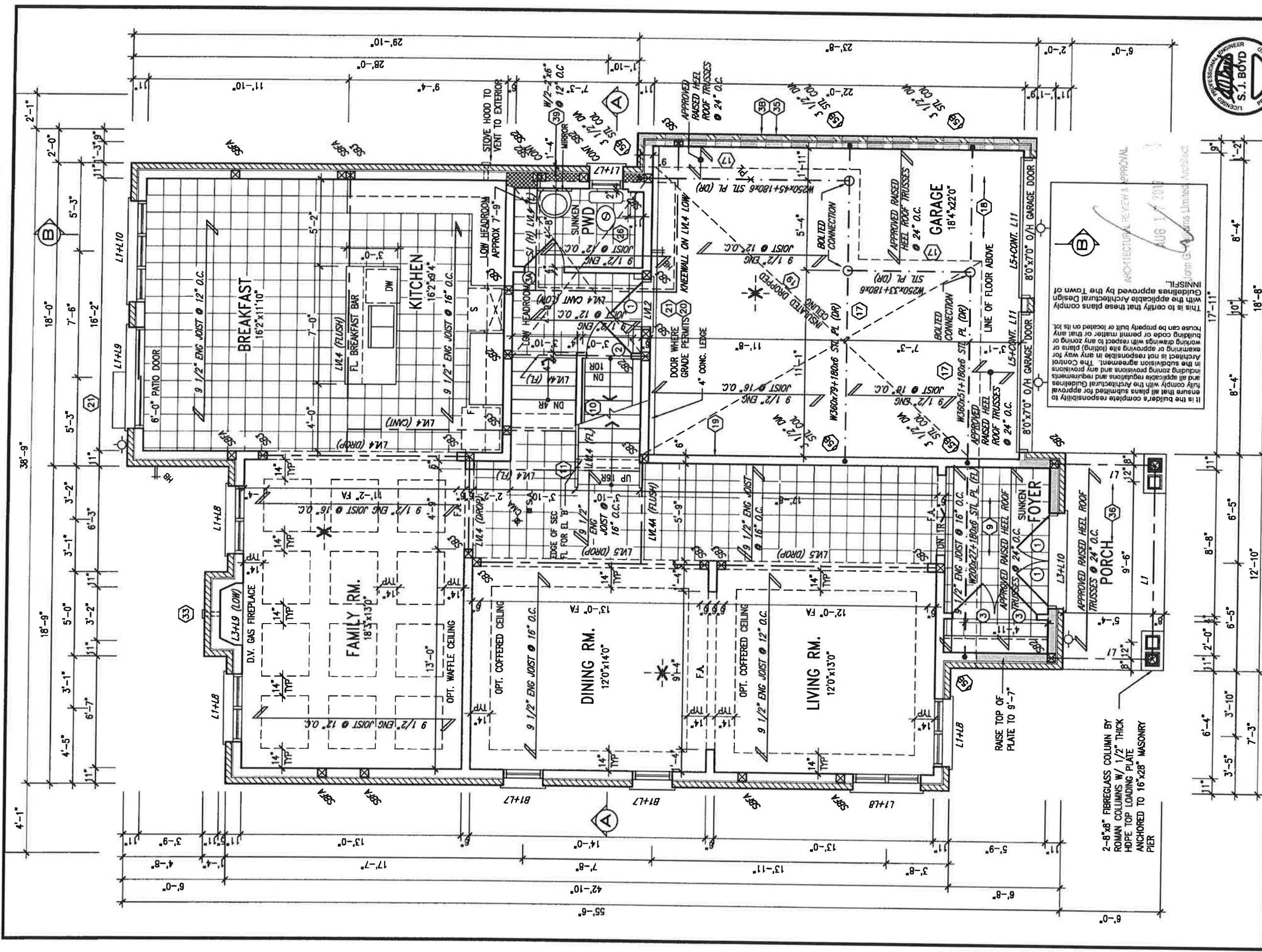




ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS SLOPE TO FRONT W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

ROOF NOTE R2
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS SLOPE TO FRONT W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

2-8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x28" MASONRY PIER

RAISE TOP OF PLATE TO 9'-7"

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

9

8

7

6

5

4

3

2

1

no.

description

date

by

1

ISSUED FOR CLIENT REVIEW

SEPT 19/16 SB

2

REVISED INSULATION AT STAIRS

DEC 20/16 SB

3

REVISED FDN WALLS TO BE 10"

AUG 08-17 RC

4

REVISED AS PER ENG COMMENTS

AUG 08-17 RC

WELLINGTON JRO-BAYPLATE

25591

BCON

42658

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2255 f 416.630.4782

va3design.com

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2255 f 416.630.4782

va3design.com

ALCONA

NOV. 2015

drawn by

RC

INNISFIL, ONTARIO

checked by

3/16" = 1'-0"

13049-S45-2

S45-2

HUMMINGBIRD 2

project no.

13049

drawing no.

2

Town of Innisfil Certified Model

AUG 16, 2017

0301/2018 1:30:53 PM kgervais

ARCHITECTURAL REVIEW & APPROVAL

AUG 17 2017

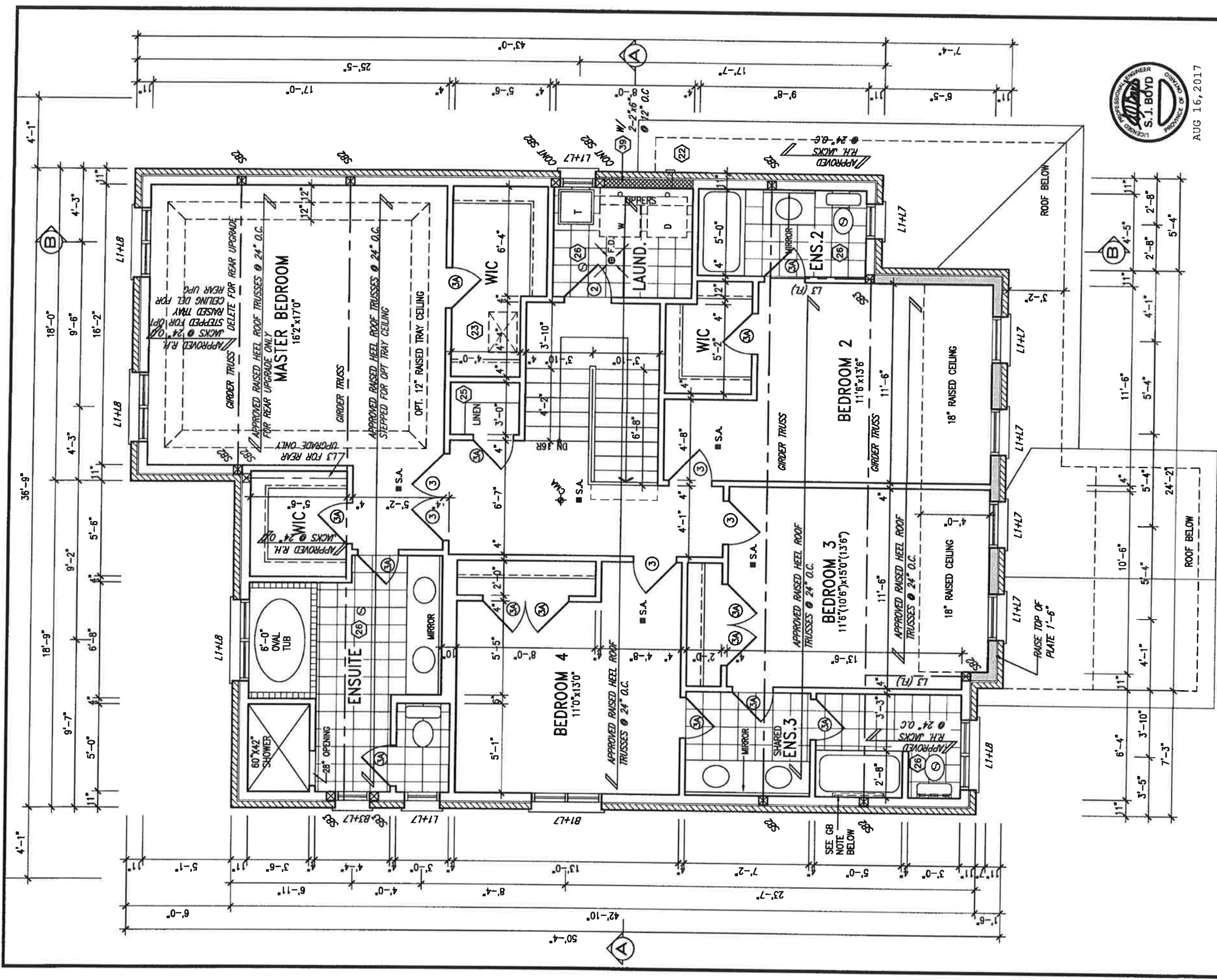
John G. Williams Limited Architect

PROFESSIONAL ENGINEER

S.J. BOYD

PROVIDE OF

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AUG 16, 2017

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AUG 17 2017
TOWN OF INNISFIL REVIEW & APPROVAL
S.J. BOYD
PROFESSIONAL ENGINEER
ON TOWN OF INNISFIL

Town of Innisfil Certified Model
03/01/2018 1:31:28 PM kgervais

SECOND FLOOR PLAN 'A'

NOTE: ROOF FRAMING ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO CBC 9.3.2.3, 3.8.3.8(3)(c), 3.8.3.8(3)(c), 3.8.3.13(2)(i) & 3.8.3.13(1)(c) AND DETAILS PROVIDED.

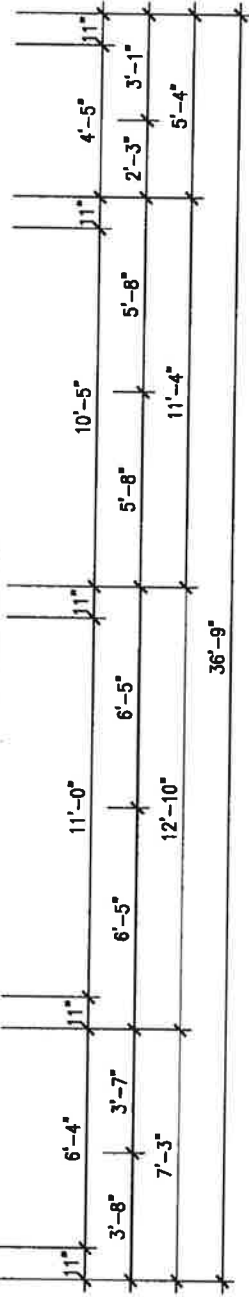
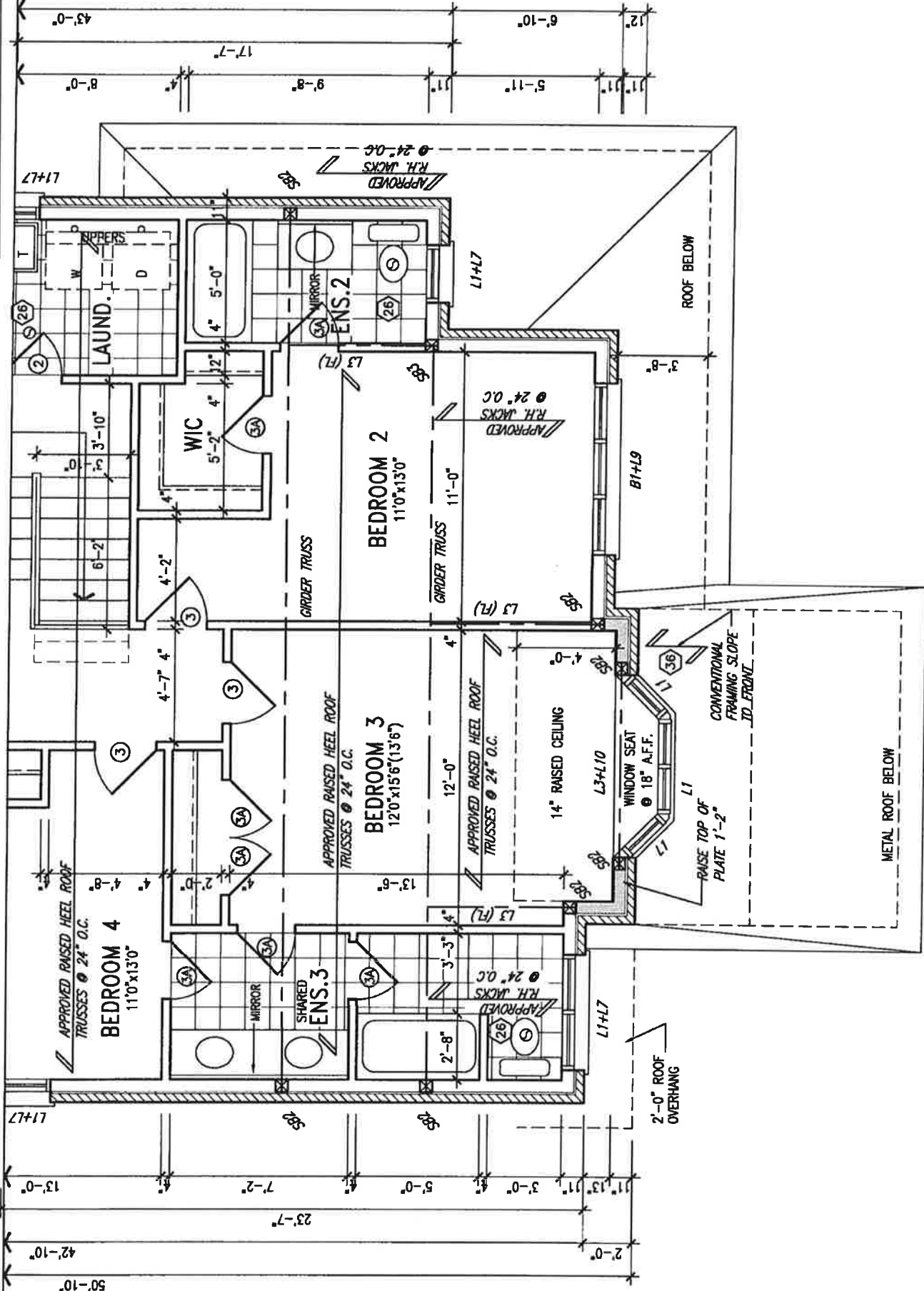
Project name		BAYVIEW WELLINGTON		S45-2	
Project no.		ALCONA		HUMMINGBIRD 2	
City		INNISFIL, ONTARIO		13049	
Date		NOV. 2015		drawing no.	
Drawn by		RC		SECOND FLOOR PLAN 'A'	
Checked by		RC		13049-S45-2	
Scale		3/16" = 1'-0"		3	
Author		RICHARD - H. ARCHITECTS WORKING 2013\13049 BAYVIEW\45-2.dwg - Mon - Aug 14, 2017 - 3:45 PM			

VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
Signature
25591
BCMA
42658

No.	Description	Date	By
1	ISSUED FOR CLIENT REVIEW	SEPT 19/16 SB	
2	REVISED INSULATION AT STAIRS	DEC 20/16 SB	
3	REVISED FIN WALLS TO BE 10"	AUG 08-17 RC	
4	REVISED AS PER ENG COMMENTS		



PARTIAL SECOND FLOOR PLAN 'B'



AUG 16, 2017

AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA		1457 SF	1457 SF
SECOND FLOOR AREA		1687 SF	1687 SF
SUBTOTAL		3144 SF	3154 SF
DEDUCT ALL OPEN AREAS		0 SF	0 SF
TOTAL NET AREA		3144 SF (292.08 m ²)	3154 SF (293.02 m ²)
FINISHED BSMT AREA		0 SF	0 SF
COVERAGE W/OUT PORCH		1892.79 SF (175.85 m ²)	1892.79 SF (175.85 m ²)
COVERAGE W/ PORCH		1978.46 SF (183.62 m ²)	1978.46 SF (183.62 m ²)

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	kgervais
3	REVISED FOR WALLS TO BE 10"	DEC 20/16 SB	kgervais
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	kgervais
1	ISSUED FOR CLIENT REVIEW		

1	ISSUED FOR CLIENT REVIEW		
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	kgervais
3	REVISED FOR WALLS TO BE 10"	DEC 20/16 SB	kgervais
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	kgervais
5			
6			
7			
8			
9			

VAD DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vadesign.com

BAYVIEW WELLINGTON

S45-2
HUMMINGBIRD 2

PROJECT NAME	ALCONA	MUNICIPALITY	INNISFIL, ONTARIO	PROJECT NO.	13049
DATE	NOV. 2015	DRAWN BY	RC	DRAWING NO.	13049-S45-2
CHECKED BY	RC	SCALE	3/16" = 1'-0"	DATE	13049-S45-2
DESIGNED BY	RC	DATE		DATE	

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AUG 17 2017

JONG S. WANGS Limited, Architect

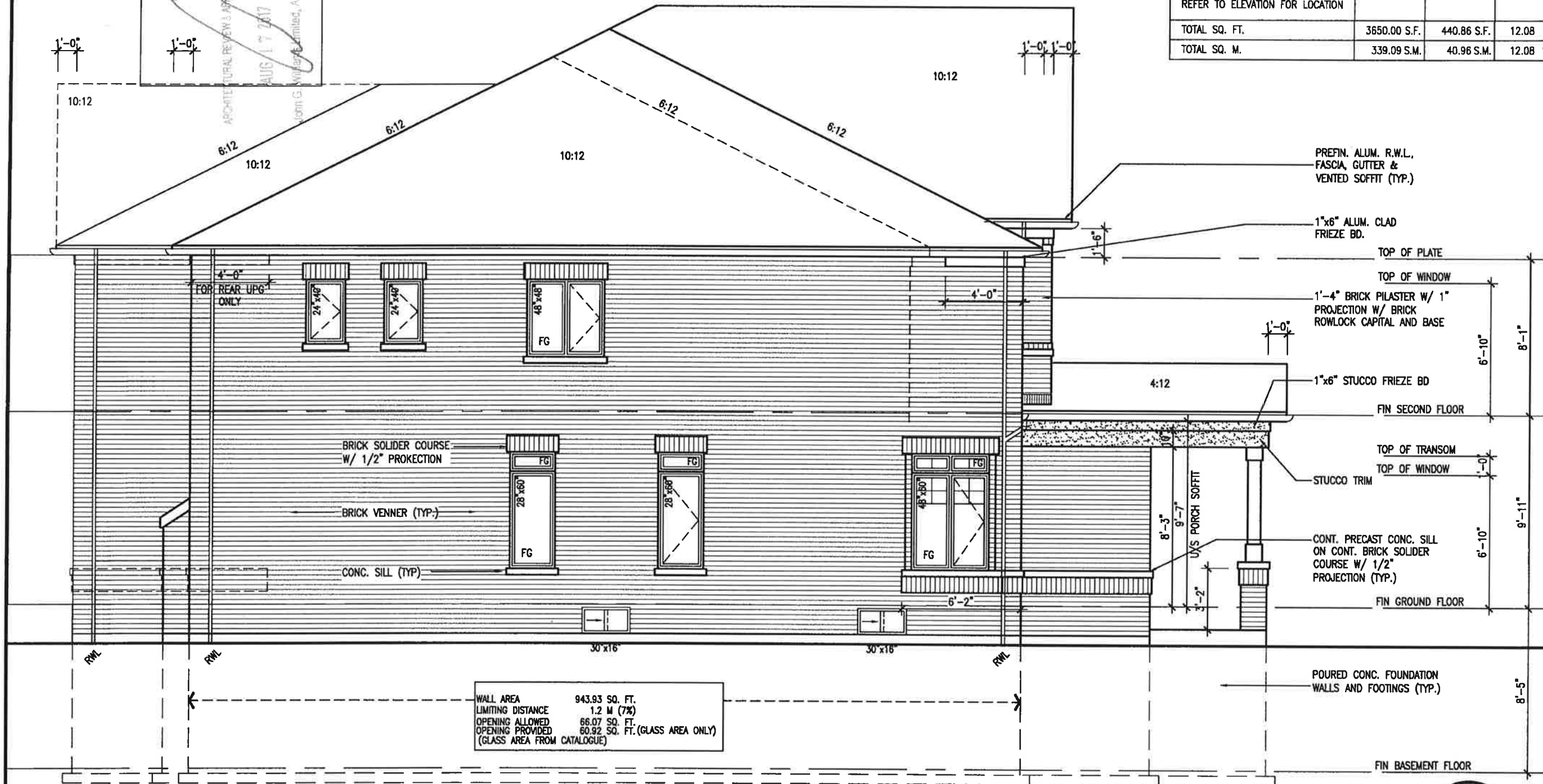
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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Town of Innisfil Certified Model
03/01/2018 1:40:00 PM kgervais

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S45-2 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	772 S.F.	147.056 S.F.	19.05 %
LEFT SIDE	1068 S.F.	88.00 S.F.	8.24 %
RIGHT SIDE	1075 S.F.	16.667 S.F.	1.55 %
REAR	735 S.F.	189.139 S.F.	25.73 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3650.00 S.F.	440.86 S.F.	12.08 %
TOTAL SQ. M.	339.09 S.M.	40.96 S.M.	12.08 %

BAYVIEW WELLINGTON		S45-2 HUMMINGBIRD 2	
project name	ALCONA	municipality	INNISFIL, ONTARIO
project no.	13049	drawing no.	7
date	NOV. 2015	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
REVISIONS: 1. AUG 14 2017 - 3:48 PM			
VA3 DESIGN			
255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptista 25591			
V.A.S. Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are not to be scaled.			
4. REVISED AS PER ENG COMMENTS			
3. REVISED FIN WALLS TO BE 10"			
2. REVISED INSULATION AT STAIRS			
1. ISSUED FOR CLIENT REVIEW			
no. description			



LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 1:40:04 PM kgervais

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
Jesse G. Williams Limited Architect

S45-2
HUMMINGBIRD 2

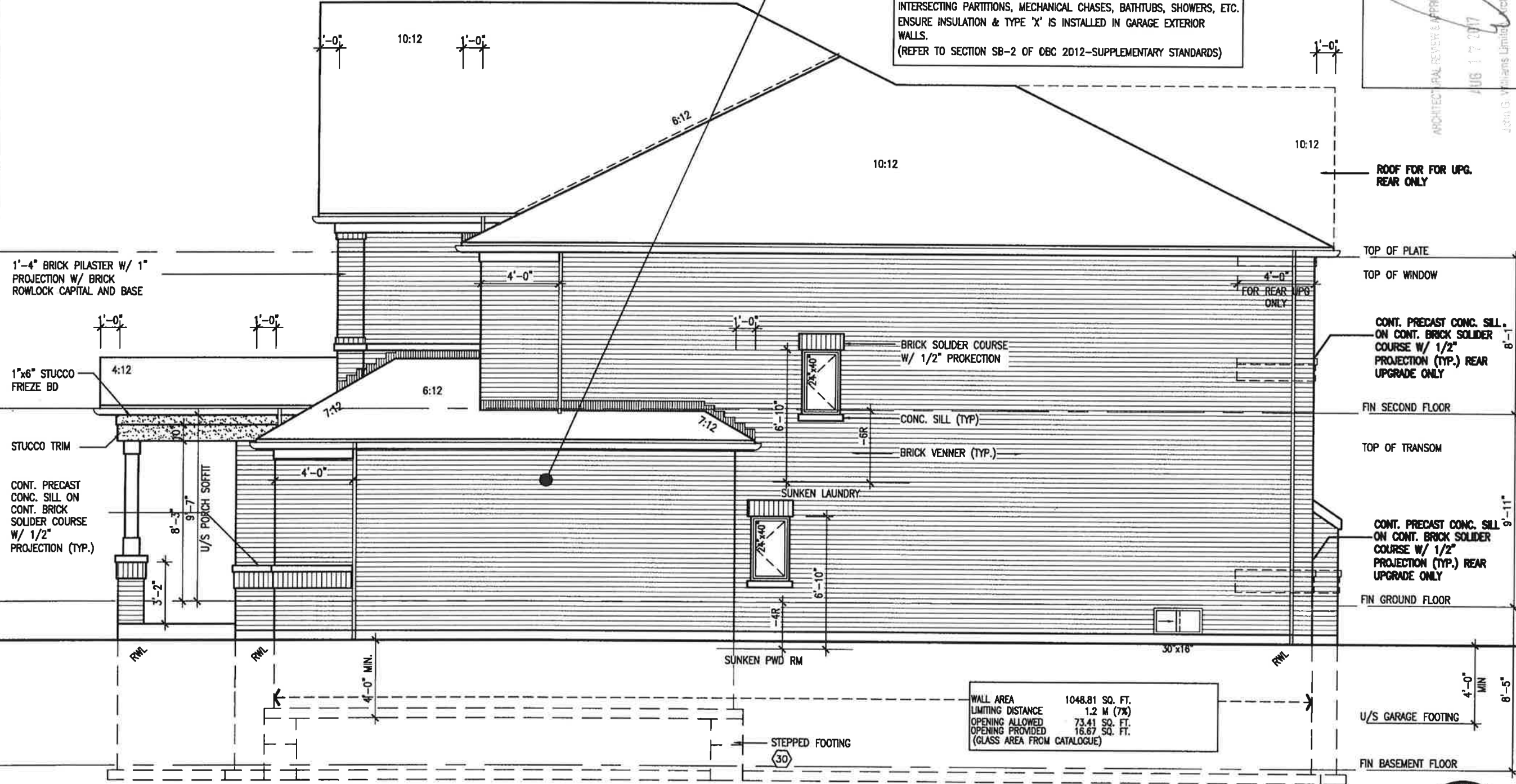
BAYVIEW WELLINGTON

project name
ALCONA
date
NOV. 2015
drawn by
RC
checked by
RC
scale
3/16" = 1'-0"
drawing no.
13049
file name
13049-S45-2
sheet no.
8

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1K4
1 416.630.2255 1 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
registration information
VAS Design Inc.
BCN 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED FIN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		



RIGHT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 1:53:13 PM kgervais

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ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. [Signature] Limited, Architect

S45-2
HUMMINGBIRD 2

BAYVIEW WELLINGTON

Project name: ALCONA
Municipality: INNISFIL, ONTARIO
Project no.: 13049
Drawing no.: 9
Rear Elevation A/B
Scale: 3/16" = 1'-0"
Checked by: [Signature]
Drawn by: [Signature]
Date: NOV. 2015
Project location: 13049-545-2
Project description: RICHARD - H:\ARCHIVE\WORKING\2013\13049-545-2.dwg - Mon - Aug 14 2017 - 3:48 PM

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.782
VA3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Wellington, Pro-Boplist
Registration No. 25591
BCN
42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be used.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	[Signature]
3	REVISED FOR WALLS TO BE 10"	DEC 20/16 SB	[Signature]
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	[Signature]
1	ISSUED FOR CLIENT REVIEW		

BRICK SOLIDER COURSE
W/ 1/2" PROJECTION

CONC. SILL (TYP.)

BRICK VENNER (TYP.)

6:12
7:12 EL B
7:12
5:12 EL B

max 6" rise of step into
doorway. (9.9.6.6.(2))

PRECAST CONC. DOOR
SILL & PRECAST CONC.
STEP
20

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

ASPHALT SHINGLES
8:12

REAR ELEVATION 'A & B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

03/01/2018 1:53:19 PM kgervais

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S45-2
HUMMINGBIRD 2

8	7	6	5	4	3
---	---	---	---	---	---

8	*		AUG 08-17 RC
7	*		DEC 20/16 SB
6	*		
5	*		
4	REVISED AS PER ENG COMMENTS		
3	REVISED FOR WALLS TO BE 10"		

ROOF PLAN 'B'

FRONT ELEVATION 'B'

A circular professional engineer seal for S. J. Boyd, Province of Ontario. The seal features the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "S. J. BOYD" is printed below a stylized signature. A horizontal line is positioned below the name.

