

24"x8" THICK
CONC. FOOTING
UNDER PARTYWALL

SOIL TO HAVE MIN
ALLOWABLE
BEARING CAPACITY
OF 150kPa (TYP)

VINYL CLAD
STRUCTURAL STL.
FRAME BASEMENT
WINDOW (TYPICAL)

22"x6" THICK
CONC. FOOTING
UNDER EXTERIOR
WALL (TYP)

UNFINISHED
BASEMENT

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

COLD
CELLAR

4" DIA. VENT SLEEVE
W/ INSECT SCREEN
FULL HEIGHT
INSUL. FOR
COLD CELLAR

Town of Innisfil Building Dept Notes:
All smoke alarms and CO detectors shall
comply with O.B.C 9.10.19 and 9.33.4
Main bathroom shall be designed as per 9.5.2
All construction subject to review by Town
Building Inspectors
See comments on permit



It is the builder's complete responsibility to ensure that the construction of this building complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building regulations that may apply to the house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: JUN. 28, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

AREA CALCULATIONS		ELEV. A
GROUND FLOOR AREA	1109 SF	
SECOND FLOOR AREA	1325 SF	
SUBTOTAL	2434 SF	
DEDUCT ALL OPENINGS	0 SF	
TOTAL NET AREA	2434 SF	
FINISHED BSMT AREA	226.12 m ²	
COVERAGE W/OUT PORCH	0 SF	
123.84 m ²		
COVERAGE W/ PORCH	1490 SF	
138.42 m ²		

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO
BE SPECIFIED BY THE FLOOR TRUSS
MANUFACTURER.

NOTE:
ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY.

NOTE J1:
PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

1	ISSUE FOR CLIENT REVIEW	date	by
2	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 18/18 WT	
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	
4	REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB	
5	Wellington Jno-Baptiste	25591	ECIN
6	VA3 Design Inc.	42558	
7	VA3 Design Inc.	42558	
8	VA3 Design Inc.	42558	
9	VA3 Design Inc.	42558	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M6H 1S6
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

TH-8C
CRANE 8

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	DECEMBER, 2017	checked by	CL	scale	3/16" = 1'-0"
drawn by	CL	drawn by	CL	file name	13049-TH-8C
drawn by	CL	drawn by	CL	drawing no.	1A

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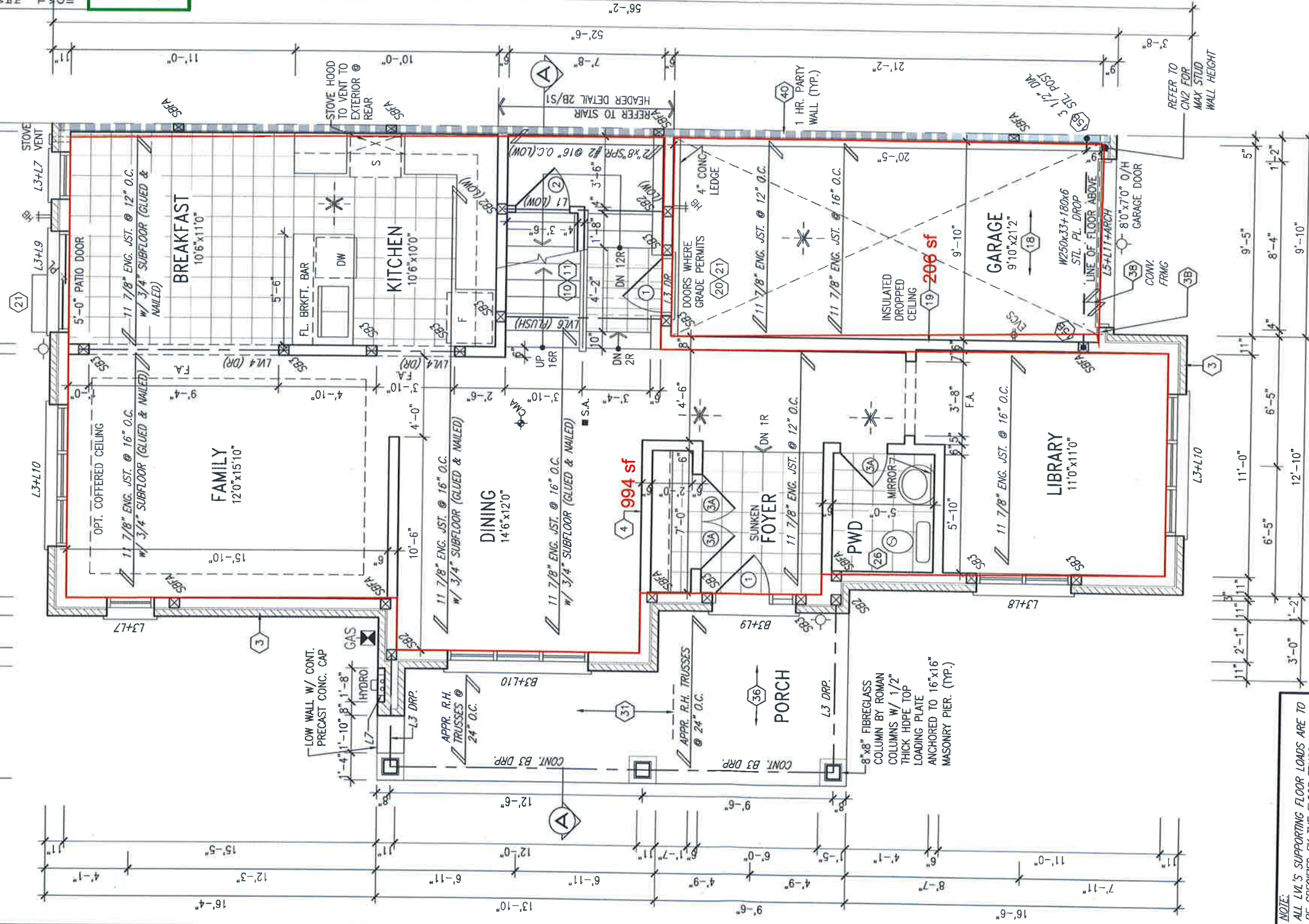
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AND APPROVAL

APPROVED BY:

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NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

GROUND FLOOR PLAN 'A'



JUNE 26, 2018

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
EQUIPMENT SHALL INCLUDE:
• A minimum 200 amp Panelboard
• Conduit that is not less than 1 1/16" (27mm) trade size,
• A square 4 11/16" (119mm) trade size electrical outlet box.
• Fumeproof Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

BAYVIEW WELLINGTON		TH-8C CRANE 8	
project name	ALCONA	municipality	INNISFIL, ON.
project no.	13049	drawing no.	2A
date	DECEMBER, 2017	checked by	CL
drawn by	CL	scale	3/16" = 1'-0"
GROUND FLOOR PLAN 'A'			
13049-TH-8C			
JUN 25 2018 - 3:51 PM			

VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M3H 1S9
t 416.630.2255 f 416.630.4762
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
signature
VAS Design Inc. 42558
registration information
JUN 25-18 SB
MAY 22/18 WT
MAY 18/18 WT

4	REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB	25591
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	42558
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT	
1	ISSUE FOR CLIENT REVIEW		
no.	description	date	by

INDICATES FIRE RATED WALL ASSEMBLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for re-examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW

APPROVED BY:

JUN 28 2018

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MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED

**STUD WALL REINFORCEMENT FOR
FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE
INSTALLED ADJACENT TO WATER CLOSETS AND
SHOWER OR BATHTUB IN MAIN BATHROOM AS PER
O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(f) AND
DETAIL S PROVIDED.**

