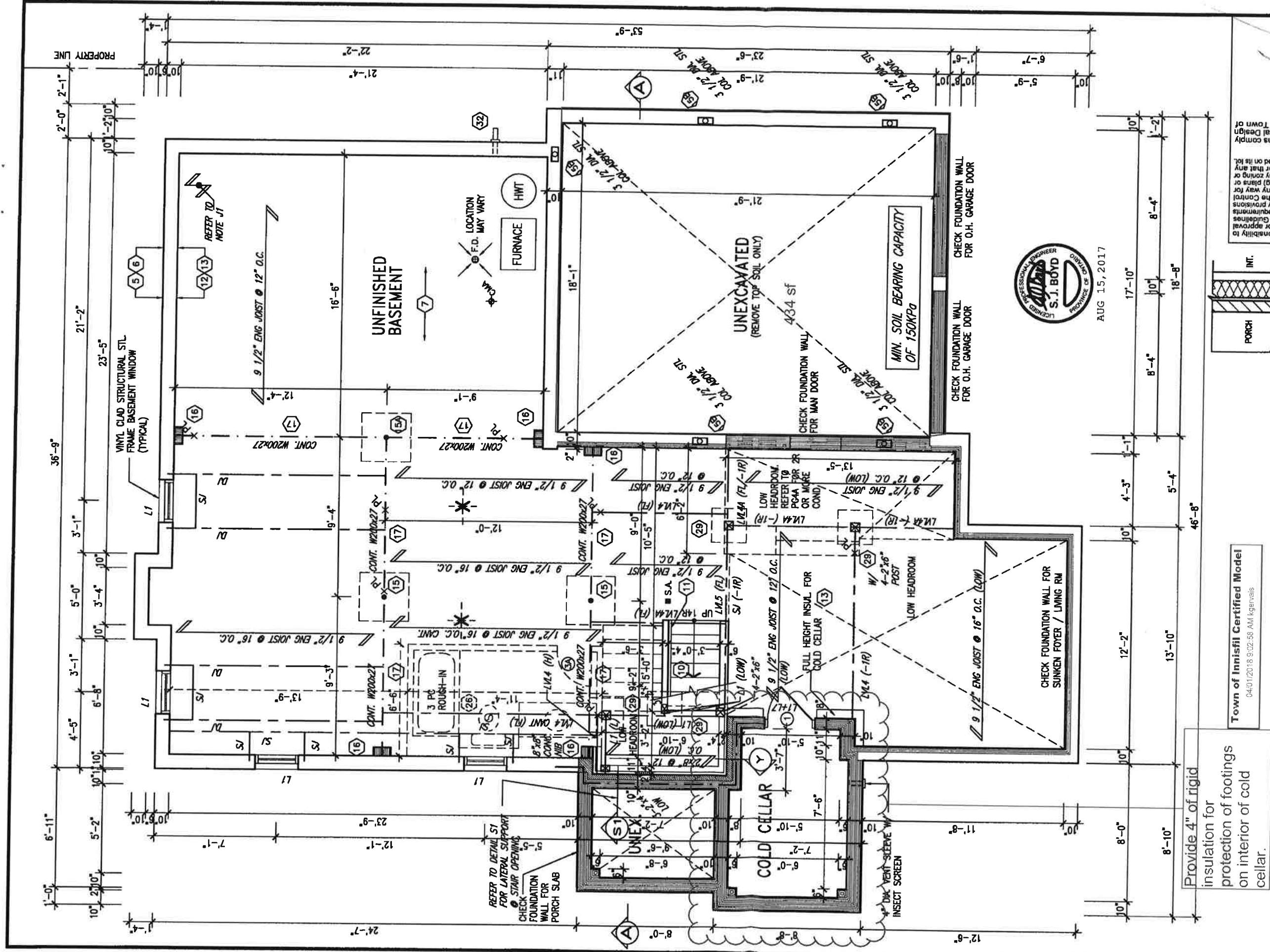




Provide 4" of rigid insulation for protection of footings on interior of cold cellar.

Town of Innisfil Certified Model
04/01/2018 9:02:56 AM kgavals

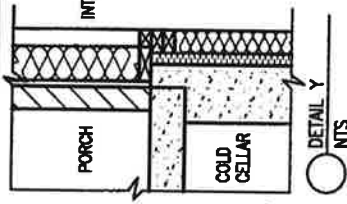
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: J.I.: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP).

BASMENT FLOOR PLAN 'A'

AREA CHART ON PAGE 4A



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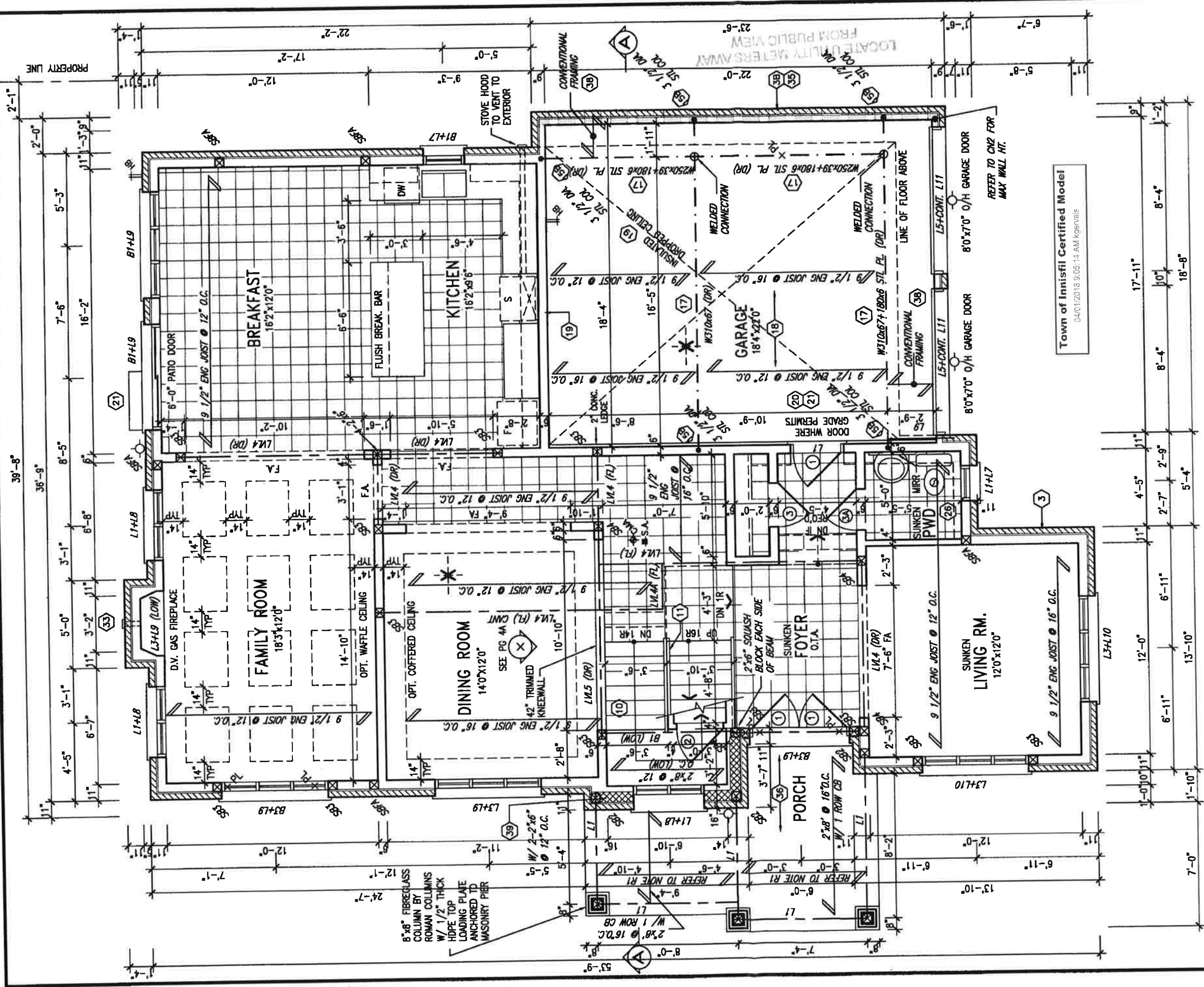


AUG 15, 2017

no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC	RCW
3	REVISED TO 10" FOUNDATION WALLS	DEC 21-16 JAE	42558
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SR	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vcdesign.com

BAYVIEW WELLINGTON
project name
ALCONA
client
date NOV, 2015
drawn by RC
checked by
scale 3/16" = 1'-0"
sheet
drawing no. **1A**
project no. **13049**
drawing no. **13049-S45-4C**
municipality **INNISFIL, ONTARIO**
project no. **S45-4C**
drawing no. **HUMMINGBIRD 4**



Town of Innisfil Certified Model
04/01/2018 9:05:14 AM kgervais

INDICATES REDUCED SIDE YARD

GROUND FLOOR PLAN 'A'

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.



BAYVIEW WELLINGTON

S45-4C
HUMMINGBIRD 4

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	3/16" = 1'-0"	drawing no.	2A
drawn by	RC	checked by	13049-S45-4C		

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

name	Wellington-John-Baptiste	25581	BCN
registration information	VAS Design Inc.	42658	

Contractor must verify all dimensions on the job and report any
discrepancies to the designer before proceeding with the work. All
dimensions and specifications are indicative of services and the property
of the designer which must be returned at the completion of the work.
Drawings are not to be scaled.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 21-16/AE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SR	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



AUG 15, 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement and any provisions including zoning provisions and any provisions for the subdivision agreement. The Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S45-4C ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	773 S.F.	127.15 S.F.	16.45 %
LEFT SIDE	1092 S.F.	289.451 S.F.	26.51 %
RIGHT SIDE	1075 S.F.	18.111 S.F.	1.68 %
REAR	753 S.F.	198.12 S.F.	26.31 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3693.00 S.F.	620.89 S.F.	16.81 %
TOTAL SQ. M.	343.09 S.M.	57.68 S.M.	16.81 %

4-BASEMENT WINDOWS ARE DELETED AS PER CODE SB-12 3.1.1.9.(3)
 2 ARCHED WINDOWS ON THE LEFT SIDE ELEVATION AS PER CODE SB-12 3.1.1.9.(4)



FRONT ELEVATION 'A'

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project name		S45-4C
project no.		13049
municipality		INNISFIL, ONTARIO
drawing no.		5A
date		NOV. 2015
drawn by		RC
checked by		3/16" = 1'-0"
scale		
drawing title		FRONT ELEVATION A
drawing no.		13049-S45-4C
date		Aug 15 2017 - 11:20 AM



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington John-Baptiste

25591 RCN

42658

VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 21-16 A/E	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