AUG 16, 2017

AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 1:55:58 PM kgervais

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Williams Limited, Architect

S45-2
HUMMINGBIRD 2

BAYVIEW WELLINGTON
ALCONA

project name
ALCONA

date
NOV. 2015

drawn by
RC

checked by
RC

scale
3/16" = 1'-0"

file name
13049-S45-2

project no.
13049

drawing no.
12

city
INNISFIL, ONTARIO

right side elevation B

town of innisfil

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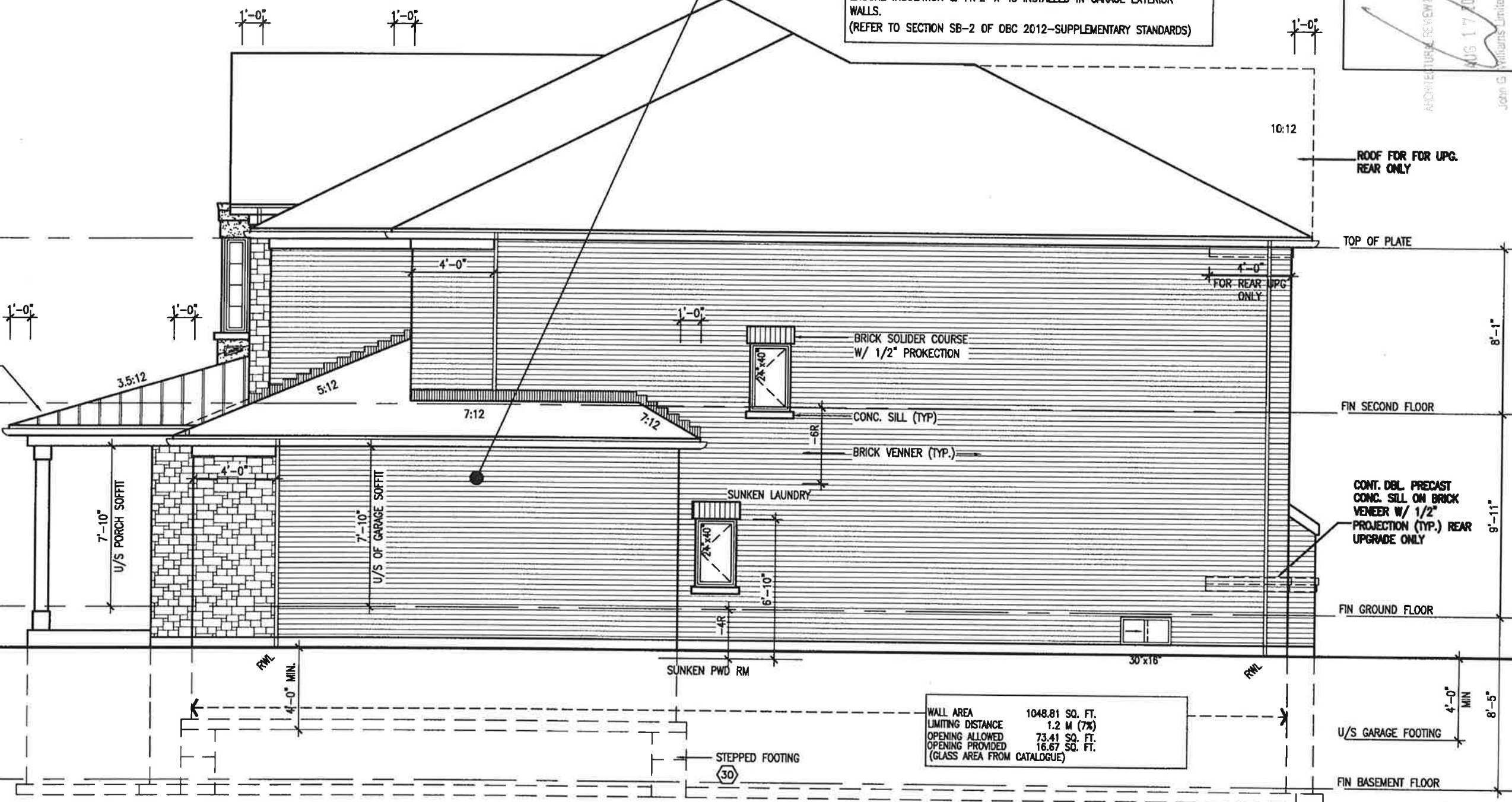
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PREFINISHED METAL ROOF W/ RAISED SEAM



WALL AREA	1048.81 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	73.41 SQ. FT.
OPENING PROVIDED	16.67 SQ. FT.
(GLASS AREA FROM CATALOGUE)	

RIGHT SIDE ELEVATION 'A'

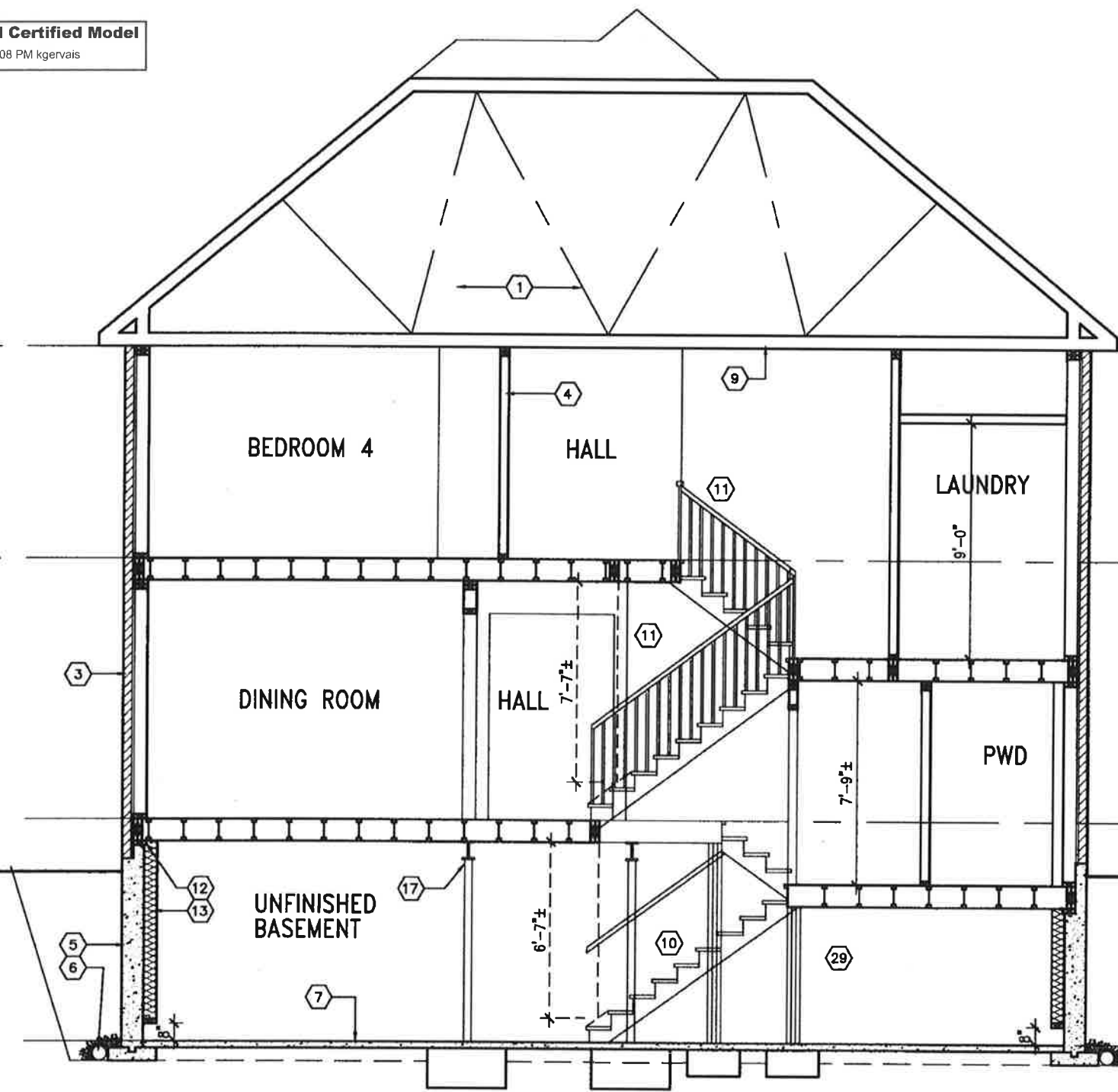
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED FIN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		

Town of Innisfil Certified Model
03/01/2018 1:56:08 PM kgervais



SECTION 'A-A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

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project name		BAYVIEW WELLINGTON		project no.		S45-2	
ALCONA		INNISFIL, ONTARIO		HUMMINGBIRD 2		13049	
date		NOV. 2015		section		SECTION A-A	
drawn by		RC		file name		13049-S45-2	
checked by		RC		scale		3/16" = 1'-0"	
checked by		RC		scale		3/16" = 1'-0"	
checked by		RC		scale		3/16" = 1'-0"	

VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and taken responsibility for this design and has the seal and signature of the Designer set out in the Ontario Building Code to be a Designer.

Wellington, Ont. - Designer: *[Signature]* 25591 BOM

name: *[Signature]* 42658 BOM

registration information: VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. The Designer's drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED FIN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		

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ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Wallace Limited, Architect

project no.	S45-2
project name	HUMMINGBIRD 2
project no.	13049
project name	INNISFIL, ONTARIO
project no.	13049-S45-2
project name	REAR ELEVATION 'A' UPGRADE
project no.	14
project name	3/16" = 1'-0"
project no.	NOV. 2015
project name	RC
project no.	NOV. 2015
project name	RC
project no.	NOV. 2015
project name	RC

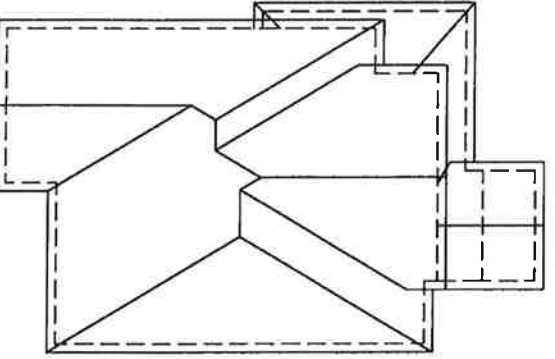
VAS3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and issues responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jho-Bopiste
25591
42658

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED FIN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		

ROOF PLAN 'A'
REAR UPG.

Town of Innisfil Certified Model
03/01/2018 1:57:07 PM kgervais



REAR ELEVATION 'A' UPGRADE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Millican, Architect

project name	BAYVIEW WELLINGTON	project no.	S45-2
location	INNISFIL, ONTARIO	hummingbird	2
date	NOV. 2015	project no.	13049
checked by	RC	drawing no.	15
drawn by	RC	scale	3/16" = 1'-0"
checked by	RC	date	NOV. 2015
drawn by	RC	project name	REAR ELEVATION 'B' UPGRADE
checked by	RC	location	INNISFIL, ONTARIO
drawn by	RC	project no.	13049-S45-2
checked by	RC	hummingbird	2
drawn by	RC	project no.	13049
checked by	RC	drawing no.	15

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for the design of the building and its components and certifies that the design complies with the Ontario Building Code and all applicable regulations and requirements set out in the Building Code Act and the Building Code Regulations.

Wellington Jno-Baptiste
25591
BCN
42658

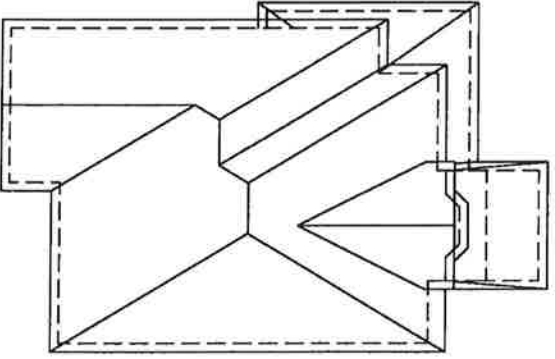
name
registration information
VA3 Design Inc.
25591
BCN
42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer. The Designer is not responsible for any errors or omissions in the drawings and specifications or for any consequences arising from the use of the drawings and specifications which must be obtained at the completion of the work. Drawings are not to be scaled.

4.	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	date	by
3.	REVISED FIN WALLS TO BE 10"	DEC 20/16 SB	date	by
2.	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	date	by
1.	ISSUED FOR CLIENT REVIEW		date	by
10.	description		date	by

ROOF PLAN 'B'
REAR UPG.

Town of Innisfil Certified Model
03/01/2018 1:57:53 PM kgervais



6"x16" STONE IMPOST

PRECAST CONC. HEADER W/
1/2" PROJECTION

BRICK SOLIDER COURSE
W/ 1/2" PROJECTION
(TYP.)

