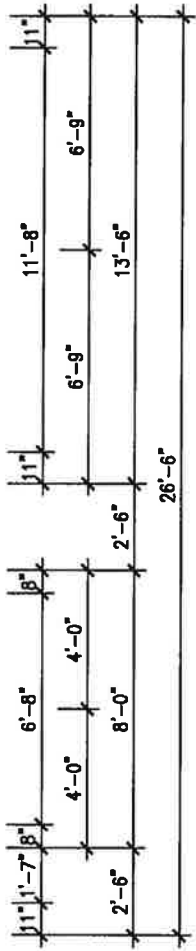
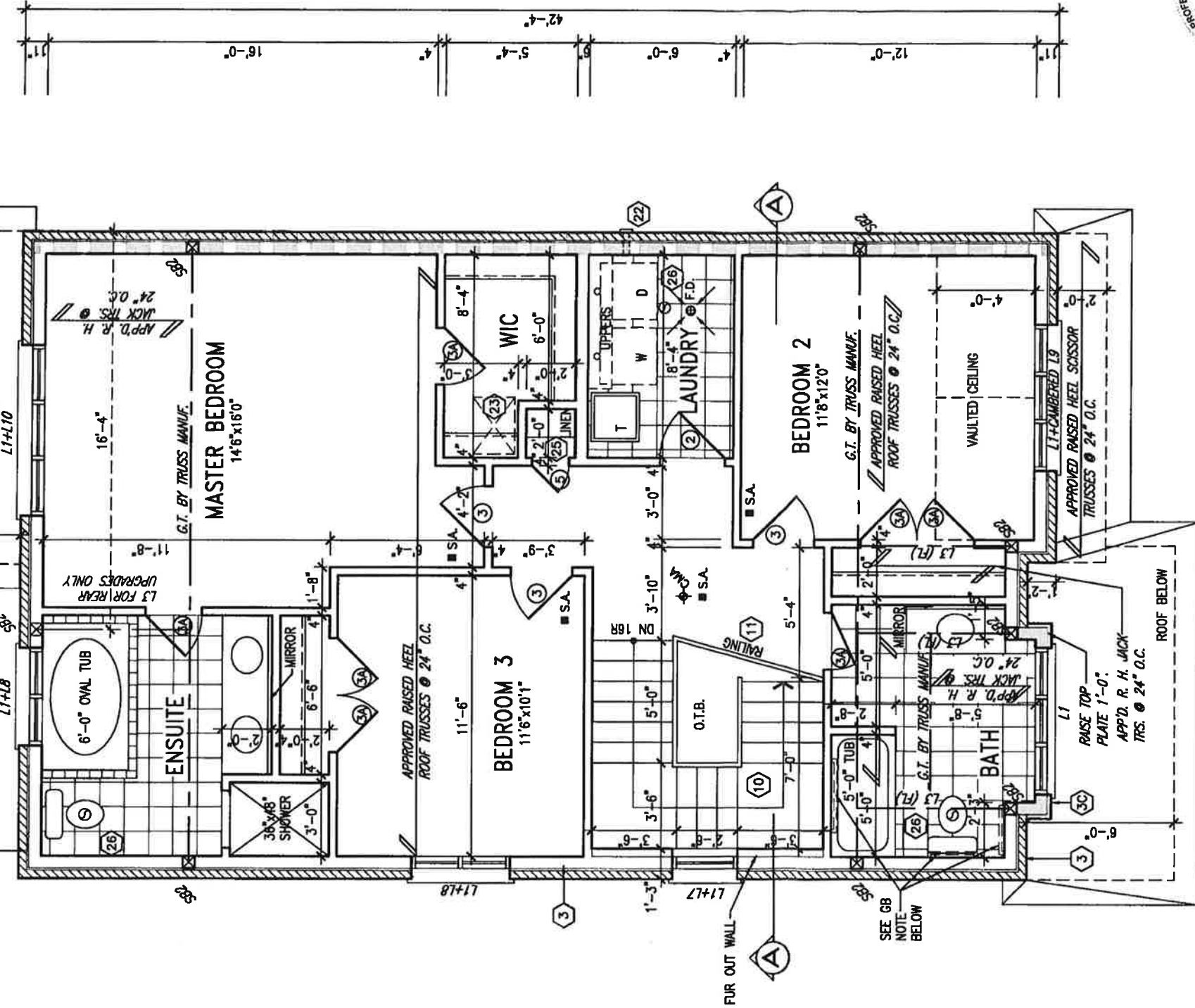
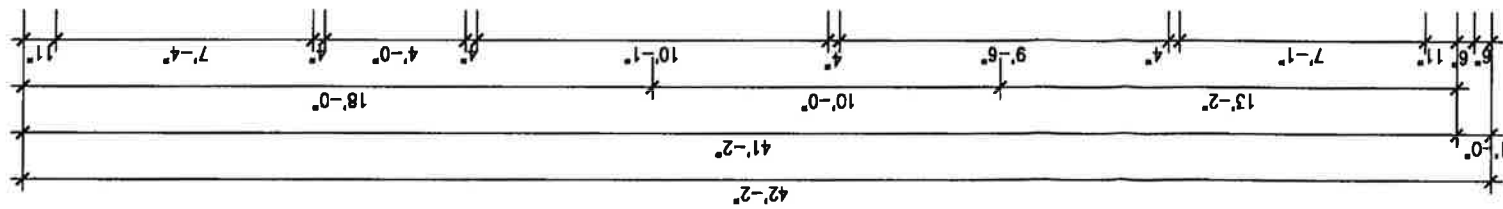


PROPERTY LINE

PROPERTY LINE



NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL L.V.'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

Town of Inverell Certified Model
12/03/2018 9:22:11 AM kgervais

GB NOTE:
STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO MAIN CLOSETS AND SHOWER
OR BATHUB IN MAIN BATHROOM.
REFER TO DBC 9.5.2.3
3.8.3.8.(3)(c), 3.8.3.8.(3)(e),
3.8.3.13.(2)(f) & 3.8.3.13.(4)(g).
AND DETAILS PROVIDED.

INDICATES REDUCED SIDE YARD

PROFESSIONAL ENGINEER
A. T. Qualle
17-08-01
PROVINCE OF ONTARIO

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Architectural Guidelines and all applicable zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

C. G. ARCHITECTURAL PLANNING
C. G. ARCHITECTURAL PLANNING

SECOND FLOOR PLAN 'A' 12'0" GARAGE

no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 A/E	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16 RC	
4	REVISED INSULATION AT STAIRS	SEPT 20/16 DB	
3	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	
2			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wallingford Jno-Baptista
25591
V.A.S. Design, Inc.
42658

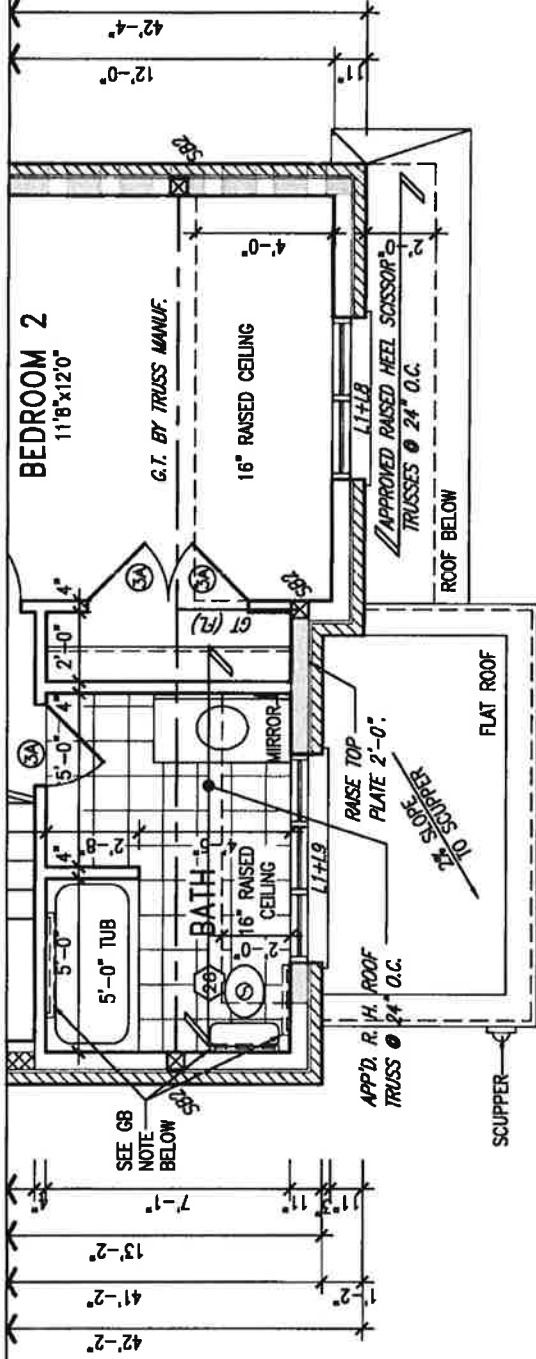
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Plans must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

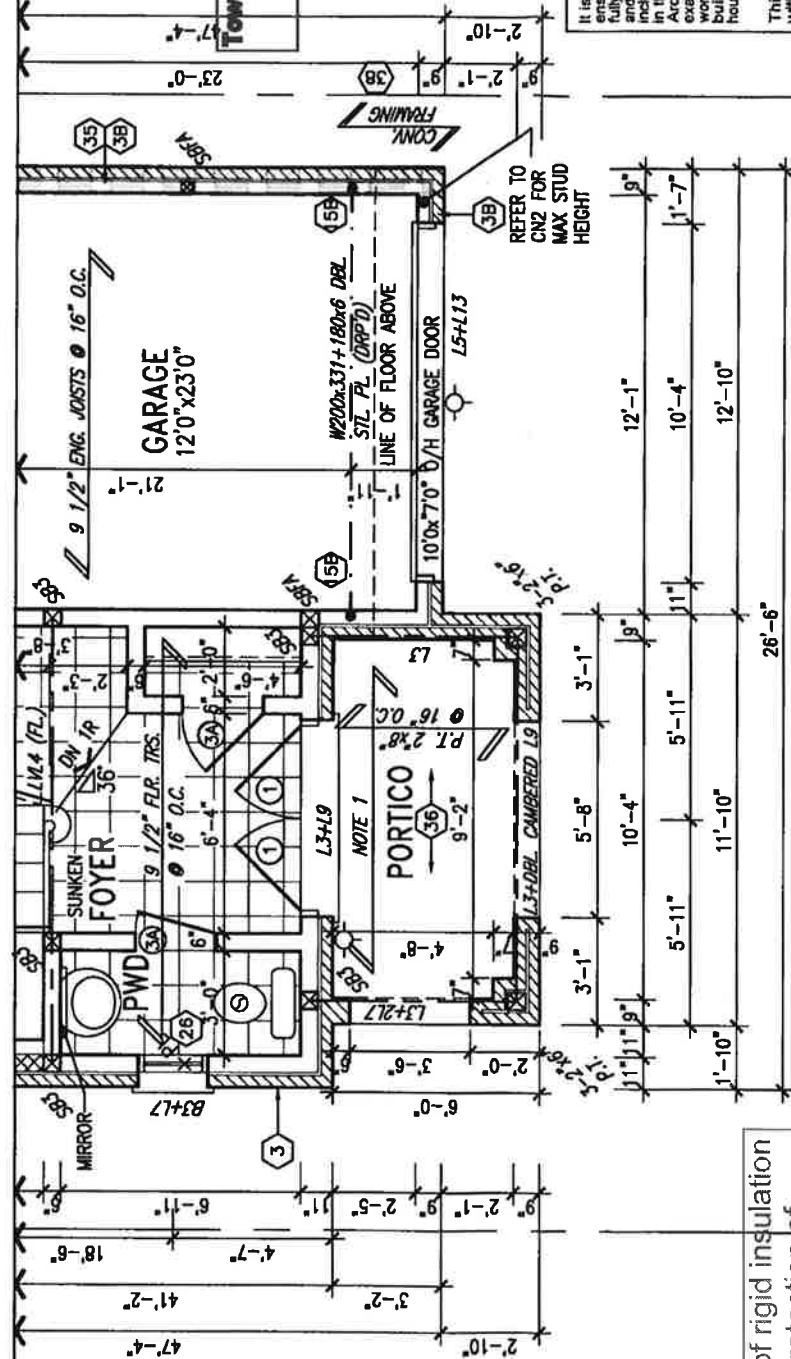
BAYVIEW WELLINGTON

S32-1-12G
PELICAN 1-12

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	JUN 2016	drawn by	SB	drawing no.	3
checked by		scale	3/16" = 1'-0"	file name	13049-S32-1-12



PARTIAL SECOND FLOOR PLAN 'B'
12'0" GARAGE



PARTIAL GROUND FLOOR PLAN 'B'
12'0" GARAGE

provide min 4" of rigid insulation under slab for protection of footings on interior of cold cellar.

Town of Innisfil Certified Model

12/03/2018 9:22:30 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and provisions including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the construction of the building or for the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GB NOTE: STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO CBC 8.5.2.1. 3.8.1.8 (3)(c), 3.8.1.8 (3)(c), 3.8.1.13 (2)(i) & 3.8.1.13 (4)(c) AND DETAILS PROVIDED.

INDICATES REDUCED SIDE YARD

PARTIAL BASEMENT PLAN 'B'
12'0" GARAGE

no.	description	date	by
9			
8			
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 AJE	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEP 20-16 DB	
3	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
2			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellspring Jno-Baptista 25591
name
Wellspring Jno-Baptista 25591
VLS Design Inc. 42655
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. No part of this design may be reproduced or used in any form without the written consent of the Designer. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S32-1-12G
PELICAN 1-12

project no.	project name	municipality	project no.
13049	ALCONA	INNISFIL, ONTARIO	13049
drawing no.	checked by	scale	date
4	NOV. 2015	3/16" = 1'-0"	13049-S32-1-12
			13049-S32-1-12
			13049-S32-1-12
			13049-S32-1-12

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

1"x6" STUCCO FRIEZE BD. (TYP.)

