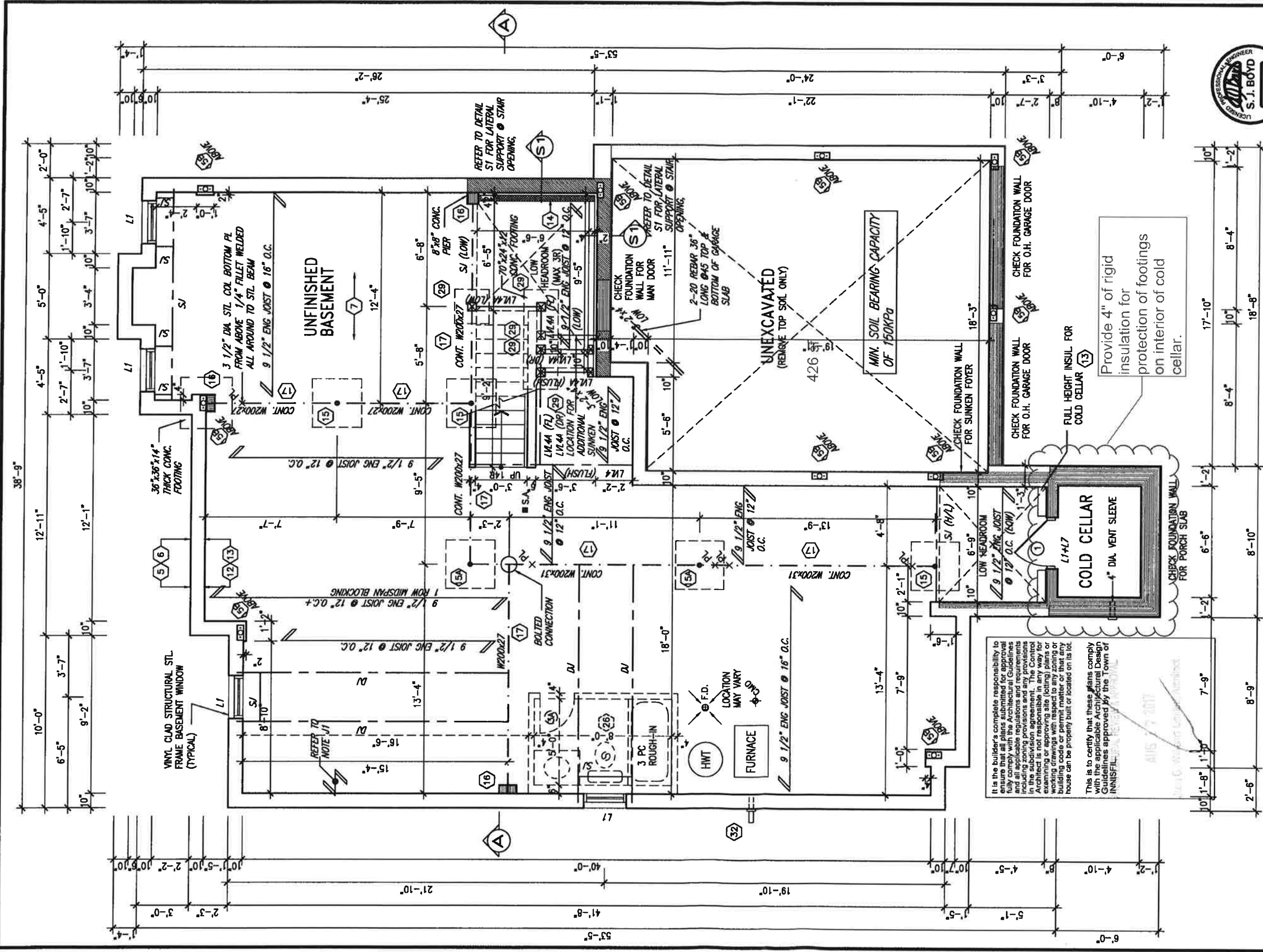




NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

AUG 7 1977

John C. Waldorf, London, Ontario

7'-9"

9-6

FLOOR FRAMING INFO

ALL TRUSS-JOIST INFORMATION AND DETAILS.

SS OTHERWISE NOTED.	TE J1: PROVIDE SOLID BLOCKING
---------------------	-------------------------------

1/4 U.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

[illegible][illegible]

SEP 19/16	SB	Contractor must verify all dimensions to the Designer before drawings and specifications are of the Designer which must be
-----------	----	--

quote	by	drawings are not to be scaled
-------	----	-------------------------------

BASEMENT FLOOR PLAN 'A'

AREA CHART ON PAGE 4

AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 8:58:00 AM kgervais

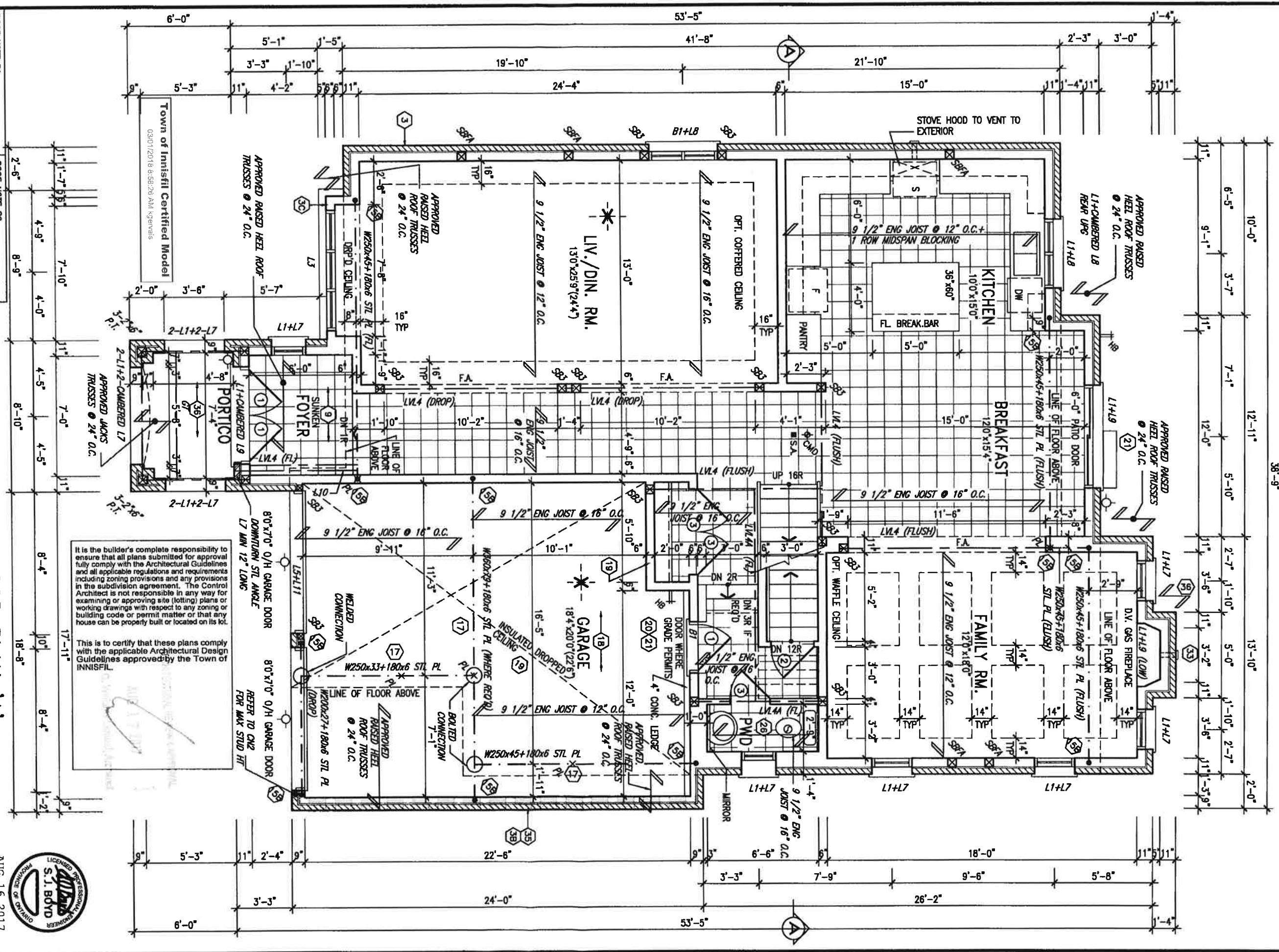


9	*	*	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*	*	wellington information
7	*	*	Wellington Info-Boplate
6	*	*	25591
5	*	*	name
4	*	*	agency's
3	*	*	BCN
2	DEC 20/16	A/E	42658
1	SEPT 19/16	S/B	
no	description	date	by

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	S45-1
ALCONA	HUMMINGBIRD 1
project name ALCONA	municipality INNISFIL, ONTARIO
date NOV. 2015	project no. 13049
drawn by RC	drawing no. 1
checked by	title BASEMENT FLOOR PLAN "A"
scale 3/16" = 1'-0"	file name 13049-S45-1
RICHARD - IN ARCHIVE WORKING 2013\13049.BW\UNITS\45\13049-S45-1.dwg - Mon - Aug 14 2017 - 3:46 PM	

All drawings, specifications, technical documents and design are the copyrighted property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.



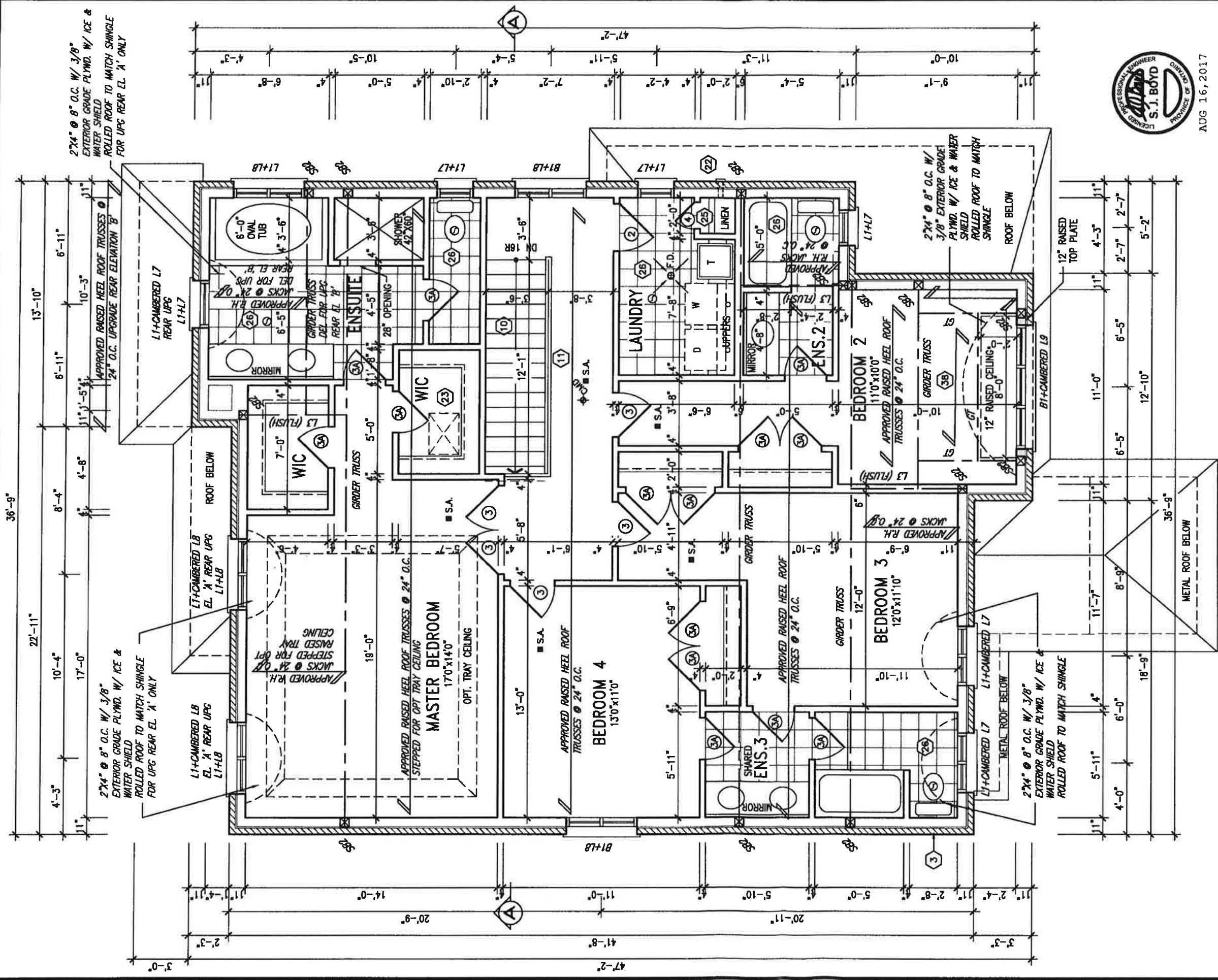
GROUND FLOOR PLAN 'A'

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

**NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.**

INDICATES REDUCED SIDE YARD

DESIGN		BAYVIEW WELLINGTON		S45-1	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.830.2255 f 416.830.4782 vcdesign.com		INNISFIL, ONTARIO		HUMMINGBIRD 1	
PROJECT NO. ALCONA		designed by NOV, 2015		checked by 5/16" = 1'-0"	
drawn by NOV, 2015		scale 1/32" = 1'-0"		the owner 13049	
REVISIONS		REVISIONS		REVISIONS	
1 ISSUED FOR CLIENT REVIEW		2		3	
2 REVISIONS TO 10' FOUNDATION WALLS		3		4	
3 REVISIONS INSULATION AT STAIRS		4		5	
4 ISSUED FOR CLIENT REVIEW		5		6	
5		6		7	
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98		99		100	



AUG 16, 2017



- STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**
- REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO DBC. 9.5.2.3, 3.8.3.8.(3)(c), 3.8.3.8.(3)(c), 3.8.3.13.(2)(i) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

Town of Innisfil Certified Model
03/01/2018 9:03:04 AM kgervais

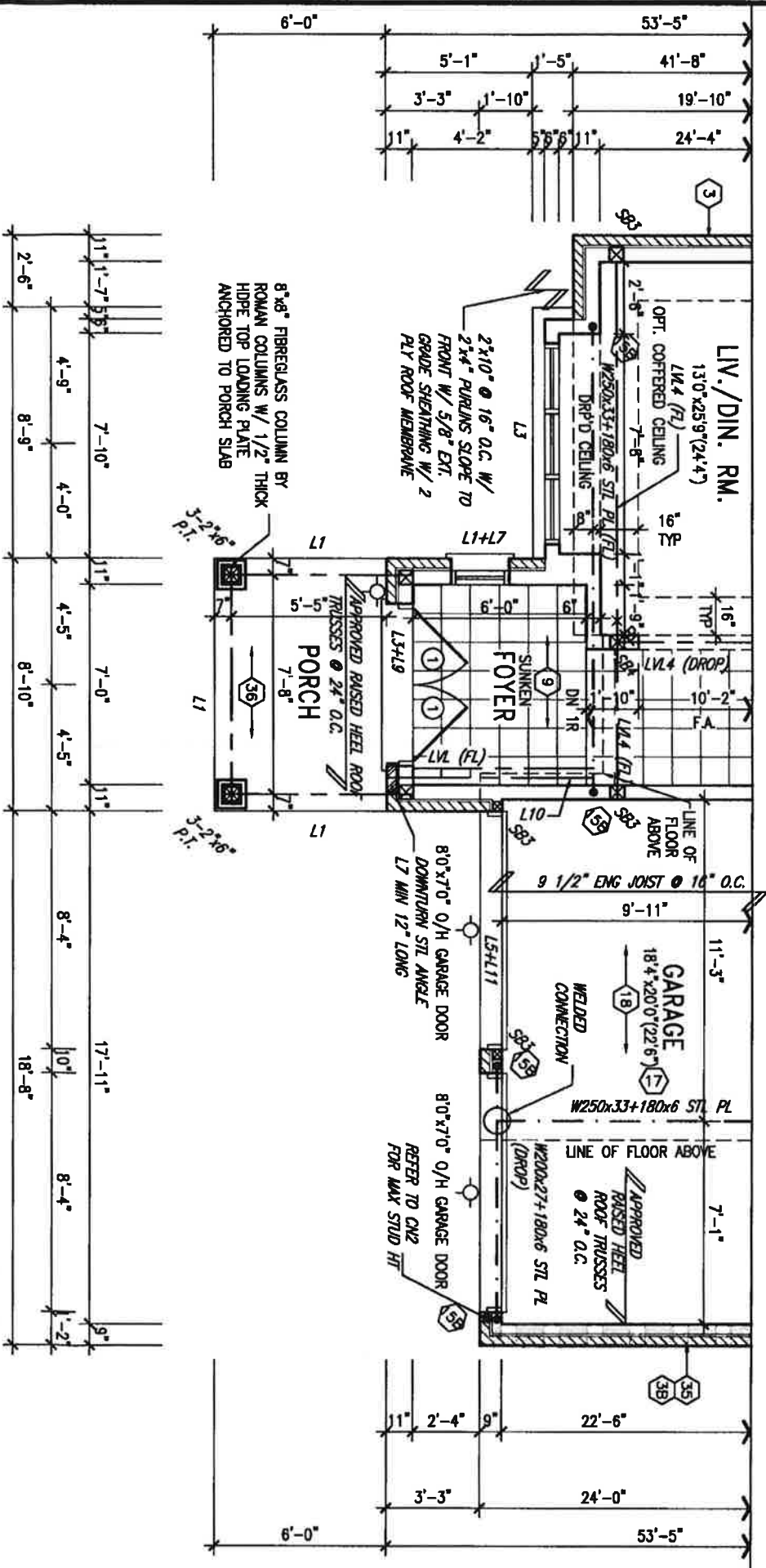
SECOND FLOOR PLAN 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings or approving site (lotting) plans or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