SECOND FLOOR PLAN 'A'

NOTE: ROOF STRUCTURE MAY VARY

**MANUFACTURERS' BUILDING
BLOCK TRUSS LAYOUT FOR
ACTUAL ROOF STRUCTURE**

[illegible]

	project name ALCONA		municipality INNISFIL, ON.		project no. 13049	
	date DECEMBER, 2017		sheet SECOND FLOOR PLAN 'A'		drawing no. 3A	
drawn by CL		checked by --		scale 3/16" = 1'-0"		file name 13049-TH-8C

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

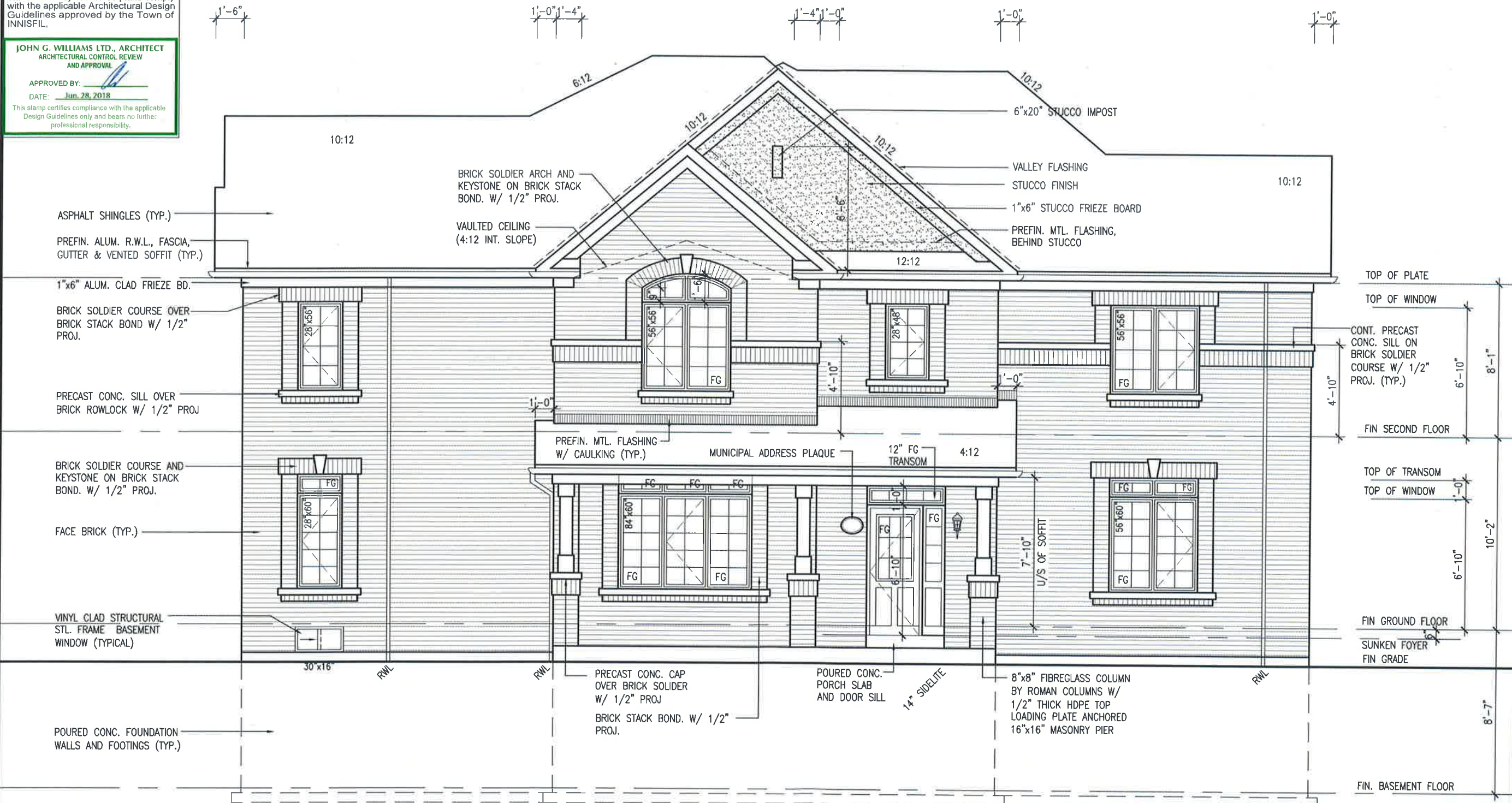
APPROVED BY:

DATE: Jun 28, 2018

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Town of Innisfil Certified Model

10/24/2018 10:13:25 AM kbayley



FLANKAGE ELEVATION 'A'

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



BAYVIEW WELLINGTON		TH-8C CRANE 8	
project name	ALCONA	municipality	INNISFIL, ON.
project no.	13049	drawing no.	5A
date	DECEMBER, 2017	checked by	CL
drawn by	CL	scale	3/16" = 1'-0"
title	FLANKAGE ELEVATION 'A'		
author	VA3 DESIGN		
location	255 Consumers Rd. Suite 120 Toronto, ON M3H 1S8		
phone	t 416.630.2255 f 416.630.4782		
email	va3design@va3design.com		
signature	Wellington Jno-Baptiste		
name	Wellington Jno-Baptiste	signature	25591
registration information	VA3 Design Inc.	signature	42658
contractor	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
no.	description	date	by
4	REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB	
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT	
1	ISSUE FOR CLIENT REVIEW		

10/24/2018 10:13:25 AM kbayley

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APPROVED BY: _____
DATE: Jun. 28, 2018

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project no.
13049

BAYVIEW WELLINGTON

INNISFIL, ON.

ing no.

REAR ELEVATION 'A'

DA

13049-TH-8C
2018 - 3:51 PM

Mon - Jun 25 3:

049-TH-8C.0mg. -

16" = 1'-0"

- 3/

H:\ARCHIVE\WORK

CL	RICHARD -
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design.com

416.630.222

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returned at the comp

er which must be not to be scored.

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date	
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p.	description
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ROOF PLAN 'A'

