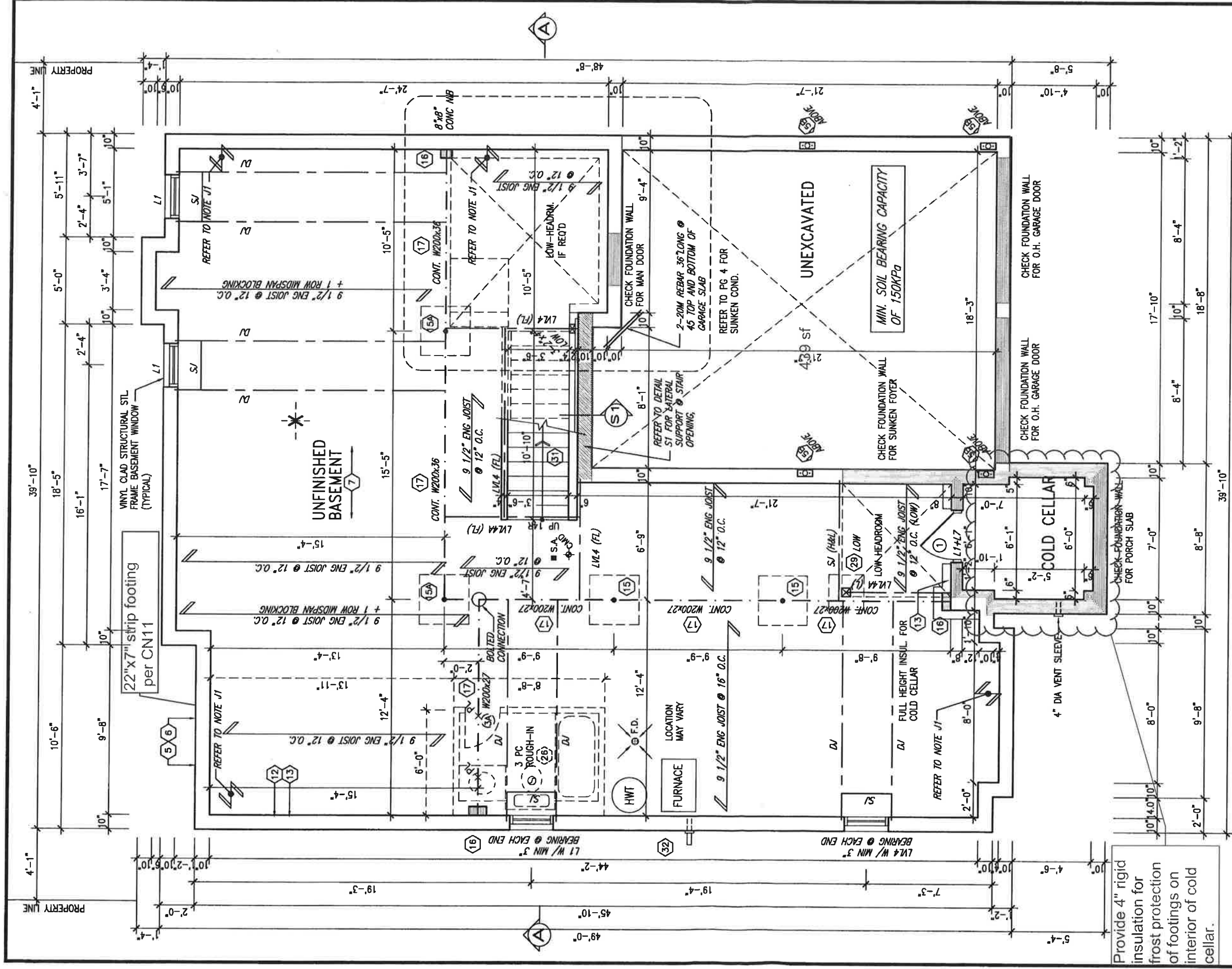




BASEMENT PLAN 'A'

Town of Innisfil Certified Model
02/12/2017 10:36:39 AM kgervais

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LV'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

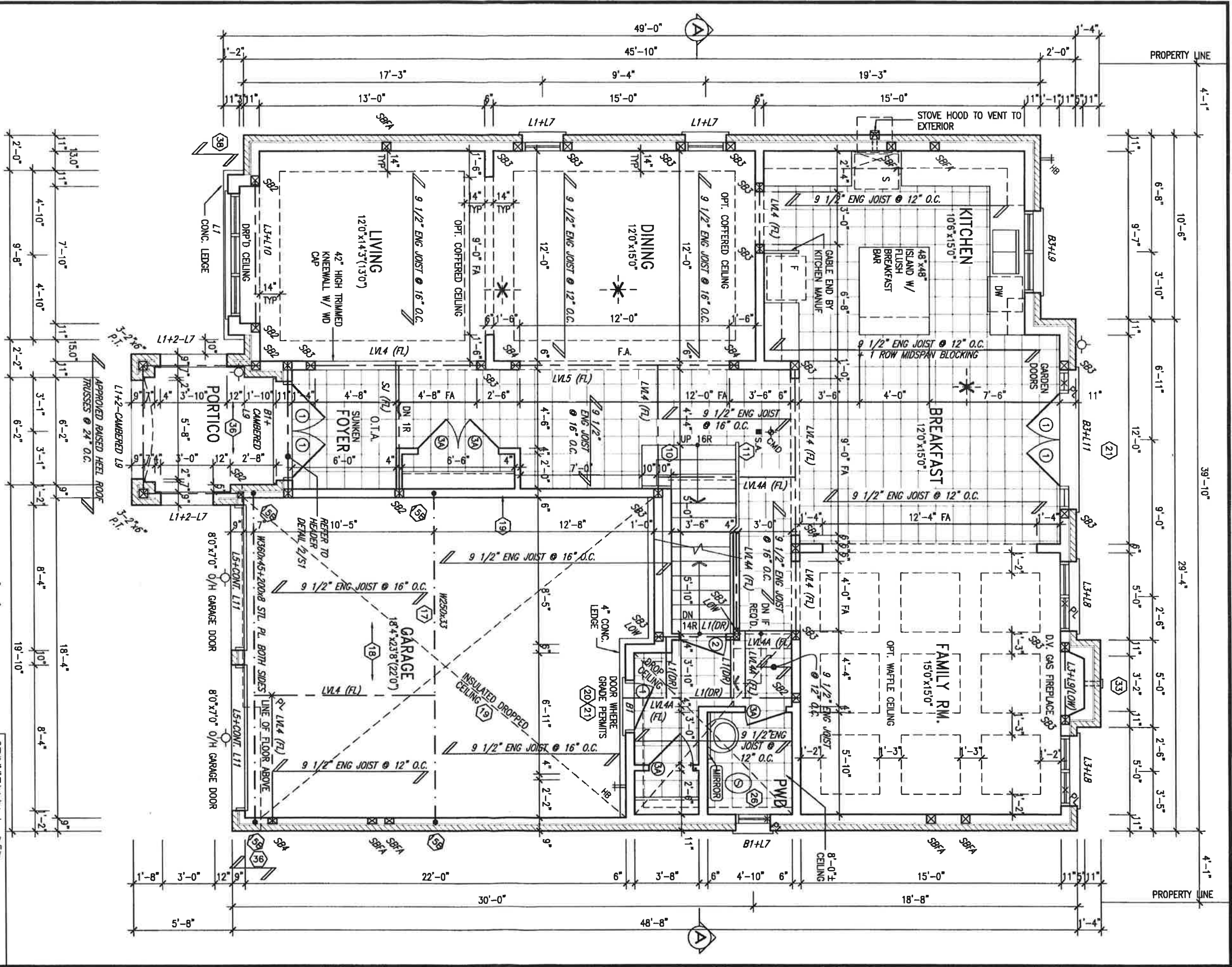
NOTE: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 5



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

Project name		BAYVIEW WELLINGTON		S48-2	
Project no.		ALCONA		GOLDENEYE 2	
Date		NOV. 2015		13049	
Drawn by		RC		13049-S48-2	
Checked by		3/16" = 1'-0"		1	
Scale		3/16" = 1'-0"		1	
Project no.		INNISFIL, ONTARIO		13049	
Drawing no.		BASEMENT FLOOR PLAN 'A'		1	



NOTE: FLOOR FRAMING AND
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

Town of Innisfil Certified Model
02/12/2017 10:37:31 AM kgervais



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL

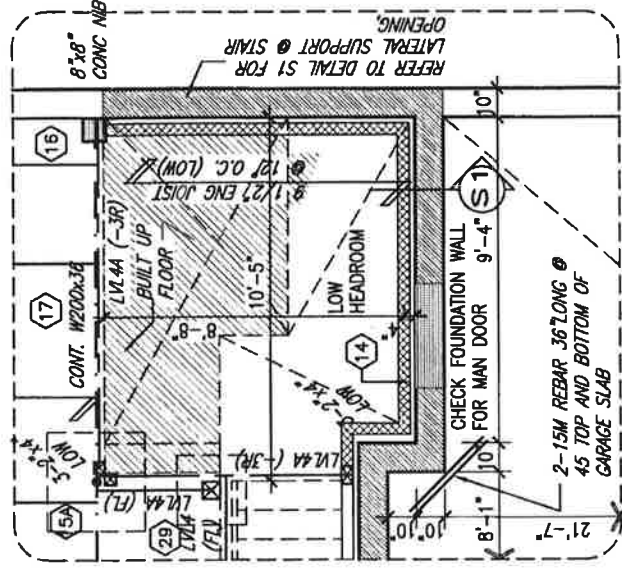
AUG 29 2017

John G. Williams Limited, Architect

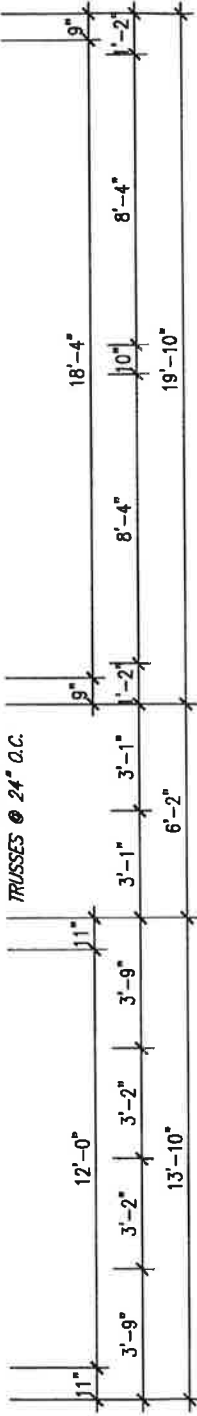
1	ISSUED FOR CLIENT REVIEW	SEPT 19/16 SB	date	by
2	REVISED INSULATION AT STAIRS	AUG 14/17 RC		
3	REVISED FIN WALLS TO 10"	AUG 03/17 SB		
4	REVISED AS PER ENG COMMENTS	AUG 14/17 RC		
5				
6				
7				
8				
9				

DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2L 1R4
416.530.2255 416.530.4782
vodafone.com

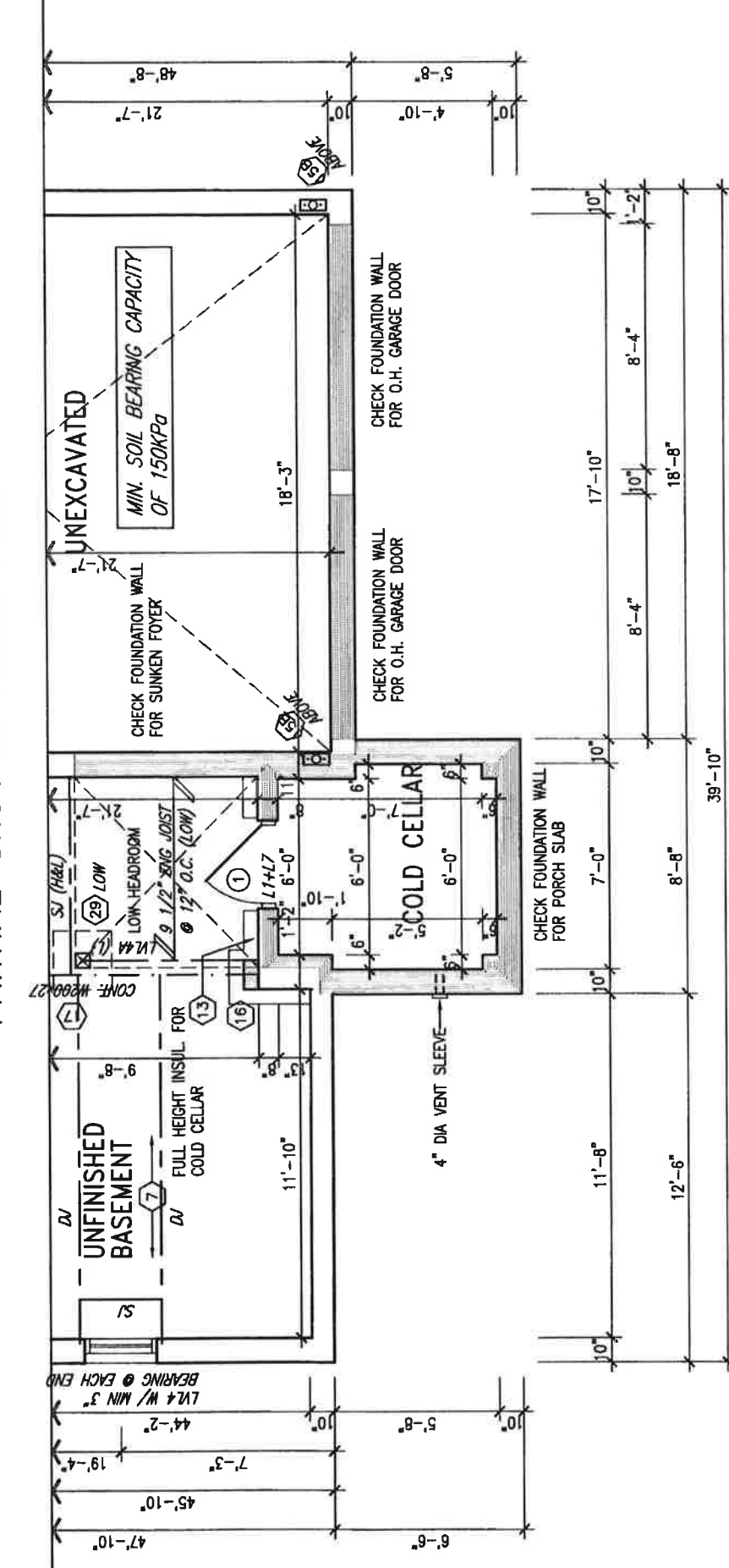
PROJECT name	BAYVIEW WELLINGTON	MUNICIPALITY	INNISFIL, ONTARIO	PROJECT no.	S48-2
ALCONA				GOLDENEYE 2	
date	NOV. 2015	checked by	3/16" = 1'-0"	GROUND FLOOR PLAN 'A'	
drawn by		scale		13049-S48-2	
RC				2	



PARTIAL SUNKEN
ENTRY -3R



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT PLAN 'B'

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (MP)

NO. DRAWING FILE NAME.		DATE		PROJECT		DESCRIPTION	
9		*		*			
8		*		*			
8		*		*			
7		*		*			
6		*		*			
5		*		*			
4	REVISED AS PER ENG COMMENTS						
3	REVISED FOR WALLS TO 10"						
2	REVISED INSULATION AT STAIRS						
1	ISSUED FOR CLIENT REVIEW						
no.	description						



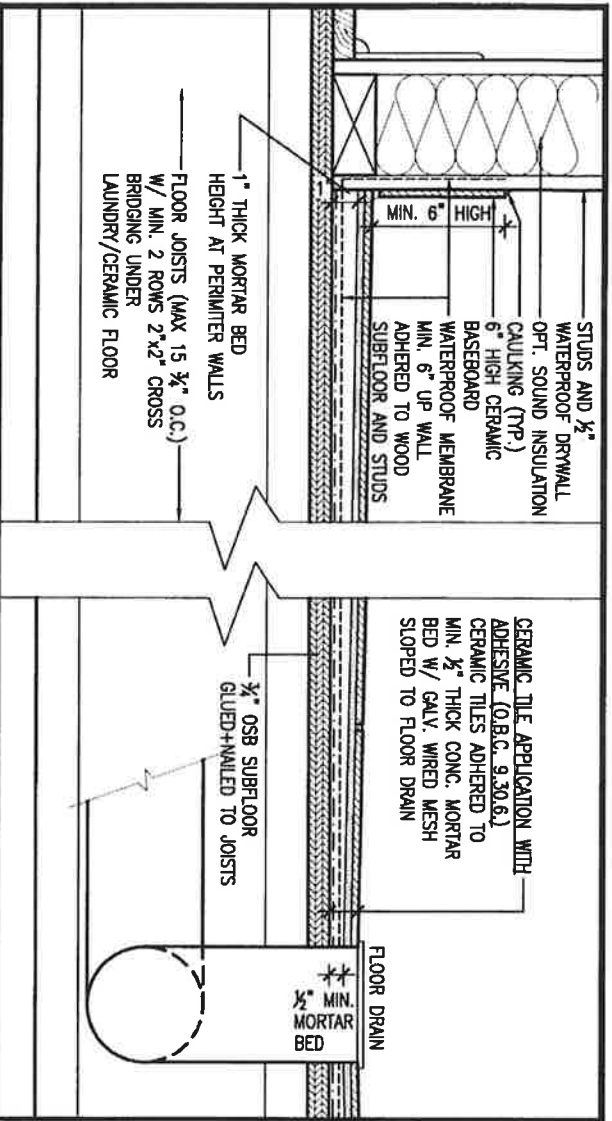
S48-2
GOLDENEYE 2

VA33 DESIGN
55 Consumers Rd Suite
Toronto ON M2J 1R4
416.630.2255 | 416.630.
vo3design.com

BAYVIEW WELLINGTON

GOLDENEYE 2
 13049-548-2
 ELEVATION 'B'
 4

All dimensions, specifications, related documents and design are the copyright property of V43 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V43 DESIGN's written permission.