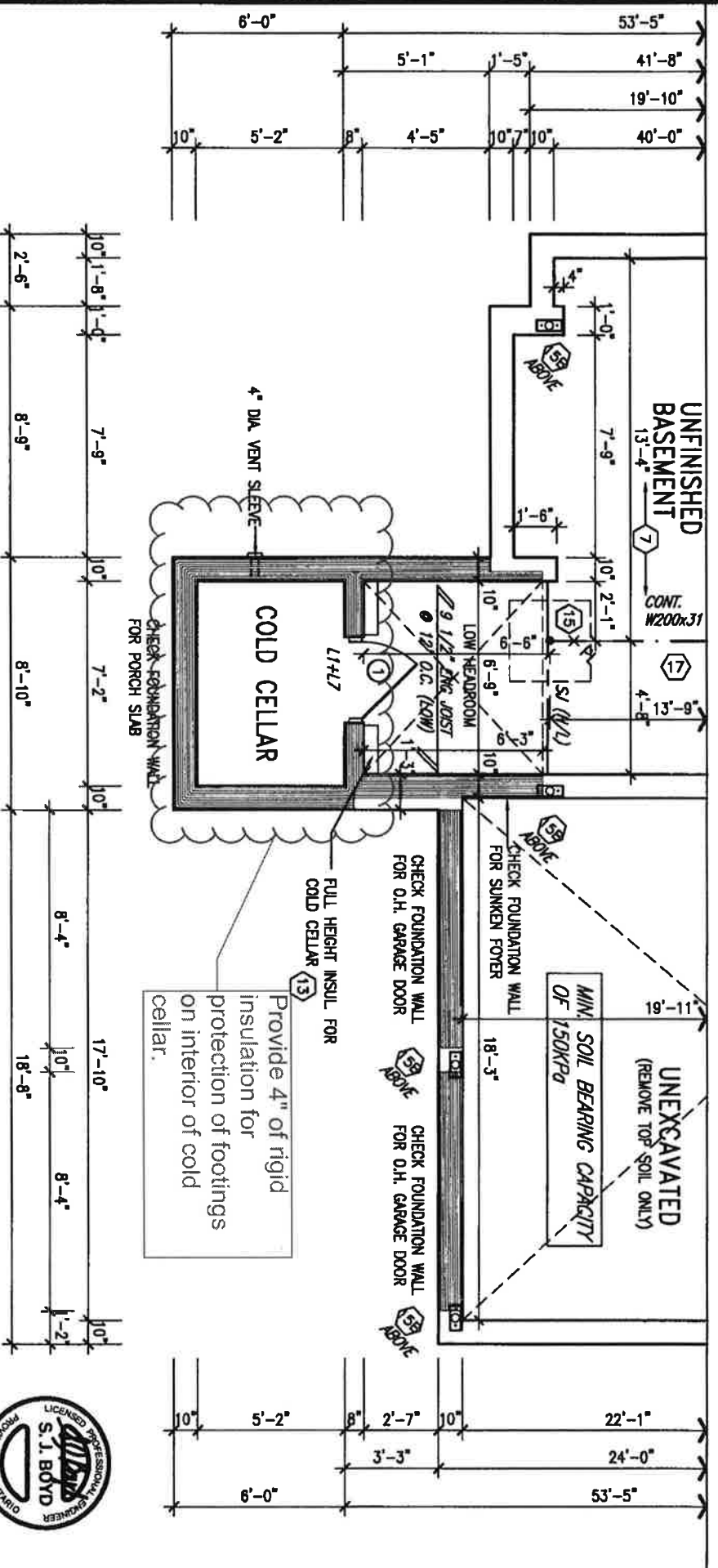
BAYVIEW WELLINGTON		S45-1 HUMMINGBIRD 1	
project name	ALCONA	project no.	13049
city	INNISFIL, ONTARIO	drawing no.	13049-S45-1
date	NOV. 2015	scale	3/16" = 1'-0"
drawn by	RC	checked by	RC
255 Consumers Rd Suite 120 Toronto ON M2J 1H4 t 416.630.2255 f 416.630.4782 va3design.com		SECOND FLOOR PLAN 'A'	
VA3 DESIGN		the name 13049-S45-1	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		RICHARD - H.V. ARCHITECT WORKING 2013.1.13049 B/W UNITS 45-1 13049-S45-1 dwg. Mon - Aug 14, 2017 - 3:46 PM	
Wellington Jno-Baptiste		signature	
25591		signature	
name		signature	
registration information		signature	
VA3 Design Inc.		signature	
42658		signature	
DEC 20/16 A/E		signature	
SEPT 19/16 SB		signature	
3 REVISED TO 10' FOUNDATION WALLS		signature	
2 REVISED INSULATION AT STAIRS		signature	
1 ISSUED FOR CLIENT REVIEW		signature	
description		signature	
date		signature	

ARCHITECTURAL DESIGN SUBMITTAL
AUG 17 2017
PROJECT: WALKER CENTER FOR THE ARTS ARCHITECT

<u>AREA CALCULATIONS</u>	
GROUND FLOOR AREA	<u>ELEV. A</u>
SECOND FLOOR AREA	1372 SF
	1569 SF
SUBTOTAL	
DEDUCT ALL OPEN AREAS	2941 SF
	XX SF
TOTAL NET AREA	2941 SF
	(273.22 m ²)
FINISHED BSMT AREA	
	XX SF
COVERAGE	
W/OUT PORCH	1812 SF
	(168.34 m ²)
COVERAGE	1865 SF
W/ PORCH	1865 SF
	(173.26 m ²)
	<u>ELEV. B</u>
	1372 SF
	1564 SF
	2936 SF
	XX SF
	2936 SF
	(272.76 m ²)



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT FLOOR PLAN 'B'

AUG 16, 2017



INDICATES REDUCED SIDE YARD

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE #1: PROVIDE SOL.
 @ 24" O.C. WHERE FLOOR
 PARALLEL TO FOUNDATION

no.	description	date	by
9.		*	
8.		*	
7.		*	
6.		*	
5.		*	
4.		*	
3.	RENSED TO 10" FOUNDATION WALLS	DEC 20/16	AAE
2.	ISSUED INSULATION AT STAIRS	SEPT 19/16	S8
1.	ISSUED FOR CLIENT REVIEW	*	

[illegible]

VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4982
vabdesign.com

project name	
ALCONA	
date	
NOV. 2015	
drawn by	
RC	
RICHARD - P	

BAYVIEW WELLINGTON

marked

INNISFIL, ONTARIO

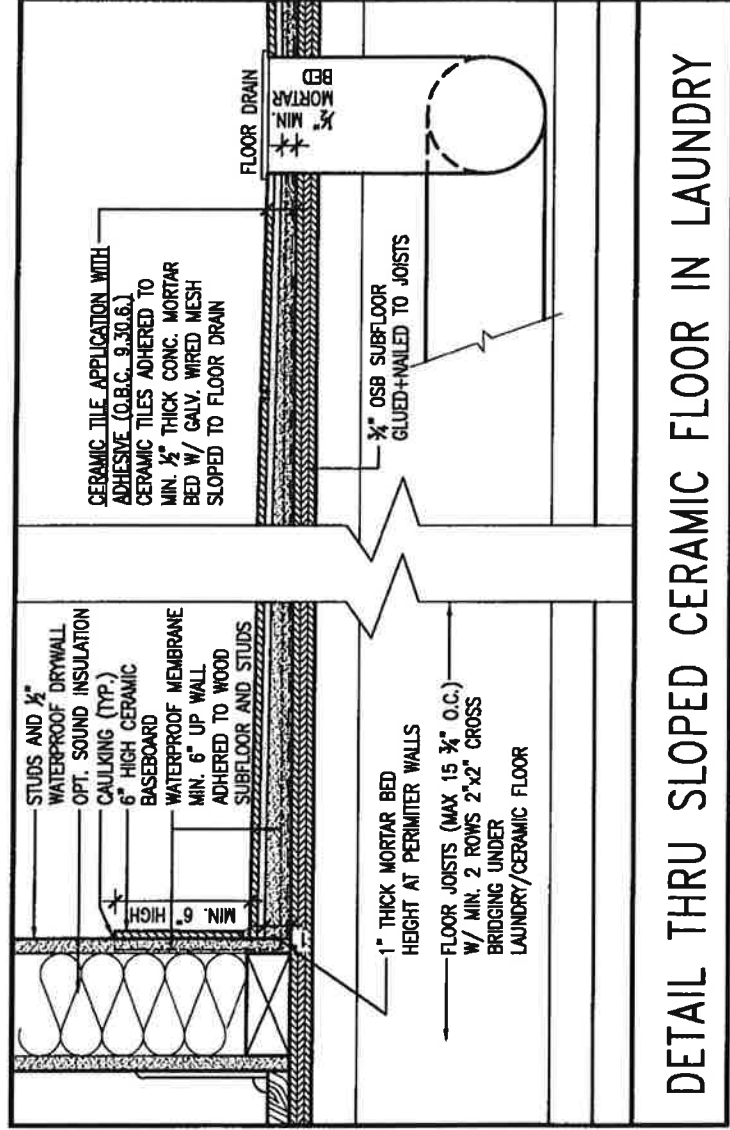
checked by _____

scale

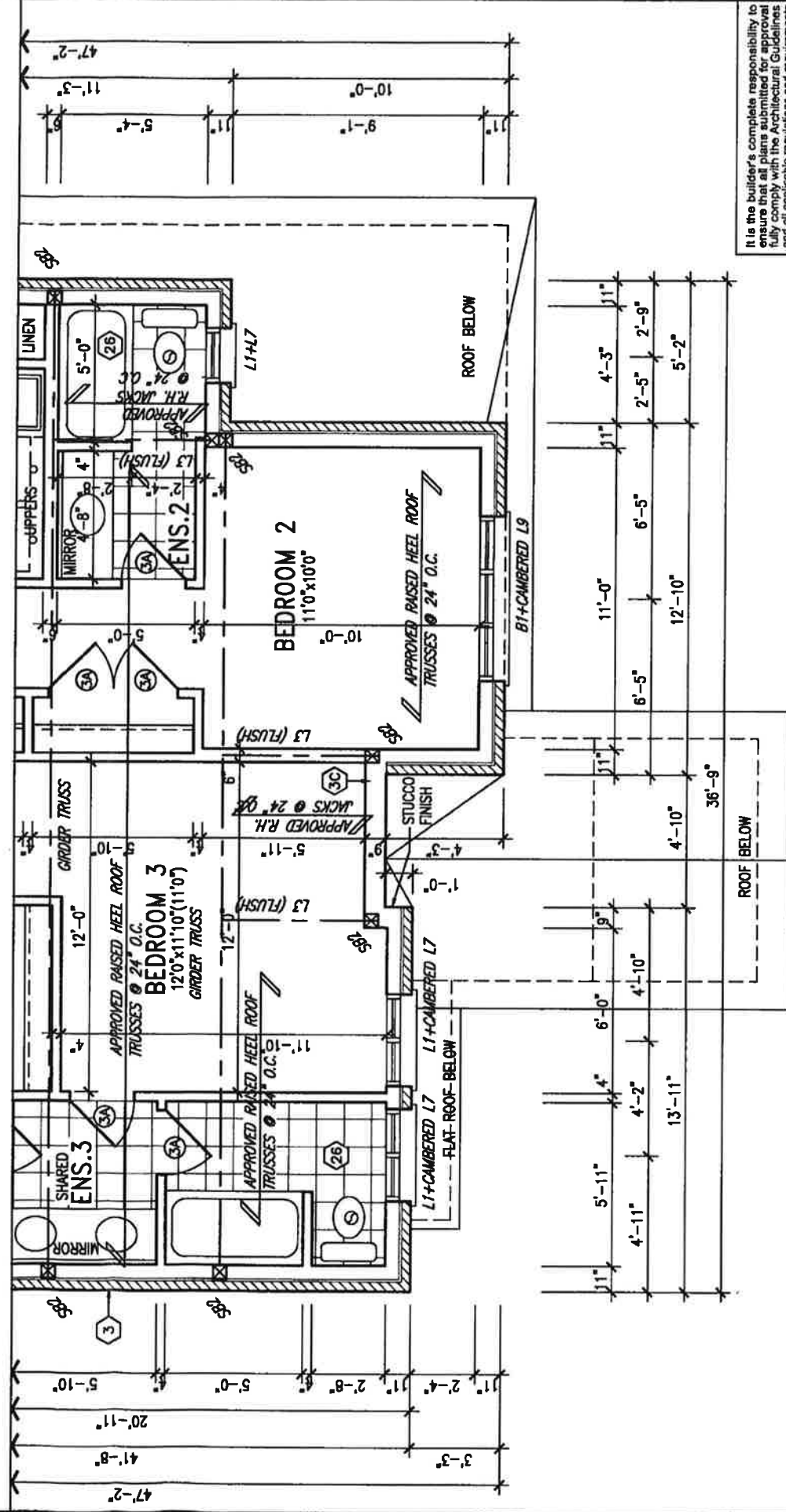
$3/16" = 1'-0"$

\\ARCHIVE\WORKING\2013\13049 BR\UNITS\45\13049-545-1.dwg - 14

S45-1	HUMMINGBIRD 1	project	1304
PARTIAL PLAN 'B'	(for notes)	drawing no.	4
13049-S45-1			
SEP - AUG 14 2017 - 3:46 PM			



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



PARTIAL SECOND FLOOR PLAN 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building codes with respect to any zoning or building code or permit for the construction of a house can be properly built or located on its lot.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

no.	description	date	by
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16/AJE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16/SB	
1	ISSUED FOR CLIENT REVIEW		

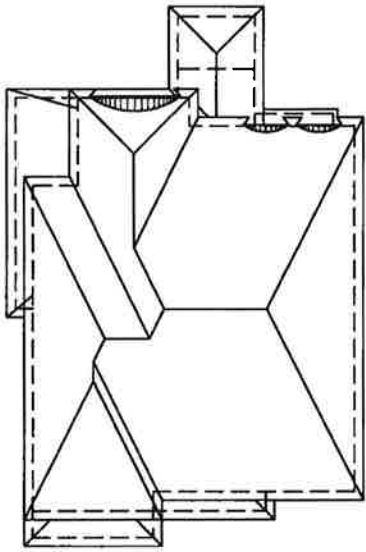
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1K4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste
signature
25591
BCN
42658

project name **ALCONA** municipality **INNISFIL, ONTARIO** project no. **S45-1 HUMMINGBIRD 1**
date **NOV. 2015** checked by **RC** sheet no. **5**
drawn by **RC** scale **3/16" = 1'-0"** file name **13049-S45-1**
designed by **RICHARD - H. VARCHAVE, WORKING 2013\13049.BW\UNITS\45\13049-S45-1.dwg** - Mon - Aug 14 2017 - 3:46 PM

Town of Inishfa Certified Model
03/01/2018 9:04:49 AM kgervais

ROOF PLAN 'A'



It is the applicant's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit material or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of NINFIELD.



AUG 16, 2017

Diagram illustrating the roof structure and dimensions:

- Roof Structure: 2" X 4" @ 8" O.C. W/ 3/8" EXTERIOR GRADE PLYWD. W/ ICE & WATER SHIELD
- Roof Slope: 2'-1 7/8" [0.74M]
- Vertical Wall: 5'-0 1/2" [1.74M]
- Intersection: MID. POINT OF ROOF
- Roofing Detail: ROLLED ROOF TO MATCH SHINGLE

SELF SUPPORTING BRICK
ARCH W/ 1/2" PROJECTION
OVER VINYL PANEL BY
WINDOW MANUF

PREIN MTL ROOF W/
RAISED SEAMS

1"x6" STUCCO FRIEZE BOARD

STUCCO FINISHED W/ RAISED TRIMS

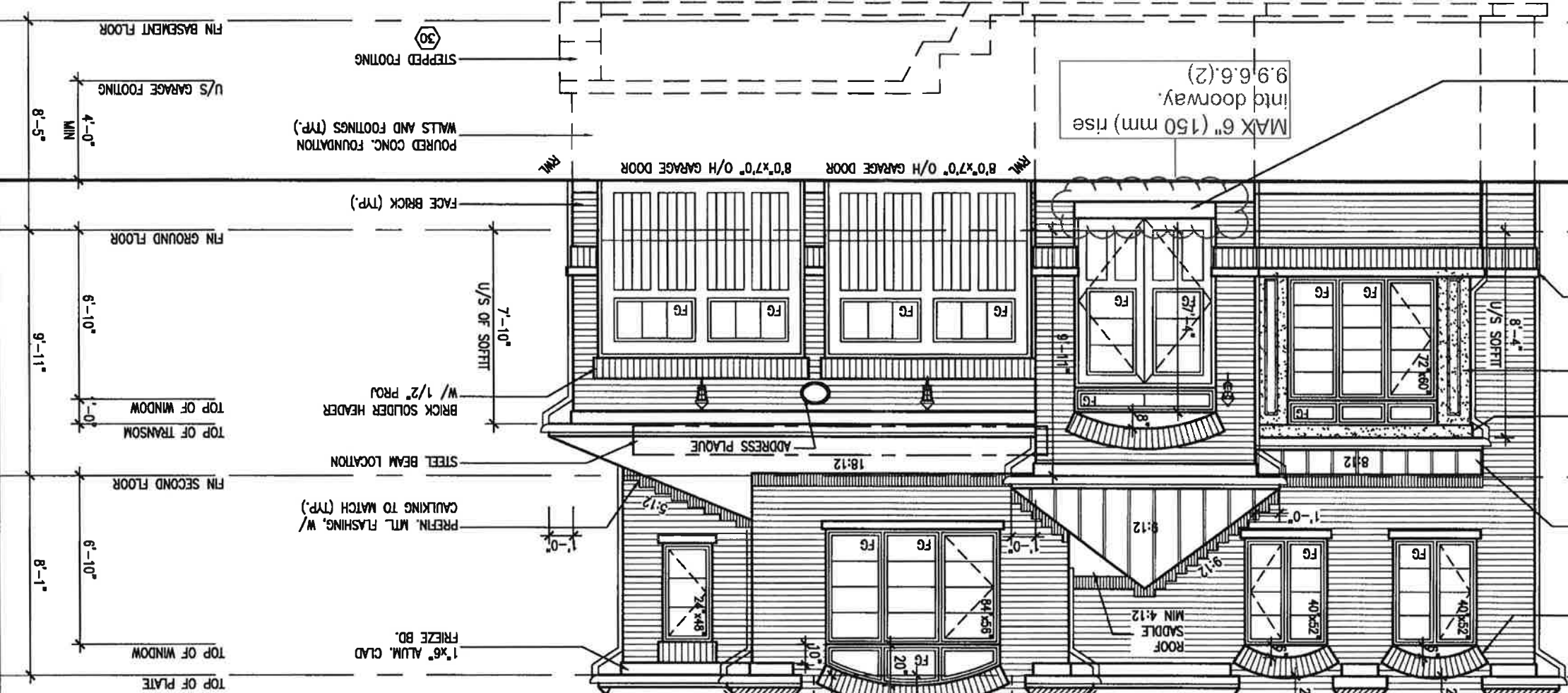
CONT. PRECAST CONC. SLT.
ON CONT. BRICK SOLDER
COURSE W/ 1/2"
PROJECTION (TYP.)

PROJECTION (TYP.)