Town of Innisfil Certified Model
04/01/2018 9:06:13 AM kgervais

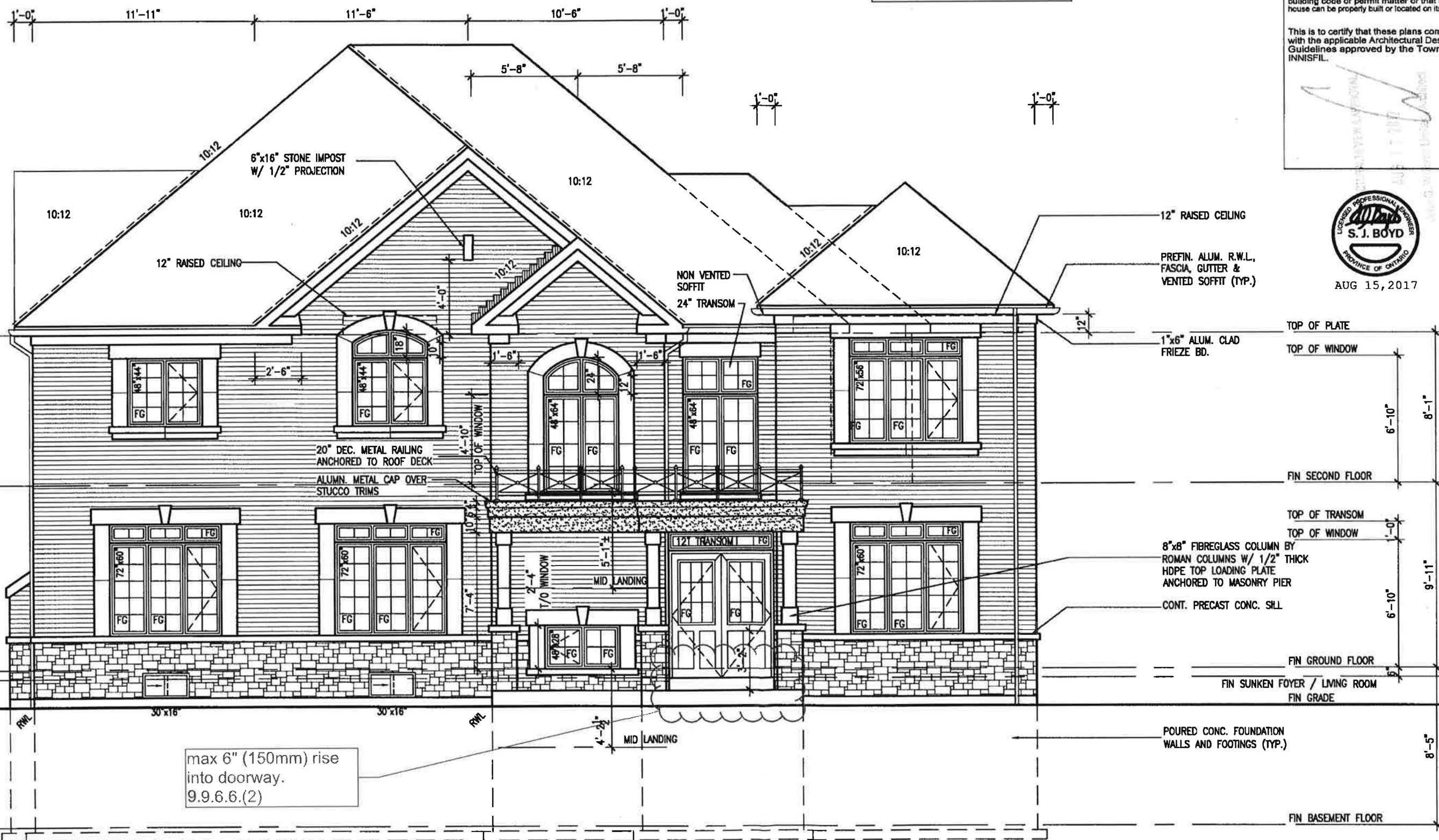
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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AUG 15, 2017

project no.		project name		drawing no.	
S45-4C		BAYVIEW WELLINGTON		13049	
HUMMINGBIRD 4		ALCONA		6A	
municipality		date		drawing no.	
INNISFIL, ONTARIO		NOV. 2015		13049-S45-4C	
LEFT SIDE ELEVATION A		checked by		file name	
		RC		13049-S45-4C	
		scale		date	
		3/16" = 1'-0"		AUG 15 2017 - 11:20 AM	
		drawn by		no. description	
		RC		1	
				2	
				3	
				4	
				5	
				6	
				7	
				8	
				9	



FLANKAGE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model

04/01/2018 9:06:40 AM kgervais



AUG 15, 2017

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project no. **S45-4C**
HUMMINGBIRD 4
project no. **13049**
drawing no. **8A**

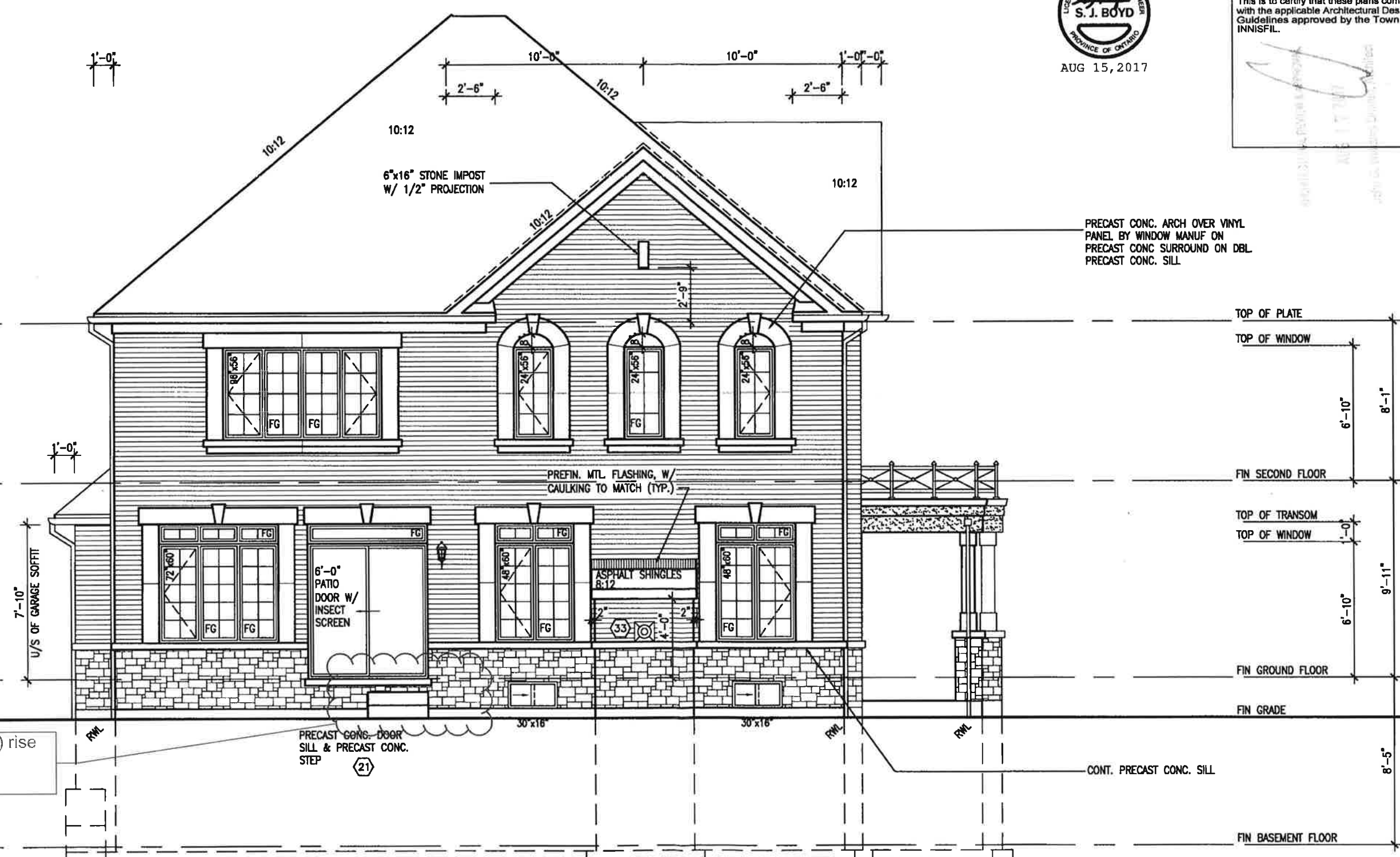
project name **BAYVIEW WELLINGTON**
municipality **INNISFIL, ONTARIO**
date **NOV. 2015**
checked by **3/16" = 1'-0"**
drawn by **13049-S45-4C**

project name **ALCONA**
date **NOV. 2015**
checked by **3/16" = 1'-0"**
drawn by **13049-S45-4C**

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste kgervais
name kgervais
firm VA3 Design Inc.
signature kgervais
date 25581
42658

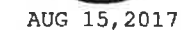
no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 21-16 ALE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



REAR ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

04/01/2018 9:08:28 AM kgervais



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

9	.	4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC
8	.	3	REVISED TO 10" FOUNDATION WALLS	DEC 21-16 AE
7	.	2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB
6	.	1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC
5	.			date by
				description

Background





UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
S45-4C ELEVATION A 9R WOOD ELEVATION	ENERGY EFFICIENCY - OBC S912			
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	773 S.F.	127.15 S.F.	16.45 %	
LEFT SIDE	1092 S.F.	289.451 S.F.	26.51 %	
RIGHT SIDE	1075 S.F.	18.111 S.F.	1.68 %	
REAR	904 S.F.	223 S.F.	24.67 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
TOTAL SQ. FT.	3844.00 S.F.	645.77 S.F.	16.80 %	
TOTAL SQ. M.	357.12 S.M.	59.99 S.M.	16.80 %	

2-BASEMENT WINDOWS ARE DELETED AS PER CODE SB-12 3.1.1.9.(3)
2 ARCHED WINDOWS ON THE LEFT SIDE ELEVATION AS PER CODE SB-12 3.1.1.9.(4)

Town of Innisfil Certified Model
04/01/2018 9:11:07 AM kgervais



AUG 15. 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable Guidelines and all applicable regulations and requirements in the subdivision agreement. The Controller is not responsible in any way for examining or approving sale (lotting) plans or building drawings with respect to any zoning or other permit matter or if located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Board of Directors.