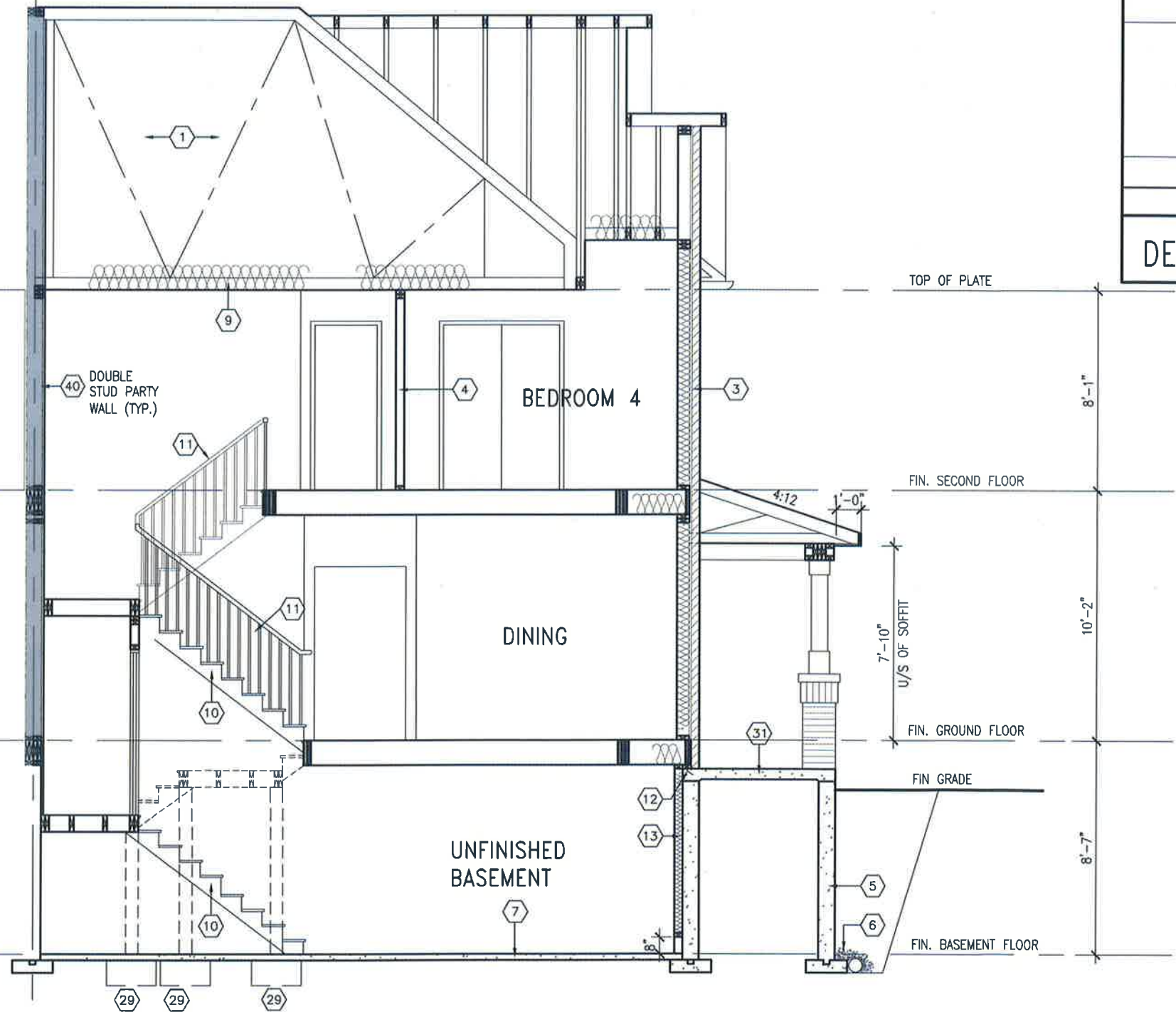
REAR ELEVATION 'A'

ALL WINDOWS TO HAVE BRICK SOLDIER
UNDER PRECAST CONC. SILL (IF POSSIBLE)
FOR BLOCK 145 ONLY



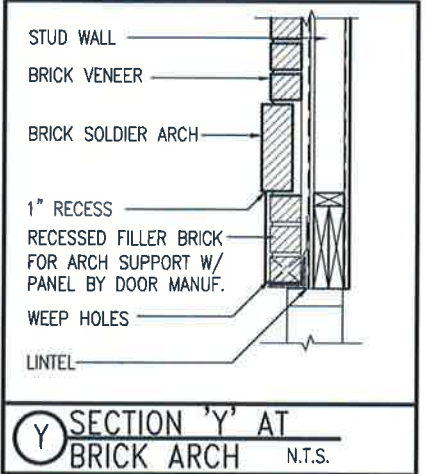
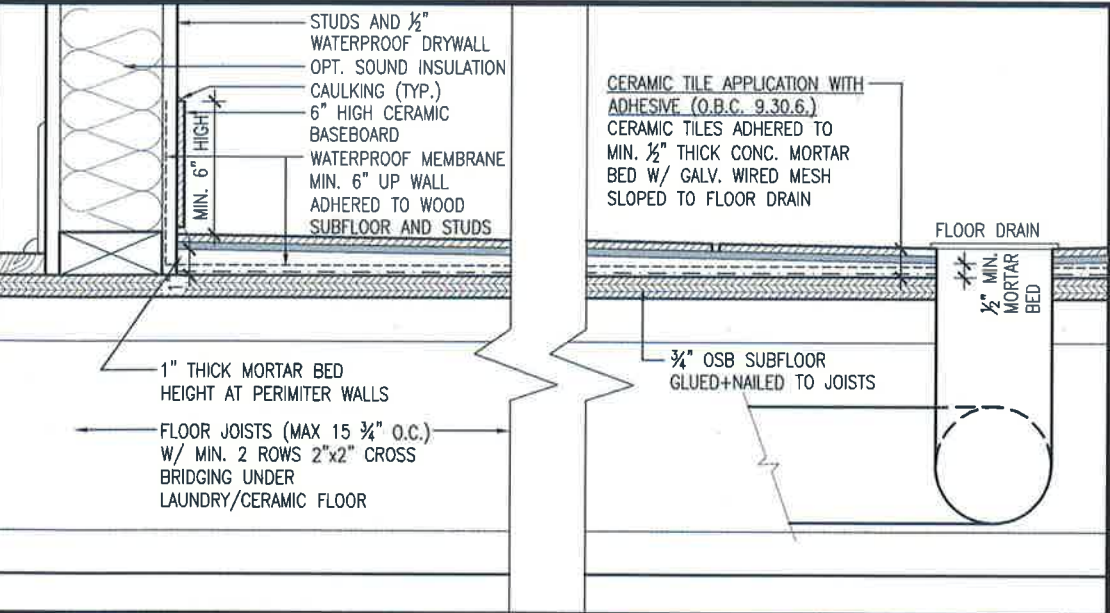
JUNE 26, 2018

1'-0"



CROSS SECTION A-A

DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



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project name		project no.	
ALCONA		13049	
municipality		drawing no.	
INNISFIL, ON.		7A	
date		file name	
DECEMBER, 2017		13049-TH-8C	
drawn by		scale	
CL		3/16" = 1'-0"	
checked by		date	
-		-	
no. description		date	
9	REVISED AS PER ENG'S COMMENTS	JUN 25-18	SB
8	REVISED AS PER FLOOR TRUSS COMMENTS	MAY 22/18	WT
7	REVISED AS PER FLOOR TRUSS COMMENTS	MAY 18/18	WT
6	ISSUE FOR CLIENT REVIEW		
5			
4			
3			
2			
1			

Wellington Jno-Baptista

25591

BCN

42658

VAS Design Inc.

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INDICATES FIRE RATED WALL ASSEMBLY

