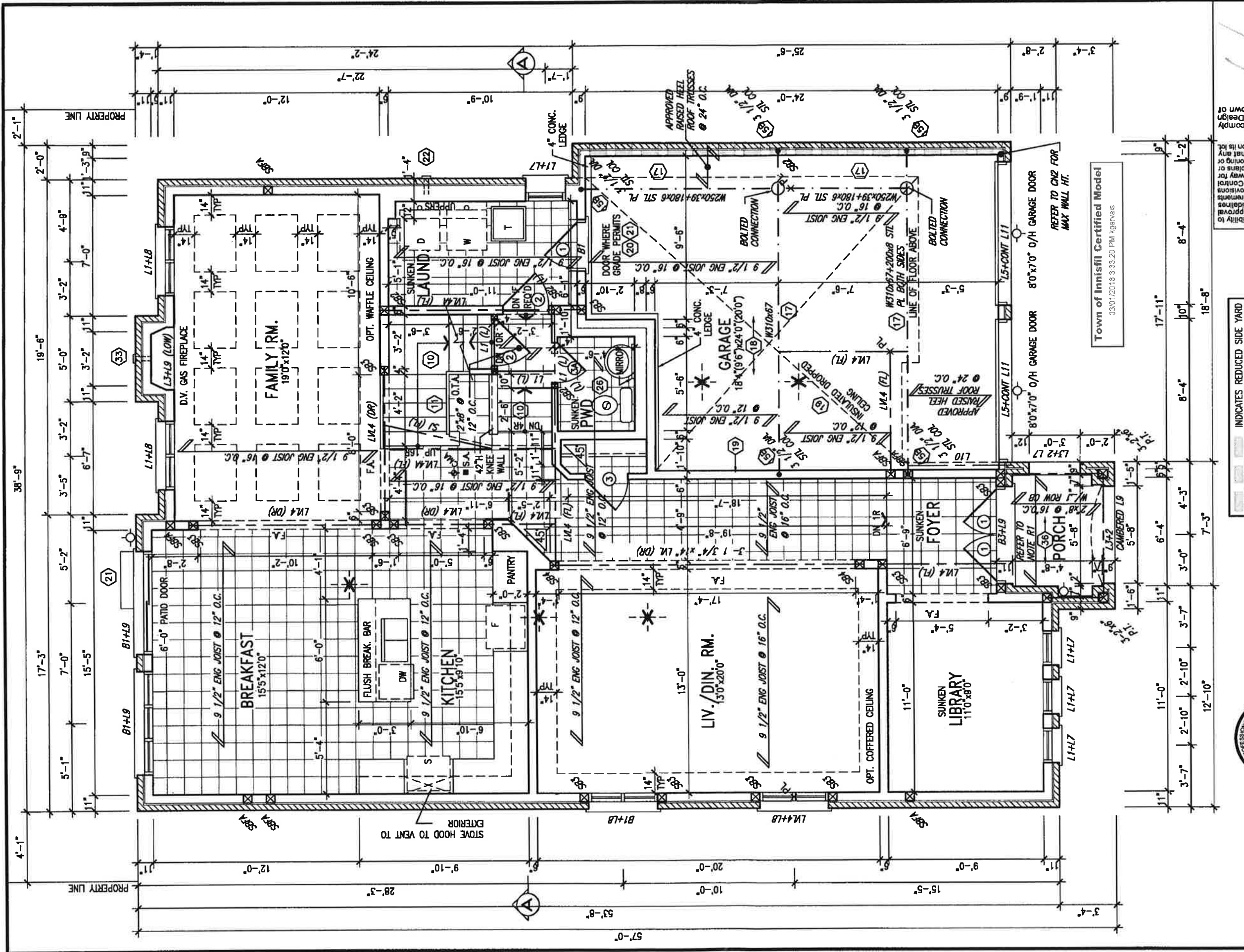




ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

GROUND FLOOR PLAN 'A'

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

**NOTE: ALL LV'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.**

**NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.**



AUG 16, 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or house can be properly built or located on its lot. With the applicable Architectural Design Guidelines approved by the Town of Innisfil.

Town of Innisfil Certified Model
03/01/2018 3:33:20 PM kgervais

no. description		date	by
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 A/E	
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
5			
6			
7			
8			
9			

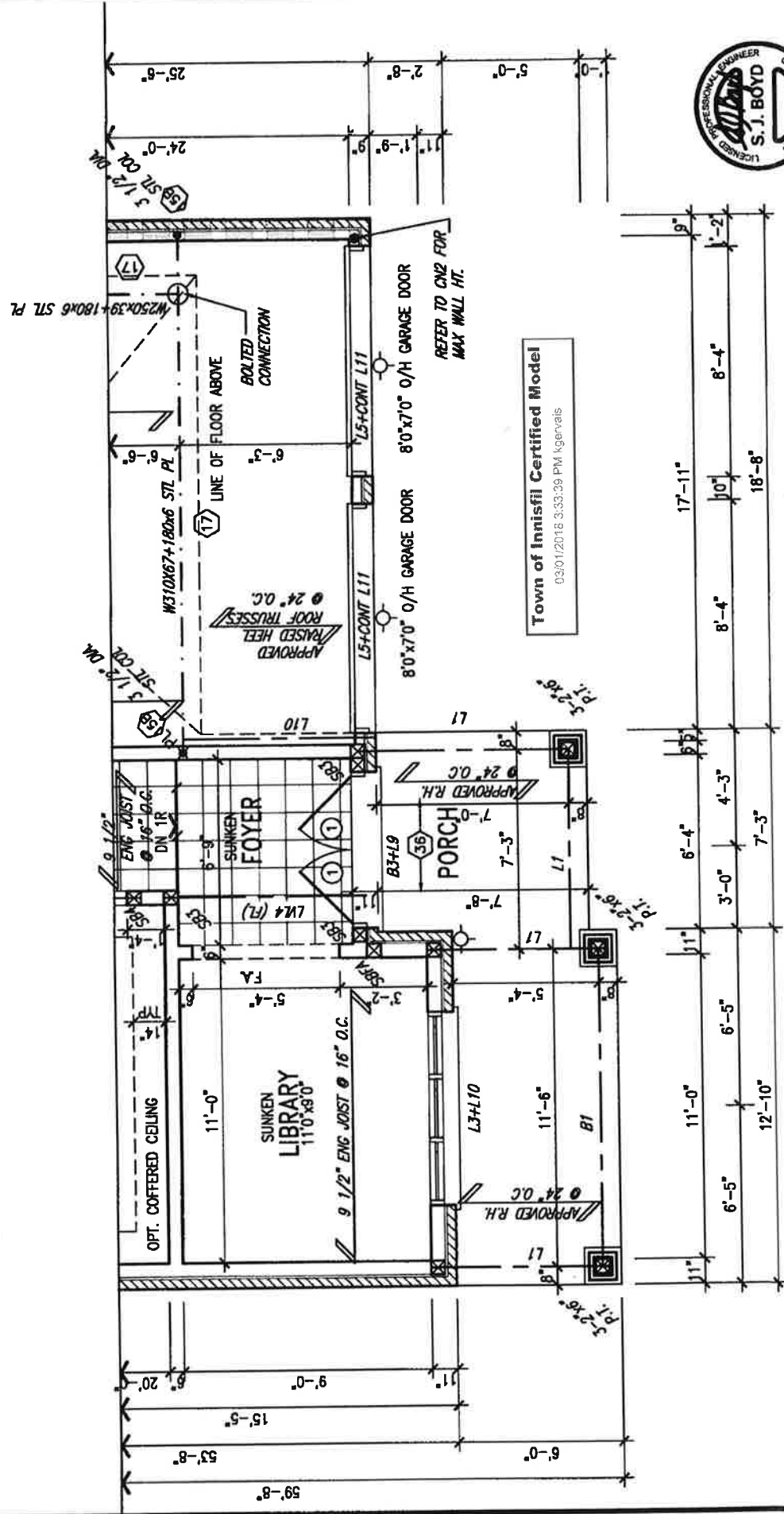
project name	ALCONA	project no.	S45-3
city	INNISFIL, ONTARIO	drawing no.	13049
date	NOV. 2015	file name	13049-S45-3
drawn by	RC	checked by	3/16" = 1'-0"
scale			
township	INNISFIL, ONTARIO		
project name	BAYVIEW WELLINGTON		
project no.	13049		
drawing no.	2		

RD 104 - H.V. ARCHIVE WORKING 2013\1\3049 BAYVIEW\13049-S45-3.dwg - Icon - Aug 14 2017 - 3:49 PM
Reproduction of this property in whole or in part is strictly prohibited without WAJ DESIGN's written permission.

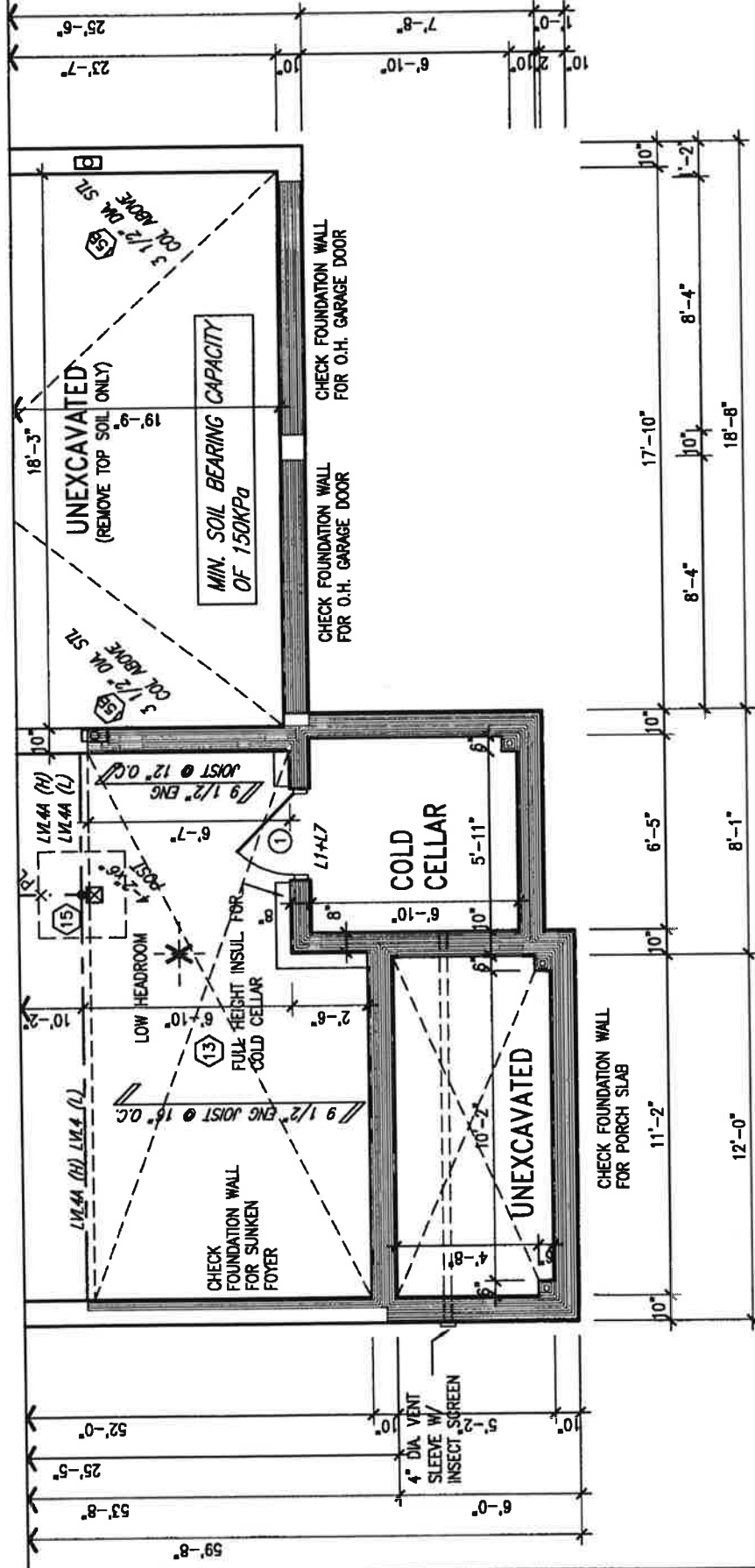
It is the builder's complete responsibility to ensure that all plans submitted to the Town of Innisfil comply with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter that may apply to a house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

AREAS	ELEV 'A'	ELEV 'B'
Ground floor area	1495 SF	1495 SF
Second floor area	1788 SF	1777 SF
Subtotal	3283 SF	3272 SF
Deduct all open area	10 SF	10 SF
Total net area	3273 SF	3262 SF
Finished basement area	0000 SF	0000 SF
Coverage without porch	1940 SF	1802 SF
Coverage with porch	1988 SF	2073 SF
	184.69 SM	192.59 SM



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT FLOOR PLAN 'B'

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3.	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 JAE	
2.	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1.	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

	qualification information	25591
	Wellington Jno-Baptiste	42858
	VA3 Design Inc.	BCN
	VA3 Design Inc.	42858

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vc3design.com

BAYVIEW WELLINGTON

S45-3

project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV, 2015	checked by	RC
drawn by	RC	checked by	3/16" = 1'-0"
project no.	13049	drawing no.	4
project no.	13049	drawing no.	4

Town of Innisfil Certified Model
03/01/2018 3:35:28 PM kgervais



AUG 16, 2017

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ASPHALT SHINGLES

SELF SUPPORTING BRICK ROWLOCK ARCH OVER SELF SUPPORTING BRICK SOLIDER ARCH W/ KEYSTONE OVER BRICK STACK BOND W/ 1/2" PROJECTION

VAULTED CEILING INSIDE SLOPE 6:12

1'-4" BRICK PILASTER W/ 1" PROJECTION W/ BRICK ROWLOCK CAPITAL AND BASE

PRECAST CONC. SILL OVER BRICK ROWLOCK W/ 1/2" PROJECTION

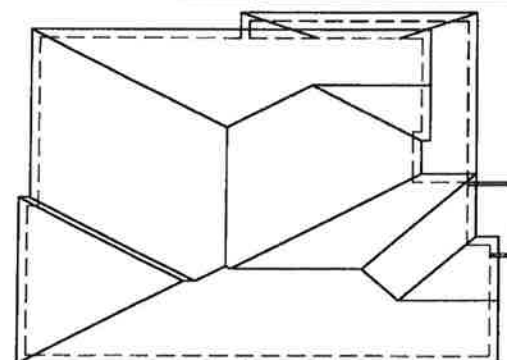
CONT. PRECAST CONC. SILL ON CONT. BRICK SOLIDER COURSE W/ 1/2" PROJECTION (TYP.)

