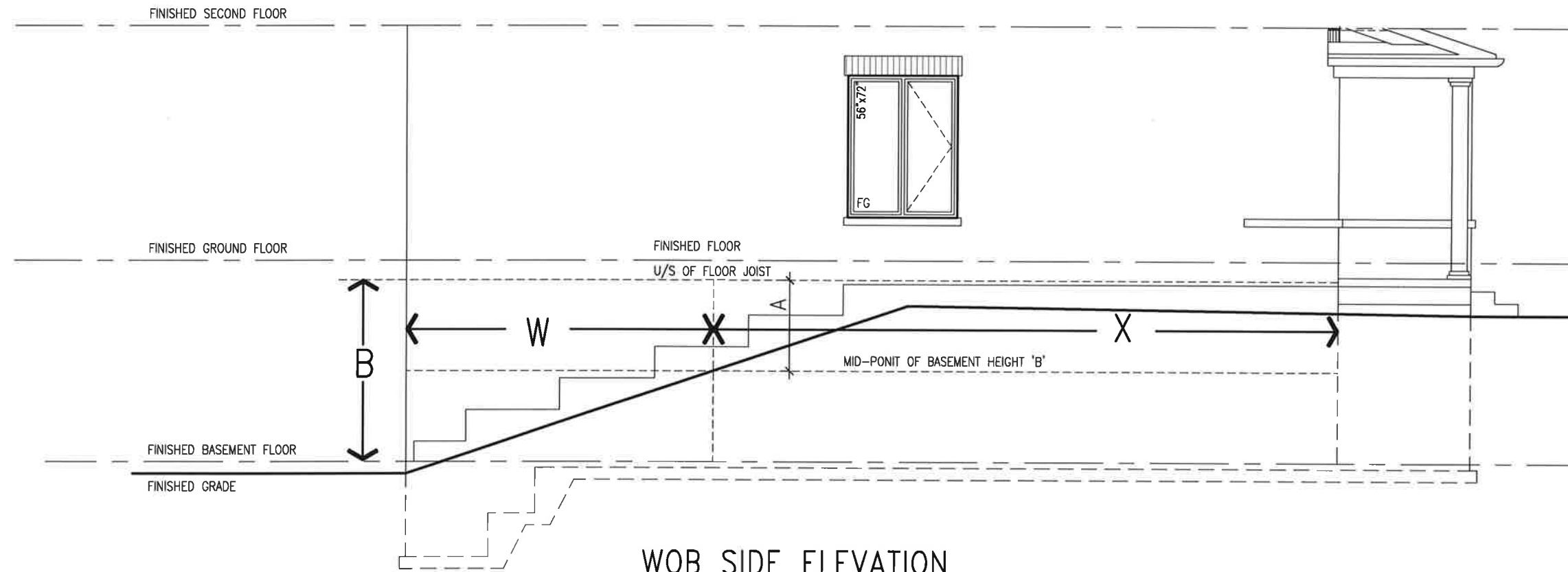
COMPLIANCE TO OBC SB-12 2.1.1.1(11)

W X X



FEB 9, 2021

WOB PLAN



WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

BAYVIEW WELLINGTON	CONST NOTE
--------------------	------------

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
416.630.2255 f 416.630.
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	William J. J. Boppre William J. J. Boppre 25591 BCN 42658
some registration information	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
VA3 Design Inc.	