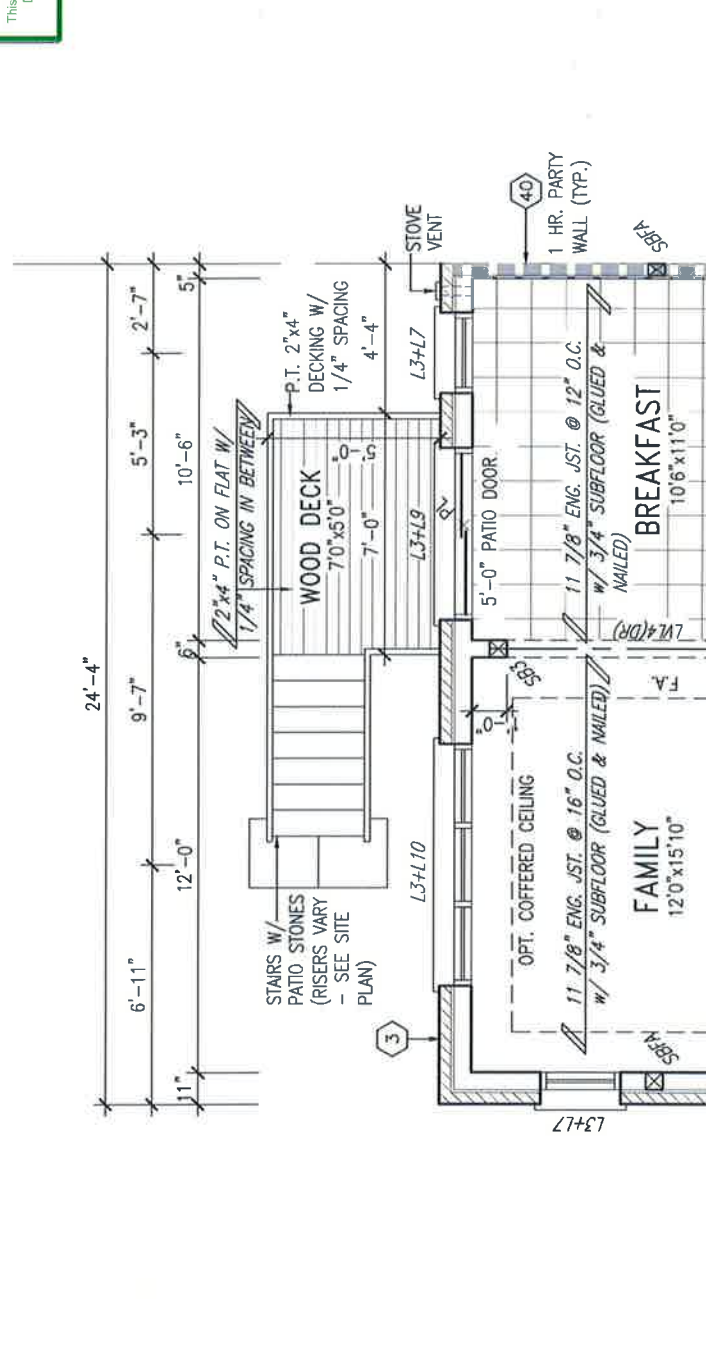
UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
TH-8C	ELEVATION A W.O.D	ENERGY EFFICIENCY - OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		551 S.F.	95 S.F.	17.24 %
LEFT SIDE		1145 S.F.	161 S.F.	14.06 %
RIGHT SIDE		1133 S.F.	0 S.F.	0.00 %
REAR		600 S.F.	154 S.F.	25.67 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.	
TOTAL SQ. FT.		3429.00 S.F.	410.00 S.F.	11.96 %
TOTAL SQ. M.		318.56 S.M.	38.09 S.M.	11.96 %

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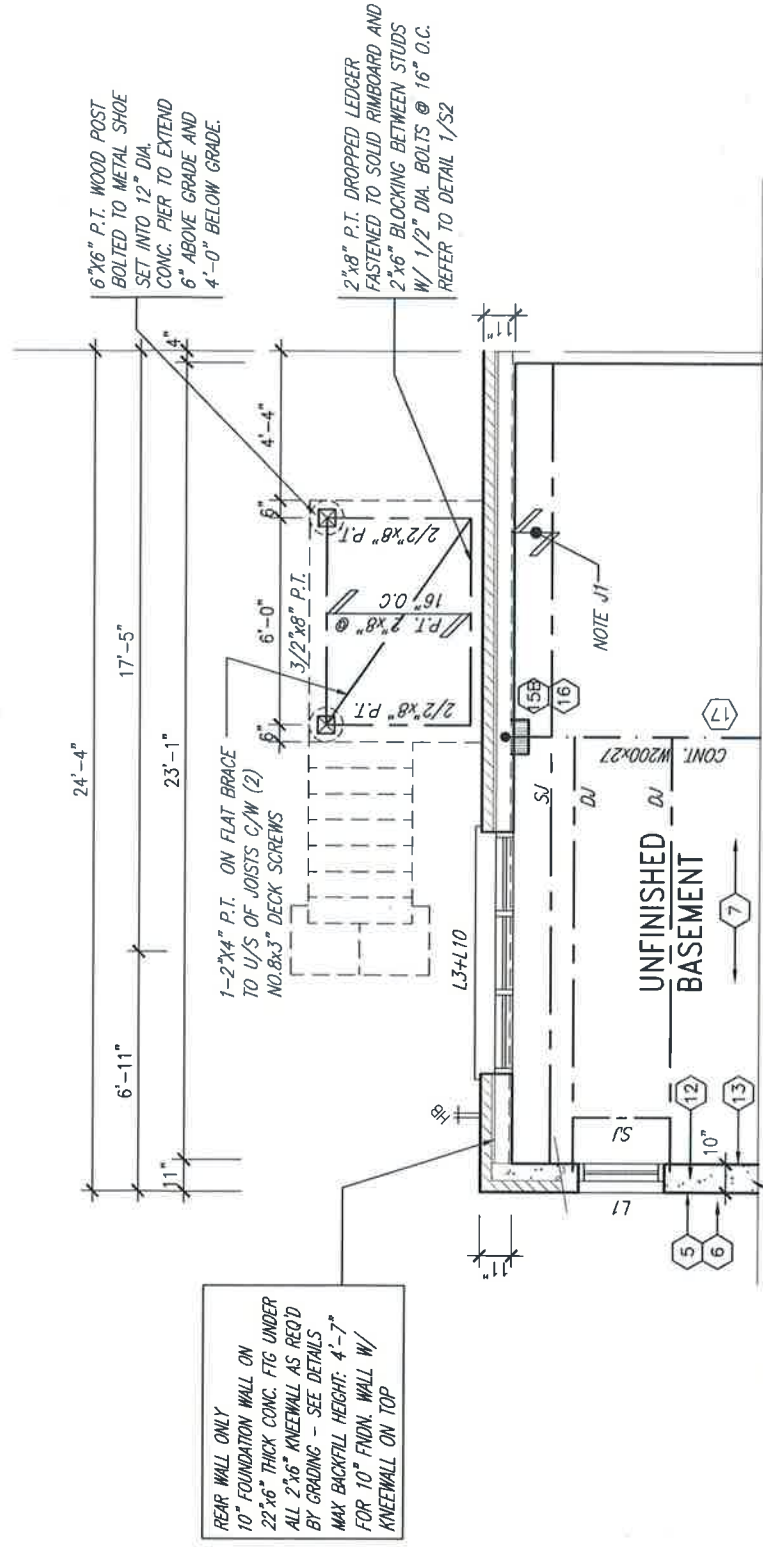
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

DATE: Jun 28, 2018



PARTIAL GROUND FLOOR
PLAN WOD 9R COND.



PARTIAL BASEMENT FLOOR
PLAN WOD 9R COND.