[illegible]

Town of Innisfil Certified Model
04/01/2018 9:11:14 AM kgervais



AUG 15, 2017

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S45-4C
HUMMINGBIRD 4

BAYVIEW WELLINGTON

project no.	13049
drawing no.	11A
project name	INNISFIL, ONTARIO
checked by	REAR ELEVATION A WOD
drawn by	13049-S45-4C
date	13049-S45-4C
scale	3/16" = 1'-0"
revision	13049-S45-4C

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1-416-630-2255 f 416-630-4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and the specifications and notes the requirements set out in the Ontario Building Code to be a design.		25591	BCN
Wellington Jno-Bopista		42858	BCN
VLS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned to the Designer at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 10-17 RC	
3	REVISED TO 10' FOUNDATION WALLS	DEC 21-16 A/E	
2	REVISED INSULATION AT STAIRS	SEPT 19-16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



PROVIDE 2"x4" P.T. WOOD
HANDRAIL GUARD W/ 2"x2"
P.T. WOOD PICKETS @ 4"
MAX.

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
4'-0" BELOW GRADE.

max 6" (150mm) rise
into doorway. 9.9.6.6.(2)

REAR ELEVATION 'A' W.O.D.
9R AND MORE COND.

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

PRECAST CONC. ARCH OVER VINYL
PANEL BY WINDOW MANUF ON
PRECAST CONC SURROUND ON DBL
PRECAST CONC. SILL

CONT. PRECAST CONC. SILL

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

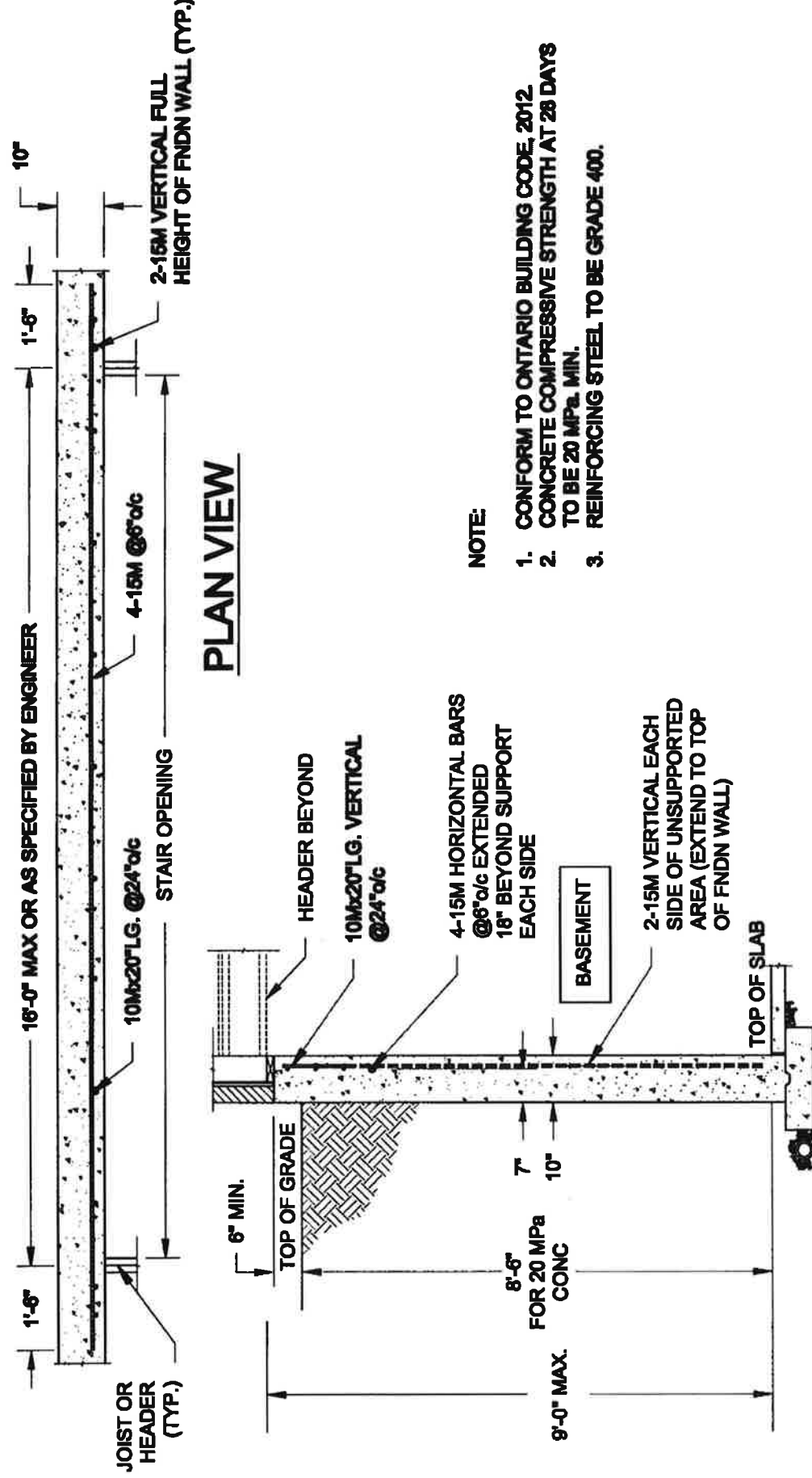
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

FIN BASEMENT FLOOR



PLAN VIEW

NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

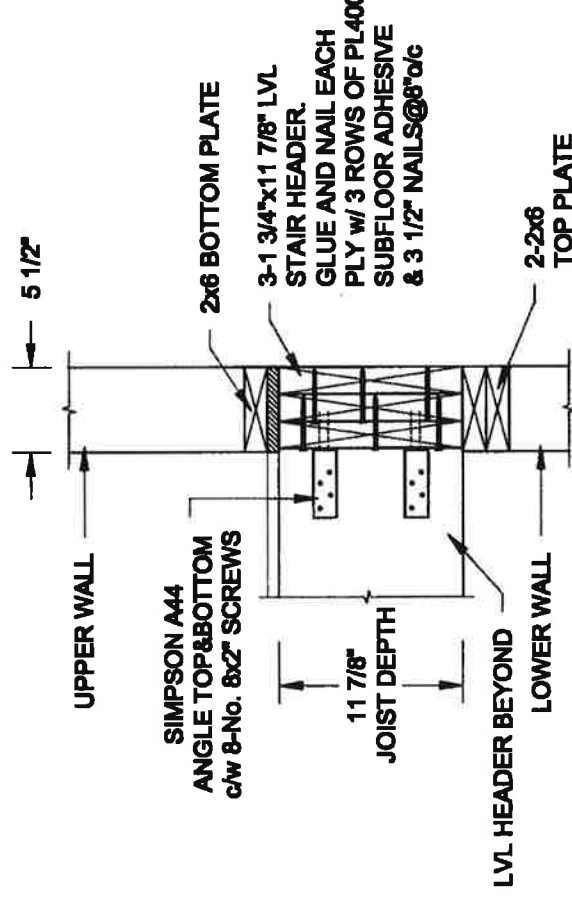
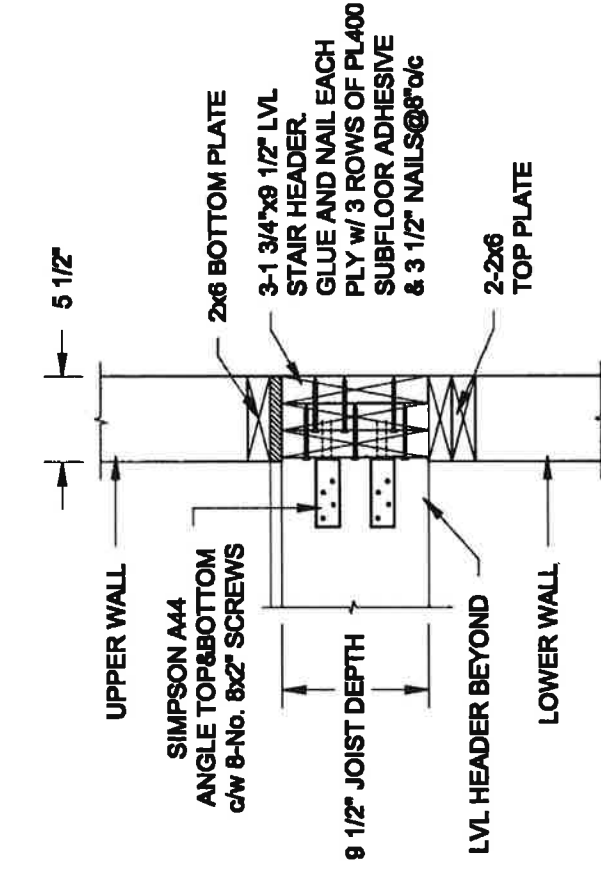
SCALE: 3/8" = 1'-0"

S1

Town of Innisfil Certified Model
04/01/2018 9:12:10 AM kgenvals

FOR 9 1/2" JOIST DEPTH

FOR 11 7/8" JOIST DEPTH



2 STAIR HEADER @ EXTERIOR WALL

SCALE: 1" = 1'-0"

S1

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8847
E: quaile.eng@rogers.com

Engineer's Seal:



Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

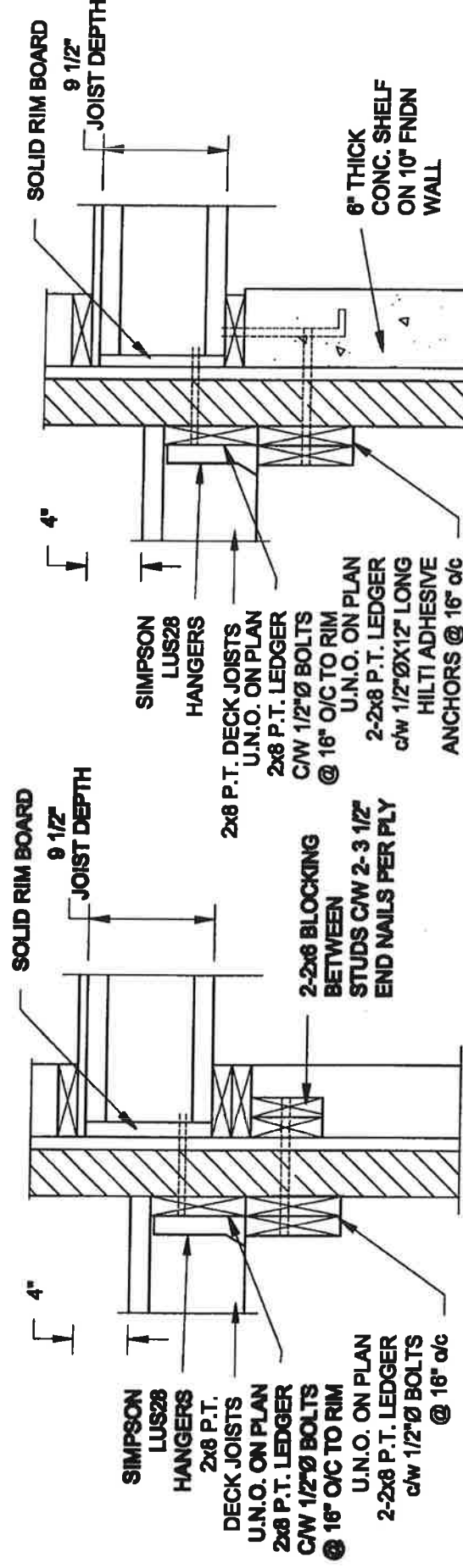
Project No.:

16-083

Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH

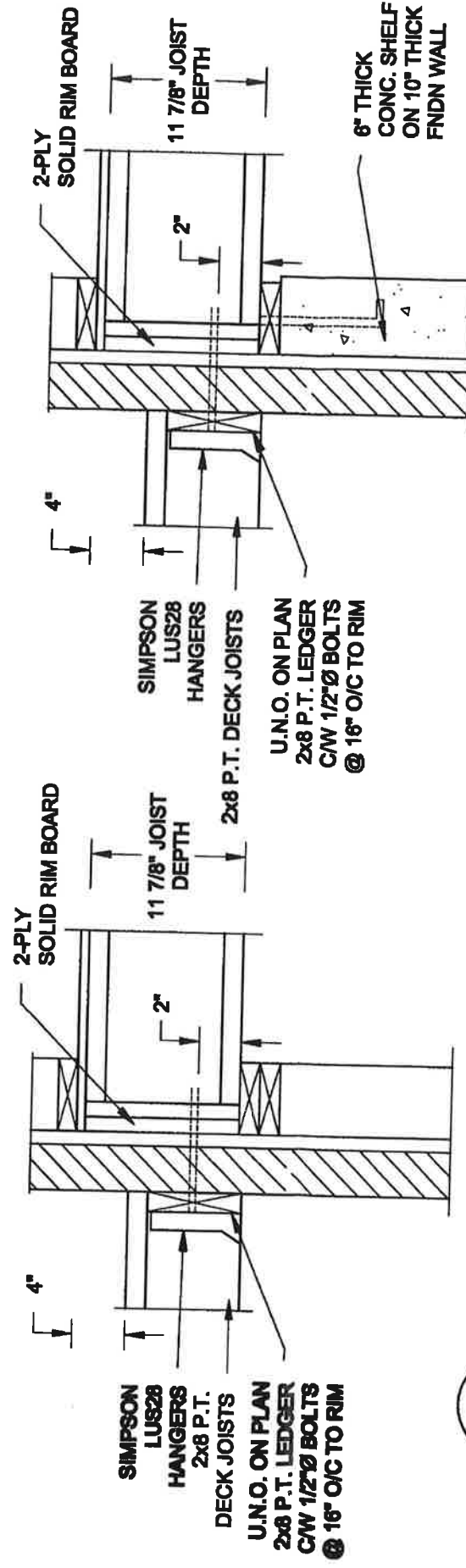


1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

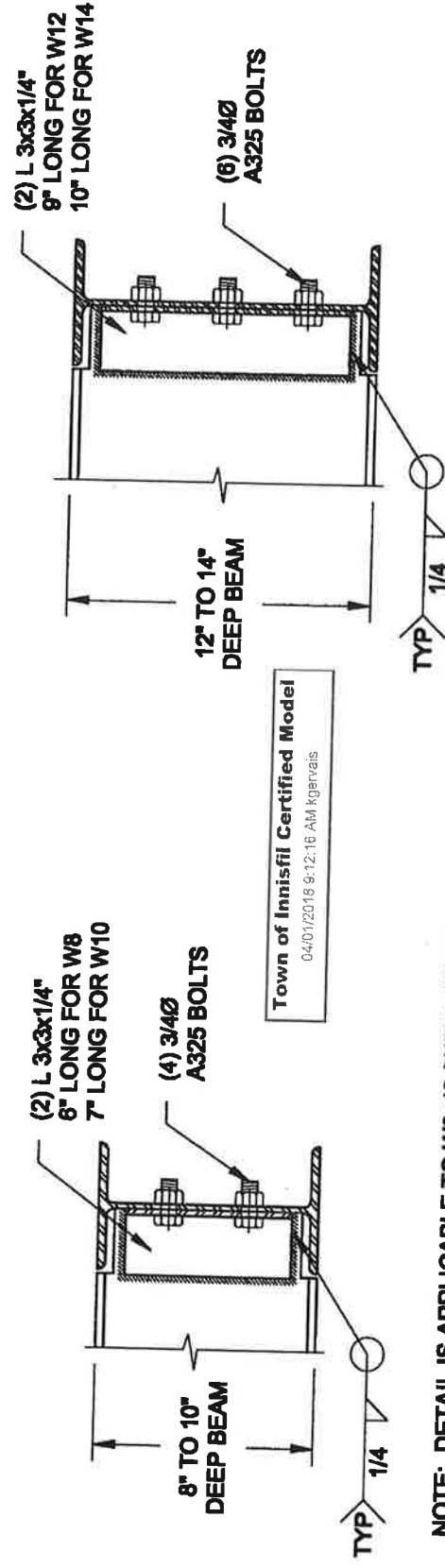
FOR 11 7/8" JOIST DEPTH



2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

Scale:	AS NOTED		
Date:	JUL-01-2017		
Drawn:	SC	Checked:	SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 6J9
T: 905-853-8547
E: quale.engineering@gmail.com

Engineer's Seal



S.J. BOYD
PROFESSIONAL ENGINEER
ONTARIO
LICENSED MEMBER
PROVINCE OF

AUG 10, 2017

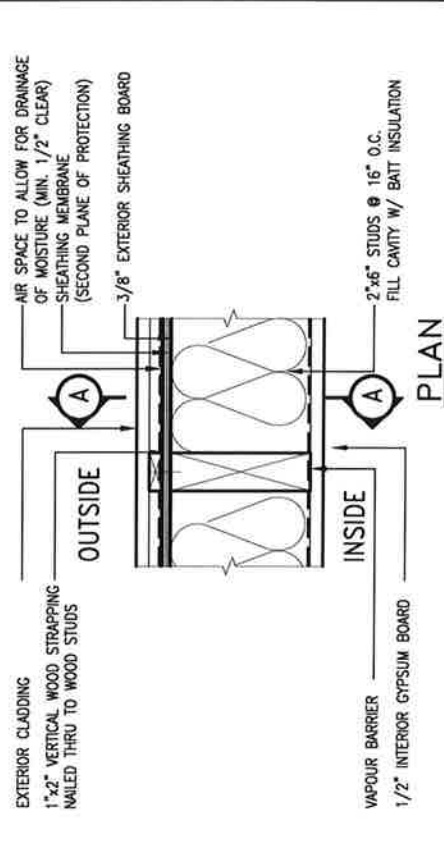
Project:

BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
MISSISSAUGA, ONTARIO

Project No.: **16-063**

Drawing No.:

TYPICAL STRUCTURAL DETAILS FOR GARAGES



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

[illegible][illegible]

QCB3A FUTURE GRAB BAR IN BATHTUB
(VERTICAL BAR LOCATED EACH END WALL)
OBC. DIV. 8-3.8.1.13.(X)

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0M AND FLOOR
JOIST LENGTH OF 2.5M OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2'-2"x8" @ 16" O.C. - 20'-4"
2'-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") Gypsum Board on the INTERIOR FACE
5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR RETURN WIND PRESSURE OF 0.6 kPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591

name	signature	BCIN
registration information		

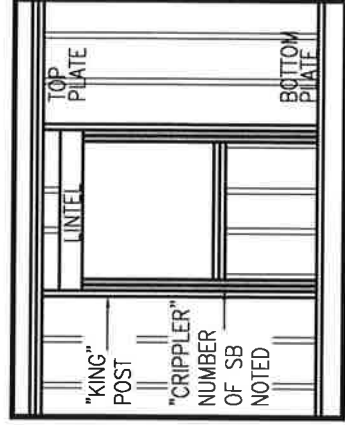
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All drawn