POURED CONC. PORCH
SLAB AND DOOR SILL

MAX 6" (150 mm) rise
into doorway.
9.9.6.6.(2)

FRONT ELEVATION, 'A'



1	ISSUED FOR CLIENT REVIEW	SEP 19/16	SB		
2	REVISED INSULATION AT STAIRS	DEC 20/16	AE		
3	REVISED TO 10" FOUNDATION WALLS				
4					
5					
6					
7					
8					
9					

The Designer has reviewed the above information for the design and has approved the design and the information for the construction of the foundation and the walls of the building. The Designer is not responsible for the construction of the foundation and the walls of the building. The Designer is not responsible for the construction of the foundation and the walls of the building.

25591
 42658

VAD
DESIGN
2255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vaddesign.com

BAYVIEW WELLINGTON	S45-1
HUMMINGBIRD 1	
project name ALCONA	project no. 13049
city date designed by checked by RC	municipality INNISFIL, ONTARIO
NOV. 2015	
3/16" = 1'-0"	
FRONT ELEVATION A	
scale the north arrow	
13049-S45-1	
6	drawing no.
RECORDED - H:\ARCHIVE\WORKING\2015\13049 SRM\UNITS\S45\13049-S45-1.dwg - Men - Aug 14 2017 - 3:46 PM	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S45-1 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	743 S.F.	159.71 S.F.	21.50 %
LEFT SIDE	1015 S.F.	55.33 S.F.	5.45 %
RIGHT SIDE	1015 S.F.	80 S.F.	7.88 %
REAR	735 S.F.	143.22 S.F.	19.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3508.00 S.F.	438.26 S.F.	12.49 %
TOTAL SQ. M.	325.90 S.M.	40.72 S.M.	12.49 %



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

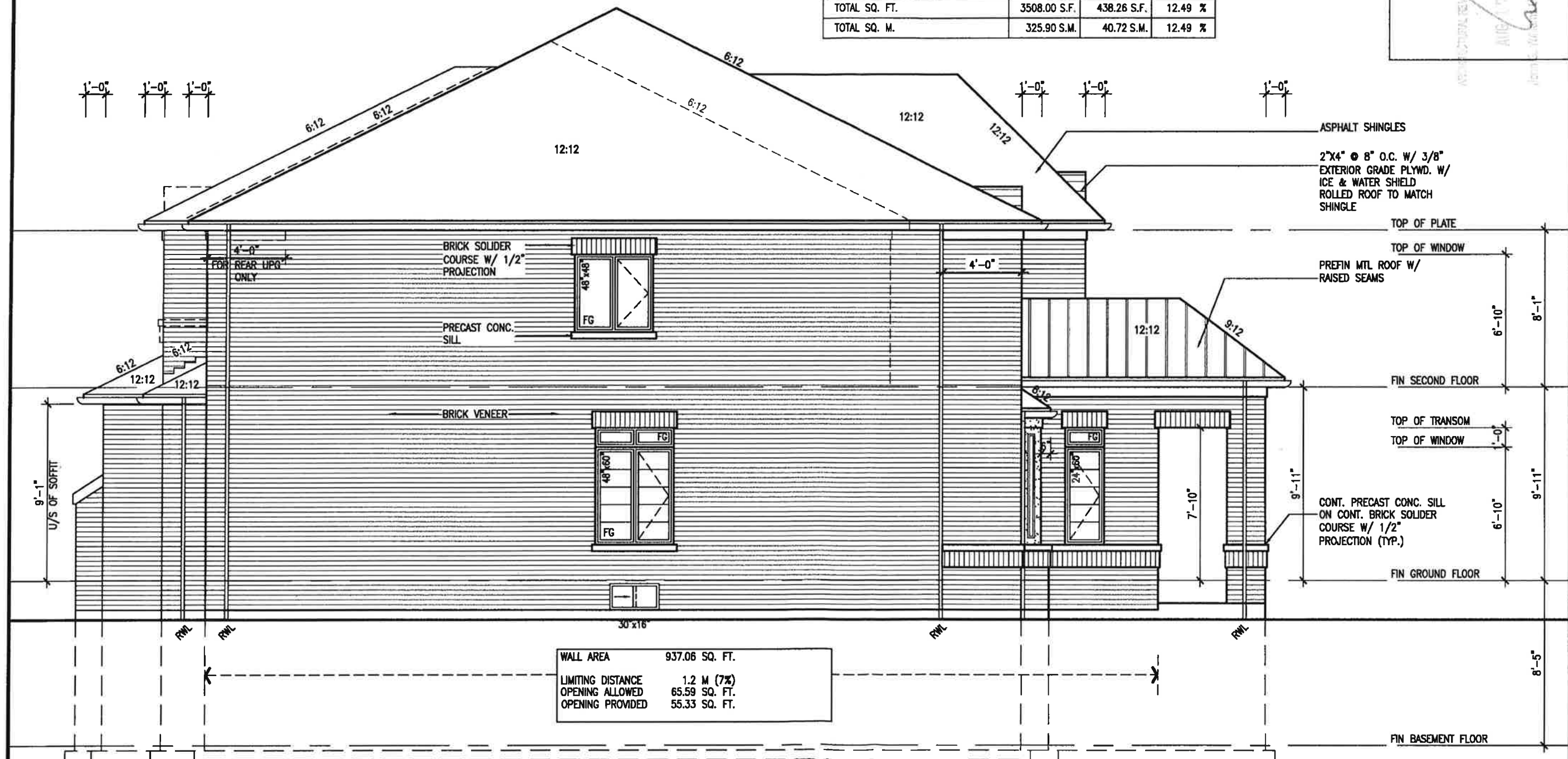
BAYVIEW WELLINGTON	S45-1 HUMMINGBIRD 1
project name ALCONA date NOV. 2015 checked by RC	municipality INNISFIL, ONTARIO project no. 13049 drawing no. 7
LEFT SIDE ELEVATION A scale 3/16" = 1'-0" file name 13049-S45-1 date Aug 14, 2017 time 3:46 PM	

V3
DESIGN
255 Consumers Rd Suite 101
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4144
vo3design.com

[illegible]

no.	description	date	by
9		*	*
8		*	*
7		*	*
6		*	*
5		*	*
4		*	*
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16	AJE
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	*	*

Journal Pre-proof



LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
03/01/2018 9:05:25 AM kgeirvals

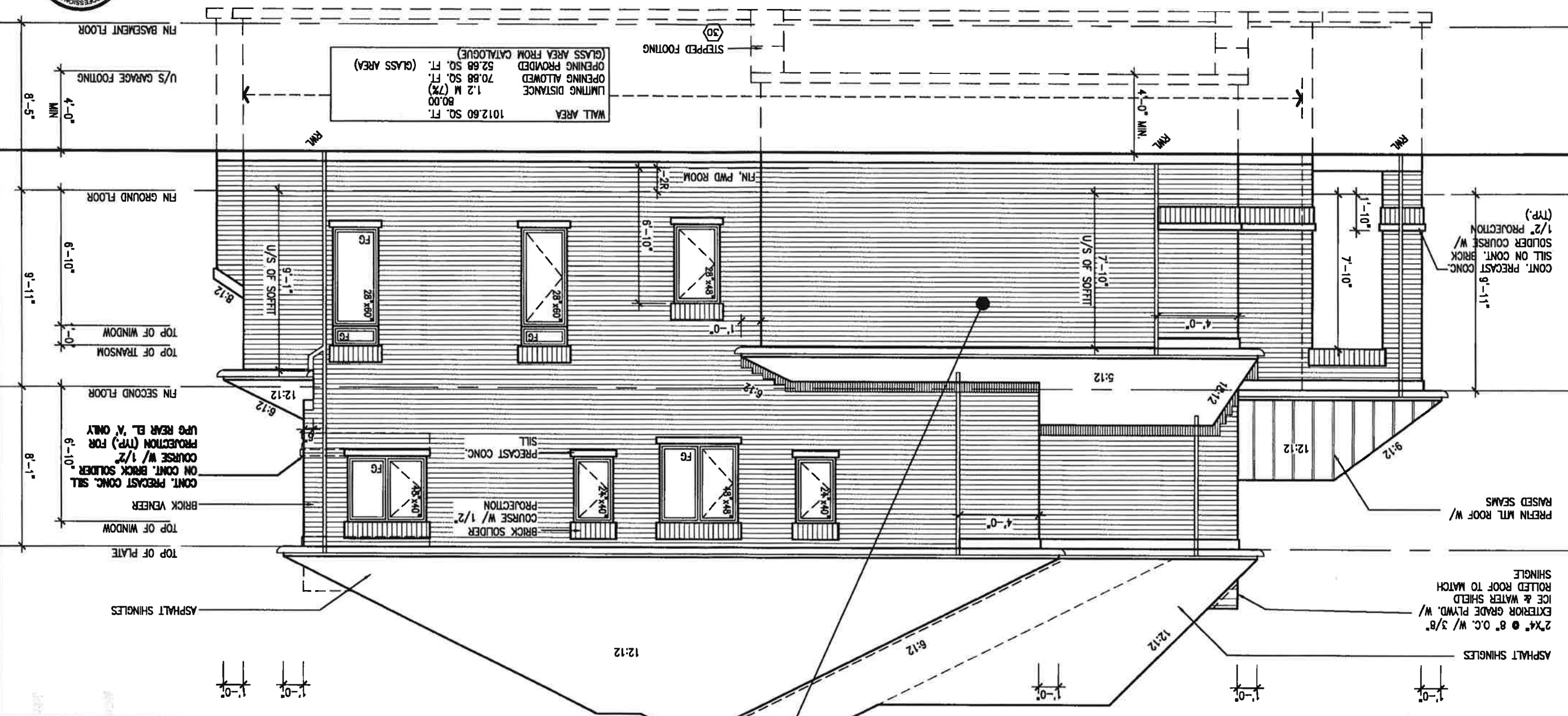
BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/sq.m. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of NINSEL.

2000 7 20

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

RIGHT SIDE ELEVATION, 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



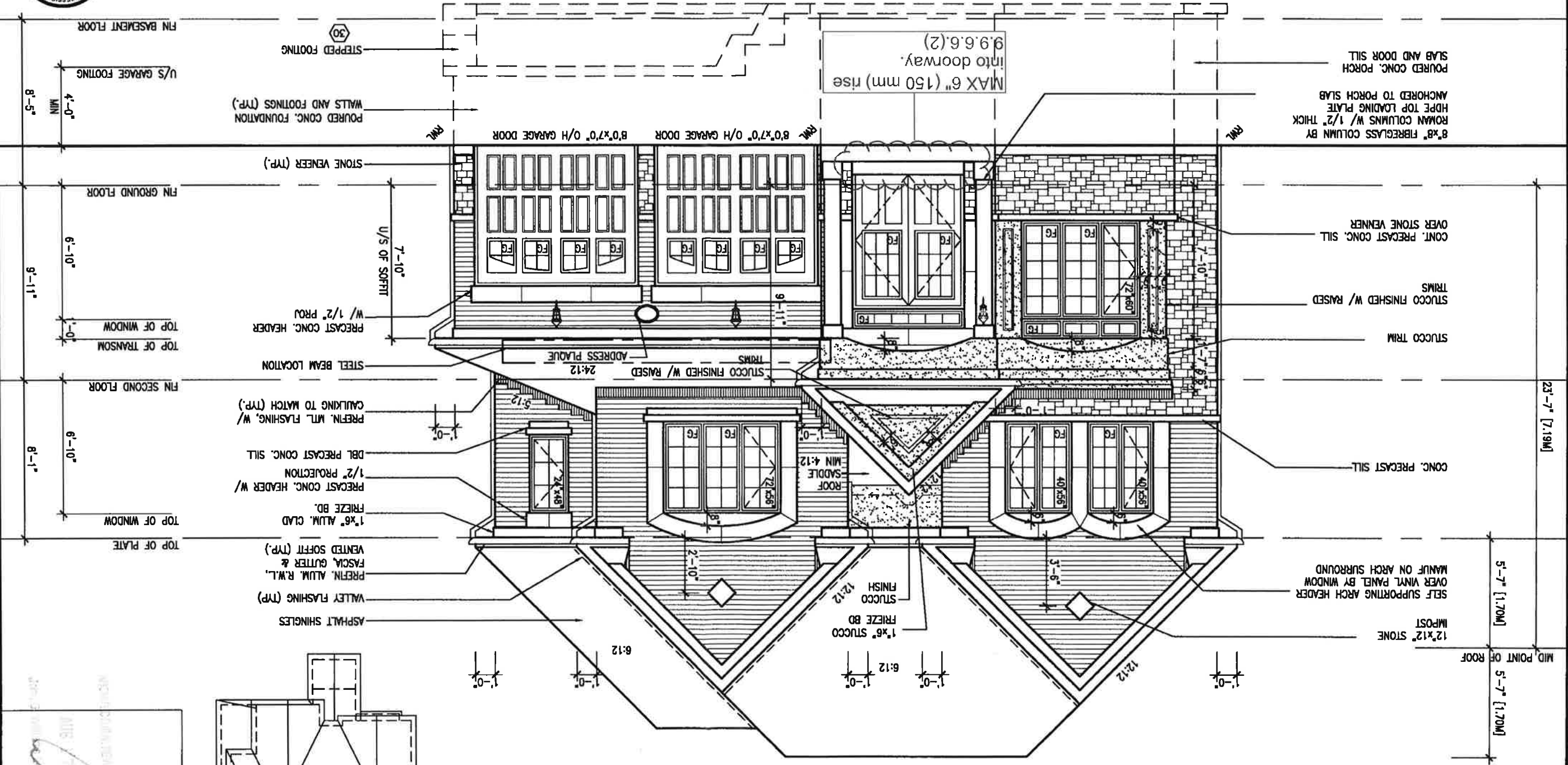
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



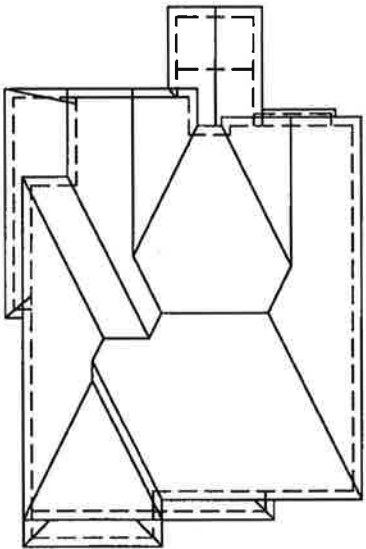
AUG 16, 2017

Town of Innisfil Certified Model
03/01/2018 9:06:09 AM kgervais

FRONT ELEVATION 'B'



ROOF PLAN 'B'



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNSFILL.

9.				The undersigned has reviewed and found responsibility for this design and how the calculations and results the requirements set out in the Ontario Building Code to be a Designer
8.				qualification description
7.				Wellington Jno-Baptiste 25591
6.				BCOA
5.				name
4.				VAS Design Inc. 42558
3.	REVISED TO 10" FOUNDATION WALLS	DEC 20/16 A/E		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	REVISED INSULATION AT STAIRS	SEPT 19/16 S/S		
1.	ISSUED FOR CLIENT REVIEW			
NO.	description	date	by	

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2256 / f 416.630.4782
vasdesign.com

project name	BAYVIEW WELLINGTON	municipality	S45-1
ALCONA	INNISFIL, ONTARIO	HUMMINGBIRD 1	
date NOV. 2015	drawn by	checked by	scale 3/16" = 1'-0"
RC			in notes 13049-S45-1
RICHARD - H:\ARCHIVE\WORKING\2013\13049-S45-1.dwg	FRONT ELEVATION B	drawing no.	13049
			10

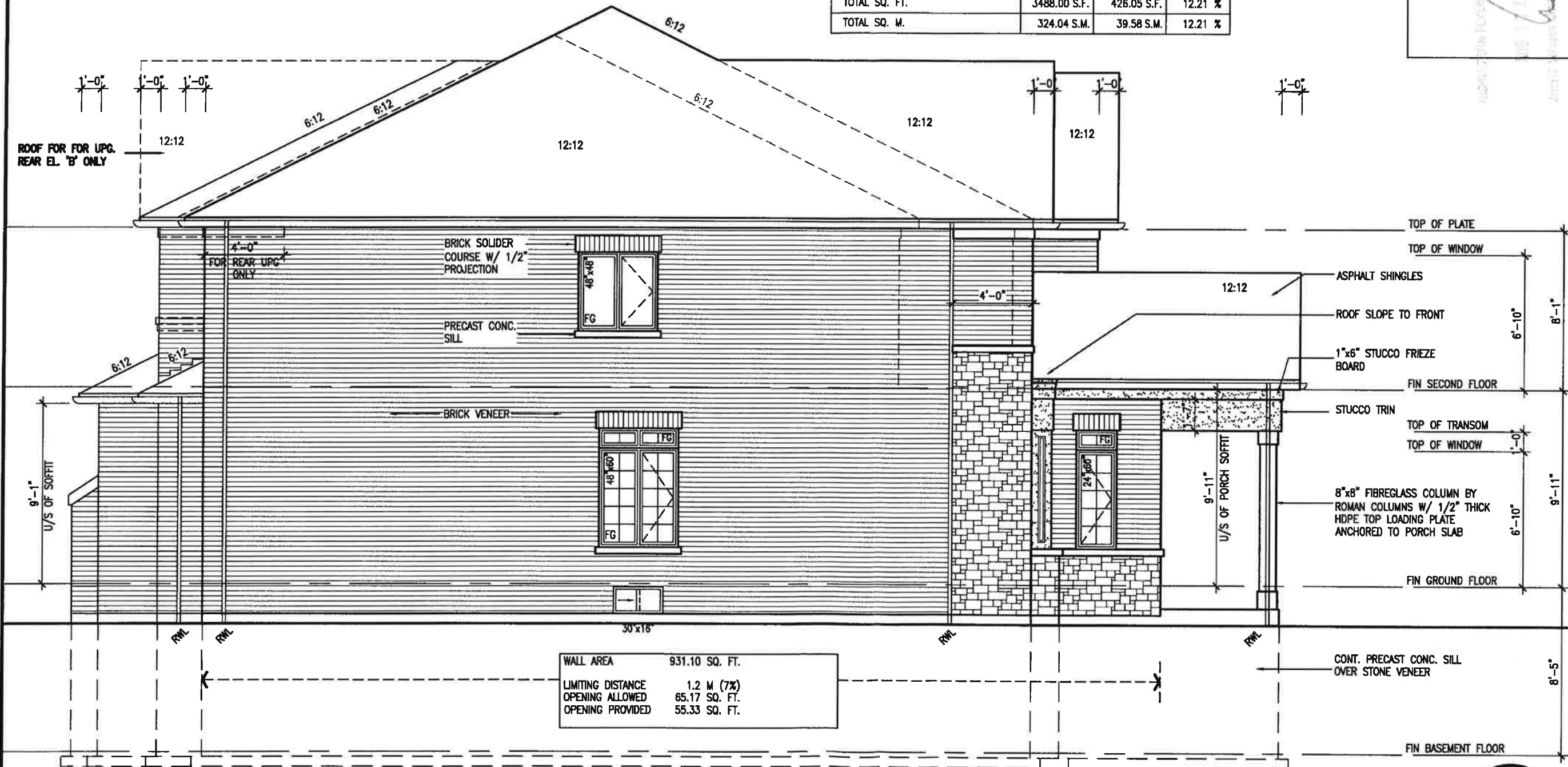
REVISION - H:\ARCHIVE\WORKING\2013\13049-S45-1.dwg - Mon - Aug 14 2017 - 3:46 PM

Town of Innisfil Certified Model
03/01/2018 9:05:33 AM kgervais

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
S45-1 ELEVATION B		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	735 S.F.	147.5 S.F.	20.07 %
LEFT SIDE	1009 S.F.	55.33 S.F.	5.48 %
RIGHT SIDE	1009 S.F.	80 S.F.	7.93 %
REAR	735 S.F.	143.22 S.F.	19.49 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3488.00 S.F.	426.05 S.F.	12.21 %
TOTAL SQ. M.	324.04 S.M.	39.58 S.M.	12.21 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



WALL AREA	931.10 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	65.17 SQ. FT.
OPENING PROVIDED	55.33 SQ. FT.