[illegible]

VA3 DESIGN
255 Consumers Rd Suite 158
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.2255
va3design.com

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BAYVIEW WELLINGTON	TH-8C CRANE 8
project name ALCONA	municipality INNISFIL, ON.
date DECEMBER, 2017	drawing no. 13049
drawn by	wod plans
checked by	file name
CL	13049-TH-8C
scale = 3/16" = 1'-0"	8A

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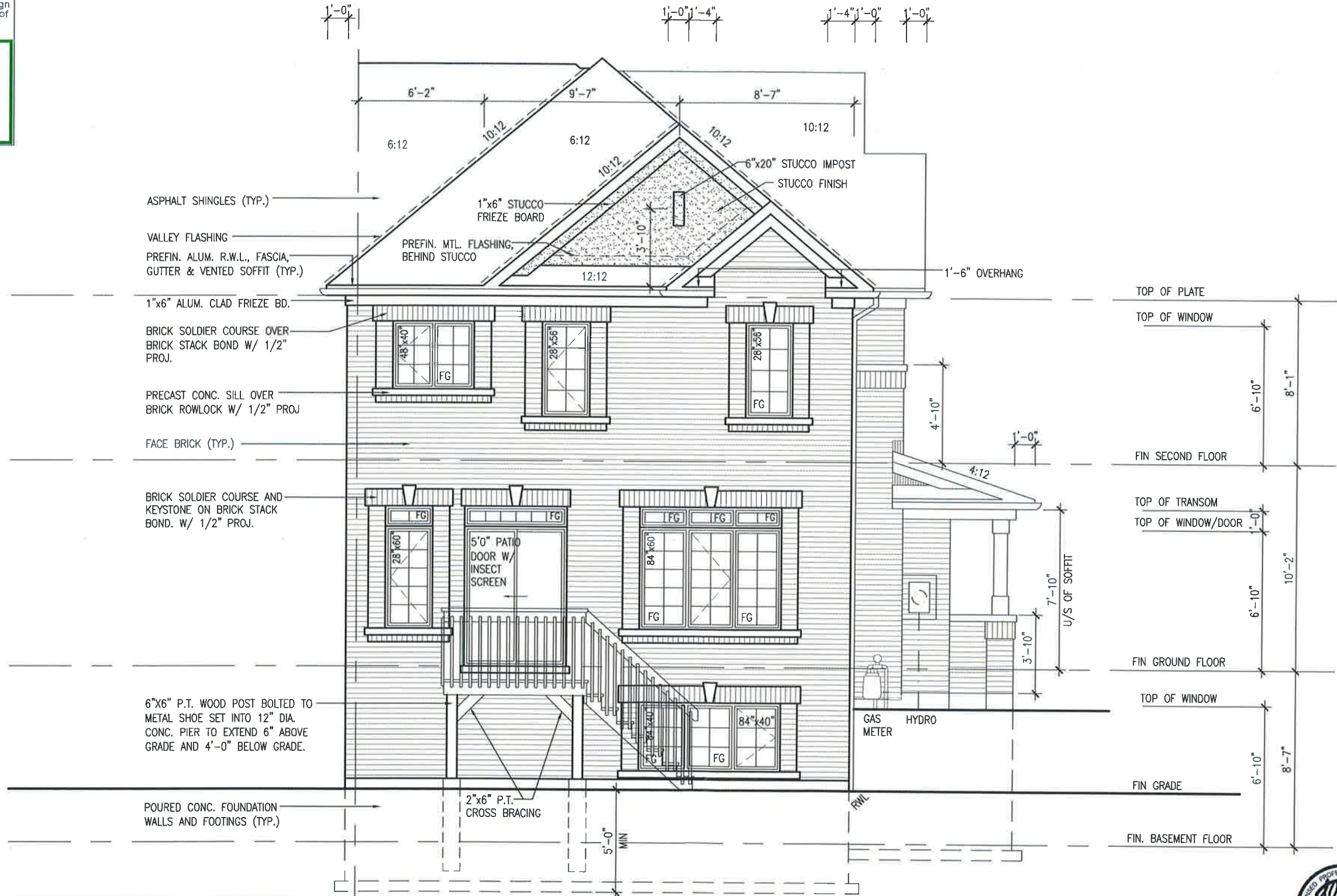
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APPROVED BY: 
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Town of Innisfil Certified Model
10/24/2018 10:13:25 AM kbayley



ALL WINDOWS TO HAVE BRICK SOLDIER UNDER PRECAST CONC. SILL (IF POSSIBLE) FOR BLOCK 145 ONLY

REAR ELEVATION 'A'
WOD 9R COND. OR MORE

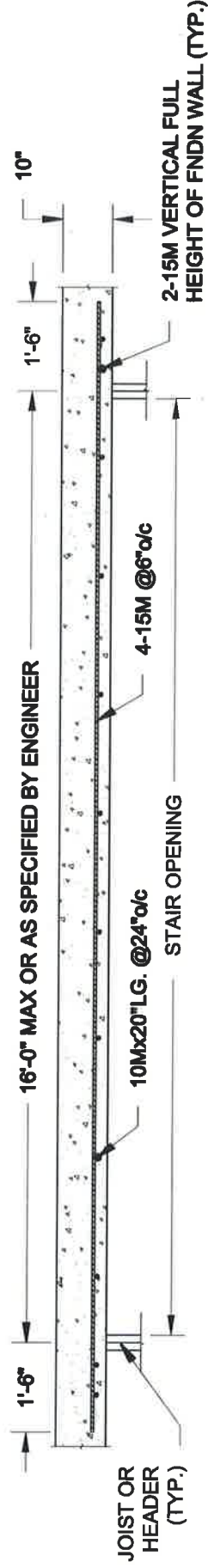
FOR 4-8 RISER WALK OUT DECK CONDITION WINDOW SIZE 30"x24"



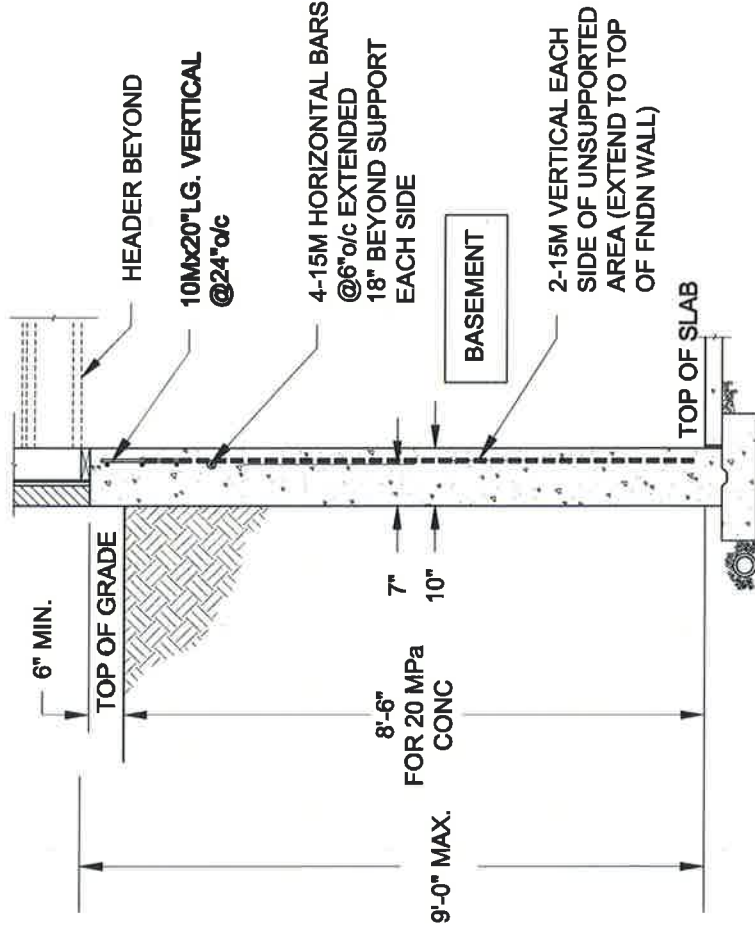
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information		Wellington Jno-Baptiste		25591 BCN	
9	-	-	-	-	-	-	-
8	-	-	-	-	-	-	-
7	-	-	-	-	-	-	-
6	-	-	-	-	-	-	-
5	-	-	-	-	-	-	-
4	REVISED AS PER ENG'S COMMENTS	JUN 25-18	SB				
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18	WT				
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18	WT				
1	ISSUE FOR CLIENT REVIEW						
no.	description	date		by			

