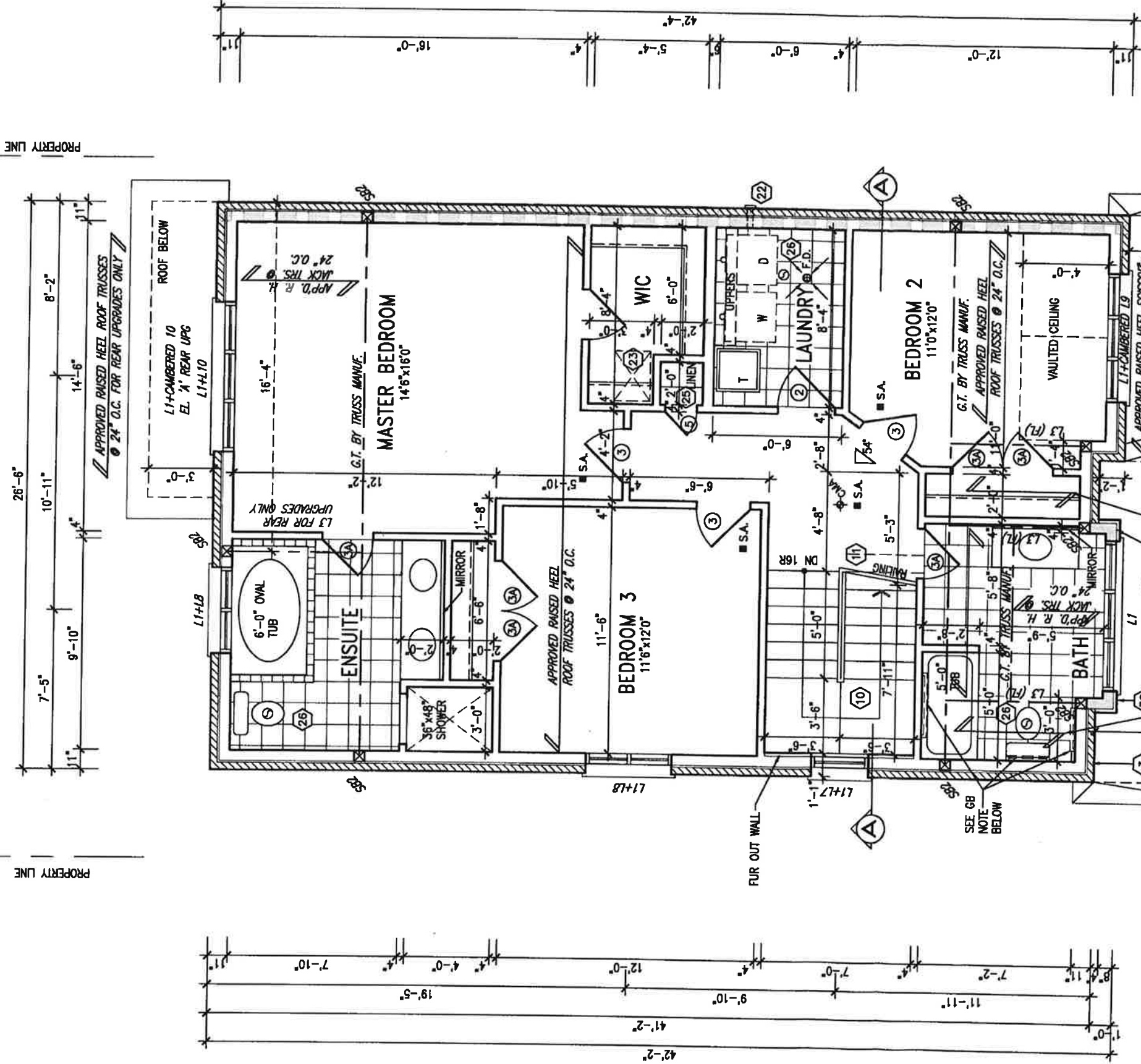


PROPERTY LINE

PROPERTY LINE



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

Town of Innisfil Certified Model
04/01/2018 10:01:15 AM kgervais

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
REFER TO CBC. 9.5.2.3
I.B.3.8.(3)(c), I.B.3.8.(3)(e), I.B.3.13.(2)(i) & I.B.3.13.(4)(e), AND DETAILS PROVIDED.

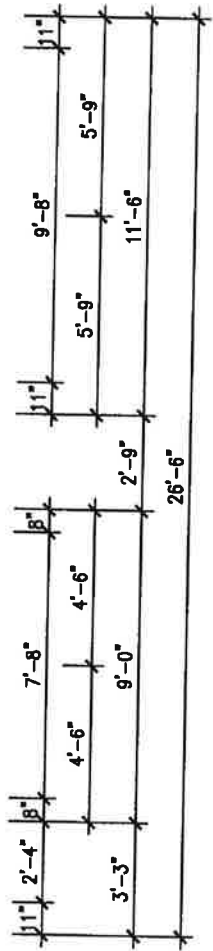
INDICATES REDUCED SIDE YARD



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Architectural Guidelines and regulations and requirements including applicable codes and provisions in the subdivision approval. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

17-08-01



SECOND FLOOR PLAN 'A'
10'0" GARAGE

no.	description	date	by
9			
8			
7			
6			
5	REVISED AS PER ENG'S COMMENTS	JUN 12-17 RC	
4	REVISED TO 10' FOUNDATION WALLS	DEC 08-16 A/E	
3	REVISED AS PER ENG TRUSS LAYOUT	SEPT 26-16 RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 AF	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

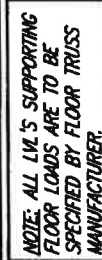
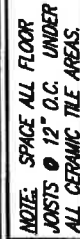
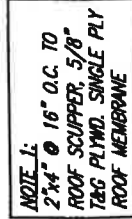
qualification information

Wellington Jno-Baptiste
signature
25591
RCM
registration information
VAS Design Inc.
42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONTARIO
project no.
S32-1-10G
drawing no.
13049
sheet no.
3
date
NOV. 2015
checked by
AF
scale
3/16" = 1'-0"
drawing no.
13049-S32-1-10
date
Aug 1 2017 - 12:15 PM



GB NOTE:
STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO WATER CLOSETS AND SHOWER
OF BATHES IN MAIN BATHROOM.
REFER TO OBC. 9.5.2.3
3.8.1.2.3(3)(c), 3.8.1.2.3(3)(c),
3.8.1.11(2)(f) & 3.8.1.11(2)(g).
ALL DETAILS PROVIDED.

[illegible]

All documents are 37-copies
relates documents per
the custody of V&I (PSSM) Bureau of
in whole or in part is
included with V&I (PSSM) Bureau

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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Town of Innisfil Certified Model

04/01/2018 10:02:56 AM kgervais

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

1"x6" STUCCO FRIEZE BD. (TYP.)

STUCCO FINISH (TYP.)

6" RAISED STUCCO SURROUND

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

CONT. PRECAST CONC. BAND ON BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY (TYP.)

RAISED STUCCO TRIM

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED PORCH SLAB.

POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

max 6" (150mm) rise into doorway
9.9.6.6.(2).

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

32-1-10 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	110.106 S.F.	20.31 %
LEFT SIDE	864 S.F.	62 S.F.	7.18 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	157 S.F.	29.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2806.00 S.F.	329.11 S.F.	11.73 %
TOTAL SQ. M.	260.68 S.M.	30.57 S.M.	11.73 %

FRONT ELEVATION 'A'
10'0" GARAGE

ROOF
PLAN A



BAYVIEW WELLINGTON		S32-1-10G PELICAN 1-10	
project name	ALCONA	city	INNISFIL, ONTARIO
project no.	13049	drawing no.	5
date	NOV. 2015	checked by	AF
drawn by	AF	scale	3/16" = 1'-0"
REMARKS - IN ARCHIVE WORKING 12011\13049-BAYVIEW\13049-S32-1-10.dwg - Tue - Aug 1 2017 - 12:15 PM			
All drawings, specifications, related documents and designs are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.			

VA3 DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 F 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design. It is the responsibility of the Designer to ensure that the design complies with the Ontario Building Code and all applicable regulations and requirements set out in the Ontario Building Code.	
qualification information	25591
Wellington John Baptiste	42658
name	BCR
registration information	VA3 Design Inc.
name	42658
date	JUN 12-17 RC
date	DEC 09-16 A/E
date	SEPT 28-16 RC
date	JUL 22-16 SB
date	JULY 04-16 AF
date	by
description	
5	REVISED AS PER ENG'S COMMENTS
4	REVISED TO 10" FOUNDATION WALLS
3	REVISED AS PER ENG TRUSS LAYOUT
2	ADD WOOD AND REAR UPGRADE
1	ISSUED FOR CLIENT REVIEW

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

04/01/2018 10:02:56 AM kgervais

10:12
ROOF FOR REAR
UPGRADE ELEV 'A'

4'-0"
FOR REAR UP
ONLY

—FACE BRICK (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL

— VINYL CLAD STL. FRAME
BASEMENT WINDOW (TYP.)

WALL AREA	823.33 SQ. FT.
LIMITING DISTANCE	1.2 W (7%)
OPENING ALLOWED	57.63 SQ. FT.
OPENING PROVIDED	44.08 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'
10'0" GARAGE


 A circular professional seal for a Licensed Professional Engineer in the Province of Ontario. The seal contains the name "A. T. Quaile" in a stylized script, the license number "17-08-01", and the text "LICENSED PROFESSIONAL ENGINEER" and "PROVINCE OF ONTARIO".

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

VA3 DESIGN
5 Consumers Rd Suite 1
Toronto ON M2J 1R4
6.630.2255 f 416.630.4111

The undersigned has reviewed and takes responsibility for this design and calculation. I am duly licensed under the Professional Engineers Act of Ontario Building Code as a Designer.

Qualification Information

Wellington Jan-Baptiste *J. Baptiste* 235891
name registration information VAS Design Inc.
ECON 428553

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

9	.	.	.	JUN 12-17 RC
8	.	.	.	DEC 09-16 AJE
7	.	.	.	SEPT 28-16 RC
6	.	.	.	JUL 22-16 SB
5	REVISED AS PER ENG'S COMMENTS			JULY 04-16 AF
4	REVISED TO 10" FOUNDATION WALLS			
3	REVISED AS PER ENG TRUSS LAYOUT			
2	ADD WOOD AND REAR UPGRADE			
1	ISSUED FOR CLIENT REVIEW			

S32-1-10G
PELICAN 1-10

BAYVIEW WELLINGTON

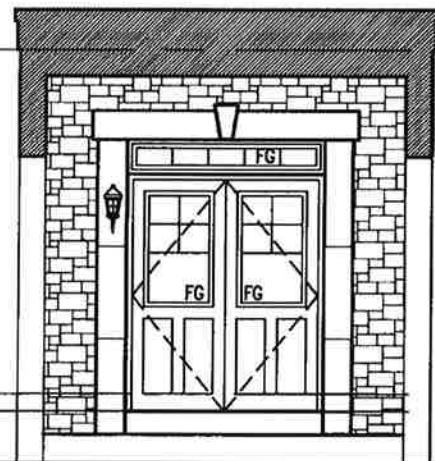
project name	project no.
ALCONA	13049
city	
INNISFIL, ONTARIO	drawing no.
map sheet	6
date	
NOV, 2015	
drawn by	
AF	
checked by	
scale	
3/16" = 1'-0"	
left side elevation 'A'	
file name	
13049-S32-1-10	

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-532-1-10.dwg - Tue - Aug 1 2017 - 12:15 PM

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

04/01/2018 10:02:56 AM kgervais

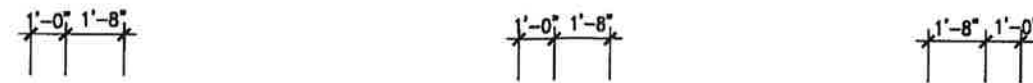
max 6" (150mm) rise
into doorway
9.9.6.6.(2).



INSIDE VIEW AT
PORTICO

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-1-10 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	556 S.F.	105.056 S.F.	18.89 %
LEFT SIDE	865 S.F.	62 S.F.	7.17 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	157 S.F.	29.62 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2821.00 S.F.	324.06 S.F.	11.49 %
TOTAL SQ. M.	262.08 S.M.	30.11S.M.	11.49 %

FRONT ELEVATION 'B'
10'0" GARAGE



ROOF
PLAN B

STEPPED FOOTING

TOP OF SLAB

BAYVIEW WELLINGTON

S32-1-10G
PELICAN 1-10

49

130.

new job

20

ONTARIO

INNISFIL,

1

1

1

ALCONA

DESIGN

858

421

100

tion
nc.

Registration Information
/A3 Design I

39-16	AJE
26-16	RC

	DEC 0	SEPT
--	-------	------

ON WALLS
SS LAYOUT

10" FOUNDATION
PER ENG TRU

REVISÉ TO 1
REVISÉ AS F

4	3	
---	---	--

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

04/01/2018 10:05:51 AM kgervais

TOP OF PLATE

10'-5" 10'-4"

FACE BRICK (TYP.)