POURED CONC. PORCH SLAB AND DOOR SILL

max 6" rise into doorway. (9.9, 6.6, (2))

FRONT ELEVATION 'A'

BAYVIEW WELLINGTON		S45-3	HUMMINGBIRD 3
project name	ALCONA	project no.	13049
city	INNISFIL, ONTARIO	drawing no.	6
date	NOV. 2015	front elevation	A
drawn by	RC	scale	3/16" = 1'-0"
checked by		file name	13049-S45-3
designed by		date	14 AUG 2017
RC/HARD - H:\ARCHIVE\WORKING\2013\13049.BPV\UNITS\45\13049-S45-3.dwg - Mon - Aug 14 2017 - 3:49 PM			
All drawings, specifications, related documents and designs are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington, Jno-Baptiste 25591			
name registration information VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 ALE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



ROOF PLAN 'A'

Town of Innisfil Certified Model
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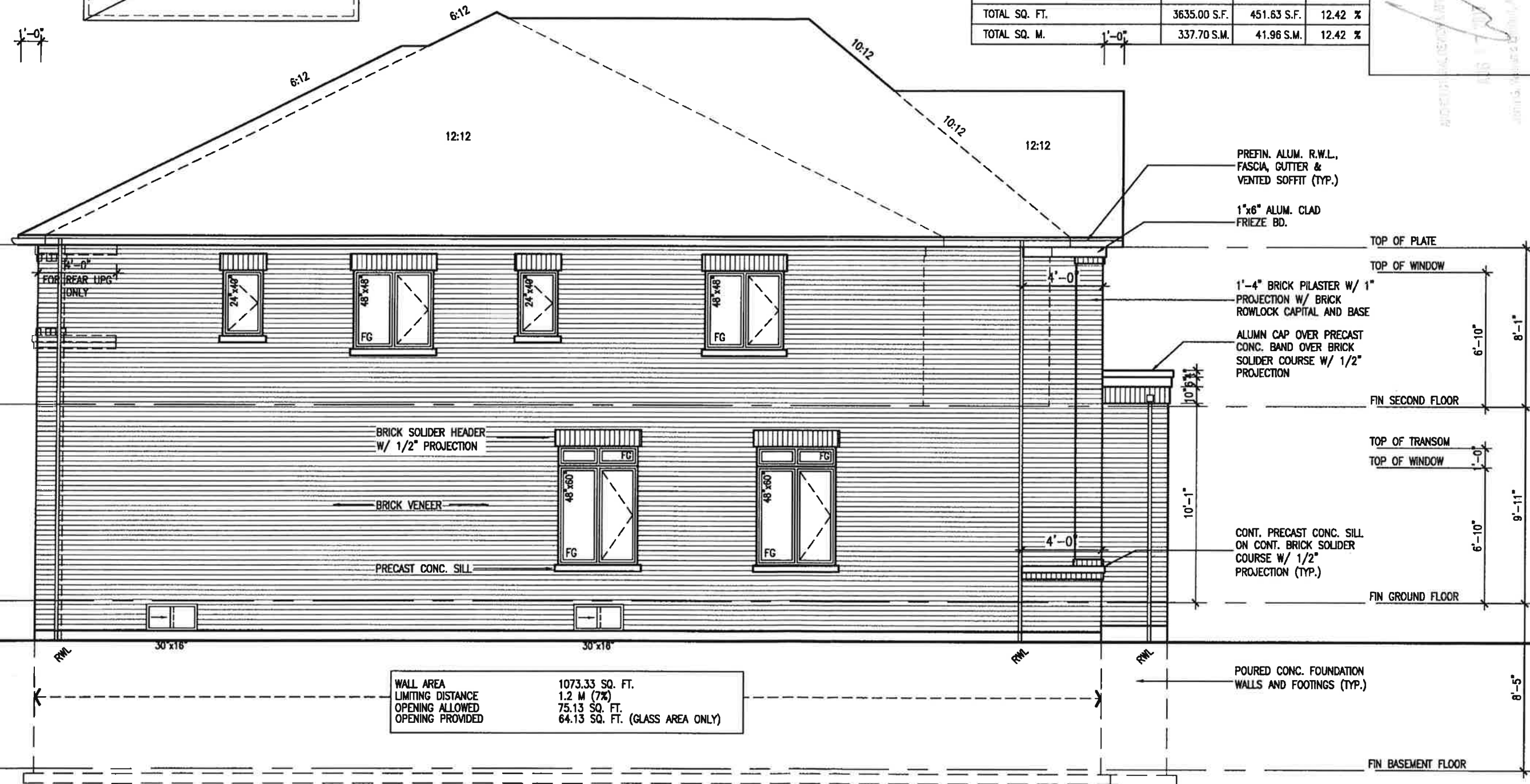


AUG 16, 2017

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S45-3 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	754 S.F.	158.626 S.F.	21.04 %
LEFT SIDE	1073 S.F.	100 S.F.	9.32 %
RIGHT SIDE	1073 S.F.	7.778 S.F.	0.72 %
REAR	735 S.F.	185.222 S.F.	25.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3635.00 S.F.	451.63 S.F.	12.42 %
TOTAL SQ. M.	337.70 S.M.	41.96 S.M.	12.42 %

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WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

1073.33 SQ. FT.
1.2 M (7%)
75.13 SQ. FT.
64.13 SQ. FT. (GLASS AREA ONLY)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

1'-4" BRICK PILASTER W/ 1"
PROJECTION W/ BRICK
ROWLOCK CAPITAL AND BASE

ALUMN CAP OVER PRECAST
CONC. BAND OVER BRICK
SOLIDER COURSE W/ 1/2"
PROJECTION

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION (TYP.)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

S45-3
HUMMINGBIRD 3

BAYVIEW WELLINGTON

project name
ALCONA

city
INNISFIL, ONTARIO

project no.
13049

drawing no.
7

date
NOV. 2015

drawn by
RC

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

file name
13049-S45-3

date
NOV 14 2017 - 3:49 PM

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN
name
V.A.S. Design Inc. 42558
qualification information
BCN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

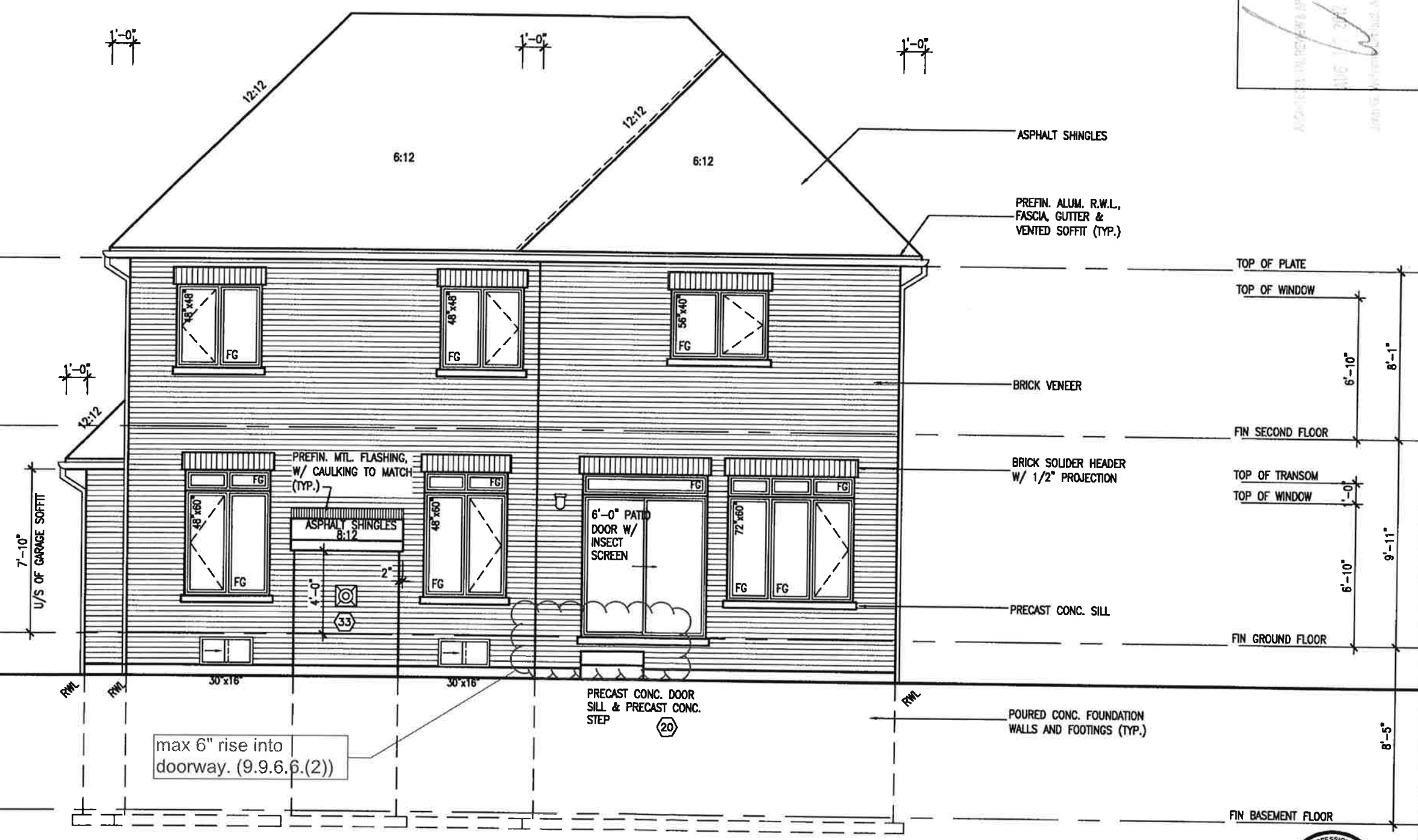
no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 ALE	
2	REVISED INSULATION AT STAIRS	SEPT 19-16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 3:36:09 PM kgervais

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BAYVIEW WELLINGTON		S45-3	HUMMINGBIRD 3
project name	ALCONA	project no.	13049
location	INNISFIL, ONTARIO	drawing no.	9
date	NOV. 2015	rear elevation A/B	
drawn by	RC	scale	3/16" = 1'-0"
checked by		date	13049-S45-3
approved by		date	13049-S45-3
DESIGN			
255 Consumers Rd Suite 120			
Toronto ON M2J 1R4			
t 416.630.2255 f 416.630.4782			
va3design.com			
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591			
signature			
restriction information			
AUG 08-17 RC			
DEC 20-16 A/E			
SEPT 19/16 SB			
MAY 18-16 RC			
4. REVISED AS PER ENG COMMENTS			
3. REVISED TO 10" FOUNDATION WALLS			
2. REVISED INSULATION AT STAIRS			
1. ISSUED FOR CLIENT REVIEW			
no. description			

REAR ELEVATION 'A/B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.7(7))			
S45-3 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735 S.F.	166.389 S.F.	22.64 %
LEFT SIDE	1073 S.F.	100 S.F.	9.32 %
RIGHT SIDE	1073 S.F.	7.778 S.F.	0.72 %
REAR	735 S.F.	185.222 S.F.	25.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3616.00 S.F.	459.39 S.F.	12.70 %
TOTAL SQ. M.	335.93 S.M.	42.68 S.M.	12.70 %

Town of Innisfil Certified Model
03/01/2018 3:36:26 PM kgervais

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S45-3

HUMMINGBIRD 3

BAYVIEW WELLINGTON

ALCONA

INNISFIL, ONTARIO

NOV. 2015

project no. 13049

drawing no. 10

FRONT ELEVATION B

13049-S45-3

3/16" = 1'-0"

NOV. 2015

255 Consumers Rd. Suite 120

Toronto ON M2J 1R4

1 416.630.2255 / 1 416.630.4782

va3design.com

25591

42658

Wellington Jno-Bopstis

VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and must be returned at the completion of the work. Drawings are not to be scaled.

4 REVISED AS PER ENG COMMENTS

3 REVISED TO 10" FOUNDATION WALLS

2 REVISED INSULATION AT STAIRS

1 ISSUED FOR CLIENT REVIEW

no. description

9

8

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no. description

AUG 08-17 RC

DEC 20-16 A/E

SEPT 19-16 SR

MAY 16-16 RC

date

by

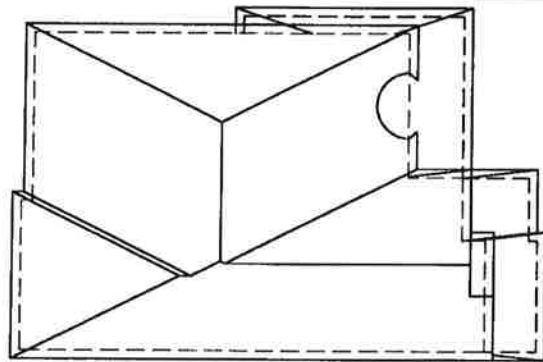
date



FRONT ELEVATION 'B'



AUG 16, 2017



ROOF PLAN 'B'

Town of Innisfil Certified Model

03/01/2018 3:36:33 PM kgervais

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S45-3
HUMMINGBIRD 3

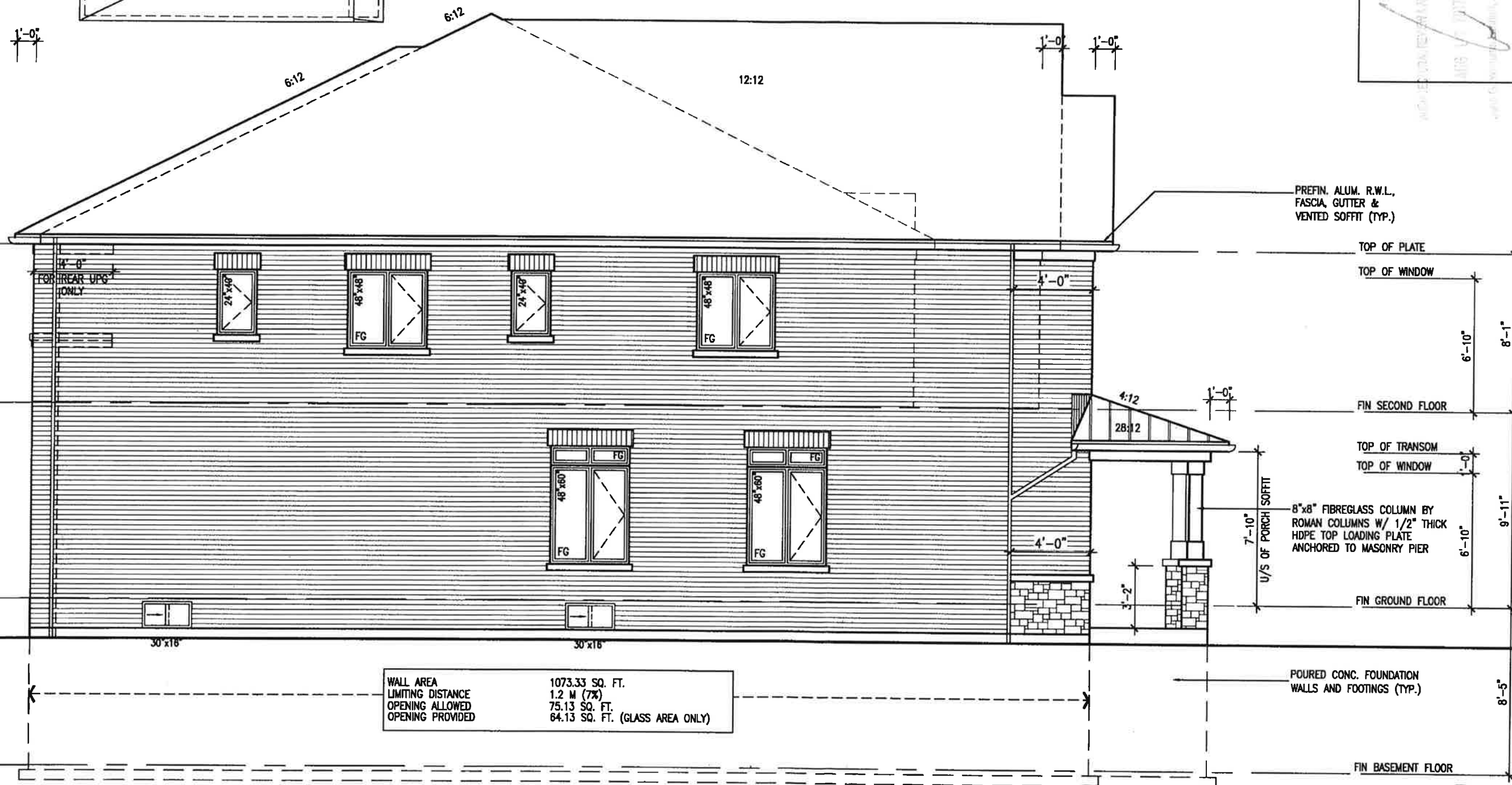
BAYVIEW WELLINGTON
ALCONA

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
number
25591
42658
The undersigned must verify all dimensions on the job and report any discrepancy to the Designer. The Designer is responsible for the accuracy of the drawings and specifications are instruments of service. Drawings are not to be scaled.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 A/E	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