CONT. DBL. PRECAST CONC.
SILL ON BRICK VENEER W/
1/2" PROJECTION (TYP.)

max 6" rise of step into
doorway. (9.9.6.6.(2))

PRECAST CONC. DOOR
SILL & PRECAST CONC.
STEP

REAR ELEVATION 'B' UPGRADE

ASPHALT SHINGLES

VALLEY FLASHING
(TYP)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

ASPHALT SHINGLES
8:12

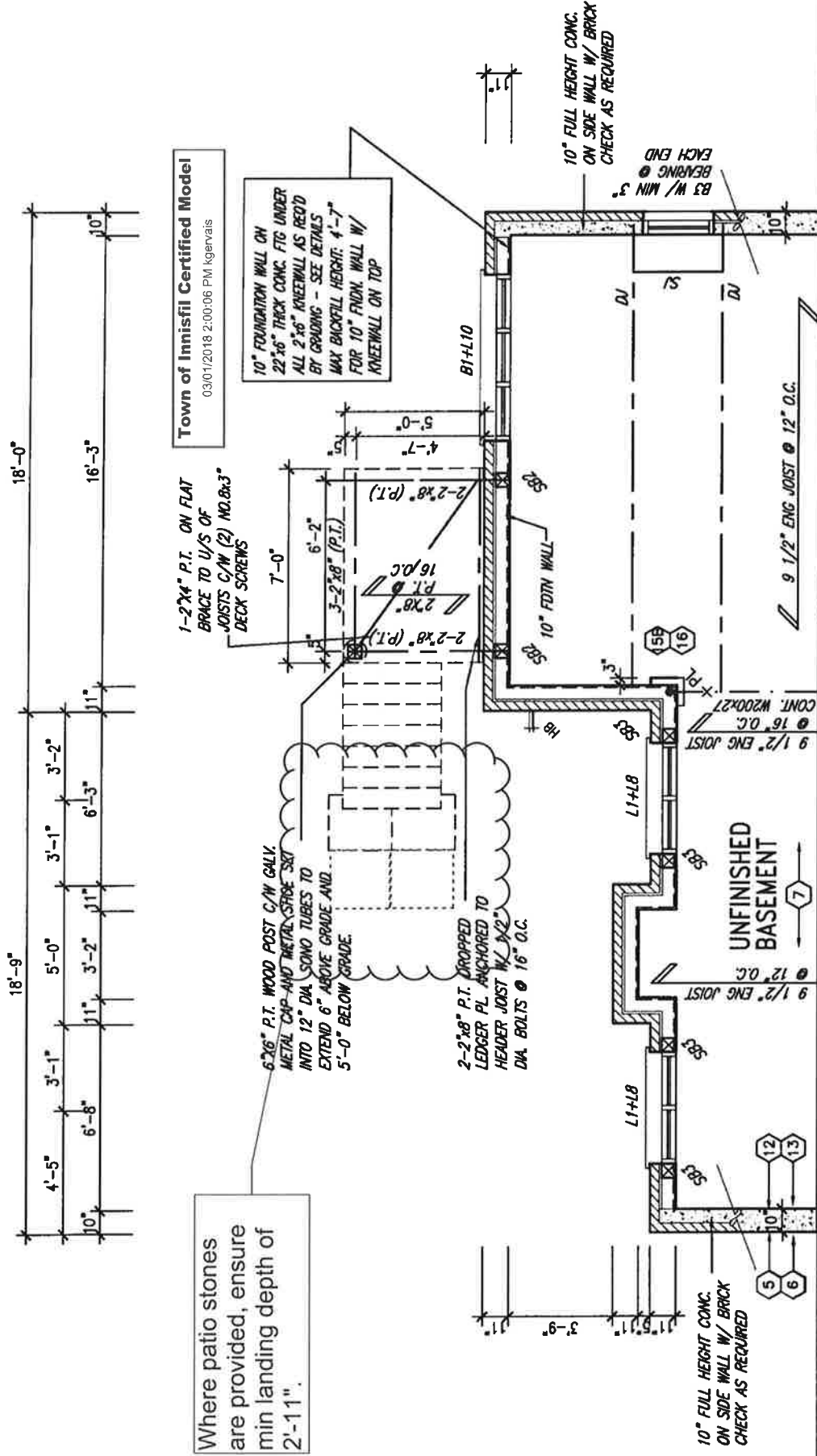
BRICK VENEER (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

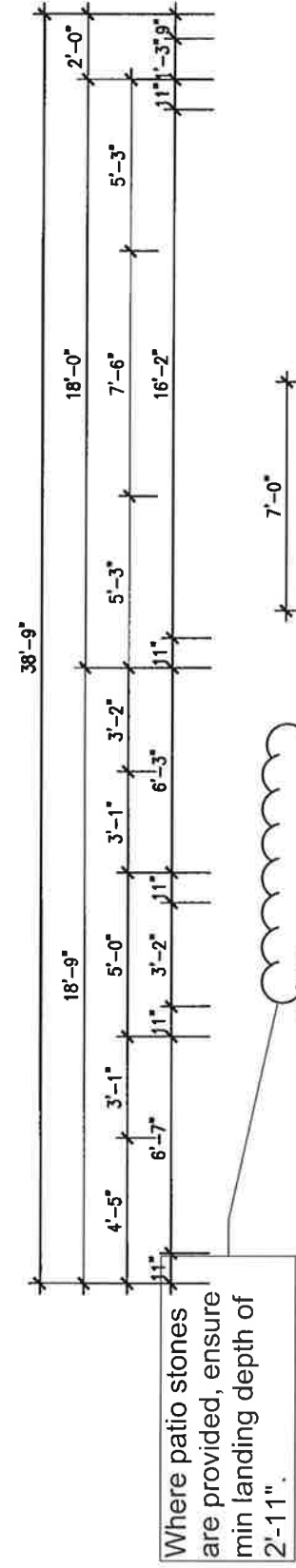


REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

AUG 16, 2017



PARTIAL BASEMENT FLOOR PLAN W.O.D.
9R AND MORE COND.



PARTIAL GROUND FLOOR PLAN W.O.D.
9R AND MORE COND.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
ELEVATION	ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC SB12		ELEVATION	ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC SB12	
		WALL AREA S.F.	OPENING S.F. PERCENTAGE			WALL AREA S.F.	OPENING S.F. PERCENTAGE
FRONT		772 S.F.	147.056 S.F. 19.05 %	FRONT		749 S.F.	169.222 S.F. 22.59 %
LEFT SIDE		1068 S.F.	88.00 S.F. 8.24 %	LEFT SIDE		1082 S.F.	88.00 S.F. 8.13 %
RIGHT SIDE		1075 S.F.	16.667 S.F. 1.55 %	RIGHT SIDE		1083 S.F.	16.667 S.F. 1.54 %
REAR		882 S.F.	229.139 S.F. 25.98 %	REAR		882 S.F.	229.139 S.F. 25.98 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3797.00 S.F.	480.86 S.F.	12.66 %	TOTAL SQ. FT.	3796.00 S.F.	503.03 S.F.	13.25 %
TOTAL SQ. M.	352.75 S.M.	44.67 S.M.	12.66 %	TOTAL SQ. M.	352.66 S.M.	46.73 S.M.	13.25 %

4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	25591
3	REVISED FPN WALLS TO BE 10"	DEC 20/16 SB	42658
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S45-2
HUMMINGBIRD 2

project no. 13049
drawing no. 16
partial floor plan WOD

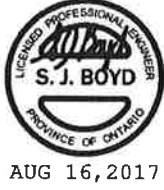
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Officer is not responsible in any way for examining or approving any plans or drawings or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

AUG 17 2017

John G. Williams Limited, Architect

Town of Innisfil Certified Model
03/01/2018 2:01:48 PM kgervais



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Williams Limited, Architect

project no.		13049
drawing no.		17
project name		S45-2 HUMMINGBIRD 2
municipality		INNISFIL, ONTARIO
date		NOV. 2015
checked by		RC
drawn by		RC
scale		3/16" = 1'-0"
title		REAR ELEVATION WOD
project location		13049 S45-2

VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and the construction and meets the requirements set out in the Ontario Building Code to be a designer.		25591	182M
qualification information		Wellington Jno-Baptiste	Architect
registration information		VAS Design Inc.	42558
name		AUG 08-17 RC	182M
4. REVISED AS PER ENG COMMENTS		DEC 20/16 SB	
3. REVISED FDN WALLS TO BE 10"		SEPT 19/16 SB	
2. REVISED INSULATION AT STAIRS			
1. ISSUED FOR CLIENT REVIEW			
no.	description	date	by



REAR ELEVATION 'A & B' WOD
9R AND MORE COND

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
03/01/2018 2:02:05 PM kgervais



AUG 16, 2017

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW APPROVAL
AUG 17 2017
Jana C. Williams, Architect

project no. S45-2		drawing no. 18	
project name BAYVIEW WELLINGTON		drawing title REAR ELEVATION 'A' UPGRADE 9R OR MORE WOD	
municipality ALCONA		scale 3/16" = 1'-0"	
date NOV. 2015		checked by RC	
drawn by RC		date 13049-S45-2	
project location INNISFIL, ONTARIO		project description REAR ELEVATION 'A' UPGRADE 9R OR MORE WOD	
project address 255 Consumers Rd Suite 120		project contact VA3 DESIGN	
project phone 416.630.2255		project email va3design@gmail.com	
project website va3design.com		project notes 1. ISSUED FOR CLIENT REVIEW	
project revision 4 REVISED AS PER ENG COMMENTS		project revision 3 REVISED FIN WALLS TO BE 10"	
project revision 2 REVISED INSULATION AT STAIRS		project revision 1 ISSUED FOR CLIENT REVIEW	
project revision NO. description		project revision date	

PRECAST STONE DETAIL

BRICK SOLIDER HEADER ON
BRICK ROWLOCK SURROUND
W/ 1/2" PROJECTION

BRICK SOLIDER COURSE W/
1/2" PROJECTION (TYP.)

PROVIDE 2"x4" P.T. WOOD
HANDRAIL GUARD W/ 2"x2" P.T.
WOOD PICKETS @ 4" MAX.

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION (TYP.)

6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND METAL
SHOE SET INTO 12" DIA. SONO
TUBES TO EXTEND 6" ABOVE
GRADE AND 4'-0" BELOW
GRADE.

max 6" (150mm) rise
into door. (9.9.6.6.(2))

REAR ELEVATION 'A' UPGRADE 9R OR MORE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ASPHALT SHINGLES

VALLEY FLASHING
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

PRECAST CONC. SILL ON
BRICK SOLIDER COURSE W/
1/2" PROJECTION (TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

ASPHALT SHINGLES
8:12

BRICK VENEER (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN BASEMENT FLOOR

Town of Innisfil Certified Model
03/01/2018 2:02:25 PM kgervais



AUG 16, 2017

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ARCHITECTURAL REVIEW & APPROVAL
JUN 17 2017
John G. Williams Limited, Architect

S45-2
HUMMINGBIRD

BAYVIEW WELLINGTON

project name	project no.	manipulation
ALCONA	13049	INNISFIL, ONTARIO
date	drawing no.	
NOV. 2015	19	
drawn by	checked by	note
		3/16" = 1'-0"
REAR ELEVATION	9R OR MORE WOD	
RD	file name	
13049 - S45-2	13049 - S45-2	
RICHIARD - HVS ARCHITECTS WORKING	13049 - S45-2.dwg	Mon - Aug 14 2017 - 3:45 PM



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptista *Jno-Baptista* 25591 BC08 42558

name registration information VAL3 Design Inc.

Contractor must write all dimensions on the job and report any drawings to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	*	*	*
8	*	*	*
7	*	*	*
6	*	*	*
5	*	*	*
4	REVISED AS PER ENG COMMENTS	AUG 08-17	RC
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW		

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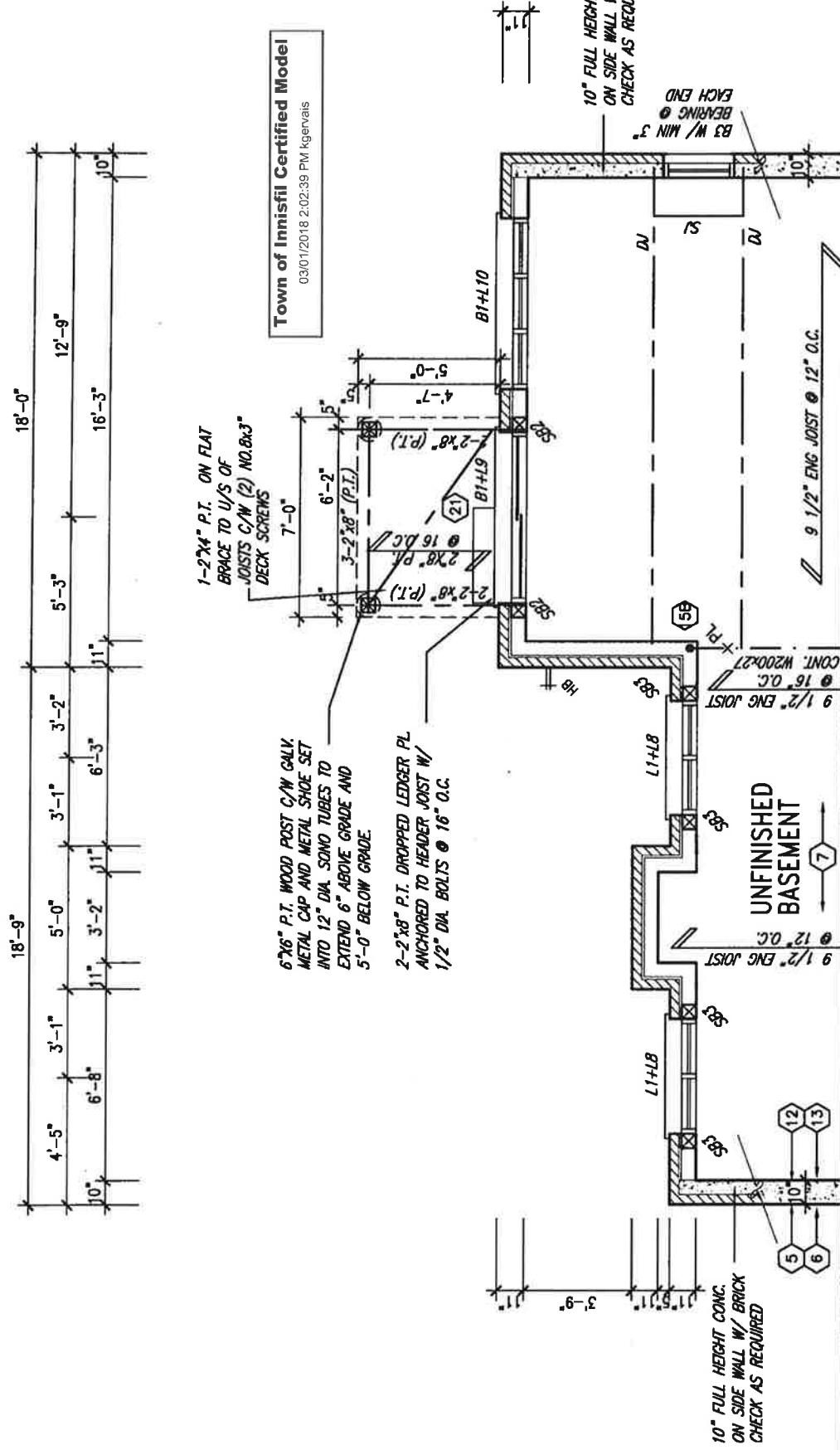


max 6" (150mm) rise
into door. (9.9.6.6.(2))