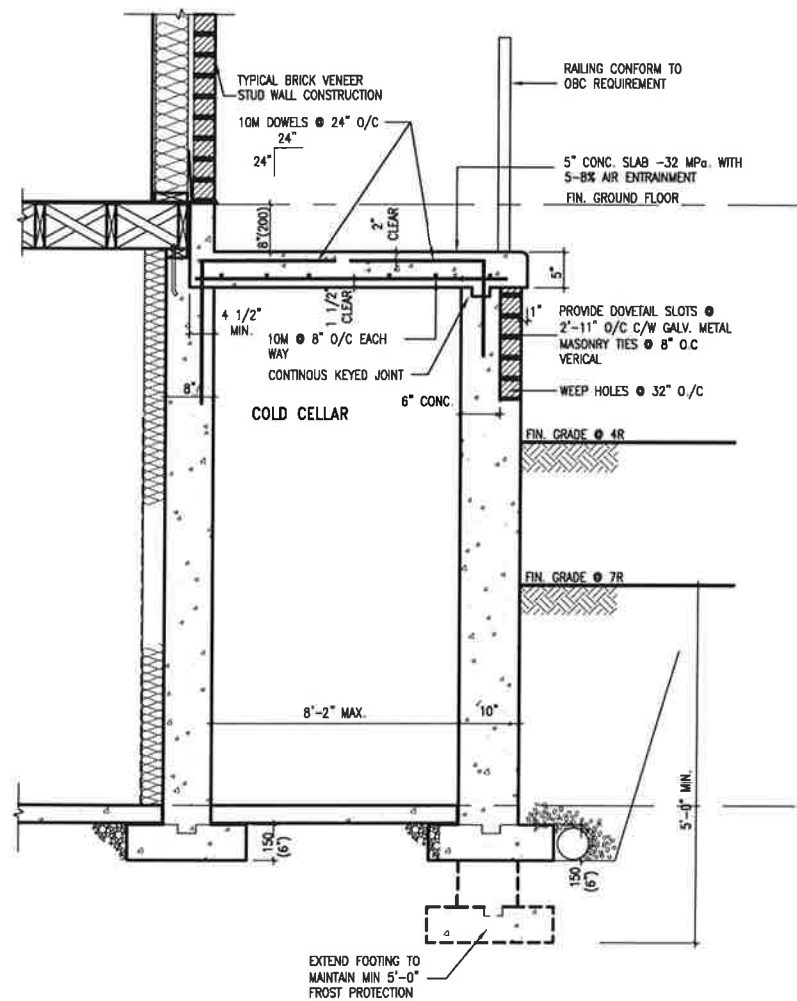
no	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
9			
8			
7			
6			
5			
4			
3			

project name ALCONA	project no. 13049
municipality INNISFILON.	
drawing no. CN8	
CONSTRUCTION NOTES	
date MAY 2016	file name 13049-CN-A1 VER 2020
drawn by RC	scale 3/16" = 1'-0"
checked by -	

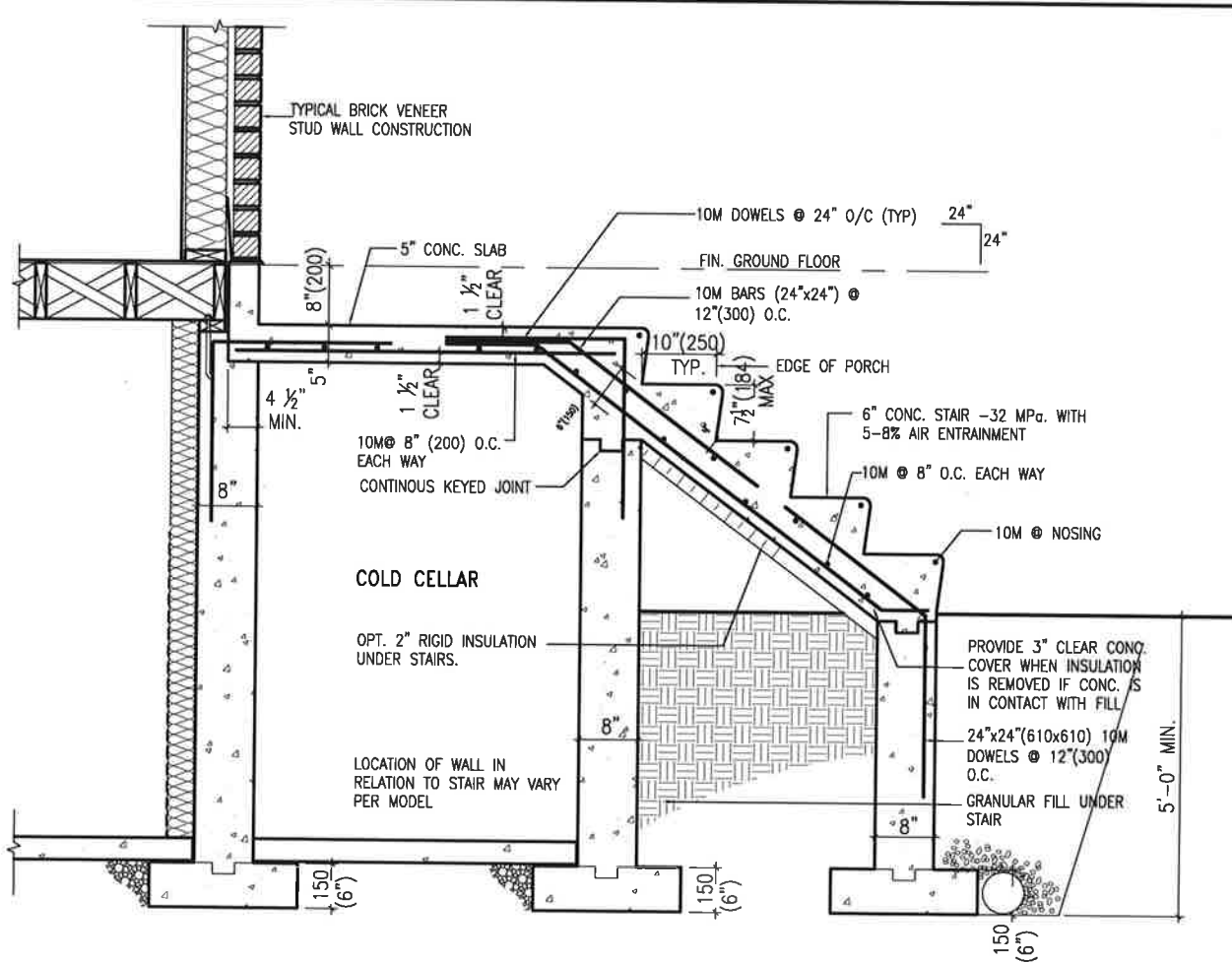
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FEB 9, 2021