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

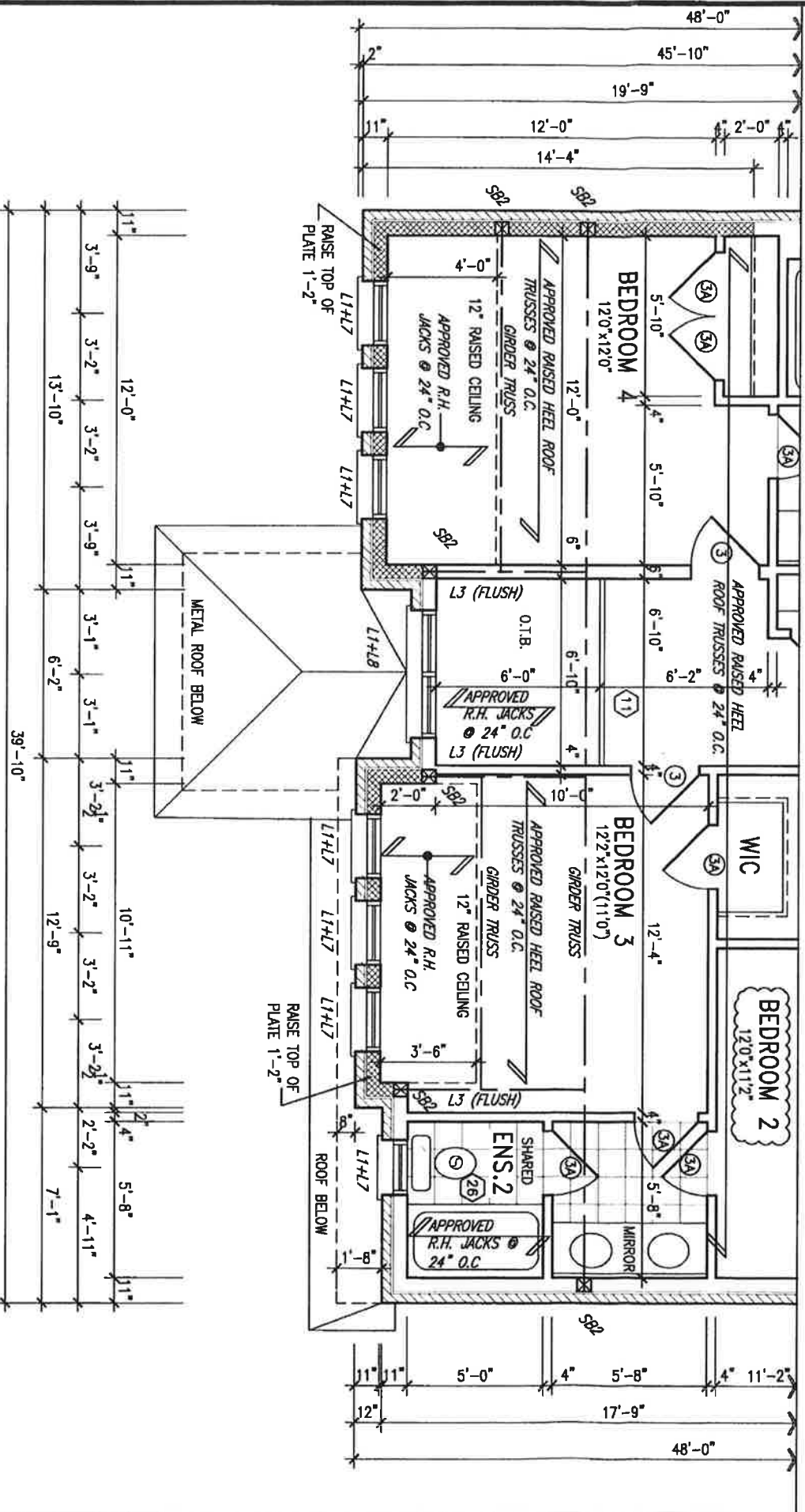
ARCHITECTURAL REVIEW & APPROVAL

AUG 22 2017

John G. Williams, Architect

DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA		1457 SF	1446 SF
SECOND FLOOR AREA		1869 SF	1869 SF
SUBTOTAL		3326 SF	3315 SF
DEDUCT ALL OPEN AREAS		41 SF	41 SF
TOTAL NET AREA		3285 SF	3274 SF
		(305.19 m ²)	(304.16 m ²)
FINISHED BSMT AREA		00 SF	00 SF
COVERAGE		1907 SF	1896 SF
W/OUT PORCH		(177.17 m ²)	(176.14 m ²)
COVERAGE		1974 SF	1963 SF
W/ PORCH		(183.39 m ²)	(182.37 m ²)



PARTIAL SECOND FLOOR PLAN 'B'

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO CBC: 9.5.2.3, 3.8.18.2(1)(a), 3.8.18.2(1)(c), 3.8.13.2(1) & 3.8.13.14(1)(c) AND DETAILS PROVIDED.

NOTE: ROOF FRAMING

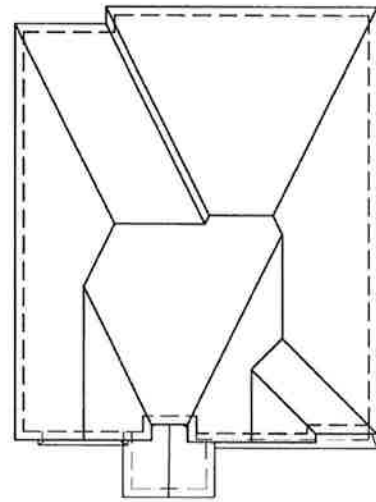
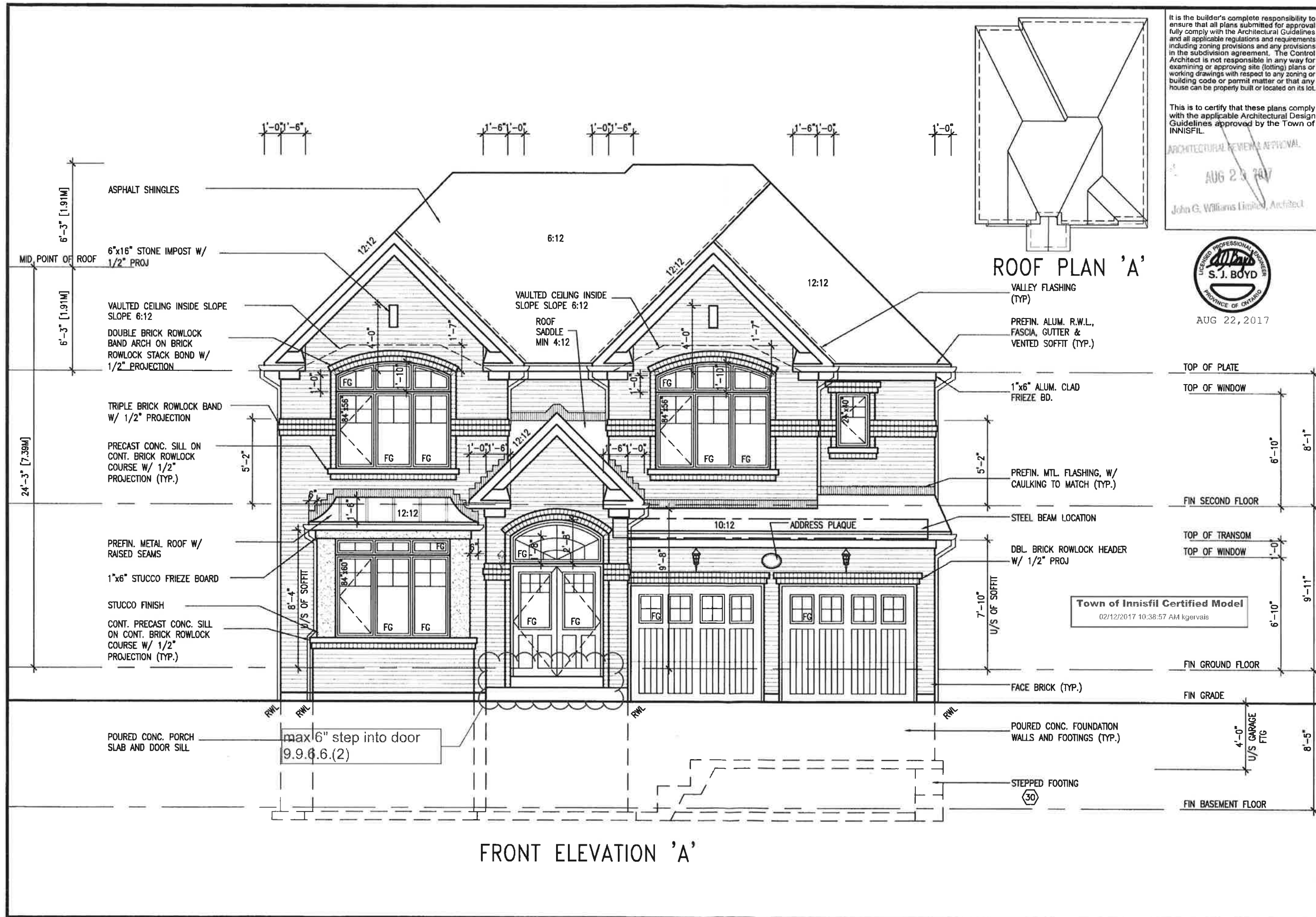
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

Town of Innisfil Certified Model

02/12/2017 10:38:05 AM kgervais



DESIGN		BAYVIEW WELLINGTON		S48-2	
255 Consumers Rd Suite 120 Toronto, ON M2L 1R4 1 416.630.2255 1 416.630.4782 vcdesign.com		INNISFIL, ONTARIO		GOLDENEYE 2	
Project name: ALCONA		City: NDY, 2015		Project no: 13049	
Drawn by: [Signature]		Checked by: 3/16" = 1'-0"		Scale: 13049-S48-2	
Date: [Signature]		Date: 3/16" = 1'-0"		Drawing no: 5	



ROOF PLAN 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

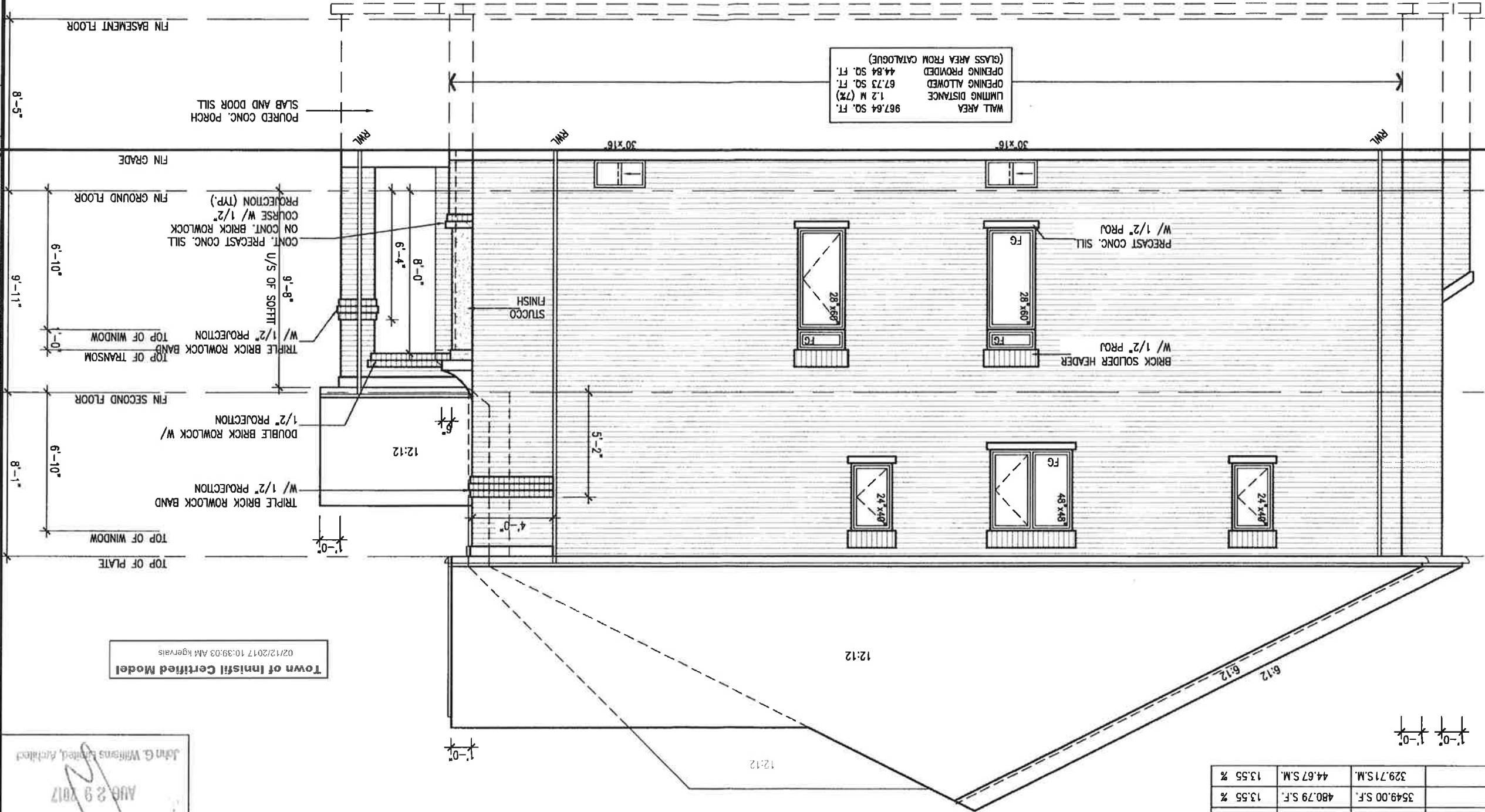
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 23 2017
John G. Williams Limited, Architect



BAYVIEW WELLINGTON		S48-2 GOLDENEYE 2	
Project name	ALCONA	Project no.	13049
City	INNISFIL, ONTARIO	Drawing no.	6
Date	NOV. 2015	Front Elevation A	
Scale	3/16" = 1'-0"	For notes	13049-S48-2
Checked by	RC	Scale	3/16" = 1'-0"
Town of Innisfil Certified Model 02/12/2017 10:38:57 AM kgervais			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591			
V.A.S. Design Inc. 42558			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 14-17 RC	
3	REVISED FIN WALLS TO 10"	JAN 03/17 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))				
ENERGY EFFICIENCY - OBC SB12				
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	824 S.F.	187,902 S.F.	22.80 %	
LEFT SIDE	968 S.F.	64 S.F.	6.61 %	
RIGHT SIDE	960 S.F.	32,667 S.F.	3.40 %	
REAR	797 S.F.	196,22 S.F.	24.62 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
		0 S.F.		
TOTAL SQ. FT.	3549.00 S.F.	480.79 S.F.	13.55 %	
TOTAL SQ. M.	329.71 S.M.	44.67 S.M.	13.55 %	