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M3H 1S8 t 416.630.2235 f 416.630.4782 va3design.com	
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BAYVIEW WELLINGTON		TH-8C CRANE 8	
project name ALCONA		project no. 13049	
municipality INNISFIL, ON.		drawing no. 9A	
date DECEMBER, 2017		file name 13049-TH-8C	
checked by CL		scale 3/16" = 1'-0"	
drawn by CL		date JUN 28 2018	



PLAN VIEW



NOTE:

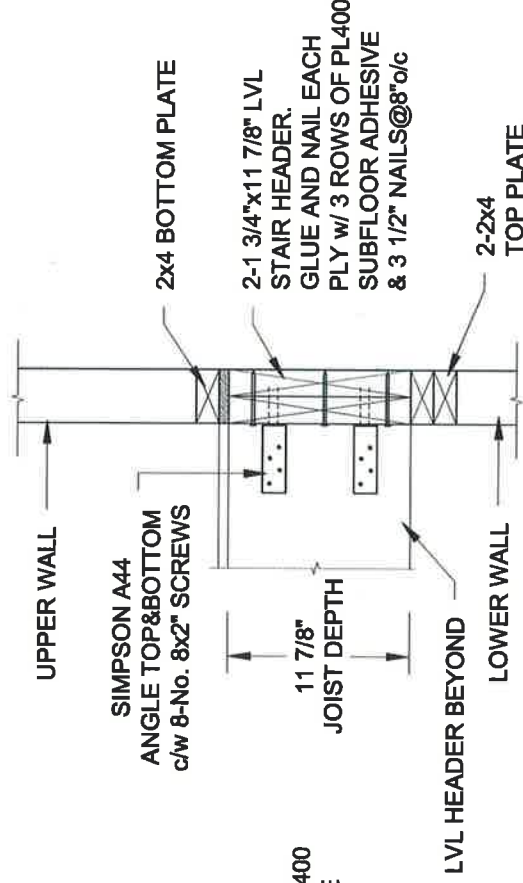
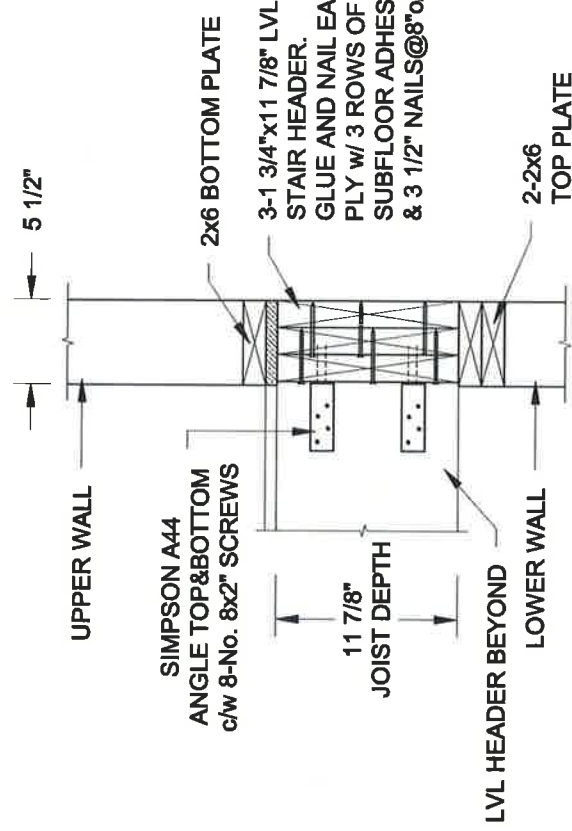
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 Laterally Unsupported Wall

SCALE: 3/8" = 1'-0"

1

S1



2A Header @ Exterior Wall

SCALE: 1" = 1'-0"

2B

Header @ Party Wall

SCALE: 1" = 1'-0"

S1

Scale: AS NOTED

Date: MAY-31-2018

Drawn: SC
Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

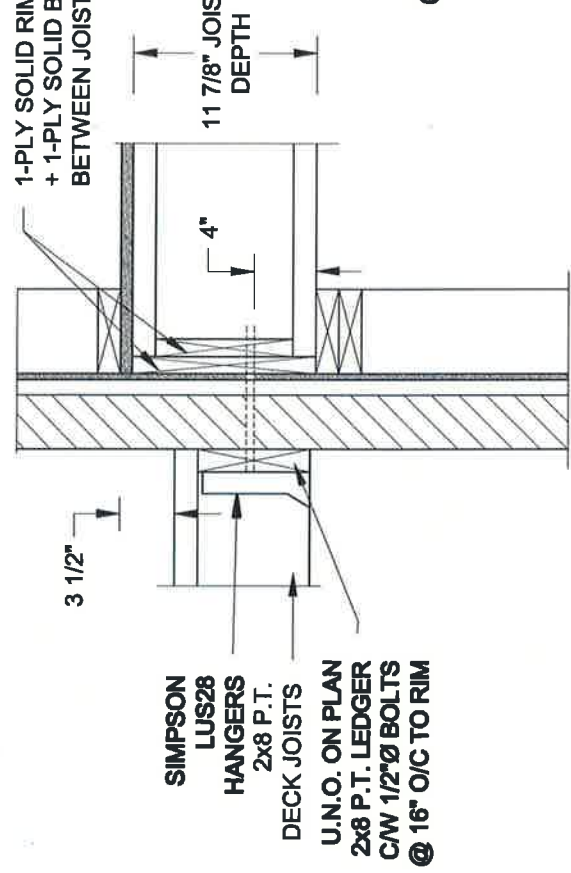
Engineer's Seal:



Project: BAYVIEW WELLINGTON HOMES - ALCONA TOWNS
INNISFIL, ONTARIO

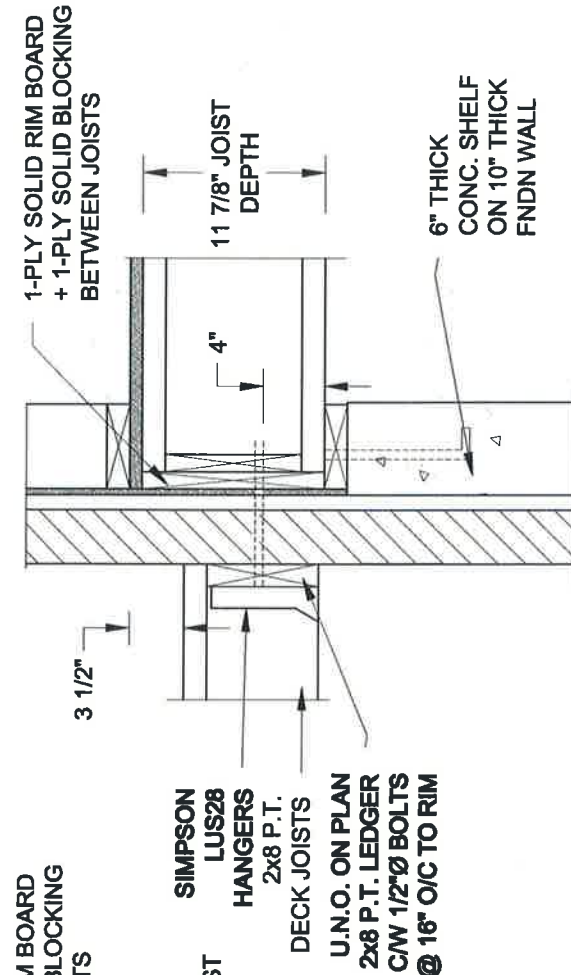
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.: 18-104 Drawing No.: S1