STUCCO FINISH (TYP.)

6" RAISED STUCCO SURROUND

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

CONT. PRECAST CONC. BAND ON BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY (TYP.)

RAISED STUCCO TRIM

max 6" step into door.
9.9.6.6.(2)

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED PORCH SLAB.

POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

1'-0" 1'-0" 1'-0" 1'-0" 1'-8" 1'-0"

ROOF PLAN A
N.T.S.

MID-POINT OF ROOF

VAULTED CEILING
INSIDE SLOPE 6:12
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER ARCH W/
PRECAST KEYSTONE ON
BRICK SOLDIER SURROUND
W 1/2" PROJ. (TYP.)

STL BEAM LOCATION

MUNICIPAL ADDRESS PLAQUE

BRICK SOLDIER HEADER W/
PRECAST KEYSTONE W/
1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

STEPPED FOOTING

TOP OF SLAB

FIN. GROUND FLOOR
FIN. SUNKEN FOYER

TOP OF TRANSOM
TOP OF DOOR

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF PLATE

FRONT ELEVATION 'A'
12'0" GARAGE

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

32-1-12 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	547 S.F.	105.773 S.F.	19.34 %
LEFT SIDE	864 S.F.	62 S.F.	7.18 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	157 S.F.	29.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2811.00 S.F.	324.77 S.F.	11.55 %
TOTAL SQ. M.	261.15 S.M.	30.17 S.M.	11.55 %

Town of Innisfil Certified Model

12/03/2018 9:22:59 AM kgervais

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

The undersigned has prepared and taken responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
Wellington, Jan-Baptiste
name
registration number
25591
42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 ALE	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEPT 20-16 DB	
3	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
2			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4792
va3design.com

BAYVIEW WELLINGTON
S32-1-12G
PELICAN 1-12
project no. 13049
drawing no. 5
FRONT ELEVATION 'A'
13049-S32-1-12
checked by 3/16" = 1'-0"
date JUNE 2016
drawn by SR
DESIGNED BY VA ARCHITECTURE WORKING (2011) 13049 BAYVIEW/PELICAN 1-12
13049-S32-1-12.dwg - Tue - Aug 1 2017 - 12:19 PM

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL.

12/03/2018 9:24:59 AM kgervais

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

project name	project no.
ALCONA	13049
municipality	
INNISFIL, ONTARIO	
ELECTION 1-12	

NOV, 2015	LEFT SIDE ELEVATION 'A'	
run by	created by	scale
SB	*	$\frac{3}{16}'' = 1'-0''$
		line name
		13049-SZ-1-12

drawing no. 6



DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Order's Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste
signature
25591

Registration Information
VA3 Design Inc.
42658

Drawings are not to be scaled.

AL **CHANDLER**

LEFT SIDE ELEVATION 'A'
12'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

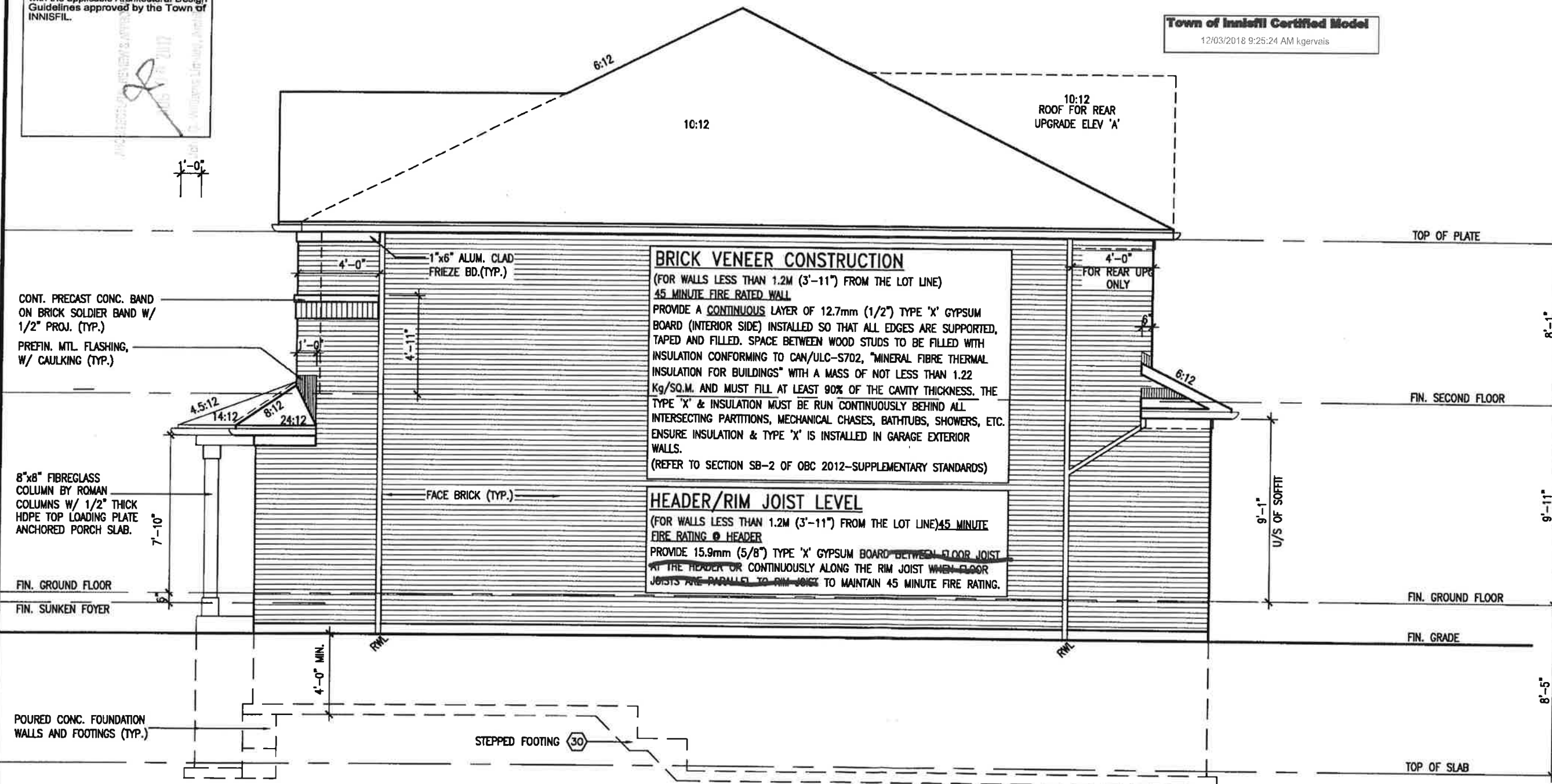
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

1'-0" 1'-0"

1'-0" 1'-0"

Town of Innisfil Certified Model
12/03/2018 9:25:24 AM kgervais



RIGHT SIDE ELEVATION 'A'
12'0" GARAGE

LICENSED PROFESSIONAL ENGINEER
A. T. Quaille
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BAYVIEW WELLINGTON		S32-1-12G PELICAN 1-12	
ALCONA		INNISFIL, ONTARIO	
project no. 13049		drawing no. 7	
date NOV. 2015		checked by 3/15" = 1'-0"	
drawn by SB		13049-S32-1-12	
REMARKS - 14 ARCHIVE WORKING 2013\13049 BAY UNITS\32\13049-S32-1-12.dwg - Tue - Aug 1 2017 - 12:19 PM		RIGHT SIDE ELEVATION 'A'	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design. The design complies with the requirements of the Ontario Building Code as a design professional.			
qualification information Wellington Jno-Baptiste 25591 BCN			
name VA3 Design Inc.			
registration information JUL 22-16 SB			
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are the property of the Designer and shall remain the property of the Designer. Drawings are not to be scaled.			
date JUL 04-16 SB			
description 7 REVISED AS PER ENG'S COMMENTS 6 REVISED TO 10' FOUNDATION WALLS 5 REVISED AS PER ENG TRUSS LAYOUT 4 REVISED INSULATION AT STAIRS 3 ADD WOOD AND REAR UPGRADE 2 1 ISSUED FOR CLIENT REVIEW			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

Town of Innisfil Certified Model
12/03/2018 9:29:13 AM kgervais

ROOF PLAN B N.T.S.

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.7782
va3design.com

The undersigned has reviewed and takes responsibility for the design and from the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned to the Designer at the completion of the work. Drawings are not to be used.

no.	description	date	by
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10' FOUNDATION WALLS	DEC 12-16/AE	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEP 20-16 DB	
3	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
2	REVISED AS PER CLIENT COMMENTS	JAN 25-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

LICENSED PROFESSIONAL ENGINEER
A. T. Quail
A. T. Quail
17-08-01
PROVINCE OF ONTARIO

1'-0" 1'-8" 1'-0" 1'-8" 1'-8" 1'-0"

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
16" RAISED CEILING
12" FG TRANSOM
PRECAST CONC. HEADER W/ 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)

CONT. DOUBLE PRECAST CONC. SILL (TYP.)
PREFIN. METAL CAP OVER 10" PRECAST CONC. (TYP.)
SCUPPER

SELF SUPPORTING PRECAST CONC. ARCH HEADER & KEYSTONE W/ 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)

POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

ASPHALT SHINGLES (TYP.)
MID-POINT OF ROOF
VALLEY FLASHING (TYP.)
16" RAISED CEILING
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

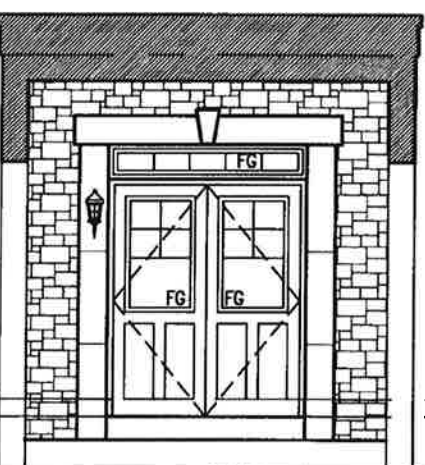
16" RAISED CEILING
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
PRECAST CONC. HEADER W/ 10" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP.)
FACE BRICK (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)
STI BEAM LOCATION
MUNICIPAL ADDRESS PLAQUE
10" PRECAST CONC. HEADER W/ 1/2" PROJ. (TYP.)

STONE VENEER (TYP.)
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
STEPPED FOOTING

6'-2" [1.87M]
6'-2" [1.87M]
24'-2" [7.36M]
8'-1"
6'-10"
8'-11"
6'-4"
8'-5"
TOP OF SLAB
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR
FIN. GROUND FLOOR
FIN. SUNKEN FOYER
FIN. GRADE

max 6" step into door.
9.9.6.6.(2)



INSIDE VIEW AT PORTICO

FRONT ELEVATION 'B' 12'0" GARAGE

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
32-1-12 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	557 S.F.	100.389 S.F.	18.02 %
LEFT SIDE	865 S.F.	62 S.F.	7.17 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	157 S.F.	29.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2822.00 S.F.	319.39 S.F.	11.32 %
TOTAL SQ. M.	262.17 S.M.	29.67 S.M.	11.32 %

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

12/03/2018 9:29:25 AM kgervais

10:12
ROOF FOR REAR
UPGRADE ELEV 'B'

10:12

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

— CONT. DOUBLE PRECAST CONC.
SILL (TYP.)

PRECAST CONC. TRIM/BAND (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

STAIR LANDING

PRECAST CONC. SILL -
W/ 1/2" PROJ. (TYP.)

VINYL CLAD STL FRAME
BASEMENT WINDOW (TYP.)

WALL AREA	867.08	SQ. FT.
LIMITING DISTANCE	1.2	M (7%)
OPENING ALLOWED	60.70	SQ. FT.
OPENING PROVIDED	44.08	SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'
12'0" GARAGE


 A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a signature, the name "A. T. Quaile", and the license number "17-08-01".

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



55 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	Wellington Jno-Baptiste	25591
name	Joseph	BCN
registration information		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

PROJECT NO.	13049
DRAWING NO.	