LEFT SIDE ELEVATION 'A'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

WALL AREA 967.64 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 67.73 SQ. FT.
OPENING PROVIDED 44.84 SQ. FT.
(GLASS AREA FROM CATALOGUE)

1. ISSUED FOR CLIENT REVIEW
2. REVISED INSULATION AT STAIRS
3. REVISED FIN WALLS TO 10"
4. REVISED AS PER ENG COMMENTS
- 5.
- 6.
- 7.
- 8.
- 9.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	SEPT 19/16 SB	SB
2	REVISED INSULATION AT STAIRS	JAN 03/17 SB	SB
3	REVISED FIN WALLS TO 10"	AUG 14-17 RC	RC
4	REVISED AS PER ENG COMMENTS		
5			
6			
7			
8			
9			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
1 416.530.2255 1 416.530.4782
v3design.com

BAYVIEW WELLINGTON
project name
ALCONA
date NOV, 2015
checked by
3/16" = 1'-0"
scale
LEFT SIDE ELEVATION 'A'
drawing no. 13049-548-2
project no. 13049

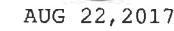
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and requirements and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW & APPROVAL
AUG 22 2017
John G. Williams Limited, Architect



Town of Innisfil Certified Model
02/12/2017 10:39:03 AM kgervais



John G. Williams Limited, Architect

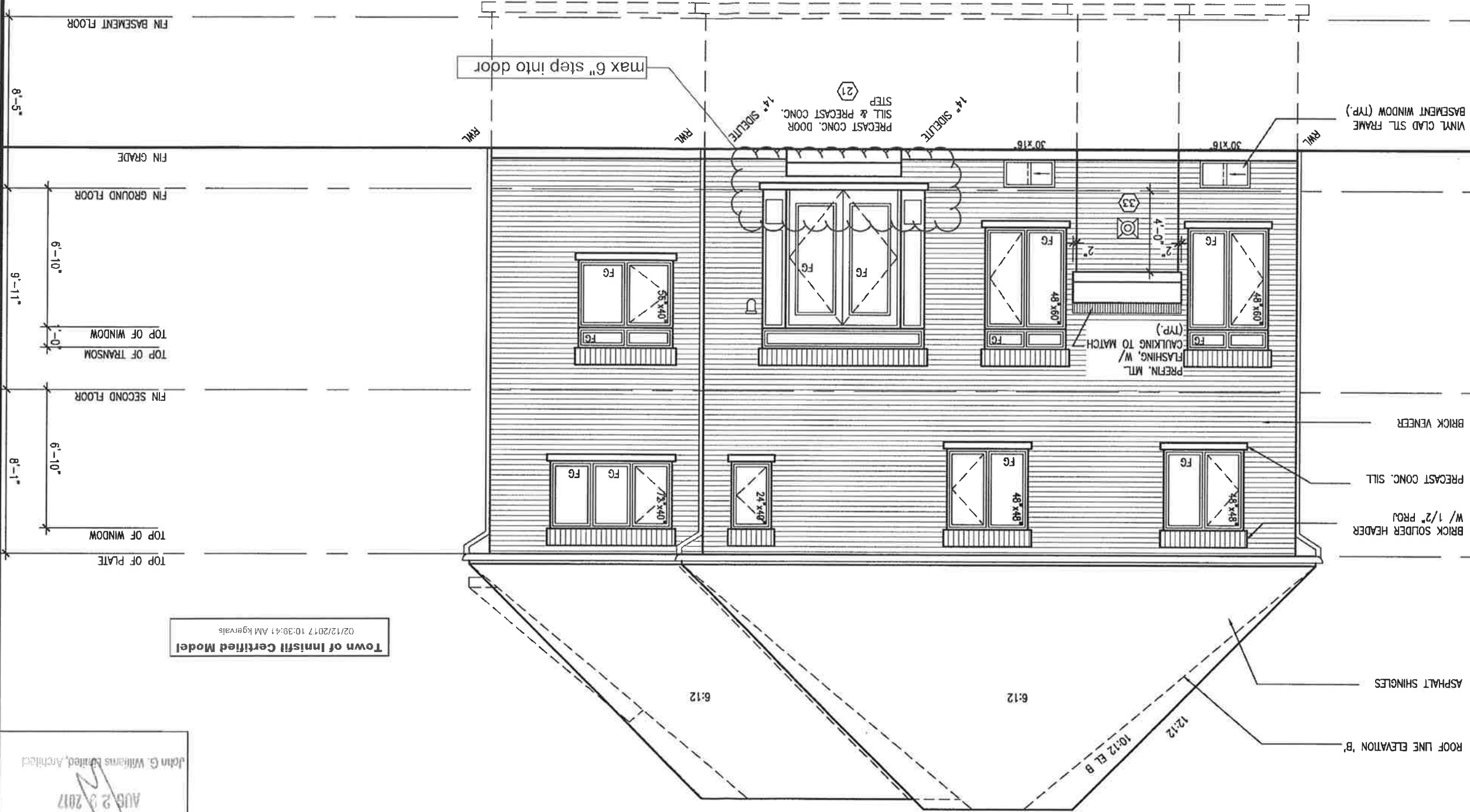
no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	..	..
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
3	REVISED FOR WALLS TO 10"	JAN 03/17	SB
4	REVISED AS PER ENG COMMENTS	AUG 14-17	RC
5			
6			
7			
8			
9			

[illegible]

RIGHT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

REAR ELEVATION A/B



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

1	ISSUED FOR CLIENT REVIEW	SEPT 19/18 SB	date	by
2	REVISED INSULATION AT STAIRS	JAN 03/17 SB		
3	REVISED FIN WALLS TO 10"	AUG 14-17 RC		
4	REVISED AS PER ENG COMMENTS			
5				
6				
7				
8				
9				

VAD DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2253 1 416.630.4782
vaddesign.com

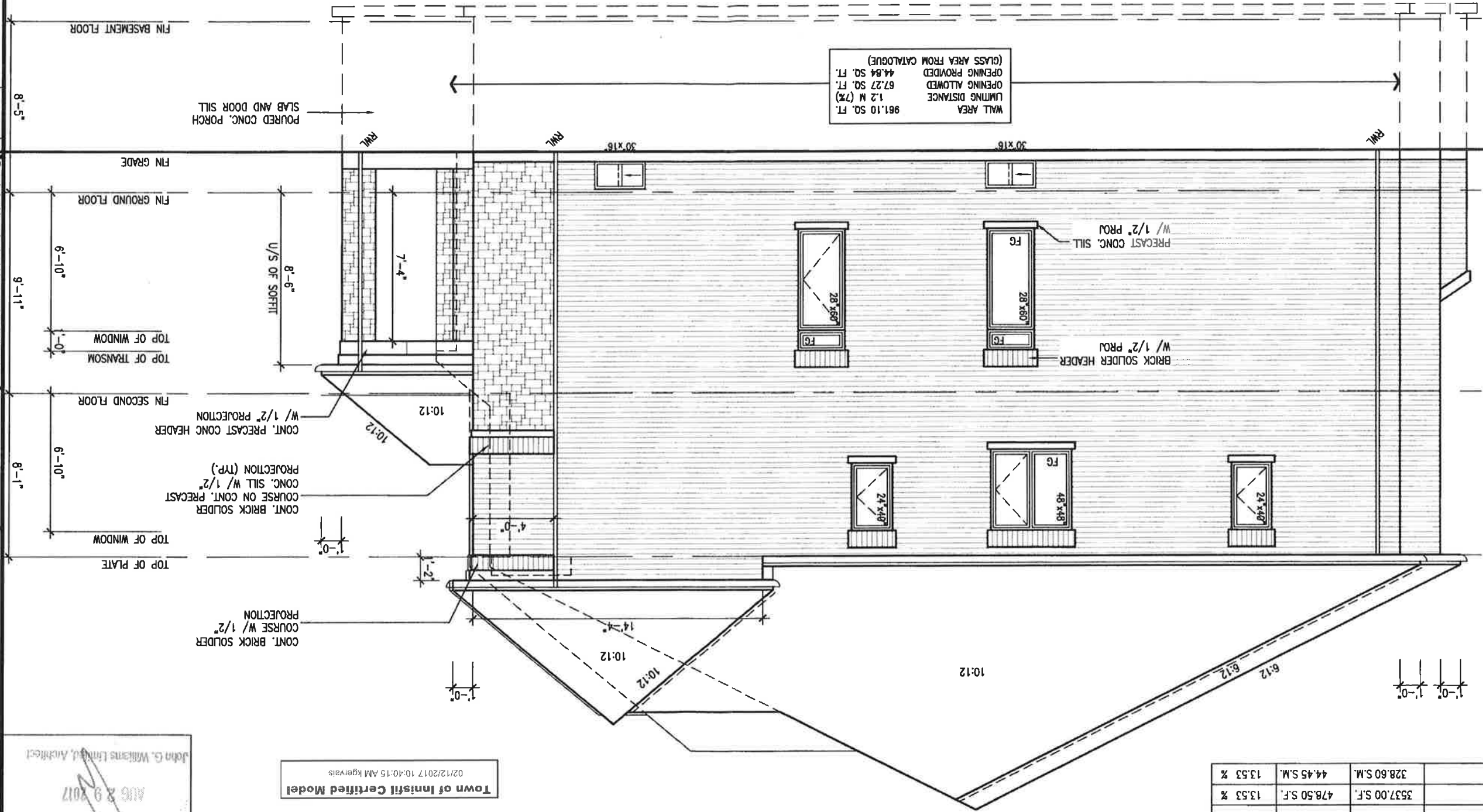
project name	BAYVIEW WELLINGTON	project no.	13049
client	ALCONA	drawing no.	9
date	NOV. 2015		
drawn by	JUSTIN		
checked by	3/16" = 1'-0"		
scale	13049-S48-2		
project name	ININISFIL, ONTARIO		
client	REAR ELEVATION		
date	13049-S48-2		
drawn by	9		

Town of Innisfil Certified Model
02/12/2017 10:39:41 AM kgervais

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of ININISFIL.
ARCHITECTURAL REVIEW & APPROVAL
AUG 22, 2017
John G. Williams Limited, Architect



UNINSULATED OPENINGS (PER OBC. SB-12,3.1(7))		S48-2 ELEVATION B		ENERGY EFFICIENCY - OBC SB12	
ELEVATION		WALL AREA S.F.		OPENING S.F.	
PERCENTAGE					
FRONT		820 S.F.		185.611 S.F.	
LEFT SIDE		960 S.F.		64 S.F.	
RIGHT SIDE		960 S.F.		32.667 S.F.	
REAR		797 S.F.		196.22 S.F.	
* OPENINGS OMITTED AS PER SB-12 3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0 S.F.	
TOTAL SQ. FT.		3537.00 S.F.		478.50 S.F.	
TOTAL SQ. M.		328.60 S.M.		44.45 S.M.	
%		13.53 %		13.53 %	



LEFT SIDE ELEVATION, B'

WALL AREA	961.10 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	67.27 SQ. FT.
OPENING PROVIDED	44.84 SQ. FT.
(GLASS AREA FROM CATALOGUE)	

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

no.	description	date	by
9	*	*	*
8	*	*	*
7	*	JAN 03/17	*
6	*	*	*
5	*	*	*
4	REVISED AS PER ENG. COMMENTS	AUG 14-17	RC
3	REVISED FDN WALLS TO 10"	JAN 03/17	SC
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SE
1	ISSUED FOR CLIENT REVIEW	*	*

The undersigned has reviewed and takes responsibility for this design and the use of the specifications and meets the requirements set out in the Design Briefing Code to be a Designer. qualification information Wellington John Bonfield <i>John Bonfield</i> 25591 none registration information VAS Design Inc. <i>John Bonfield</i> 42658	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
---	--

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.650.4782
vad@design.com

BAYVIEW WELLINGTON	S48-2 GOLDENEYE 2
project name ALCONA	project no. 13049
date NOV. 2015	drawing no. 11
drawn by RC	checked by 3/16" = 1'-0"
scale 3/16" = 1'-0"	file name 13049-S48-2
LEFT SIDE ELEVATION B	

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

AUG 22, 2017



Town of Innisfil Certified Model
02/12/2017 10:40:15 AM kgervais

It is the builder's complete responsibility to ensure that all plans are submitted for approval and all applicable regulations and requirements are fully complied with. Architectural Guidelines in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

INNISFIL.

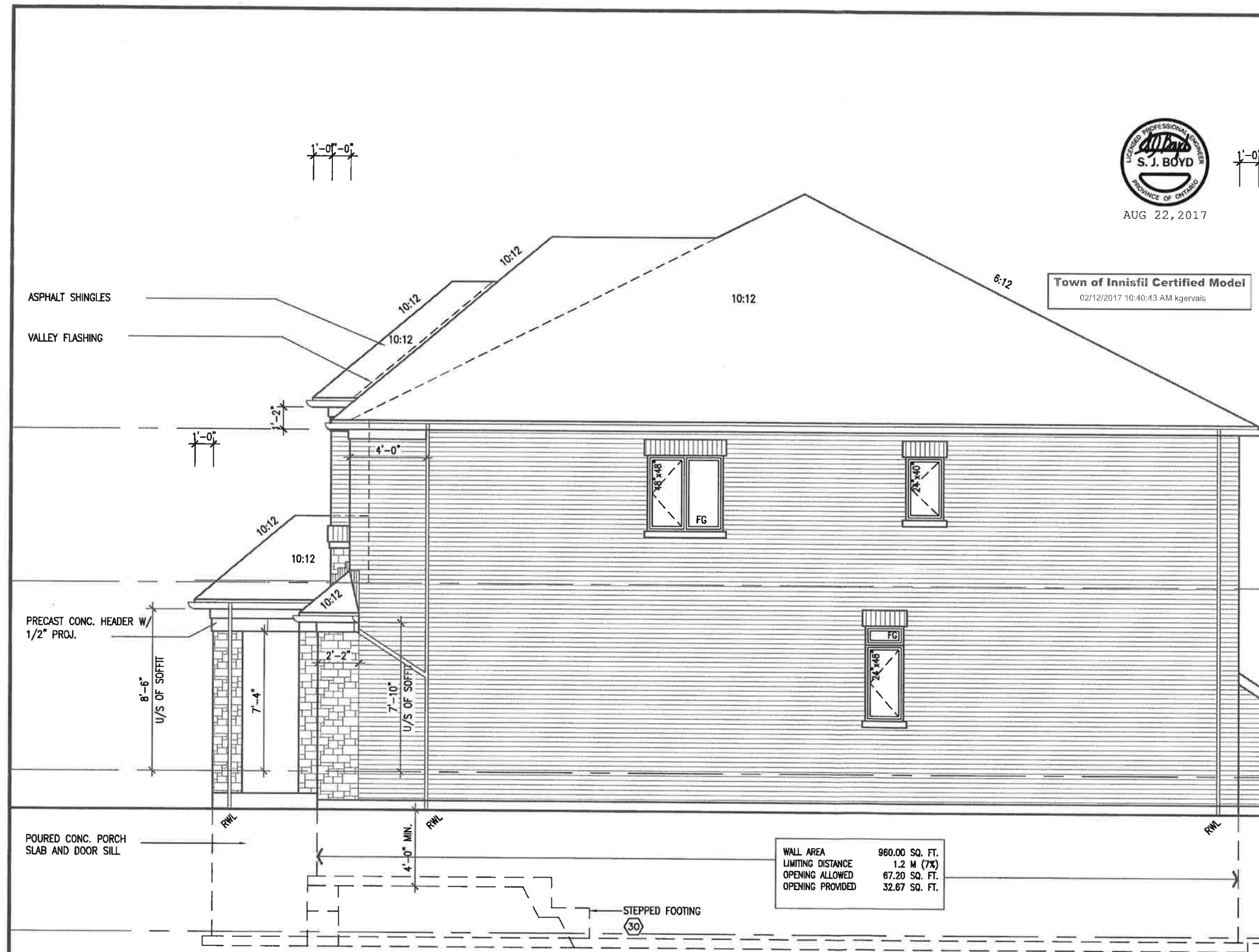
Architectural Review & Approval

AUG 8 9 2017

John G. Williams Limited, Architect

ARCHITECTURAL REVIEW & APPROVAL
AUG 8 9 2017
John G. Williams Limited, Architect

It is the builders' complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way when working drawings with respect to any zoning, building code or permit matter or that a house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of Innisfil.