LEFT SIDE ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

03/01/2018 3:36:45 PM kgervais

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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BAYVIEW WELLINGTON S45-3 HUMMINGBIRD 3		project no. 13049	
project name ALCONA		municipality INNISFIL, ONTARIO	
date NOV. 2015		RIGHT SIDE ELEVATION B	
drawn by RC		checked by scale 3/16" = 1'-0"	
		file name 13049-S45-3	
RICHA80 - H:\ARCHIVE\WORKING\PROJECT\13049 BM\UNITS\45\13049-S45-3.dwg - Mon - Aug. 14, 2017 - 3:49 PM			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

qualification information Wellington, Jim-Bopkita 25591	6581 25591 25591	42653
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4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16 JAE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SR	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	
no.	description	date	by

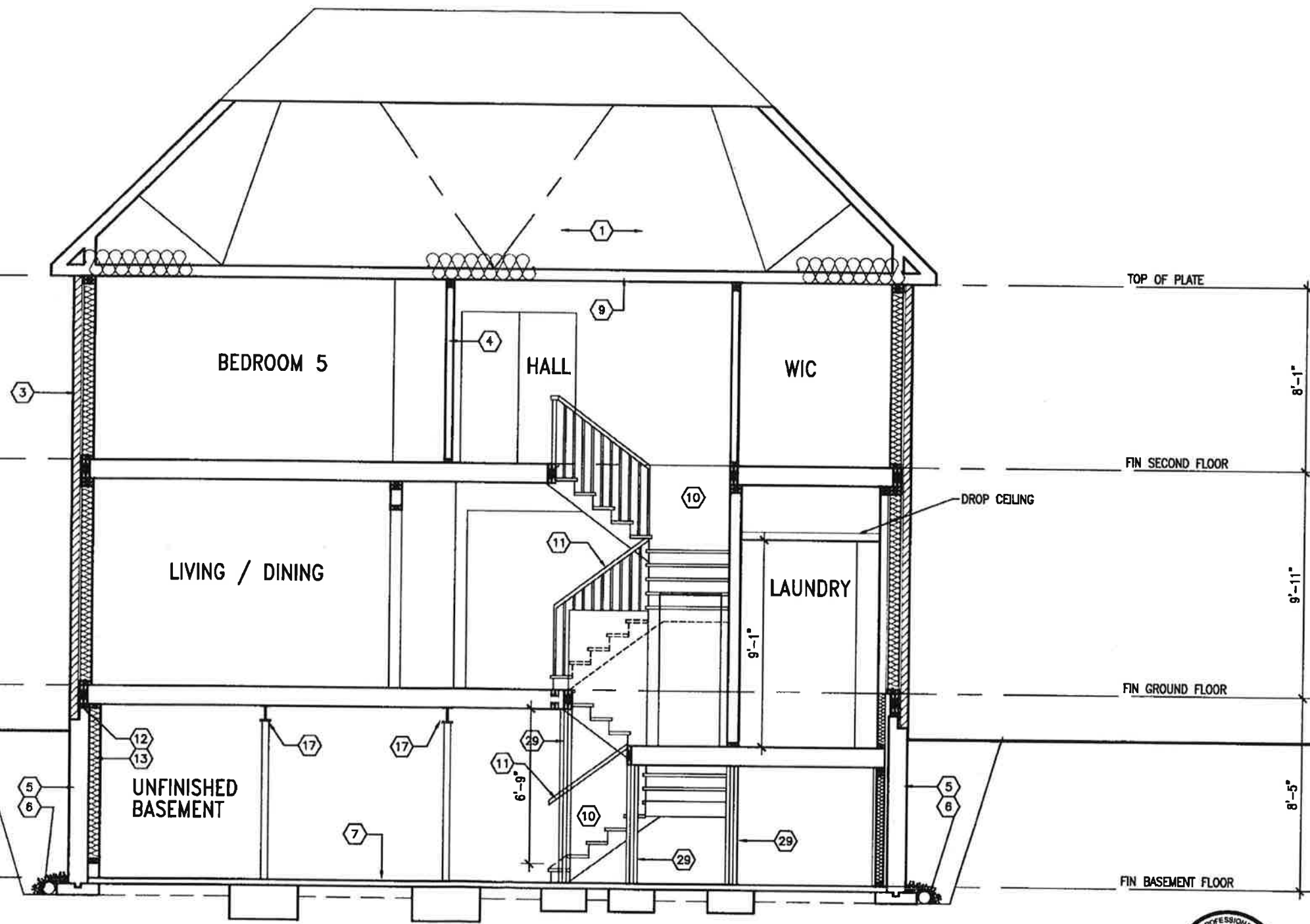
Unusually strong — an item is unusually strong if the category of the item is not in the set of categories of items that are unusually strong.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

A circular professional seal for S. J. Boyd, a Licensed Professional Engineer in the Province of Ontario. The seal features the text "LICENSED PROFESSIONAL ENGINEER" around the top inner edge and "PROVINCE OF ONTARIO" around the bottom inner edge. In the center, the name "S. J. BOYD" is printed below a stylized signature. A semi-circular design element is at the bottom of the seal.

AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 3:37:08 PM kgervais



SECTION 'A-A'



AUG 16, 2017

BAYVIEW WELLINGTON		S45-3	
ALCONA		HUMMINGBIRD 3	
INNISFIL, ONTARIO		13049	
NOV. 2015		13	
checked by		checked by	
scale		scale	
3/16" = 1'-0"		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\A5\13049-S45-3.dwg - May - Aug 14, 2017 - 3:49 PM		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\A5\13049-S45-3.dwg - May - Aug 14, 2017 - 3:49 PM	

VA3 DESIGN	
255 Consumers Rd. Suite 120	
Toronto, ON M2J 1R4	
t 416.630.2255 f 416.630.4782	
vo3design.com	

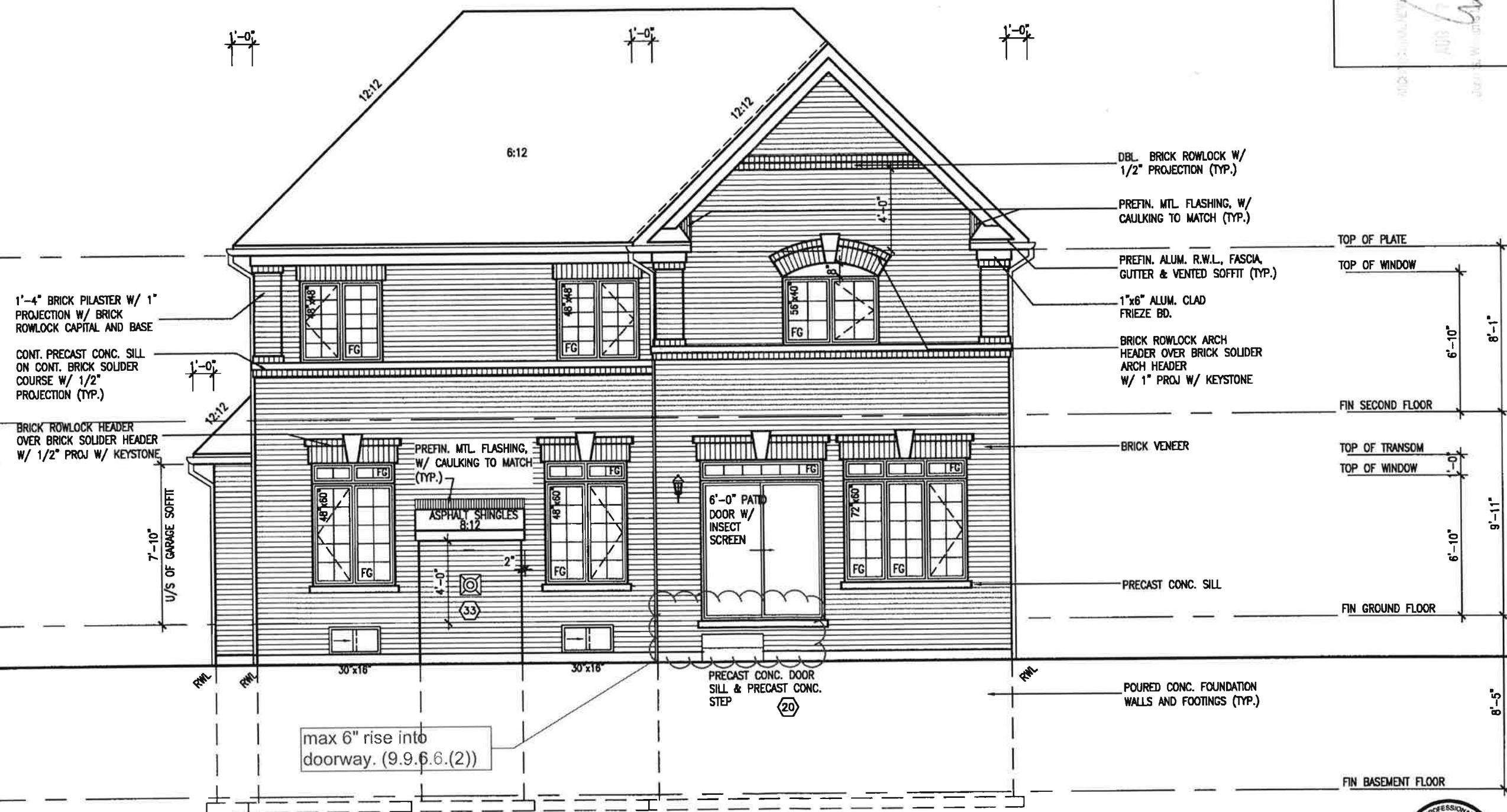
The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste 25591	
VA3 Design Inc.	
42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
4. REVISED AS PER ENG COMMENTS	
3. REVISED TO 10' FOUNDATION WALLS	
2. REVISED INSULATION AT STAIRS	
1. ISSUED FOR CLIENT REVIEW	
no.	description
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Town of Innisfil Certified Model
03/01/2018 3:37:23 PM kgervais

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S45-3	
HUMMINGBIRD 3	
BAYVIEW WELLINGTON	
project name	ALCONA
project no.	13049
city	INNISFIL, ONTARIO
date	NOV. 2015
drawn by	RC
checked by	RC
scale	3/16" = 1'-0"
drawing no.	14
file name	13049-S45-3
date	13049-S45-3.dwg
author	RC



REAR ELEVATION 'A' UPGRADE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

VA3 DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
name	Wellington Jno-Baptiste
registration no.	25591
qualification	DESIGNER
revision	42658
4. REVISED AS PER ENG COMMENTS	AUG 08-17 RC
3. REVISED TO 10" FOUNDATION WALLS	DEC 20-16 AJE
2. REVISED INSULATION AT STAIRS	SEPT 19/16 SB
1. ISSUED FOR CLIENT REVIEW	MAY 16-16 RC
no.	description
1.	date

Town of Innisfil Certified Model

03/01/2018 3:37:29 PM kgervais

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S45-3
HUMMINGBIRD 3

BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONTARIO

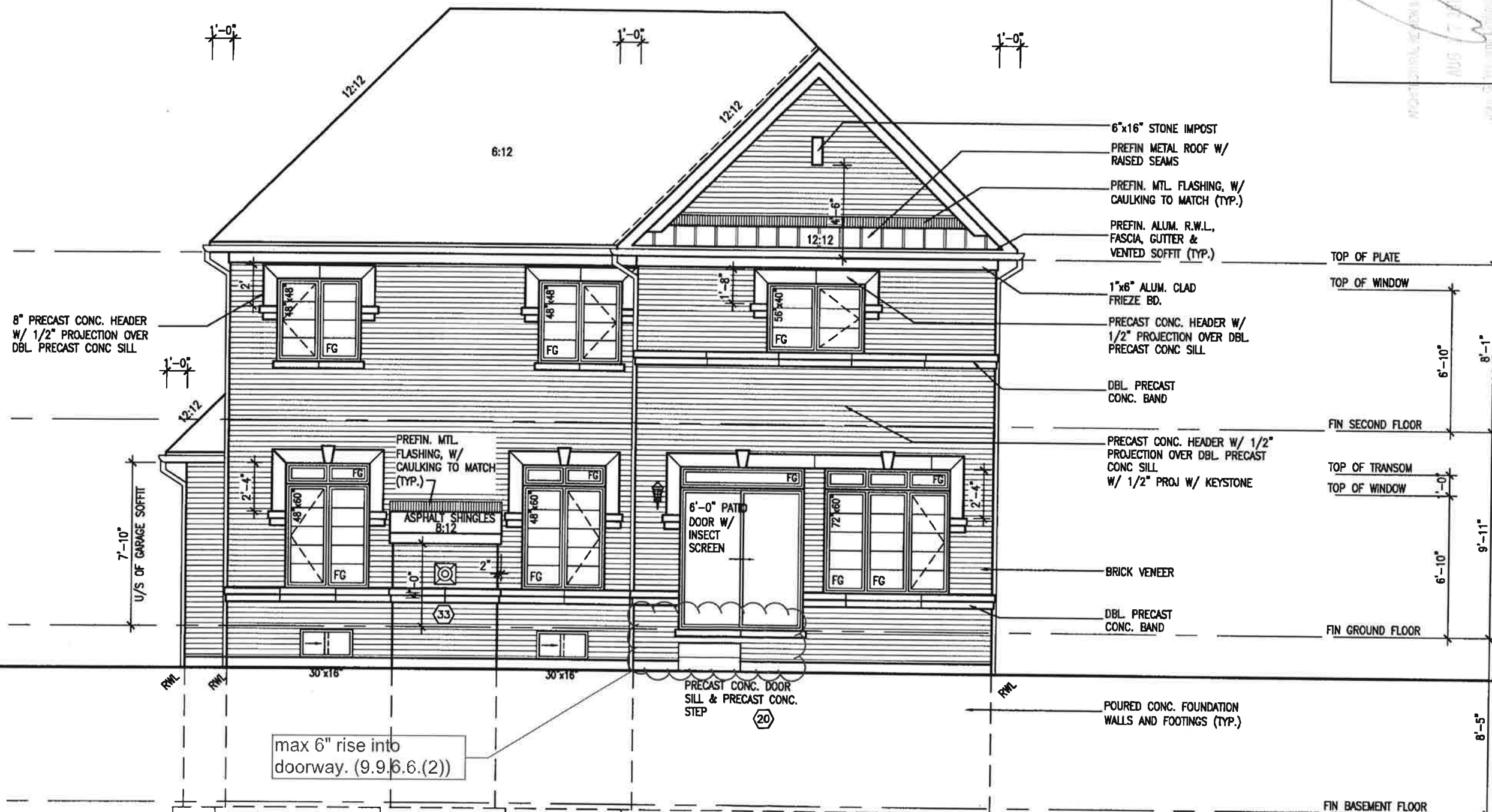
date
NOV. 2015
drawn by
RC
checked by
RC
scale
3/16" = 1'-0"

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
VA3 Design Inc. 42558
registration information
AUG 08-17 RC
DEC 20-16 A/E
SEPT 19/16 SB
MAY 16-16 RC

4 REVISED AS PER ENG COMMENTS
3 REVISED TO 10" FOUNDATION WALLS
2 REVISED INSULATION AT STAIRS
1 ISSUED FOR CLIENT REVIEW

no. description date by



REAR ELEVATION 'B' UPGRADE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of []

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Town of Innisfil Certified Model
03/01/2018 3:40:17 PM kgervais