LEFT SIDE ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

S45-1
HUMMINGBIRD 1

BAYVIEW WELLINGTON

ALCONA

INNISFIL, ONTARIO

project no. 13049

date NOV. 2015

checked by RC

drawn by

11

13049-S45-1

3/16" = 1'-0"

NOV. 2015

RC

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptista 25591 604

name Jno-Baptista

registration information 42653

VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

3	REVISED TO 10' FOUNDATION WALLS	DEC 20/16/AJE	date	by
2	REVISED INSULATION AT STAIRS	SEPT 19/16/SB		
1	ISSUED FOR CLIENT REVIEW			

RIGHT SIDE ELEVATION, B'

AUG 16, 2017



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

WALL AREA	1007.06	SQ. FT.
LIMITING DISTANCE	1.2	M (7%)
OPENING ALLOWED	70.49	SQ. FT.
OPENING PROVIDED	52.68	SQ. FT.
(GLASS AREA FROM CATALOGUE)		(GLASS AREA)

STEPPED FOOTING

4'-0" MIN.

RM

9'-11"
CONT. PRECAST
SILL ON STONE
VENNER
CONC.

1"x6" STUCCO FRIEZE
BOARD
STUCCO TRIM

ASPHALT SHINGLES

Town of Inishill Certified Model
03/01/2018 9:06:47 AM kgervais

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED, SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL K/50.0M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with applicable codes and requirements including zoning provisions and requirements in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (joining) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INDIAN HILLS.

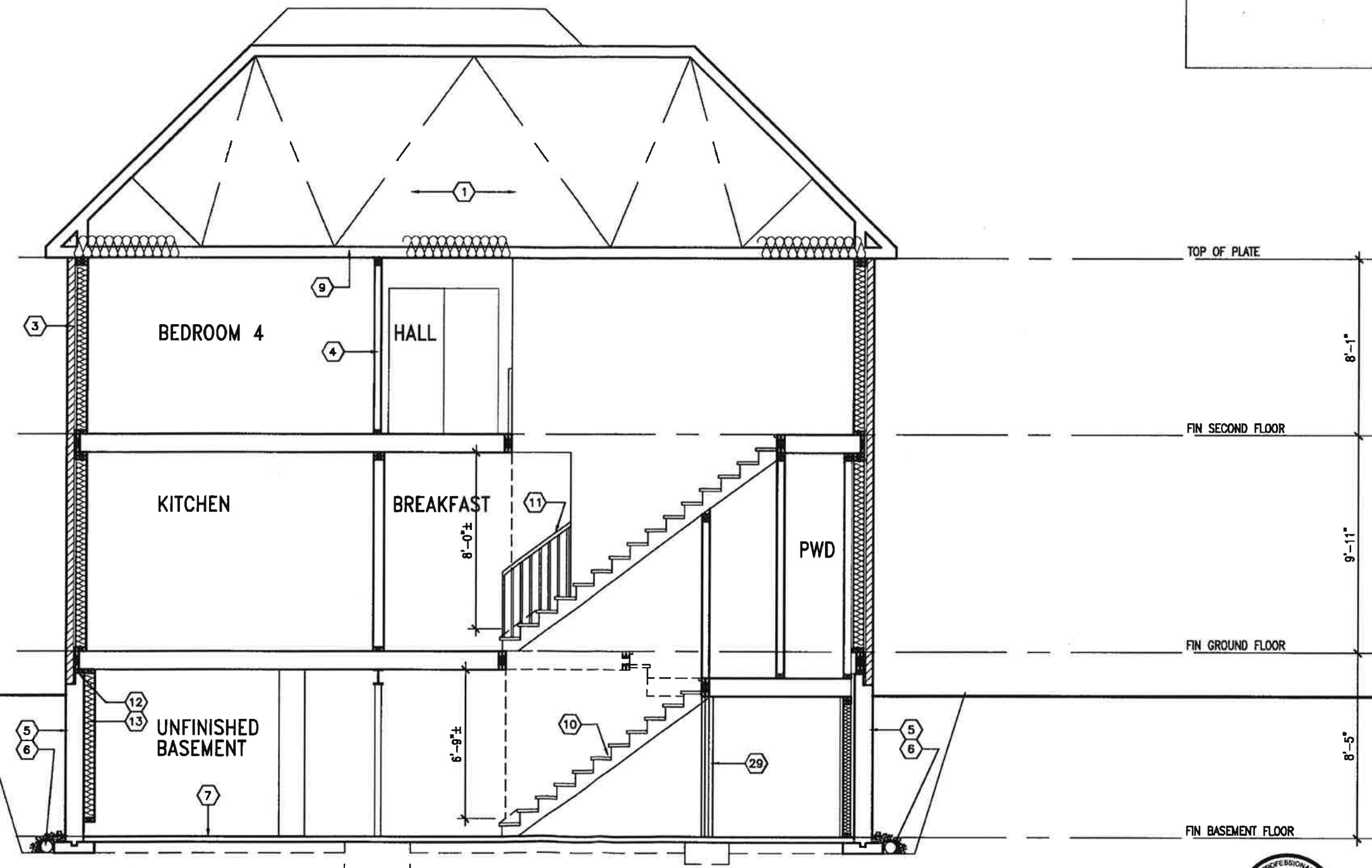
9.	*	*		The undersigned has retained and shall remain responsible for this design and has the specifications and needs the requirements set out in the Outline Building Code to be a Designer.	25591	BCH
8.	*	*		specification information		
7.	*	*		Wellington Jno-Baptiste		
6.	*	*		VVA Design Inc.		
5.	*	*		name specification information		
4.	*	*		VVA Design Inc. signature		42658
3.	REMOVED TO 10 th FOUNDATION WALLS	DEC 20 / 16	A/E	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings can not be used.		
2.	ISSUED INSULATION AT STAIRS	SEPT 19 / 16	S/B			
1.	ISSUED FOR CLIENT REVIEW	*	*			
NO.	description	date	by			

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vadsdesign.com

BAYVIEW WELLINGTON		S45-1 HUMMINGBIRD 1	
product name ALCONA	manufactured by INNISFIL, ONTARIO	project no. 13049	
date NOV. 2015	RIGHT SIDE ELEVATION B		
drawn by RC	checked by 3/16" = 1'-0"	notes 13049-S45-1	drawing no. 12
RECORDED - H:\ARCHIVE WORKING\2015\13049 SRV\UNITS\45\13049-S45-1.dwg - Mon - Aug 14 2017 - 3:47 PM			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



SECTION A-A



AUG 16, 2017

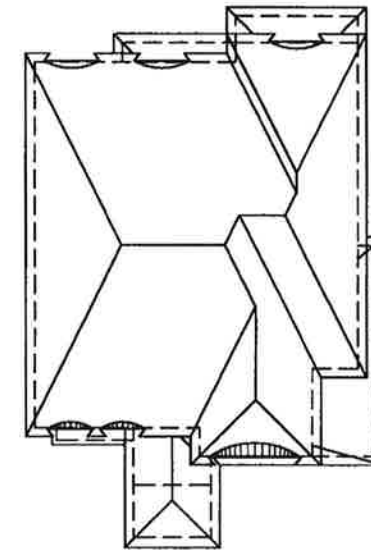
BAYVIEW WELLINGTON		S45-1	
project name		project no.	
ALCONA		13049	
municipality		drawing no.	
INNISFIL, ONTARIO		13	
date		SECTION A-A	
NOV. 2015		13049-S45-1	
drawn by	checked by	scale	file name
RC	RC	3/16" = 1'-0"	13049-S45-1
RICHARD - H:\ARCHIVE\WORKING\2013\13049 BAYVIEW\13049-S45-1.dwg - Mon - Aug 14, 2017 - 3:47 PM			

VA3 DESIGN	
255 Consumers Rd. Suite 120	
Toronto, ON M2J 1R4	
t 416.630.2255 f 416.630.4782	
va3design.com	

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
signature	25591		
Wellington Jno-Baptista	BOYD		
name	42858		
registration information	VA3 Design Inc.		
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16	A/E
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW		

Town of Innisfil Certified Model
03/01/2018 9:07:21 AM kgervais

ROOF PLAN 'A' UPG REAR ELEV



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

2"x4" @ 8" O.C. W/ 3/8" EXTERIOR
GRADE PLYWD. W/ ICE & WATER
SHIELD
ROLLED ROOF TO MATCH SHINGLE

SELF SUPPORTING BRICK
ARCH W/ 1/2" PROJECTION
OVER VINYL PANEL BY
WINDOW MANUF

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION (TYP.)

ASPHALT SHINGLES

1"x6" ALUM. CLAD
FRIEZE BD.
BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION

PRECAST CONC.
SILL

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

BRICK VENEER

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

STEPPED FOOTING

PRECAST CONC. DOOR
SILL & PRECAST CONC.
STEP

MAX 6" (150 mm) rise
into doorway.
9.9.6.6.(2)

VINYL CLAD STL FRAME
BASEMENT WINDOW (TYP.)

FIN BASEMENT FLOOR

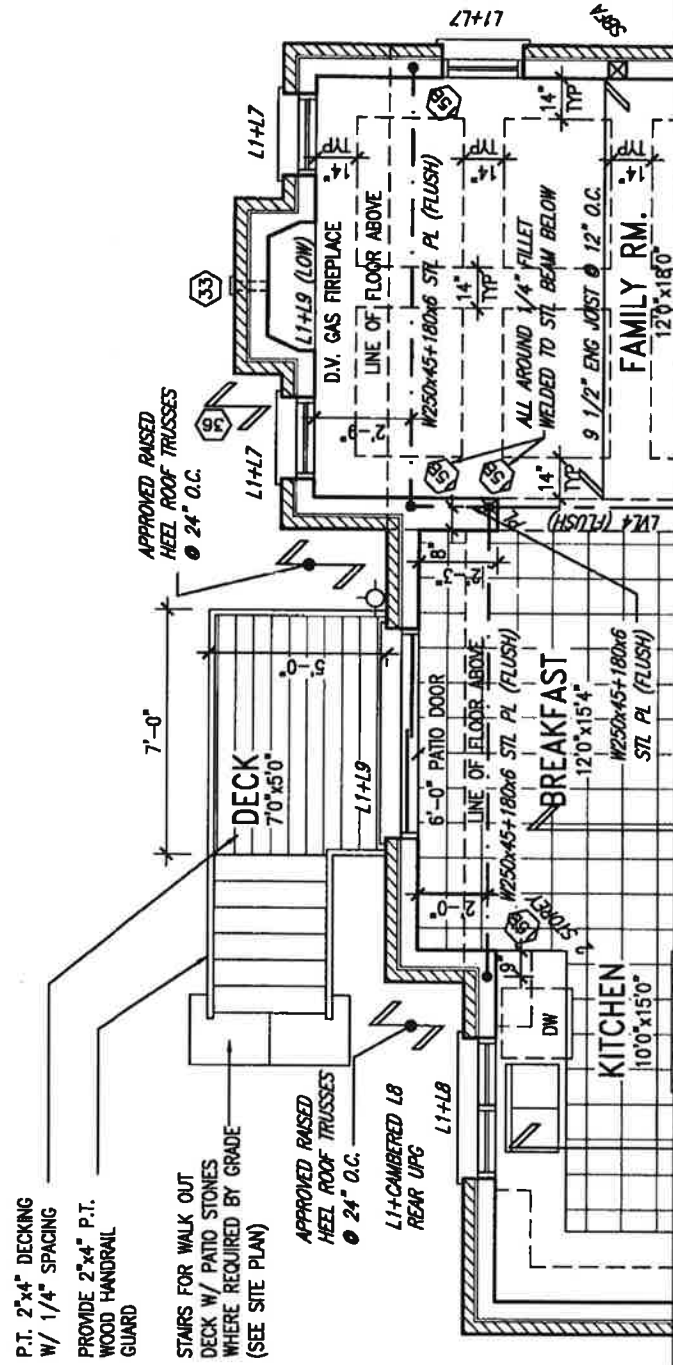
REAR ELEVATION 'A' UPGRADE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 16, 2017

BAYVIEW WELLINGTON		S45-1	HUMMINGBIRD 1
project name	ALCONA	project no.	13049
municipality	INNISFIL, ONTARIO	drawing no.	14
date	NOV. 2015	checked by	13049-S45-1
drawn by	RC	scale	3/16" = 1'-0"
REAR ELEVATION 'A' UPGRADE			
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.			
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.			
VA3 DESIGN			
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and for the specifications and notes the requirements set out in the Urban Planning Code to be a design professional.			
Wellington Jno-Bopista			
VA3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
3	REVISED TO 10' FOUNDATION WALLS	DEC 20/16/AJE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16/SB	
1	ISSUED FOR CLIENT REVIEW		



PARTIAL GROUND FLOOR PLAN W.O.D.
9R AND MORE COND.

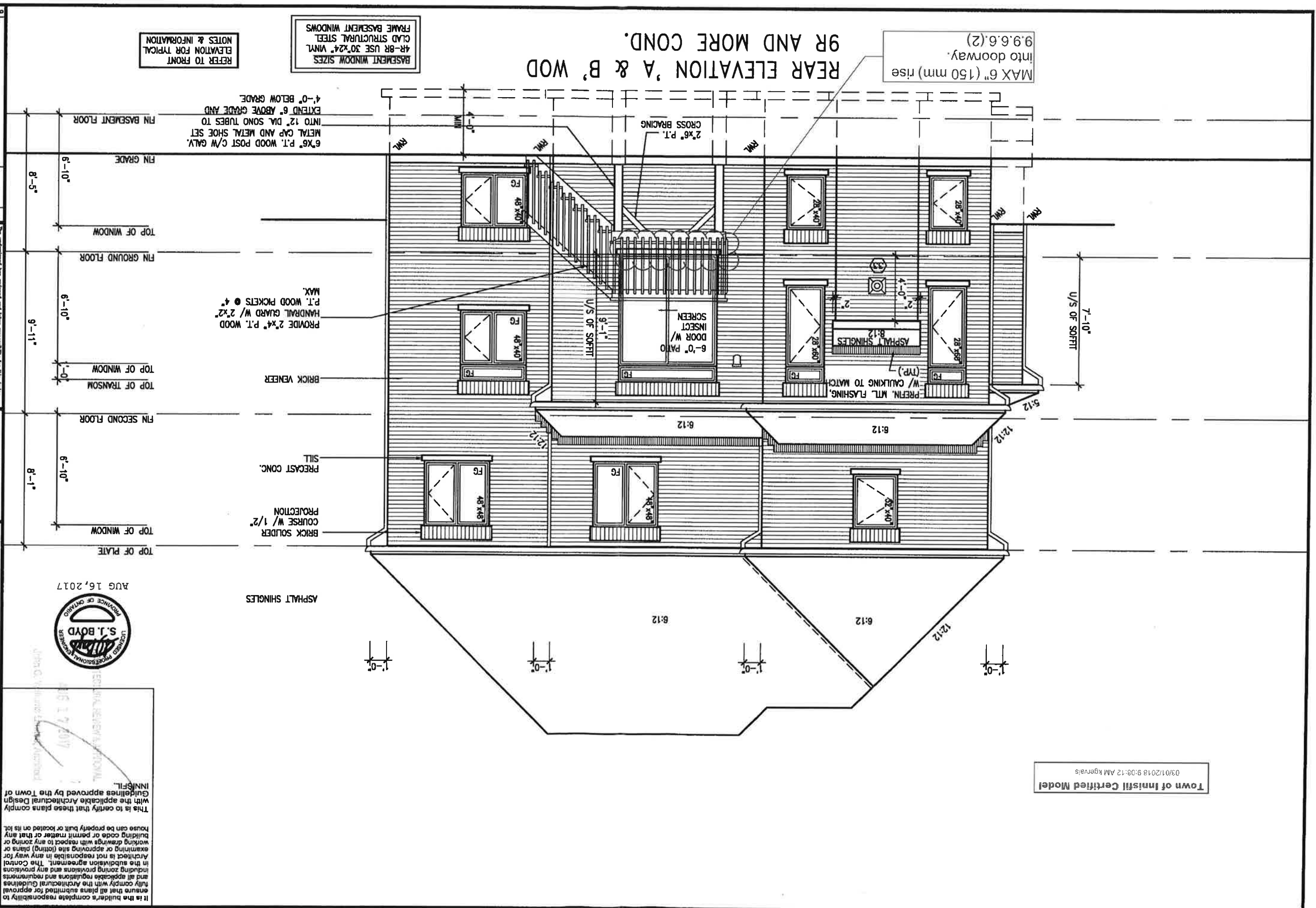
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))		
S45-1 ELEVATION A-9R WOD	ENERGY EFFICIENCY - OBC SB12		S45-1 ELEVATION B-9R WOD	ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F. PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F. PERCENTAGE
FRONT	743 S.F.	159.71 S.F. 21.50 %	FRONT	735 S.F.	147.5 S.F. 20.07 %
LEFT SIDE	1015 S.F.	55.33 S.F. 5.45 %	LEFT SIDE	1009 S.F.	55.33 S.F. 5.48 %
RIGHT SIDE	1015 S.F.	80 S.F. 7.88 %	RIGHT SIDE	1009 S.F.	80 S.F. 7.93 %
REAR	882 S.F.	162.11 S.F. 18.38 %	REAR	882 S.F.	162.11 S.F. 18.38 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.
TOTAL SQ. FT.	3655.00 S.F.	457.15 S.F. 12.51 %	TOTAL SQ. FT.	3635.00 S.F.	444.94 S.F. 12.24 %
TOTAL SQ. M.	339.58 S.M.	42.47 S.M. 12.51 %	TOTAL SQ. M.	337.70 S.M.	41.34 S.M. 12.24 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

[illegible]

Town of Innisfil Certified Model
03/01/2018 9:08:12 AM kgervais



It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable requirements of the zoning ordinance are met. The Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

1	ISSUED FOR CLIENT REVIEW	SEP 19/16	SS		
2	REVIEWED INSULATION AT STAIRS	DEC 20/16	AE		
3	REMOVED TO 10" FOUNDATION WALLS				
4					
5					
6					
7					
8					
9					
10	description	date	by		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained of the completion of the work. Drawings are not to be recoded.

name: registration information: VAS Design Inc. 426558
 address: 255 Consumers Rd Suite 120 Toronto ON M2J 1R4
 phone: 416.630.2255 / 416.630.4782
 email: vas@design.com

DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 / 416.630.4782
 vas@design.com

BAYVIEW WELLINGTON

S45-1

HUMMINGBIRD 1

ININISFIL, ONTARIO

REAR ELEVATION

WOD

17

project name: ALCONA

date: NOV. 2015

drawn by: 3/16" = 1'-0"

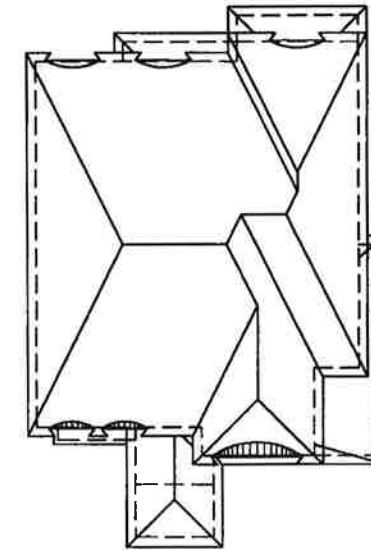
scale: 13049-S45-1

project no.: 13049

drawing no.: 17

REVISIONS: 1 - H:\ARCHIT\WORKING\2015\13049-SB\W\ININISFIL\13049-S45-1.dwg - Mod - Aug 14, 2017 - 3:47 PM

ROOF PLAN 'A'
UPG REAR ELEV



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



S45-1
HUMMINGBIRD

BAYVIEW WELLINGTON

project name ALCONA	INNISFIL, ONTARIO	project no. 13049
date NOV. 2015	checked by RC	drawing no. 18
drawn by RC	scale 3/16" = 1'-0"	file name 13049-S45-1
REAR ELEVATION 'A' UPGRADE 9R OR MORE WOD RICHMOND - 13 ARCHIVE WORKING 2011 13049 BRN UNITS 45 1 13046-S45-1.dwg - Mon - Aug 14 2017 - 3:24 PM		

VA3 DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
va3design.com

name	Wellington Jno-Baptiste	signature	<i>W. J. Baptiste</i>	25391
registration information	WJBS Design Inc.	date	03/04	43558

The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code as a Designer.