RIGHT SIDE ELEVATION 'B'

WALL AREA	960.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	67.20 SQ. FT.
OPENING PROVIDED	32.67 SQ. FT.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

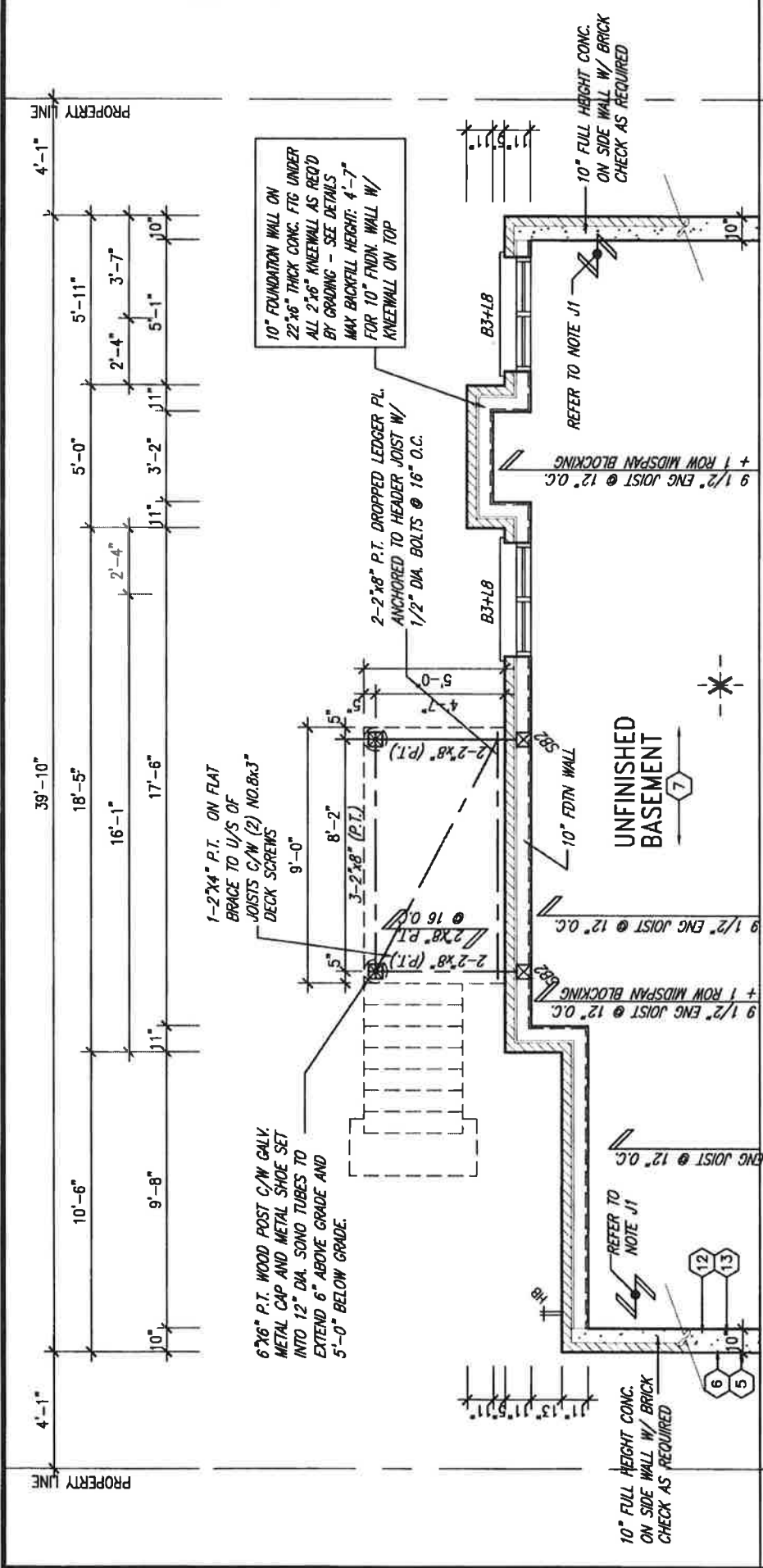
ARCHITECTURAL REVIEW & APPROVAL
AUG 29 2017
John G. Williams Limited, Architect



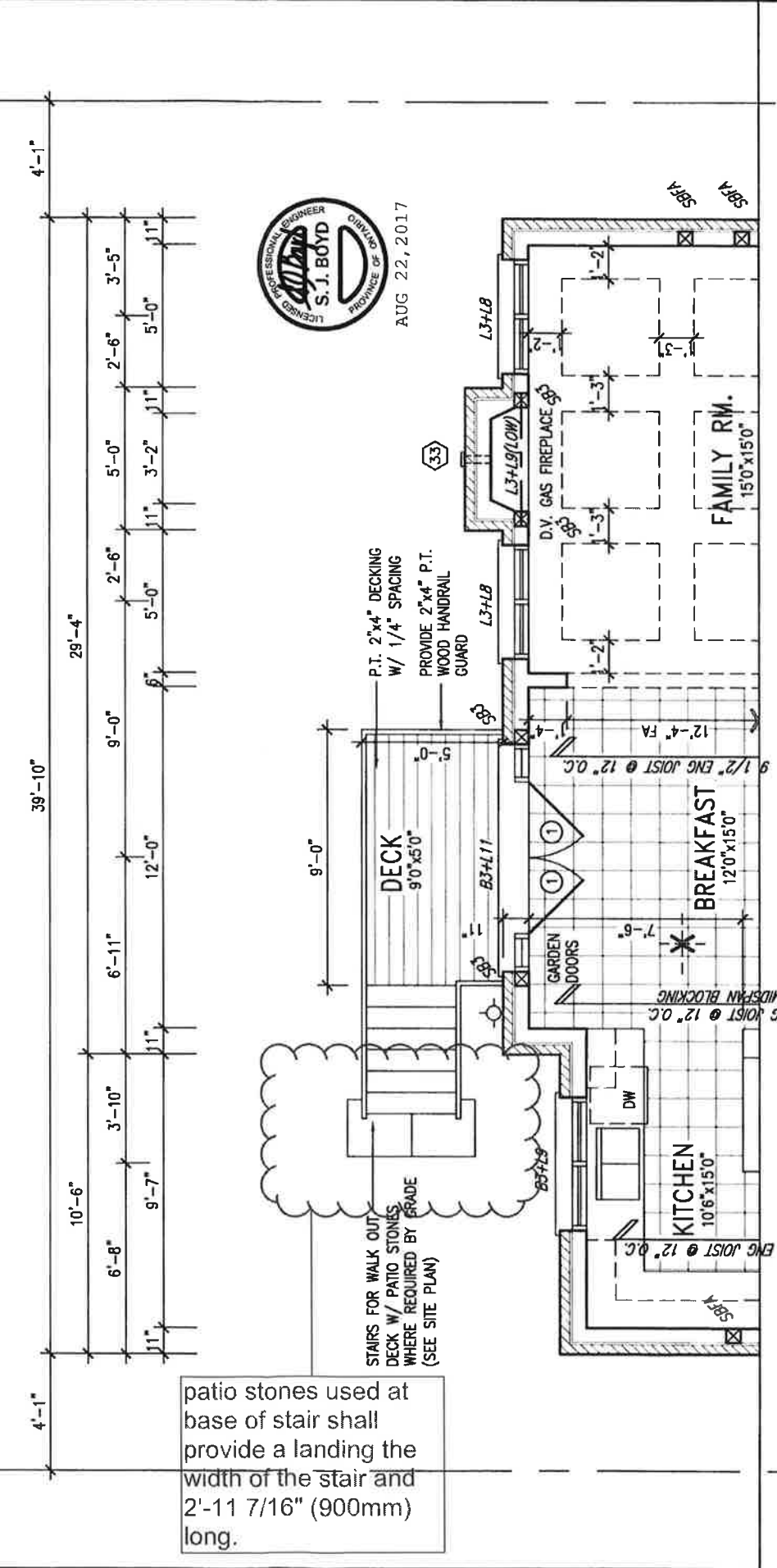
Town of Innisfil Certified Model
02/12/2017 10:40:43 AM kgervais

BAYVIEW WELLINGTON		S48-2		GOLDENEYE 2	
project name	ALCONA	project no.	13049		
date	NOV. 2015	drawing no.	12		
checked by	RC	file name	13049-S48-2		
drawn by	RC	scale	3/16" = 1'-0"		
INNISFIL, ONTARIO		RIGHT SIDE ELEVATION B			
JUSTIN - H:\ARCHIVE\WORKING\2013\13049-BW\UNITS\46\13049-S48-2.dwg - Tue - Aug 22 2017 - 10:15 AM					

		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	
qualification information		25591	
Wellington Jno-Baptista		RCN	
registration information		42658	
VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
4	REVISED AS PER ENG COMMENTS	AUG 14-17 RC	
3	REVISED FDN WALLS TO 10"	JAN 03/17 SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		



PARTIAL BASEMENT FLOOR PLAN
9R AND MORE WOD COND.



PARTIAL GROUND FLOOR PLAN
9R AND MORE WOD COND.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))		
S48-2 ELEVATION A 9R WOD		ENERGY EFFICIENCY - OBC SB12	S48-2 ELEVATION B 9R WOD		ENERGY EFFICIENCY - OBC SB12
ELEVATION	WALL AREA S.F.	OPENING S.F. PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F. PERCENTAGE
FRONT	824 S.F.	187,902 S.F. 22.80 %	FRONT	820 S.F.	185,611 S.F. 22.64 %
LEFT SIDE	988 S.F.	64 S.F. 6.61 %	LEFT SIDE	960 S.F.	64 S.F. 6.67 %
RIGHT SIDE	960 S.F.	32,667 S.F. 3.40 %	RIGHT SIDE	960 S.F.	32,667 S.F. 3.40 %
REAR	956 S.F.	216.22 S.F. 22.62 %	REAR	956 S.F.	216.22 S.F. 22.62 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	0 S.F.		* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	0 S.F.	
TOTAL SQ. FT.	3708.00 S.F.	500.79 S.F. 13.51 %	TOTAL SQ. FT.	3696.00 S.F.	498.50 S.F. 13.49 %
TOTAL SQ. M.	344.48 S.M.	46.52 S.M. 13.51 %	TOTAL SQ. M.	343.37 S.M.	46.31 S.M. 13.49 %

1	ISSUED FOR CLIENT REVIEW	DATE	BY
2	REVISED INSULATION AT STAIRS	SEP 19/16 SB	
3	REVISED FDN WALLS TO 10"	JAN 03/17 SB	
4	REVISED AS PER ENG COMMENTS	AUG 14-17 RC	
5			
6			
7			
8			
9			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONTARIO
project no.
S48-2
drawing no.
13049
drawing no.
14
scale
3/16" = 1'-0"
checked by
NOV. 2015
drawn by
RC
date
AUG 22 2017

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning and any provisions in the Subdivision Agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
AUG 22 2017
John C. Williams Limited, Architect



patio stones used at base of stair shall provide a landing the width of the stair and 2'-11 7/16" (900mm) long.

6"x6" P.T. WOOD POST C/W
ABOVE GRADE AND 4'-0"
SONO TUBES TO EXTEND 6"
SHOE SET INTO 12" DIA.
GALV. METAL CAP AND METAL

PROVIDE 2"x4" P.T. WOOD
HANDRAIL GUARD W/ 2"x2"
P.T. WOOD PICKETS @ 4"
MAX.

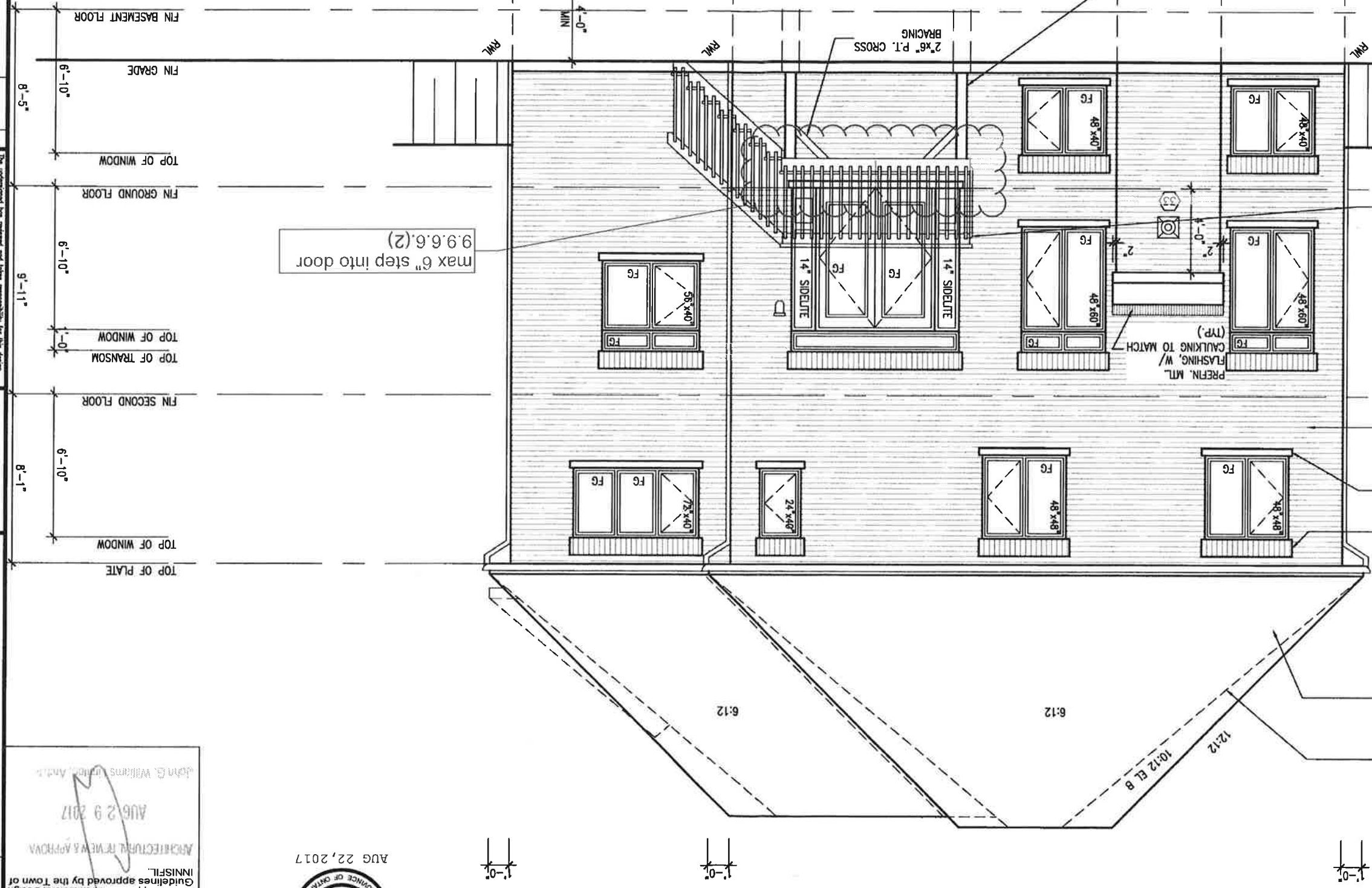
BRICK VENEER
PRECAST CONC. SILL
BRICK SOLDER HEADER
W/ 1/2" PROU

ASPHALT SHINGLES
ROOF LINE ELEVATION 'B'

REAR ELEVATION A/B WOD 9R AND MORE COND.