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

FIN. SUNKEN FOYER

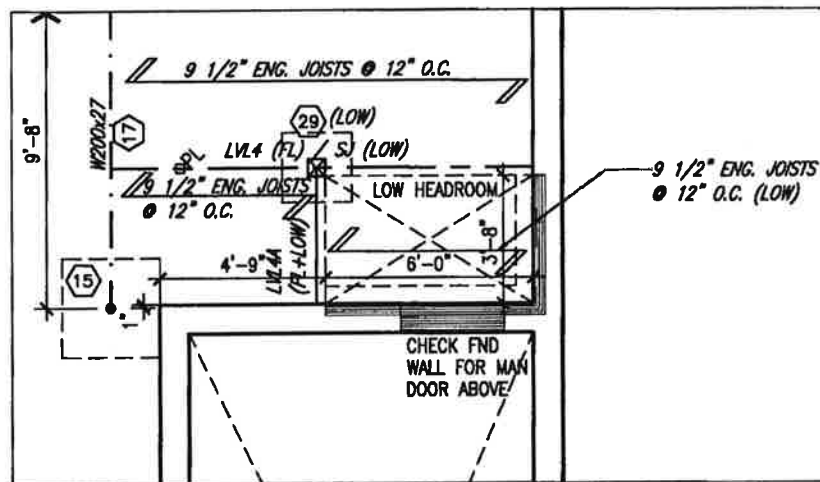
STEPPED FOOTING 

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

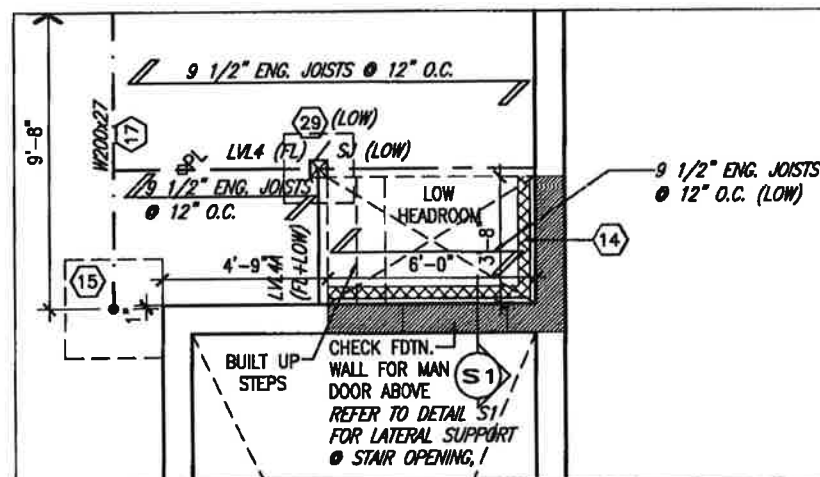
V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3@design.com

name	William Jno-Baptista	25591
company	Val3 Design Inc.	42658
address	10000	
city	Val3 Design Inc.	
state	VA	
zip	22002	
phone	703-441-1111	
fax	703-441-1111	
email	william@val3.com	
website	www.val3.com	
bio	Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government. Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government.	
references	Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government. Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government.	
comments	Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government. Val3 Design Inc. is a leading provider of design and construction services for the federal government. The company has a long history of providing high-quality design and construction services to the federal government.	

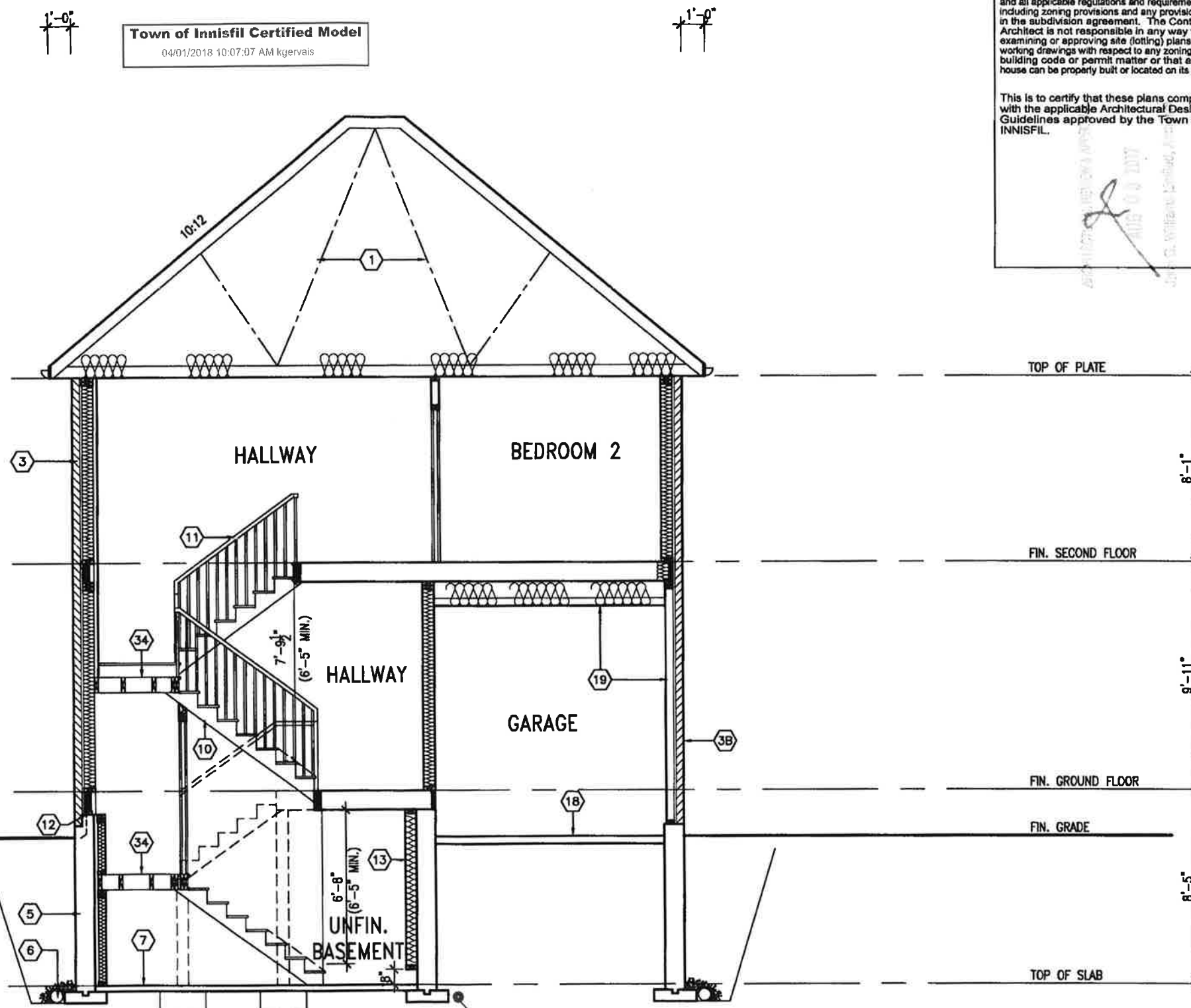
no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	AF
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	SB
3	REVISED AS PER ENG TRUSS LAYOUT	SEPT 26-16	RC
4	REVISED TO 10" FOUNDATION WALLS	DEC 09-16	AJE
5	REVISED AS PER ENG'S COMMENTS	JUN 12-17	RC
6			
7			
8			



PARTIAL BASEMENT PLAN
SUNKEN MUD ROOM 1R



PARTIAL BASEMENT PLAN SUNKEN
MUD ROOM 2R OR MORE



CROSS SECTION 'A-A'
10'0" GARAGE

foundation drainage
shall be provided at
the bottom of every
foundation wall that
contains the building
interior. 9.14.2.1.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED FOR CONSTRUCTION
MAY 10 2017
JAY CO. WILLIAM L. COLEMAN, P. ENG.

BAYVIEW WELLINGTON		S32-1-10G		PELICAN 1-10	
project name	ALCONA	project no.	13049	drawing no.	12
location	INNISFIL, ONTARIO	date	NOV. 2015	cross section 'A-A'	13049-S32-1-10
drawn by	AF	checked by	3/16" = 1'-0"	scale	13049-S32-1-10
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL. APPROVED FOR CONSTRUCTION MAY 10 2017 JAY CO. WILLIAM L. COLEMAN, P. ENG.					
VA3 DESIGN 255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.7782 V3Design.com					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Boplate 25591 signature 42658 DESIGNER INFORMATION name registration information VAS Design Inc. Outside of the province of Ontario, the undersigned is not responsible for the design and specifications of the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
no.	description	date	by		
5	REVISED AS PER ENG'S COMMENTS	JUN 12-17 RC			
4	REVISED TO 10' FOUNDATION WALLS	DEC 09-16/AE			
3	REVISED AS PER ENG TRUSS LAYOUT	SEPT 26-16 RC			
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB			
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 AF			

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

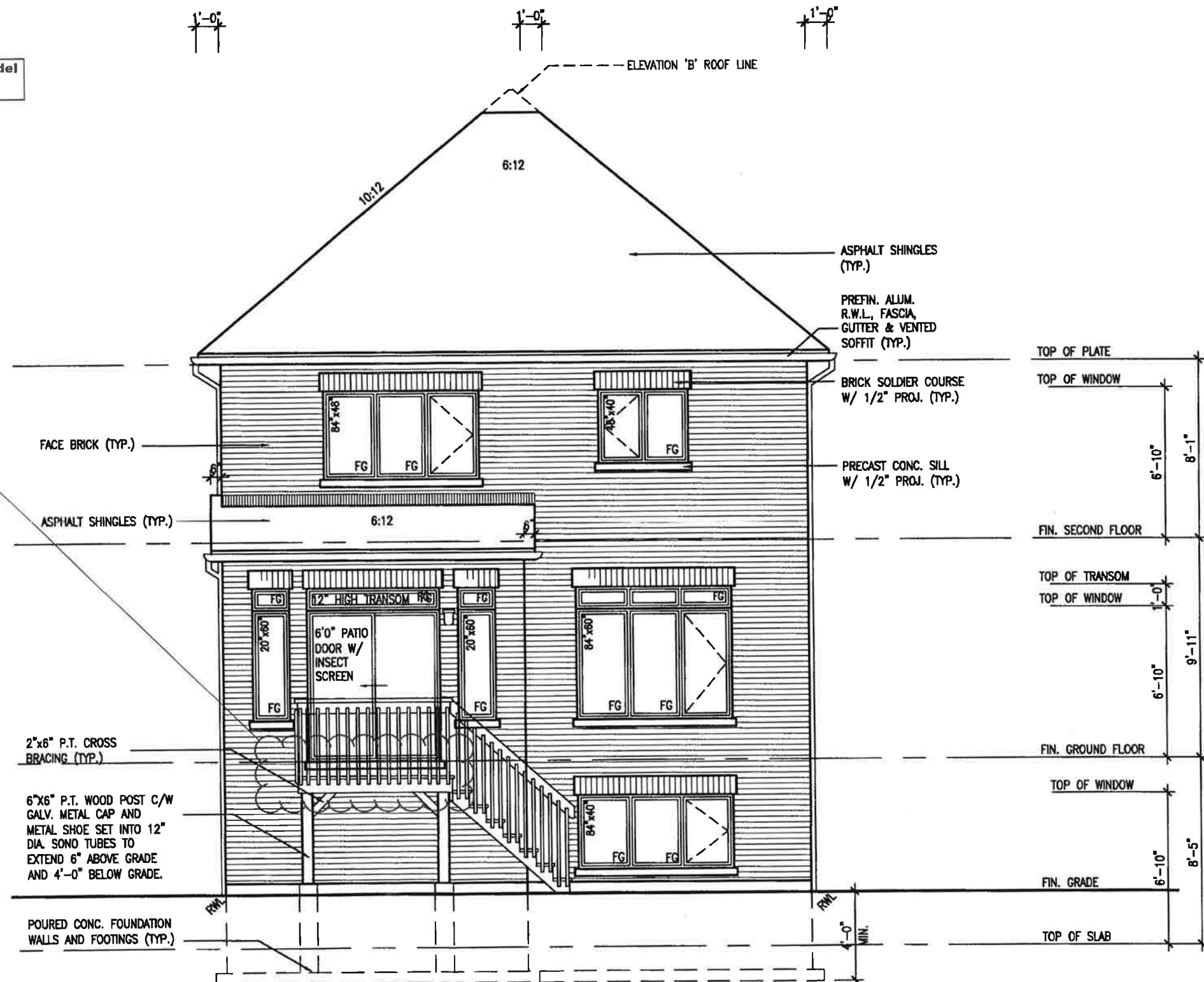
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

04/01/2018 10:10:00 AM kgervais

max 6" (150mm) rise
into doorway
9.9.6.6.(2).