REAR ELEVATION 'B' UPGRADE 9R OR MORE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

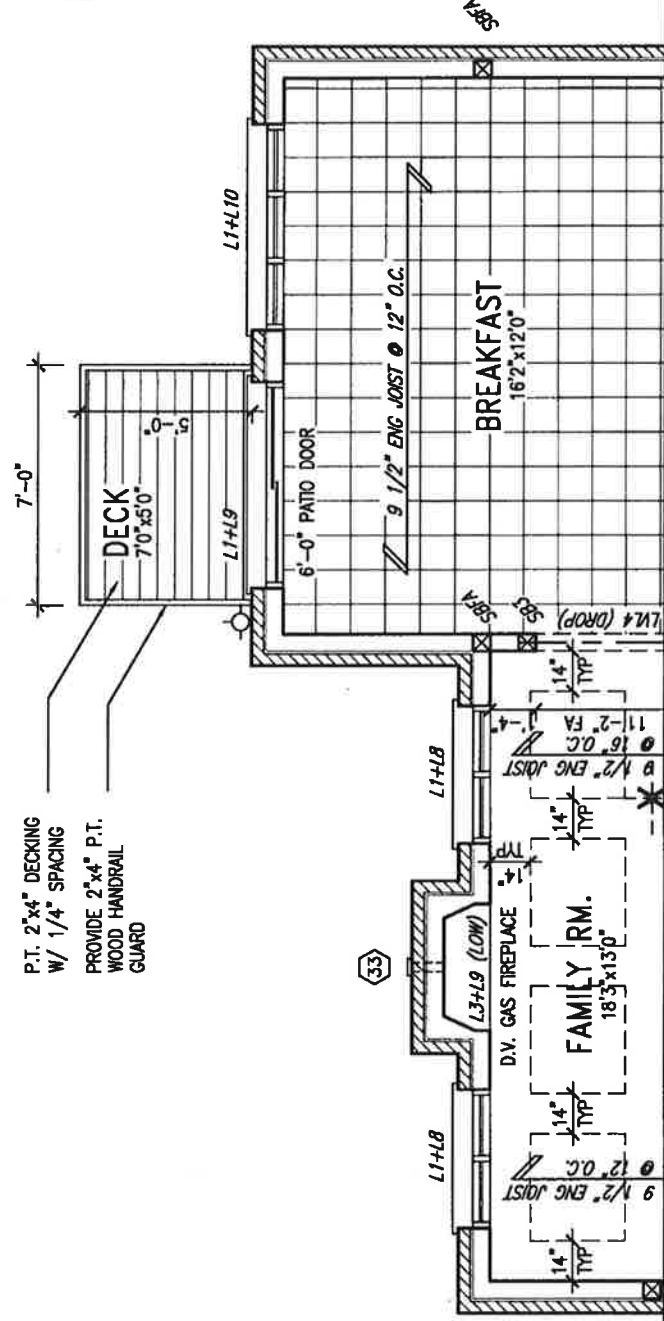


PARTIAL BASEMENT FLOOR PLAN W.O.B.

The builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for existing or approving site (lot) plans or working drawings with respect to any zoning or building code or permit, or that any house can be properly built or located on its lot.



AUG 16, 2017



PARTIAL GROUND FLOOR PLAN W.O.B.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
S45-2 ELEVATION A WOB		ENERGY EFFICIENCY – OBC SB12		S45-2 ELEVATION B WOB		ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT		772 S.F.	147,056 S.F.	19.05 %	FRONT	749 S.F.	169,222 S.F.	22.59 %
LEFT SIDE		1068 S.F.	88.00 S.F.	8.24 %	LEFT SIDE	1082 S.F.	88.00 S.F.	8.13 %
RIGHT SIDE		1075 S.F.	16,667 S.F.	1.55 %	RIGHT SIDE	1083 S.F.	16,667 S.F.	1.54 %
REAR		989 S.F.	289.56 S.F.	29.28 %	REAR	989 S.F.	289.56 S.F.	29.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3904.00 S.F.	541.28 S.F.	13.86 %	TOTAL SQ. FT.	3903.00 S.F.	563.45 S.F.	14.44 %	
TOTAL SQ. M.	362.69 S.M.	50.29 S.M.	13.86 %	TOTAL SQ. M.	362.60 S.M.	52.35 S.M.	14.44 %	

1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED INSULATION AT STAIRS	SEPT 19/18 SB	
3	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB	
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
5	WELLINGTON JNO-BAPTISTE	25591	
6	WELLINGTON JNO-BAPTISTE	25591	
7	WELLINGTON JNO-BAPTISTE	25591	
8	WELLINGTON JNO-BAPTISTE	25591	
9	WELLINGTON JNO-BAPTISTE	25591	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONTARIO
project no.
13049
drawing no.
20
date
NOV. 2015
checked by
RC
drawn by
RC
scale
3/16" = 1'-0"

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF INNISFIL
Signed
Dated
AUG 17 2017
John G. Williams Limited, Architect

Town of Innisfil Certified Model
03/01/2018 2:03:43 PM kgervais



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Williams Limited Architect

project no.		13049	
drawing no.		21	
project name		S45-2 HUMMINGBIRD 2	
municipality		INNISFIL, ONTARIO	
date		NOV. 2015	
checked by		RC	
drawn by		RC	
scale		3/16" = 1'-0"	
title		REAR ELEVATION WOB	
project location		ALCONA	
project address		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	



The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		Wellington Jho-Baptiste	
name		VA3 Design Inc.	
registration information		AUG 08-17 RC 42558	
date		DEC 20/16 SB	
description		REVISED FOR CLIENT REVIEW	
date		SEPT 19/16 SB	
description		REVISED INSULATION AT STAIRS	
date		AUG 08-17 RC	
description		REVISED FOR PER ENG COMMENTS	

no.		description	
1		ISSUED FOR CLIENT REVIEW	
2		REVISED INSULATION AT STAIRS	
3		REVISED FOR PER ENG COMMENTS	
4		REVISED FOR WALLS TO BE 10"	
5		REVISED FOR CLIENT REVIEW	
6		REVISED FOR CLIENT REVIEW	
7		REVISED FOR CLIENT REVIEW	
8		REVISED FOR CLIENT REVIEW	
9		REVISED FOR CLIENT REVIEW	

BRICK SOLIDER COURSE
W/ 1/2" PROJECTION

CONC. SILL (TYP)

BRICK VENER (TYP.)

PROVIDE 2"x4" P.T. WOOD
HANDRAIL GUARD W/ 2"x2"
P.T. WOOD PICKETS @ 4"
MAX.

6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 4'-0" BELOW GRADE.

max 6"
(150mm) rise
into door.
(9.9.6.6.(2))

REAR ELEVATION 'A & B' WOB

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
03/01/2018 2:03:48 PM kgervais



AUG 16, 2017

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ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
John G. Williams Limited, Architect

project name		project no.	
BAYVIEW WELLINGTON		S45-2	
ALCONA		HUMMINGBIRD 2	
date		drawing no.	
NOV. 2015		13049	
checked by		drawing no.	
RC		22	
scale		file name	
3/16" = 1'-0"		13049-S45-2	
REAR ELEVATION 'A' UPGRADE WALK OUT BASEMENT			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T: 416.630.2255 F: 416.630.4782
va3design.com

The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
VA3 Design Inc. 42658
registration information
AUG 08-17 RC
DEC 20/16 SB
SEPT 19/16 SB
Contractor must verify all dimensions on the job and report any discrepancies to the Designer prior to proceeding with the work. If drawings and specifications are not returned to the Designer at the completion of the work, drawings are not to be scaled.

no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 08-17 RC	
3	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		

PRECAST STONE DETAIL

BRICK SOLIDER HEADER ON
BRICK ROWLOCK SURROUND
W/ 1/2" PROJECTION

BRICK SOLIDER COURSE W/
1/2" PROJECTION (TYP.)

PROVIDE 2"x4" P.T. WOOD
HANDRAIL GUARD W/ 2"x2" P.T.
WOOD PICKETS @ 4" MAX.

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION (TYP.)

6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 4'-0" BELOW GRADE.

max 6"
(150mm) rise
into door.
(9.9.6.6.(2))



ASPHALT SHINGLES

VALLEY FLASHING
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

PRECAST CONC. SILL ON
BRICK SOLIDER COURSE W/
1/2" PROJECTION (TYP.)

PREFIN. MTL. FLASHING,
W/ CAULKING TO MATCH
(TYP.)

ASPHALT SHINGLES
8:12

BRICK VENEER (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

REAR ELEVATION 'A' UPGRADE WOB

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
03/01/2018 2:04:22 PM kgervais



AUG 16, 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 17 2017
JOHN G. WILLIAMS Limited, Architect

BAYVIEW WELLINGTON		S45-2	HUMMINGBIRD 2
project name	ALCONA	project no.	13049
date	NOV. 2015	drawing no.	23
created by	RC	scale	3/16" = 1'-0"
checked by	RC	file name	13049-S45-2
drawn by	RC	date	Aug 14 2017 - 3:48 PM
REAR ELEVATION 'B' UPGRADE WALK OUT BASEMENT			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

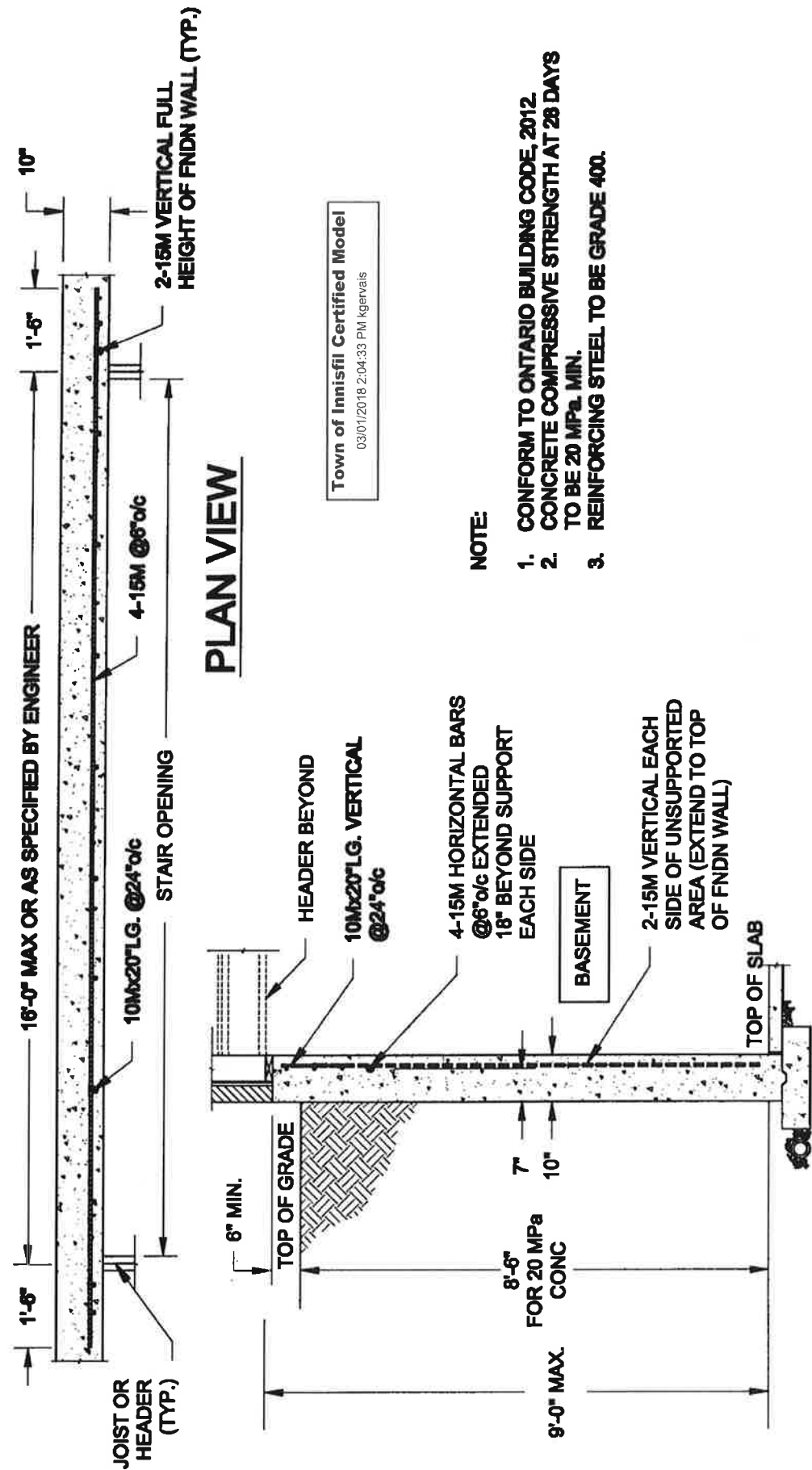
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN
certification information		25591	BCN
name		Wallingford Jno-Baptista	42658
registration information		25591	BCN
name		VA3 Design Inc.	42658
revision		AUG 08-17 RC	42658
4. REVISED AS PER ENG COMMENTS		DEC 20/16 SB	42658
3. REVISED FIN WALLS TO BE 10"		SEPT 19/16 SB	42658
2. REVISED INSULATION AT STAIRS			
1. ISSUED FOR CLIENT REVIEW			
no.	description	date	by



max 6"
(150mm) rise
into door.
(9.9.6.6.(2))