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" WINDL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 29 2017
John G. Williams, Architect



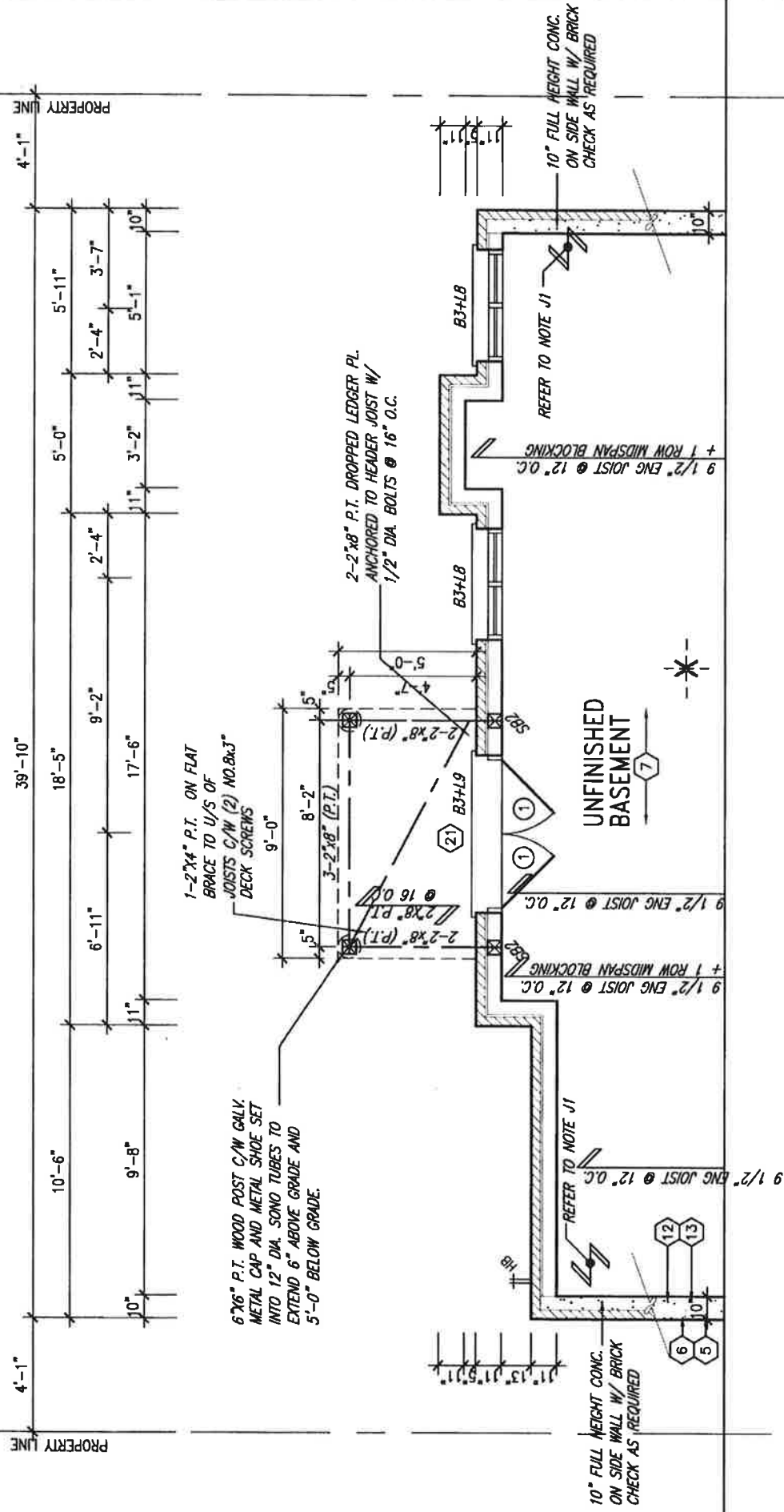
9. -		The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8. -		qualification information	
7. -		Wellington Jno-Boyd/le 25591	
6. -		BCM 42658	
5. -		revision information	
4. REVISED AS PER ENG COMMENTS		AUG 14-17 RC	
3. REVISED FEN WALLS TO 10"		JAN 03/17 SB	
2. REVISED INSULATION AT STAIRS		SEPT 19/16 SB	
1. ISSUED FOR CLIENT REVIEW		-	
no. description		date	
by		-	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
416.650.2253 416.650.4782
v3design.com

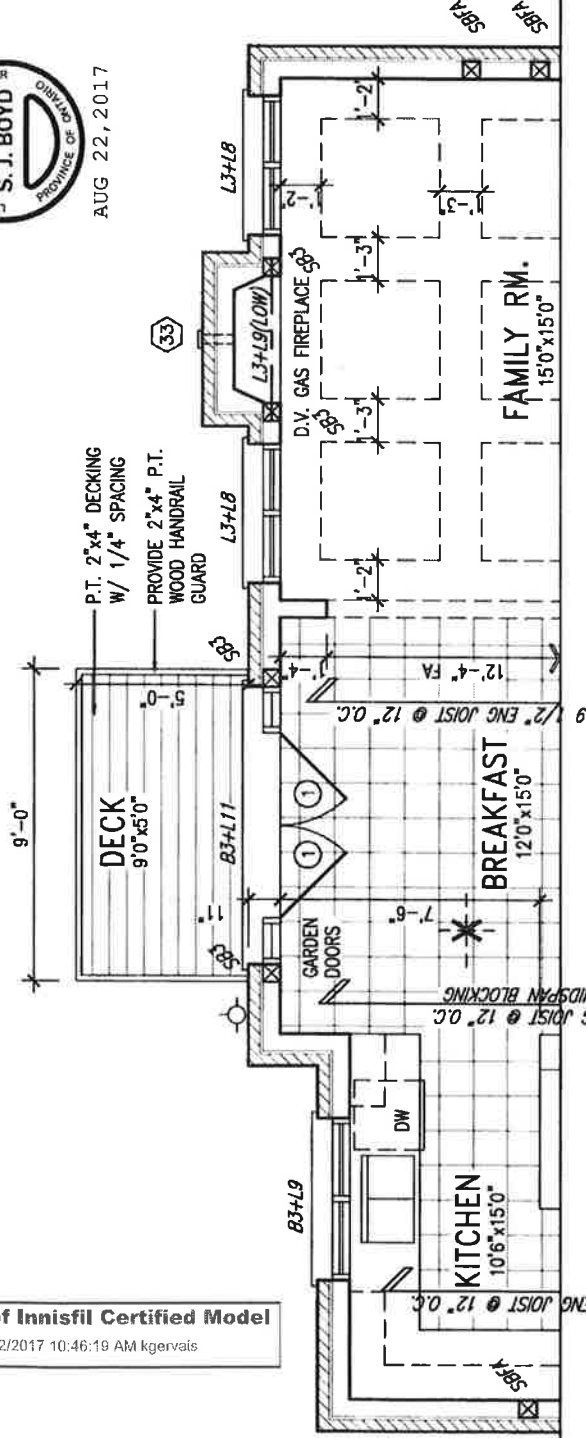
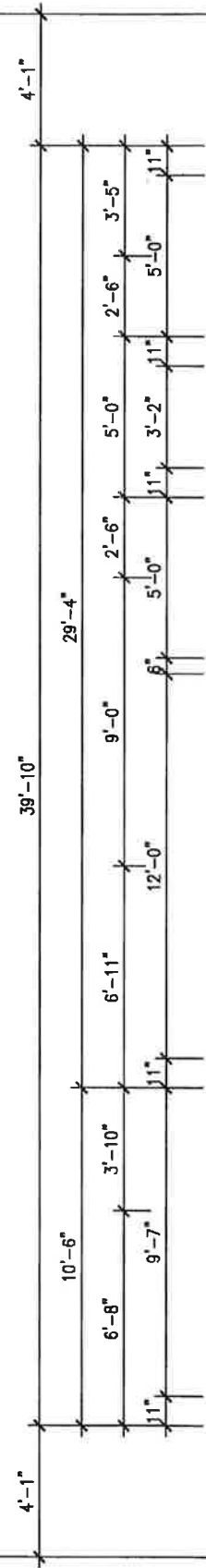
BAYVIEW WELLINGTON
INNISFIL, ONTARIO
REAR ELEVATION WOD 9R

S48-2
GOLDENEYE 2

project name	ALCONA
date	NOV 2015
drawn by	3/16" = 1'-0"
checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"
notes	13049-S48-2
project no.	13049
drawing no.	15



PARTIAL BASEMENT FLOOR PLAN
WOB COND.



§ PARTIAL GROUND FLOOR PLAN
WOB COND.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S48-2 ELEVATION A	WOB	ENERGY EFFICIENCY – OBC SB12		S48-2 ELEVATION B	WOB	ENERGY EFFICIENCY – OBC SB12	
		WALL AREA S.F.	OPENING S.F. PERCENTAGE			WALL AREA S.F.	OPENING S.F. PERCENTAGE
FRONT		824 S.F.	187,902 S.F. 22.80 %	FRONT		820 S.F.	185,611 S.F. 22.64 %
LEFT SIDE		968 S.F.	64 S.F. 6.61 %	LEFT SIDE		960 S.F.	84 S.F. 6.67 %
RIGHT SIDE		960 S.F.	32,667 S.F. 3.40 %	RIGHT SIDE		960 S.F.	32,667 S.F. 3.40 %
REAR		1072 S.F.	268,278 S.F. 25.03 %	REAR		1072 S.F.	268,278 S.F. 25.03 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.
TOTAL SQ. FT.		3824.00 S.F.	552.85 S.F. 14.46 %	TOTAL SQ. FT.		3812.00 S.F.	550.56 S.F. 14.44 %
TOTAL SQ. M.		355.28 S.M.	51.36 S.M. 14.46 %	TOTAL SQ. M.		354.14 S.M.	51.15 S.M. 14.44 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building codes or permit matter of that any house can be properly built or located on its lot.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF INNISFIL.

ROBERT CRISP, REVIEW & APPROVAL

AUG 29 2017

JOHN E. WILLIAMS LIMITED, ARCHITECT

[illegible]

REAR ELEVATION A/B WOD
9R AND MORE COND.



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

[illegible]

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.530.4782
vad3design.com

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015	rear elevation	drawing no. 17
created by RC	scale $3/16" = 1'-0"$	file name 13049-S48-2
BAYVIEW WELLINGTON		S48-2 GOLDENEYE 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of

ARCHITECTURAL REVIEW & APPROVAL

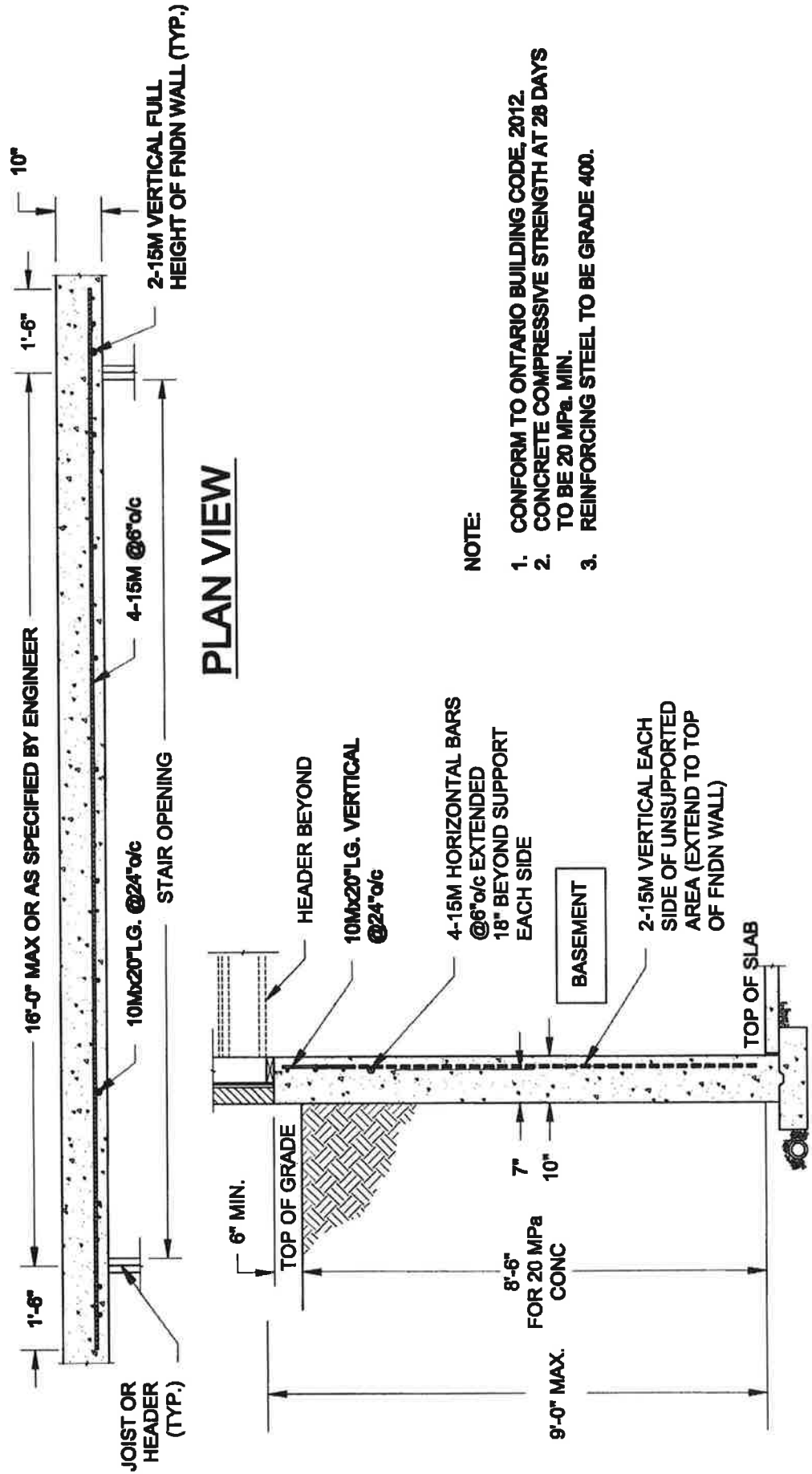
AUG 29 2017

John G. Williams Limited Architects



AUG 22, 2017

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



NOTE:

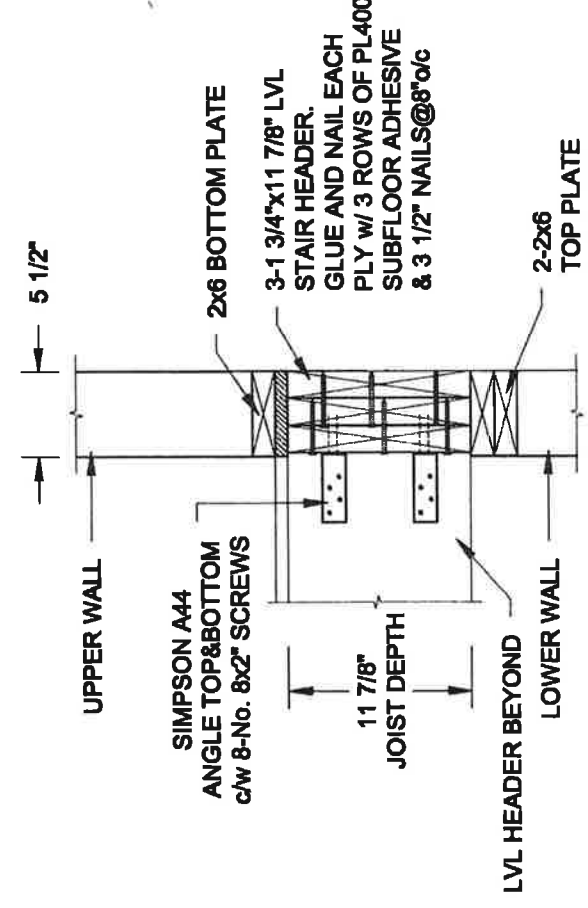
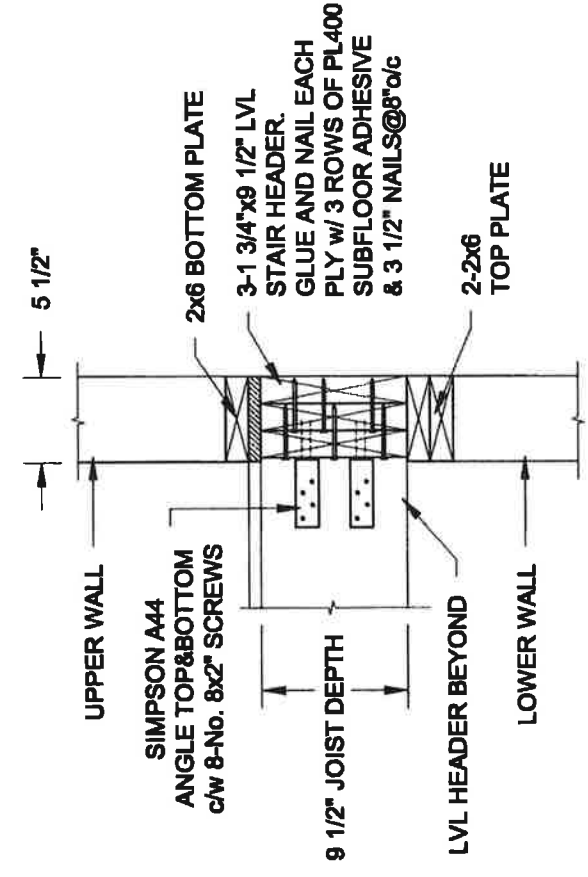
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL
S1 SCALE: 3/8" = 1'-0"

Town of Innisfil Certified Model
02/12/2017 10:47:47 AM kgervais

FOR 9 1/2" JOIST DEPTH
S1

FOR 11 7/8" JOIST DEPTH
S1



2 STAIR HEADER @ EXTERIOR WALL
S1 SCALE: 1" = 1'-0"

Scale: AS NOTED

Date: JUL-31-2017

Drawn: SC

Checked: SUB

QAILE ENGINEERING LTD.