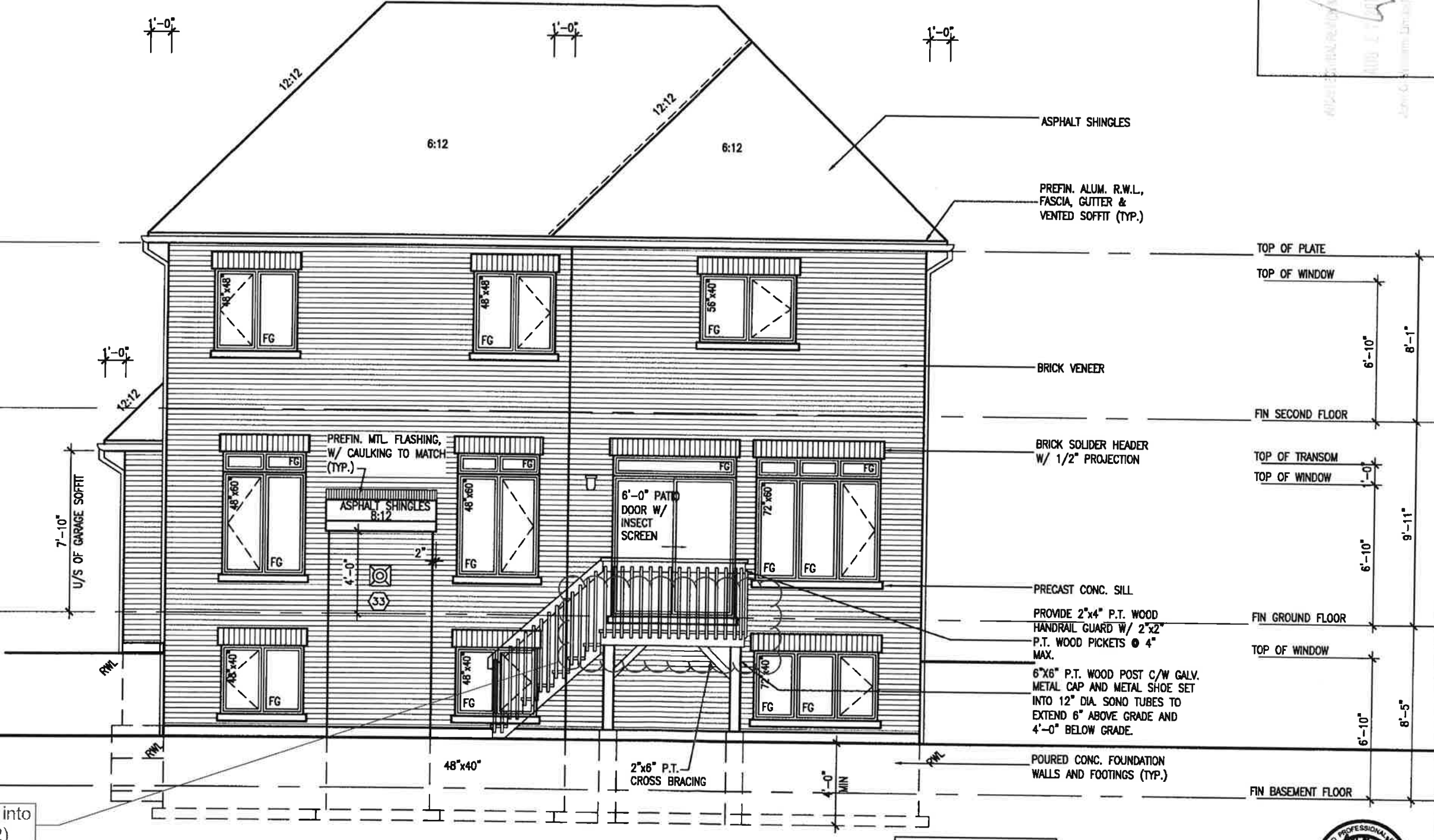
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

BAYVIEW WELLINGTON		S45-3 HUMMINGBIRD 3	
project name	ALCONA	project no.	13049
date	NOV. 2015	drawing no.	17
drawn by	RC	REAR ELEVATION A/B WOD	
checked by	3/16" = 1'-0"	13049-S45-3	
RICHARD - 11-VARDHNE, WORKING 2013\13049.BW\UNITS\45\13049-S45-3.dwg - Mon - Aug 14, 2017 - 3:49 PM			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the honor to certify that the design complies with the requirements set out in the Ontario Building Code to be a Designer.		25591	RC
Qualification Information		Wellington Jno-Baptiste	Designer
Registration Information		name	VA3 Design Inc.
4 REVISED AS PER ENG COMMENTS		AUG 08-17 RC	42658
3 REVISED TO 10' FOUNDATION WALLS		DEC 20-16 ALE	
2 REVISED INSULATION AT STAIRS		SEPT 19/16 SB	
1 ISSUED FOR CLIENT REVIEW		MAY 18-16 RC	
no.	description	date	by



max 6" rise of step into doorway. 9.9.6.6.(2)

REAR ELEVATION 'A/B' WOD
9R AND MORE COND.

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

03/01/2018 3:40:33 PM kaervais

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S45-3
HUMMINGBIRD 3

project no.
13049

drawing no.
18

9R WOD

file name
13049-S45-3

INGTON
Municipality
INNISFIL, ONTARIO
ELEVATION 'A' UPON
0"

BAYVIEW WELLING	ALCONA	REAR	scale
project name	date	checked by	$\frac{3}{16}'' = 1' - 0''$
	NOV. 2015	drawn by	
		RC	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design.
I have read the specifications and understands the requirements set out in the
Architect's Building Code to be a Designer.

Qualification Information

Wellington Jno-Baptiste 25591

Name Signature Design No.

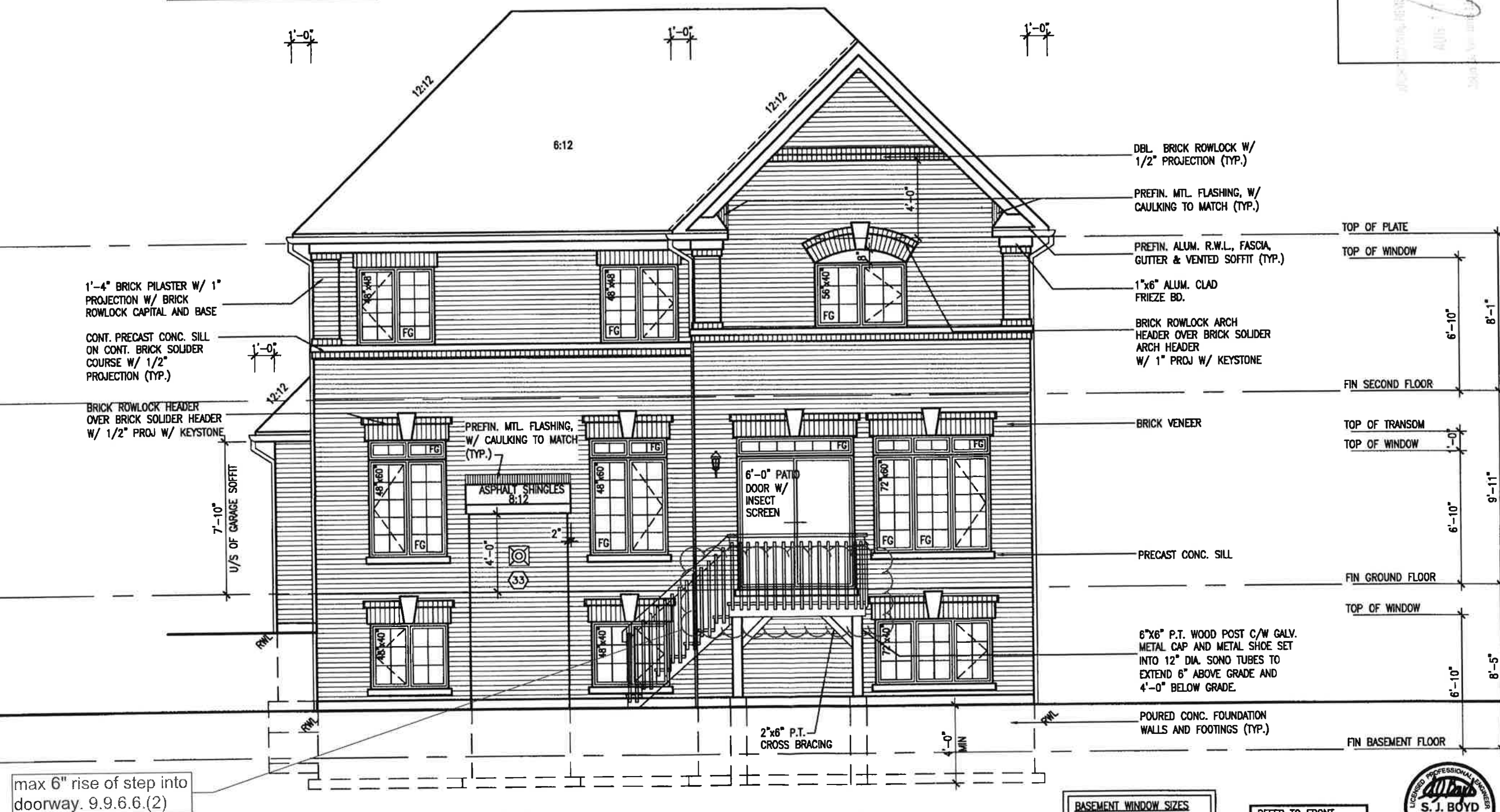
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
dimensions and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.

[illegible]

you@design.com

RICHARD - H:\ARCHIVE\WORKING\2013\13049 EN\UNITS\45\13049-545-3.dwg - Mon - Aug 14 2017 - 3:43 PM



REAR ELEVATION 'A' UPGRADE 9R OR MORE WOD

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 3:40:51 PM kgervais

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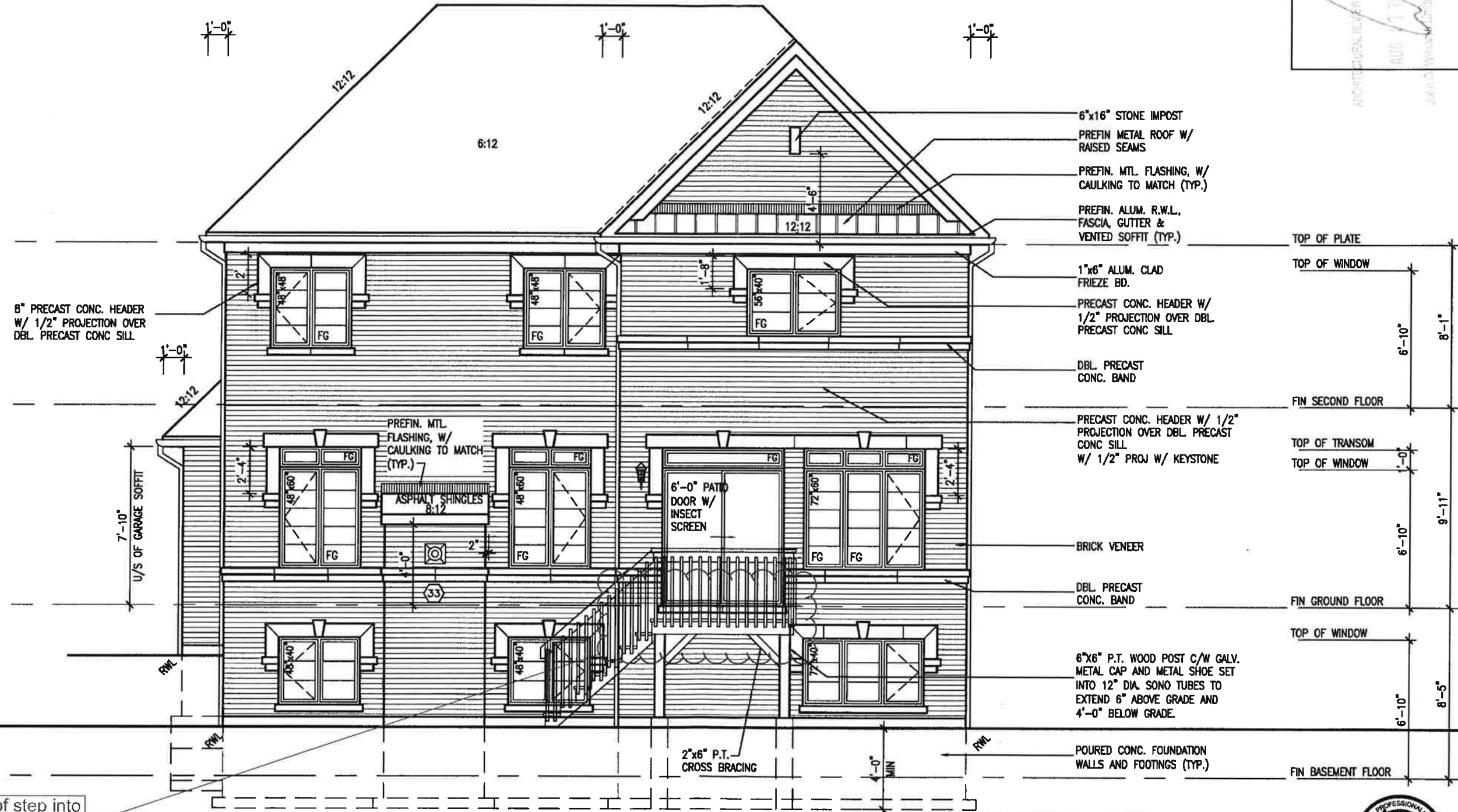
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

project no.	S45-3
client	HUMMINGBIRD 3
project name	BAYVIEW WELLINGTON
location	INNISFIL, ONTARIO
date	NOV. 2015
drawn by	RC
checked by	3/16" = 1'-0"
scale	REAR ELEVATION 'B' UPGRADE 9R WOD
sheet no.	13049-S45-3
total sheets	19

VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptista 25591
name
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. These must be returned at the completion of the work. Drawings are not to be copied.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10' FOUNDATION WALLS	DEC 20-16 AJE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