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
32-1-10 ELEVATION A 9R WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	110.106 S.F.	20.31 %
LEFT SIDE	864 S.F.	62 S.F.	7.18 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	173.667 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2912.00 S.F.	345.77 S.F.	11.87 %
TOTAL SQ. M.	270.53 S.M.	32.12 S.M.	11.87 %
<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
32-1-10 ELEVATION B 9R WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	556 S.F.	105.056 S.F.	18.89 %
LEFT SIDE	865 S.F.	62 S.F.	7.17 %
RIGHT SIDE	870 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	173.667 S.F.	27.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	2927.00 S.F.	340.72 S.F.	11.64 %
TOTAL SQ. M.	271.92 S.M.	31.65 S.M.	11.64 %



REAR ELEVATION 'A' ('B' SIMILAR)
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BAYVIEW WELLINGTON	S32-1-10G PELICAN 1-10
--------------------	---------------------------

project name	project no.
ALCONA	13049
municipality	
INNISFILL - ONTARIO	
PELICAN 1-10	

drawing no. **14**
 W.O.D. REAR ELEVATION 'A' & 'B'
 date **July, 2016**
 checked by **scb**
 scale **3/16" = 1'-0"**
 drawn by **13049-S32-1-10**
 28



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

name	Wellington Jno-Baptiste	25591
birth date	1/10/1978	BCH
birth place		
education information		
employment information		
marital status		
religion		
race		
sex		
height		
weight		
eye color		
hair color		
fingerprints		
signature		
comments		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the conclusion of the work.

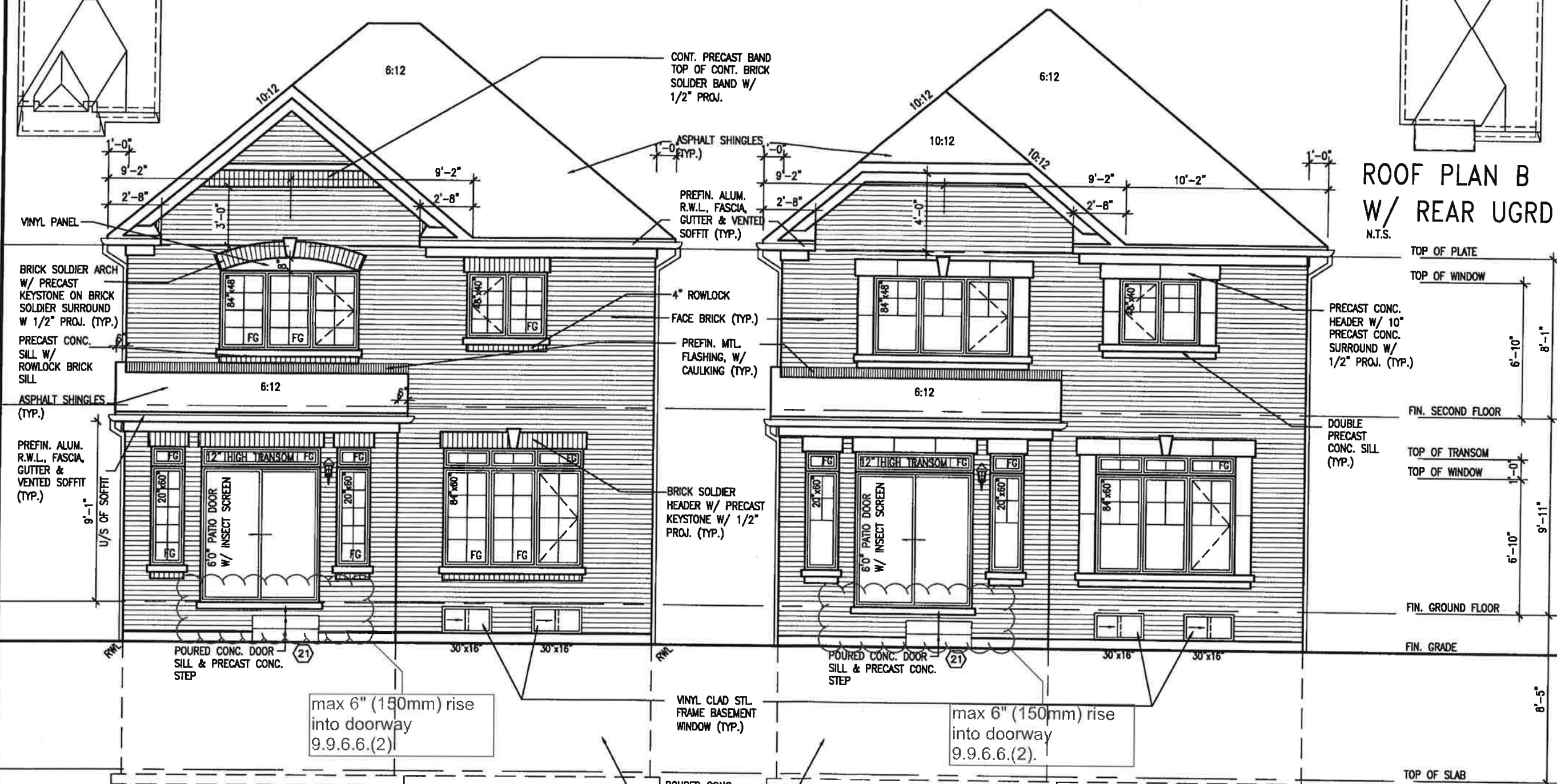
Drawings are not to be scaled.

All drawings

ROOF PLAN A
W/ REAR UGRD
N.T.S.

Town of Innisfil Certified Model
04/01/2018 10:10:14 AM kgervais

ROOF PLAN B
W/ REAR UGRD
N.T.S.



REAR ELEVATION 'A' UPGRADE
10'0" GARAGE

REAR ELEVATION 'B' UPGRADE
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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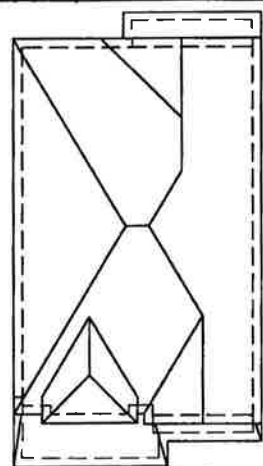
DATE: AUG 6 2017

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t: 416.630.2255 f: 416.630.4782
va3design.com

Project no. **13049**
Project name **S32-1-10G PELICAN 1-10**
City **INNISFIL, ONTARIO**
Date **NOV. 2015**
Drawn by **AF**
Checked by **AF**
Scale **3/16" = 1'-0"**
Drawing no. **15**

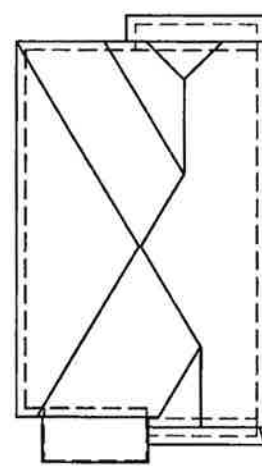
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 AF	
2	ADD MOO AND REAR UPGRADE	JULY 22-16 SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16 RC	
4	REVISED TO 10' FOUNDATION WALLS	DEC 09-16 ALE	
5	REVISED AS PER ENG'S COMMENTS	JUN 12-17 RC	
6			
7			
8			
9			

Wellington, Jno-Boplists *[Signature]* 25591
name
registration information
VA3 Design Inc.
42658
Contractor must read all drawings on the job and report any discrepancy to the Designer. The Designer is not responsible for any errors or omissions in the drawings and specifications. The Designer's responsibility is limited to the completion of the work. Drawings are not to be used.

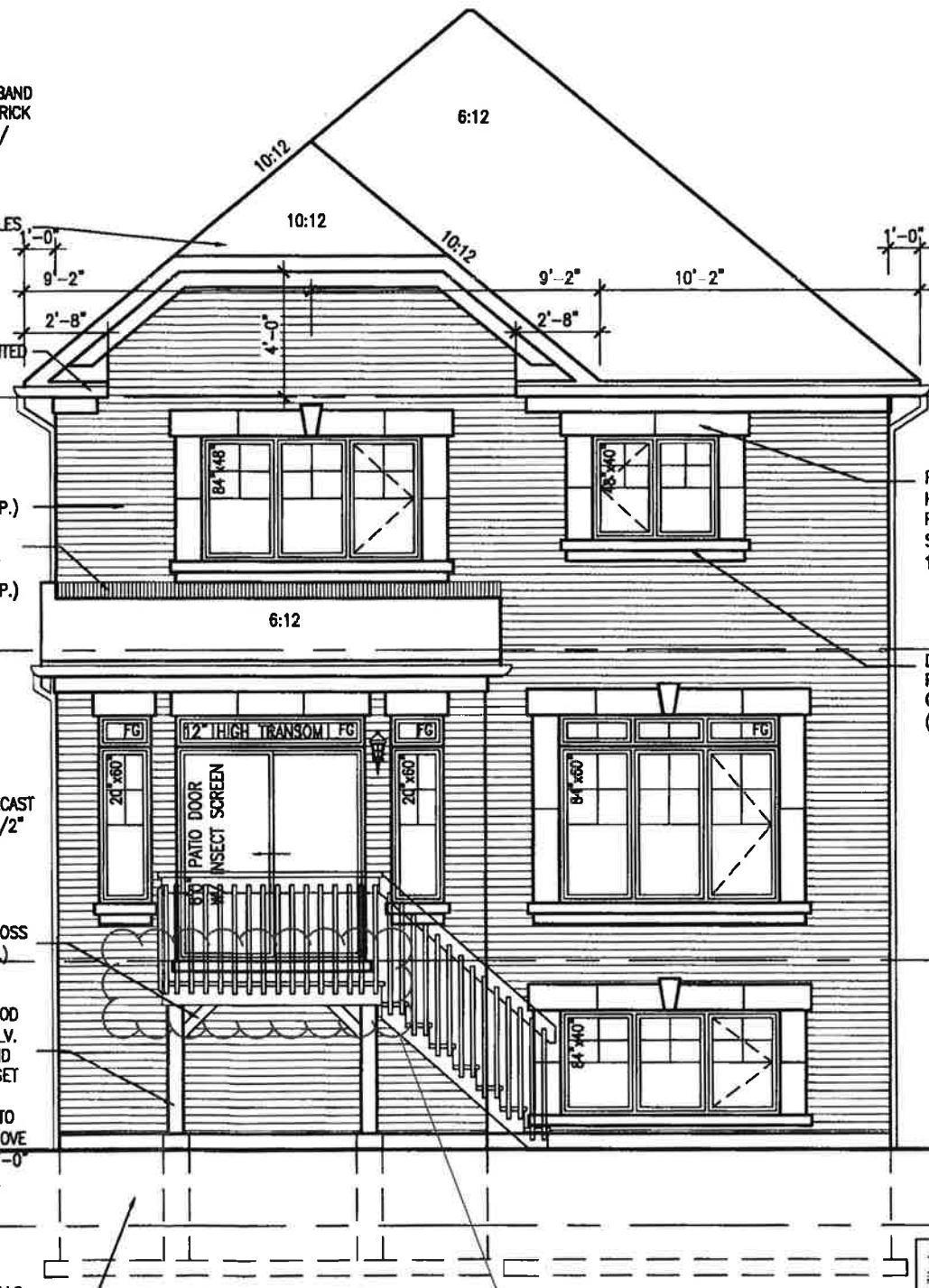
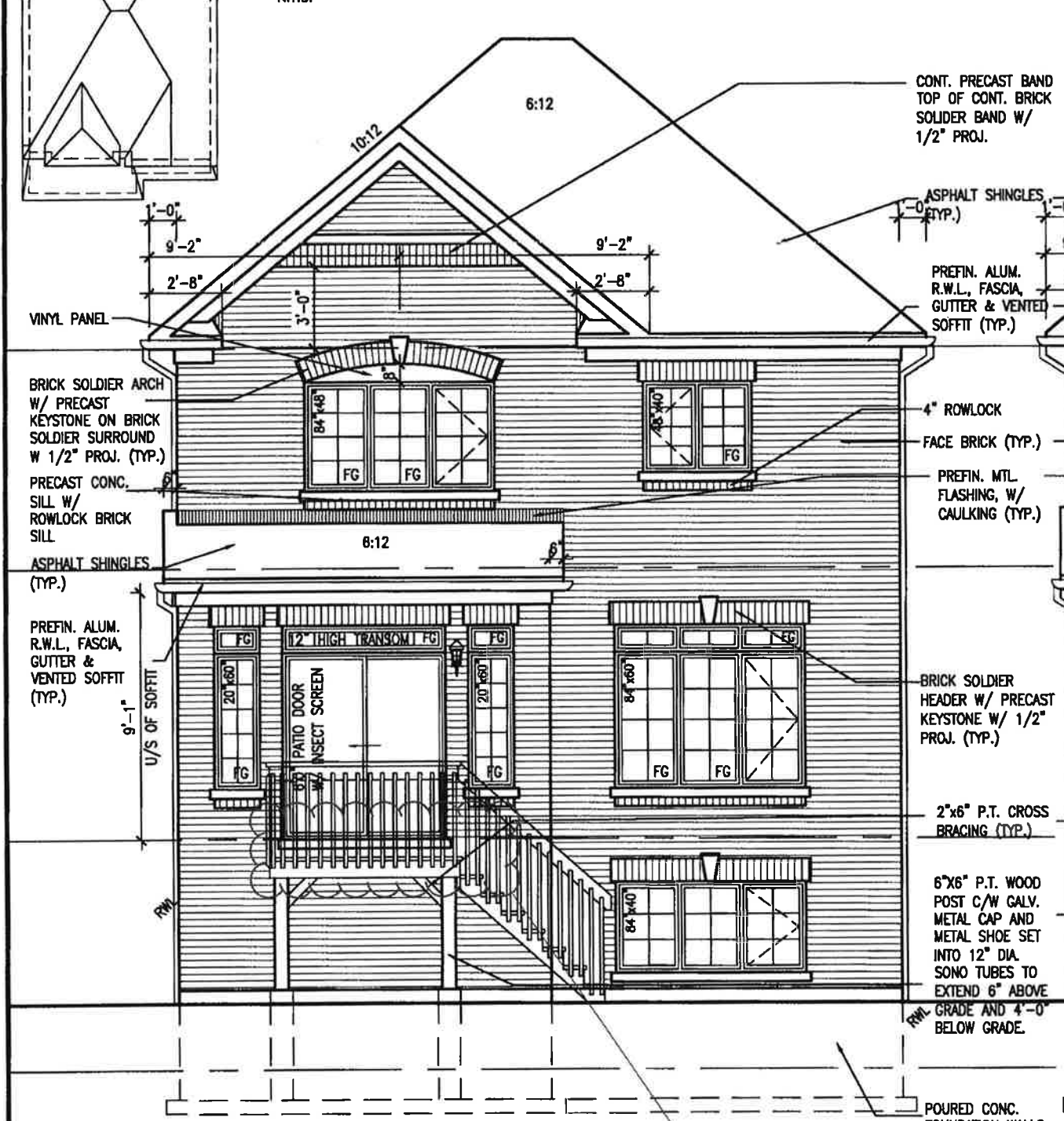


ROOF PLAN A
W/ REAR UGRD
N.T.S.