FEB 9, 2021

CONST NOTE

project no.
13049

CONSTRICTION NOTES

CONSTRUCTION NOTES

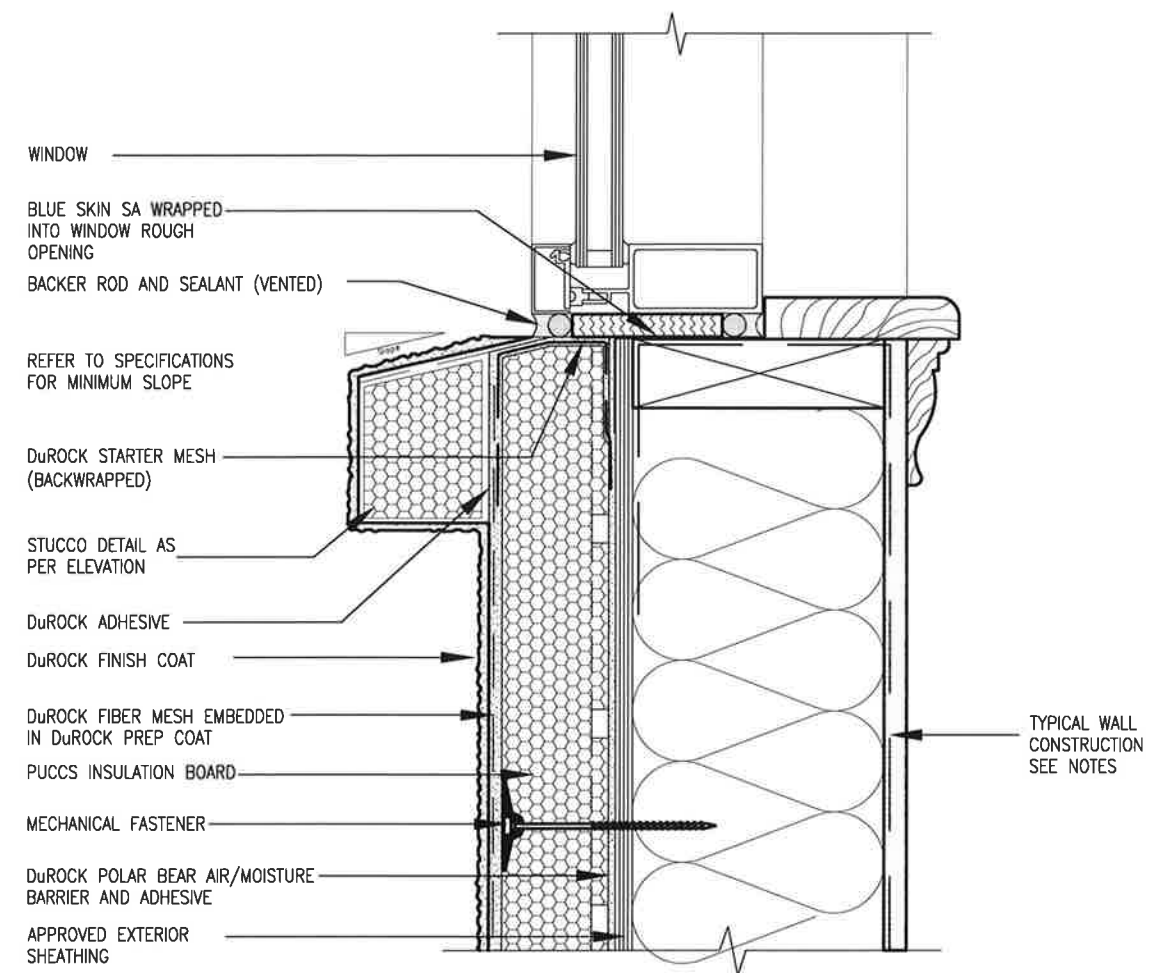
13049-CN-A1 VER 2020

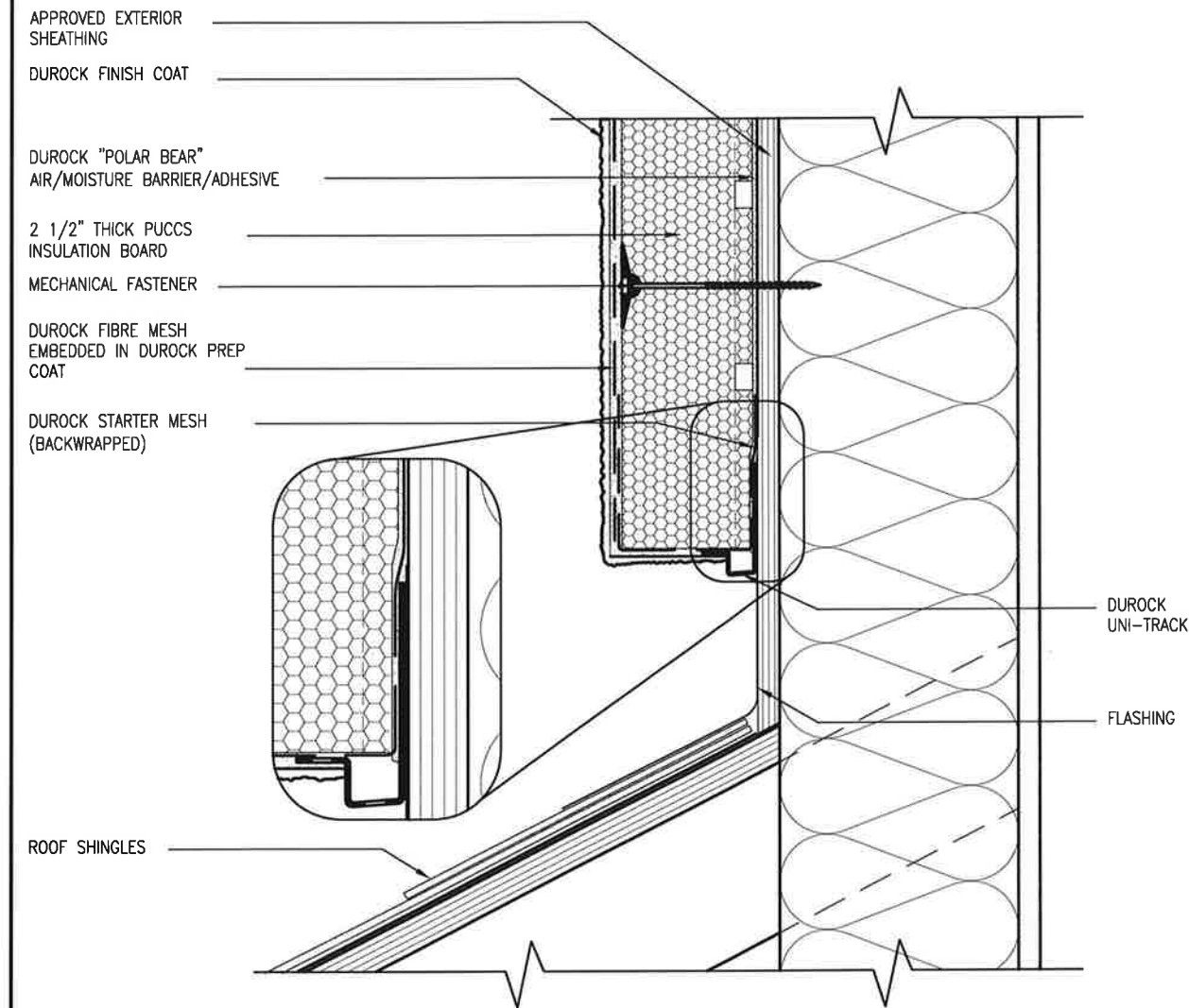
2020 ding - Tue - Feb 9 2021 -- 11:14 AM

in part is strictly prohibited without VAS DESIGN



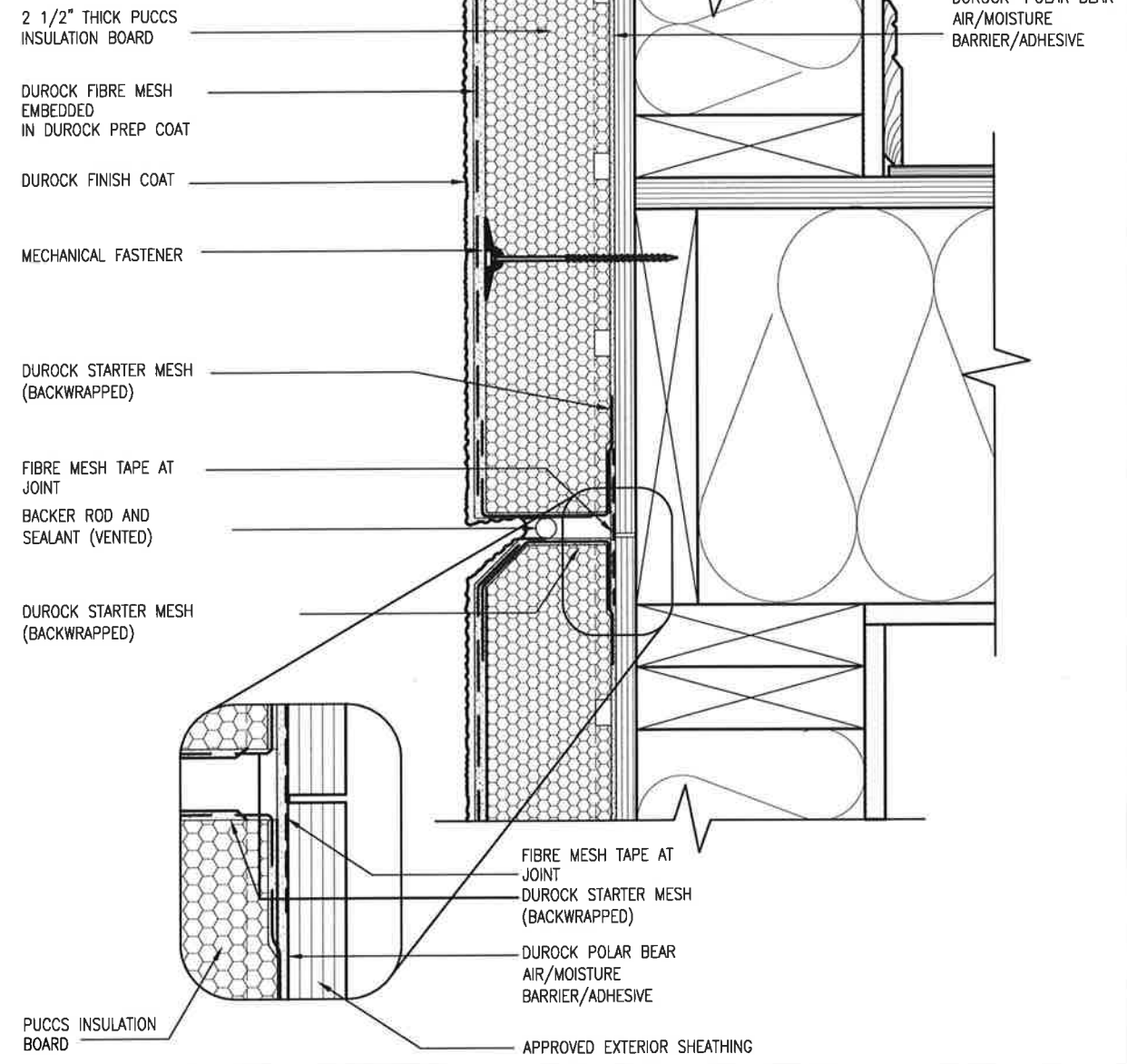
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

[illegible]