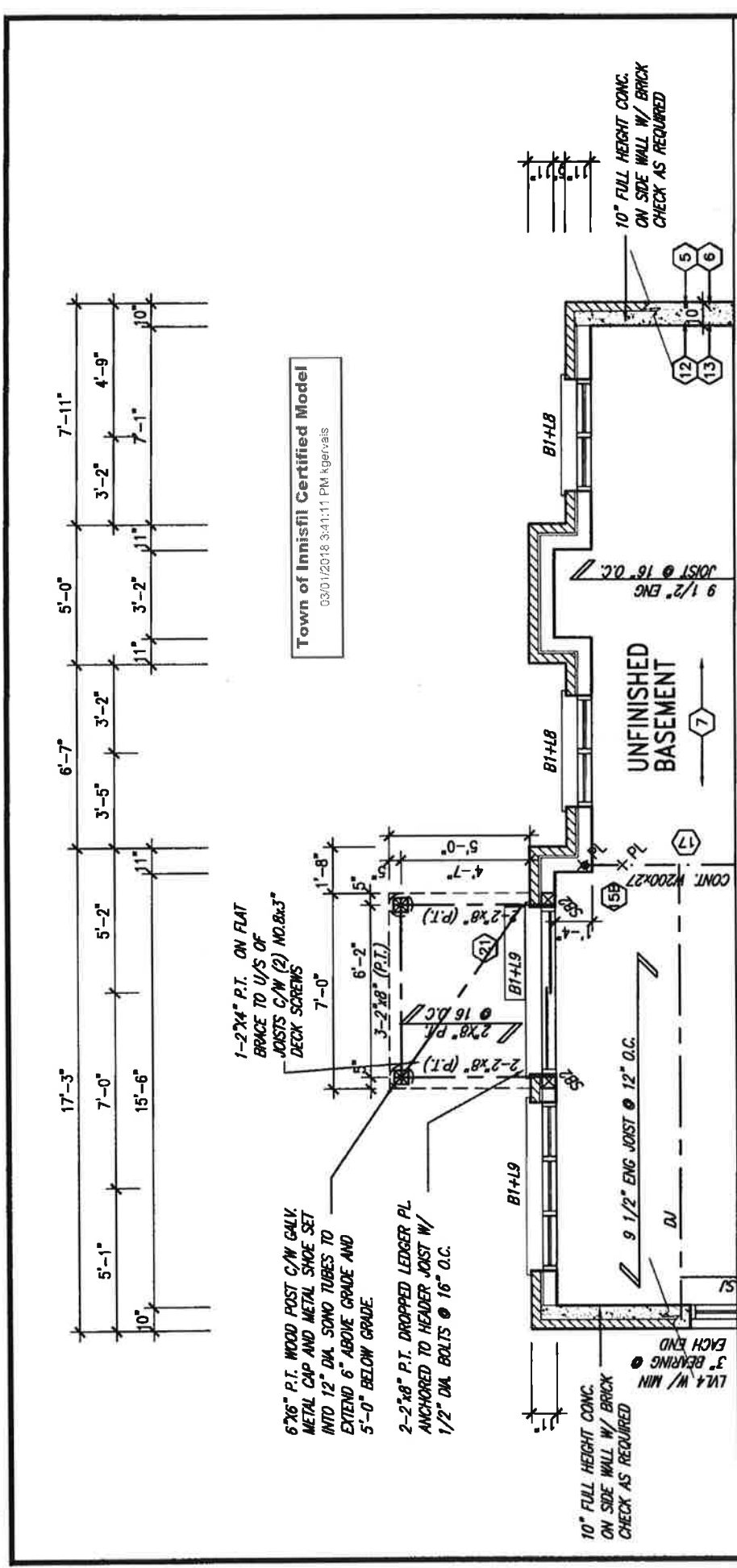


BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

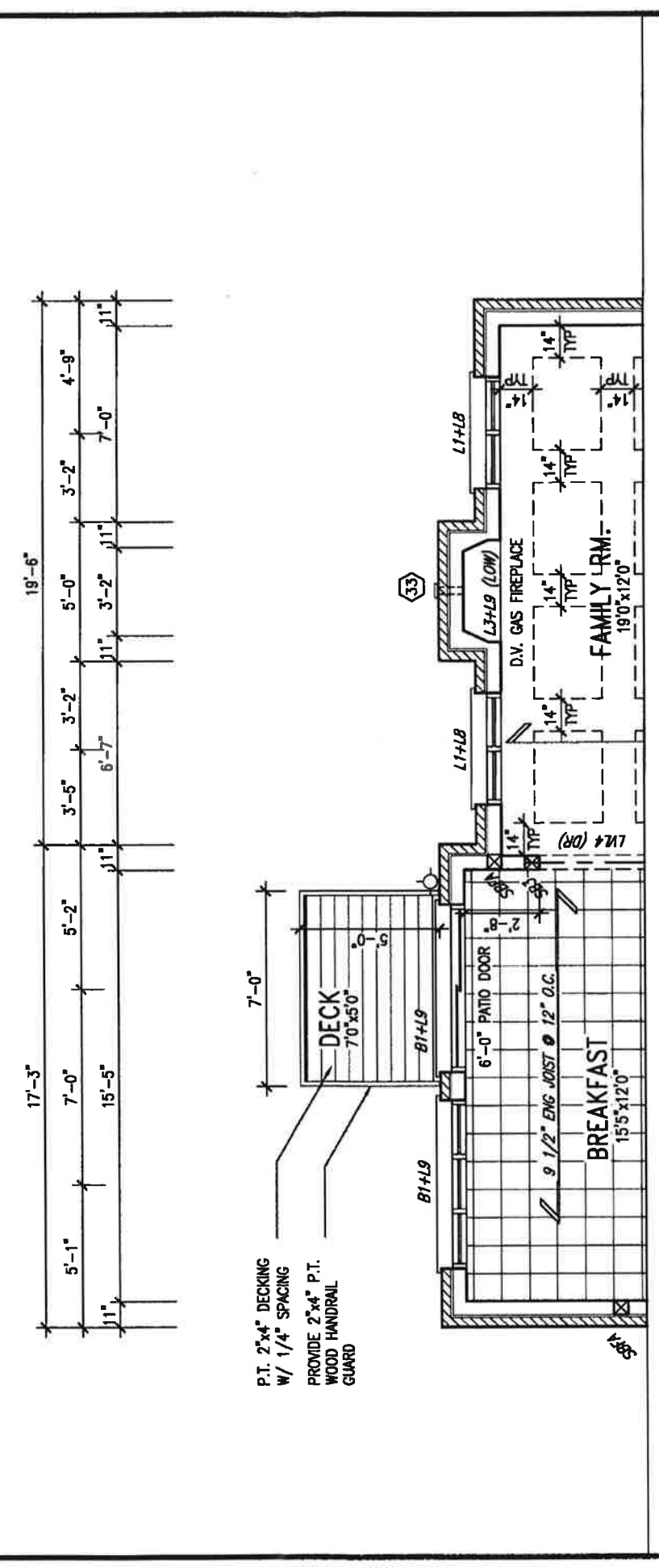
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017



PARTIAL BASEMENT FLOOR PLAN W.O.B.



PARTIAL GROUND FLOOR PLAN W.O.B.


AUG 16, 2017

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S45-3 ELEVATION A WOB		ENERGY EFFICIENCY – OBC SB12		S45-3 ELEVATION B WOB		ENERGY EFFICIENCY – OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	754 S.F.	158.626 S.F.	21.04 %	FRONT	735 S.F.	166.389 S.F.	22.64 %
LEFT SIDE	1073 S.F.	100 S.F.	9.32 %	LEFT SIDE	1073 S.F.	100 S.F.	9.32 %
RIGHT SIDE	1073 S.F.	7.778 S.F.	0.72 %	RIGHT SIDE	1073 S.F.	7.778 S.F.	0.72 %
REAR	989 S.F.	289.556 S.F.	29.28 %	REAR	989 S.F.	289.556 S.F.	29.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3889.00 S.F.	555.96 S.F.	14.30 %	TOTAL SQ. FT.	3870.00 S.F.	563.72 S.F.	14.57 %
TOTAL SQ. M.	361.30 S.M.	51.65 S.M.	14.30 %	TOTAL SQ. M.	359.53 S.M.	52.37 S.M.	14.57 %



VAB DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vabdesign.com

BAYVIEW WELLINGTON

S45-3 HUMMINGBIRD 3

ALCONA INNISFIL, ONTARIO

PARTIAL FLOOR PLAN WOB

NOV. 2015

checked by **3/16" = 1'-0"**

drawn by **13049-S45-3**

date **20**

project no. **13049**

sheet no. **20**

1. ISSUED FOR CLIENT REVIEW

2. REVISED INSULATION AT STAIRS

3. REVISED TO 10" FOUNDATION WALLS

4. REVISED AS PER ENG COMMENTS

5. NAME: **WELLINGTON Jno-Baptiste** 25591

6. QUALIFICATION INFORMATION

7. THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBC. BUILDING CODE TO BE A DESIGNER.

8. DATE: **AUG 08-17 RC**

9. BY: **WELLINGTON Jno-Baptiste**

10. DESCRIPTION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

Town of Innisfil Certified Model
03/01/2018 3:41:38 PM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S45-3
HUMMINGBIRD 3

BAYVIEW WELLINGTON
project name
ALCONA
project no.
13049
drawing no.
22

INNISFIL, ONTARIO
checked by
NOV. 2015
drawn by
RC
scale
3/16" = 1'-0"

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.4782
va3design.com

25591
42858
Wellington Pro-Bopiste
VA3 Design Inc.
Contractor must verify all dimensions on the lot and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
8	3 REVISED TO 10" FOUNDATION WALLS	DEC 20-16 ALE	
7	2 REVISED INSULATION AT STAIRS	SEPT 19-16 SB	
6	1 ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	

1'-4" BRICK PILASTER W/ 1" PROJECTION W/ BRICK ROWLOCK CAPITAL AND BASE
CONT. PRECAST CONC. SILL ON CONT. BRICK SOLIDER COURSE W/ 1/2" PROJECTION (TYP.)

BRICK ROWLOCK HEADER OVER BRICK SOLIDER HEADER W/ 1/2" PROJ W/ KEYSTONE

7'-10"
U/S OF GARAGE SOFFIT

DBL. BRICK ROWLOCK W/ 1/2" PROJECTION (TYP.)

PREFIN. MTL FLASHING, W/ CAULKING TO MATCH (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

BRICK ROWLOCK ARCH HEADER OVER BRICK SOLIDER ARCH HEADER W/ 1" PROJ W/ KEYSTONE

BRICK VENEER

PRECAST CONC. SILL

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN BASEMENT FLOOR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



REAR ELEVATION 'A' UPGRADE WOB

AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 3:41:58 PM kgervais

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S45-3
HUMMINGBIRD 3
project no.
13049
drawing no.
23

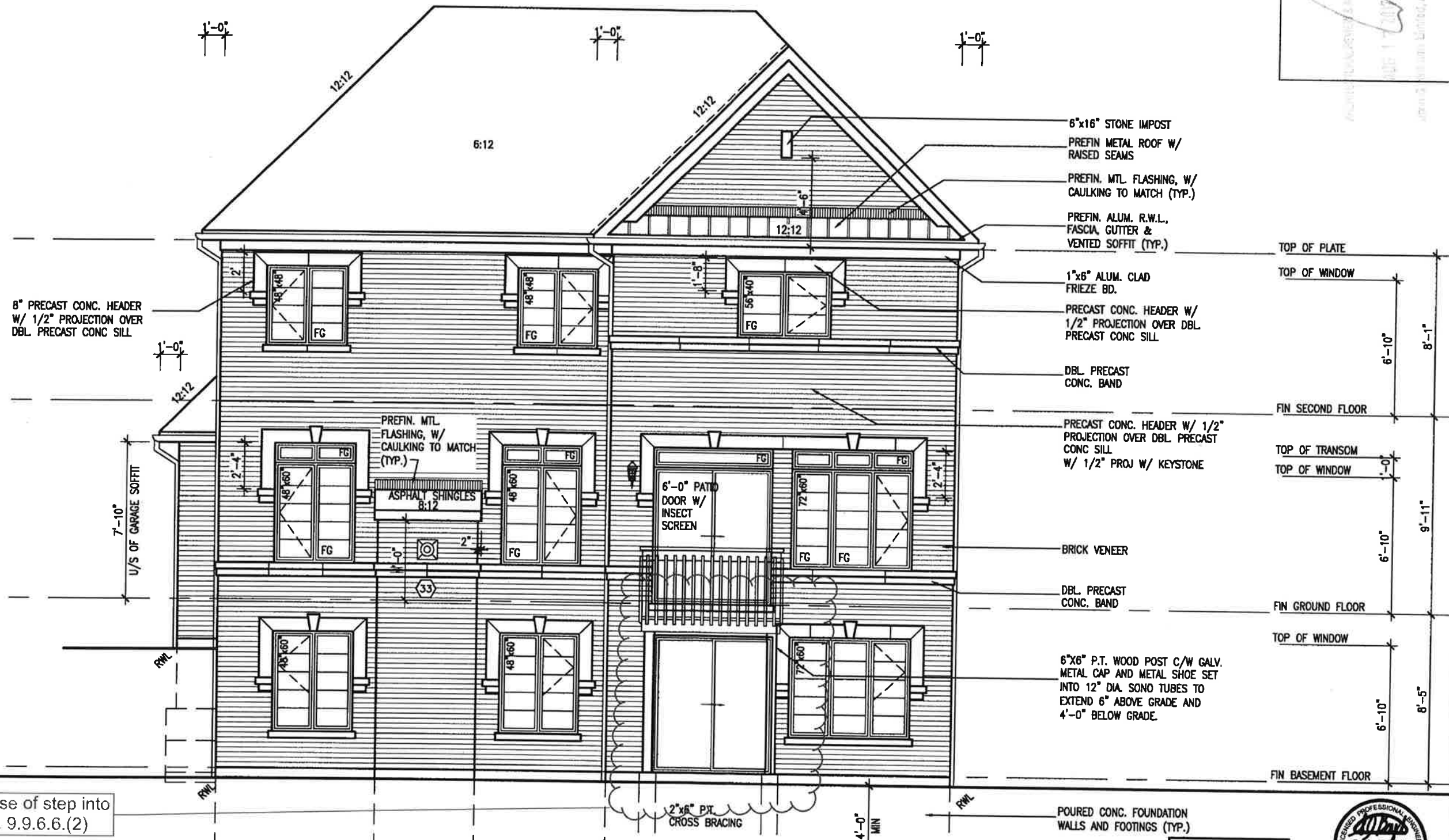
BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONTARIO

date
NOV. 2015
drawn by
RC
checked by
3/16" = 1'-0"
scale
REAR ELEVATION 'B' UPGRADE WOB

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for the design and construction of the above described project and certifies that it complies with the Ontario Building Code as it is a Designer.
qualification information
Wellington Jno-Baptista 25591 BCN
name
registration information
VA3 Design Inc. 42650
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned to the Designer at the completion of the work. Drawings are not to be reused.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED TO 10" FOUNDATION WALLS	DEC 20-16/AJE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



max 6" rise of step into doorway. 9.9.6.6.(2)