38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quale.eng@rogers.com

Engineer's Seal:

S. J. BOYD

AUG 10, 2017

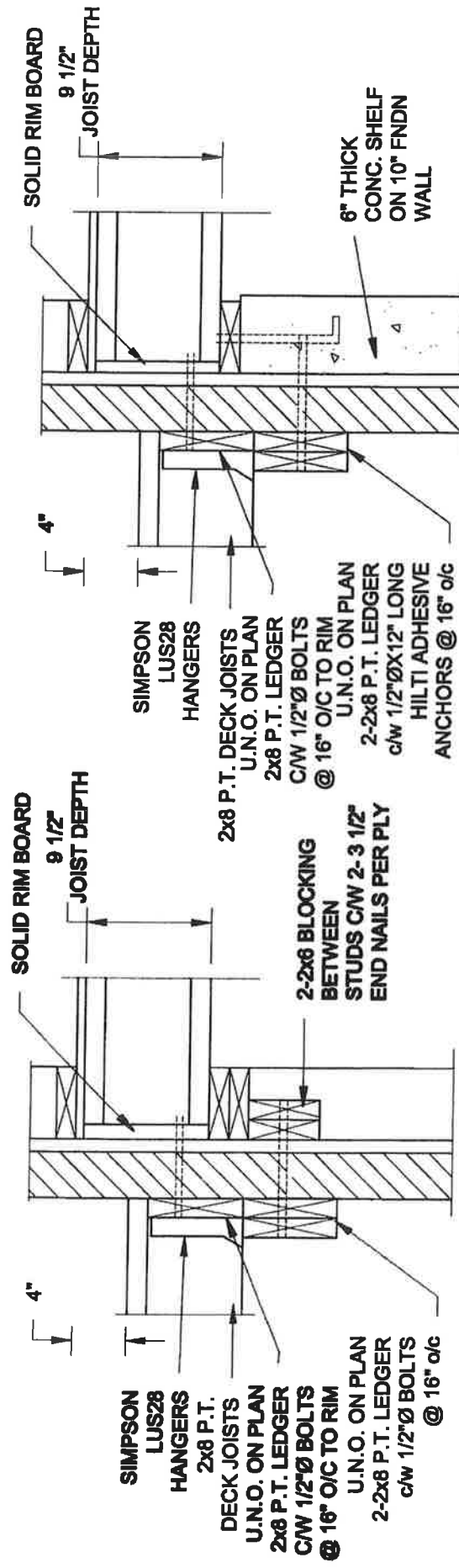
Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNISFIL, ONTARIO

Typical Structural Details for Singles

Project No.: 16-083

Drawing No.: S1

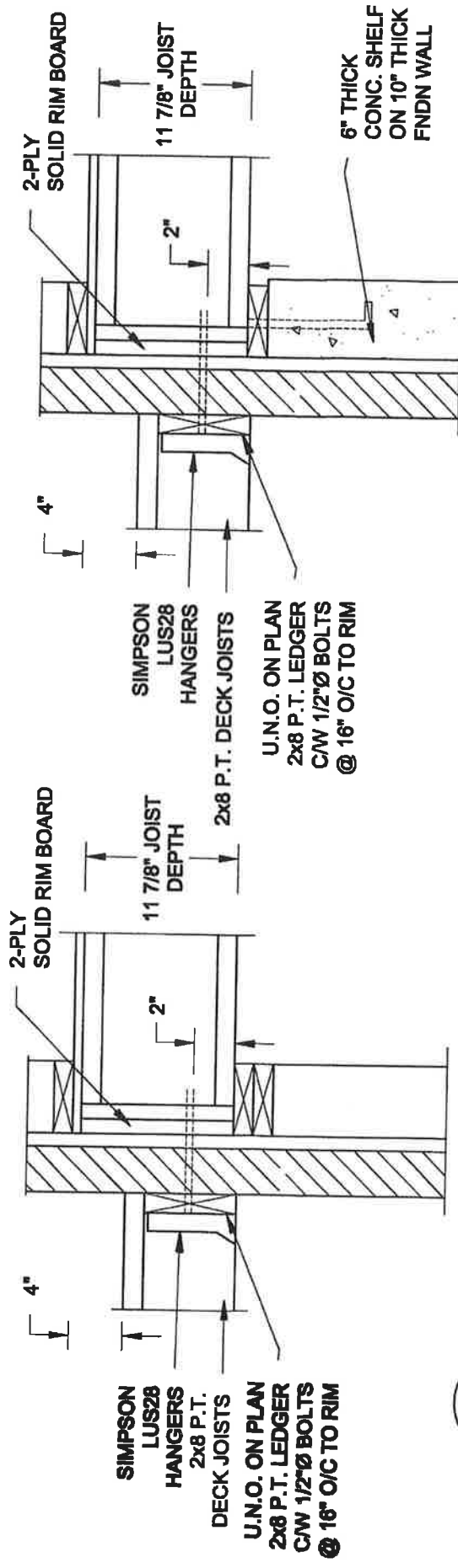
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

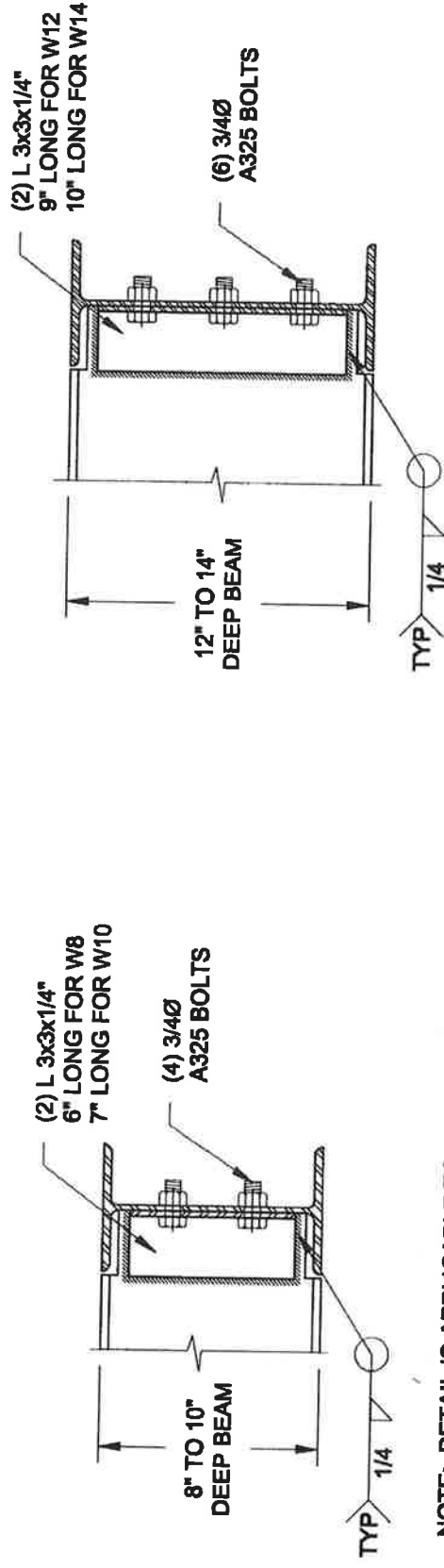
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x68) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.**

3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

SCALE: 1-1/2" = 1'-0"

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 6J9
T: 905-853-8547
E: qualle.engage@rogers.com**

Engineer's Seat



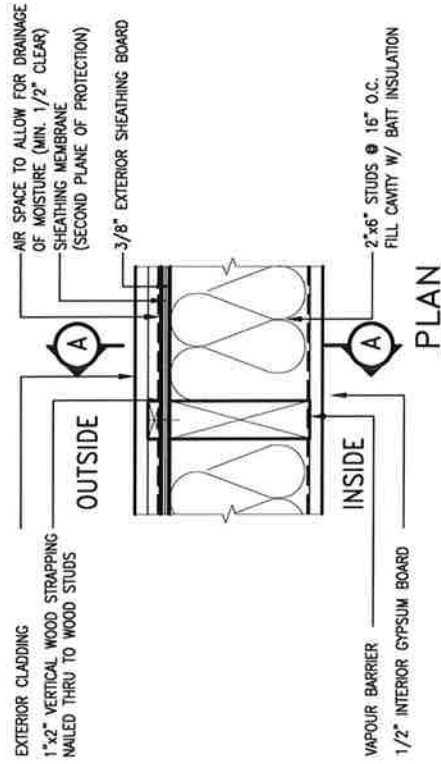
AUG 10, 2017

Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNSWILL, ONTARIO

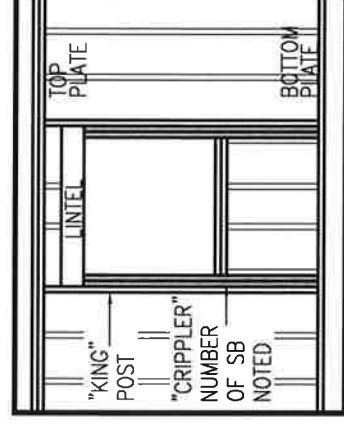
TYPICAL STRUCTURAL DETAILS FOR SINGLE

Project No.:	Drawing No.:
---------------------	---------------------





STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

[illegible][illegible]

“CRIPPLE” DETAIL

•• MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

- MAX. HEIGHT FOR 2"x6" EXTENDED

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- | MAX. HEIGHT FOR 2"x8" EX. | |
|---------------------------|----------|
| 2"x8" @ 16" O.C. | - 16'-0" |
| 2"x8" @ 12" O.C. | - 17'-9" |
| 2-2"x8" @ 16" O.C. | - 20'-4" |
| 2-2"x8" @ 12" O.C. | - 22'-4" |

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m only
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 o.c. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO IRC 9.23.10.1.(2)
6. FOR A 1/50 YEAR SPECIFIC WIND PRESSURE OF 0.6 kPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2. UPDATE TO OSC MAR 2020			
1	ISSUE FOR CLIENT REVIEW	FEB 09-21	RC
no.	description	date	by

VA3
DESIGN
255 Consumers Rd. Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

CONST NOTE

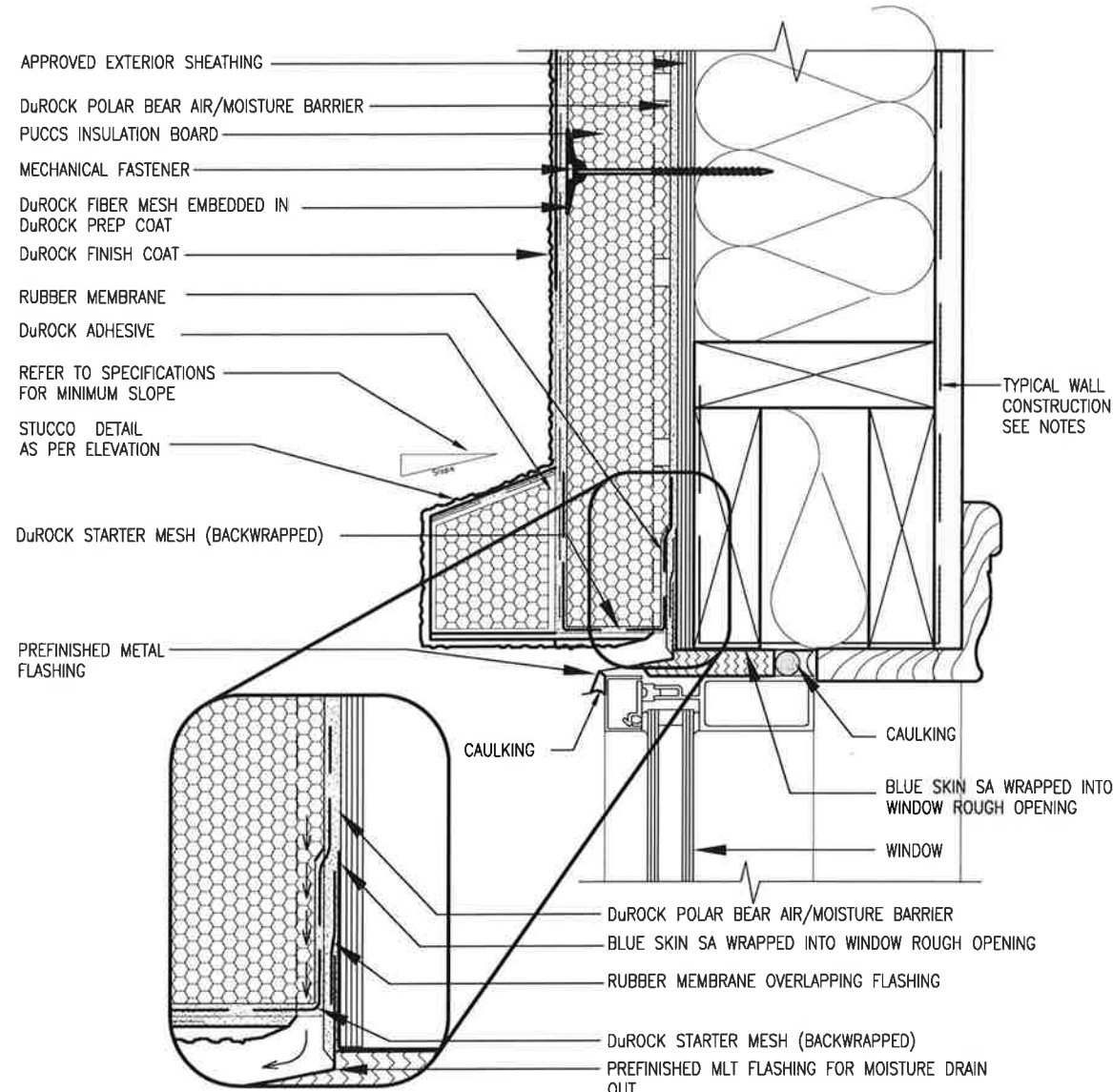
INNISEIT ON
municipality

by scale

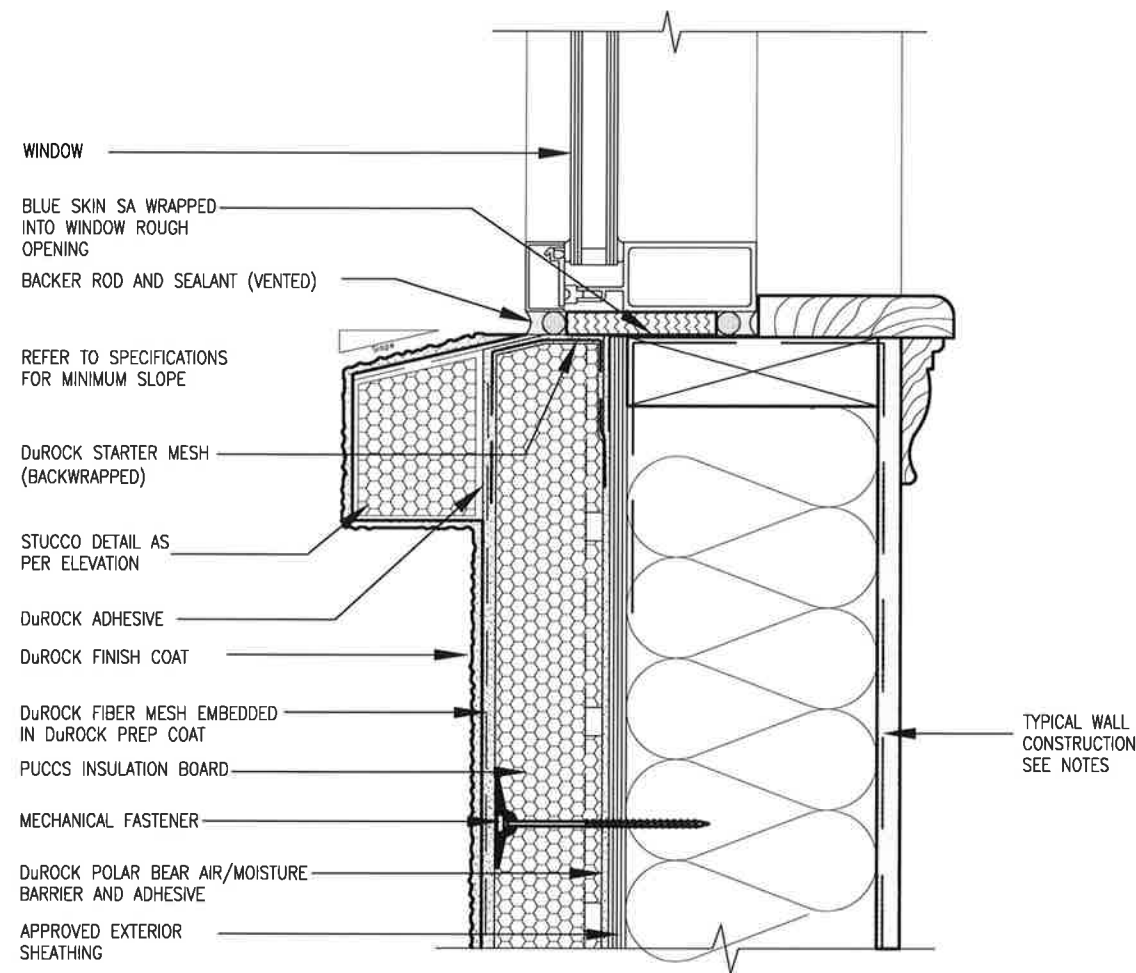
$$3/16'' = 1'-0''$$

municipality	CONSTRUCTION NOTES
FILE ON.	