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

REAR ELEVATION 'B' UPGRADE WOB



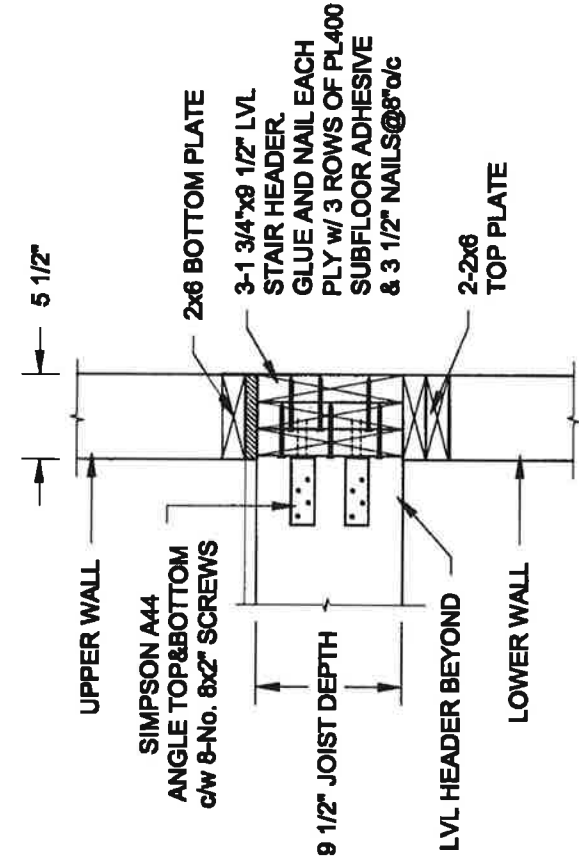
Town of Innisfil Certified Model
03/01/2018 2:04:33 PM kgervais

NOTE:

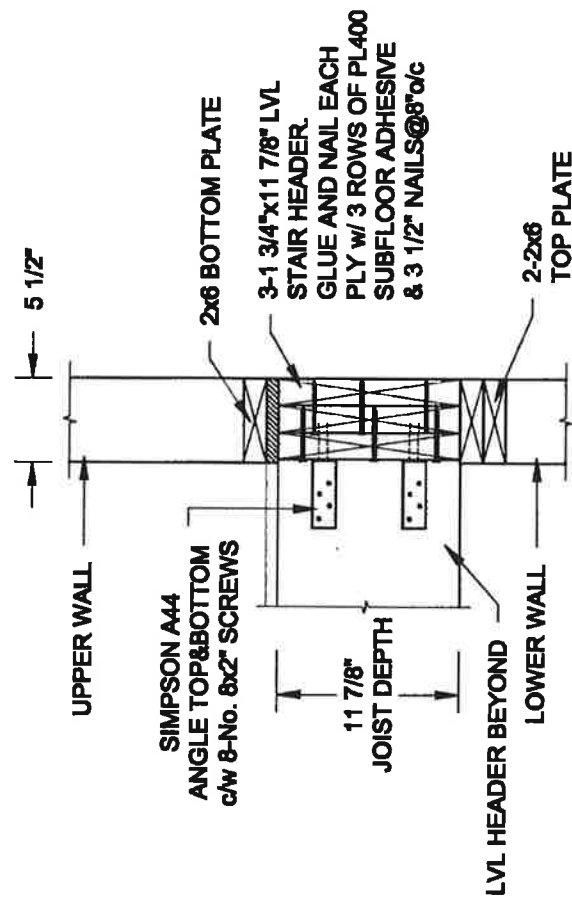
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



2 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

QUAILE ENGINEERING LTD.

38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-863-8547
E: quaile.engineers.com

Scale: AS NOTED

Date: JUL-31-2017

Drawn: SC

Checked: SJB

Engineer's Seal:

S. J. BOYD

AUG 10, 2017

Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

Project No.: 16-083

Drawing No.: S1



- FOR 11 7/8" JOIST DEPTH**

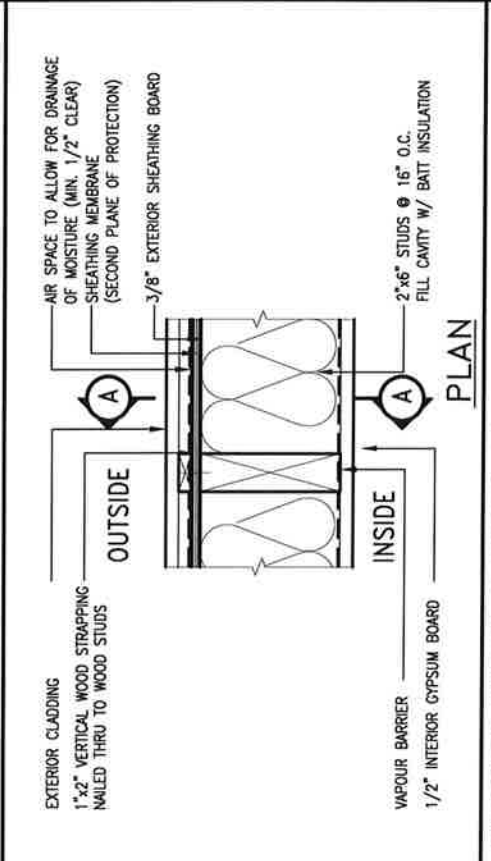


-

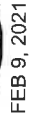
**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Paradise Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile_eng@rogers.com	Engineer's Seal:  Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT NEWSPFL, ONTARIO TYPICAL STRUCTURAL DETAILS FOR SINGLES	Project No.: 16-063	Drawing No.: S2
Date: JUL-01-2017					
Drawn: SC	Checked: SLB				

[illegible]

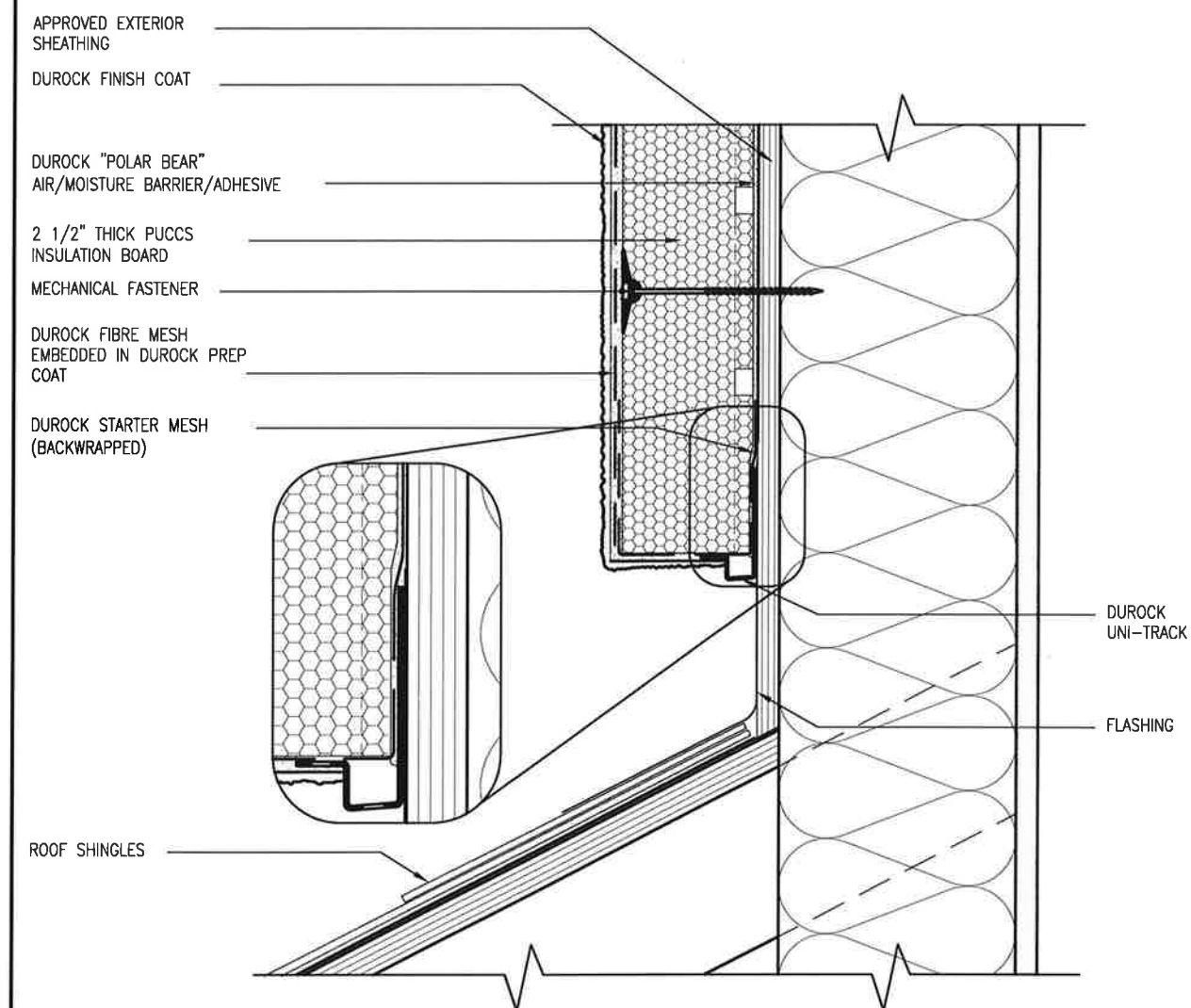
2"x6" @ 16" O.C. - 12'-6"	MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:	FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2"x6" @ 12" O.C. - 13'-10"	2"x8" @ 16" O.C. - 16'-0"	SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
2-2"x6" @ 16" O.C. - 15'-0"	2"x8" @ 12" O.C. - 17'-9"	PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
2-2"x6" @ 12" O.C. - 17'-4"	2-2"x8" @ 16" O.C. - 20'-4"	PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
	2-2-2"x8" @ 12" O.C. - 22'-4"	EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm
		(1/2") GYPSUM BOARD ON THE INTERIOR FACE.
		WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1.(2)
		FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
		STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
		THIS SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.



VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

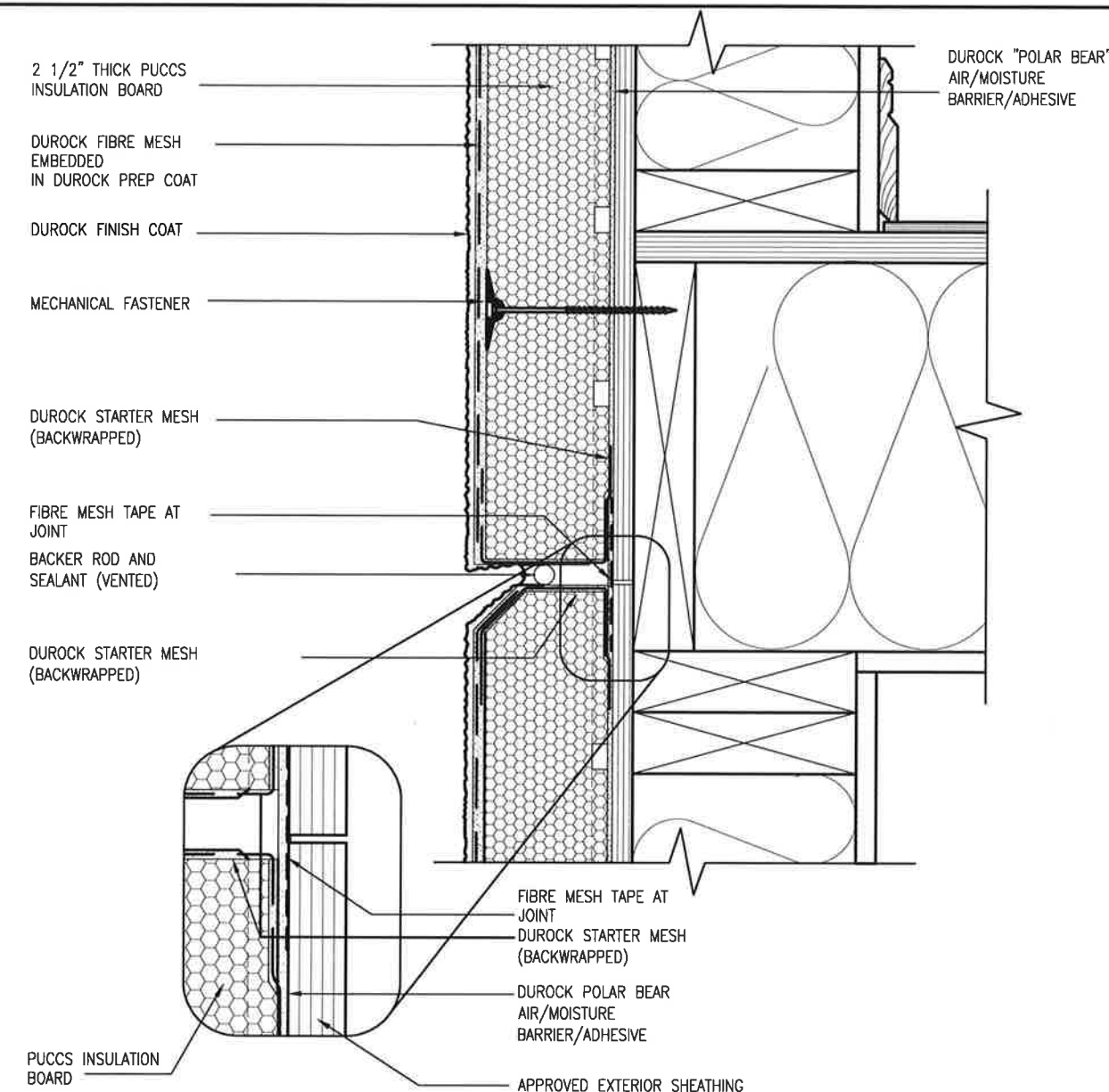
BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawn by RC	drawing no. CN2
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	

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3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9.	-	-	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. qualification information Wellington Jro-Baptiste 25591  <i>signature</i> name registration information VAS Design Inc. BCN 42658
8.	-	-	-	-	-	
7.	-	-	-	-	-	
6.	-	-	-	-	-	
5.	-	-	-	-	-	
4.	-	-	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3.	-	-	-	-	-	
2.	UPDATE TO OBC VER 2020	FEB 09-21	RC	-	-	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	-	-	
no.	description	date	by			



APPROVED EXTERIOR SHEATHING

DuROCK "POLAR BEAR" AIR/MOISTURE BARRIER

PUCCS INSULATION BOARD

MECHANICAL FASTENER

DuROCK FINISH COAT

DuROCK FIBER MESH EMBEDDED IN DuROCK PREP COAT

DuROCK STARTER MESH (BACKWRAPPED)

TRANSITION MEMBRANE. EXTEND MEMBRANE 6" ABOVE AND BELOW SILL. ENSURE TRANSITION MEMBRANE IS OVER BUILDING PAPER

BACKER ROD AND SEALANT (VENTED)

FLASHING

PRECAST SILL ON GROUT

WEPPHOLES @ 32"(800) O.C.