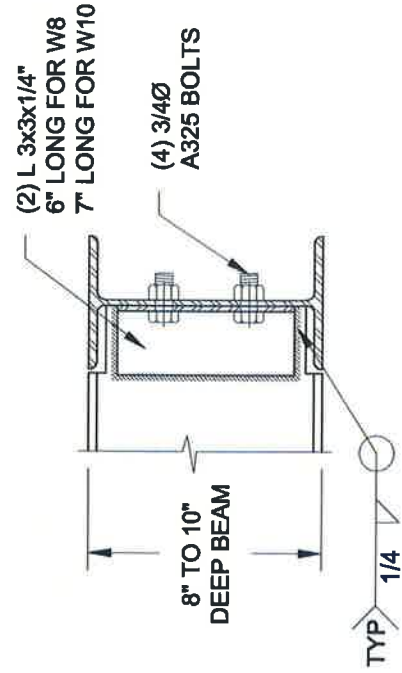


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

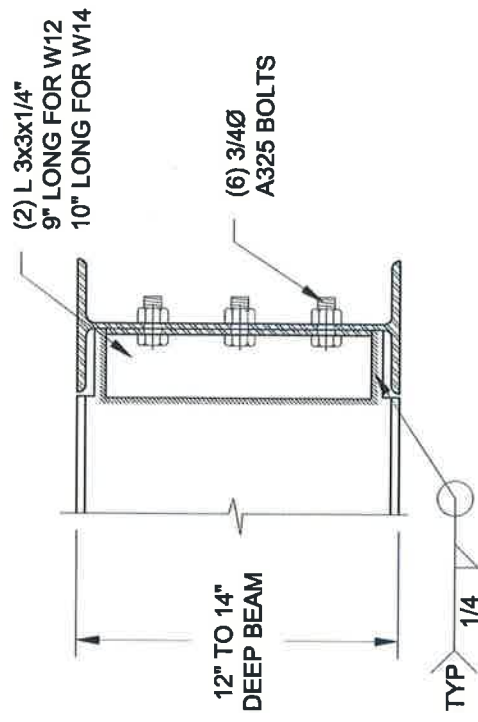


1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



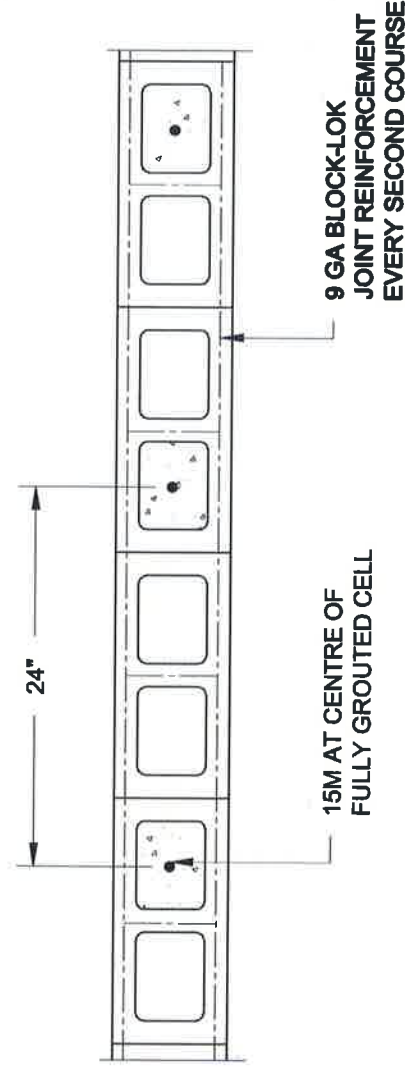
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.

2
S2 SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W380x72) BEAM MAX.

2
S2 SCALE: 1-1/2" = 1'-0"

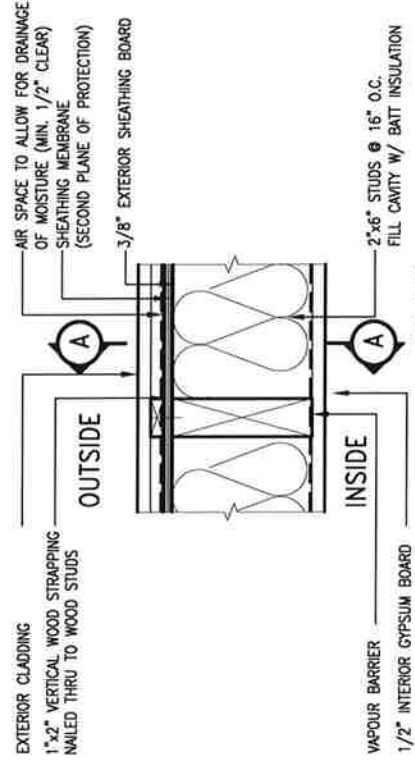


3
S2 SCALE: 1" = 1'-0"

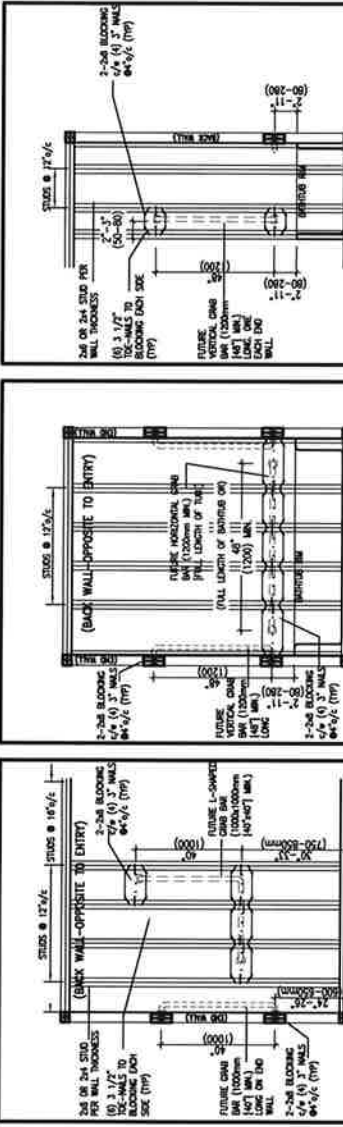
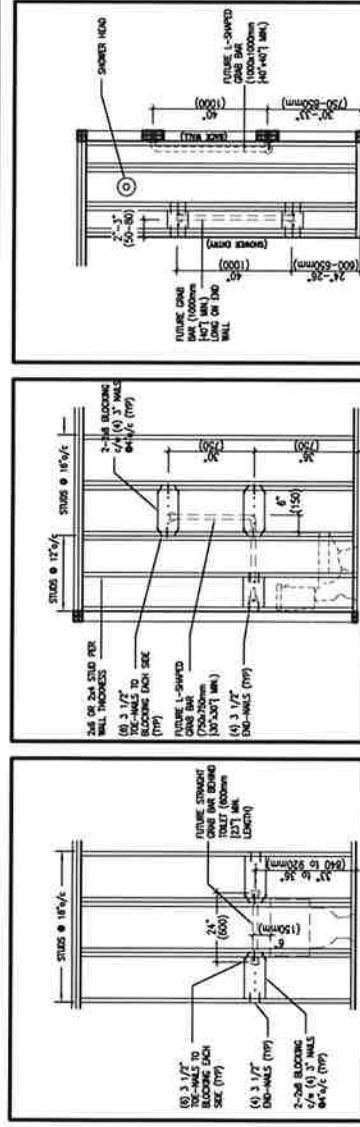
NOTES:

1. REINFORCING STEEL TO CONFORM TO CSA G30.18, GRADE 400.
2. GROUT TO HAVE A COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS WITH 10" SLUMP.
MAXIMUM AGGREGATE SIZE = 3/8".
3. LAP VERTICAL BARS 30" AT ANY SPLICES.