ATION 'B'
File name
9-S32-1-12
7 12:10 PM

[illegible]

RICHARD - H. VANCE, WORKING 2013.1304JUN, UNITS 327, 1304E-532 - 12 Aug - Tue - 17 Aug - 12:19 PM
 v3design.com

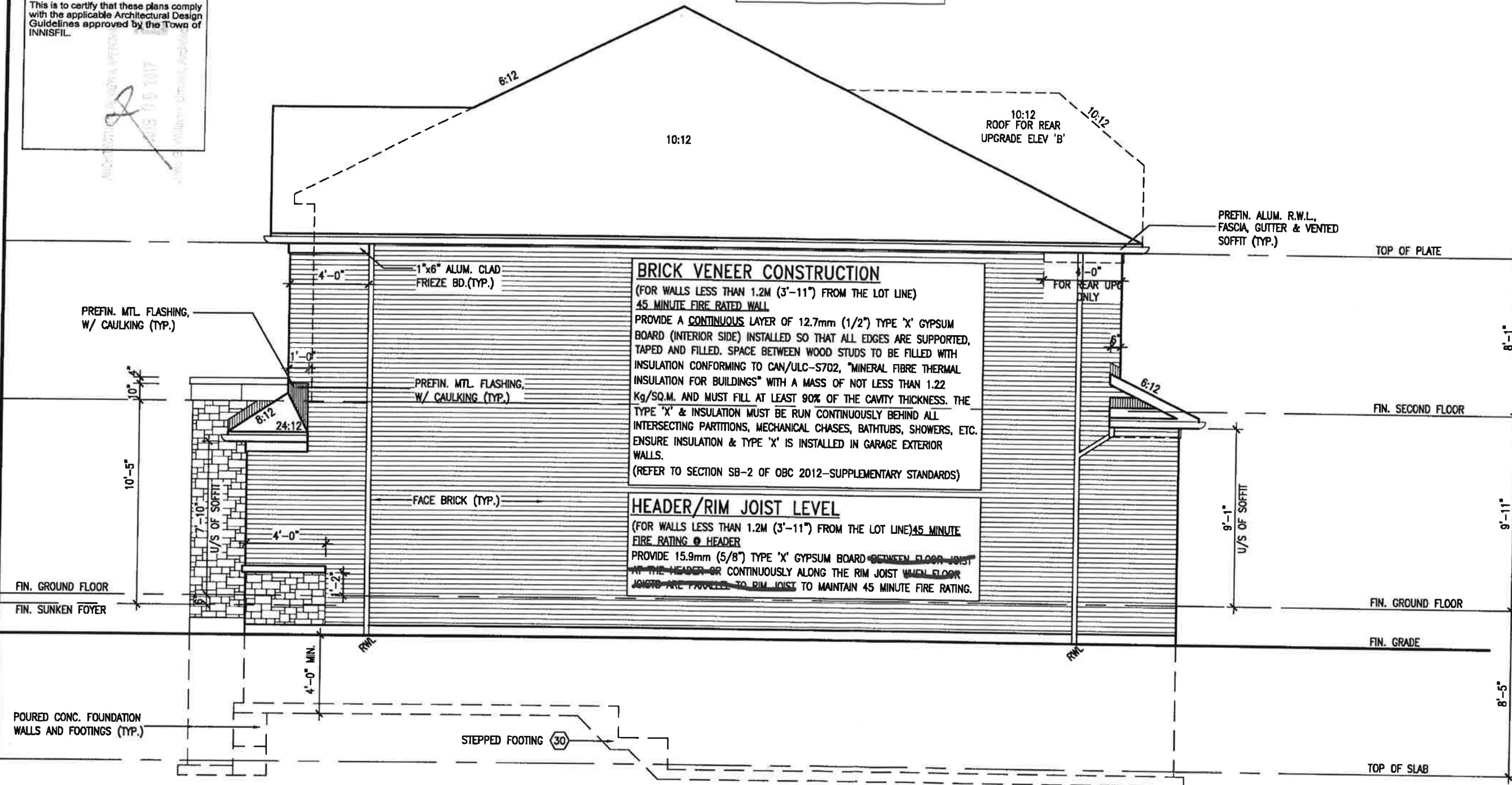
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

1'-0" 1'-0"

Town of Innisfil Certified Model
12/03/2018 9:29:30 AM kgervais

1'-0" 1'-0"



RIGHT SIDE ELEVATION 'B'
12'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

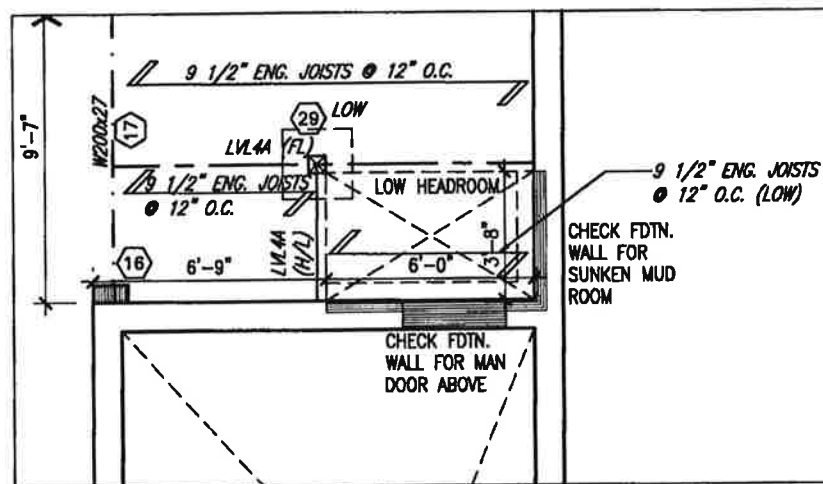
BAYVIEW WELLINGTON
S32-1-12G
PELICAN 1-12

project no.	13049
drawing no.	11
project name	ALCONA
municipality	INNISFIL, ONTARIO
date	NOV. 2015
checked by	SB
scale	3/16" = 1'-0"
drawn by	SB
file name	13049-S32-1-12
revision	11

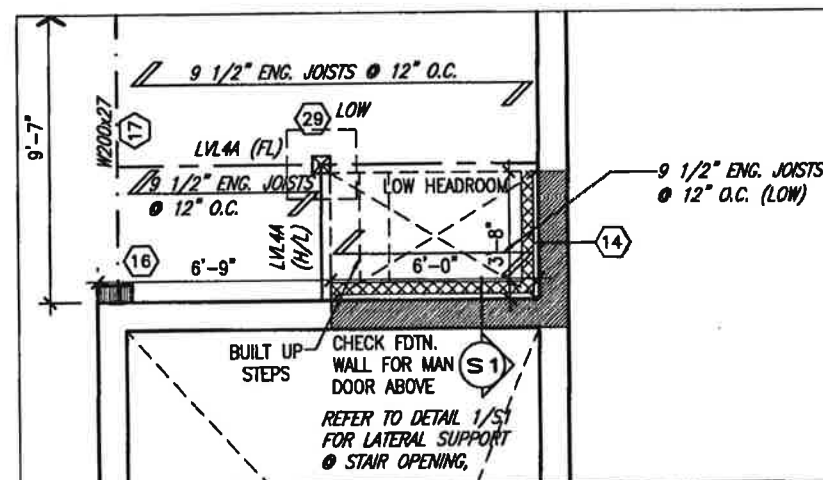
VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has prepared and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Area - Bopifiste 25591
V.A.S. Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. The Designer's drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

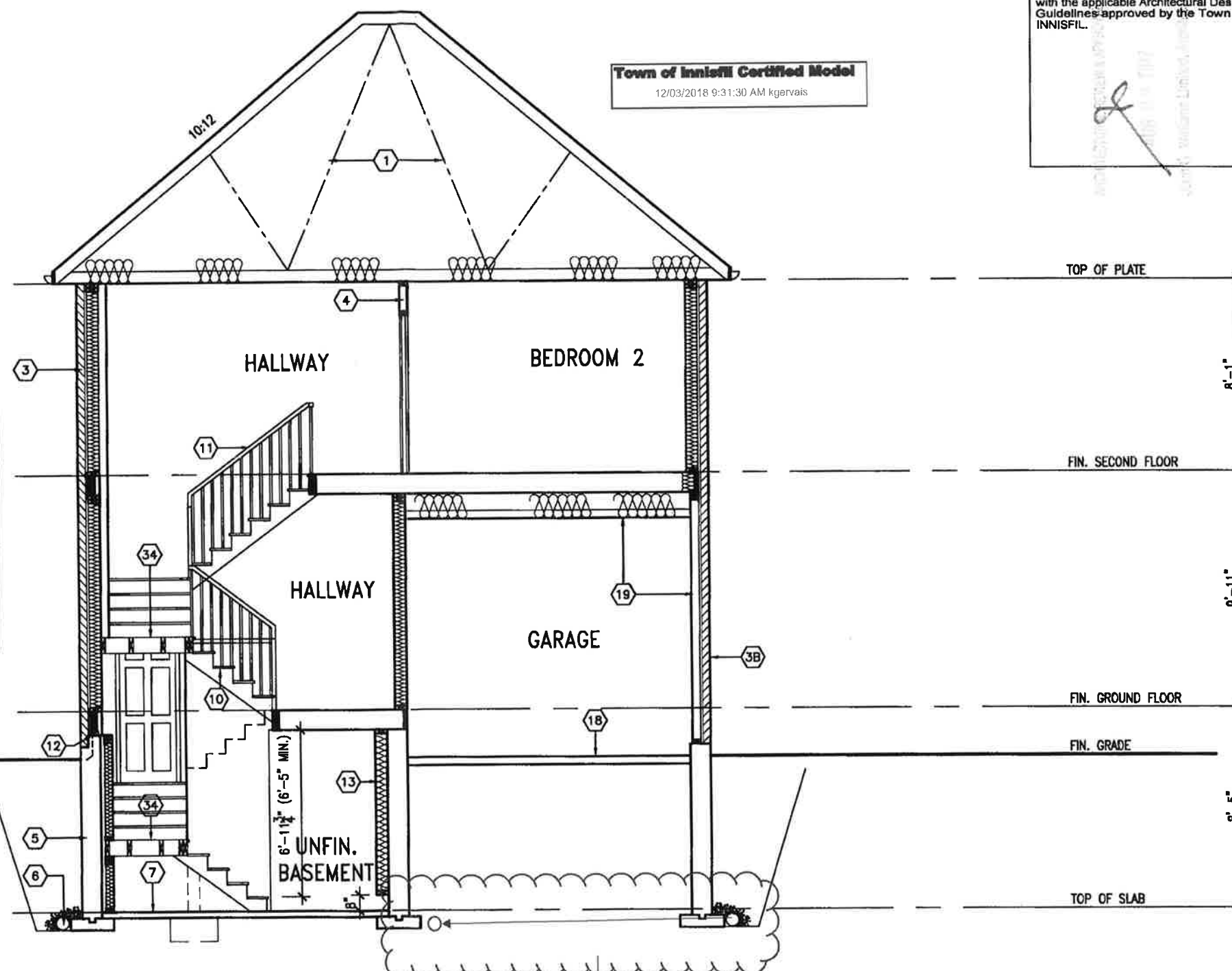
no.	description	date	by
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 A/E	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEP 20-16 DB	
3	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
2	REVISED AS PER CLIENT COMMENTS	JAN 25-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	



PARTIAL BASEMENT PLAN
SUNKEN MUD ROOM 1R



PARTIAL BASEMENT PLAN SUNKEN
MUD ROOM 2R OR MORE



CROSS SECTION 'A-A'
12'0" GARAGE

drainage shall be
provided at the bottom
of every foundation
wall that contains the
building interior.
9.14.2.1.(1)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

[Signature]

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

project name: **ALCONA**
municipality: **INNISFIL, ONTARIO**
project no.: **13049**
drawing no.: **12**

date: **NOV. 2015**
checked by: **3/16" = 1'-0"**
drawn by: **SB**

CROSS SECTION 'A-A'

VA3 DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

no.	description	date	by
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 JAE	
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEPT 20/16 DB	
3	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
2			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL.

12/03/2018 9:33:57 AM kqervais

max 6" step into door.
9.9.6.6.(2)

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
32-1-12 ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	547 S.F.	105.773 S.F.	19.34 %
LEFT SIDE	864 S.F.	62 S.F.	7.18 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	173.667 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2917.00 S.F.	341.44 S.F.	11.71 %
TOTAL SQ. M.	271.00 S.M.	31.72 S.M.	11.71 %
<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
32-1-12 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	557 S.F.	100.389 S.F.	18.02 %
LEFT SIDE	865 S.F.	62 S.F.	7.17 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	173.667 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2928.00 S.F.	336.06 S.F.	11.48 %
TOTAL SQ. M.	272.02 S.M.	31.22 S.M.	11.48 %

FACE BRICK (TYP.)

ASPHALT SHINGLES (TYP.)

2"x6" P.T. CROSS
BRACING (TYP.)

6"X6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 4'-0" BELOW GRADE.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

REAR ELEVATION 'A' ('B' SIMILAR)
10'0" GARAGE

— ELEVATION 'B' ROOF LINE

— ASPHALT SHINGLES
(TYP.)

— PREFIN. ALUM.
R.W.L, FASCIA,
GUTTER & VENTED
SOFFIT (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

— PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

TOP OF SLAB


 A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a signature, the name "A. T. Quaile", and the date "17-08-01".

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BAYVIEW WELLINGTON

S32-1-12G
PELICAN 1-12

project name	project no.
ALCONA	13049
municipality	
INNISFIL, ONTARIO	
date	drawing no.
W.A.D. READ ELEVATION 1' 1" & 2' 0"	



The undersigned has reviewed and takes responsibility for this design and the information herein. I warrant that the design meets the requirements set out in the Ontario Building Code to be a Designer.

signature _____

qualification information _____

Wellington, Ont.-Baptiste & Associates 25591

name _____

registration information _____

VAS Design Inc. _____

ECN 42658

9	.			
8	.			
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC		
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 A/E		
5	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC		
4	REVISED INSULATION AT STAIRS	SEPT 20-16 DB		
3	ADD WOOD AND BEAR UPRIDGE	JUL 22-16 SR		

2	ISSUED FOR CLIENT REVIEW	DATE	BY	DESCRIPTION
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	AF	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2755 f 416.630.4782 vo@design.com				
drawn by checked by scale file name				
SR 3/16" = 1'-0" 13049-532-1-12				
JULY, 2016 W.U.D. NEAR ELEVATION A & D 13049-532-1-12.dwg - Tue - Aug 1 2017 - 12:19 PM RICHARD - K:\WORKING\WORKING\2013\13049 BAY UNITS\3\13049-532-1-12.dwg				

ROOF PLAN A W/ REAR UGRD N.T.S.

Town of Innisfil Certified Model
12/03/2018 9:34:39 AM kgervais

ROOF PLAN B W/ REAR UGRD N.T.S.

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

project no. 13049
drawing no. 15
date NOV. 2015
checked by SB
scale 3/16" = 1'-0"

project name ALCONA
municipality INNISFIL, ONTARIO
drawing no. 13049-S32-1-12
date NOV. 2015
checked by SB
scale 3/16" = 1'-0"

VA3 DESIGN
120
Toronto ON M2J 1R4
1.416.630.2255 f.416.630.4782
va3design.com

The undersigned has prepared and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Info-Boplists 25591
registration information
name VA3 Design Inc.
BCN 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer within 10 business days of completion of the work. Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
7	REVISED AS PER ENG'S COMMENTS	JUL 20-17 RC	
6	REVISED TO 10" FOUNDATION WALLS	DEC 12-16 JAE	
5	REVISED AS PER ENG TROUS LAYOUT	SEP 26-16 RC	
4	REVISED INSULATION AT STAIRS	SEPT 20/16 DB	
3	ADD WID AND REAR UPGRADE	JUL 22-16 SB	
2	REVISED AS PER CLIENT COMMENTS	JAN. 25/16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

VINYL PANEL

BRICK SOLDIER ARCH
W/ PRECAST
KEYSTONE ON BRICK
SOLDIER SURROUND
W 1/2" PROJ. (TYP.)