13049-CN-A1 VER 2020



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

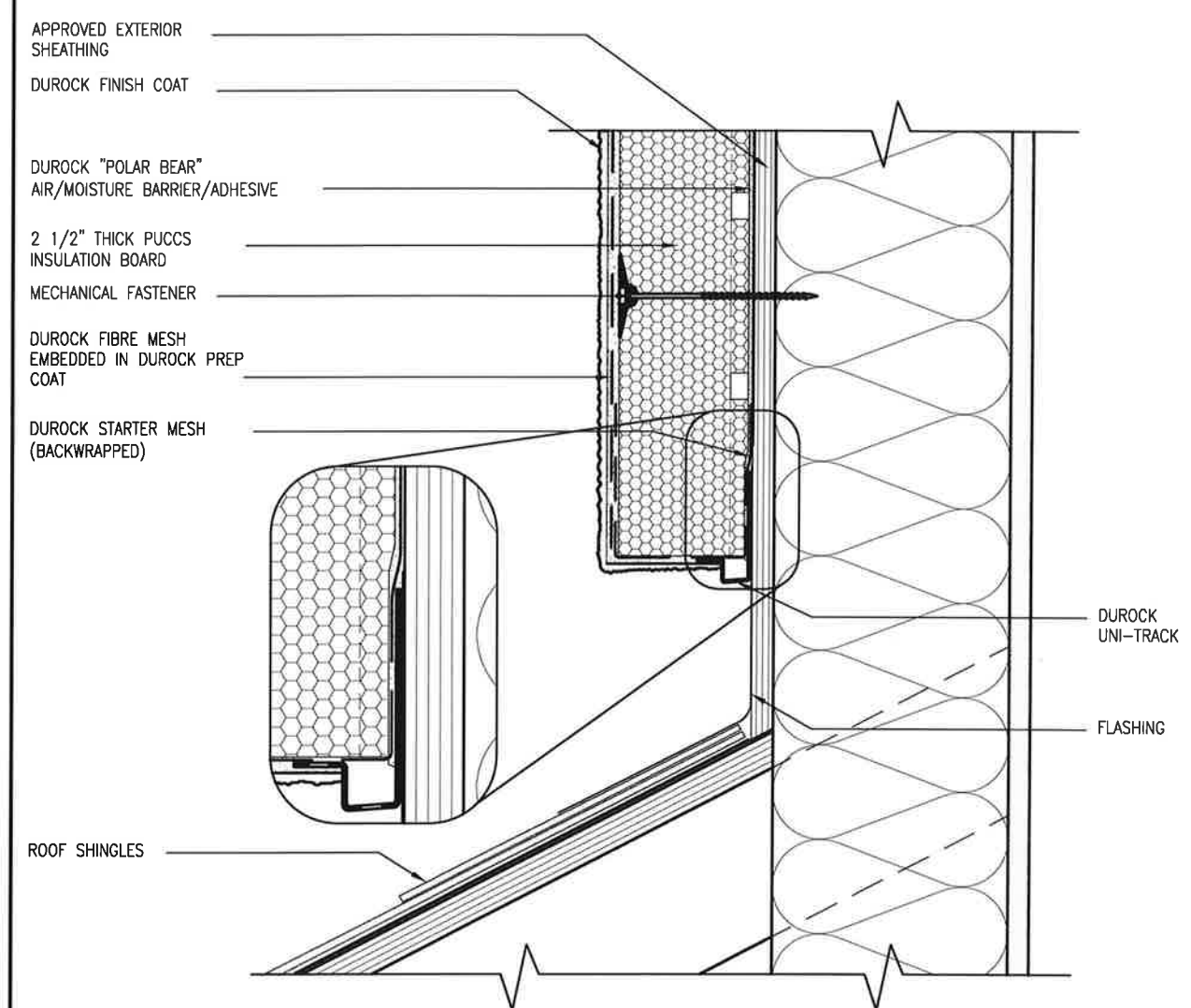


2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

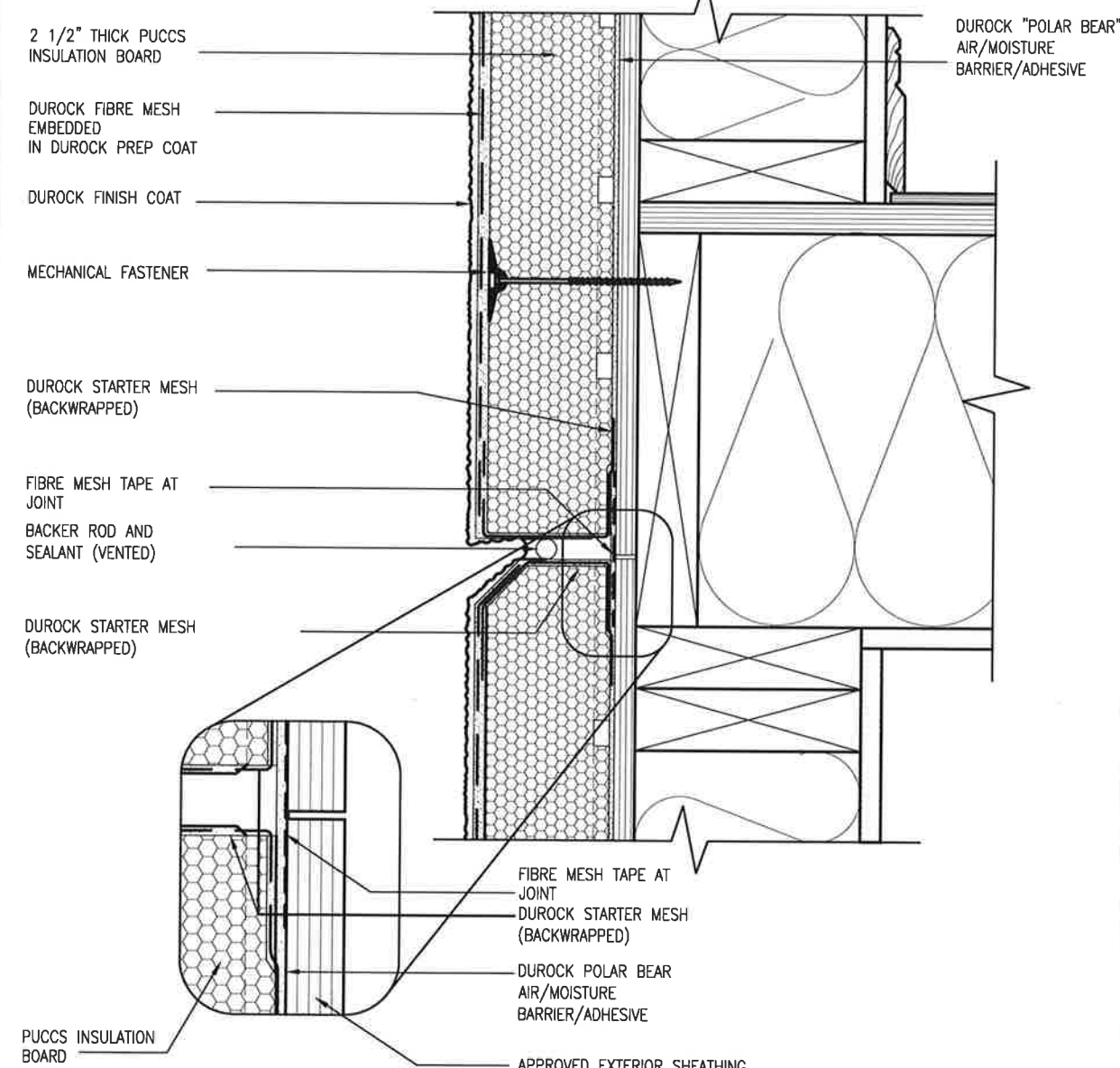
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		ALCONA		INNSFILON.		CONSTRUCTION NOTES		CN3	
project no.	13049	project name	ALCONA	city	MAY 2016	checked by	3/16" = 1'-0"	scale	13049-CN-A1 VER 2020	file name	13049-CN-A1 VER 2020
drawing no.	CN3	drawn by	RC	checked by	RC	checked by	RC	checked by	RC	checked by	RC
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN name registration information VA3 Design Inc. 42658 BCN Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. 2 UPDATE TO OBC VER 2020 FEB 09-21 RC 1 ISSUE FOR CLIENT REVIEW AUG 04-17 RC no. description											

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

BAYVIEW WELLINGTON project name ALCONA municipality INNSFILL ON.		CONST NOTE	
project no. 13049		drawing no. CN4	
date MAY 2016		checked by RC	
scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020	
drawn by RC		construction notes 13049-CN-A1 VER 2020	
project location 13049 WORKING 2013\13049 BAYVIEW\13049-CN-A1 VER 2020.dwg		project location 13049 WORKING 2013\13049 BAYVIEW\13049-CN-A1 VER 2020.dwg	
project location 13049 WORKING 2013\13049 BAYVIEW\13049-CN-A1 VER 2020.dwg		project location 13049 WORKING 2013\13049 BAYVIEW\13049-CN-A1 VER 2020.dwg	

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1K4
 t 416.630.2255 f 416.630.4782
 va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Wellington Jno-Baptiste
 name
 registration number
25591
 BCN
42658
 VA3 Design Inc.
 signature
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

9	.	*
8	.	*
7	.	*
6	.	*
5	.	*
4	.	*
3	.	*
2	UPDATE TO OBC VER 2020	FEB 09-21 RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC
no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	25591
-------------------------	-------

Contractor must verify all dimensions on the job and report any

Drawings are not to be scaled.

All drawings

VA3 DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
va3design.com

255 Consumers Rd Suite 120

Toronto ON M2J 1R4
416.630.2255 f 416.630.4781
va3design.com

specifications, related documents and

BAYVIEW WELLINGTON

municipality

IL, ON.

CONST

13

20 dwo - T

part is striated.

CONST NOTE

project no.

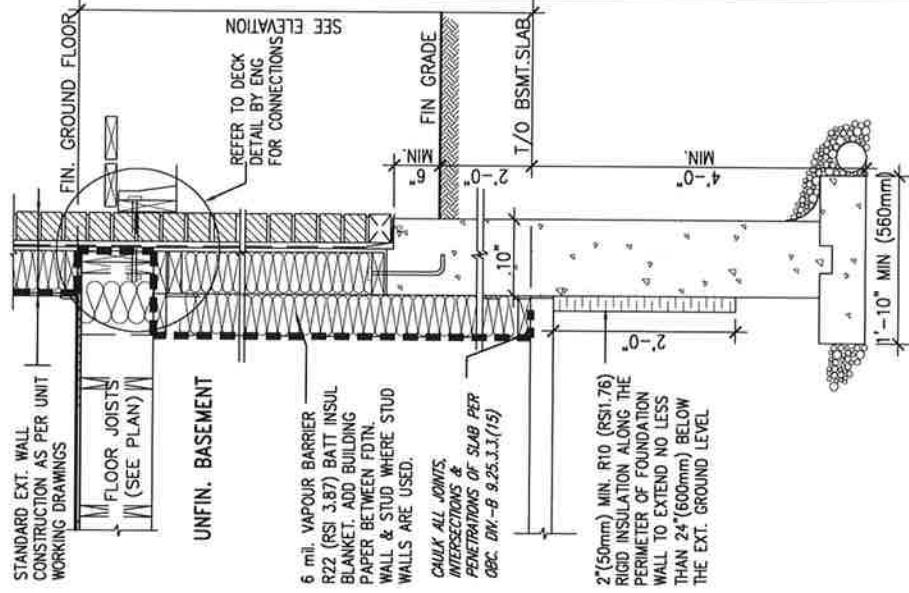
13049

drawing no.

25

...written permission

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

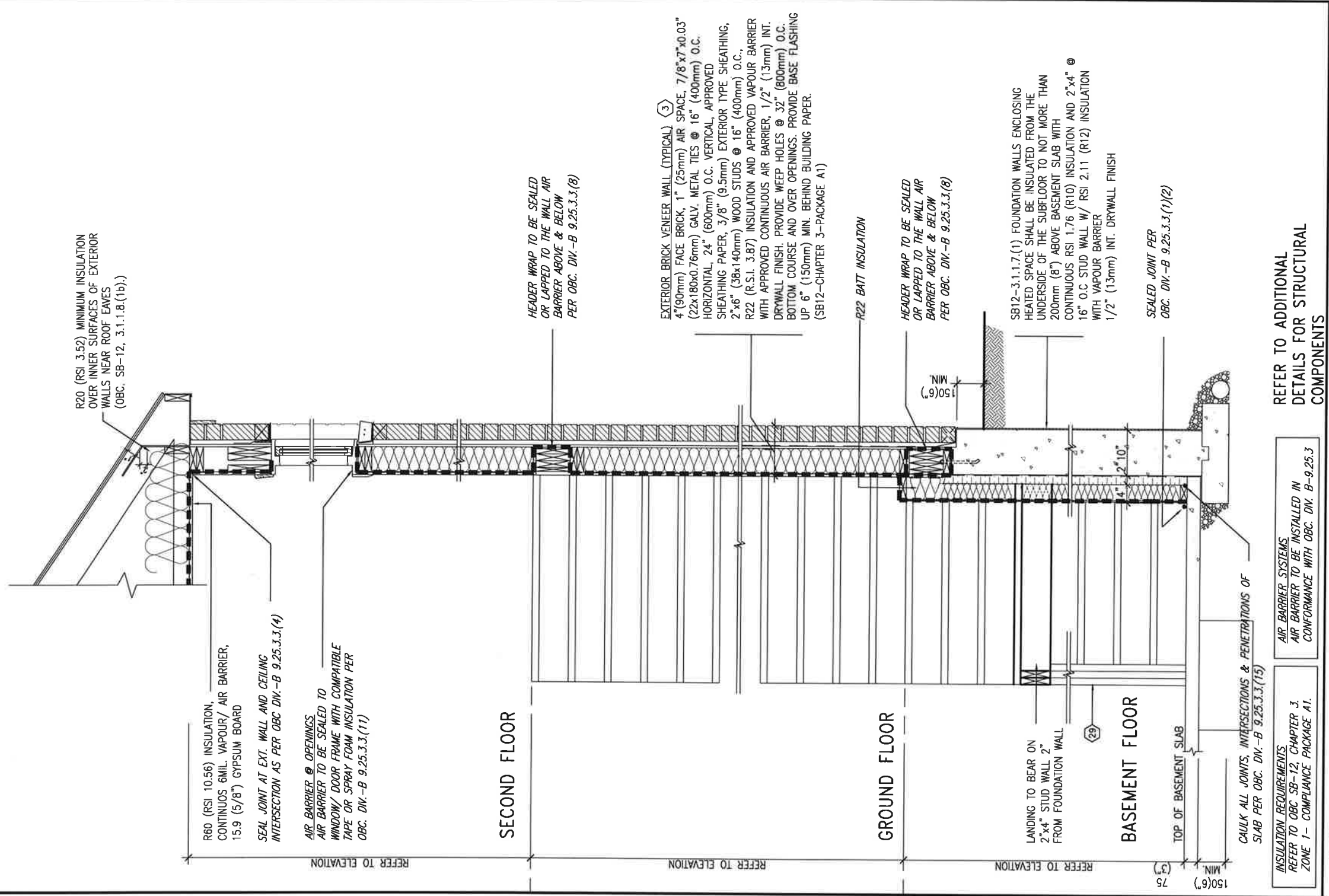
9	*	*	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*	*	qualification information
7	*	*	Willington Jno-Baptiste
6	*	*	seal registration information
5	*	*	VA3 Design Inc.
4	*	*	signature
3	*	*	42855
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be checked for accuracy of service and the properly of the Designer which must be returned to the completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	Drawings are not to be sealed.
no. description		date	by

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON CONST NOTE		project name ALCONA		municipality INNISFIL, ON.		project no. 13049	
date MAY 2016		drawn by RC		checked by —		scale $3/16" = 1'-0"$	
CONSTRUCTION NOTES				file name 13049-CH-A1 VER 2020			

All drawings specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

SB12-COMPLIANCE PACKAGE 'A1'



EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

9	*	-	The undersigned has reviewed and takes responsibility for this design.
8	*	-	I have prepared and meet the requirements set out in the Ontario Building Code to be a Designer.
7	*	-	qualification information
6	*	-	
5	*	-	Wellingtton Jno-Baptiste
4	*	-	name registration information
3	*	-	VAS Design Inc.
2	UPDATE TO ORC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by



BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL ON.	project no. 13049	
date MAY 2016	checked by -	scale 3/16" = 1'-0"	drawing no. CN7
drawn by RC		CONSTRUCTION NOTES	
		file name 13049-CN-A1 VER 2020	

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.