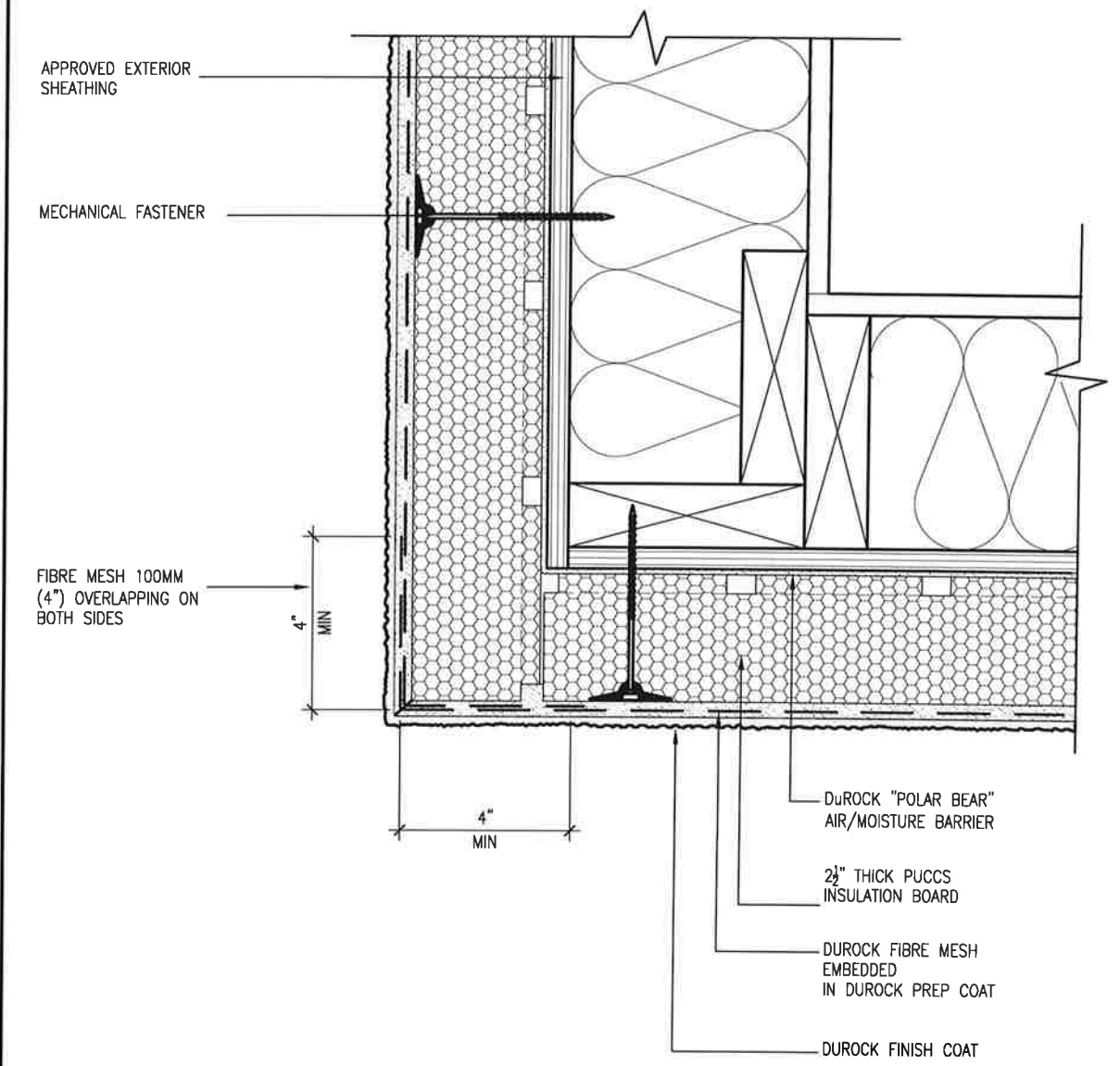
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



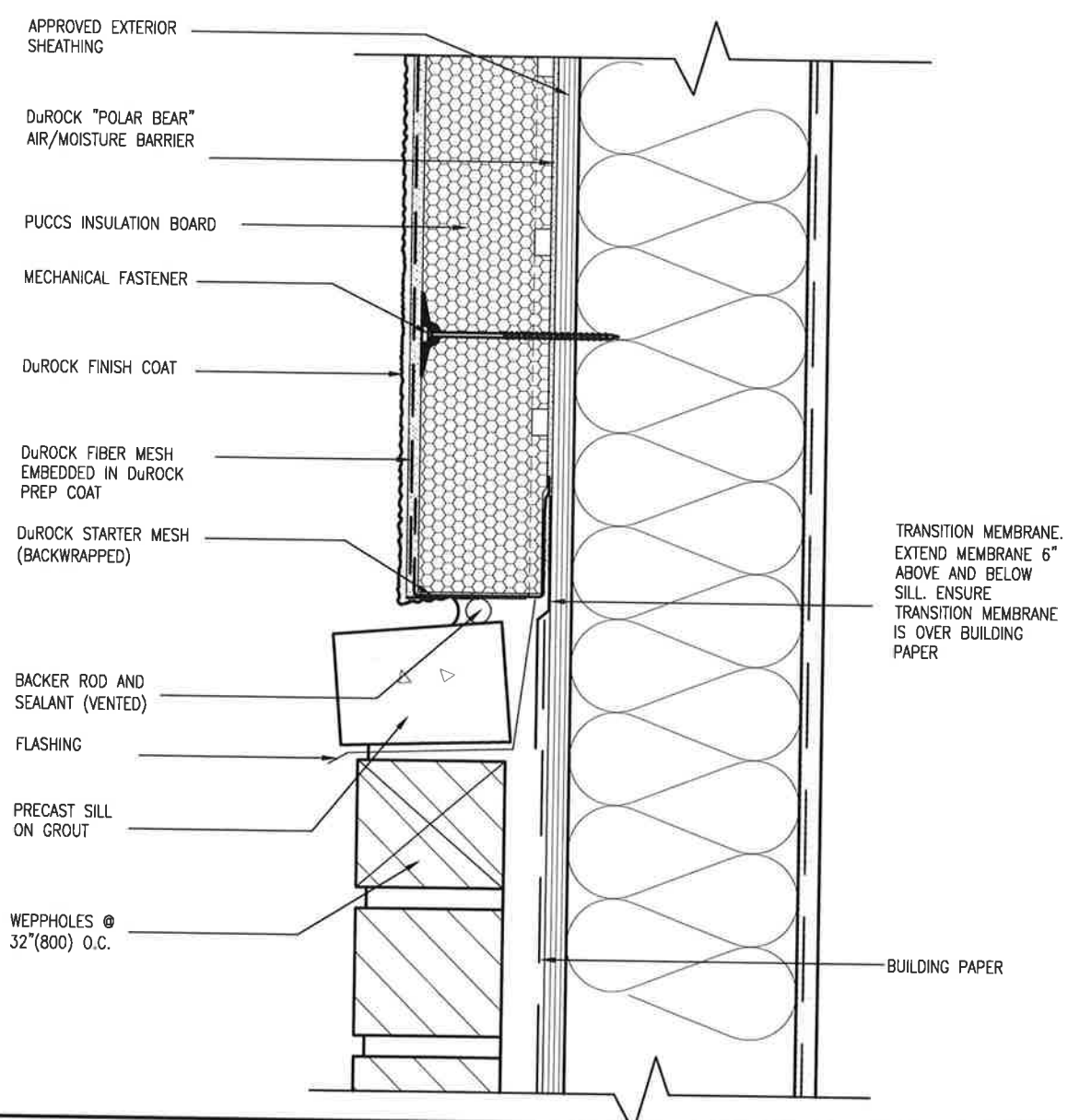
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		VA3 DESIGN	
project no	13049	project name	ALCONA	255 Consumers Rd Suite 120	
drawing no	CN4	city	INNISFIL ON.	Toronto ON M2J 1R4	
CONSTRUCTION NOTES		date	MAY 2016	t 416.630.2235	
13049-CN-A1 VER 2020		drawn by	RC	f 416.630.4782	
file name		checked by		vc3design.com	
date		scale	3/16" = 1'-0"		
tue - Feb 9 2021 - 11:17 AM		All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
qualification information					
Wellington Jno-Baptiste 25591 BCN					
signature					
name					
registration information					
VA3 Design Inc. 42658					
Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately. The Designer will be responsible for the accuracy of the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
2 UPDATE TO ORC VER 2020		FEB 09-21 RC		date	
1 ISSUE FOR CLIENT REVIEW		AUG 04-17 RC		by	
no.		description			



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	project no	13049
city	INNISFIL ON.	drawing no	CN5
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
CONSTRUCTION NOTES		13049-CN-A1 VER 2020	
1. UPDATE TO OBC VER 2020		2. ISSUE FOR CLIENT REVIEW	
no. description		date	
1		FEB 09-21 RC	
2		AUG 04-17 RC	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name

signature

BCN

42658

VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120

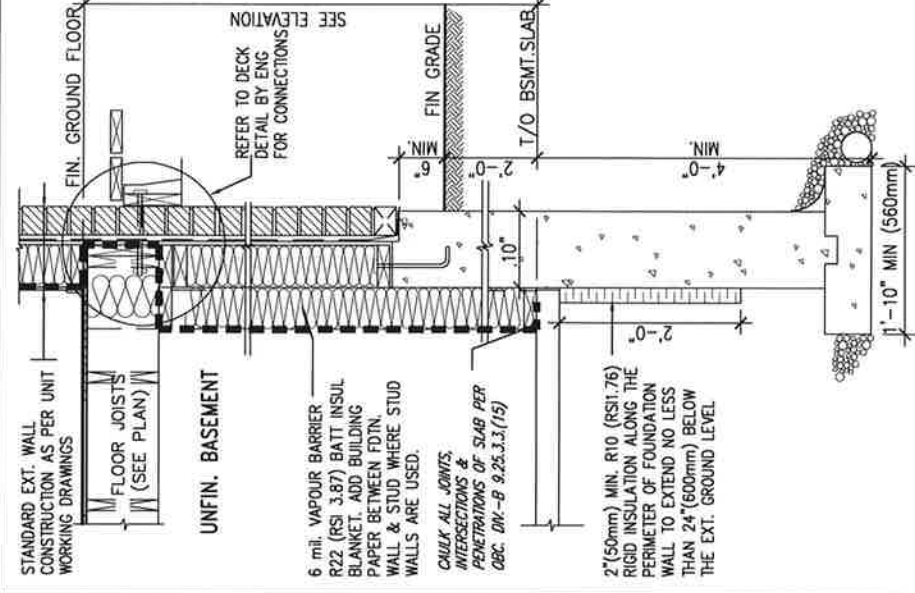
Toronto ON M2J 1R4

t 416.630.2233 f 416.630.4782

v3design.com

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1— COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC DIV. B-9.25.3
---	---

SECTION w/ BRICK VENEER (PACKAGE A1)

SCALE: N.T.S.

The undersigned has reviewed and takes responsibility for this design and specification. The design meets the requirements set out in the Ontario Building Code for a residential building.

signature *J. Baptiste* 25591 BCN 42658

Wellington Jno-Baptiste
name
residential information
VAS Design Inc.