PRECAST CONC.
SILL W/
ROWLOCK BRICK
SILL

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM.
R.W.L., FASCIA,
GUTTER &
VENTED SOFFIT
(TYP.)

U/S OF SOFFIT

POURED CONC. DOOR
SILL & PRECAST CONC.
STEP

CONT. PRECAST BAND
TOP OF CONT. BRICK
SOLDIER BAND W/
1/2" PROJ.

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM.
R.W.L., FASCIA,
GUTTER & VENTED
SOFFIT (TYP.)

4" ROWLOCK
FACE BRICK (TYP.)

PREFIN. MTL.
FLASHING, W/
CAULKING (TYP.)

BRICK SOLDIER
HEADER W/ PRECAST
KEYSTONE W/ 1/2"
PROJ. (TYP.)

VINYL CLAD STL
FRAME BASEMENT
WINDOW (TYP.)

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS (TYP.)

REAR ELEVATION 'A' UPGRADE 12'0" GARAGE

max 6" step into door.
9.9.6.6.(2)

REAR ELEVATION 'B' UPGRADE 12'0" GARAGE

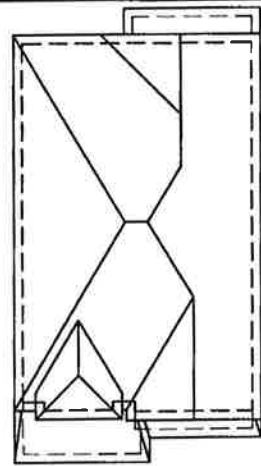
max 6" step into door.
9.9.6.6.(2)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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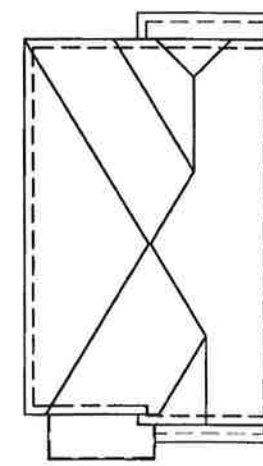
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

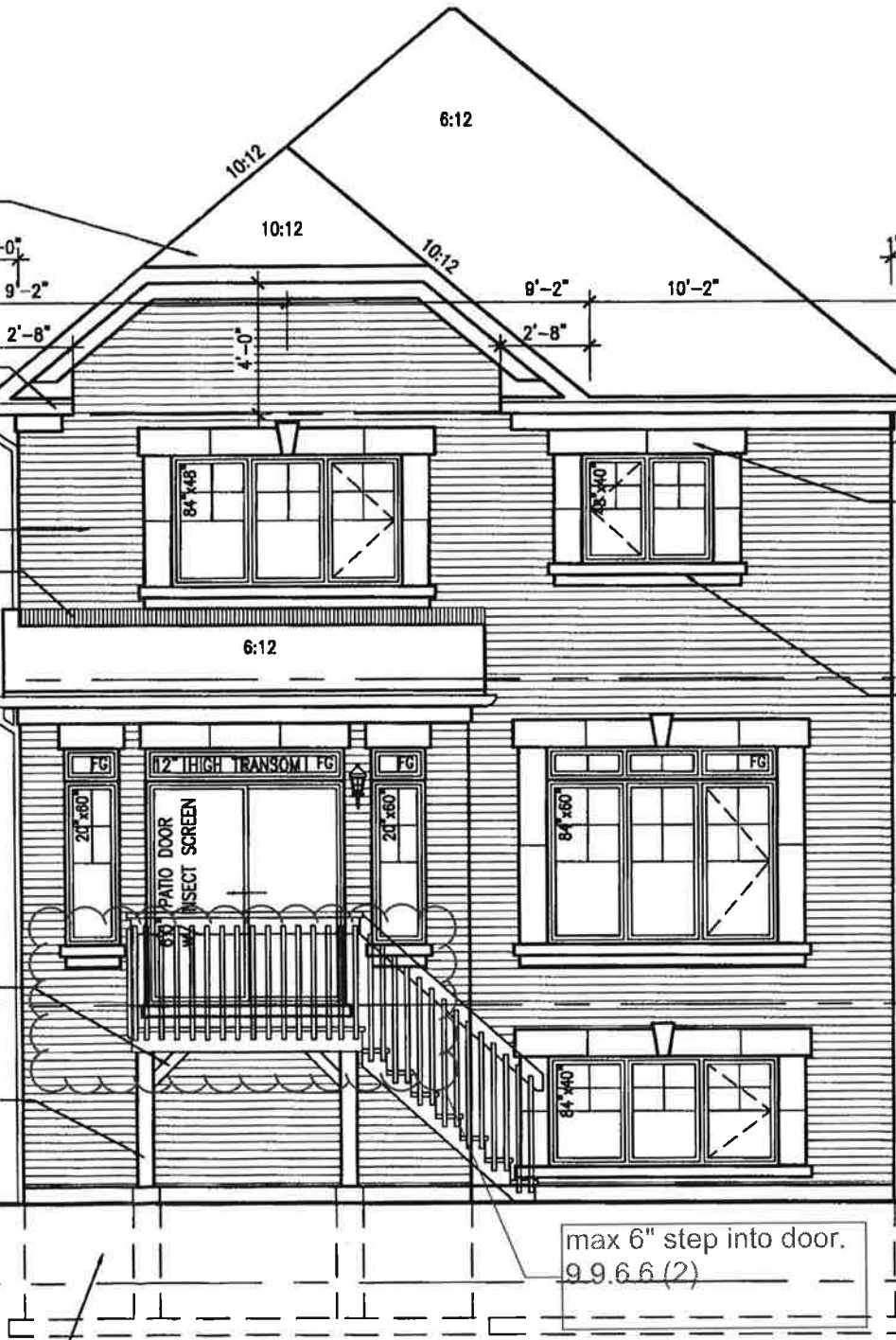
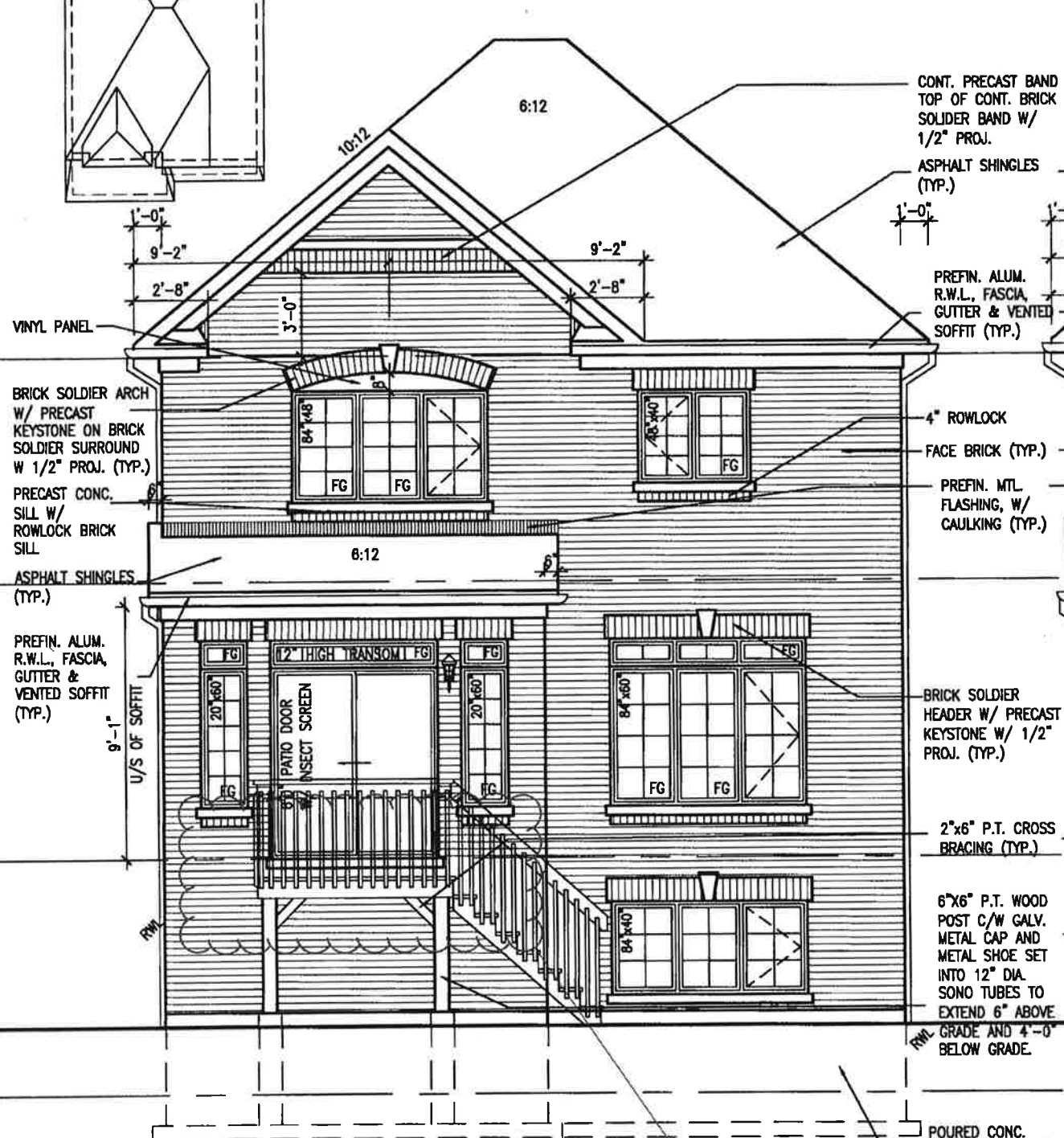


ROOF PLAN A
W/ REAR UGRD
N.T.S.

Town of Innisfil Certified Model
12/03/2018 9:35:10 AM kgervais



ROOF PLAN B
W/ REAR UGRD
N.T.S.



REAR ELEVATION 'A' UPGRADE
12'0" GARAGE 9R WOD

REAR ELEVATION 'B' UPGRADE
12'0" GARAGE 9R WOD

max 6" step into door.
9.9.6.6.(2)

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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12/03/2018 9:35:10 AM
kgervais

S32-1-12G
PELICAN 1-12

BAYVIEW WELLINGTON

project name
ALCONA

project no.
13049

date
NOV. 2015

checked by
SB

scale
3/16" = 1'-0"

drawn by
SB

file name
13049-S32-1-12

drawing no.
16

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

9. REVISED AS PER ENG'S COMMENTS
8. REVISED TO 10" FOUNDATION WALLS
7. REVISED AS PER ENG TRUSS LAYOUT
6. REVISED INSULATION AT STAIRS
5. ADD WOD AND REAR UPGRADE
4. REVISED AS PER CLIENT COMMENTS
3. ISSUED FOR CLIENT REVIEW
2. 1. description

no. description
date



- FOR 11 7/8" JOIST DEPTH**



-
- (2) L 3x3x1/4"
9" LONG FOR W12
10" LONG FOR W14
- (6) 3/4" Ø
A325 BOLTS
- 12" TO 14"
DEEP BEAM
- TYP 1/4"

NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		Engineer's Seal		Project: BAYVIEW WELLINGTON HOMES - ALCOMA PROJECT RIVERFALL, ONTARIO TYPICAL STRUCTURAL DETAILS FOR GARAGES
Date: JUL-04-2017		Project No.: 16-063		
Drawn: SC		Drawing No.: 82		
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-883-8547 E: quaile.engineering@gmail.com Check: JUL-04-2017 Checked: SJB				

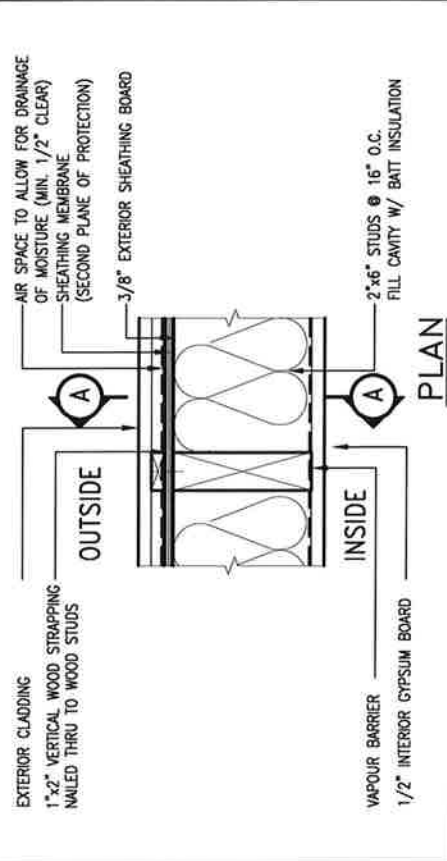
CONSTRUCTION NOTES (Unless otherwise noted)
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

- 1. ROOF CONSTRUCTION**
NO 210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm (2'-0") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (1'-2") BEYOND INNER FACE OF EXTERIOR WALL. LEAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 6:12 OR GREATER. 38x89 (2'x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD, PREFR. ALUM. EAVESTROUGH, FASCIA, RVI, & VENTED SOFFIT, PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING, ROOF SHEATHING TO BE FASTENED 150 (6") C/G ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (14"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.1.1.2.).
- 2. FRAME WALL CONSTRUCTION (2'x4") (SB-12-TABLE 3.1.1.2A)**
SIDING AS PER ELEV., 19x28 (1'x2") VERTICAL WOOD FLOORING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (1'-6") O.C., R31.3B7 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL, FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 2A** RESERVED