Town of Innisfil Certified Model
04/01/2018 10:10:53 AM kgervais



ROOF PLAN B
W/ REAR UGRD
N.T.S.



TOP OF PLATE
TOP OF WINDOW
6'-10" 8'-1"
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
6'-10" 9'-11"
FIN. GROUND FLOOR
TOP OF WINDOW
6'-10" 8'-5"
FIN. GRADE
TOP OF SLAB

REAR ELEVATION 'A' UPGRADE
10'0" GARAGE 9R WOD

max 6" (150mm) rise
into doorway
9.9.6.6.(2).

REAR ELEVATION 'B' UPGRADE
10'0" GARAGE 9R WOD

max 6" (150mm) rise
into doorway
9.9.6.6.(2).

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



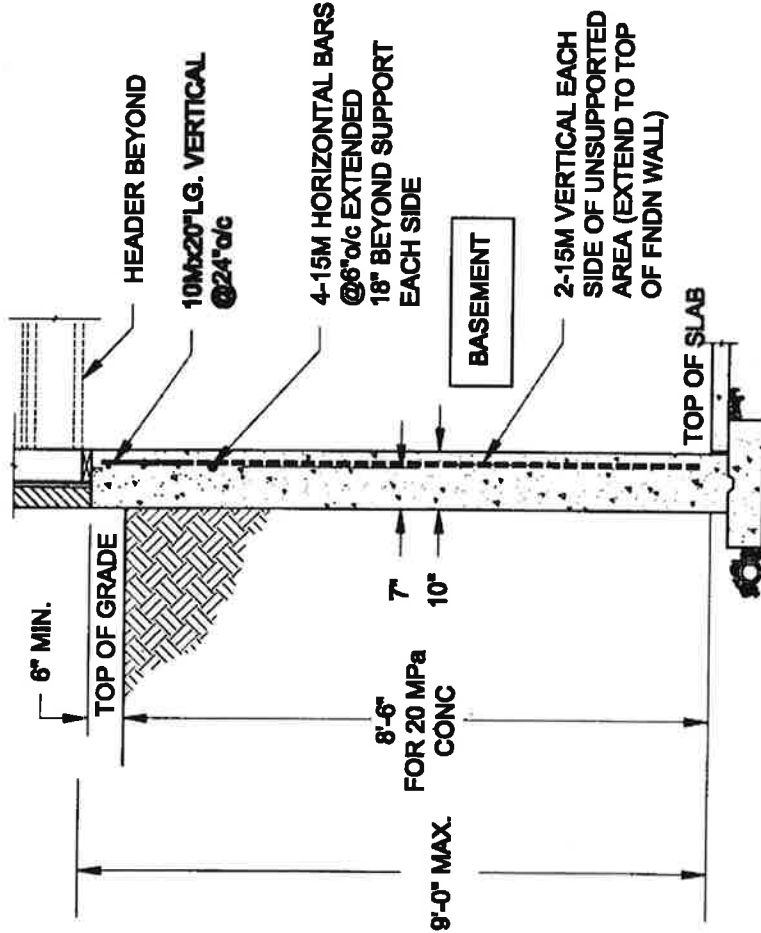
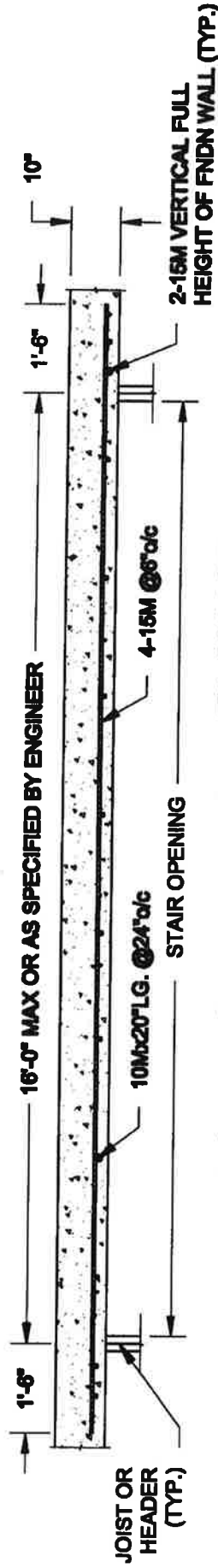
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

BAYVIEW WELLINGTON		S32-1-10G PELICAN 1-10	
project name	ALCONA	project no.	13049
location	INNISFIL, ONTARIO	drawing no.	16
date	NOV. 2015	REAR ELEVATION 'A' & 'B' UPGRADE 9R WOD CONDITION	
drawn by	AF	checked by	AF
scale	3/16" = 1'-0"	13049-S32-1-10	
RECHARGED - H. ARCHIVE/WORKING 2015\13049-S32-1-10.dwg - Tue - Aug 1 2017 - 12:15 PM			

VAD DESIGN	
255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
signature	25581		
name	Wellington Jiro-Baptista		
registration information	BCM 42658		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
5	REVISED AS PER ENG'S COMMENTS	JUN 12-17 RC	
4	REVISED TO 10' FOUNDATION WALLS	DEC 09-16 JAE	
3	REVISED AS PER ENG TRUSS LAYOUT	SEPT 26-16 RC	
2	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16 AF	



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

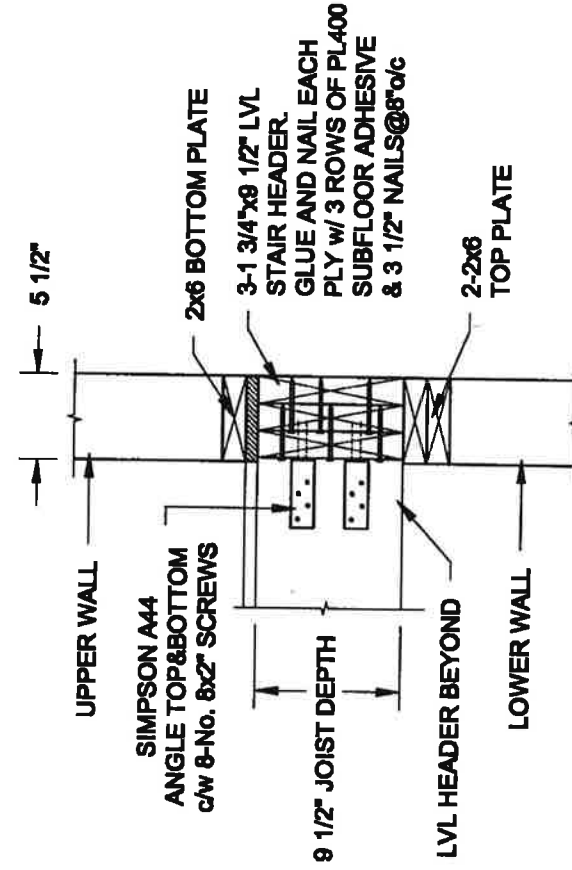
1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

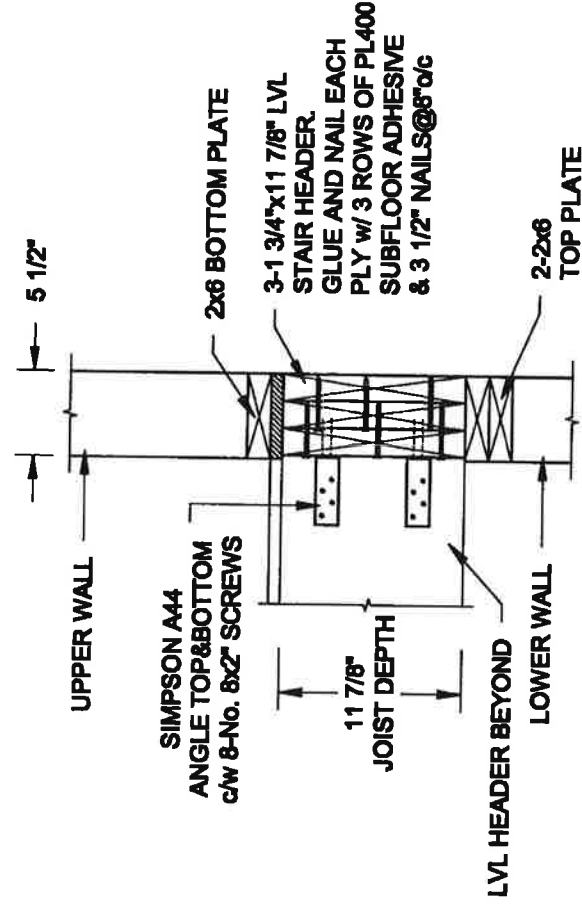
1
S1

Town of Innisfil Certified Model
04/01/2018 10:11:19 AM kgervais

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



2 STAIR HEADER @ EXTERIOR WALL

SCALE: 1" = 1'-0"

2
S1



QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.engineering@gmail.com

Engineer's Seal:

Project:
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

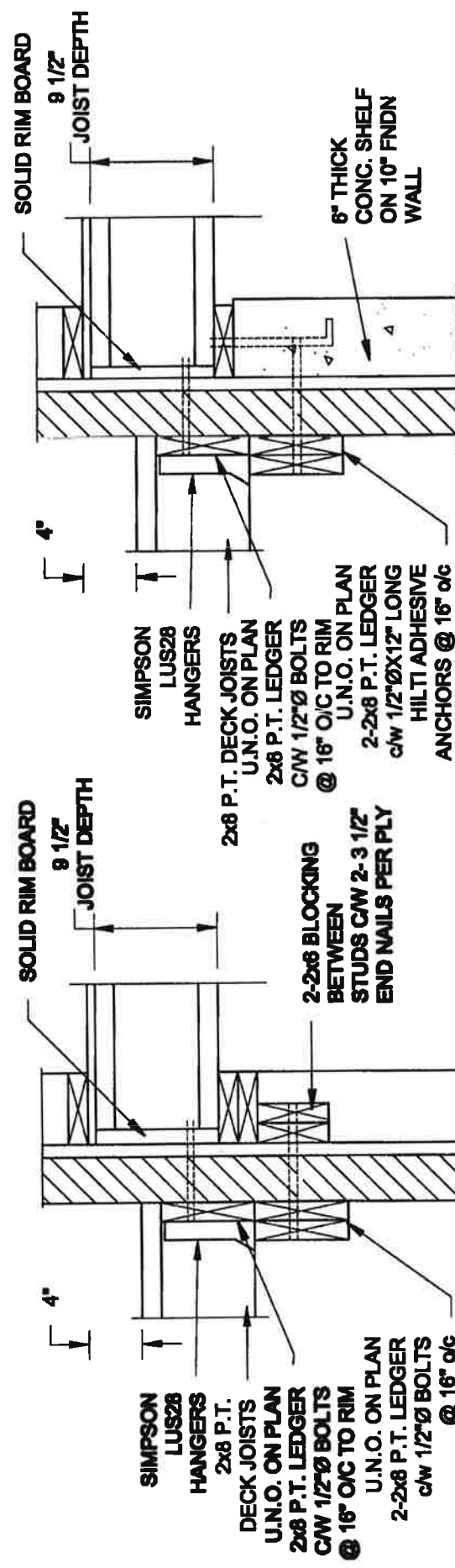
Project No.:

16-083

Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

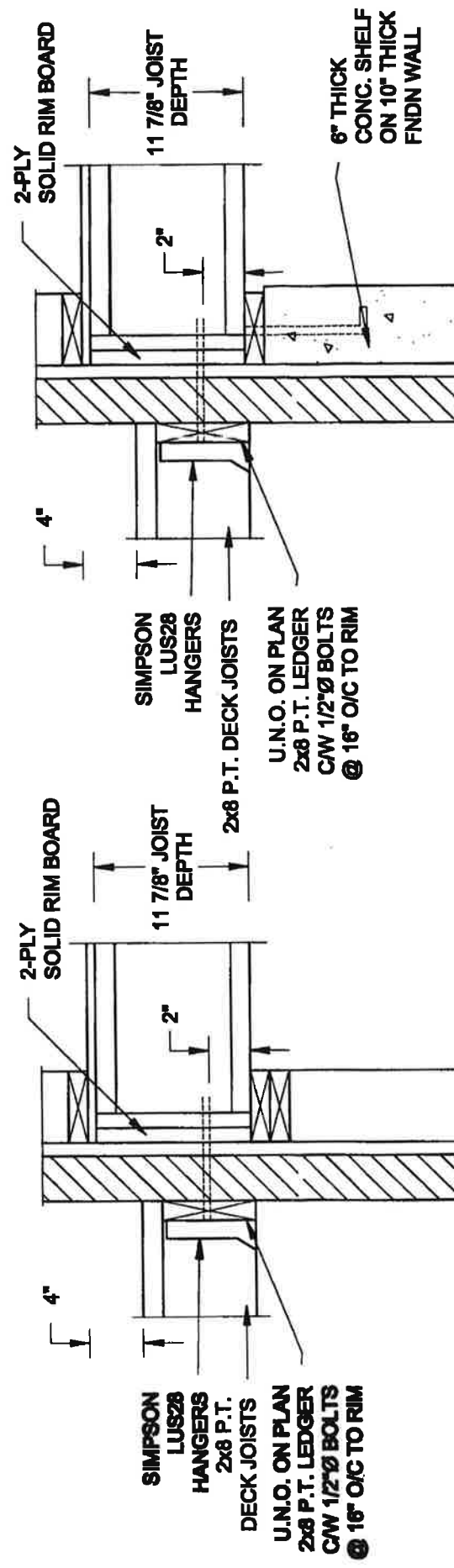
SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH



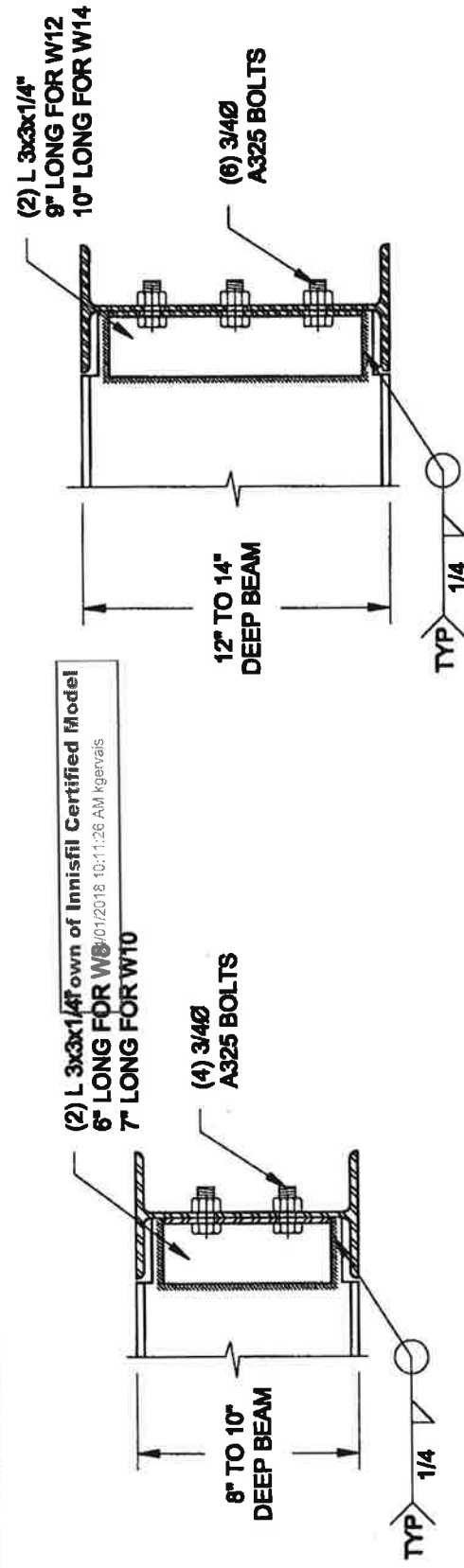
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

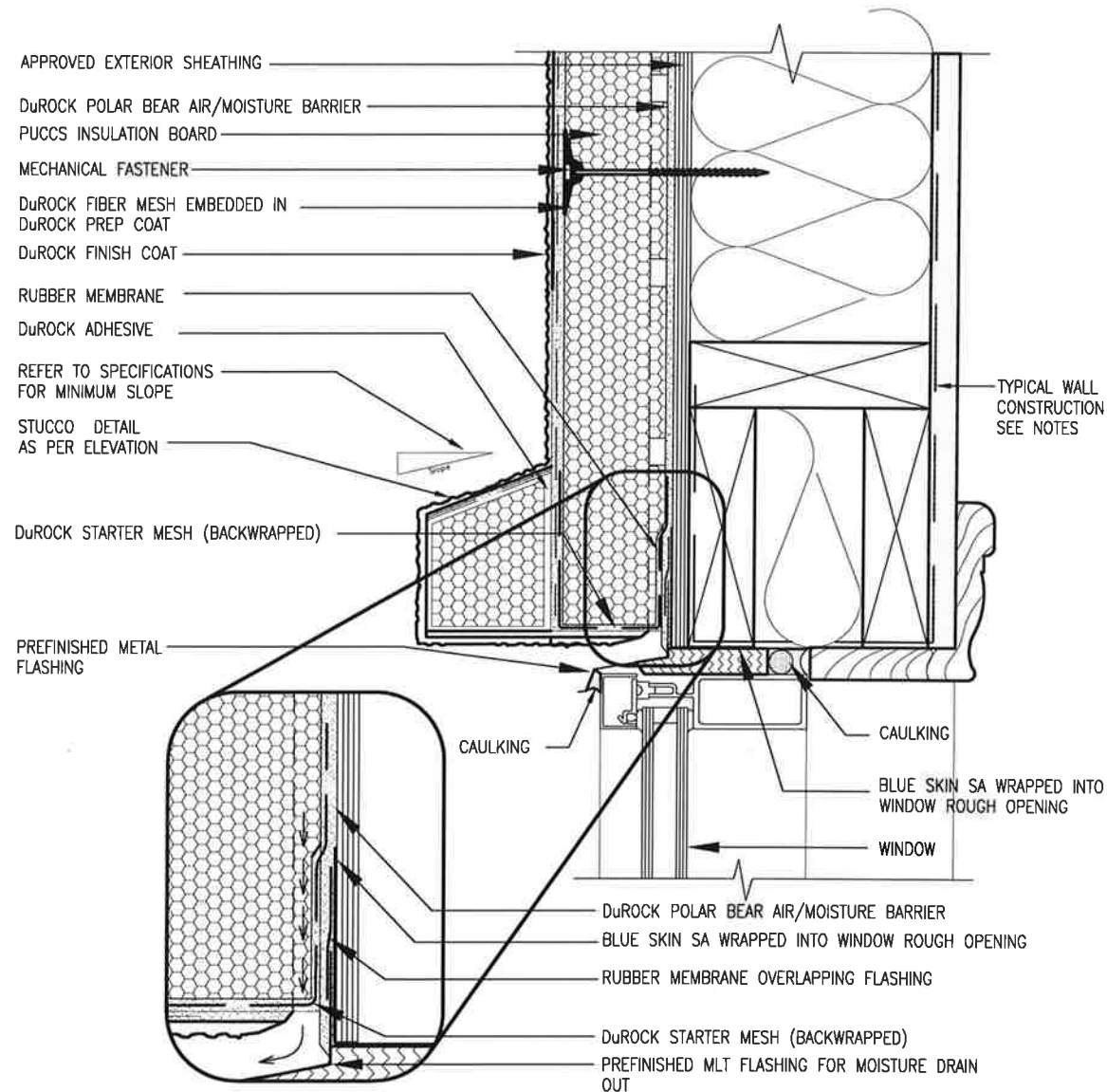
**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

3 S2 **STEEL BEAM CONNECTION DETAIL**

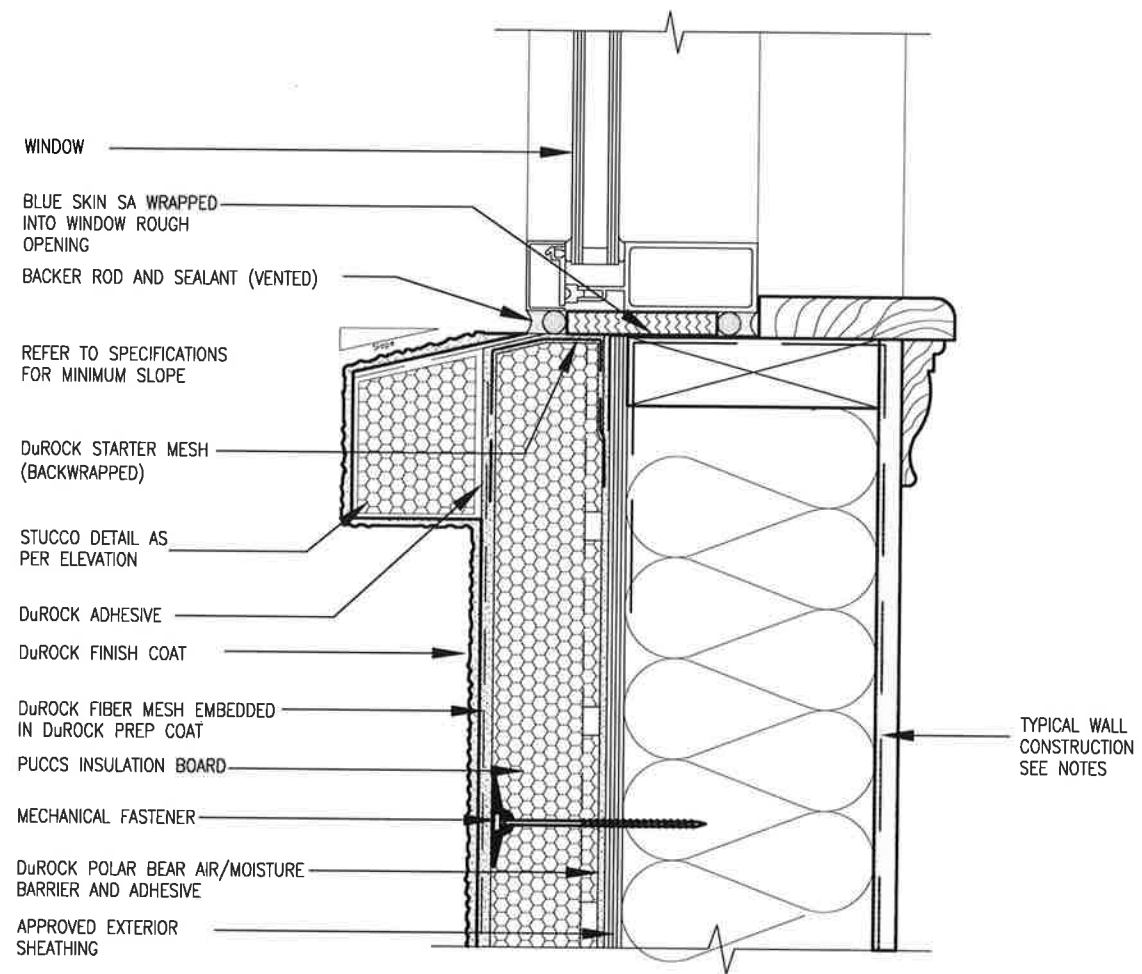
SCALE: 1-1/2" = 1'-0"

2

Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile_eng@rogers.com	Engineer's Seal	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT RIVERSIDE, ONTARIO	Project No.: 16-083	Drawing No.: 82	
Date: JUL-01-2017							TYPICAL STRUCTURAL DETAILS FOR GARAGES
Drawn: SC	Checked: EAB						