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no. description date by

2. UPDATE TO OBC VER 2020 FEB 09-21 RC
1. ISSUE FOR CLIENT REVIEW AUG 04-17 RC

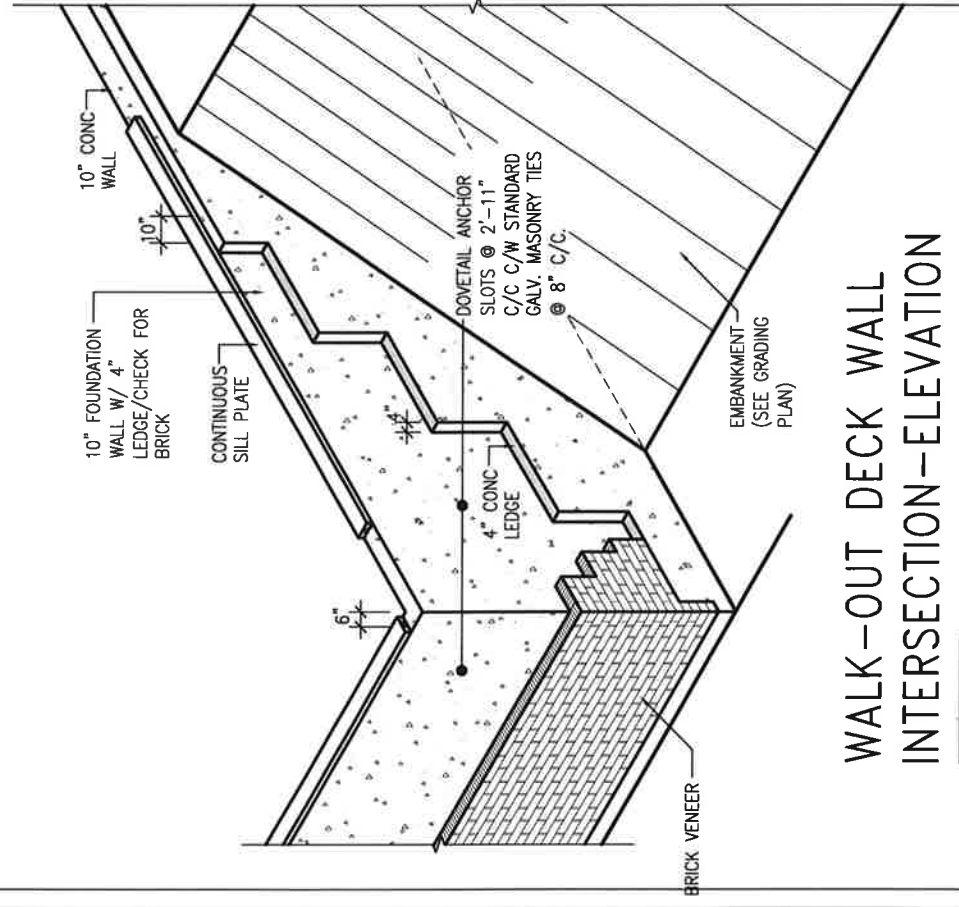
project name ALCONA municipality INNISFIL, ON. project no. 13049 drawing no. CN9