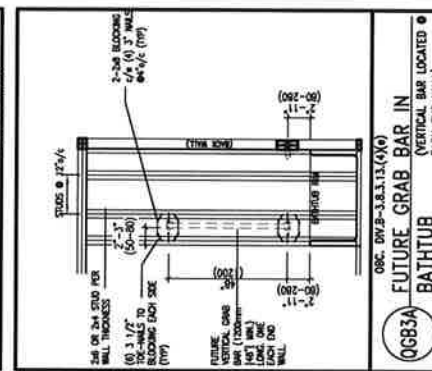
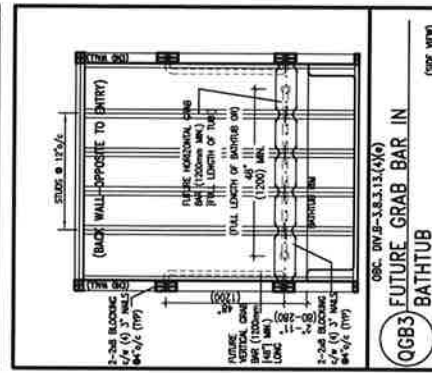
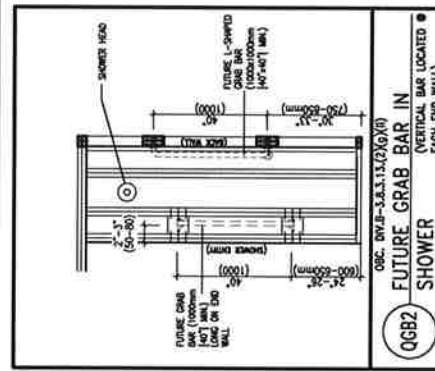
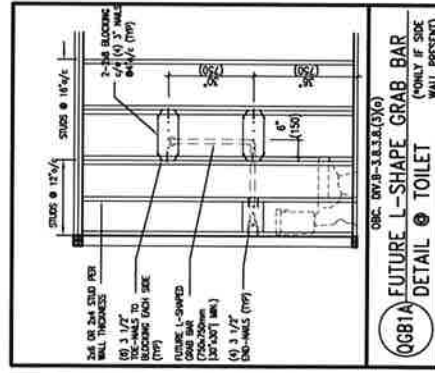
- 2B** **FRAME WALL CONSTRUCTION (2'x4")-GARAGE WALLS**
SIDING AS PER ELEV., 19x28 (1'x2") VERTICAL WOOD FLOORING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (1'-6") O.C. (MAX. HEIGHT 3000mm (9'-10")), WITH APPR. DIAGONAL WALL BRACING, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.
- 2C** RESERVED
- 2D** **STUCCO WALL CONSTRUCTION (2'x4")-GARAGE WALLS**
STUCCO CLADDING SYSTEM CONFORMING TO OBC 9.27.1.1 (2) & 9.28 THAT EMPLOYS A MINIMUM 100mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. AIR/MOISTURE BARRIER OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2'x4") STUDS @ 400 (1'-6") O.C., STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 2E** **WALLS ADJACENT TO ATTIC SPACE - NO CLADDING**
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (1'-6") O.C., R31.3B7 (R22) INSULATION, AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") EXTERIOR DRYWALL OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 3** **BRICK VENEER CONSTRUCTION (2'x6") (SB-12-TABLE 3.1.1.2A)**
90mm (3-1/2") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7'8"x7'-0"x3") GALV. METAL TIES @ 400mm (1'-6") O.C. HORIZONTAL (60mm) EXT. TYPE SHEATHING, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (1'-6") O.C., R31.3B7 (R22) INSULATION, AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") EXTERIOR DRYWALL OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 3A** RESERVED

- 3B** **BRICK VENEER CONSTRUCTION (2'x4")-GARAGE WALLS**
90mm (3-1/2") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7'8"x7'-0"x3") GALV. METAL TIES @ 400mm (1'-6") O.C. HORIZONTAL (60mm) EXT. TYPE SHEATHING, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (1'-6") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING, PROVIDE WEEP HOLES @ 800mm (3'0") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 3C** **STUCCO WALL CONSTRUCTION (2'x6") (SB-12-TABLE 3.1.1.2A)**
STUCCO CLADDING SYSTEM CONFORMING TO OBC 9.27.1.1 (2) & 9.28 THAT EMPLOYS A MINIMUM 100mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2'x6") STUDS @ 400mm (1'-6") O.C., R31.3B7 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 4. INTERIOR STUD PARTITIONS**
FOR BEARING PARTITIONS 38x89 (2'x4") @ 400mm (1'-6") O.C. FOR 2 STOREYS AND 300mm (1'-2") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2'x4") @ 600mm (2'-0") O.C. PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 2/38x89 (2/2'x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2'x6") STUDS/PLATES WHERE NOTED.
- 5. FOUNDATION WALL/FOOTINGS (9.15.3, 9.15.4, 9.13.2, 9.14.2.1 (2))**
250mm (1'-0") POURED CONC. FDN. WALL 20MPa (29000psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER, DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE, DRAINAGE LAYER IS NOT REQ'D. WHEN FDN. WALL IS WATERPROOFED, MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22'x6") CONTINUOUS KEYED CONC. FCG. BRACE FDN. WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.
- 6. FOUNDATION DRAINAGE OBC 9.14.2, & 9.14.3**
100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.
- 7. BASEMENT SLAB OBC 9.3.1.6 (10.6), 9.16.4.5 (1), 9.26.3.3 (15)**
80mm (3-1/8") 25MPa (3650psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa (3000psi) CONC. WITH DAMPROOFING BELOW SLAB, UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.
- 8. EXPOSED SILL & R31.3B7 (R22) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.**
- 9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.1.8)**
RSI 10.36 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM CEILING BOARD OR APPROVED EQUAL, R31.3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

- 10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8- & 9.8.2- & 9.8.3- & 9.8.4- & 9.8.5- & 9.8.6- & 9.8.7- & 9.8.8- & 9.8.9- & 9.8.10- & 9.8.11- & 9.8.12- & 9.8.13- & 9.8.14- & 9.8.15- & 9.8.16- & 9.8.17- & 9.8.18- & 9.8.19- & 9.8.20- & 9.8.21- & 9.8.22- & 9.8.23- & 9.8.24- & 9.8.25- & 9.8.26- & 9.8.27- & 9.8.28- & 9.8.29- & 9.8.30- & 9.8.31- & 9.8.32- & 9.8.33- & 9.8.34- & 9.8.35- & 9.8.36- & 9.8.37- & 9.8.38- & 9.8.39- & 9.8.40- & 9.8.41- & 9.8.42- & 9.8.43- & 9.8.44- & 9.8.45- & 9.8.46- & 9.8.47- & 9.8.48- & 9.8.49- & 9.8.50- & 9.8.51- & 9.8.52- & 9.8.53- & 9.8.54- & 9.8.55- & 9.8.56- & 9.8.57- & 9.8.58- & 9.8.59- & 9.8.60- & 9.8.61- & 9.8.62- & 9.8.63- & 9.8.64- & 9.8.65- & 9.8.66- & 9.8.67- & 9.8.68- & 9.8.69- & 9.8.70- & 9.8.71- & 9.8.72- & 9.8.73- & 9.8.74- & 9.8.75- & 9.8.76- & 9.8.77- & 9.8.78- & 9.8.79- & 9.8.80- & 9.8.81- & 9.8.82- & 9.8.83- & 9.8.84- & 9.8.85- & 9.8.86- & 9.8.87- & 9.8.88- & 9.8.89- & 9.8.90- & 9.8.91- & 9.8.92- & 9.8.93- & 9.8.94- & 9.8.95- & 9.8.96- & 9.8.97- & 9.8.98- & 9.8.99- & 9.8.100- & 9.8.101- & 9.8.102- & 9.8.103- & 9.8.104- & 9.8.105- & 9.8.106- & 9.8.107- & 9.8.108- & 9.8.109- & 9.8.110- & 9.8.111- & 9.8.112- & 9.8.113- & 9.8.114- & 9.8.115- & 9.8.116- & 9.8.117- & 9.8.118- & 9.8.119- & 9.8.120- & 9.8.121- & 9.8.122- & 9.8.123- & 9.8.124- & 9.8.125- & 9.8.126- & 9.8.127- & 9.8.128- & 9.8.129- & 9.8.130- & 9.8.131- & 9.8.132- & 9.8.133- & 9.8.134- & 9.8.135- & 9.8.136- & 9.8.137- & 9.8.138- & 9.8.139- & 9.8.140- & 9.8.141- & 9.8.142- & 9.8.143- & 9.8.144- & 9.8.145- & 9.8.146- & 9.8.147- & 9.8.148- & 9.8.149- & 9.8.150- & 9.8.151- & 9.8.152- & 9.8.153- & 9.8.154- & 9.8.155- & 9.8.156- & 9.8.157- & 9.8.158- & 9.8.159- & 9.8.160- & 9.8.161- & 9.8.162- & 9.8.163- & 9.8.164- & 9.8.165- & 9.8.166- & 9.8.167- & 9.8.168- & 9.8.169- & 9.8.170- & 9.8.171- & 9.8.172- & 9.8.173- & 9.8.174- & 9.8.175- & 9.8.176- & 9.8.177- & 9.8.178- & 9.8.179- & 9.8.180- & 9.8.181- & 9.8.182- & 9.8.183- & 9.8.184- & 9.8.185- & 9.8.186- & 9.8.187- & 9.8.188- & 9.8.189- & 9.8.190- & 9.8.191- & 9.8.192- & 9.8.193- & 9.8.194- & 9.8.195- & 9.8.196- & 9.8.197- & 9.8.198- & 9.8.199- & 9.8.200- & 9.8.201- & 9.8.202- & 9.8.203- & 9.8.204- & 9.8.205- & 9.8.206- & 9.8.207- & 9.8.208- & 9.8.209- & 9.8.210- & 9.8.211- & 9.8.212- & 9.8.213- & 9.8.214- & 9.8.215- & 9.8.216- & 9.8.217- & 9.8.218- & 9.8.219- & 9.8.220- & 9.8.221- & 9.8.222- & 9.8.223- & 9.8.224- & 9.8.225- & 9.8.226- & 9.8.227- & 9.8.228- & 9.8.229- & 9.8.230- & 9.8.231- & 9.8.232- & 9.8.233- & 9.8.234- & 9.8.235- & 9.8.236- & 9.8.237- & 9.8.238- & 9.8.239- & 9.8.240- & 9.8.241- & 9.8.242- & 9.8.243- & 9.8.244- & 9.8.245- & 9.8.246- & 9.8.247- & 9.8.248- & 9.8.249- & 9.8.250- & 9.8.251- & 9.8.252- & 9.8.253- & 9.8.254- & 9.8.255- & 9.8.256- & 9.8.257- & 9.8.258- & 9.8.259- & 9.8.260- & 9.8.261- & 9.8.262- & 9.8.263- & 9.8.264- & 9.8.265- & 9.8.266- & 9.8.267- & 9.8.268- & 9.8.269- & 9.8.270- & 9.8.271- & 9.8.272- & 9.8.273- & 9.8.274- & 9.8.275- & 9.8.276- & 9.8.277- & 9.8.278- & 9.8.279- & 9.8.280- & 9.8.281- & 9.8.282- & 9.8.283- & 9.8.284- & 9.8.285- & 9.8.286- & 9.8.287- & 9.8.288- & 9.8.289- & 9.8.290- & 9.8.291- & 9.8.292- & 9.8.293- & 9.8.294- & 9.8.295- & 9.8.296- & 9.8.297- & 9.8.298- & 9.8.299- & 9.8.300- & 9.8.301- & 9.8.302- & 9.8.303- & 9.8.304- & 9.8.305- & 9.8.306- & 9.8.307- & 9.8.308- & 9.8.309- & 9.8.310- & 9.8.311- & 9.8.312- & 9.8.313- & 9.8.314- & 9.8.315- & 9.8.316- & 9.8.317- & 9.8.318- & 9.8.319- & 9.8.320- & 9.8.321- & 9.8.322- & 9.8.323- & 9.8.324- & 9.8.325- & 9.8.326- & 9.8.327- & 9.8.328- & 9.8.329- & 9.8.330- & 9.8.331- & 9.8.332- & 9.8.333- & 9.8.334- & 9.8.335- & 9.8.336- & 9.8.337- & 9.8.338- & 9.8.339- & 9.8.340- & 9.8.341- & 9.8.342- & 9.8.343- & 9.8.344- & 9.8.345- & 9.8.346- & 9.8.347- & 9.8.348- & 9.8.349- & 9.8.350- & 9.8.351- & 9.8.352- & 9.8.353- & 9.8.354- & 9.8.355- & 9.8.356- & 9.8.357- & 9.8.358- & 9.8.359- & 9.8.360- & 9.8.361- & 9.8.362- & 9.8.363- & 9.8.364- & 9.8.365- & 9.8.366- & 9.8.367- & 9.8.368- & 9.8.369- & 9.8.370- & 9.8.371- & 9.8.372- & 9.8.373- & 9.8.374- & 9.8.375- & 9.8.376- & 9.8.377- & 9.8.378- & 9.8.379- & 9.8.380- & 9.8.381- & 9.8.382- & 9.8.383- & 9.8.384- & 9.8.385- & 9.8.386- & 9.8.387- & 9.8.388- & 9.8.389- & 9.8.390- & 9.8.391- & 9.8.392- & 9.8.393- & 9.8.394- & 9.8.395- & 9.8.396- & 9.8.397- & 9.8.398- & 9.8.399- & 9.8.400- & 9.8.401- & 9.8.402- & 9.8.403- & 9.8.404- & 9.8.405- & 9.8.406- & 9.8.407- & 9.8.408- & 9.8.409- & 9.8.410- & 9.8.411- & 9.8.412- & 9.8.413- & 9.8.414- & 9.8.415- & 9.8.416- & 9.8.417- & 9.8.418- & 9.8.419- & 9.8.420- & 9.8.421- & 9.8.422- & 9.8.423- & 9.8.424- & 9.8.425- & 9.8.426- & 9.8.427- & 9.8.428- & 9.8.429- & 9.8.430- & 9.8.431- & 9.8.432- & 9.8.433- & 9.8.434- & 9.8.435- & 9.8.436- & 9.8.437- & 9.8.438- & 9.8.439- & 9.8.440- & 9.8.441- & 9.8.442- & 9.8.443- & 9.8.444- & 9.8.445- & 9.8.446- & 9.8.447- & 9.8.448- & 9.8.449- & 9.8.450- & 9.8.451- & 9.8.452- & 9.8.453- & 9.8.454- & 9.8.455- & 9.8.456- & 9.8.457- & 9.8.458- & 9.8.459- & 9.8.460- & 9.8.461- & 9.8.462- & 9.8.463- & 9.8.464- & 9.8.465- & 9.8.466- & 9.8.467- & 9.8.468- & 9.8.469- & 9.8.470- & 9.8.471- & 9.8.472- & 9.8.473- & 9.8.474- & 9.8.475- & 9.8.476- & 9.8.477- & 9.8.478- & 9.8.479- & 9.8.480- & 9.8.481- & 9.8.482- & 9.8.483- & 9.8.484- & 9.8.485- & 9.8.486- & 9.8.487- & 9.8.488- & 9.8.489- & 9.8.490- & 9.8.491- & 9.8.492- & 9.8.493- & 9.8.494- & 9.8.495- & 9.8.496- & 9.8.497- & 9.8.498- & 9.8.499- & 9.8.500- & 9.8.501- & 9.8.502- & 9.8.503- & 9.8.504- & 9.8.505- & 9.8.506- & 9.8.507- & 9.8.508- & 9.8.509- & 9.8.510- & 9.8.511- & 9.8.512- & 9.8.513- & 9.8.514- & 9.8.515- & 9.8.516- & 9.8.517- & 9.8.518- & 9.8.519- & 9.8.520- & 9.8.521- & 9.8.522- & 9.8.523- & 9.8.524- & 9.8.525- & 9.8.526- & 9.8.527- & 9.8.528- & 9.8.529- & 9.8.530- & 9.8.531- & 9.8.532- & 9.8.533- & 9.8.534- & 9.8.535- & 9.8.536- & 9.8.537- & 9.8.538- & 9.8.539- & 9.8.540- & 9.8.541- & 9.8.542- & 9.8.543- & 9.8.544- & 9.8.545- & 9.8.546- & 9.8.547- & 9.8.548- & 9.8.549- & 9.8.550- & 9.8.551- & 9.8.552- & 9.8.553- & 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9.8.645- & 9.8.646- & 9.8.647- & 9.8.648- & 9.8.649- & 9.8.650- & 9.8.651- & 9.8.652- & 9.8.653- & 9.8.654- & 9.8.655- & 9.8.656- & 9.8.657- & 9.8.658- & 9.8.659- & 9.8.660- & 9.8.661- & 9.8.662- & 9.8.663- & 9.8.664- & 9.8.665- & 9.8.666- & 9.8.667- & 9.8.668- & 9.8.669- & 9.8.670- & 9.8.671- & 9.8.672- & 9.8.673- & 9.8.674- & 9.8.675- & 9.8.676- & 9.8.677- & 9.8.678- & 9.8.679- & 9.8.680- & 9.8.681- & 9.8.682- & 9.8.683- & 9.8.684- & 9.8.685- & 9.8.686- & 9.8.687- & 9.8.688- & 9.8.689- & 9.8.690- & 9.8.691- & 9.8.692- & 9.8.693- & 9.8.694- & 9.8.695- & 9.8.696- & 9.8.697- & 9.8.698- & 9.8.699- & 9.8.700- & 9.8.701- & 9.8.702- & 9.8.703- & 9.8.704- & 9.8.705- & 9.8.706- & 9.8.707- & 9.8.708- & 9.8.709- & 9.8.710- & 9.8.711- & 9.8.712- & 9.8.713- & 9.8.714- & 9.8.715- & 9.8.716- & 9.8.717- & 9.8.718- & 9.8.719- & 9.8.720- & 9.8.721- & 9.8.722- & 9.8.723- & 9.8.724- & 9.8.725- & 9.8.726- & 9.8.727- & 9.8.728- & 9.8.729- & 9.8.730- & 9.8.731- & 9.8.732- & 9.8.733- & 9.8.734- & 9.8.735- & 9.8.736- & 9.8.737- & 9.8.738- & 9.8.739- & 9.8.740- & 9.8.741- & 9.8.742- & 9.8.743- & 9.8.744- & 9.8.745- & 9.8.746- & 9.8.747- & 9.8.748- & 9.8.749- & 9.8.750- & 9.8.751- & 9.8.752- & 9.8.753- & 9.8.754- & 9.8.755- & 9.8.756- & 9.8.757- & 9.8.758- & 9.8.759- & 9.8.760- & 9.8.761- & 9.8.762- & 9.8.763- & 9.8.764- & 9.8.765- & 9.8.766- & 9.8.767- & 9.8.768- & 9.8.769- & 9.8.770- & 9.8.771- & 9.8.772- & 9.8.773- & 9.8.774- & 9.8.775- & 9.8.776- & 9.8.777- & 9.8.778- &**