Building Code Information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

[illegible]

NIJ Grants

MAX 6" (150 mm) rise
into doorway.
9.9.6.6.(2)

REAR ELEVATION 'A' UPGRADE 9R OR MORE

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
4'-0" BELOW GRADE.

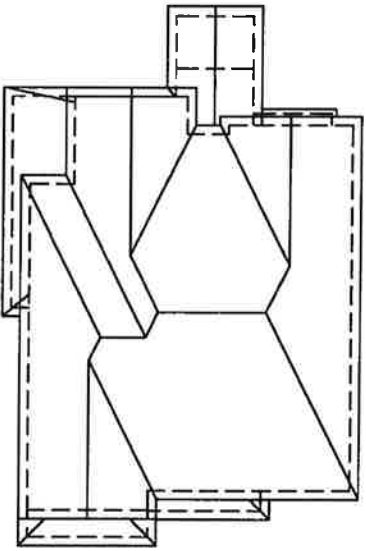
FIN BASEMENT FLOOR

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

Town of Innisfil Certified Model
03/01/2018 9:11:10 AM kgervais

ROOF PLAN, 'B',
UPG REAR ELEV



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of NINNESSEL.

AUG 16, 2017



TOP OF PLATE

ASPHALT SHINGLES

PREFN. ALUM. R.W.L.

VENTED SOFT (TYP.)

— *Continued from page 10*

FRIEZE BD.

PREFACE

PRE-FLASHING, W/

BRICK VENER

HANDRAIL GUARD W/ 2"x2"

MAX.

LOT 10 WINDOW

0.

9,9

METAL CAP AND METAL SHOE SET

EXTEND 6' ABOVE GRADE AND

MAX 6" (150 mm) rise
into doorway.
9.9.6.6.(2)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

STEPPED FOOTING

7-10
U/S OF SOFTT

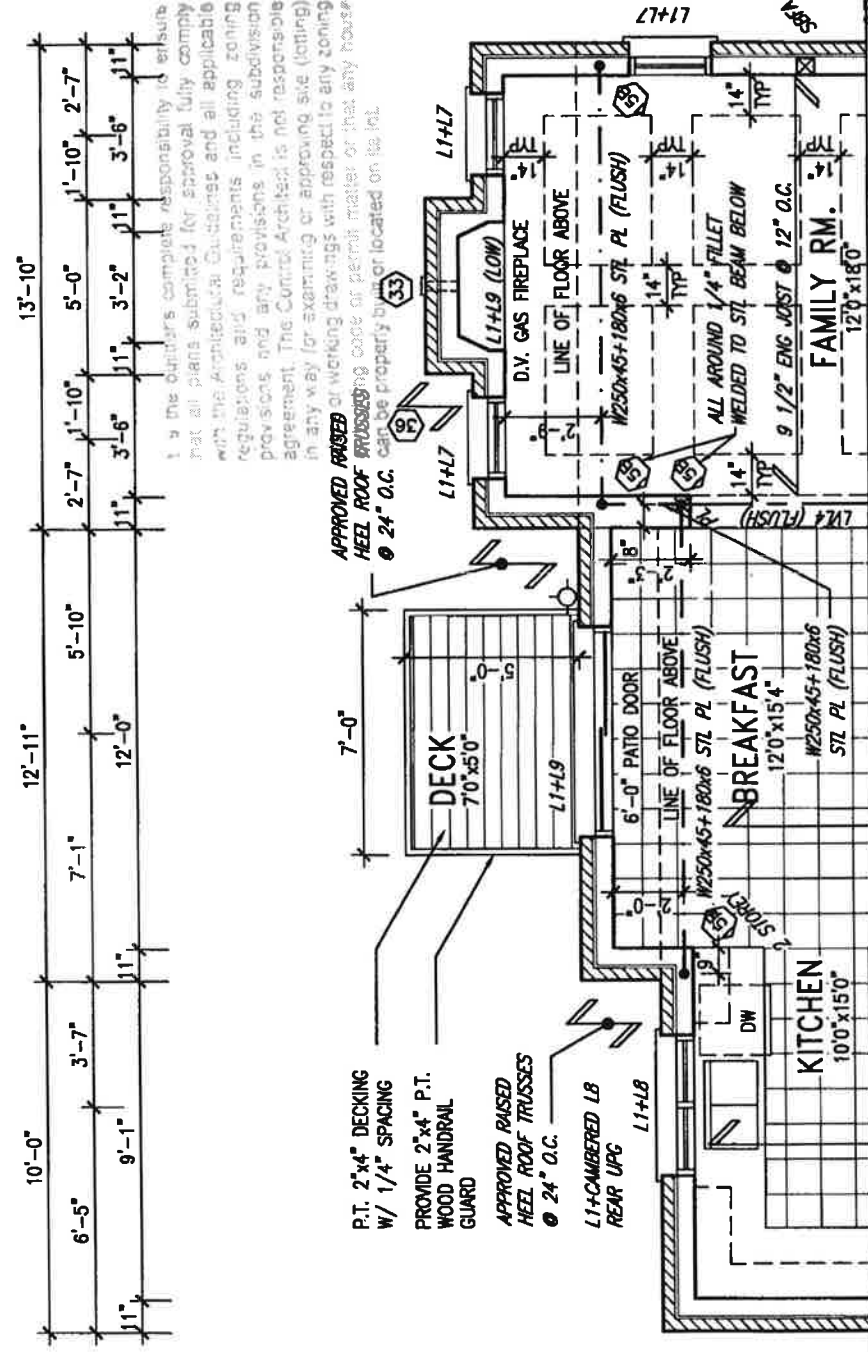
SELF SUPPORTING BRICK
ARCH W/ 1/2" PROJECTION
OVER VINYL PANEL BY
WINDOW MANUF

12"x12" STONE IMPOST @ 45

REAR ELEVATION 'B' UPGRADE 9R OR MORE WOD



PARTIAL BASEMENT FLOOR PLAN W.O.B.

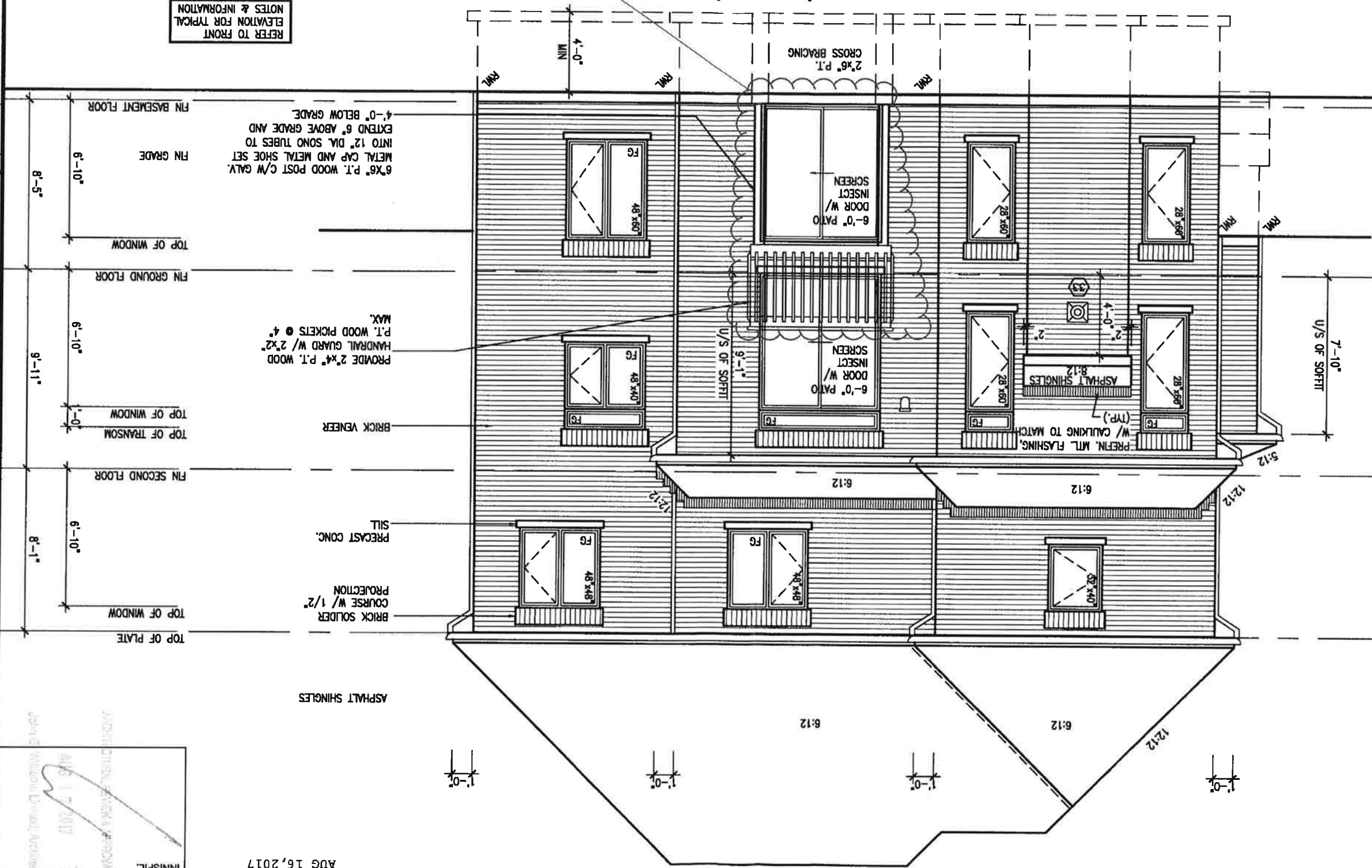


PARTIAL GROUND FLOOR PLAN W.O.B.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S45-1 ELEVATION A-WOB		ENERGY EFFICIENCY - OBC SB12		S45-1 ELEVATION B-WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	743 S.F.	159.71 S.F.	21.50 %	FRONT	735 S.F.	147.5 S.F.	20.07 %
LEFT SIDE	1015 S.F.	55.33 S.F.	5.45 %	LEFT SIDE	1009 S.F.	55.33 S.F.	5.48 %
RIGHT SIDE	1015 S.F.	80 S.F.	7.88 %	RIGHT SIDE	1009 S.F.	80 S.F.	7.93 %
REAR	989 S.F.	217.556 S.F.	22.00 %	REAR	989 S.F.	217.556 S.F.	22.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3762.00 S.F.	512.60 S.F.	13.63 %	TOTAL SQ. FT.	3742.00 S.F.	500.39 S.F.	13.37 %
TOTAL SQ. M.	349.50 S.M.	47.62 S.M.	13.63 %	TOTAL SQ. M.	347.64 S.M.	46.49 S.M.	13.37 %

[illegible]

Town of Innisfil Certified Model
03/01/2018 9:12:03 AM kgervais



MAX 6" (150 mm) rise
into doorway.
9.9.6.6(2)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

10.	description	by	date
9.			
8.			
7.			
6.			
5.			
4.			
3.	REMOVED TO 10" FOUNDATION WALLS		DEC. 20/16 J.E.
2.	REMOVED INSULATION AT STAIRS		SEPT 19/16 S.S.
1.	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington the Baptists 25591

name
 telephone information
 fax
 email

VMS Design Inc. 42668

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are independent of written and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
vcdesign.com

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015				
drawn by	RC	checked by	3/16" = 1'-0"	for name	13049-S45-1
BAYVIEW WELLINGTON			S45-1		
HUMMINGBIRD 1			HUMMINGBIRD 1		
REAR ELEVATION WOB			21		

This is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

AUG 16, 2017

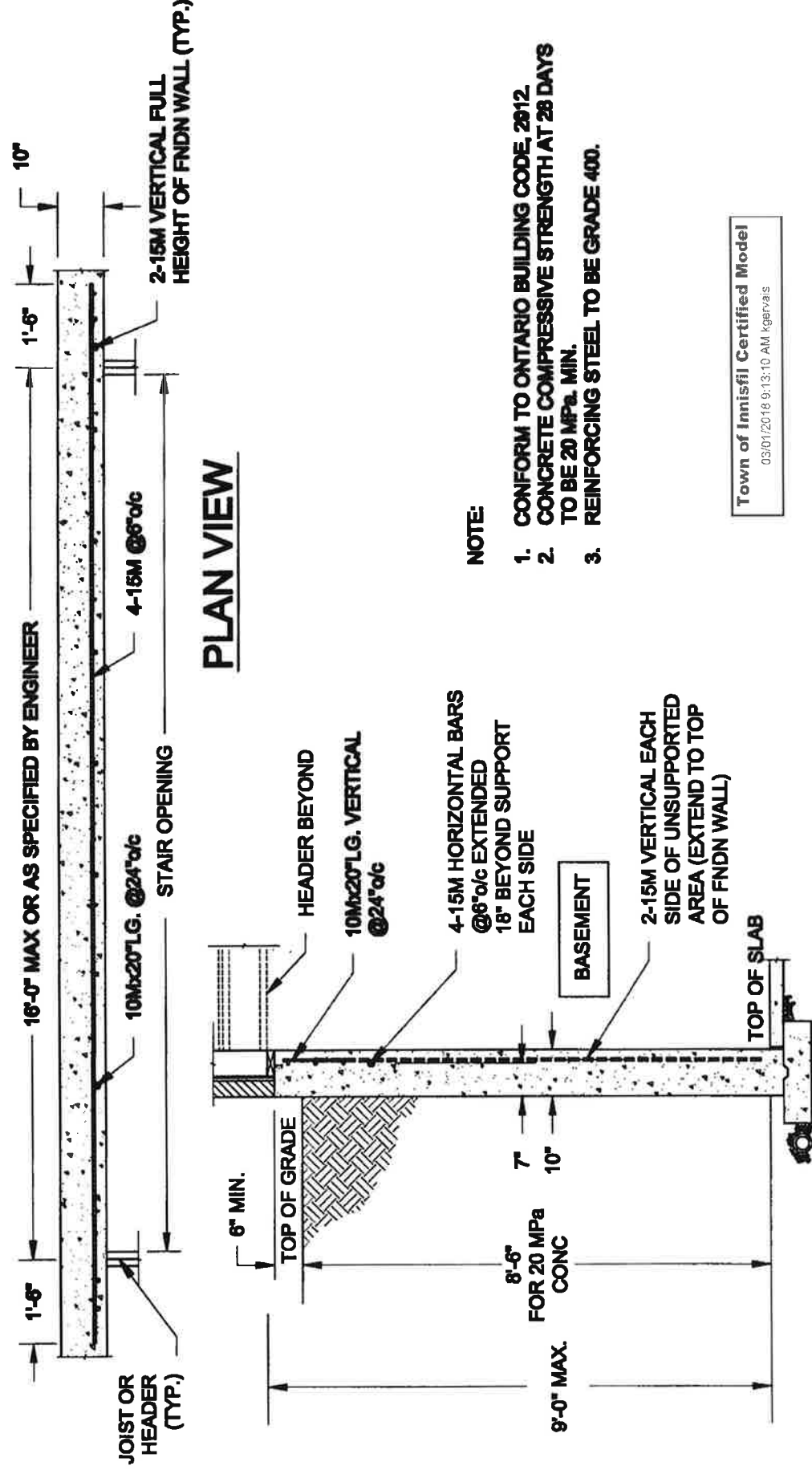


03/01/2018 9:12:23 AM kgervais

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

A circular professional seal for a Licensed Professional Engineer in the Province of Ontario. The seal features the name "S. J. BOYD" in the center, with "LICENSED PROFESSIONAL ENGINEER" around the top and "PROVINCE OF ONTARIO" around the bottom. A stylized signature "S. J. Boyd" is written over the name.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	SEP 19/16	SB
2	REVISED INSULATION AT STAIRS	SEP 19/16	SB
3	REVISED TO 10" FOUNDATION WALLS	DEC 20/16	A/E
4			
5			
6			
7			
8			
9			



NOTE:

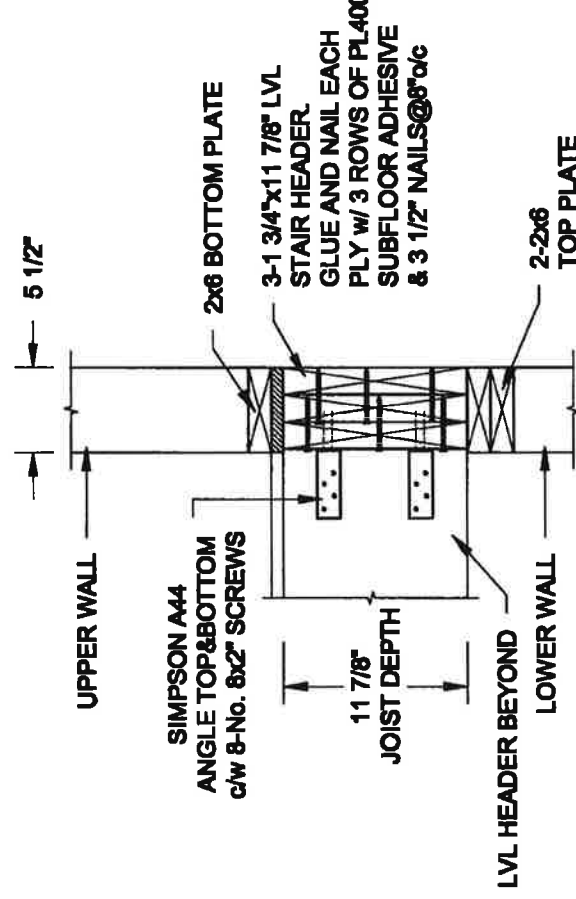
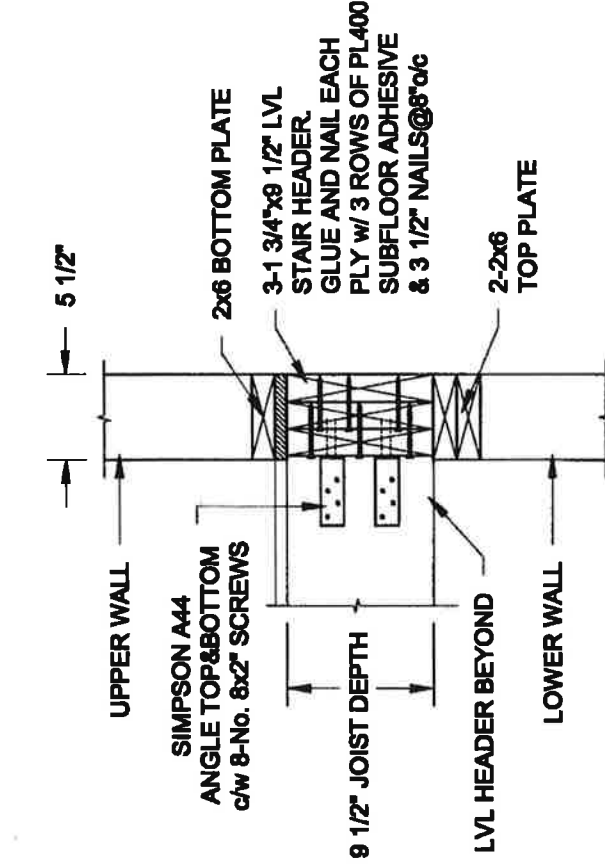
1. CONFORM TO ONTARIO BUILDING CODE, 2012
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

Town of Innisfil Certified Model
03/01/2018 9:13:10 AM kgervais

1 LATERALLY UNSUPPORTED WALL SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH

FOR 11 7/8" JOIST DEPTH



2 STAIR HEADER @ EXTERIOR WALL SCALE: 1" = 1'-0"

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8647
E: quaile.eng@rogers.com

Engineer's Seal:
S.J. BOYD
AUG 10, 2017

Project:
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

16-083

Drawing No.:

S1

Scale:
AS NOTED

Date:
JUL-31-2017

Drawn:
SC

Checked:
SJB

Left Diagram Labels:

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- CW 1/2"Ø BOLTS @ 16" O/C TO RIM
- U.N.O. ON PLAN
- 2-2x8 P.T. LEDGER c/w 1/2"ØX12" LONG HILTI ADHESIVE ANCHORS @ 16" o/c
- 6" THICK CONC. SHELF ON 10" FNDN WALL

Right Diagram Labels:

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- CW 1/2"Ø BOLTS @ 16" O/C TO RIM
- 2-2x8 P.T. LEDGER c/w 1/2"ØX12" LONG HILTI ADHESIVE ANCHORS @ 16" o/c
- 2-2x8 BLOCKING BETWEEN STUDS CW 2-3 1/2" END NAILS PER PLY
- 6" THICK CONC. SHELF ON 10" FNDN WALL

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

(2) L 3x3x1/4"
8" LONG FOR W8
7" LONG FOR W10

(4) 3/4Ø
A325 BOLTS

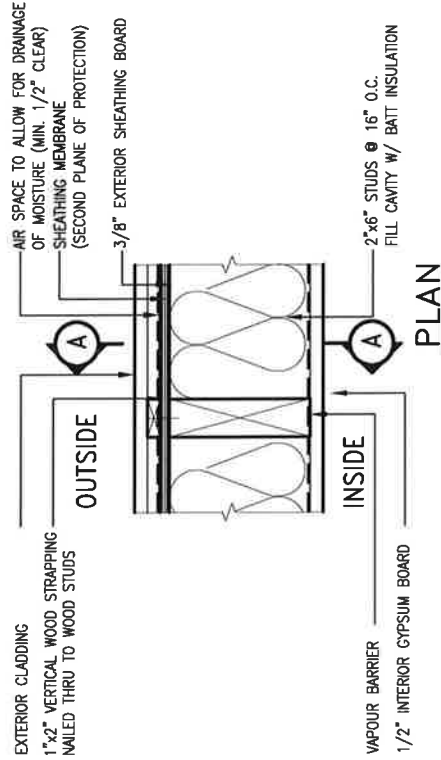
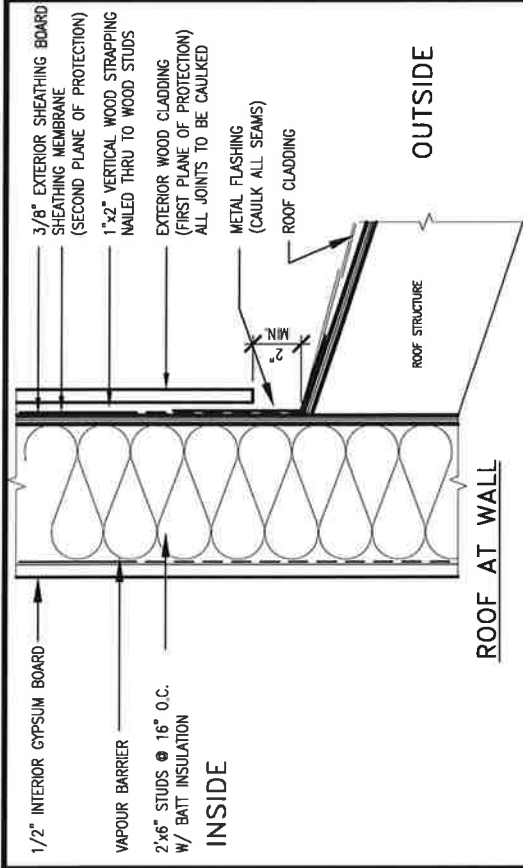
8" TO 10"
DEEP BEAM

TYP 1/4

**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

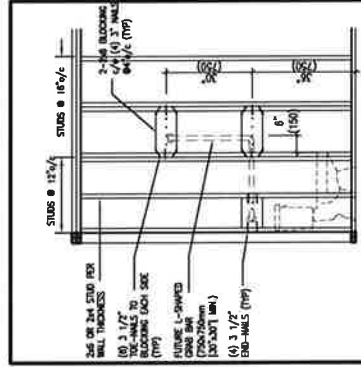
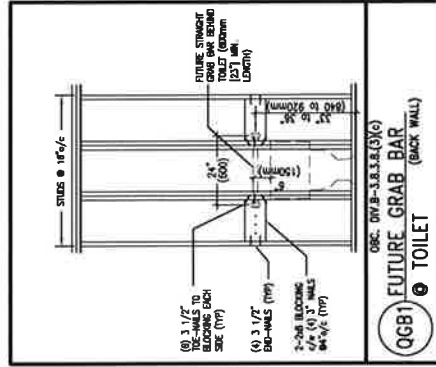
3 S2 **STEEL BEAM CONNECTION DETAIL**

Scale: AS NOTED	Date: JUL-01-2017	Check: SC SJS	
		Drawn: SC	
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-463-8947 E: quaile.eng@rogers.com Engineer's Seal: 			
Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT RICHMOND HILL, ONTARIO		Project No.: 10-063	
Project: TYPICAL STRUCTURAL DETAILS FOR SINGLE		Drawing No.: 82	

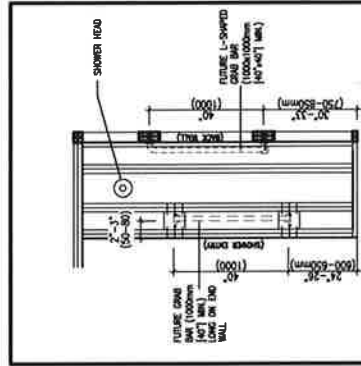


EXTERIOR WOOD CLADDING WALL ASSEMBLY

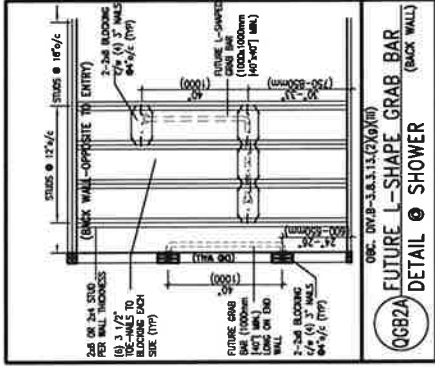
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.3.2.3.1. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb). REFER TO OBC, DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(g), & BATHTUB 3.8.3.13.(2)(g), & DETAILS PROVIDED BELOW.



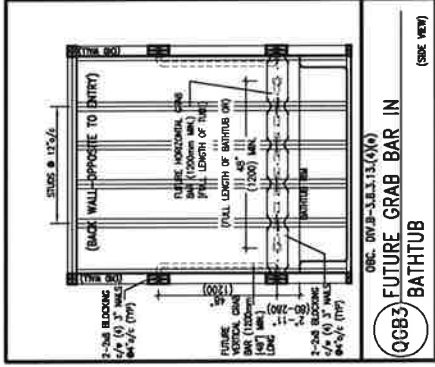
QCB1A FUTURE L-SHAPE GRAB BAR DETAIL TOILET (ONLY IF SIDE WALL PRESENT)



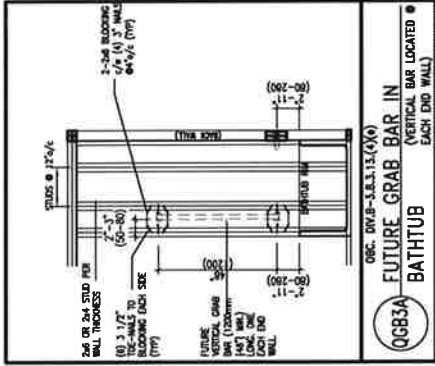
QCB2 FUTURE GRAB BAR IN SHOWER (VERTICAL BAR LOCATED EACH END WALL)



QCB2A FUTURE L-SHAPE GRAB BAR DETAIL SHOWER (BACK WALL)



QCB3 FUTURE GRAB BAR IN BATHTUB (SIDE WALL)



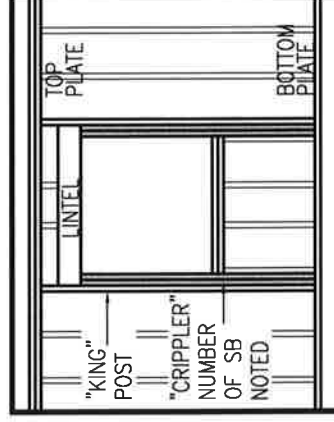
QCB3A FUTURE GRAB BAR IN BATHTUB (VERTICAL BAR LOCATED EACH END WALL)

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
1. 2"x4" @ 16" O.C. - 9'-10"
2. 2"x4" @ 12" O.C. - 10'-9"
3. 2"x4" @ 16" O.C. - 11'-2"
4. 2"x4" @ 12" O.C. - 12'-4"
NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0") PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:**
1. 2"x6" @ 16" O.C. - 12'-6"
2. 2"x6" @ 12" O.C. - 13'-10"
3. 2"x6" @ 16" O.C. - 15'-0"
4. 2"x6" @ 12" O.C. - 17'-4"
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
1. 2"x8" @ 16" O.C. - 16'-0"
2. 2"x8" @ 12" O.C. - 17'-9"
3. 2"x8" @ 16" O.C. - 20'-4"
4. 2"x8" @ 12" O.C. - 22'-4"
NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0") PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
4. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1(2) FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST. 3.0m
KIT-EX-NOTE-2020.dwg



"CRIPPLER" DETAIL

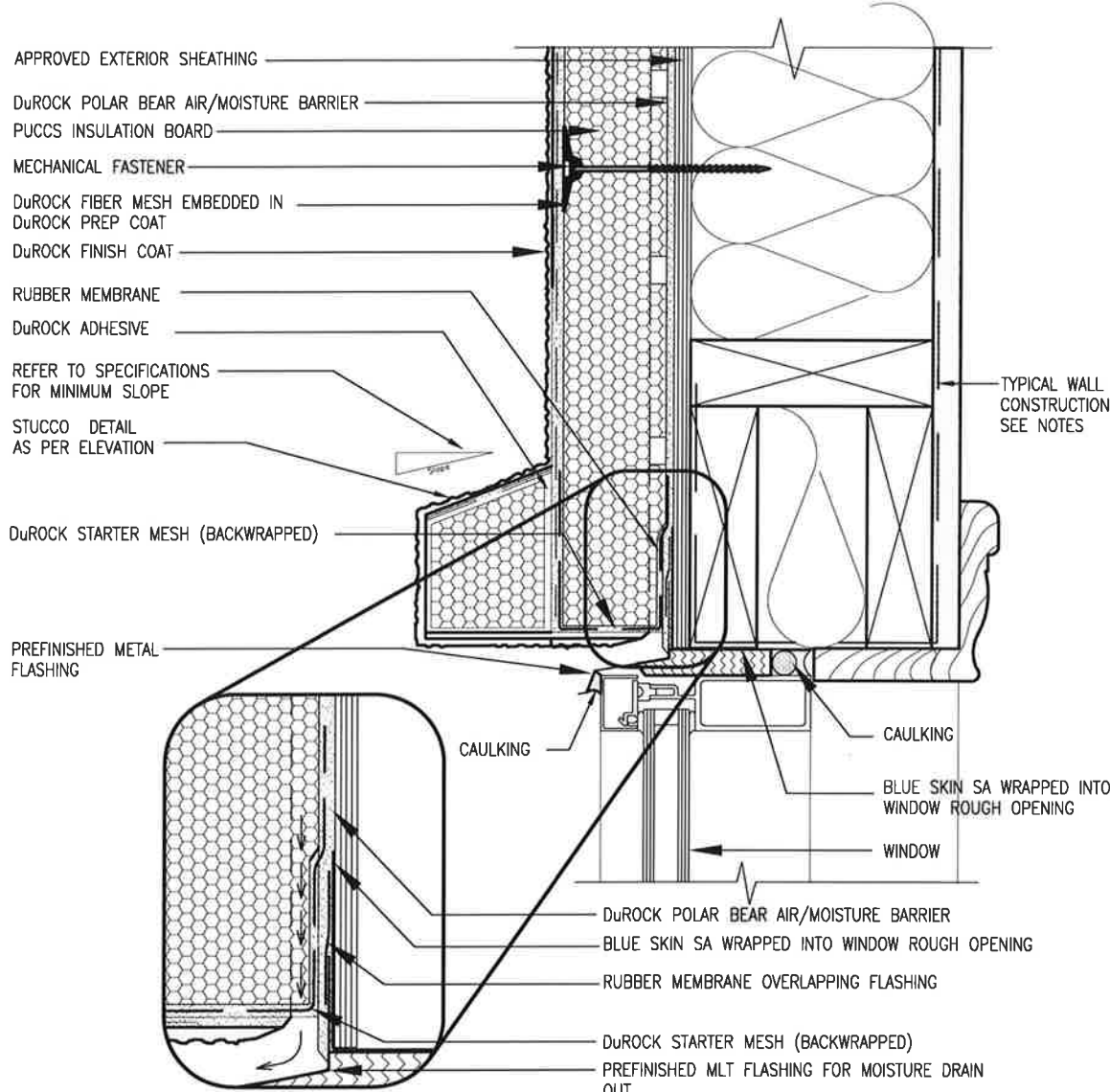


BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFILON.
project no.	13049	drawing no.	CN2
CONSTRUCTION NOTES			
date	MAY 2016	checked by	scale
drawn by	RC	3/16" = 1'-0"	
13049-CN-A1 VER 2020			
FILE NAME			
11114 AU			