BUILDING PAPER

6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	qualification information	
7	-		
6	-	Wellington Jno-Baptiste <i>Jno-Baptiste</i> 25591	
5	-	name	
4	-	professional information	
3	-	VAS Design Inc. BCIN 42658	
2	UPDTE TO QRC VER 2020	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of VAS Design Inc. and shall be returned at the completion of the work. Drawings not to be used for any other purpose.	DATE
1	ISSUE FOR CLIENT REVIEW		DATE

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.vas3design.com

BAYVIEW WELLINGTON

CONST NOTE

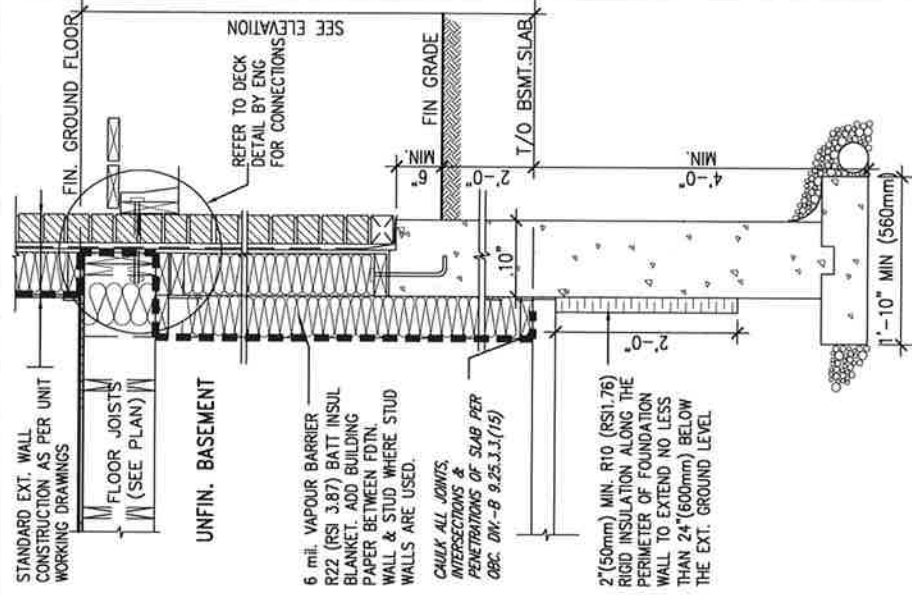
project name	ALCONA	project no.	13049
date	MAY 2016	drawing no.	CN5
drawn by	RC	checked by	-
scale	3/16" = 1'-0"	CONSTRUCTION NOTES	13049-CN-A1 VER 2020

reelocating.com

RIC-440 - H:\ARCHIVE\WORKING\2013\13049-EN\13049-EN-A1_VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

9		*		The undersigned has reviewed and takes responsibility for this design and its compliance with the requirements set out in the Ontario Building Code to be a Designer.
8		*		qualification information
7		*		Weilington Ino-Baptiste
6		*		name
5		*		BCN
4		*		registration information
3		*		VAS Design Inc.
2	UPDATE TO CBC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions are to be taken from the instrument of service and the property of this Designer which must be returned at completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	DRAWINGS ARE NOT TO BE SCALED.
no.	description	date	by	

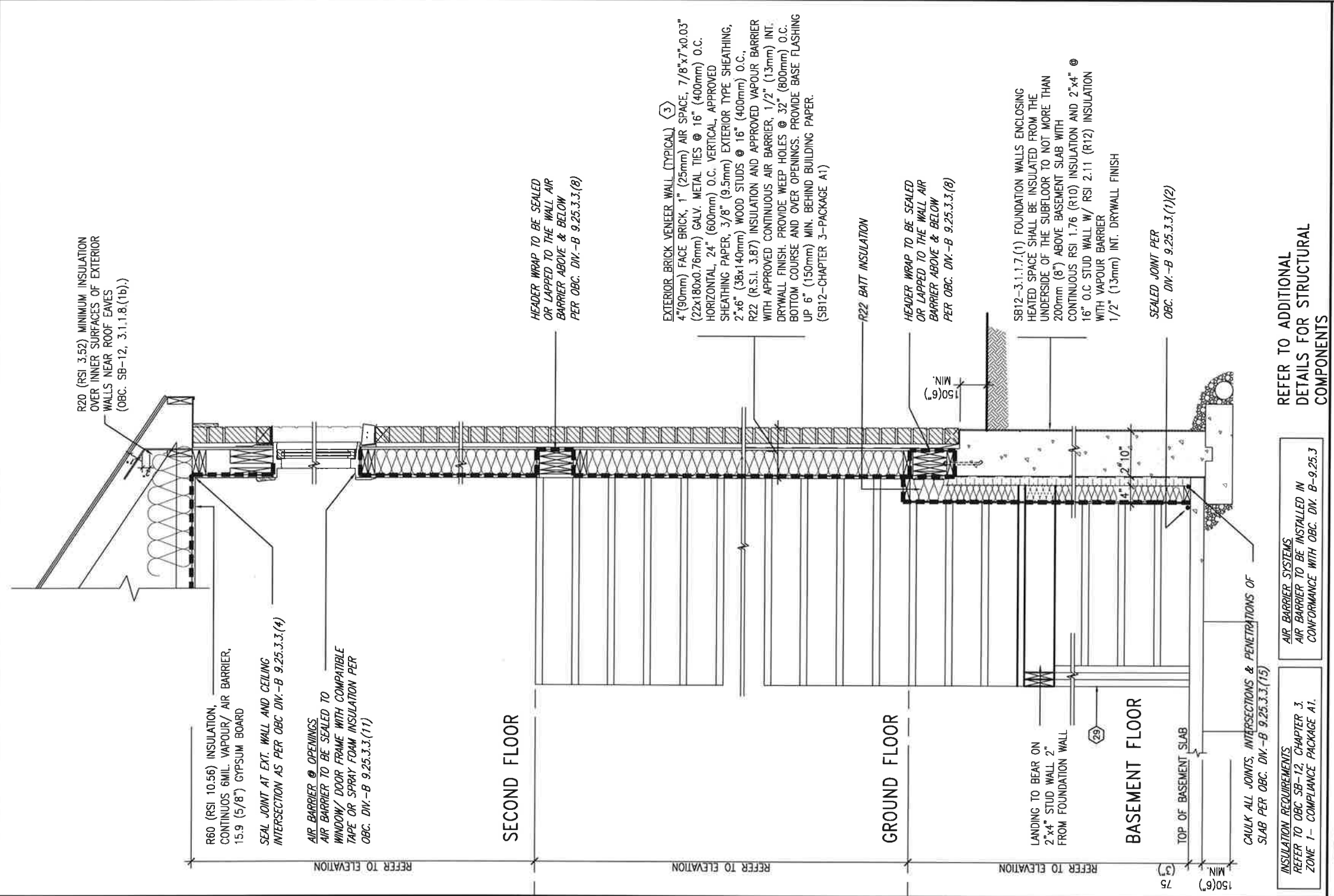
VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

The undersigned has reviewed and takes responsibility for this design and the information provided and accepts the requirements set out in the drawings and specifications. The undersigned certifies that the design is the original work of the undersigned or that the undersigned is duly authorized to execute the design on behalf of the undersigned. Signature: <i>[Signature]</i> Date: <i>[Date]</i>	25591 804 42658
qualification information Williamston Jno-Baptiste	contract registration information VAS Design Inc.

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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISSILLON.
project no.	13049	drawing no.	CN6
date		CONSTRUCTION NOTES	
drawn by	MAY 2016	checked by	scale
RC			3/16" = 1'-0"
file name		13049-CN-A1 VER 2020	

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1— COMPLIANCE PACKAGE A1.

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

VA3
DESIGN
1255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4787
va3design.com

project name	ALCONA	date	MAY 2016	checked by	scale	3/16" = 1'-0"
drawn by	RC					
project number		INNIISFLO		CON		
BAYVIEW WELLINGTON						

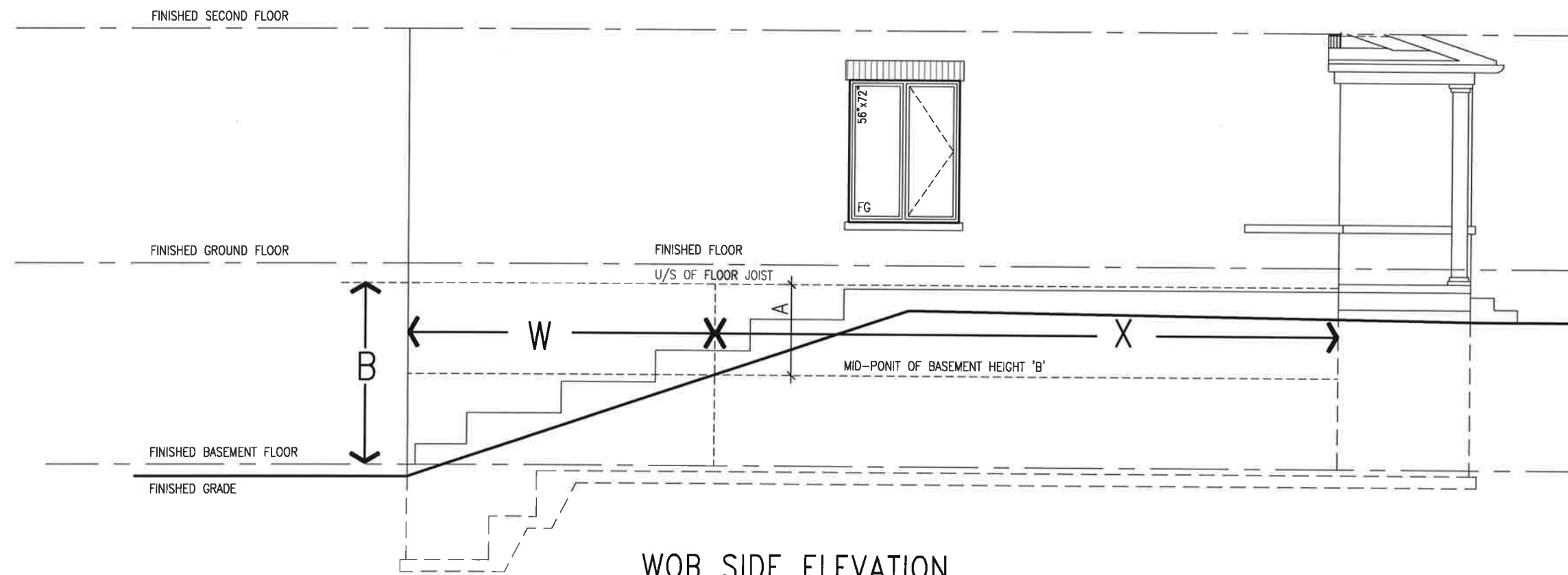
COMPLIANCE TO CBC SB-12 2.1.1.1 (11)

W X X



FEB 9, 2021

WOB PLAN



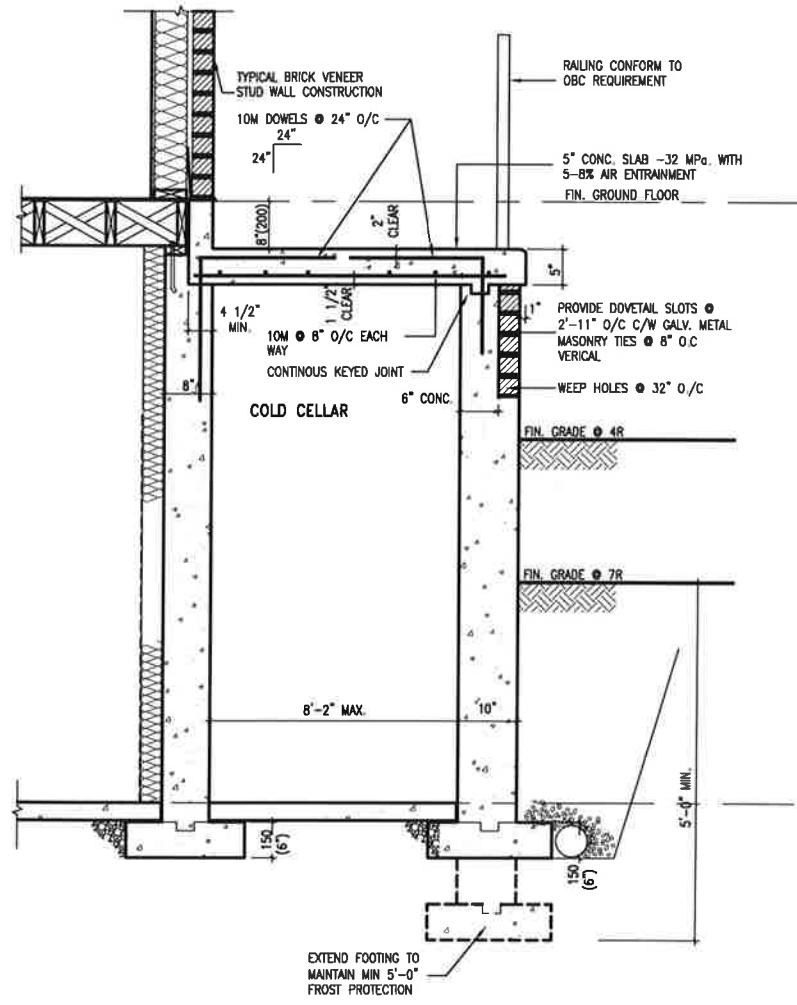
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