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO OBC. DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.11.(2)(g). & BATHTUB 3.8.3.13.(4)(c). AND DETAILS PROVIDED BELOW.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:

2"x4" @ 16" O.C.	9'-10"
2-2"x4" @ 12" O.C.	10'-9"
3-2"x4" @ 16" O.C.	11'-2"
3-2"x4" @ 12" O.C.	12'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
4. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
5. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.
- 6.

**** MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:**

2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1(2)
6. FOR A 1/50 YEAR RESISTANCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

9	-				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-				
7	-				qualification information
6	-				
5	-				name
4	-				registration information
3	-				BON VAG Design Inc. signature Wellington Jno-Baptiste 25591 42658
2	UPDATE TO CBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be signed by the Contractor at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no,	description	date	by		

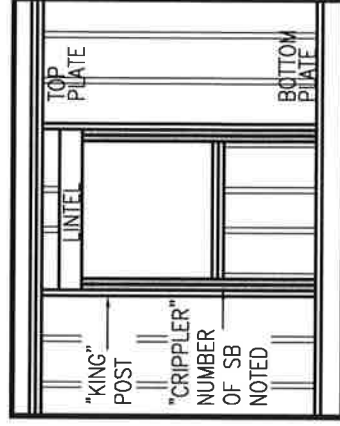
All drawings specifications, related documents and de

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KC15-K16-NOTTE-2070-09en

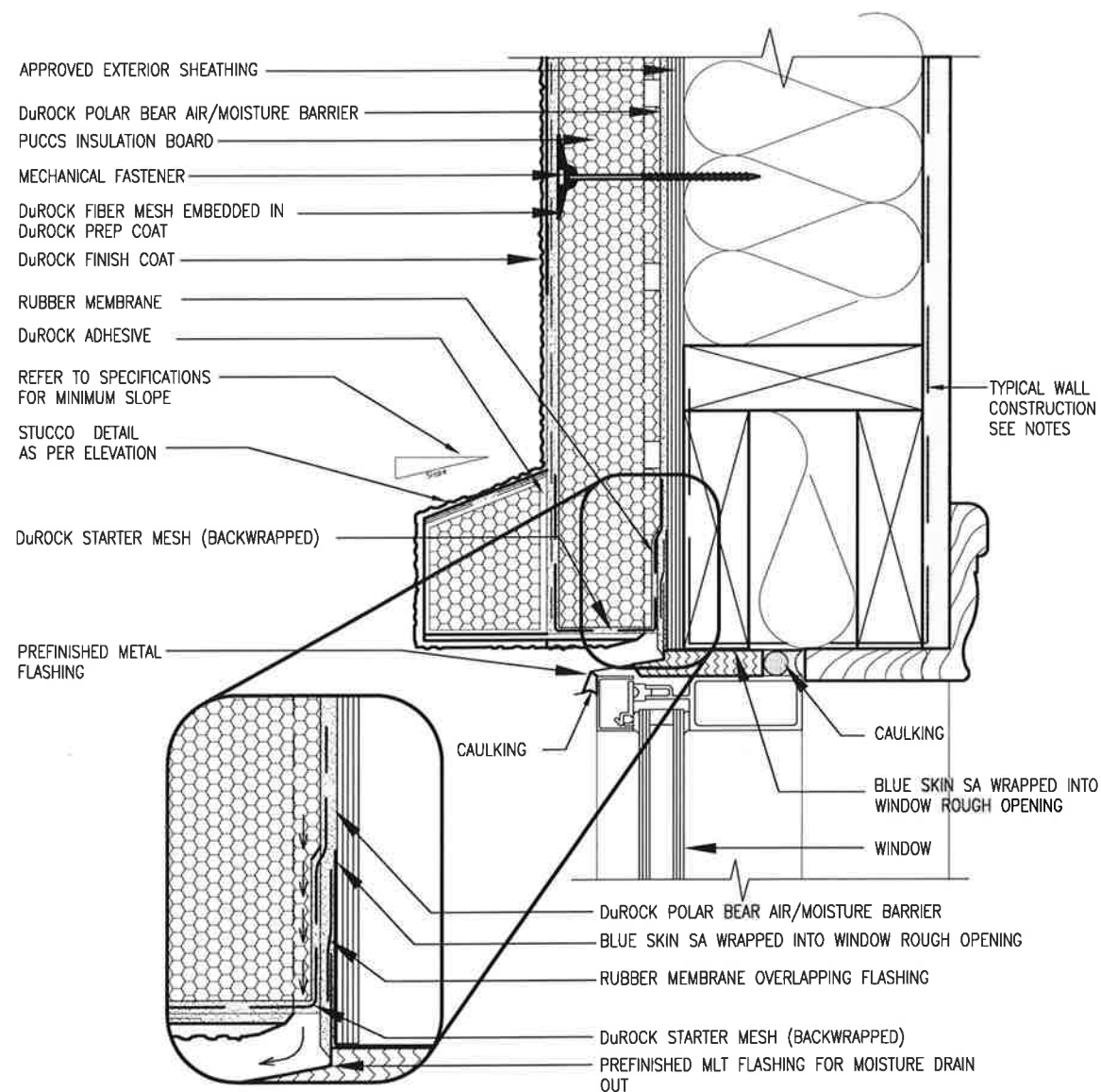


"CRIPPLE" DETAIL



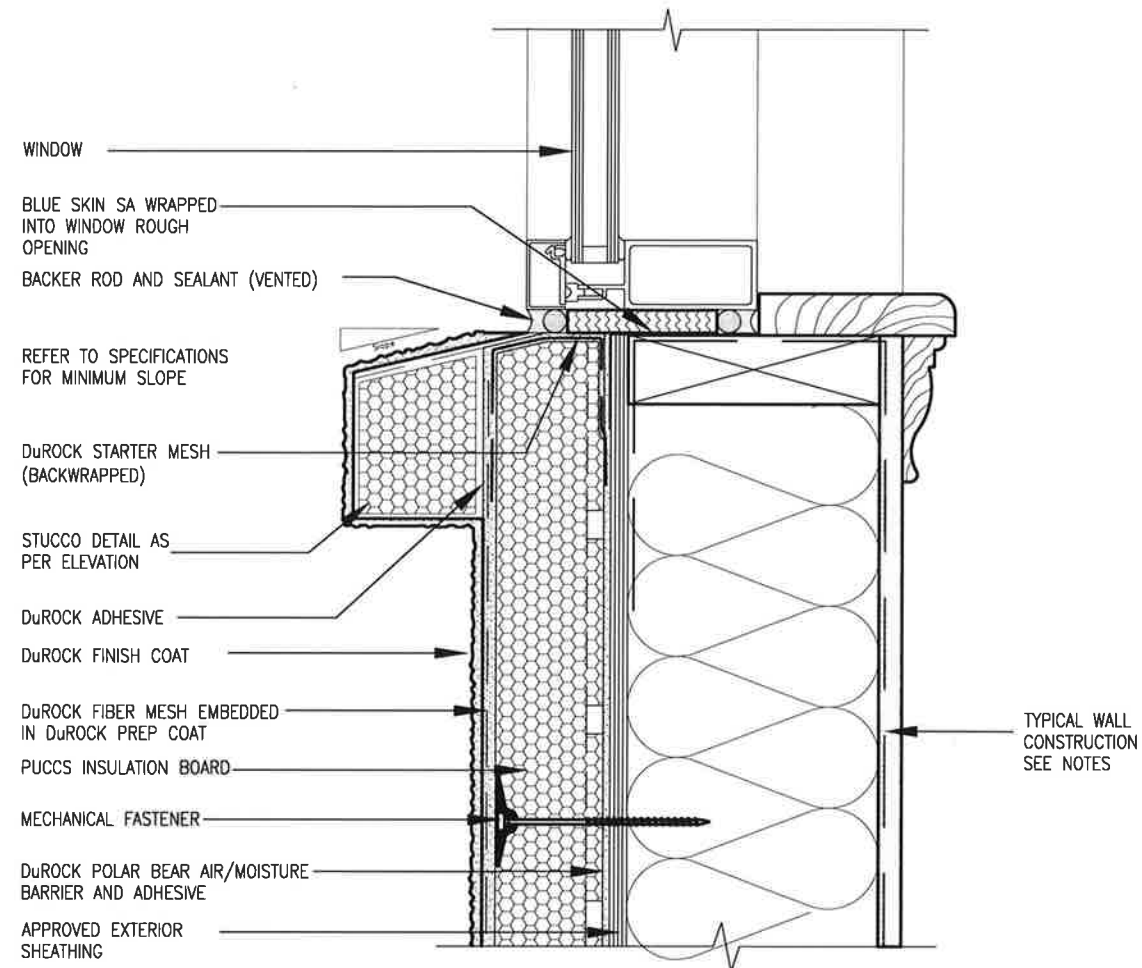
FEB 9, 2021

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFILON.
drawn by RC	check by -
date MAY 2016	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
PROJECT - H:\ARCHIVE\WORKING\200\A1\13049-BAYVIEW\CN_A1\13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17AM	
project no. 13049	drawing no. CN2