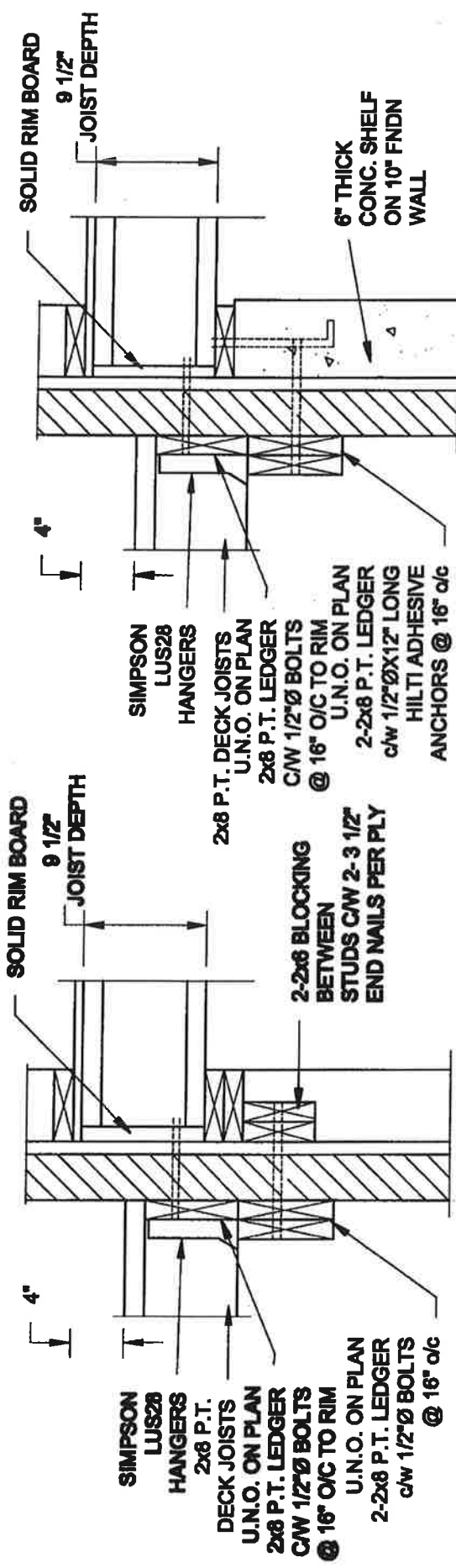
REAR ELEVATION 'B' UPGRADE WOB

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

FOR 9 1/2" JOIST DEPTH

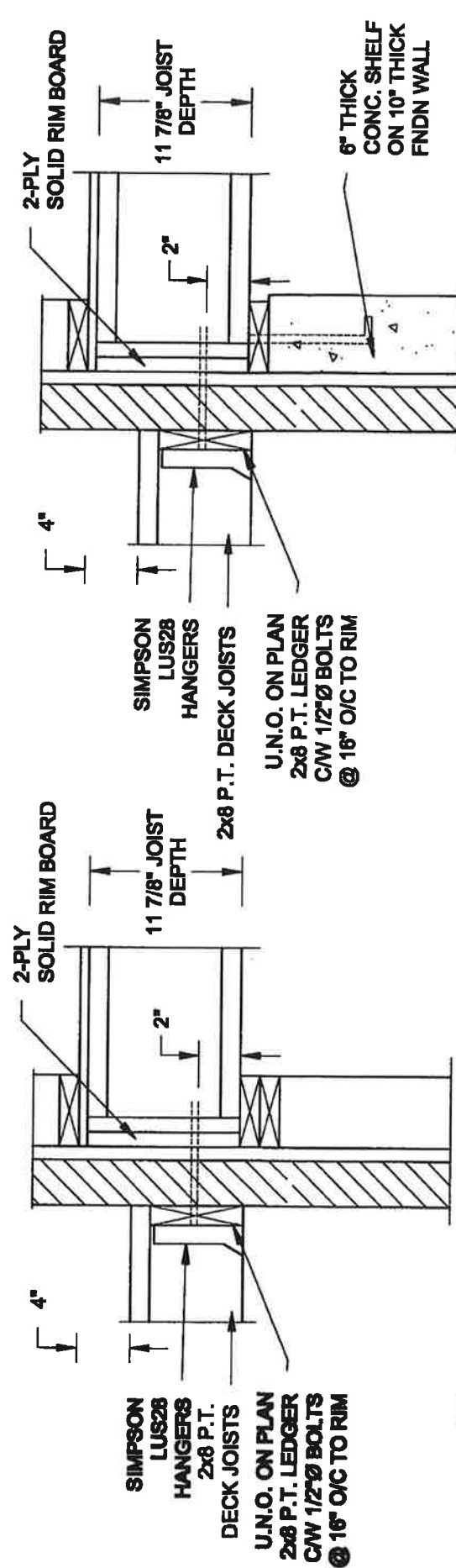


1A DECK FASTENING DETAIL

1B DECK FASTENING DETAIL

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

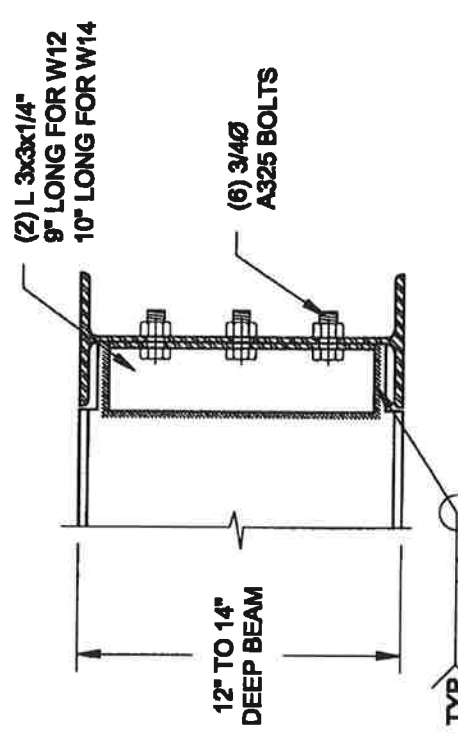
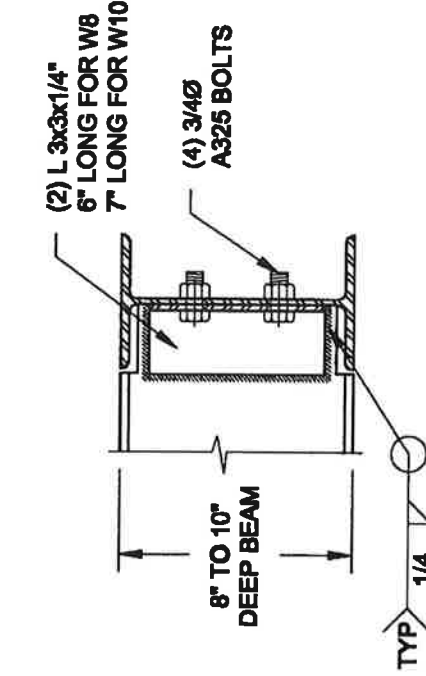
FOR 11 7/8" JOIST DEPTH



2A DECK FASTENING DETAIL

2B DECK FASTENING DETAIL

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W390x72) BEAM MAX.

Town of Innisfil Certified Model

03/01/2018 3:42:43 PM kgervais

QUAILE ENGINEERING LTD.

38 Portside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-883-8847
E: quaile.eng@rogers.com

Scale: AS NOTED
Date: JUL-01-2017
Drawn: BC
Checked: SJB

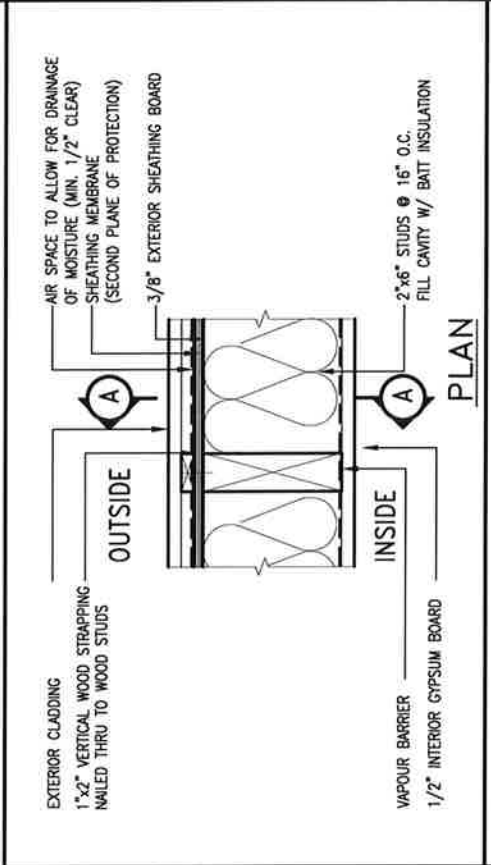
Engineer's Seal

S. J. BOYD
PROVIDE OF
AUG 10, 2017

Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

Project No.: 16-088

Drawing No.: S2

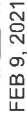


MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 18'-0"
2"x8" @ 12" O.C. - 17'-9"
2'-2"x8" @ 16" O.C. - 20'-4"
2'-2"x8" @ 12" O.C. - 22'-4"

NOTES:

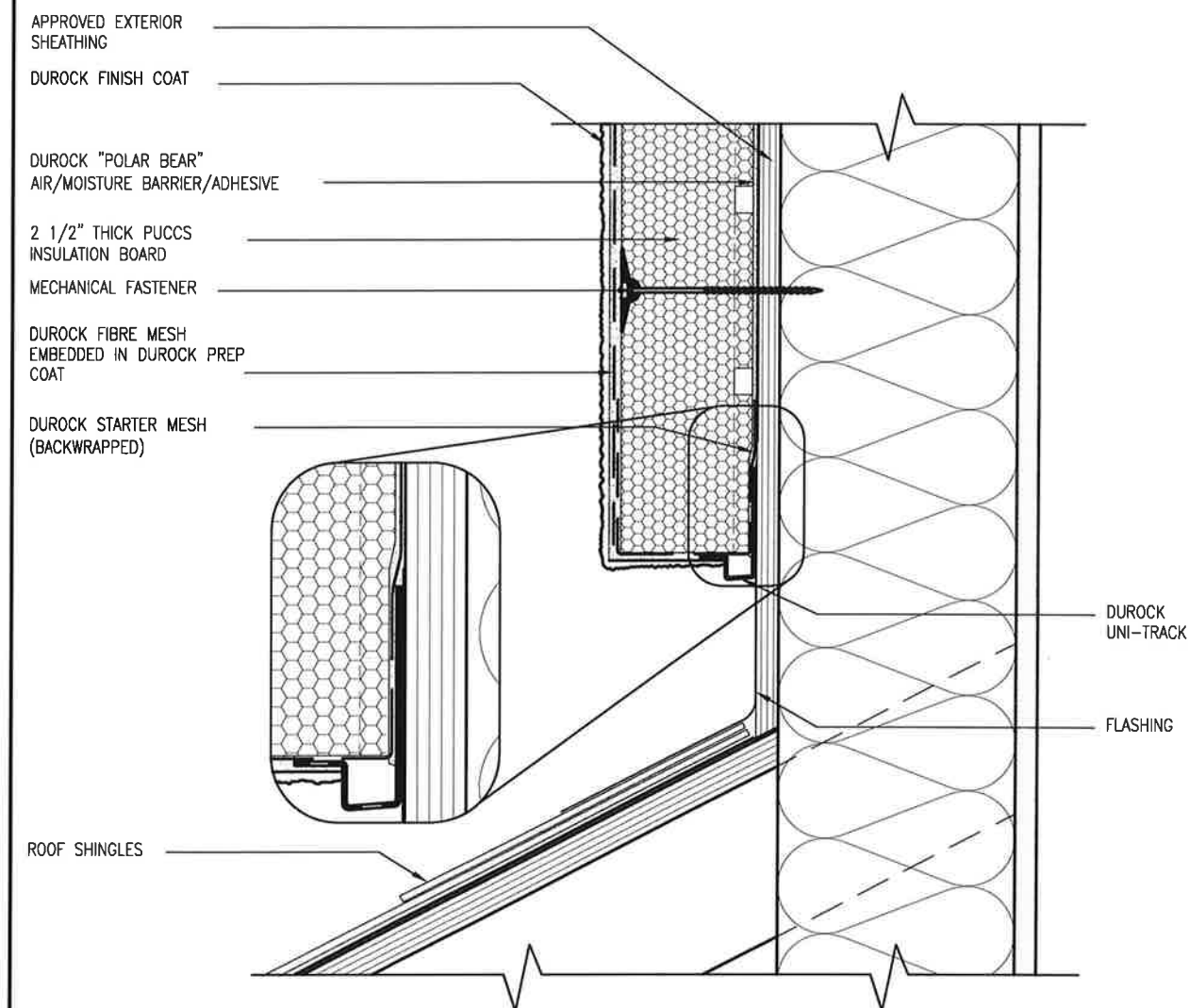
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.



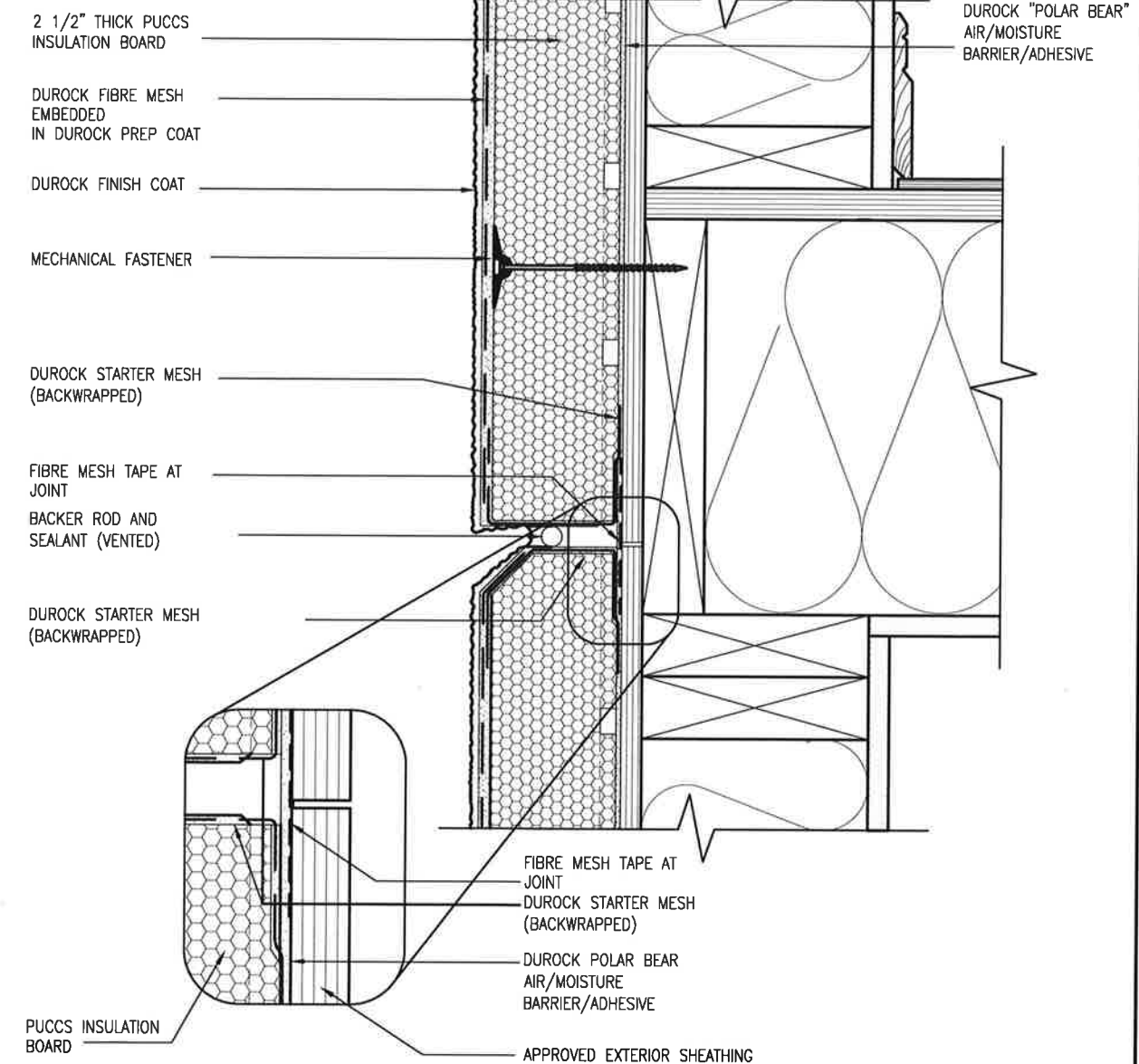
VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

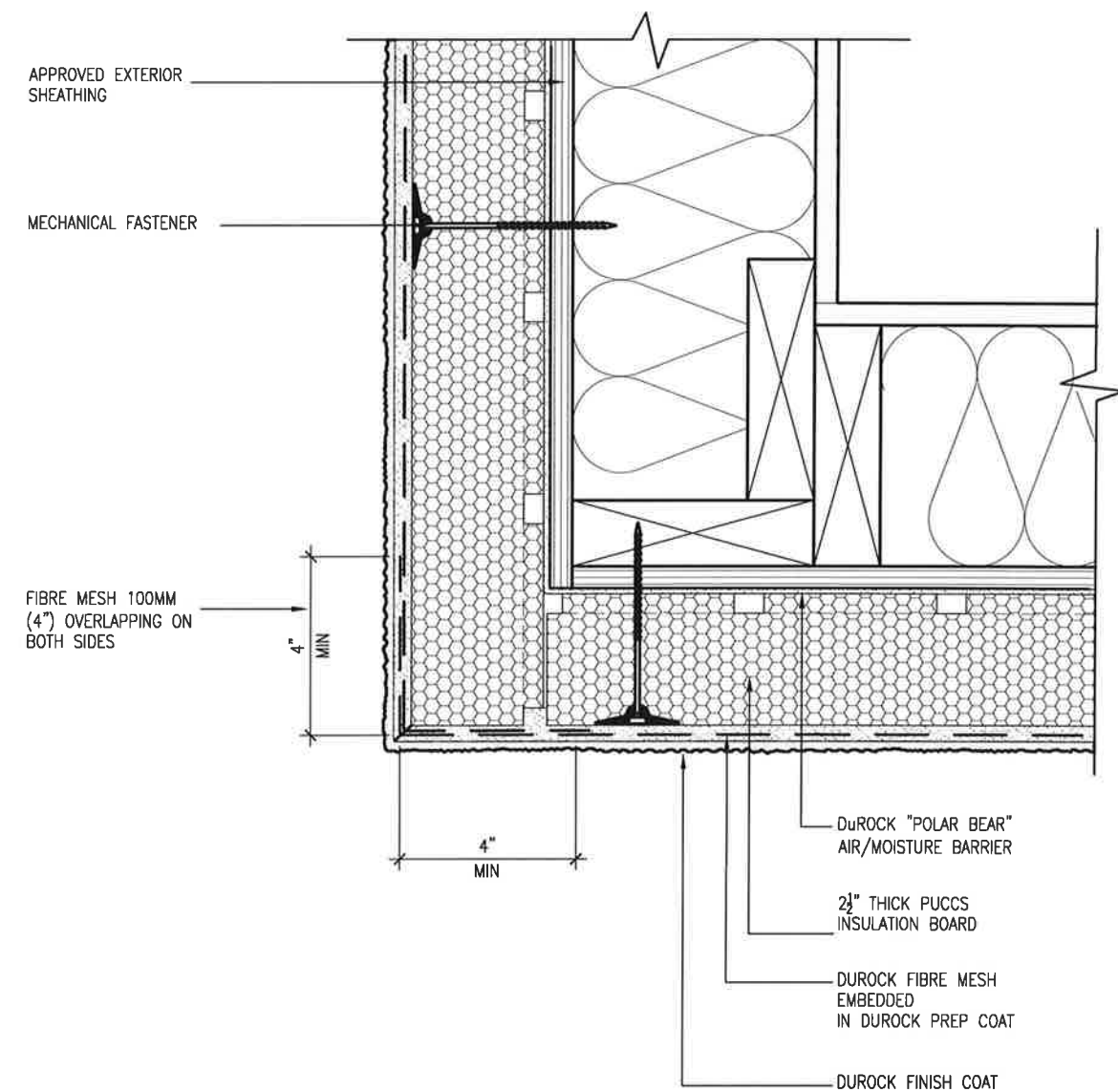
project name ALCONA	municipality INNISFIL, ON.	CONST NOTE	project no. 13049
date MAY 2016	scale 3/16" = 1'-0"	CONSTRUCTION NOTES	drawing no. CN2
drawn by RC	checked by -	file name 13049-CN-A1 VER 2020	