CONSTRUCTION NOTES
13049-CN-A1 VER 2020
file name 13049-CN-A1 VER 2020.dwg
date MAY 2016 checked by RC
scale 3/16" = 1'-0"

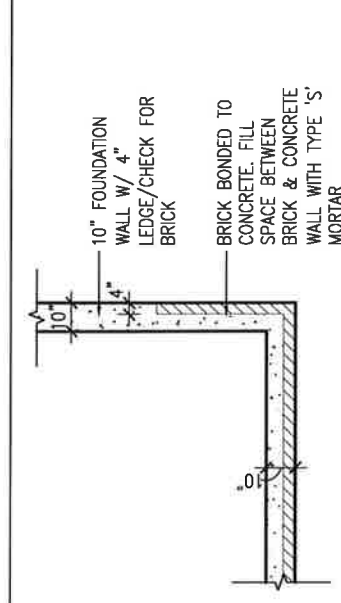
BAYVIEW WELLINGTON

CONST NOTE

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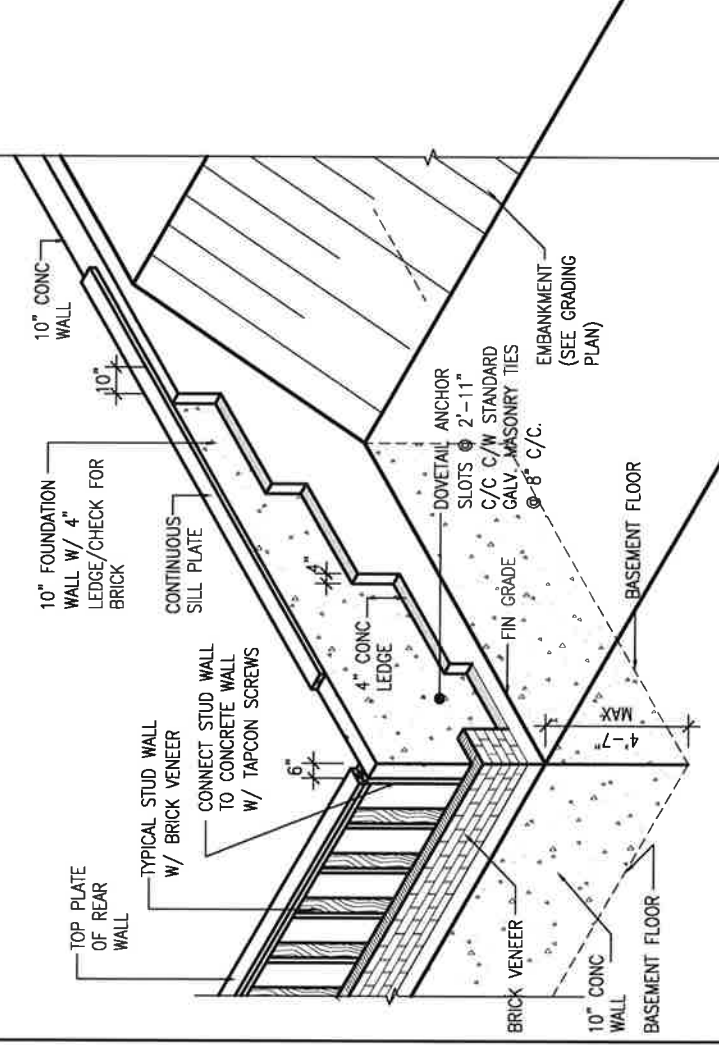
WALK-OUT DECK WALL
INTERSECTION-ELEVATION



WALK-OUT DECK WALL
INTERSECTION-PLAN

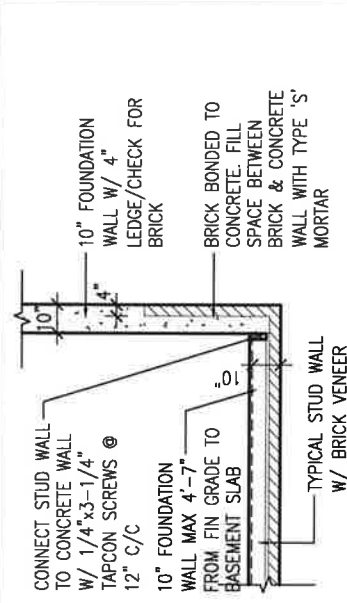
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)