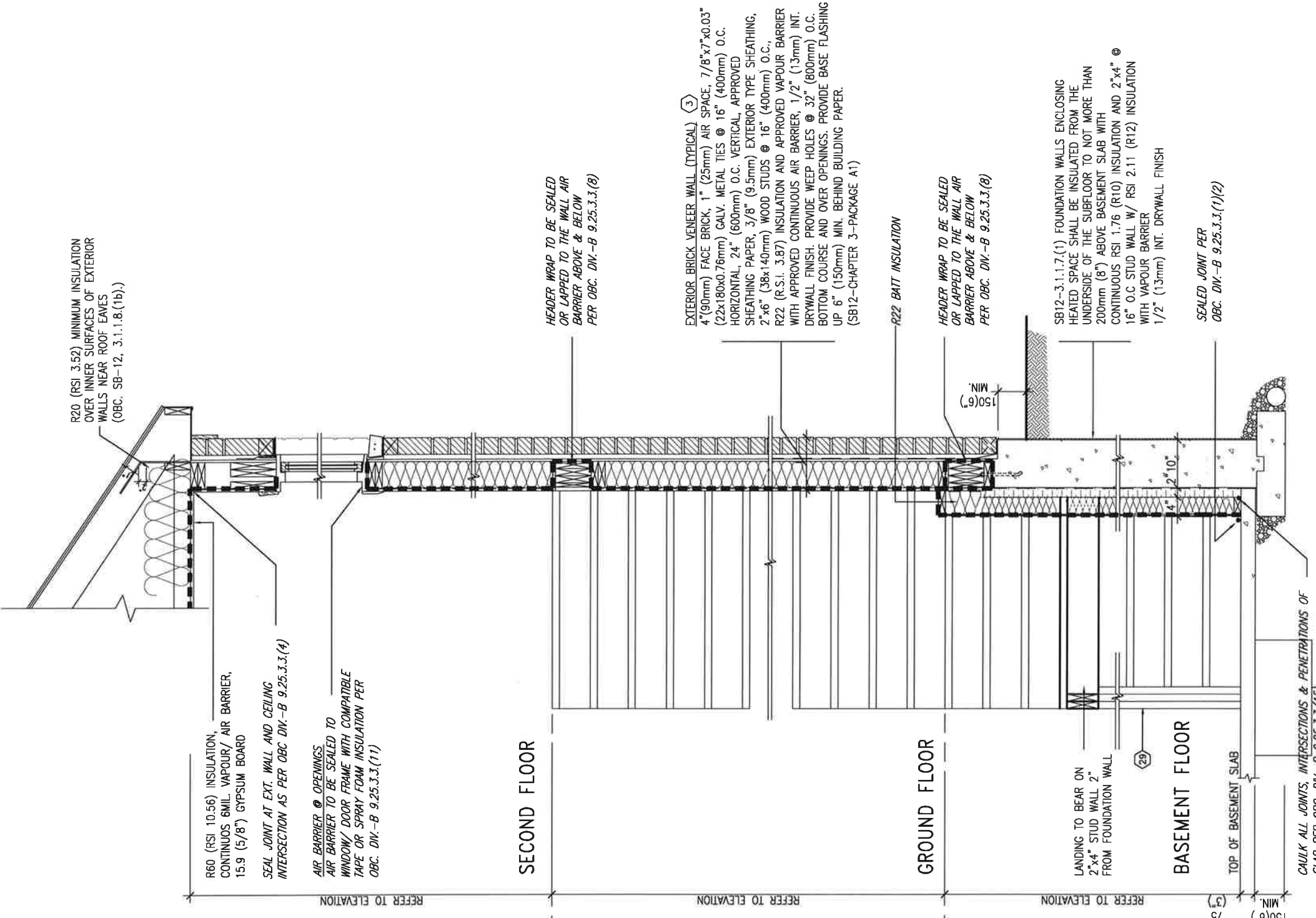
Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings are for the design and construction of the property of the designer which must be returned at the completion of the work. Drawings are not to be scaled.

All done

[illegible]

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

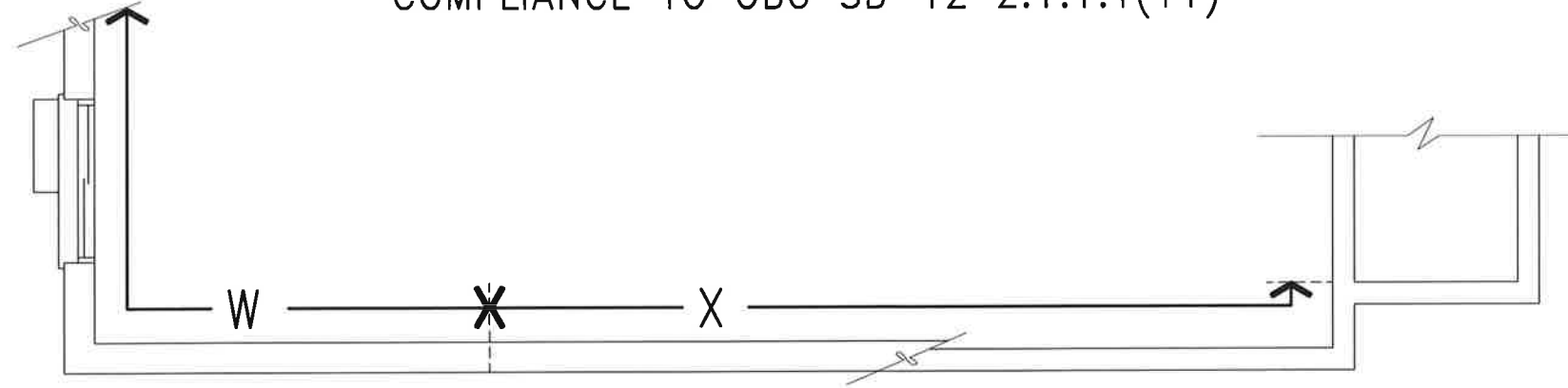
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vo3design.com

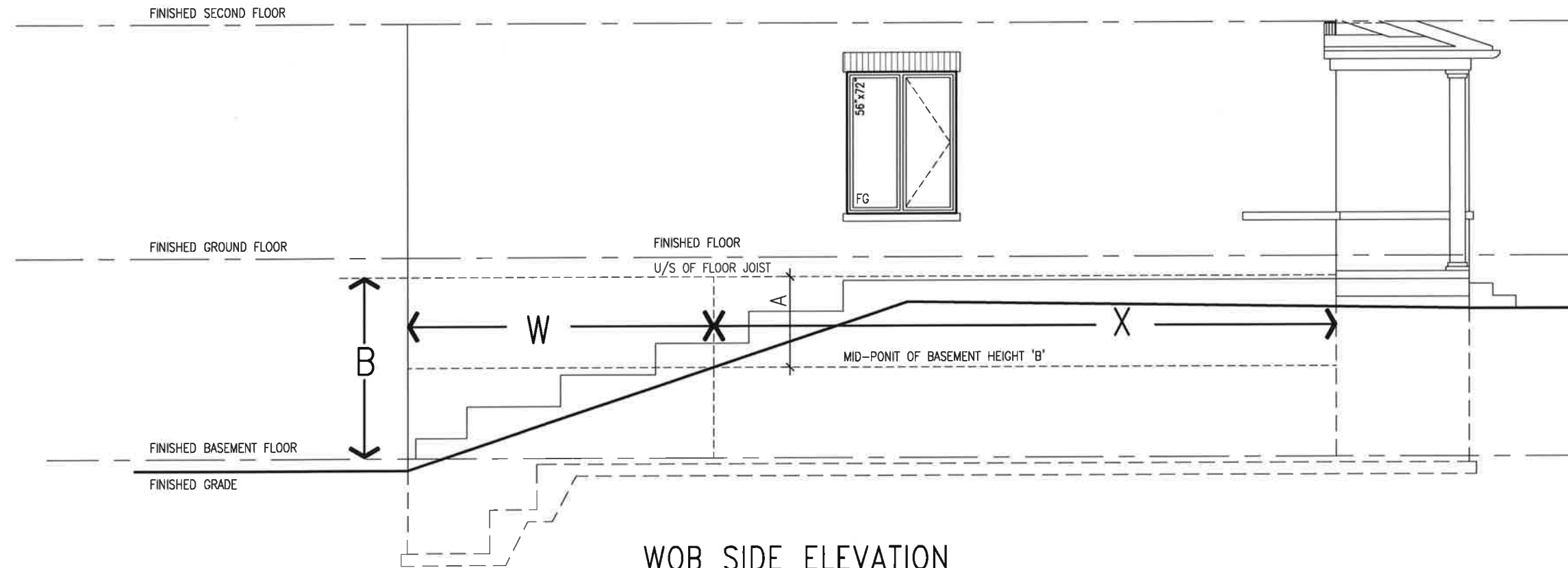
project name ALCONA		municipality INNSISFILON.		project no. 13049	
date MAY 2016		checked by --		scale 3/16" = 1'-0"	
drawn by RC		construction notes 13049-CN-A1 VER 2020		drawing no. CN7	

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FEB 9, 2021



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

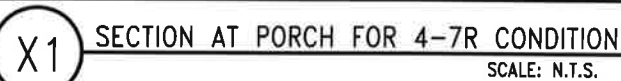
[illegible]

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		project name		ALCONA		municipality		INNISFILLON.	
RC		drawn by		MAY 2016		date		CONSIST	
checked by		scale		3/16" = 1'-0"		1:		RICHARD - H:\ARCHIVE\WORKING\201\3049 BAYVIEW (CN Notes)\3049-01.dwg	