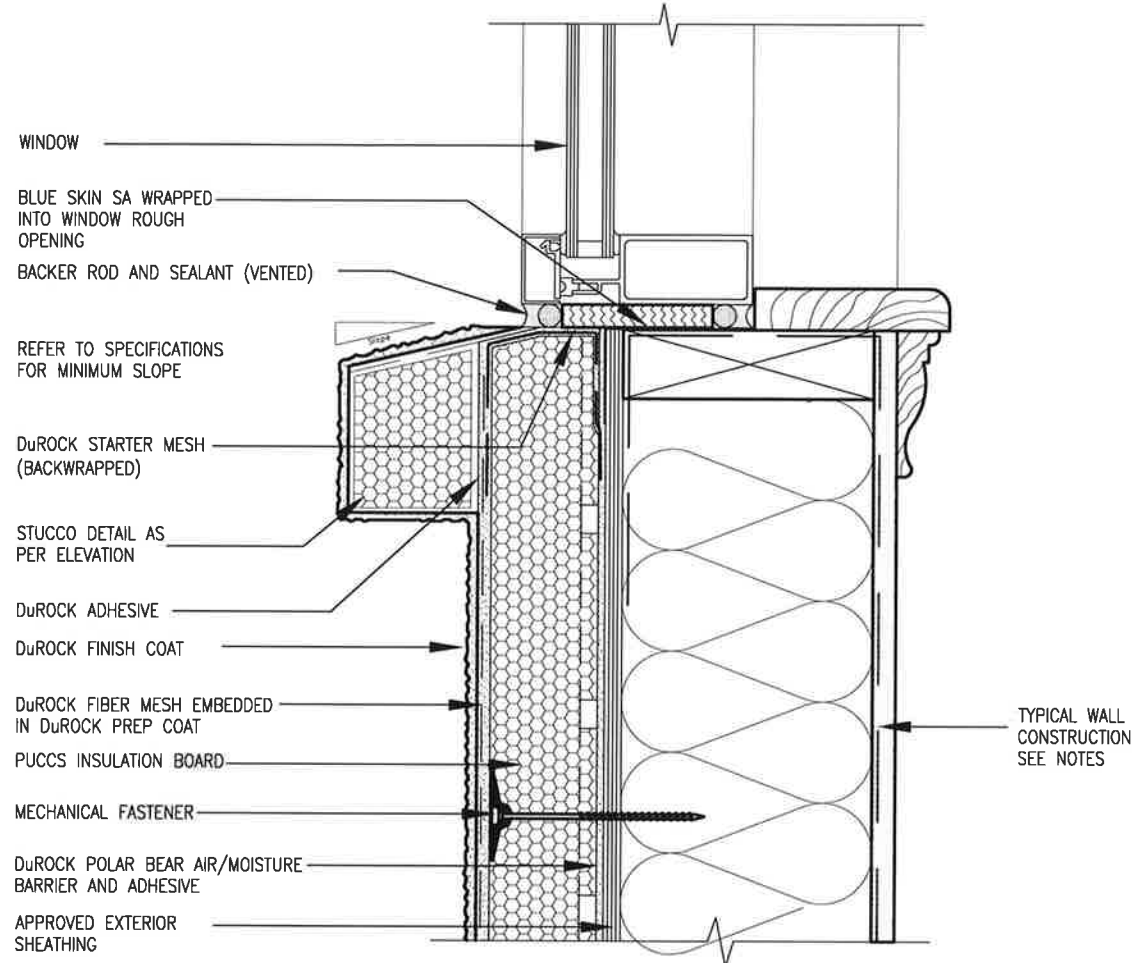
255 Consumers Rd Suite 120	
Scarborough, ON M2A 1R4	
t 416.650.7235 f 416.650.4782	
va3design.com	

9	-	-	-
8	-	-	-
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6	-	-	-
5	-	-	-
4	-	-	-
3	-	-	-
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE

BAYVIEW WELLINGTON

project name
ALCONA

project no.
13049

drawing no.
CN3

CONSTRUCTION NOTES

13049-CN-A1 VER 2020

file name
13049-CN-A1

date
MAY 2016

checked by
RC

scale
3/16" = 1'-0"

drawn by
RC

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
signature
name
Wellington Jno-Baptiste
registration information
VA3 Design Inc.
BCN
25591
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

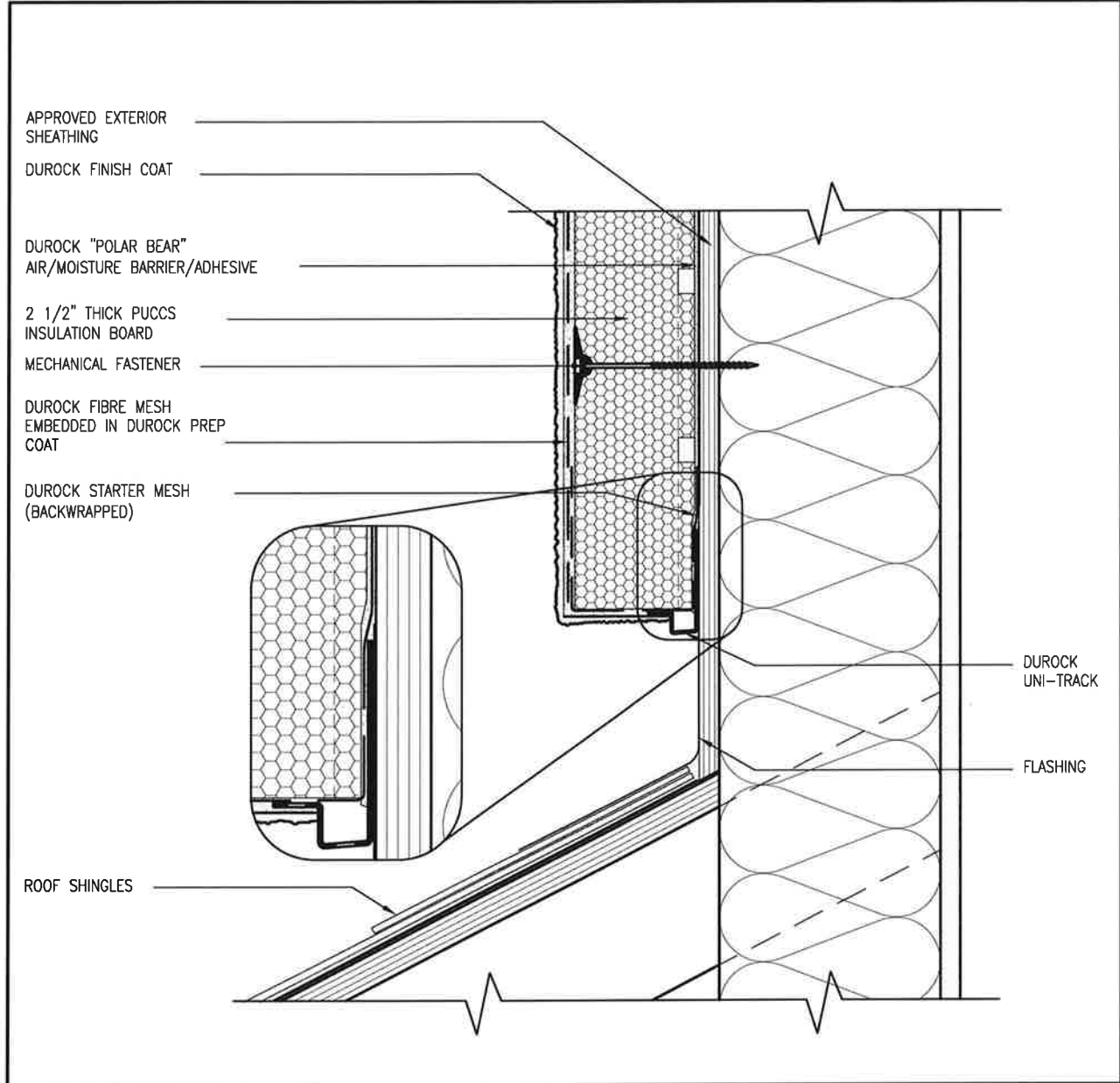
2 UPDATE TO OBC VER 2020
1 ISSUE FOR CLIENT REVIEW

FEB 09-21 RC
AUG 04-17 RC

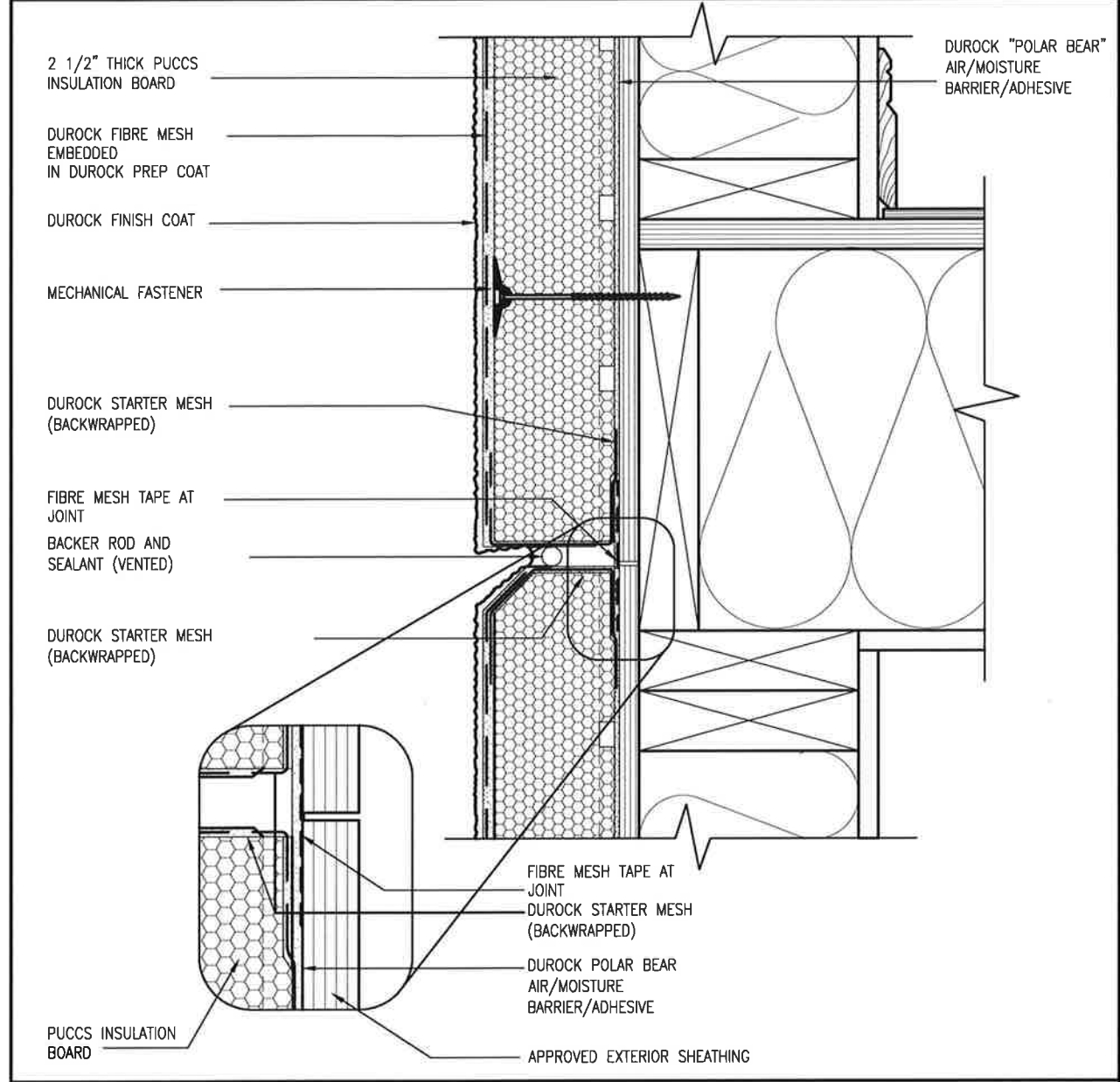
date

by

no. description



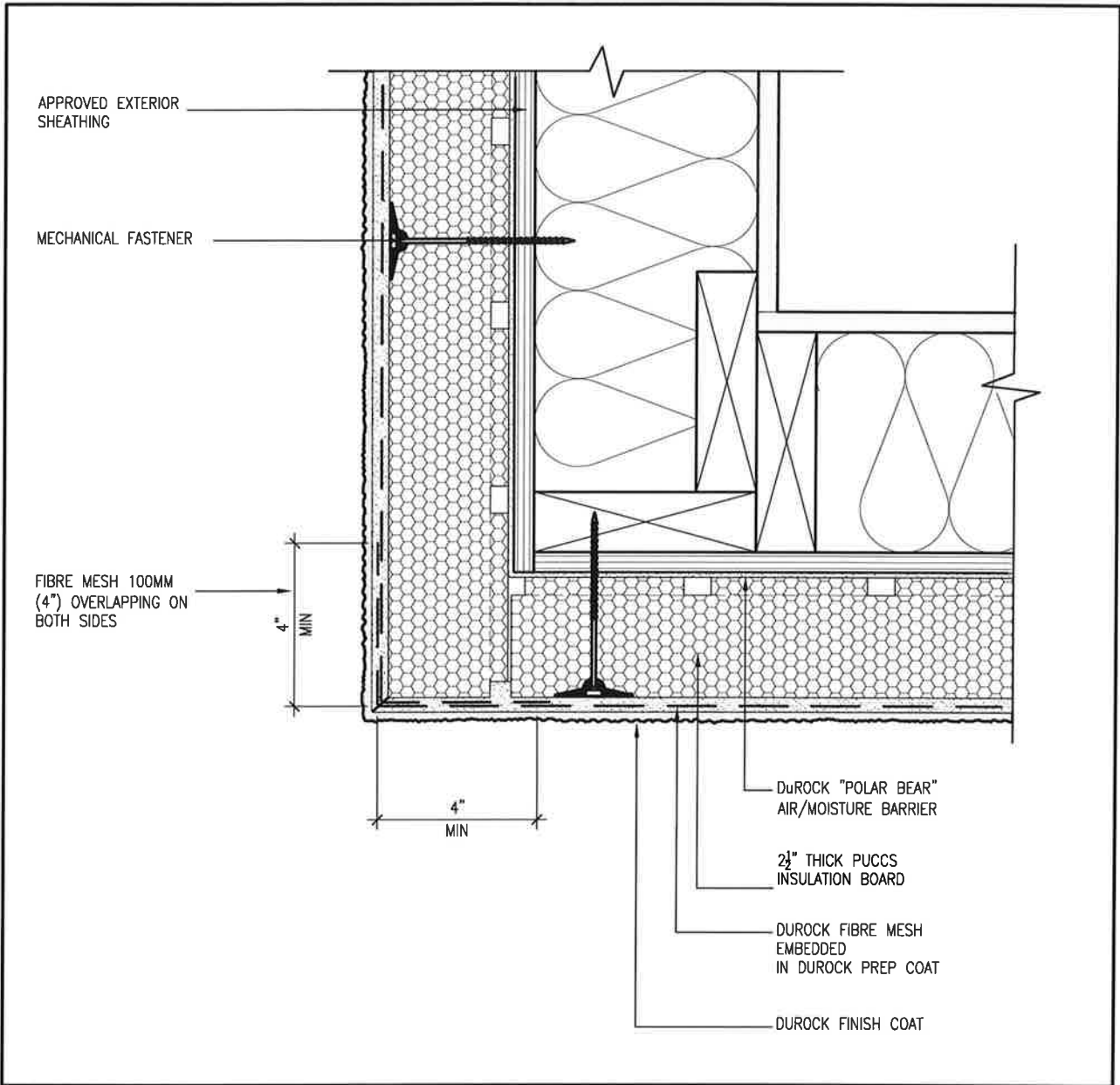
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

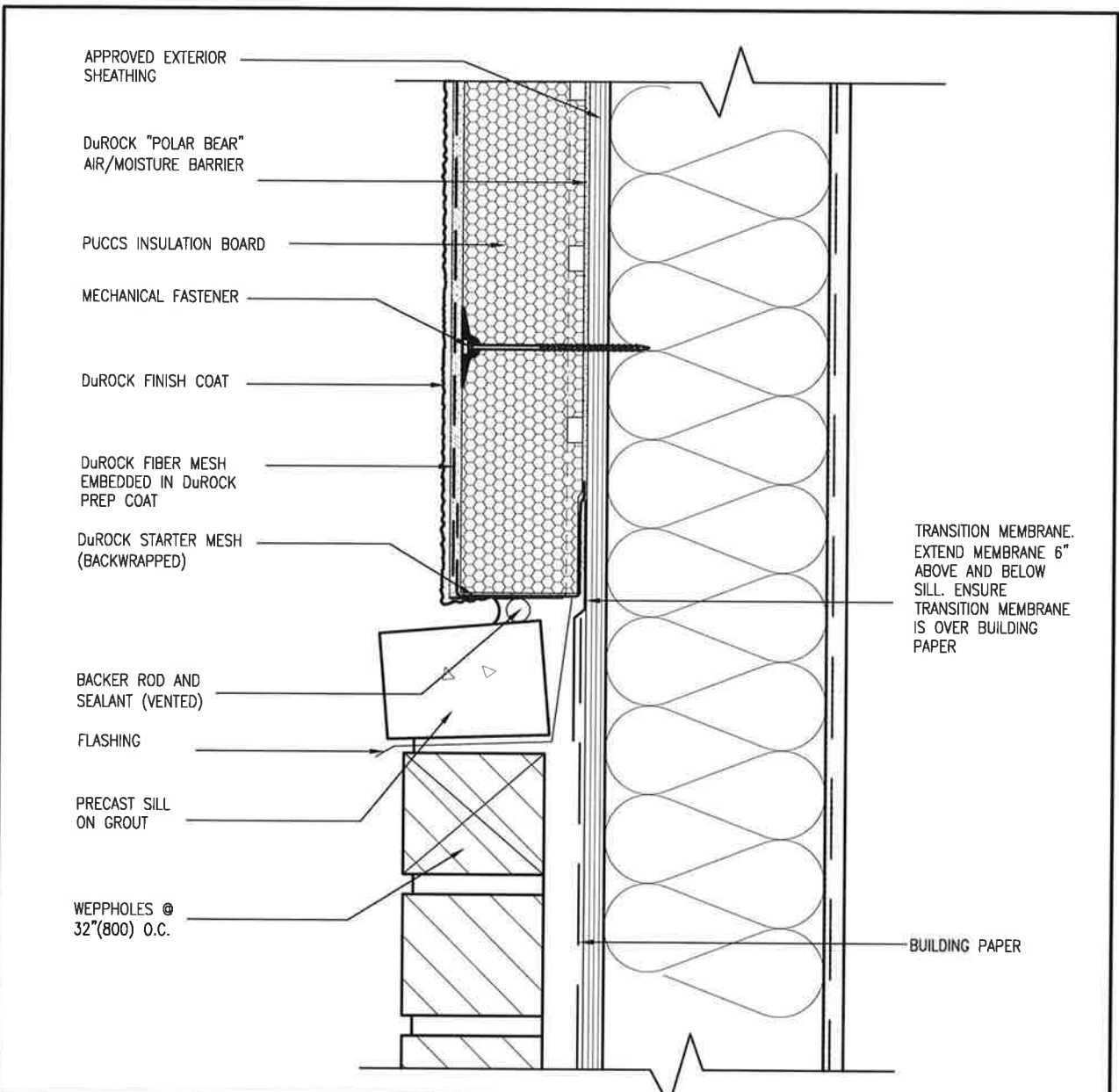
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		VA3 DESIGN	
project no.	13049	project name	ALCONA	255 Consumers Rd Suite 120	
drawing no.	CN4	municipality	INNISFIL, ON.	Toronto ON M2J 1R4	
CONSTRUCTION NOTES		date	MAY 2016	416.630.2255 T 416.630.4782	
the name		scale	3/16" = 1'-0"	va3design.com	
13049-CN-A1 VER 2020		checked by	RC		
RICHARD - H. VARCHER, WORKING 2013.1.1049 BAYVIEW, ON. Notes 13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM		drawn by	RC		
9					
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2	UPDATE TO OBC VER 2020	FEB 09-21	RC		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