FEB 9, 2021

CONST NOTE

BAYVIEW WELLINGTON



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

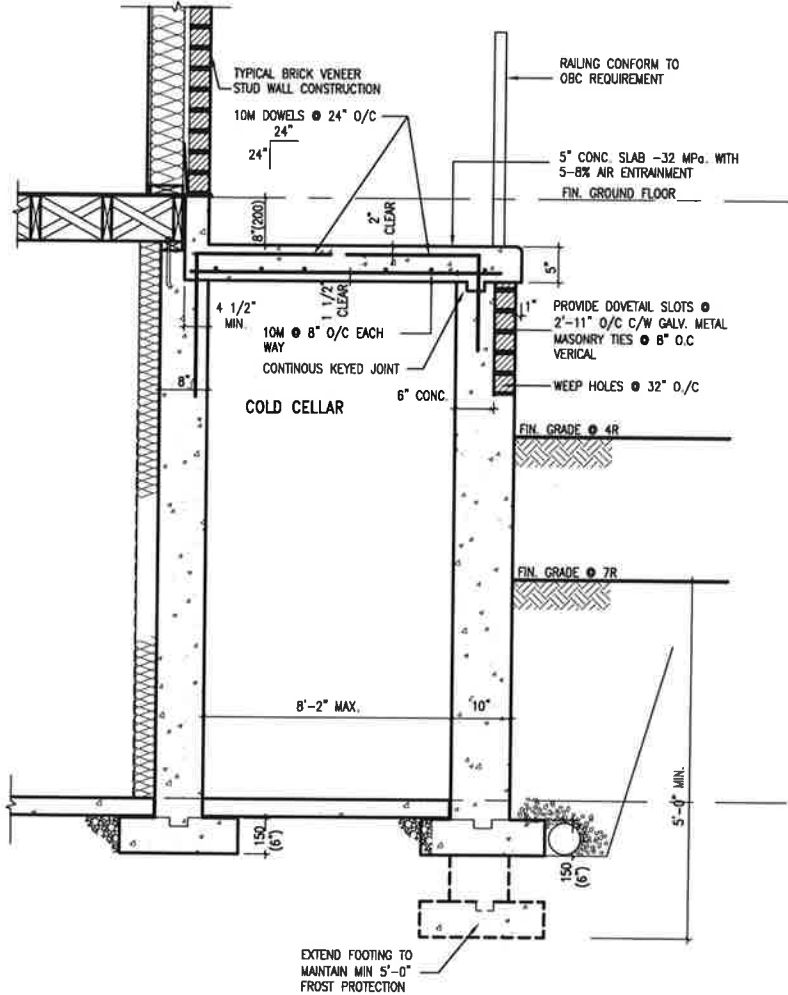
qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are not to be scaled.

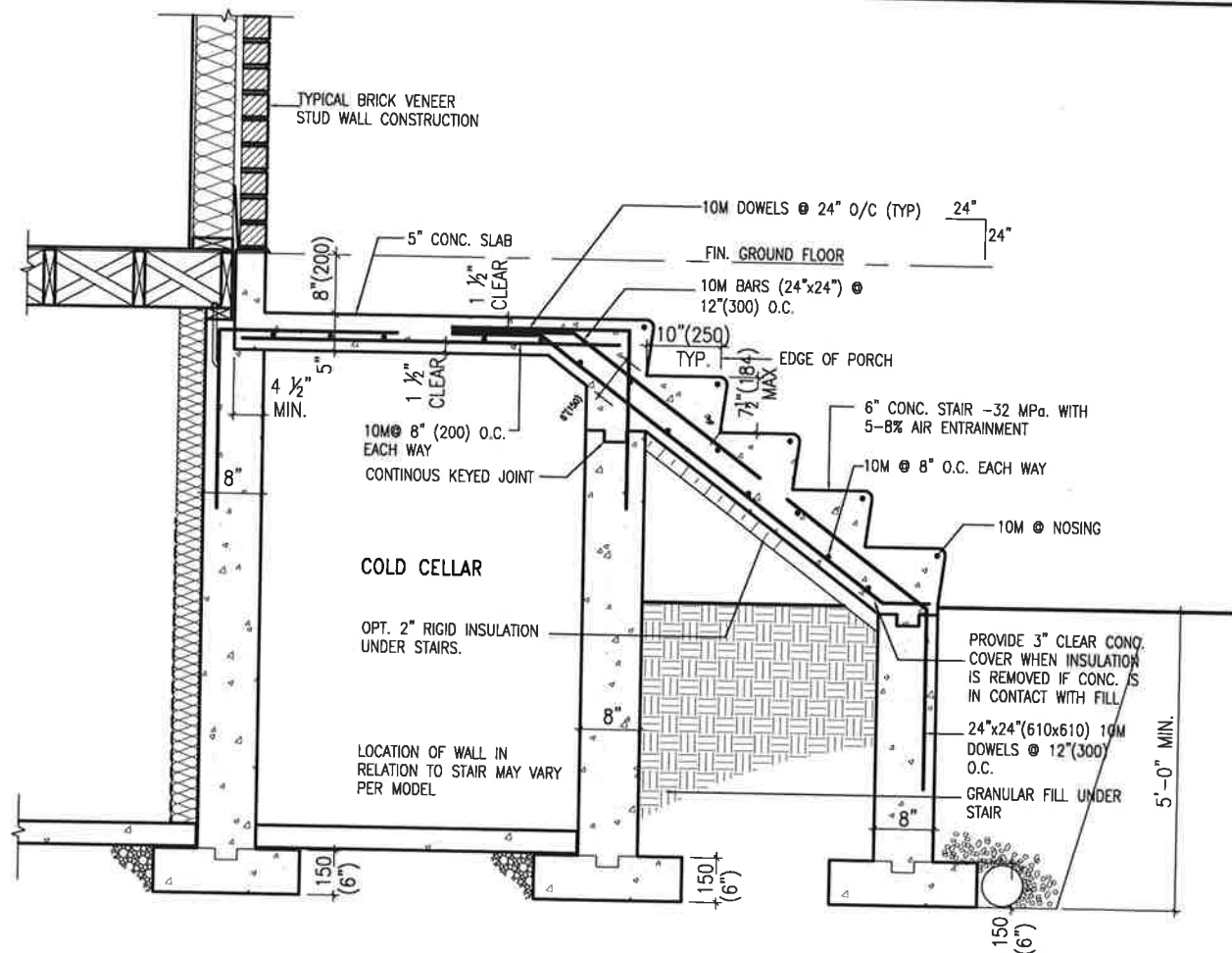
no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

project name
ALCONA
city
MAY 2016
drawn by
RC
checked by
RC
scale
3/16" = 1'-0"
drawing no.
13049
file name
13049-CN-A1 VER 2020
date
FEB 9, 2021
drawing no.
CN9

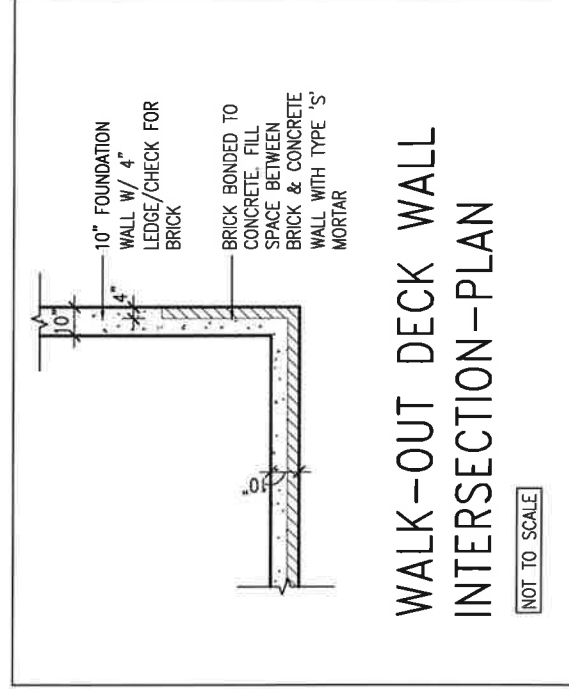
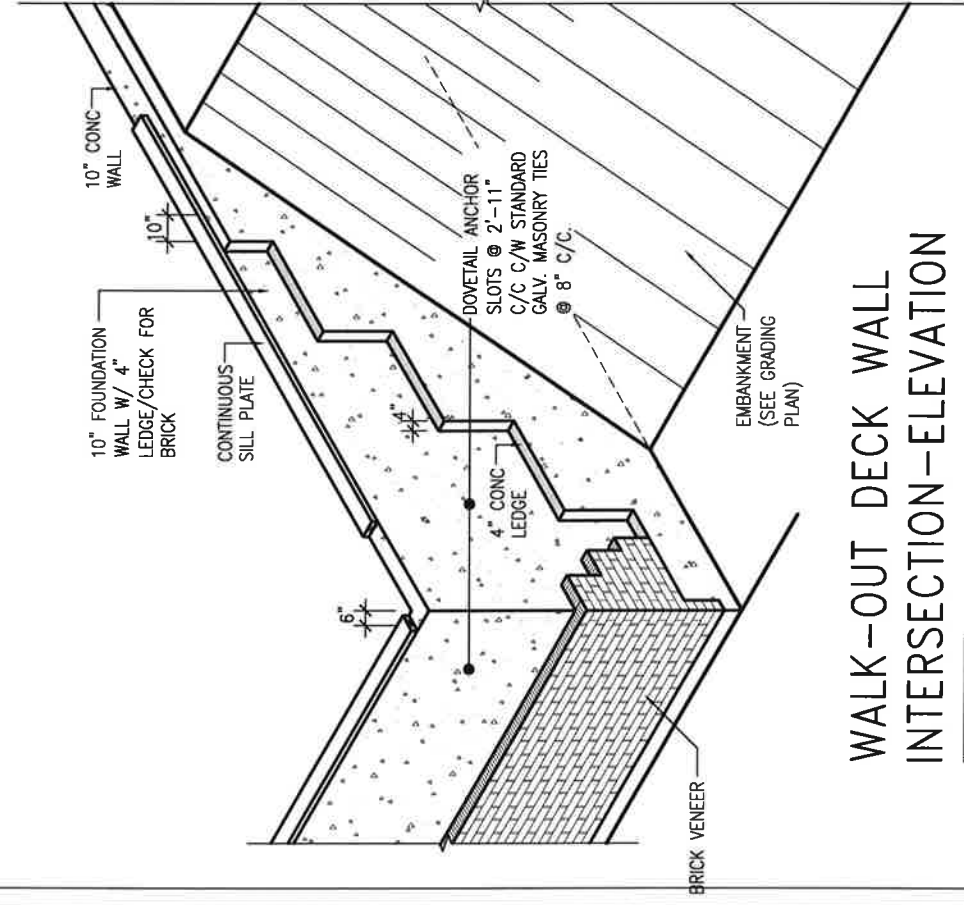
All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



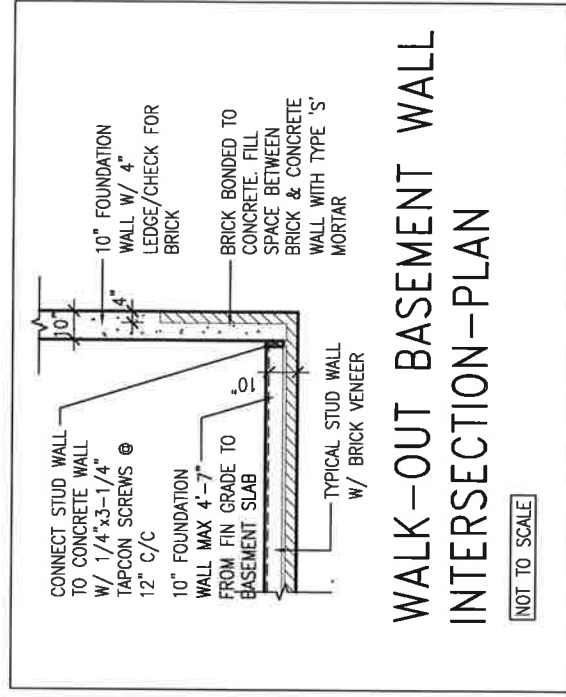
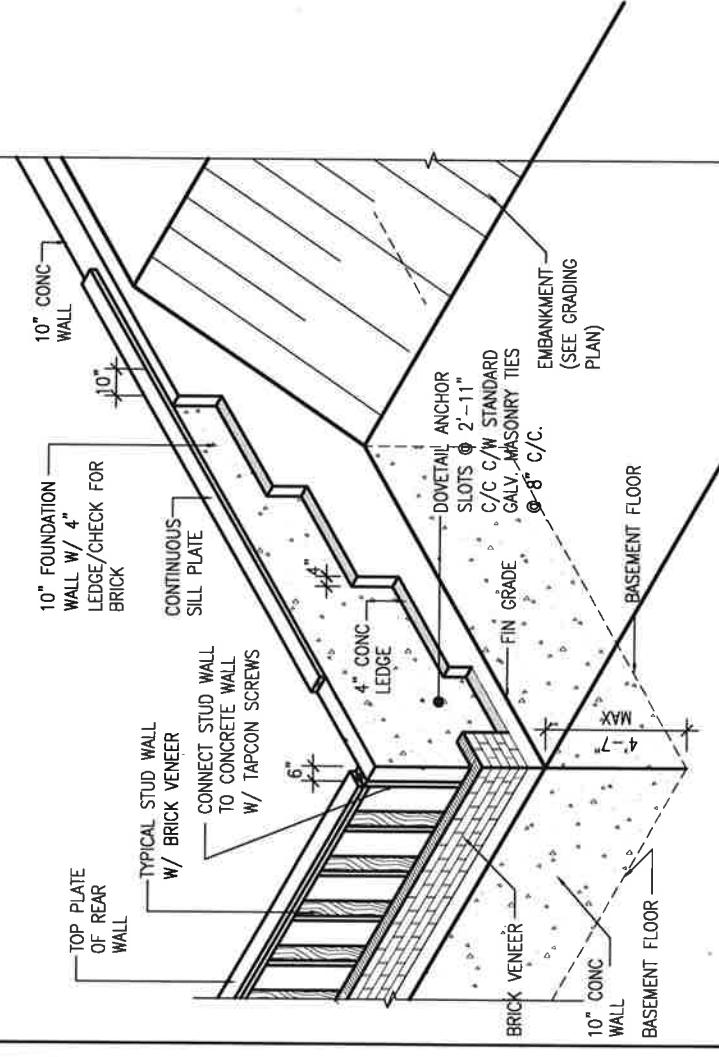
X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



(10" FOUNDATION WALL)



(10" FOUNDATION WALL)



9	*	*
8	*	*
7	*	*
6	*	*
5	*	*
4	*	*
3	*	*

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellingdon Jiro-Bopiste 25591
(Signature)
 Name Designation BCN
VAS Design Inc. *(Signature)* 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner is responsible for obtaining the required permits at completion of the work. Drawings are not to be copied.

2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

no. / description date by

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawing by RC	drawing no. CN10
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
RICHARD - H:\ARCHIVE WORKING\2013\13049 BAYVIEW\CON Notes\13049-CN-A1_VER_2020.dwg -- Tue Feb 9 2023 1:17 AM	



no.	description	date	by
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
2	UP-DATE TO DEC VER 2020.	FEB 09-21	RC

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4781
vo3design.com

project name ALCONA	municipality INNISFILON.		project no. 13049
date MAY 2016	CONSTRUCTION NOTES		
drawn by RC	checked by —	scale $\frac{3/16" = 1'-0"}{}$	file name 13049-CN-A1 VER 2020

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