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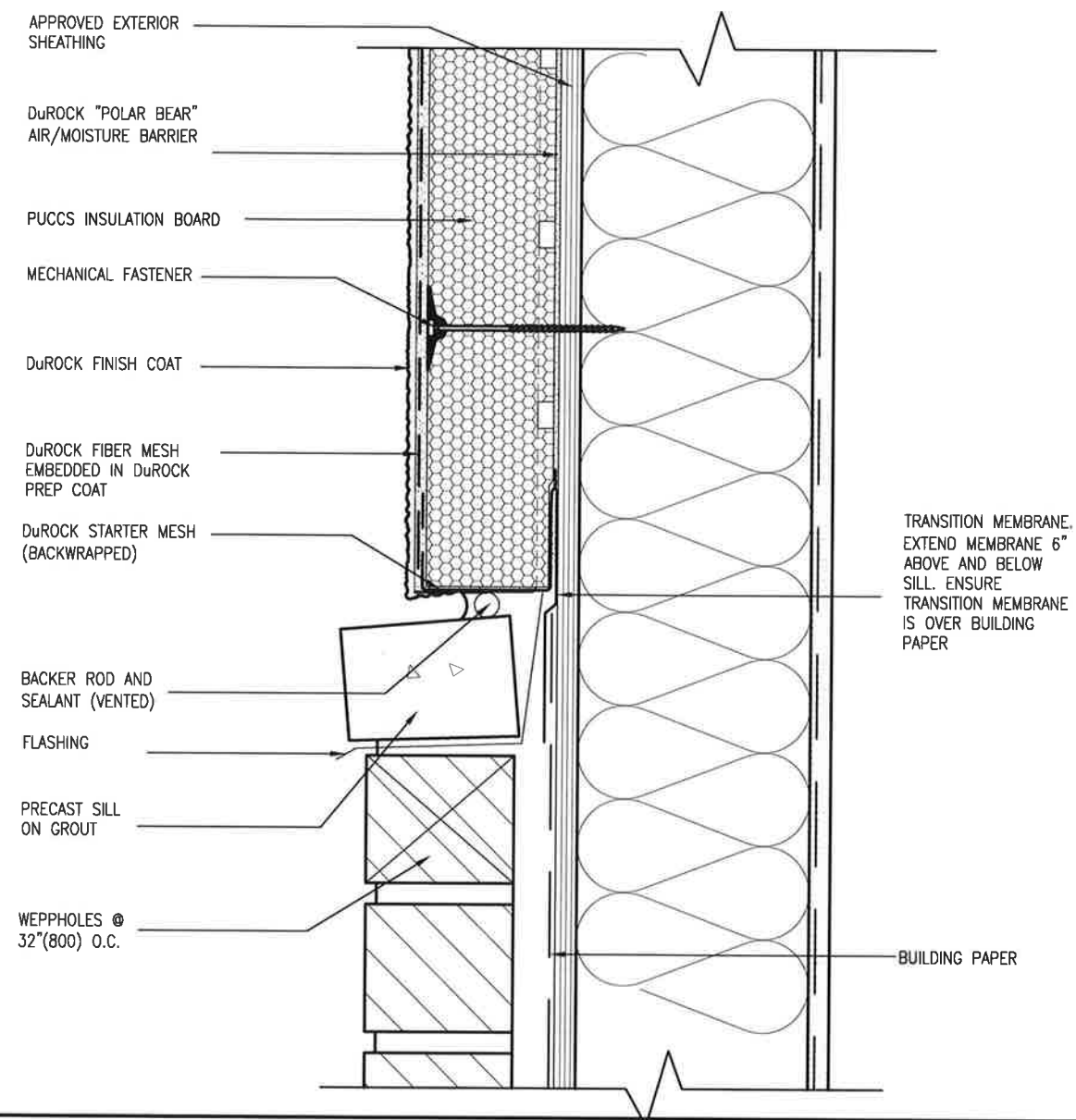
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

[illegible]



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

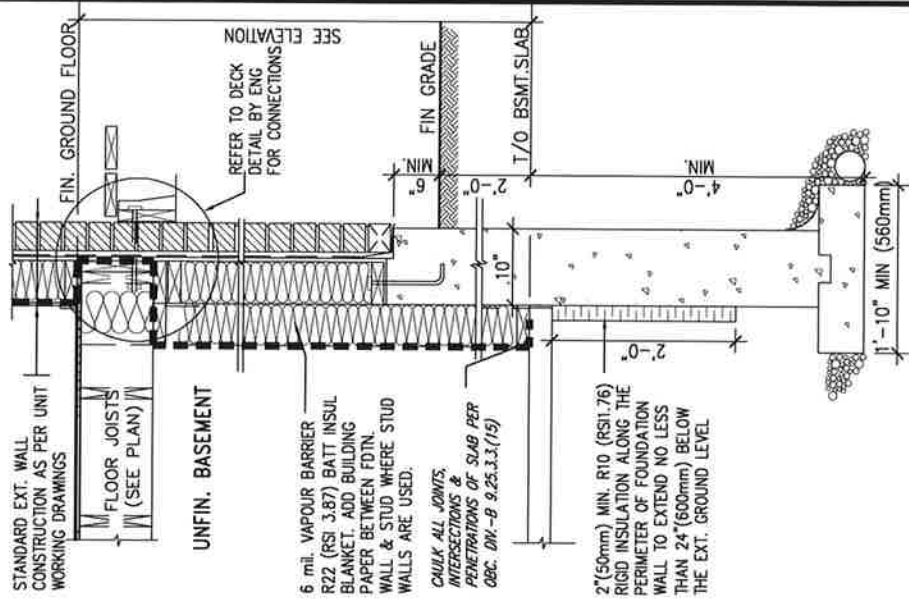
9	-	-	The undersigned has retained and takes responsibility for his design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	-	qualification information
7	-	-	Willington Jno-Baptiste
6	-	-	name
5	-	-	residential design firm
4	-	-	VAS Design Inc.
3	-	-	signature BCN
2	UPMVE TO ORC FEB 2020	FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner agrees to accept them as such. We returned it upon completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	date by description

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawn by RC	drawing no. CN5
checked by —	scale 3/16" = 1'-0"
construction notes 13049-CN-41 VER 2020	

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

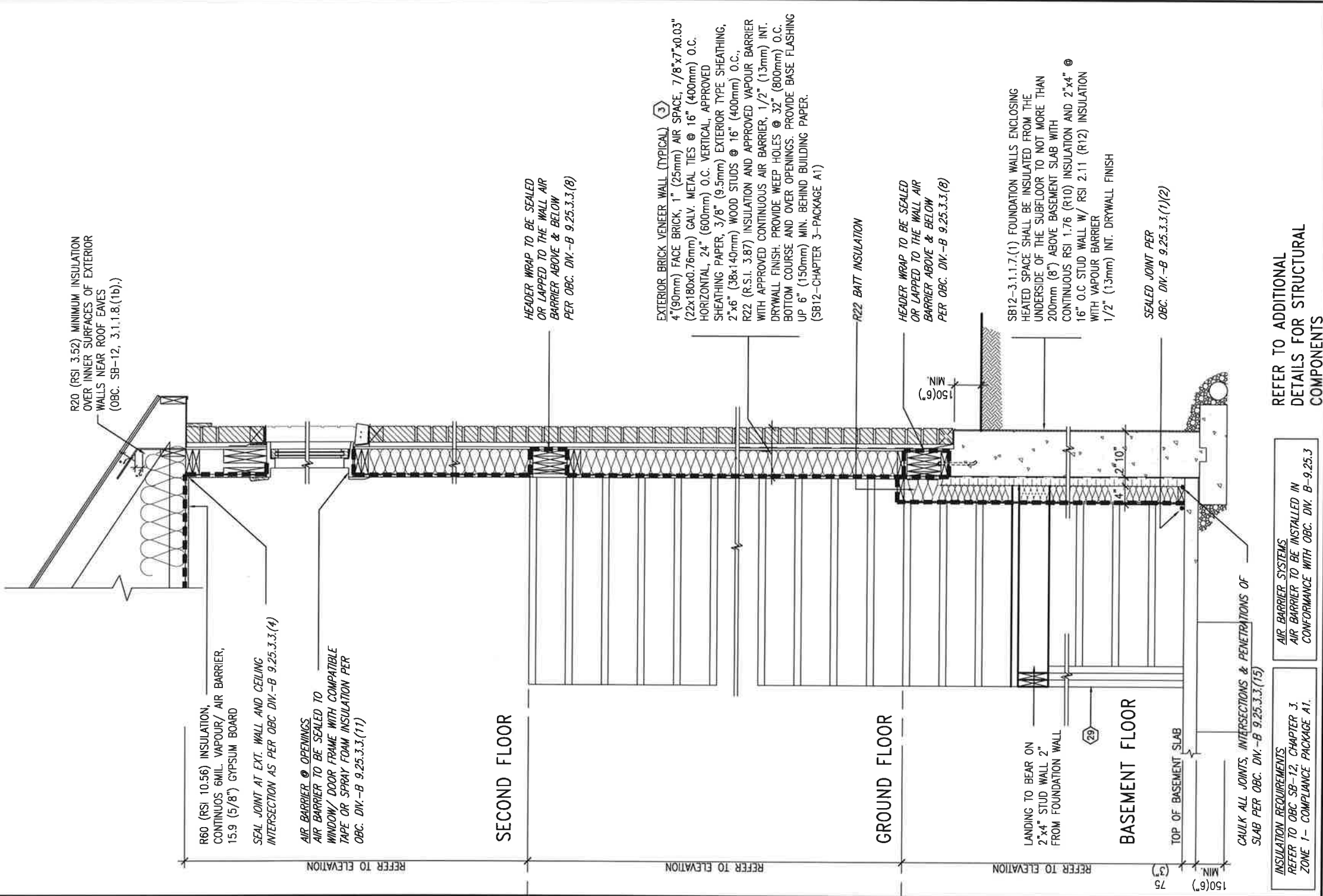
9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2. UPDATE TO OBC VER 2020 1. ISSUE FOR CLIENT REVIEW			
no.	description	date	by
		FEB 09-21	RC
		AUG 04-17	RC

VAD3
DESIGN
255 Consumers Rd Suite 120
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BAYVIEW WELLINGTON CONST NOTE		project name ALCONA		project no. 13049	
date MAY 2016		municipality INNISFIL, ON.		drawing no. CN6	
drawn by RC		checked by -		CONSTRUCTION NOTES	
scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020			

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

**REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS**

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

				*	* *	The undersigned has reviewed and takes responsibility for this design
9 *				*	*	drawing dimensions and meets the requirements set out in the Ontario Building Code to be a Designer.
8 *				*	*	
7 *				*	*	qualification information
6 *				*	*	Weilington Jno-Baptiste
5 *				*	*	name <i>J Baptiste</i>
4 *				*	*	registration information signature
3 *				*	*	VIA Design Inc. BON
				*	*	42658
2 UPDATE TO OBC VER 2020	FEB 09-21 RC					Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are prepared by me or under my supervision and the property of this Designer which must be returned at the completion of the work.
1 ISSUE FOR CLIENT REVIEW	AUG 04-17 RC					Drawings are not to be scaled.
no. / description	date				by	

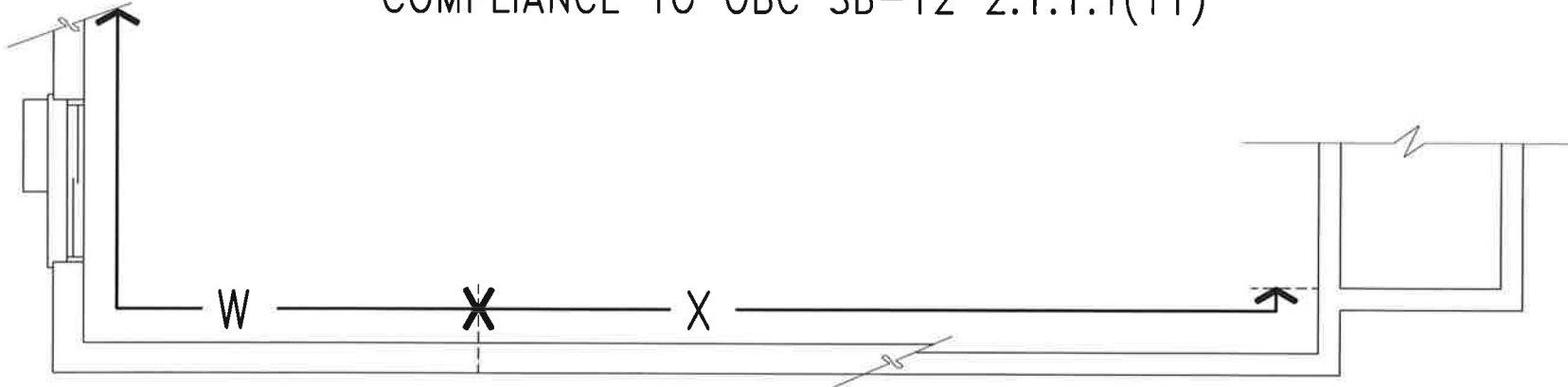
VA3
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BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFILLON.
date MAY 2016	project no. 13049
drawn by PC	drawing no. CN7
scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
checked by —	construction notes