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

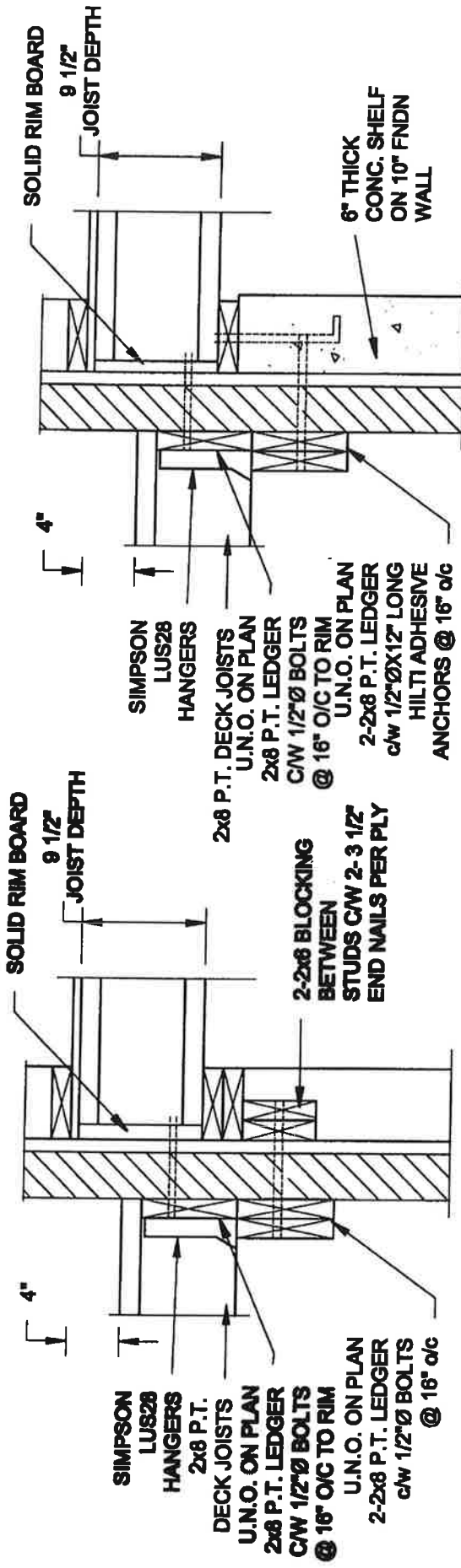
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

CONST NOTE			
BAYVIEW WELLINGTON		INNSITILON.	
project name	ALCONA	project no.	13049
date	MAY 2016	drawing no.	CN3
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	13049-CN-A1-VER 2020
CONSTRUCTION NOTES			
13049-CN-A1-VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM			
RC-PRD - H:\ARCHIVE\WORKING\2021\13049 BAYVIEW CN Notes\13049-CN-A1-VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM			
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255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptista 25591 BCIN 42658			
name Wellington Jno-Baptista registration information VA3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. 2. UPDATE TO OBC VER 2020 FEB 09-21 RC 1. ISSUE FOR CLIENT REVIEW AUG 04-17 RC			
no.	description	date	by

FOR 9 1/2" JOIST DEPTH

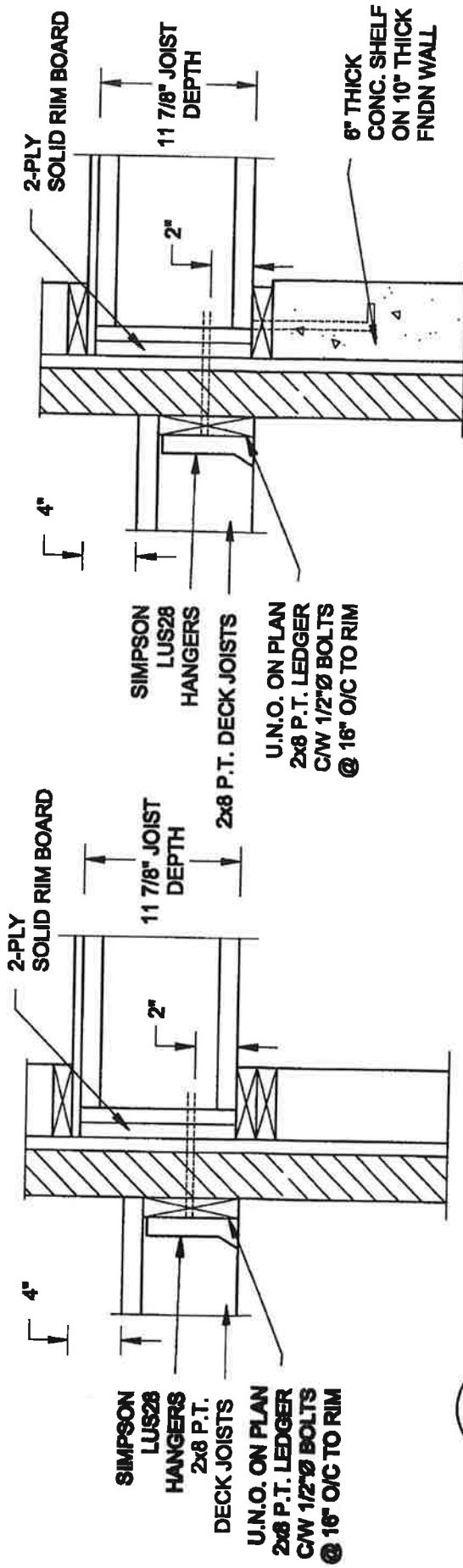


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

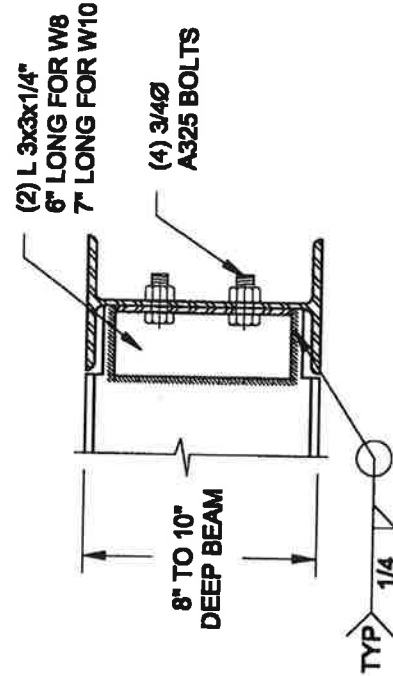
FOR 11 7/8" JOIST DEPTH



2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

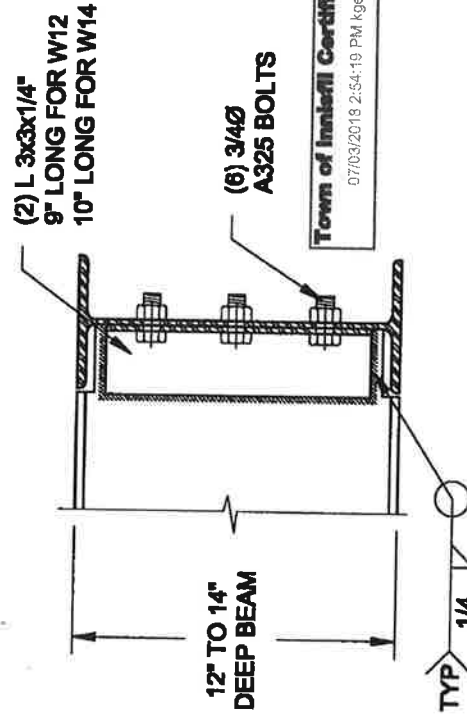
2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x58) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



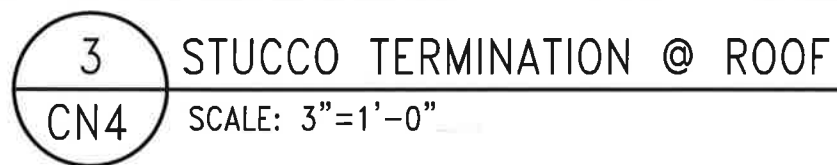
NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.



QUAILE ENGINEERING LTD.



Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
Project Location: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
Project Name: TYPICAL STRUCTURAL DETAILS FOR SINGLES
Project No.: 16-063
Drawing No.: 52



2 1/2" THICK PUCCS INSULATION BOARD

DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT

DUROCK FINISH COAT

MECHANICAL FASTENER

DUROCK STARTER MESH (BACKWRAPPED)

FIBRE MESH TAPE AT JOINT

BACKER ROD AND SEALANT (VENTED)

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK "POLAR BEAR" AIR/MOISTURE BARRIER/ADHESIVE

FIBRE MESH TAPE AT JOINT

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK POLAR BEAR AIR/MOISTURE BARRIER/ADHESIVE

PUCCS INSULATION BOARD

APPROVED EXTERIOR SHEATHING

4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	*				The undersigned has reviewed and takes responsibility for this design.
8	*				I hereby certify that the design meets the requirements set out in the Ontario Building Code to be a Designer.
7	*				qualification information
6	*				
5	*				Wellington Jno-Baptiste 25391 name
4	*				registration information BCIN signature
3	*				VAS Design Inc. 42658
2	UPDATE TO CBC VER 2020	FEB 09-21 RC			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC			
no.	description	date	by		

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project name ALCONA		municipality INNISFALCON,		project no. 13049	
date MAY 2016		checked by —		drawing no. CN4	
drawn by RC		scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020	
R02-RR02 - H:\AEC-WET\WORKING\2021\13049 INNSFALCON\Notes\13049-CN-A1 VER 2020.dwg -- Tue - Feb 9 2021 -- 11:11 AM					

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6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

9.						The undersigned has reviewed and takes responsibility for this design and construction documents and certifies that it meets the requirements set out in the Ontario Building Code to be a Designer
8.	-	-	-	-	-	qualification information
7.	-	-	-	-	-	
6.	-	-	-	-	-	Wellington Jno-Baptiste 25591 BCN
5.	-	-	-	-	-	name registration information
4.	-	-	-	-	-	VA3 Design Inc. 42658
3.	-	-	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner's responsibility. Drawings are not to be sealed.
2.	UPDATE TO CBC VER 2020	FEB 09-21 RC				
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC				
no.	description	date	by			

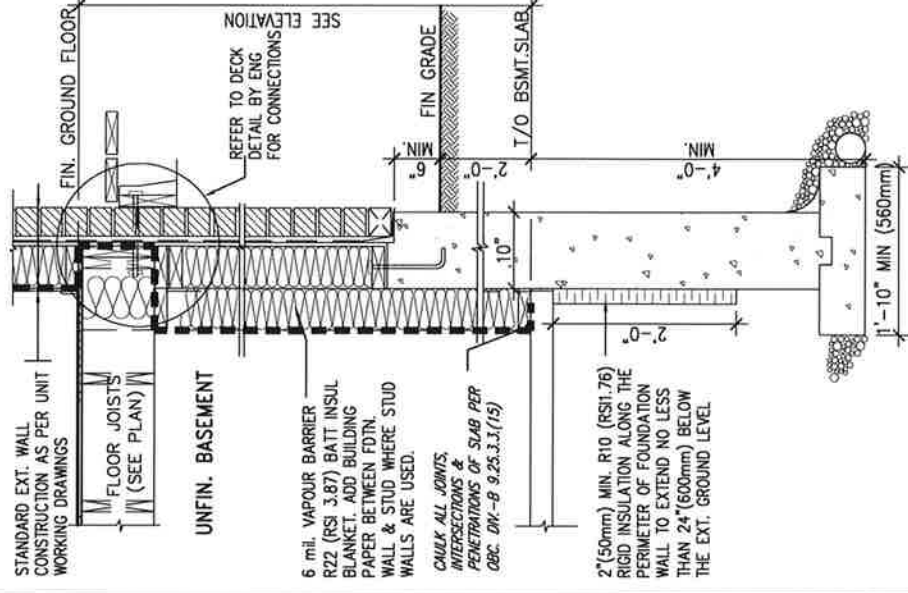


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BAYVIEW WELLINGTON		CONST NOTE	
project name	municipality	project no.	
ALCONA	INNISFIL, ON.	13049	
date MAY 2016	CONSTRUCTION NOTES		drawing no.
drawn by RC	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020	CN5
checked by -			

BOC4046 - H:\BCH\BCHIVE\WORKING\2013\13049 BAYVIEW\CON Notes\13049-CN-A1 VER 2020.dwg Tue Feb 9 2021 11:17 AM

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

9	*				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*				
7	*				qualification information
6	*				Wellingtton Jno-Baptiste 25591
5	*				name registration information BCIN
4	*				VAS Design Inc. 42658
3	*				
2	UPDATE TO OBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All approvals are instruments of service and the property of the Designer which must be returned at completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		Drawings are not to be sealed.
no.	description	date	by		

									The undersigned has reviewed and takes responsibility for this design
9	*	-	-	-	-	-	-	-	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*	-	-	-	-	-	-	-	
7	*	-	-	-	-	-	-	-	
6	*	-	-	-	-	-	-	-	qualification information
5	*	-	-	-	-	-	-	-	
4	*	-	-	-	-	-	-	-	Wellingtton Jno-Baptiste 25591
3	*	-	-	-	-	-	-	-	<i>J Baptiste</i> signature BCCN
									VAS Design Inc. 42658
2	*UPDATE TO OBC VER 2020	FEB 09-21	RC						Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All approvals are instruments of service and the property of the Designer which must be returned at completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						Drawings are not to be sealed.
no,	description	date	by						