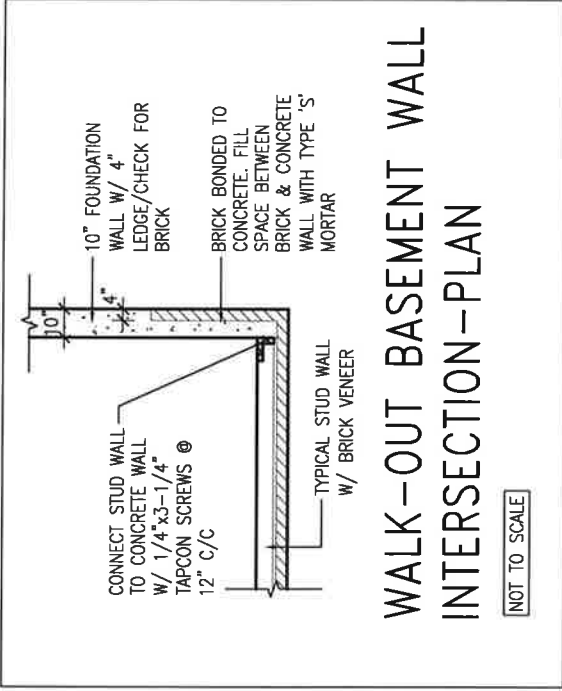


9	*		The undersigned has reviewed and takes responsibility for this design and has had the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	*		qualification information	
7	*			
6	*		name Wellington Jno-Baptiste	26591
5	*		registration number BCN	
4	*		signature <i>J. Baptiste</i>	
3	*		VAS Design Inc.	42658
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

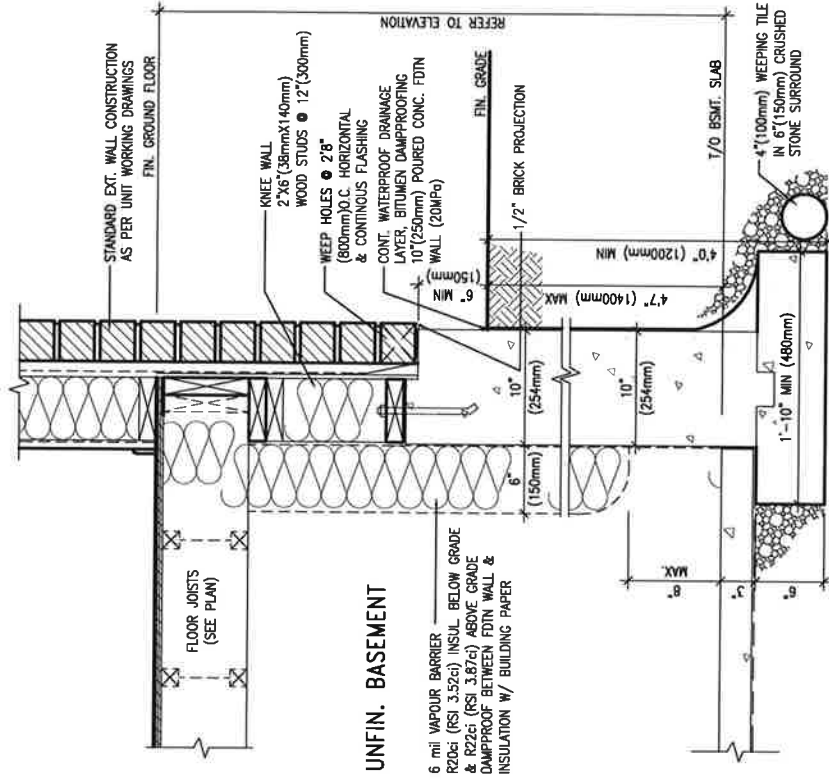
VAD3
DESIGN
255 Consumers Rd. Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
draft date MAY 2016	drawing no. CN10
drawn by RC	scale 3/16" = 1'-0"
checked by -	file name 13049-CN-A1 VER 2020
CONSTRUCTION NOTES	

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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



FEB 9, 2021

9	*		*		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*		*		qualification information
7	*		*		
6	*		*		
5	*		*		Wellington Jno-Baptiste 25591 name registration info-BAptiste J Baptiste
4	*		*		BCN
3	*		*		VA3 Design Inc. 42658
2	UPDATE TO OBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		date by
description					

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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL.ON.
project no.	13049		
drawn by	MAY 2016	checked by	scale
RC	-	-	3/16" = 1'-0"
		CONSTRUCTION NOTES	file name
			13049-CN-A1 VER 2020
		drawing no.	CN11

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