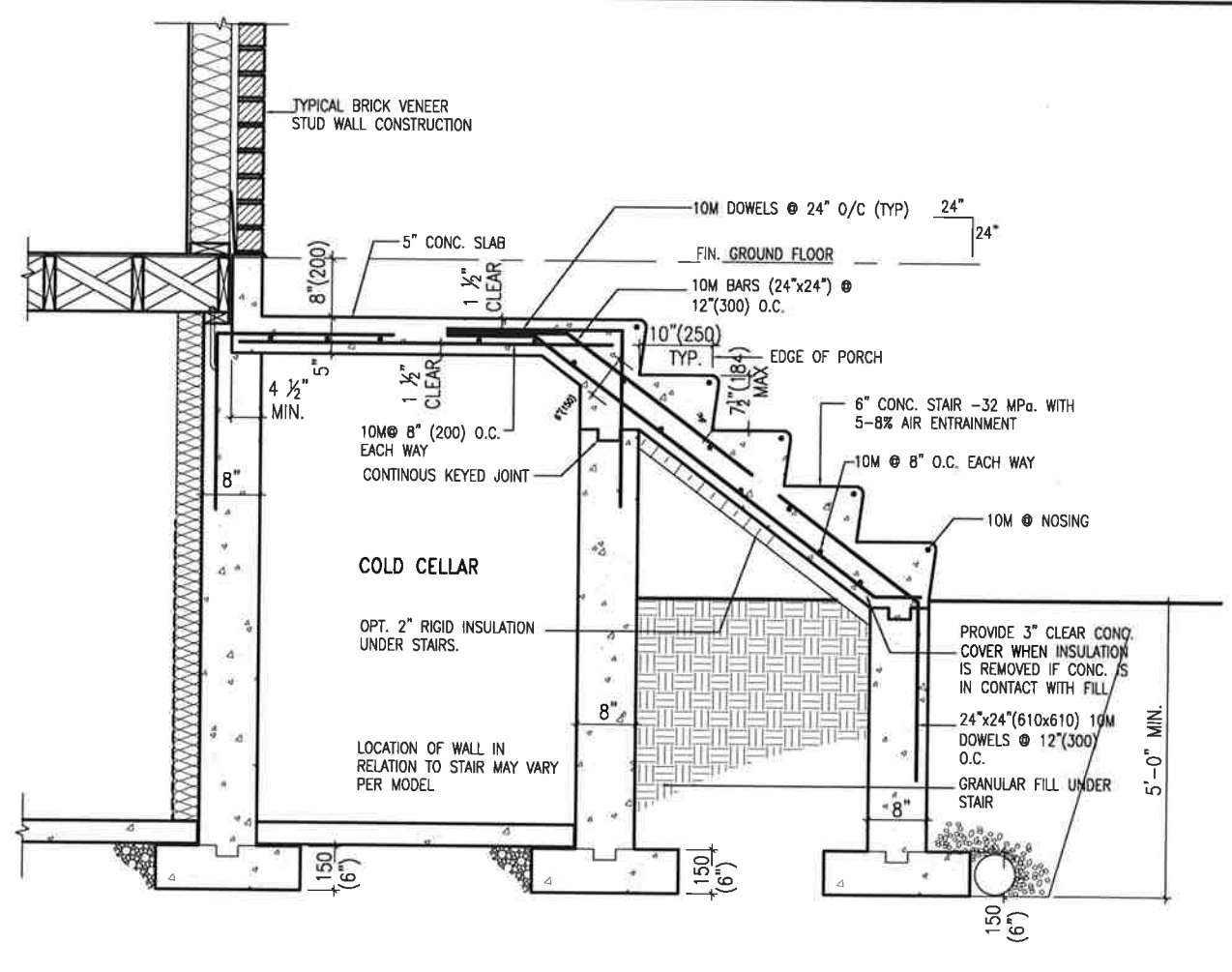
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FEB 9, 2021

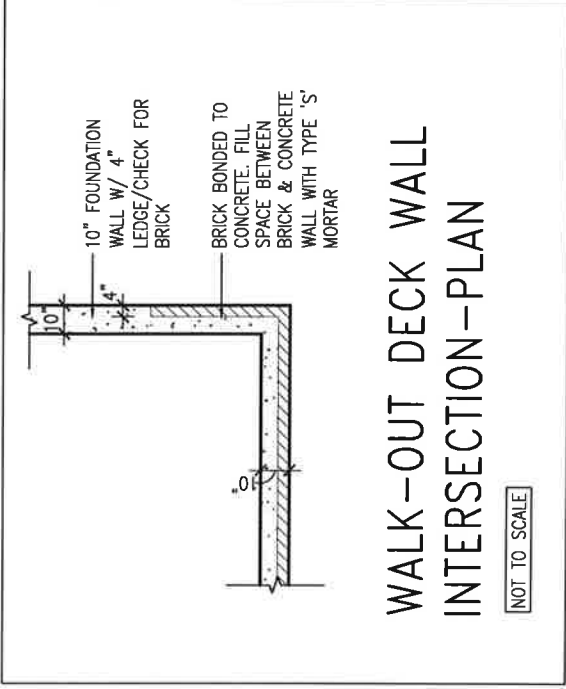


X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

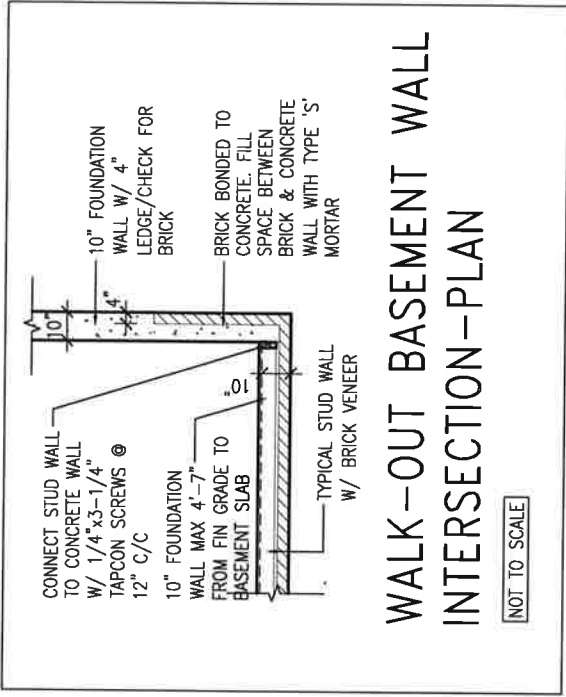
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WALK-OUT DECK WALL INTERSECTION-ELEVATION

NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE

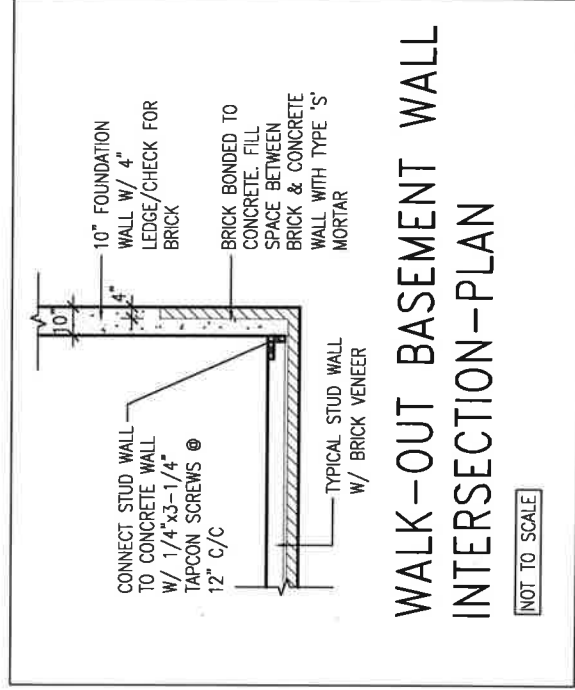


9	*		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*		
7	*		qualification information
6	*		Welling Jho-Baptiste
5	*		25591
4	*		name registration information
3	*		VAS Design Inc.
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no. description	date	by	

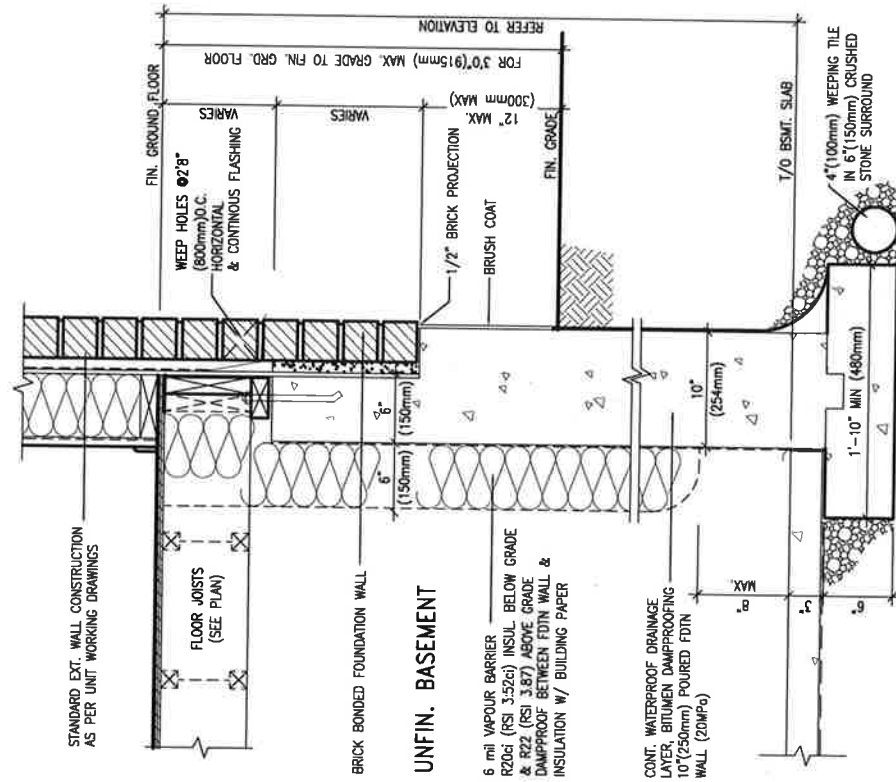
VA3 DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	CN10
date MAY 2016	CONSTRUCTION NOTES		
drawn by RC	checked by —	scale 3/16" = 1'-0"	
		file name 13049-CN-A1 VER 2020	

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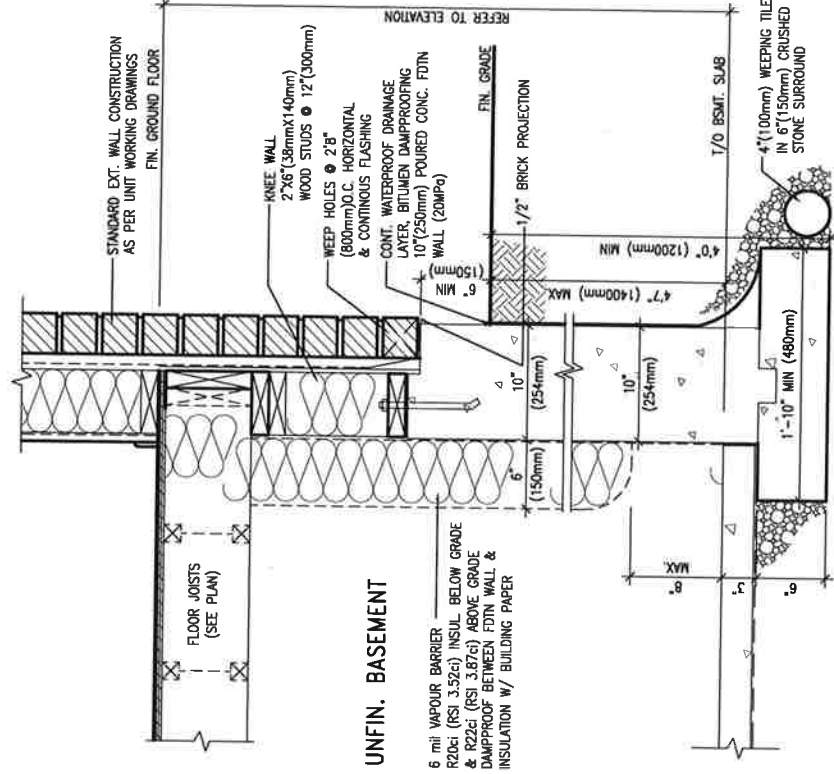
(10" FOUNDATION WALL)



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE



FEB 9. 2021

		The undersigned has reviewed and takes responsibility for this design	
9 *	*	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8 *	*	qualification information	
7 *	*		
6 *	*		
5 *	*	Wellington Jno-Baptiste	25591
4 *	*	name	
3 *	*	registration information	BORN
		VAS Design Inc.	Signtype
			42858
2 UPDATE TO OBC VER 2020	FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Discrepancies noted _____ date by	
1 ISSUE FOR CLIENT REVIEW	AUG 04-17 RC		
no. /description			

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. CN111
date MAY 2016	checked by RC	CONSTRUCTION NOTES	
drawn by	scale 3/16" = 1'-0"	file name 13049-CN-A1	ver 2020

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