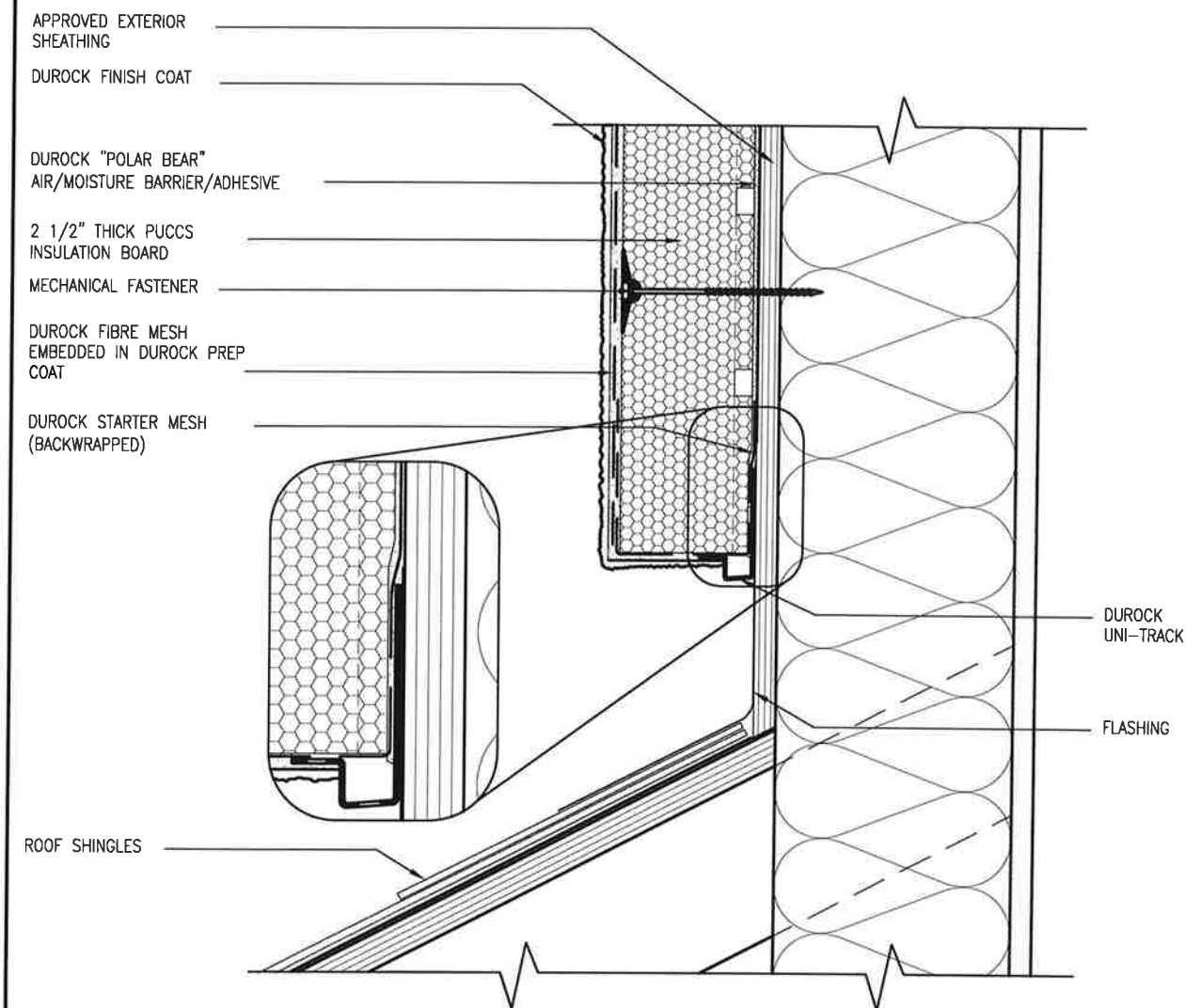
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



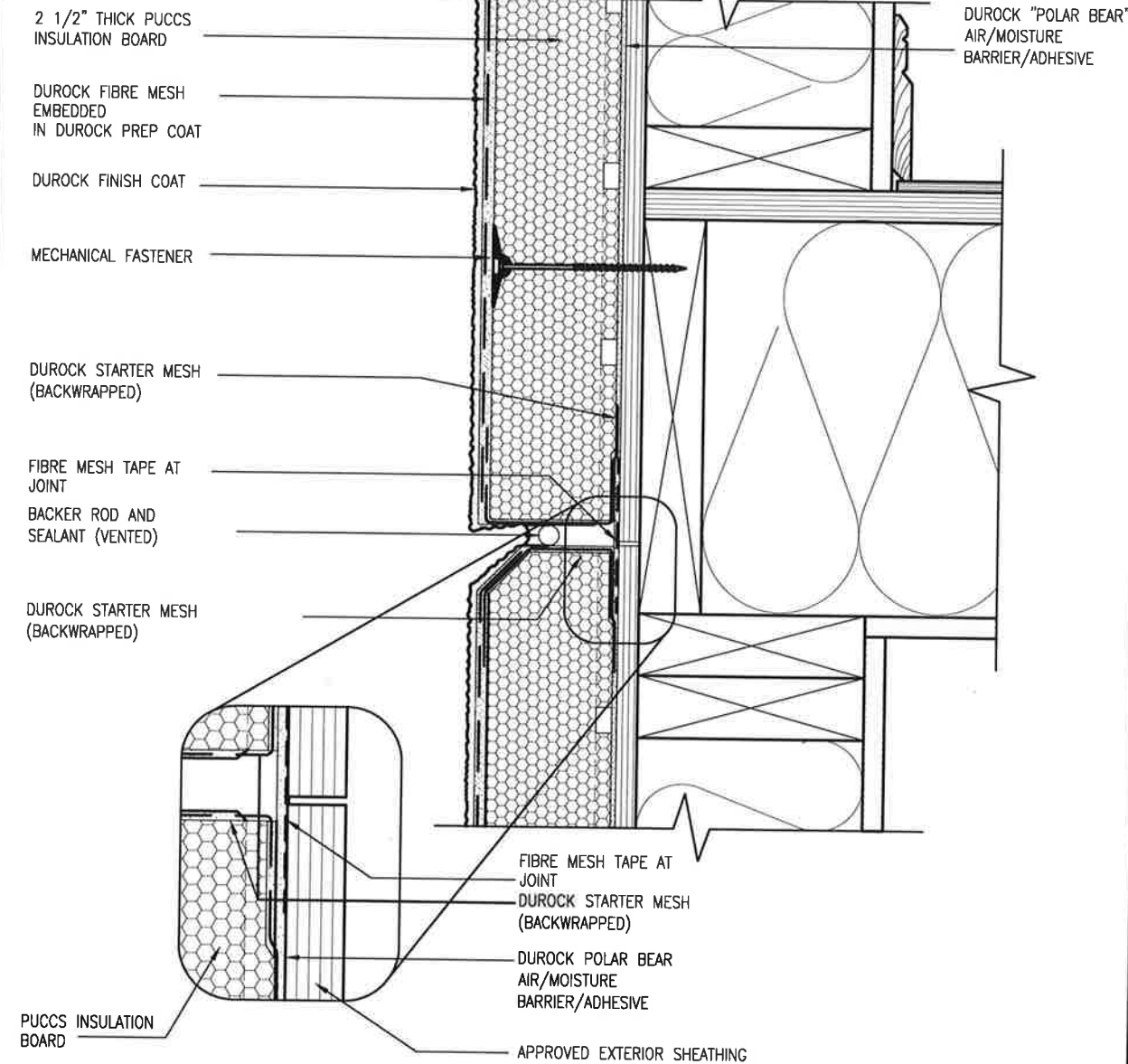
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

BAYVIEW WELLINGTON project name: ALCONA date: MAY 2016 drawn by: RC		CONST NOTE	
		project no.: 13049 drawing no.: CN3	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t: 416.630.2255 f: 416.630.4782 va3design.com		CONSTRUCTION NOTES title name: 13049-CN-A1 VER 2020 date: 13049-CN-A1 VER 2020 checked by: 3/16" = 1'-0" scale: 3/16" = 1'-0"	
The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste name: Wellington Jno-Baptiste registration information: VA3 Design Inc. BCN: 25591 BCN: 42658		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.	
2. UPDATE TO OBC VER 2020 1. ISSUE FOR CLIENT REVIEW		date: FEB 09-21 RC date: AUG 04-17 RC	
no. description		by	



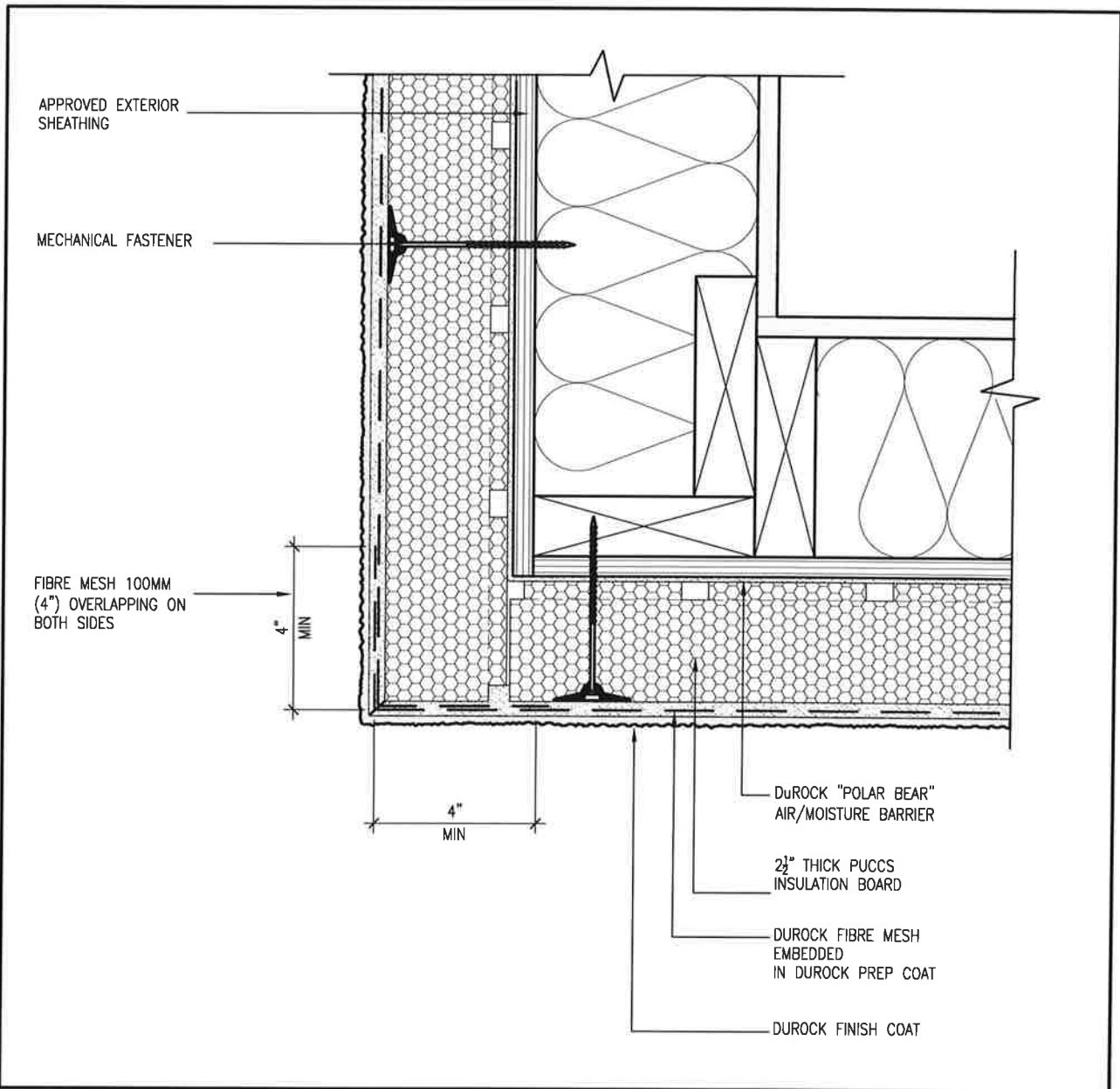
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"