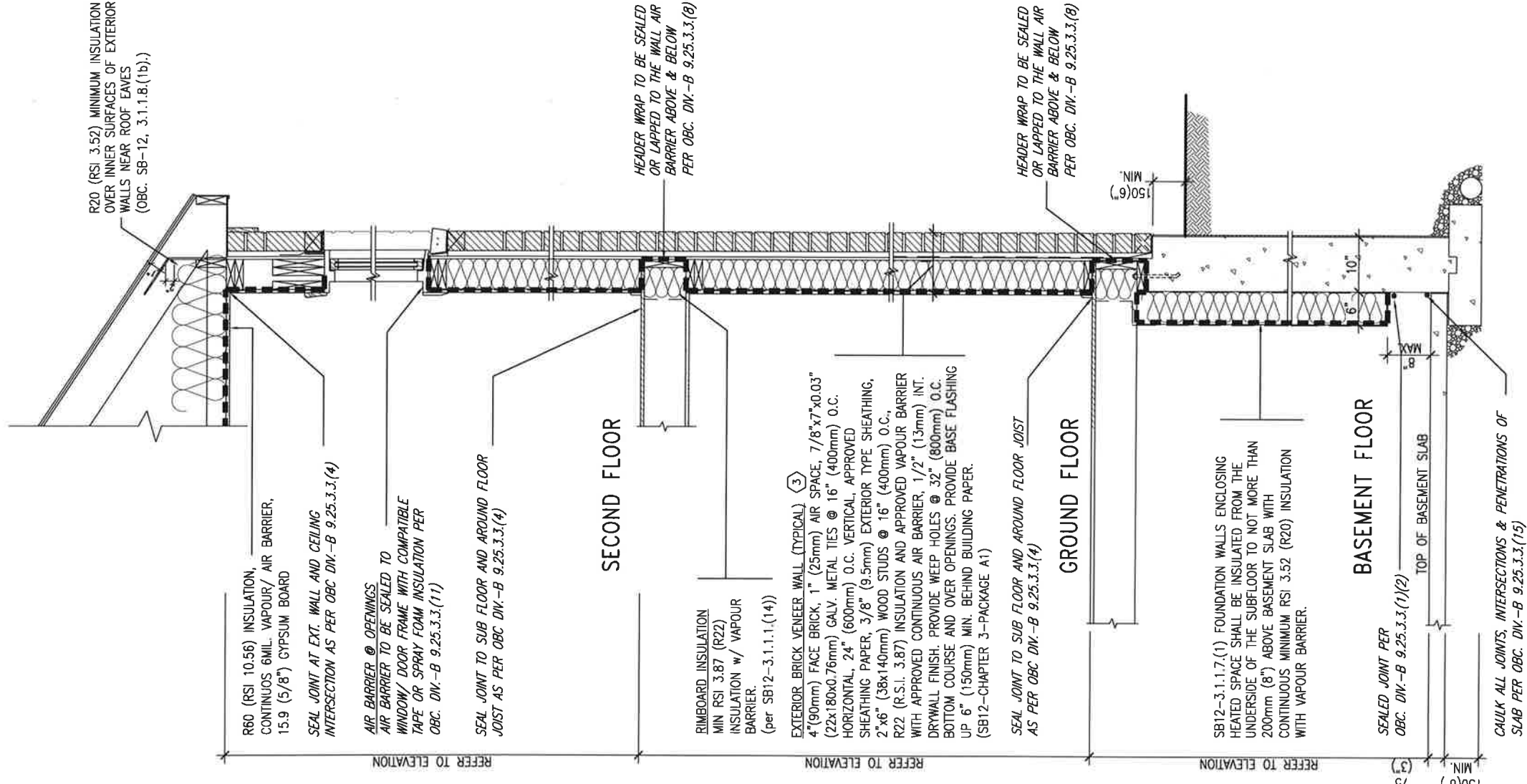


6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA		project no. 13049	
municipality INNISFIL, ON.		drawing no. CN5	
date MAY 2016		checked by RC	
scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020	
drawn by RC		revision 13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM	
255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2235 f 416.630.4782 va3design.com		CONSTRUCTION NOTES	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		1. UPDATE TO OBC VER 2020	
Wellington Jno-Baptiste signature VA3 Design Inc.		2. ISSUE FOR CLIENT REVIEW	
name VA3 Design Inc.		no. description	
registration information BCN 42658		date by	
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		AUG 04-17 RC	

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1-COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

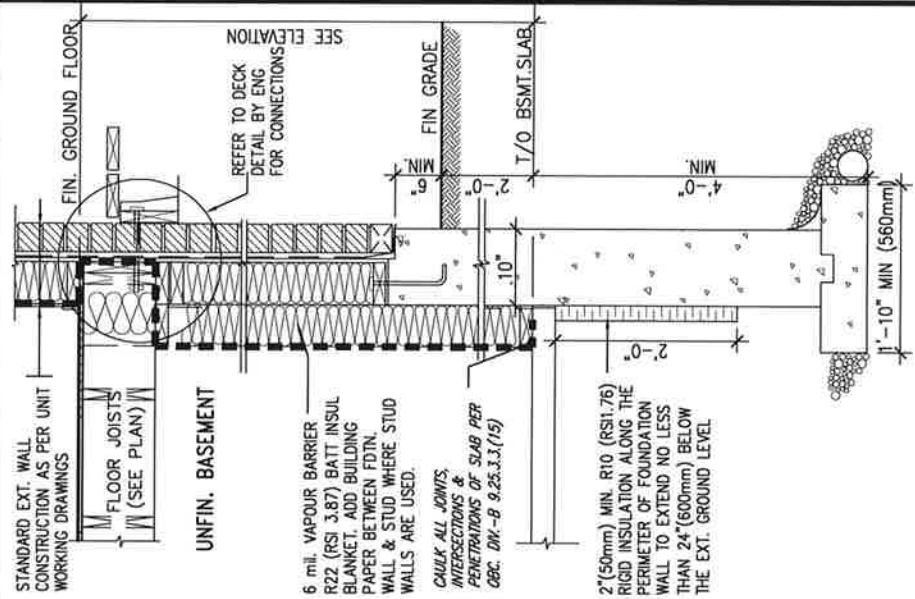
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):			
COMPONENT	A1	Notes:	
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls	
Minimum RSI (R) value			
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Exposed Floor	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Walls Above Grade	3.87 (R22)	6" R22 BATT	
Minimum RSI (R) value			
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.	
Minimum RSI (R) value			
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL	
≤600mm below grade			
Minimum RSI (R) value			
Windows & Sliding glass Doors	1.6		
Maximum U-value			
Skylights	2.8U		
Maximum U-value			
Space Heating Equipment	96% Min.	NATURAL GAS	
Minimum AFUE			
Hot Water Heater	0.8	NATURAL GAS	
Minimum EF			
HRV	75%	-	
Minimum Efficiency			
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous insulation without framing interruption.



FEB 9, 2021



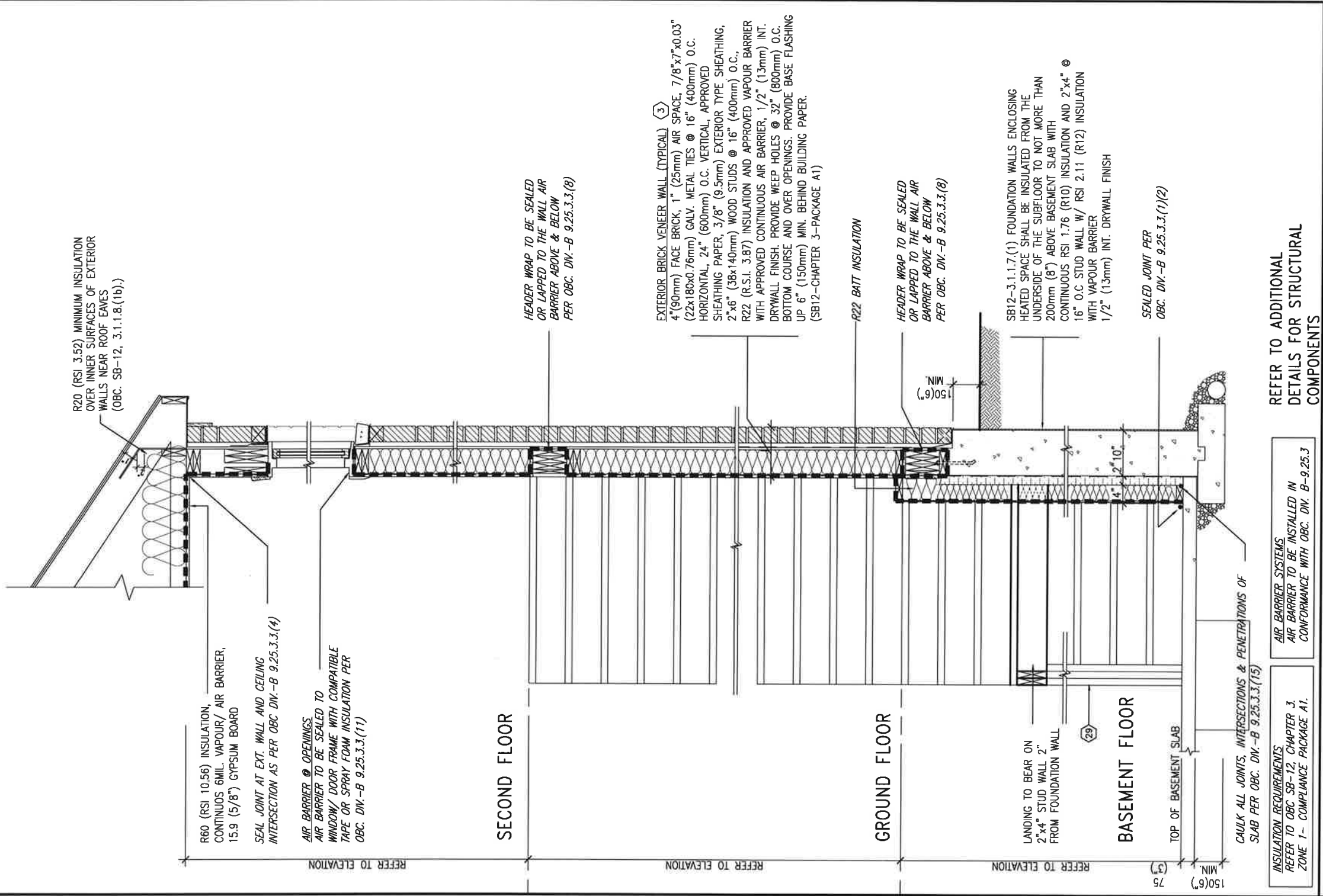
* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

BAYVIEW WELLINGTON		CONST NOTE	
Project name	ALCONA	municipality	INNISFILON.
date	MAY 2016	checked by	3/16" = 1'-0"
drawn by	RC	scale	
CONSTRUCTION NOTES	13049-CN-A1 VCR 2020		
file name	CN6		
project no.	13049		
drawing no.	13049		
no. description	2 UPDATE TO OBC VER 2020		
1	ISSUE FOR CLIENT REVIEW		
date	FEB 09-21 RC	date	AUG 04-17 RC
signature	Wellington Jno-Baptiste	signature	Wellington Jno-Baptiste
registration information	25591	registration information	42658
name	Wellington Jno-Baptiste	name	Wellington Jno-Baptiste
company	VAS Design Inc.	company	VAS Design Inc.
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

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SB12-COMPLIANCE PACKAGE 'A1'



AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

EW
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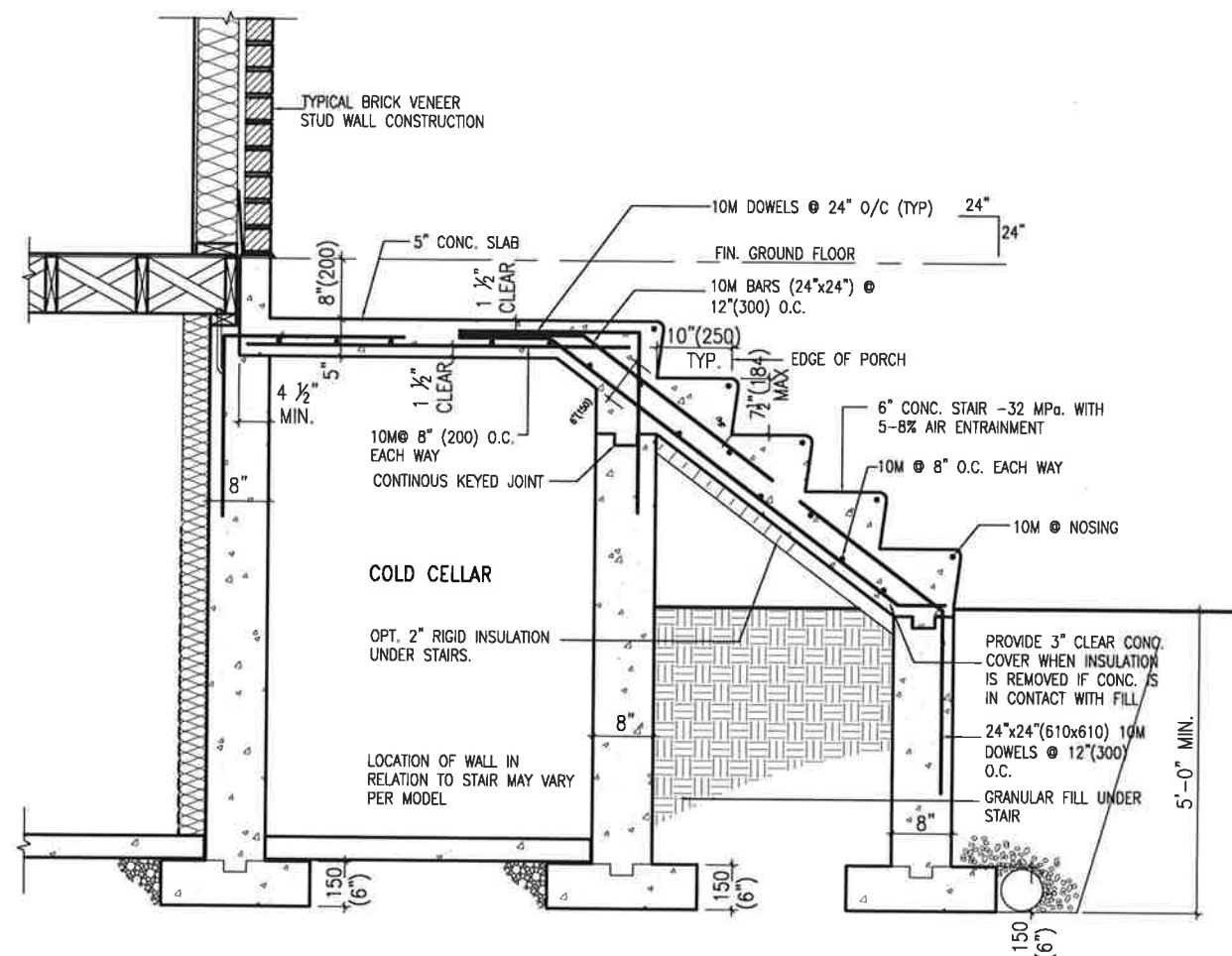
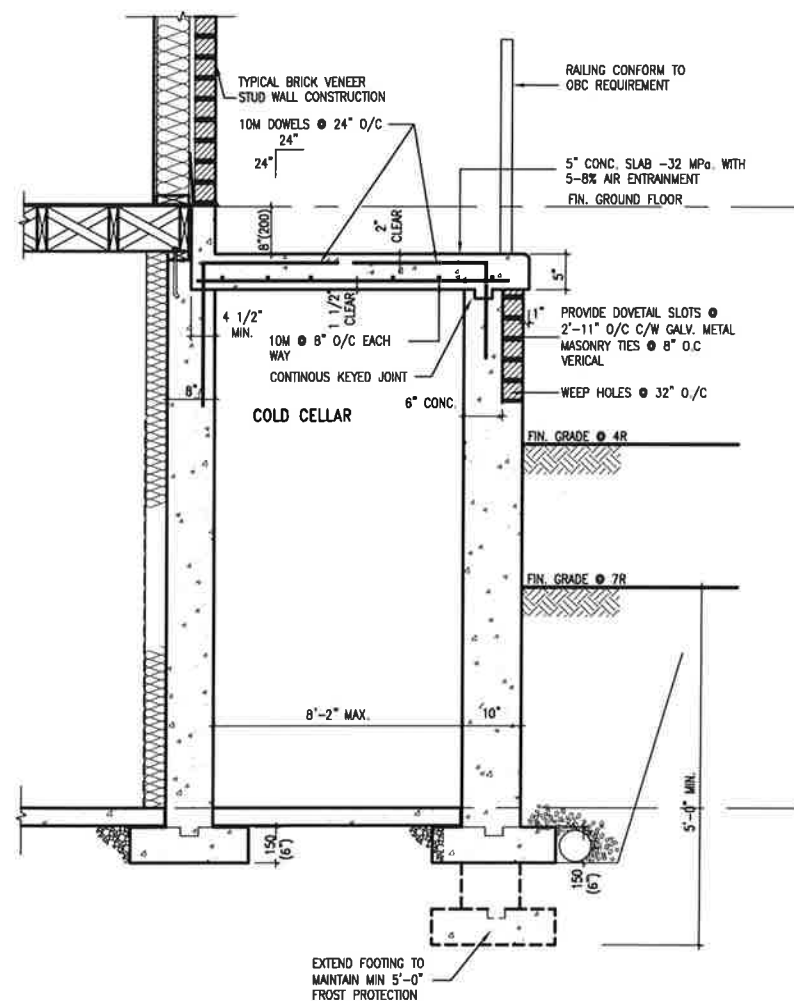
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL SCALE: N.T.S.

9	-	-	The undersigned has reviewed and takes responsibility for this design
8	-	-	and certifies that the design meets the requirements set out in the
7	-	-	Ontario Building Code to be a Designer
6	-	-	qualification information
5	-	-	Welling Jno-Baptiste 25591
4	-	-	name registration information BCN
3	-	-	VA3 Design Inc. 42558
2	UPDATE TO CBC VER 2020	FEB 09-21	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	drawings are the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by

VA3 DESIGN
255 Consumers Rd. Suite 1202
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t 416.630.2255 f 416.630.4787
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFILLON.
date	MAY 2016	project no.	13049
drawn by	RC	drawing no.	CN7
checked by	-	CONSTRUCTION NOTES	
scale	$3/16" = 1'-0"$	file name	13049-CN-A1
			VER 2020



VA33
DESIGN
5 Consumers Rd Suite 1
Toronto ON M2J 1R4
16.630.2255 f 416.630.4111
va33design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and needs the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Info-Bopiste 25591
name *W. Bopiste* BCN
registration information *Designate*
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

no.	description		date	by
9		*	*	
8		*	*	
7		*	*	
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4		*	*	
3		*	*	
2	UPDATE TO ABC VER 2020		FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW		AUG 04-17 RC	