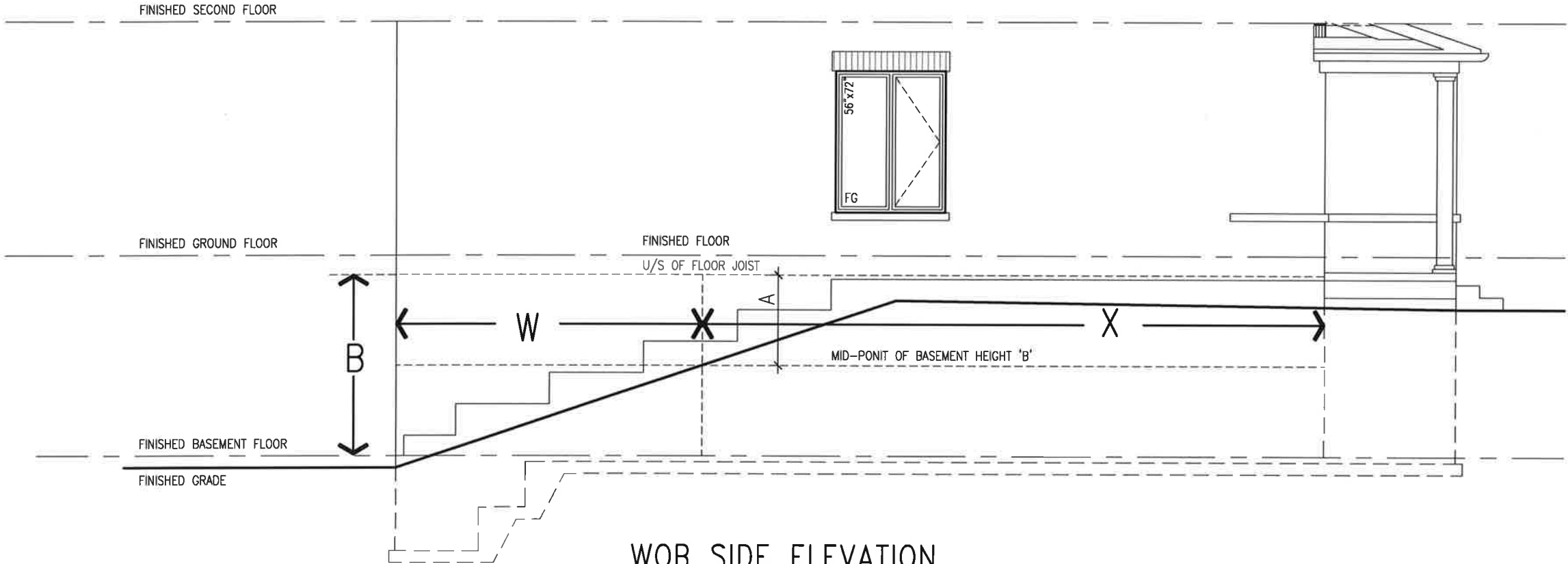
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



FEB 9, 2021



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	project no.	13049
date	MAY 2016	drawing no.	CN8
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	CONSTRUCTION NOTES	13049-CN-A1 VER 2020
RC-HAQ - IN VACUUM WORKING 2013.1.1948 BAYVIEW/ON Notes/13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:15 AM		All drawings specifications, related documents and design are the copyright property of V&B DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&B DESIGN's written permission.	

V&B DESIGN		255 Consumers Rd Suite 120	
Toronto ON M3J 1R4		t 416.630.2255 f 416.630.4782	
v&bdesign.com		25591	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		signature	
name		BCN	
registration information		42658	
V&B Design Inc.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
FEB 09-21 RC		date	
AUG 04-17 RC		by	
2. UPDATE TO OBC VER 2020		no. description	
1. ISSUE FOR CLIENT REVIEW			



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	-	qualification information	
7	-	-	-		
6	-	-	-	Wellington Jno-Baptiste	25591
5	-	-	-	name	
4	-	-	-	signature information	BCN
3	-	-	-	VA3 Design Inc.	42658
2	UPRIME TO ORC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

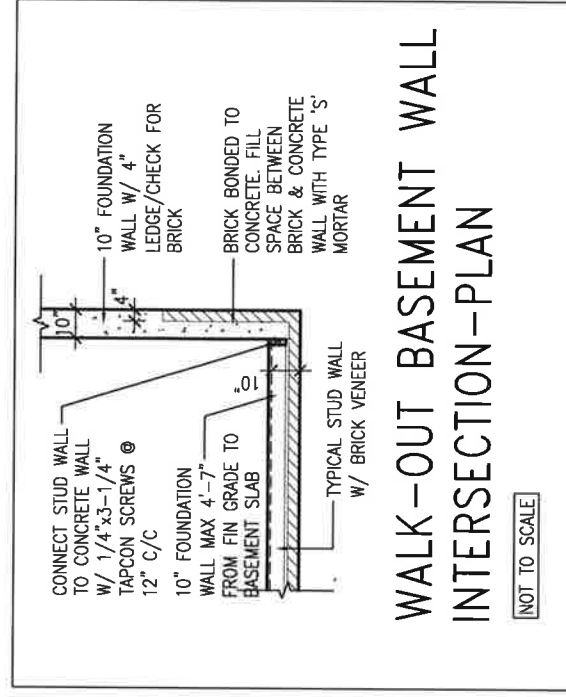
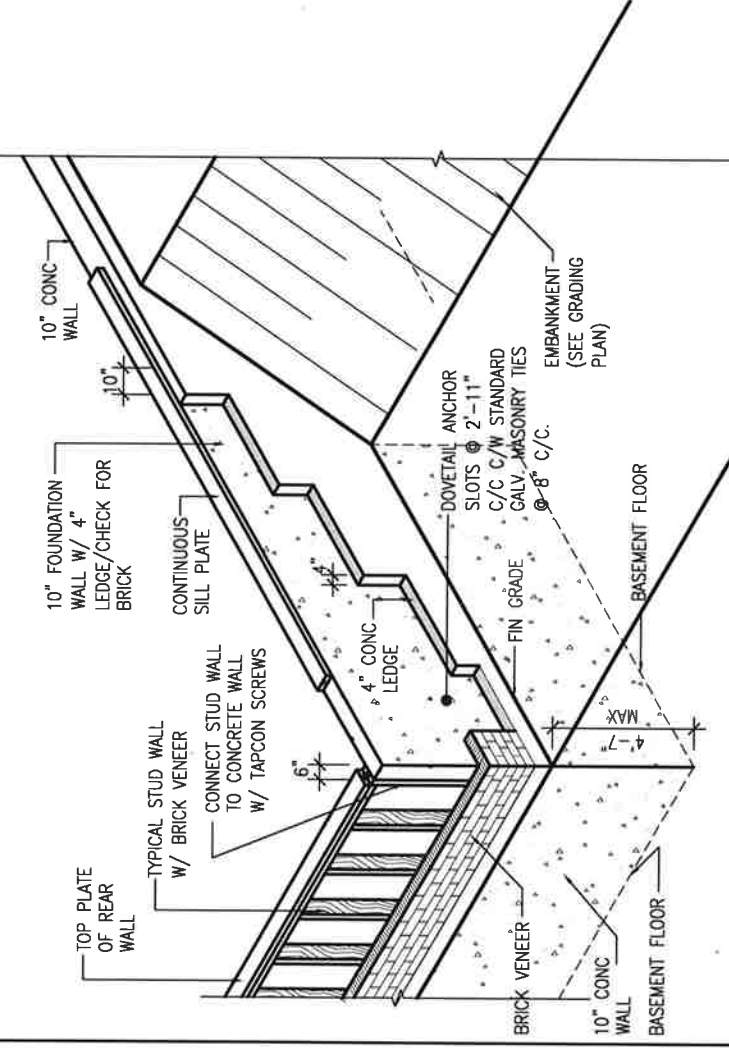
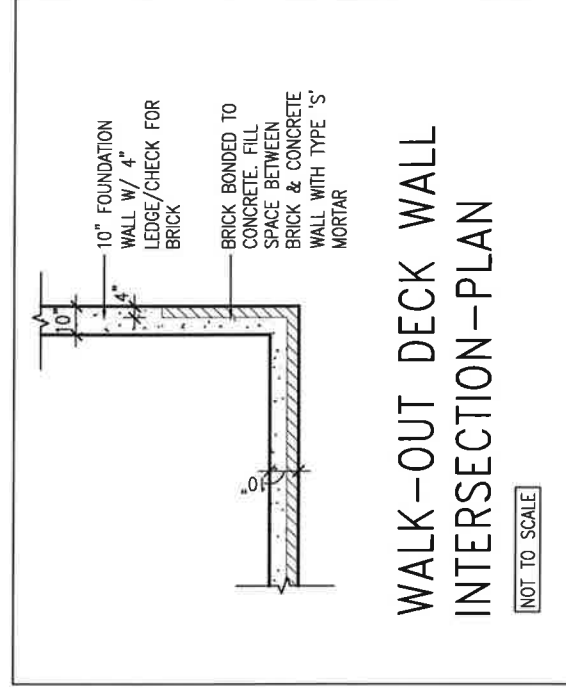
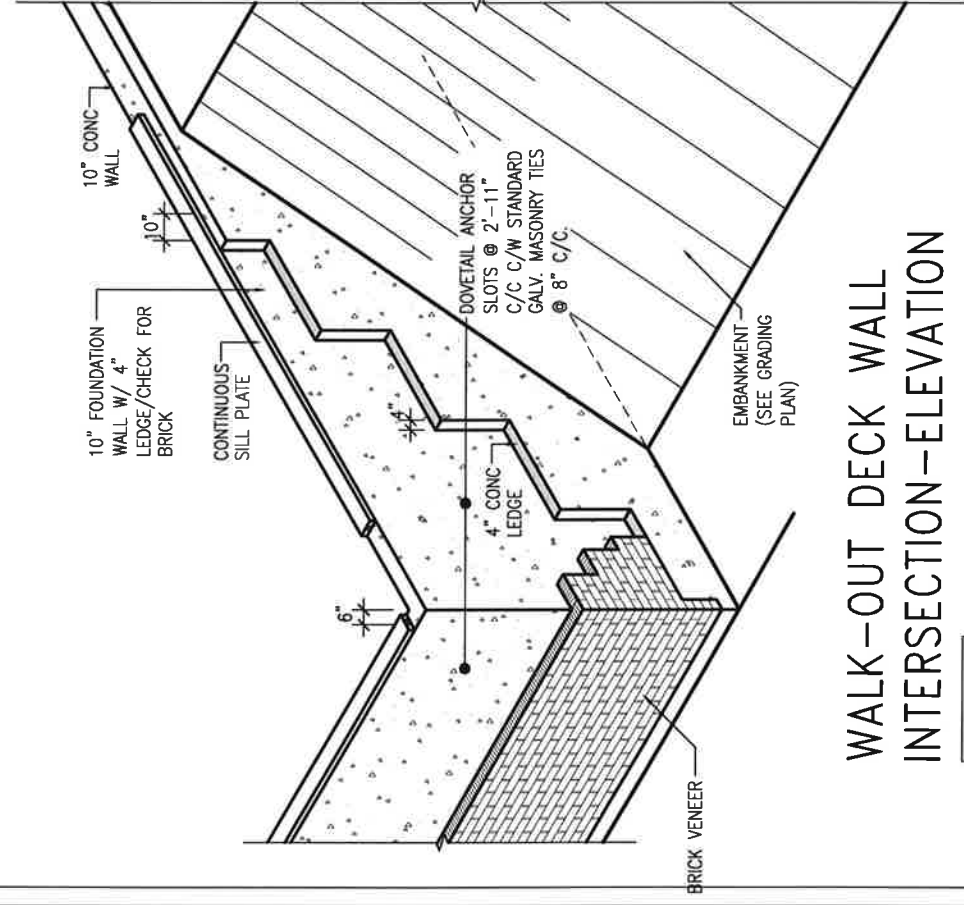


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CONST NOTE

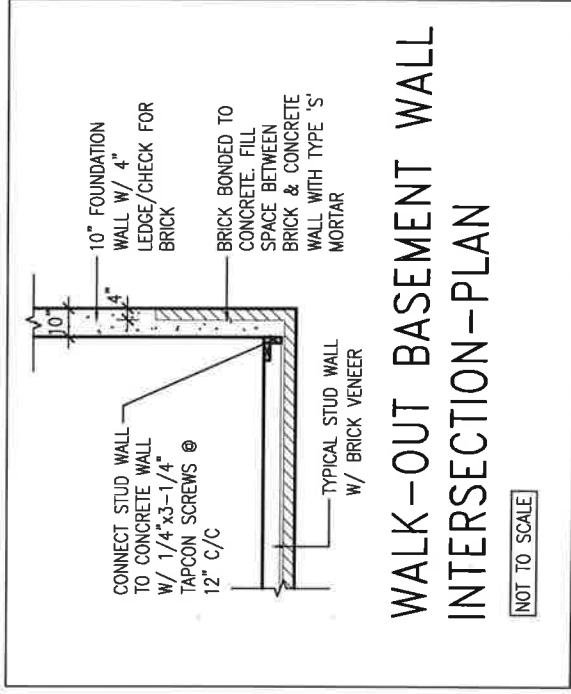
CONST

project name ALCONA	municipality INNISTON.	project no. 13049
date MAY 2016	drawing no. CN9	
checked by RC	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
RECORDED - H:\ARCHIVE\WORKING\2013\13049-BAYVIEW\13049-CN-A1 VER 2020 - TUE - FEB 9 2021 - 11:15 AM		



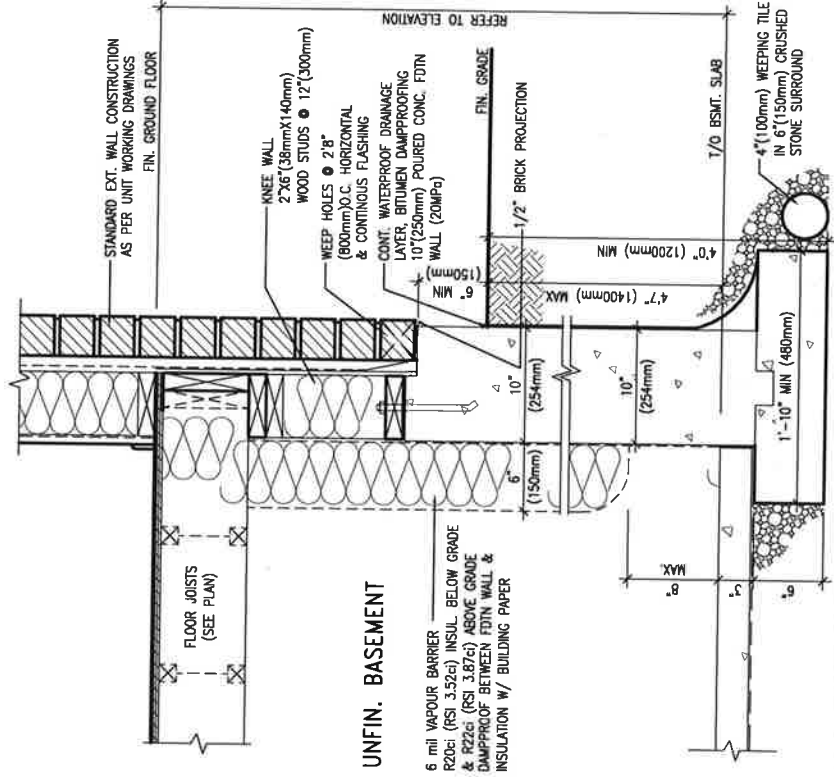
9	*		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	qualification information	Wellingdon Jno-Baptiste	J. Baptiste	25591	BCON	42658
8	*				name	signature			
7	*				business information	VAS Design Inc.			
6	*								
5	*								
4	*								
3	*								
2	UPDATE TO OBC VER 2020	FEB 09-21	RC						
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. CN10
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
RICHARD - H. VARCHOV, WOODBINE, 13049 BAYVIEW ON, NORTON 13049-CN-A1, VER 2020.dwg - Tue - Feb 3, 2023 - 11:24 AM			



(10" FOUNDATION WALL)

NOT TO SCALE



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



FEB 9. 2021

9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellingdon Jno-Baptiste

BCN registration information

BCN 42658

Signature

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BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
dwn by RC	checked by -
scale 3/16" = 1'-0"	drawing no. CN111
file name 13049-CN-A1 VER 2020	

CONST NOTE

BAYVIEW WELLINGTON

INNISFIL, ON.

project name: **ALCONA**

CONSTRUCTION NOTES

1

date MAY 2016

file_name
...

checked by	scale
------------	-------

drawn by
PC

13049-CN-A1 VER 2020

3/16 = 1-0

RICHARD - NY