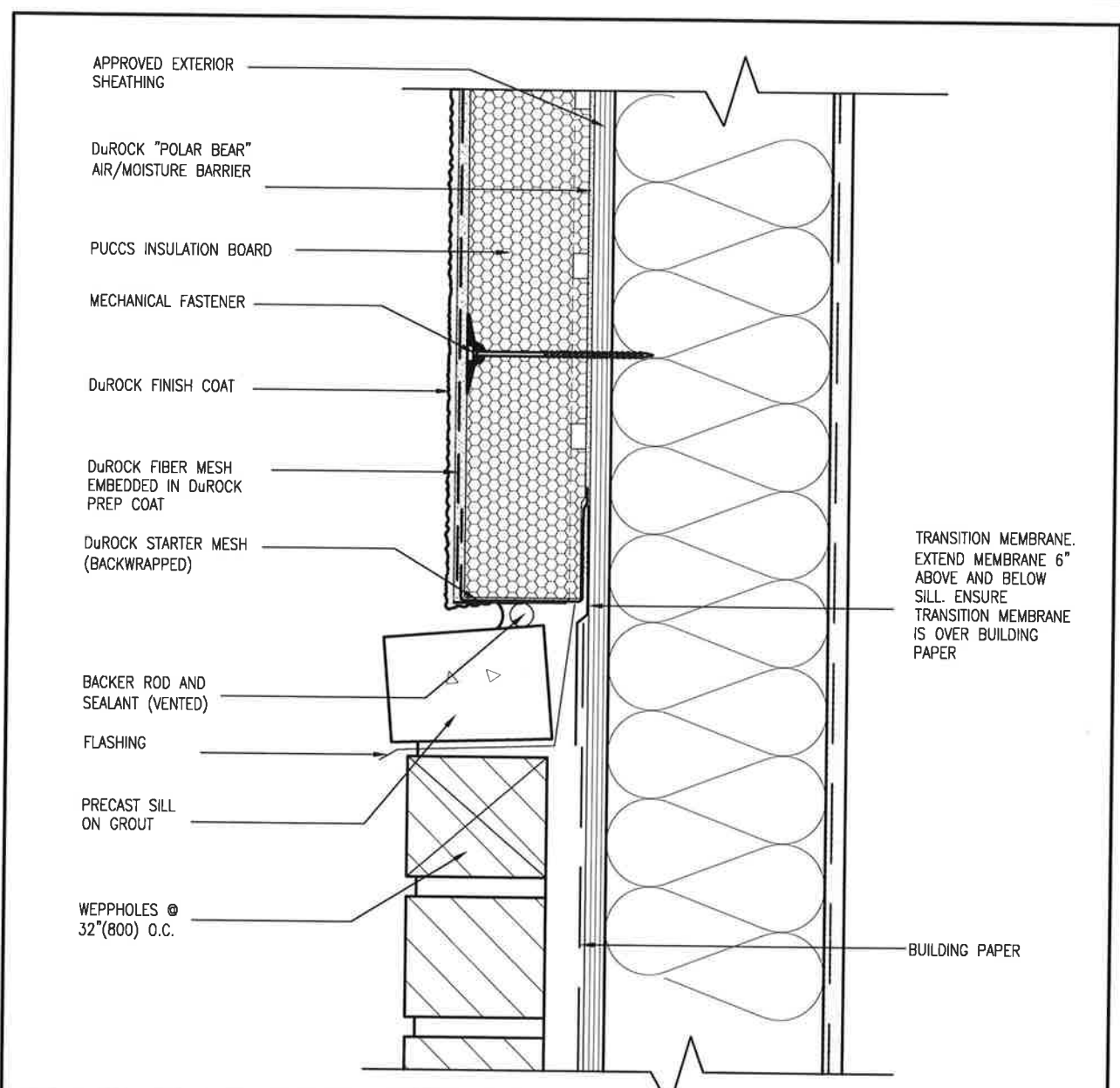
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		VA3 DESIGN		CONST NOTE	
project no	13049	project name	ALCONA	project no	13049	project name	ALCONA
drawing no	13049	drawing no	13049	drawing no	13049	drawing no	13049
scale	3/16" = 1'-0"	scale	3/16" = 1'-0"	scale	3/16" = 1'-0"	scale	3/16" = 1'-0"
checked by	RC	checked by	RC	checked by	RC	checked by	RC
drawn by	RC	drawn by	RC	drawn by	RC	drawn by	RC
date	MAY 2016	date	MAY 2016	date	MAY 2016	date	MAY 2016
revision	13049-CN-A1	revision	13049-CN-A1	revision	13049-CN-A1	revision	13049-CN-A1
version	VER 2020	version	VER 2020	version	VER 2020	version	VER 2020
author	VA3 DESIGN	author	VA3 DESIGN	author	VA3 DESIGN	author	VA3 DESIGN
date	11/17/20	date	11/17/20	date	11/17/20	date	11/17/20
description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1
no.	1	no.	1	no.	1	no.	1
description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1
date	11/17/20	date	11/17/20	date	11/17/20	date	11/17/20
revision	13049-CN-A1	revision	13049-CN-A1	revision	13049-CN-A1	revision	13049-CN-A1
version	VER 2020	version	VER 2020	version	VER 2020	version	VER 2020
author	VA3 DESIGN	author	VA3 DESIGN	author	VA3 DESIGN	author	VA3 DESIGN
date	11/17/20	date	11/17/20	date	11/17/20	date	11/17/20
description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1	description	13049-CN-A1



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"



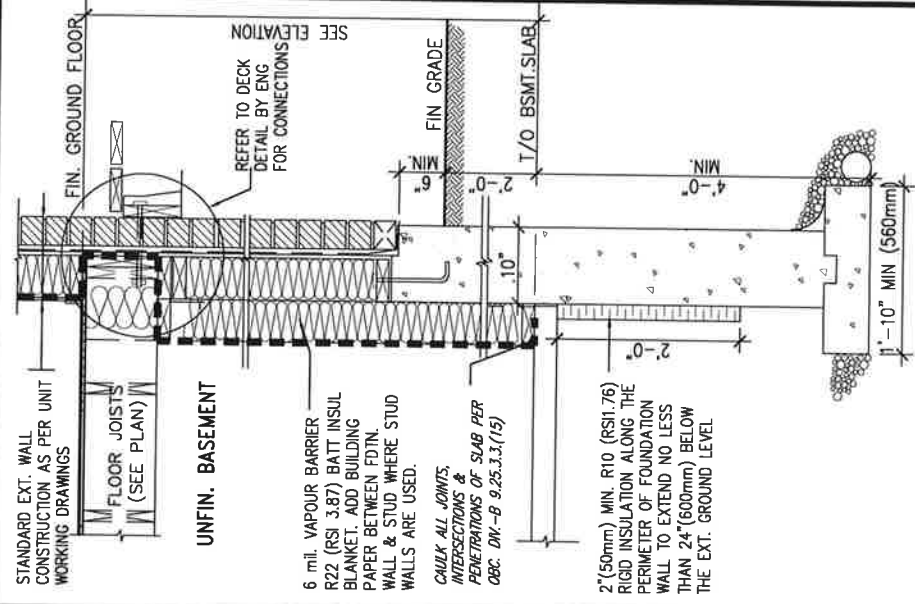
6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		ALCONA		INNISSILLON		CONSTRUCTION NOTES		CN5	
project no.	13049	project name	ALCONA	city	MAY 2016	scale	3/16" = 1'-0"	checked by	RC	file name	13049-CN-A1 VER 2020
drawing no.	13049	municipality	INNISSILLON	date	MAY 2016	drawn by	RC	checked by	RC	file name	13049-CN-A1 VER 2020
1. UPDATE TO OBC VER 2020 2. ISSUE FOR CLIENT REVIEW 3. ISSUE FOR CLIENT REVIEW 4. ISSUE FOR CLIENT REVIEW 5. ISSUE FOR CLIENT REVIEW 6. ISSUE FOR CLIENT REVIEW 7. ISSUE FOR CLIENT REVIEW 8. ISSUE FOR CLIENT REVIEW 9. ISSUE FOR CLIENT REVIEW											
no.	description	date	by	date	by	date	by	date	by	date	by
1	UPDATE TO OBC VER 2020	FEB 09-21	RC								
2	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC								

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1



SECTION AT W.O.D/W.O.B.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

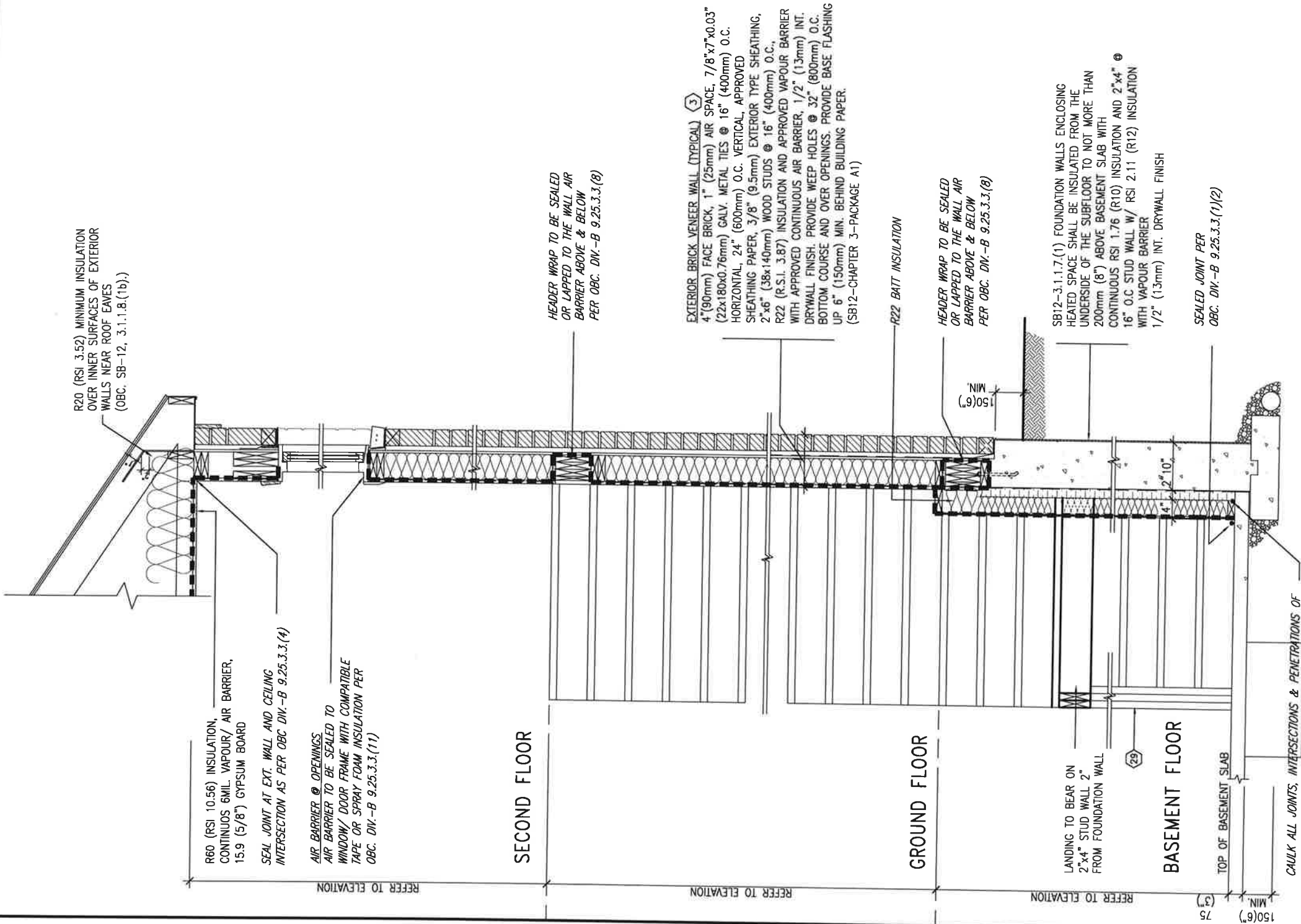
SECTION w/ BRICK VENEER (PACKAGE A1)

SCALE: N.T.S.

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawing by RC	drawing no. CN6
checked by -	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
PROJECT - BAYVIEW WELLINGTON (2015) / INNISFIL MUNICIPALITY CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM	

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SB12-COMPLIANCE PACKAGE 'A1'



AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9		-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8		*	*	qualification information
7		*	*	
6		*	*	
5		*	*	
4		*	*	
3		*	*	
2	UPDATE TO CBC VER 2020	FEB 09-21 RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of this Designer which must be returned at the completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC		
no.	description	date	by	