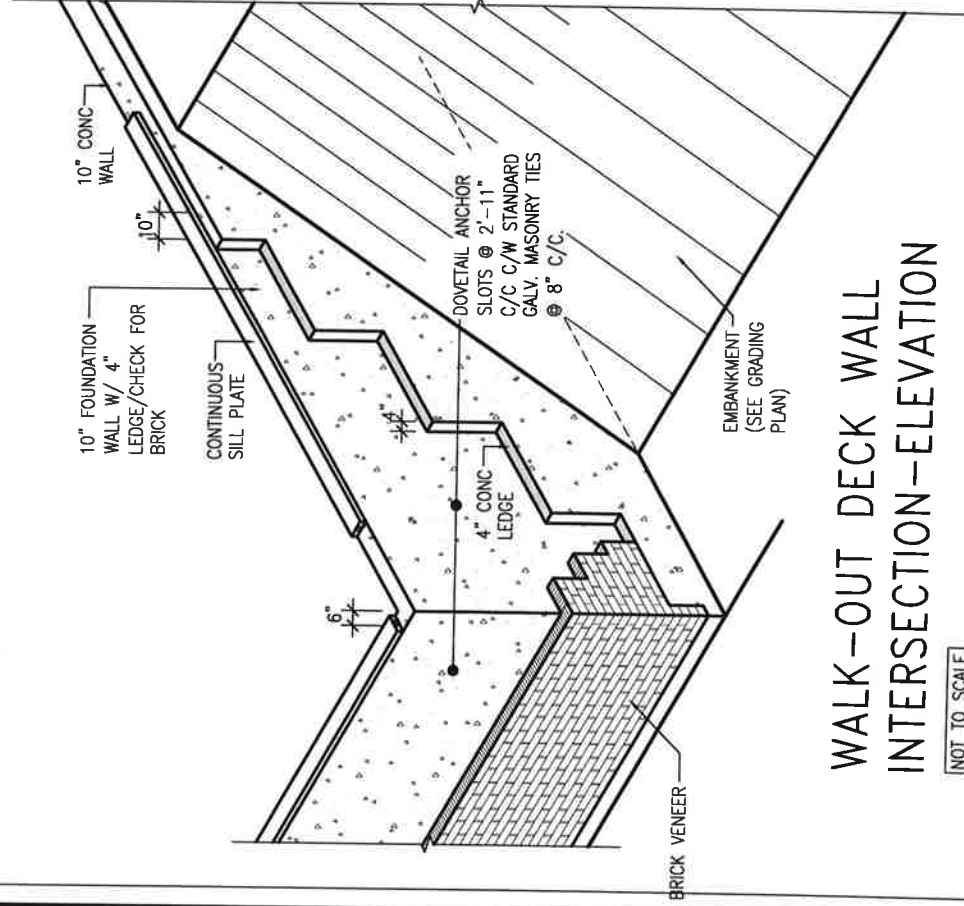
CONST NOTE

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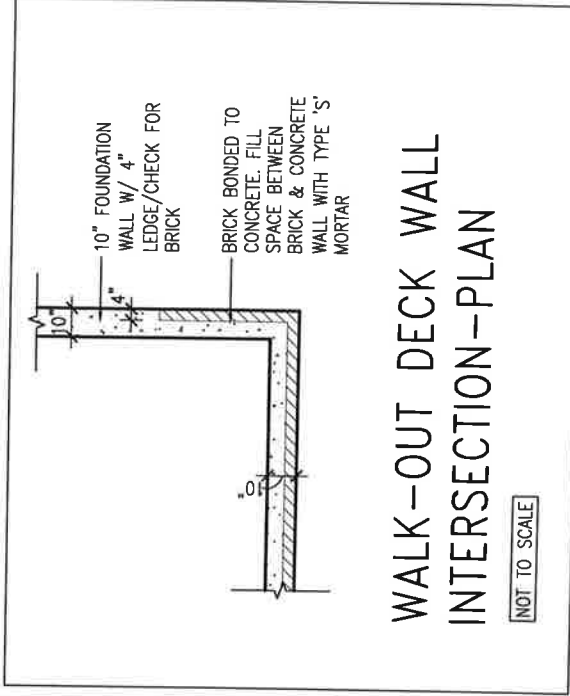
FEB 9, 2021

[illegible]



WALK-OUT DECK WALL
INTERSECTION-ELEVATION

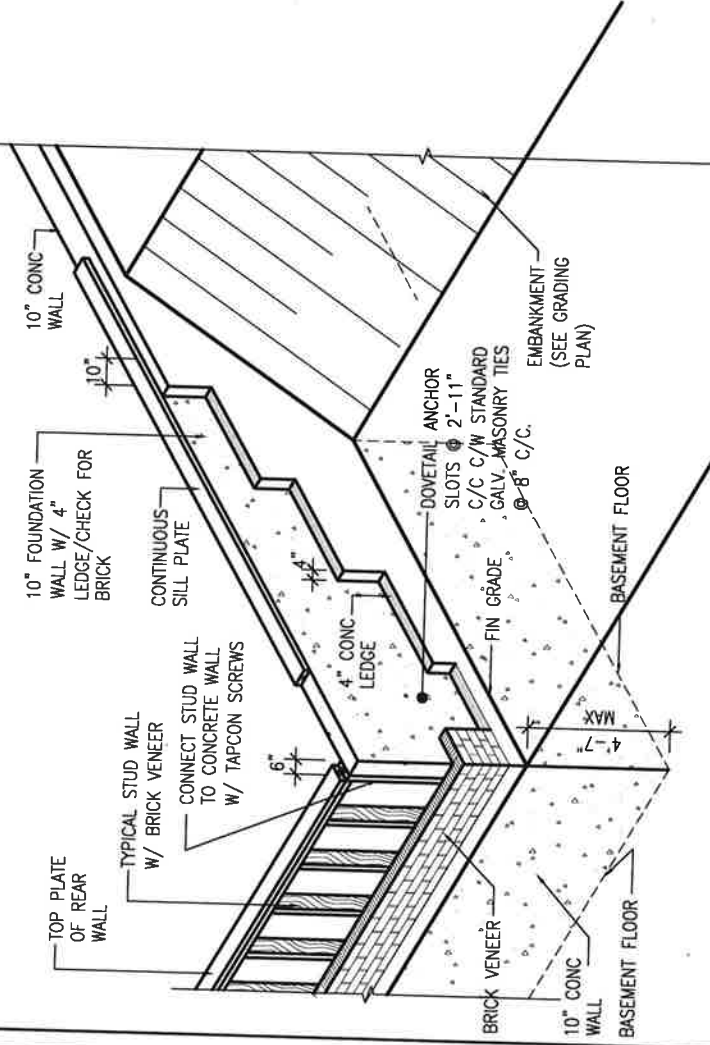
[NOT TO SCALE]



WALK-OUT DECK WALL
INTERSECTION-PLAN

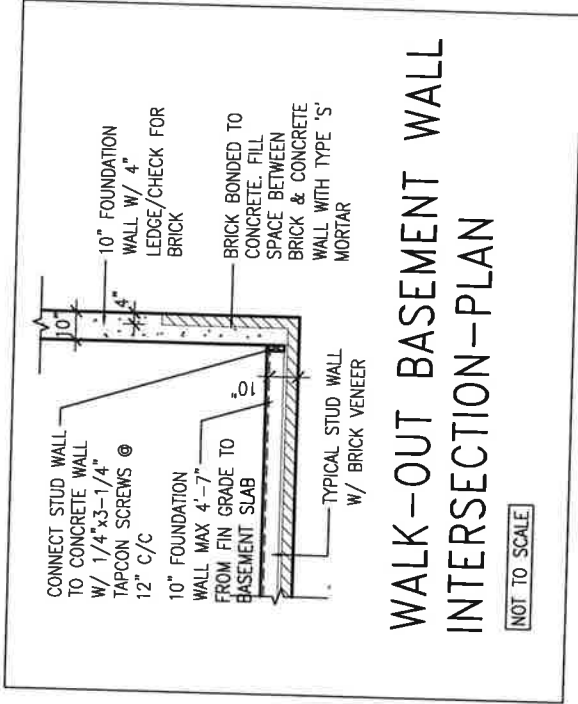
[NOT TO SCALE]

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

[NOT TO SCALE]



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

[NOT TO SCALE]

(10" FOUNDATION WALL)



FEB 9, 2021

no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

The undersigned has reviewed and takes responsibility for this design and has no objections to the same. The design meets the requirements of the Ontario Building Code to the satisfaction of the undersigned.

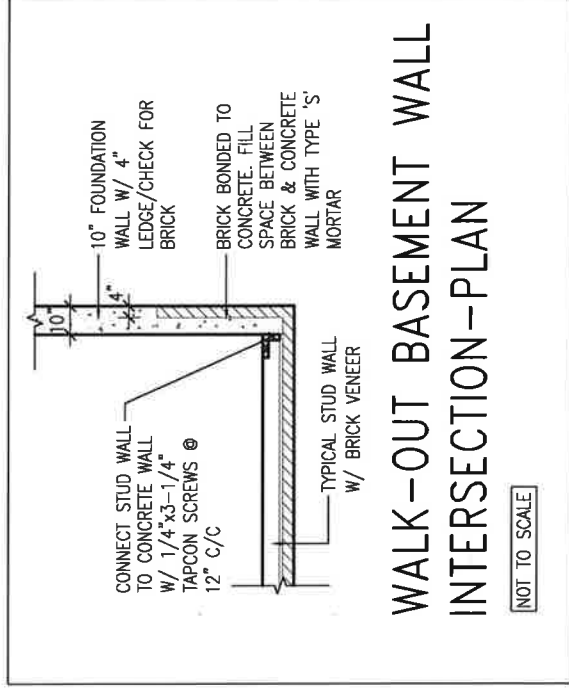
qualification information
Wellington Jno-Baptiste 25591 BCN
name
registration information
V3 Design Inc. 42658 BCN

V3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

BAYVIEW WELLINGTON CONST NOTE

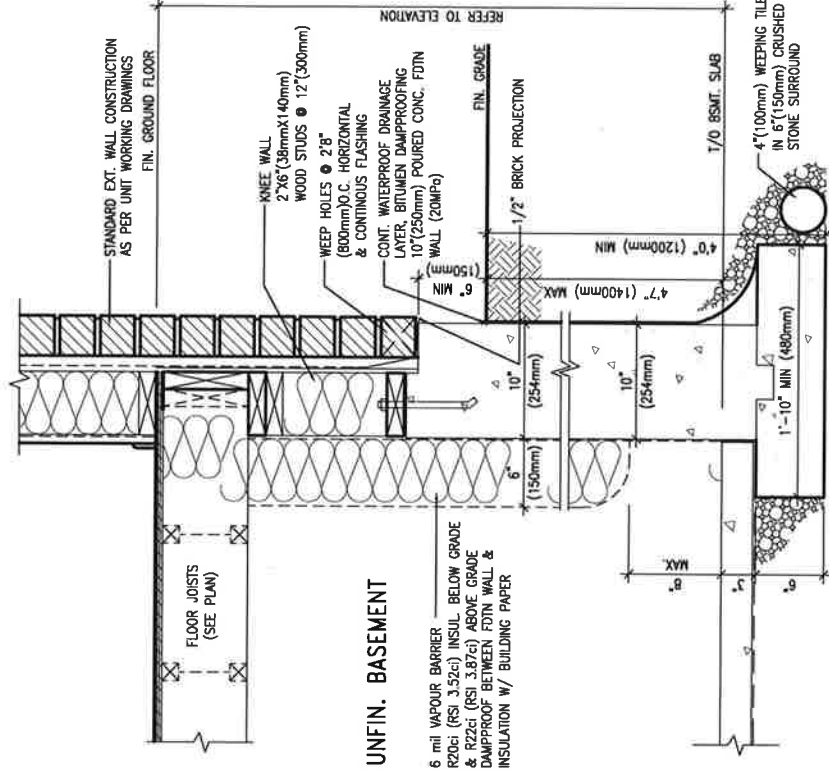
project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016	checked by RC	drawing no. CN10
CONSTRUCTION NOTES		
13049-CN-A1 VER 2020		
file name 13049-CN-A1 VER 2020.dwg		
scale 3/16" = 1'-0"		
drawing no. CN10		

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(10" FOUNDATION WALL)

NOT TO SCALE



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



9	-	-	The undersigned has reviewed and takes responsibility for this design
8	-	-	and accepts the requirements set out in the
7	-	-	Ontario Building Code to be a Designer
6	-	-	qualification information
5	-	-	name Wellington Jno-Baptiste
4	-	-	registration information 25591
3	-	-	signature [Signature] BCN
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

V3 DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
: 416.630.2255 f 416.630.
va3design.com

project name	project no.
ALCONA	13049
municipality	
INNISFIL, ON.	

date	MAY 2016	checked by	scale	file name	drawing no. CN11
drawn by	RC	-	3/16" = 1'-0"	13049-CN-A1 VER 2020	
BY	RICHARD C. WOODWARD, CIVIL & MECHANICAL ENGINEER 10000 W. 14TH AVENUE, SUITE 300, DENVER, CO 80202-3125, USA TEL: 303.751.9300 FAX: 303.751.9301				

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