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BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	project no. 13049
municipality INNISFIL ON.	drawing no. CN6
date MAY 2016	CONSTRUCTION NOTES
drew by RC	file name 13049-CN-A1 VER 2020
checked by —	scale 3/16" = 1'-0"
PC=ARJ — H:\ARCHIVES\WORKSPACE\2016\TMS-BAYWELL\STATION_Memo\13049-CN-A1_VER_2020.dwg Title = Feb. 9, 2023 11:13 AM	

CONST NOTE

BAYVIEW WELLINGTON

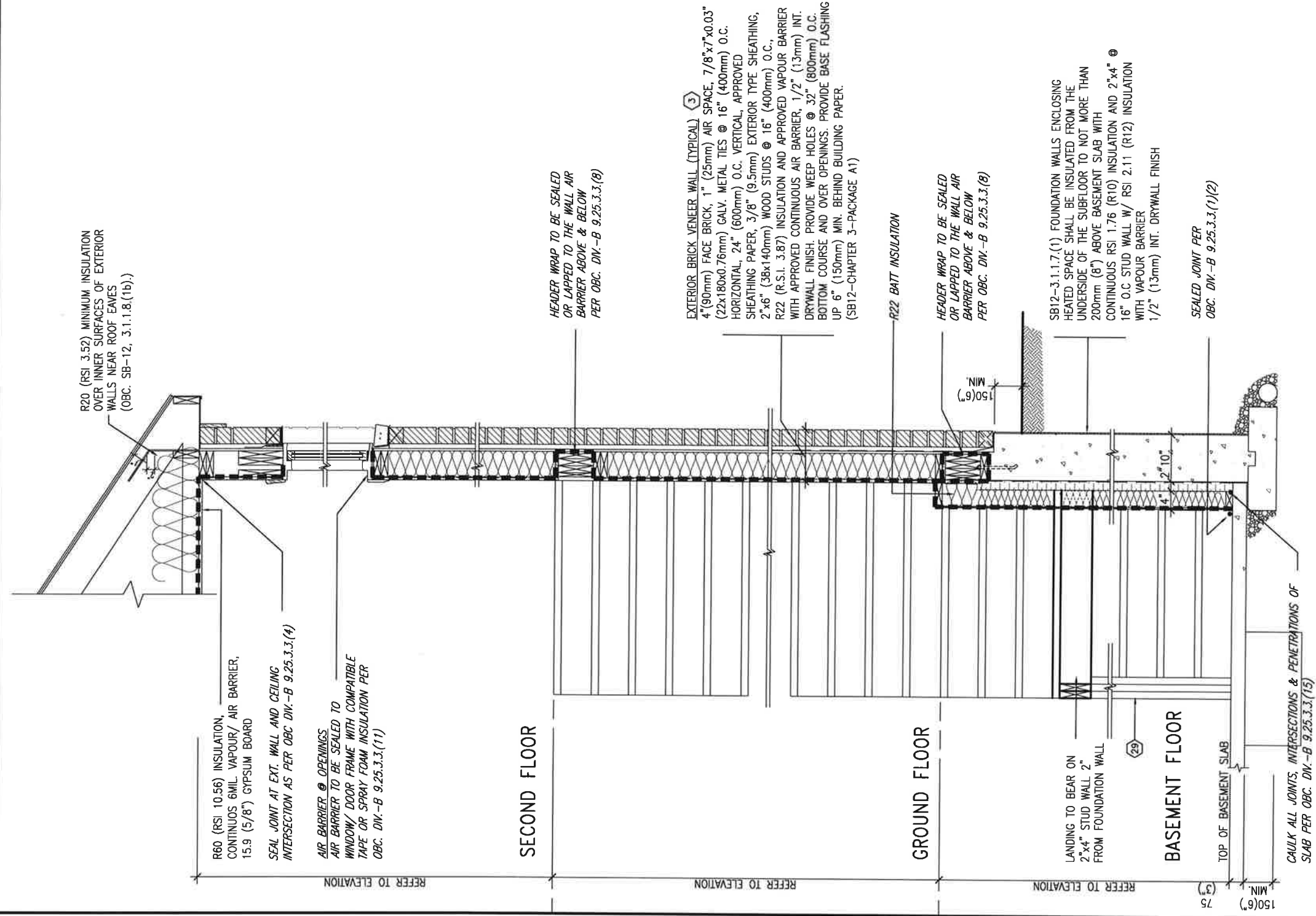
NO 113
municipality

	municipality	FILON.	CONSTRUCTION NOTES
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CN6

file name
13049-CN-A1 VER 2020
- Tue - Feb 9 2021 - 1:18 AM

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9	-		-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-		-	
7	-		-	qualification information
6	-		-	Wellington Jno-Baptiste 25591
5	-		-	registration information
4	-		-	signature
3	-		-	VAS Design Inc. BCN 42658
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property drawings are not to be used without written consent of the Designer. Drawings are not to be used for completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

[illegible]

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COMPLIANCE TO UBC SB-12 2.1.1.1(11)

The diagram shows a floor plan with a door on the left and a window on the right. A path is indicated by a line with arrows at both ends. The path starts at the door, goes right, then up, then right again. A 'W' is labeled on the first horizontal segment. Two 'X' marks are placed on the second horizontal segment. The path ends at the window. The diagram is labeled 'COMPLIANCE TO UBC SB-12 2.1.1.1(11)'.

WOB PLAN



FEB 9, 2021

FINISHED SECOND FLOOR

FINISHED GROUND FLOOR

FINISHED FLOOR

U/S OF FLOOR JOIST

FINISHED BASEMENT FLOOR

FINISHED GRADE

MID-POINT OF BASEMENT HEIGHT 'B'

WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A



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CONST NOTE

BAYVIEW WELLINGTON

project name	project no.
ALCONA	13049
municipality	
INNISFIL ON.	

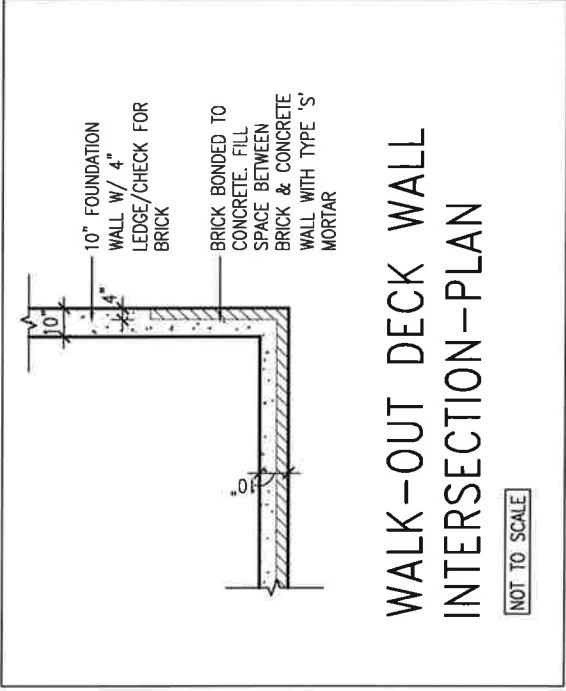
[illegible]

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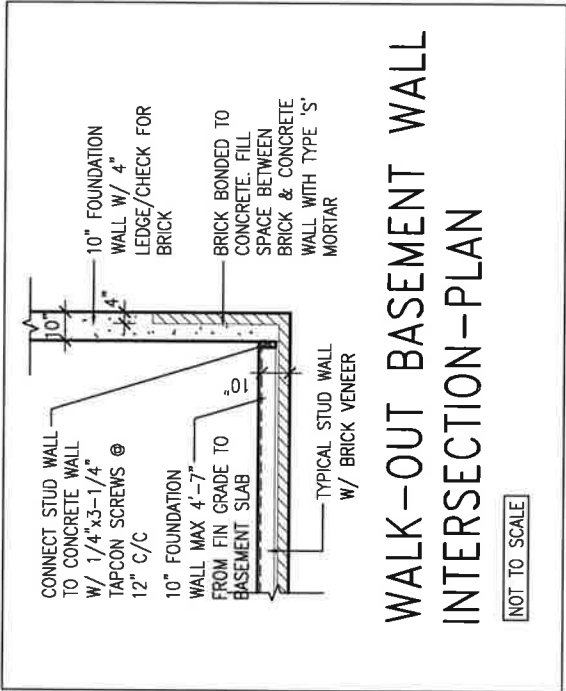
FEB 9, 2021

[illegible]



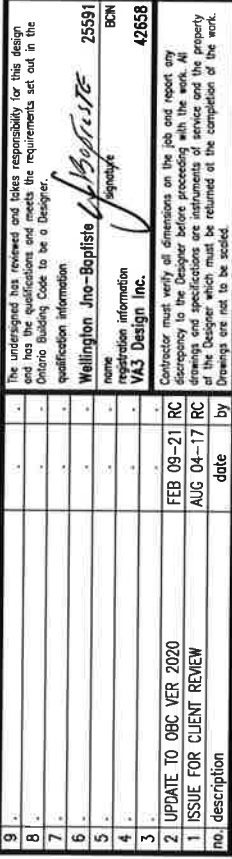
WALK-OUT DECK WALL INTERSECTION-ELEVATION

NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE

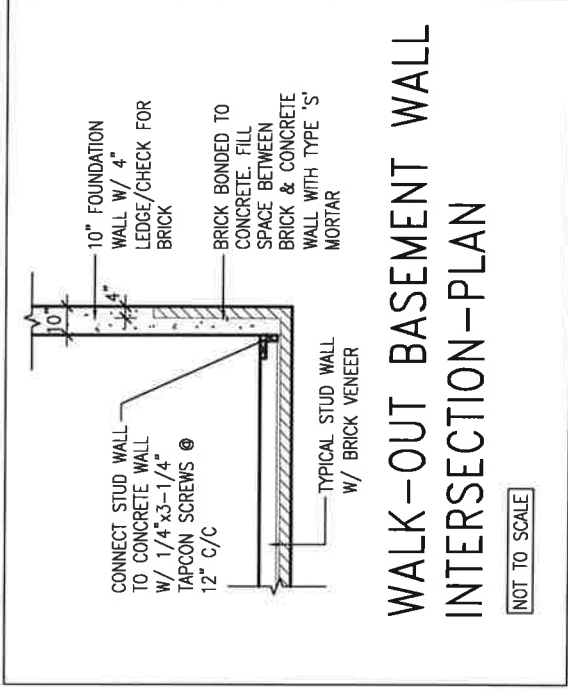


2	UPDATE TO OBC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description		date	by

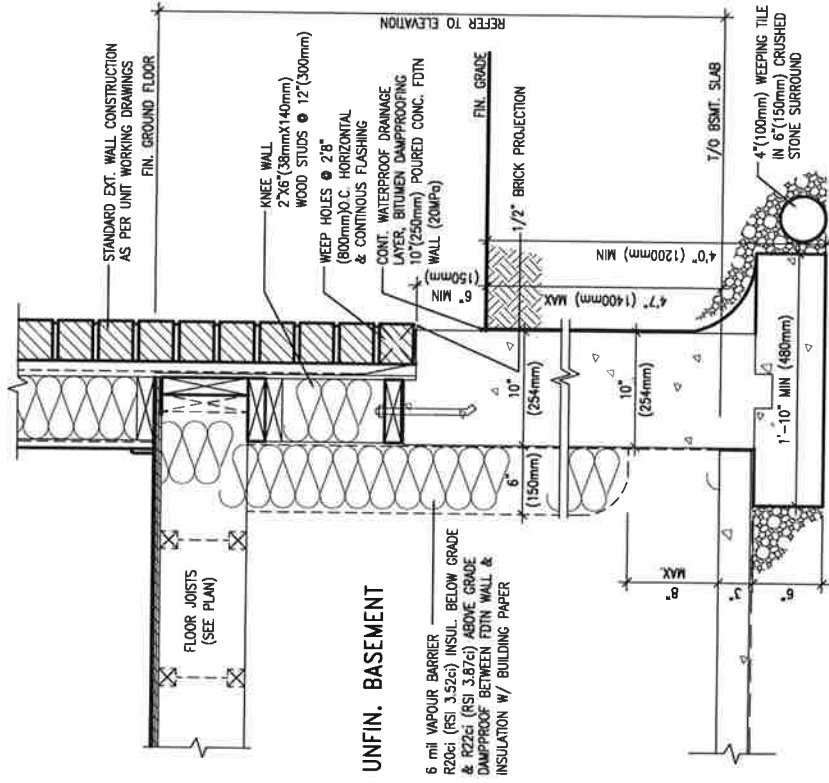


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BAYVIEW WELLINGTON		CONST NOTE
project name ALCONA	municipality INNISFIL ON.	project no. 13049
date MAY 2016	drawing no. CN10	
drawn by RC	checked by scale 3/16" = 1'-0"	
construction notes 13049-CN-A1 VER 2020		



(10" FOUNDATION WALL)



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE



		-	-	-	The undersigned has reviewed and takes responsibility for this design and has the seal and signature of a registered Professional Engineer.
9	*	-	-	-	This design meets the requirements set out in the Ontario Building Code to be a Designer.
8	*	-	-	-	qualification information
7	*	-	-	-	
6	*	-	-	-	
5	*	-	-	-	name Wellington Jno-Baptiste
4	*	-	-	-	registration information BCON
3	*	-	-	-	VAS Design Inc. 42658
2	UPDATE TO OBC VER 2020	FEB 09-21 RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC			
no.	description	date	by		

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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL-ON.
date	MAY 2016	project	13049
drawn by	RC	checked by	-
scale	3/16" = 1'-0"	CONSTRUCTION NOTES	drawing no
		the name	13049-CN-A1 VER 2020

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