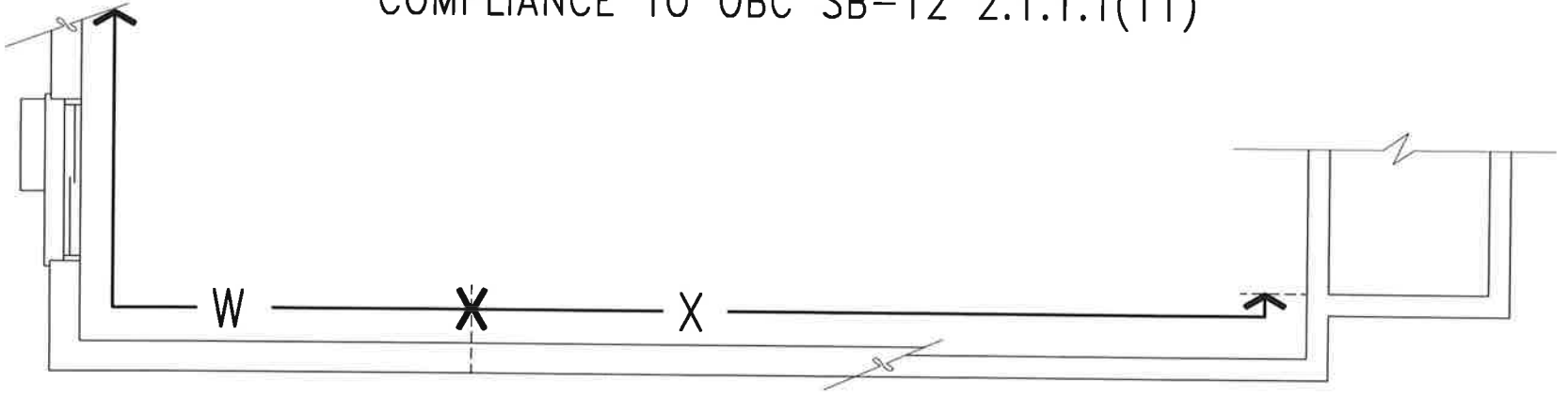


DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

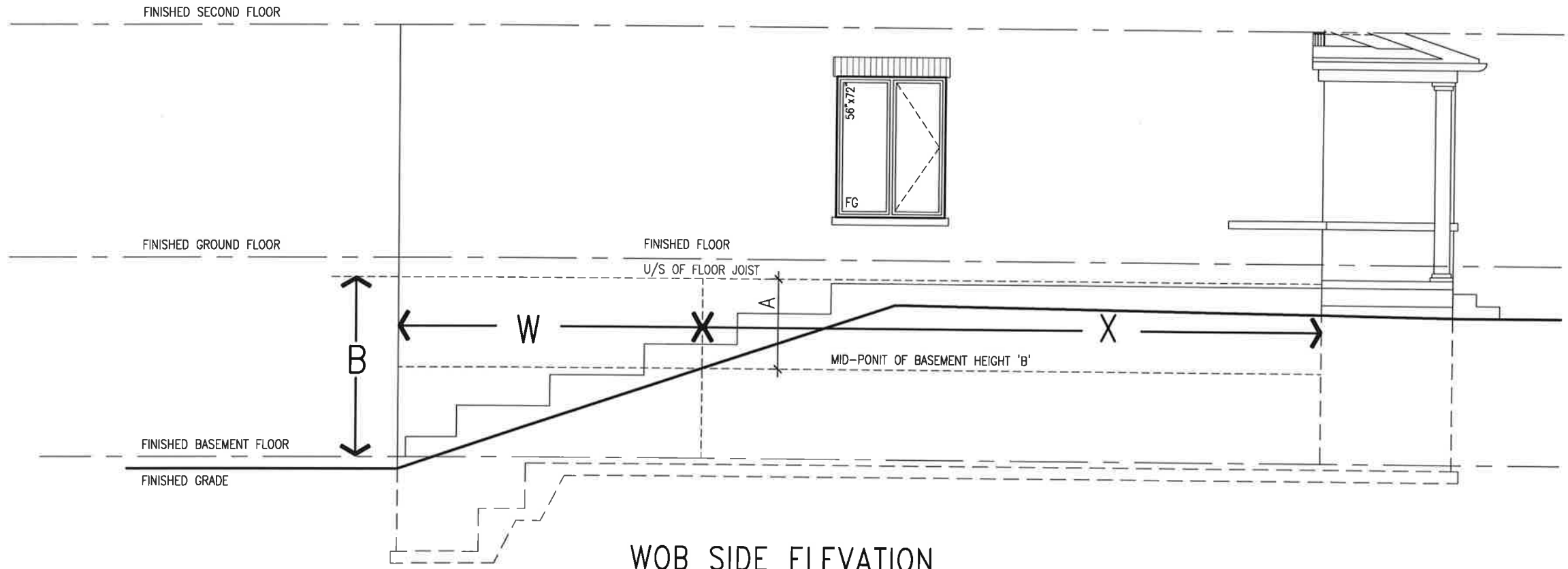
BAYVIEW WELLINGTON		CONST. NOTE	
project name	ALCONA	municipality	INNISFIL ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	—
scale	3/16" = 1'-0"	drawing no.	CN7
		CONSTRUCTION NOTES	file name 13049-CN-A1 VER 2020

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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN

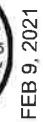


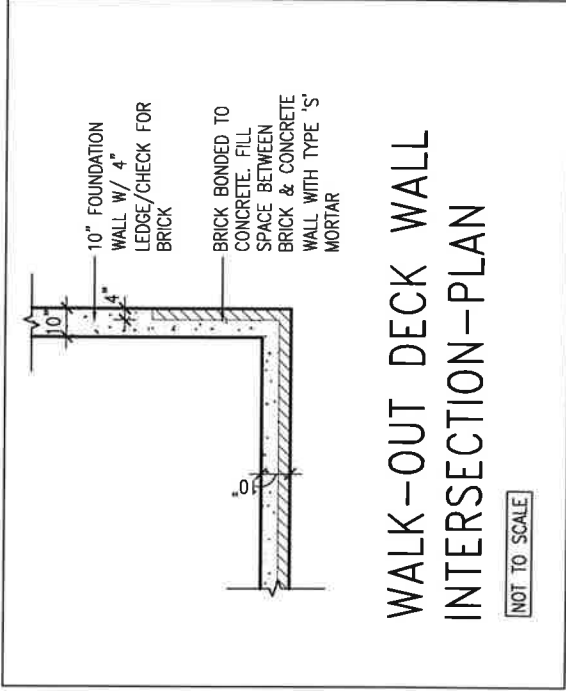
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

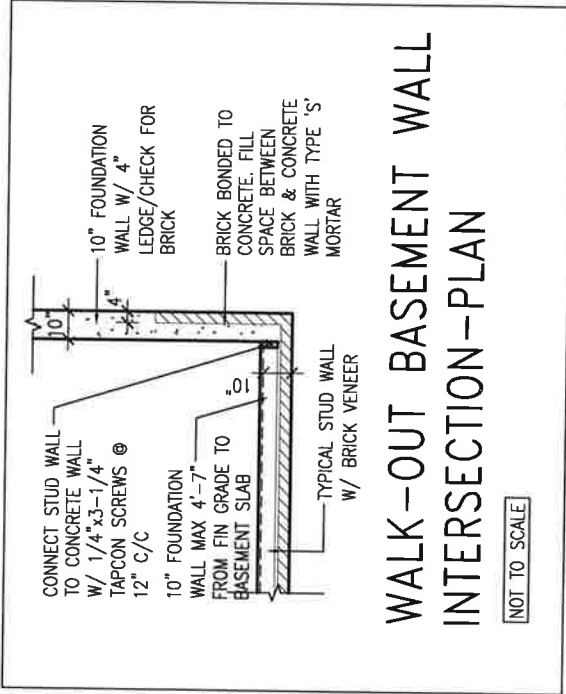
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA		project no. 13049	
date MAY 2016		drawing no. CN8	
drawn by RC		checked by 3/16" = 1'-0"	
checked by		checked by	
municipality INNISFIL, ON.		CONSTRUCTION NOTES	
13049-CN-A1		13049-CN-A1	
VER 2020		VER 2020	
RC		RC	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information Wellington Jiro-Baptiste signature 25591		qualification information Wellington Jiro-Baptiste signature 25591	
BCN 42658		BCN 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and are not to be scaled.	
no. description		no. description	
1. UPDATE TO OBC VER 2020		1. UPDATE TO OBC VER 2020	
2. ISSUE FOR CLIENT REVIEW		2. ISSUE FOR CLIENT REVIEW	
date		date	
FEB 09-21 RC		FEB 09-21 RC	
AUG 04-17 RC		AUG 04-17 RC	

[illegible]



WALK-OUT DECK WALL
INTERSECTION-ELEVATION



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL



9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

25591

name registration information

signature

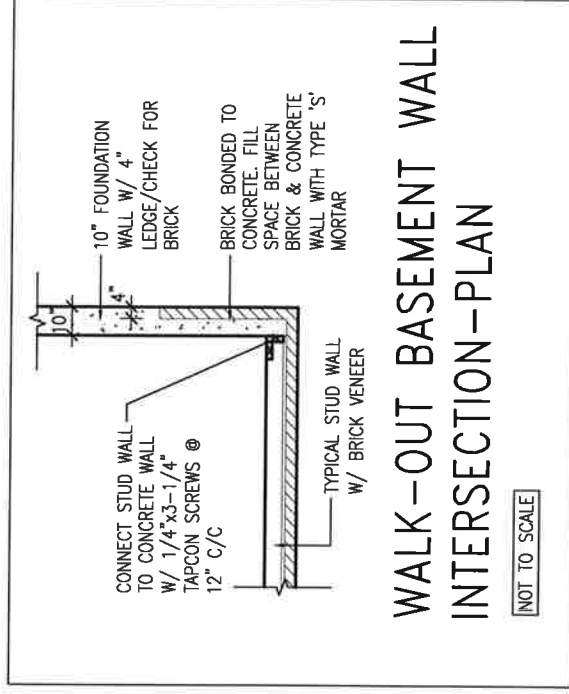
BCO

42658

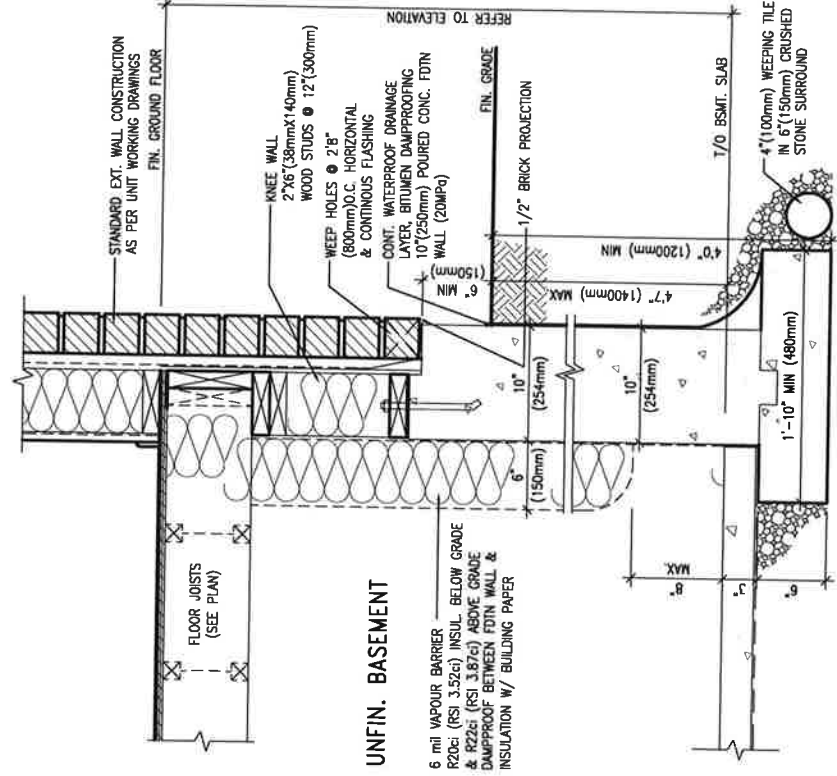
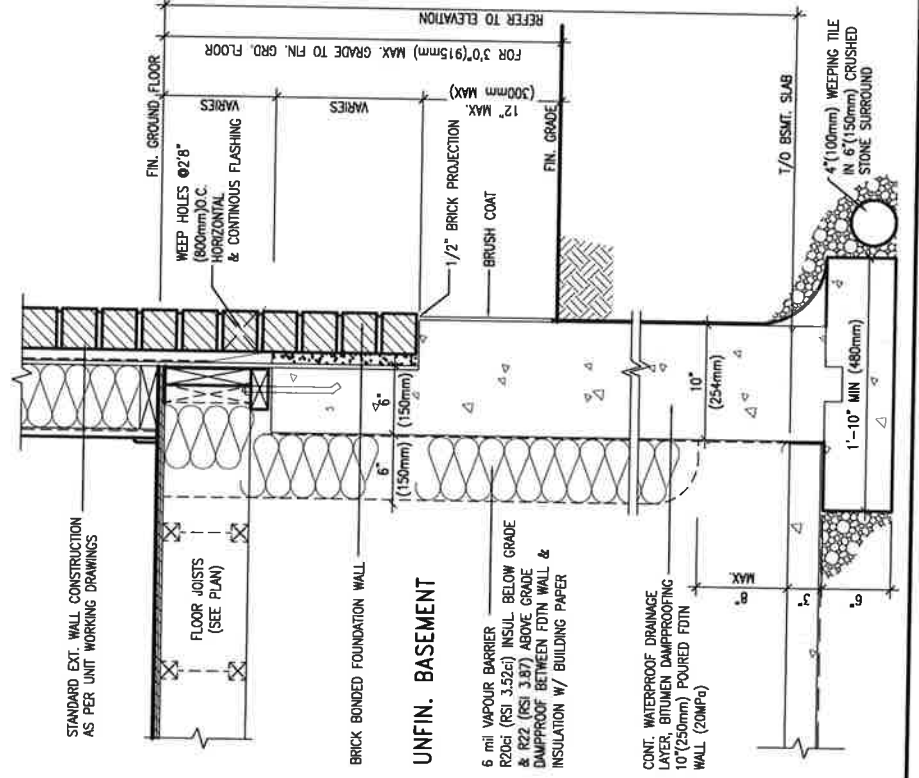
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All of the drawings and specifications are instruments of service and the property of the firm. They are to be retained for the completion of the work. Drawings are not to be copied.

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL, ON.
date MAY 2016	project no. 13049
drawn by RC	drawing no. CN10
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
PROJECTED - H:\ARCHIVE\WORKING\2017-13049 BVA UNITS (CN_A)\13049-CN-A1 VER_2020.dwg — Tue - Feb 9 2021 AM	

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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE



no.	description	date	by	wellington jno-baptista	25591
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	name	separately
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	BCON	
3				verification information	
4				WAS Design Inc.	
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BAYVIEW WELLINGTON

project name ALCONA	project no. 13049
date MAY 2016	municipality INNISFIL, ON.
drawn by RC	draining no. CN111
checked by -	scale 3/16" = 1'-0"
file name 13049-CN-A1	CONSTRUCTION NOTES VER 2020