Scale: AS NOTED	QUAILE ENGINEERING LTD.		Engineer's Seal	Project:
	Date: JUN-22-2018	38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com		BAYVIEW WELLINGTON HOMES - ALCONA TOWNS INVERELL, ONTARIO
Drawn: SC	Checked: SJB	TYPICAL STRUCTURAL DETAILS FOR SINGLES		
Project No.: 18-104			Project No.:	Drawing No.: S2



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADVANCE TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST LOAD, AND VERT. LOADS OF 1.3 KN (300 LB).
★ BATHTUB 3.6.3.13(4)(c). AND DETAILS PROVIDED BELOW.
★ WATER CLOSET 3.6.3.8.3(3)(c). ★ 3.6.3.8.3(3)(c). SHOWER 3.6.3.13(2)(c).
REFER TO OBC. DIV. B- WATER CLOSET 3.6.3.8.3(3)(c). ★ 3.6.3.8.3(3)(c). SHOWER 3.6.3.13(2)(c).



2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR
JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.

2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- 2-2"x8" @ 16" O.C. - 16'-0"
- 2"x8" @ 12" O.C. - 17'-9"
- 2-2"x8" @ 16" O.C. - 20'-4"
- 2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
2. SUPPORTED ROOF TRUSS LENGTH OF 5.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9	*						The undersigned has reviewed and takes responsibility for this design and for these applications and meets the requirements set out in the Ontario Planning Code to be a Designer.
8	*						qualification information
7	*						
6	*						
5	*						name Wellington Jno-Baptista
4	*						registration information BCRN 25591
3	*						VAS Design Inc. <i>[Signature]</i> signature
2	UPDATE TO ORO VER 2020	FEB 09-21	RC				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are subject to change without notice at the discretion of the Designer which must be returned at the completion of the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				Drawings are not to be scaled.
no.	description	date	by				

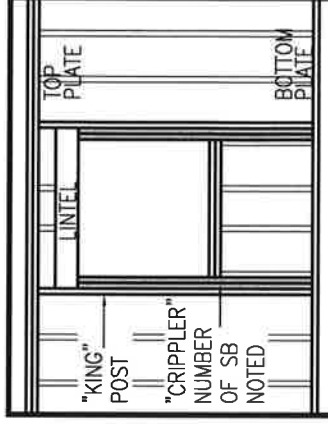
VA3
DESIGN
35 Consumers Rd Suite
Toronto ON M2J 1R4
1.16.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
dwn by RC	drawing no. CN2
checked by --	scale 3/16" = 1'-0"
drawn by RC	file name 13049-CN-A1 VER 2020
RICHARD - H:\PROJECTS\WELLINGTON\13049 BAYVIEW WEL.LON\Drawings\CN-A1_VER_2020.dwg -- Tue Jun 9 7:21:11 AM 2016	

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER DBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

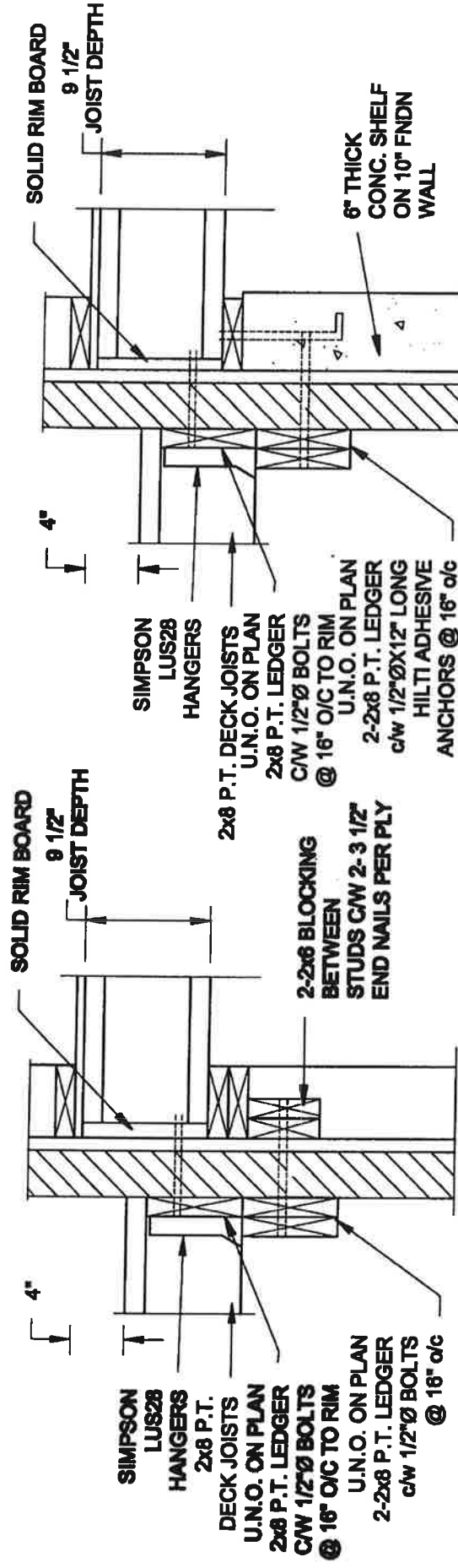


"CRIPPLE" DETAIL



FEB 9, 2021

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

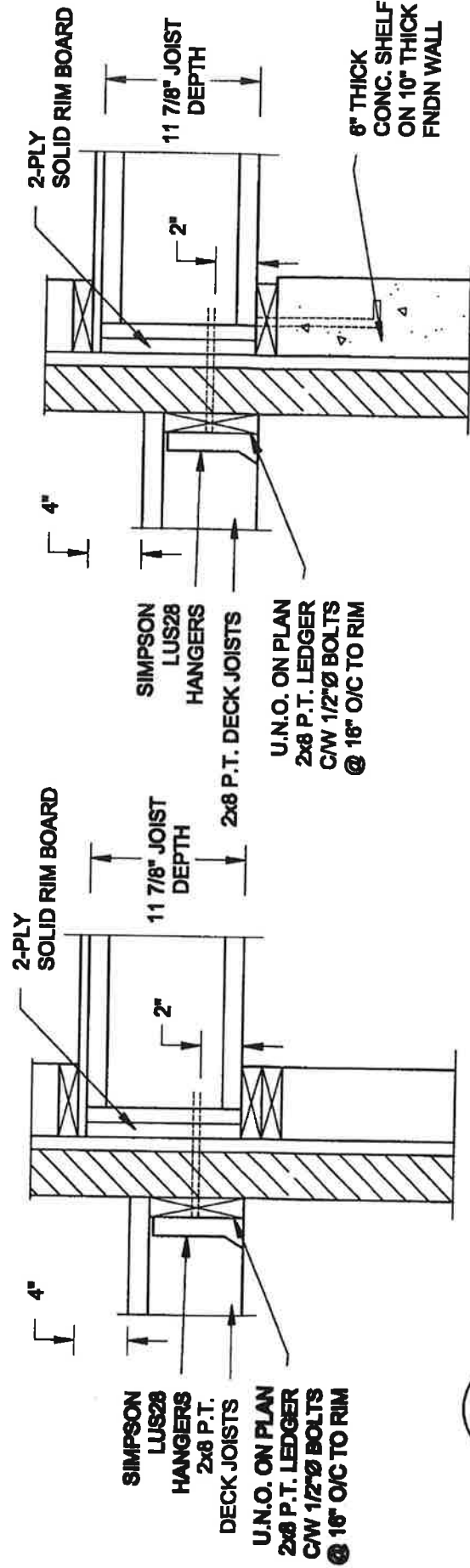
SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH



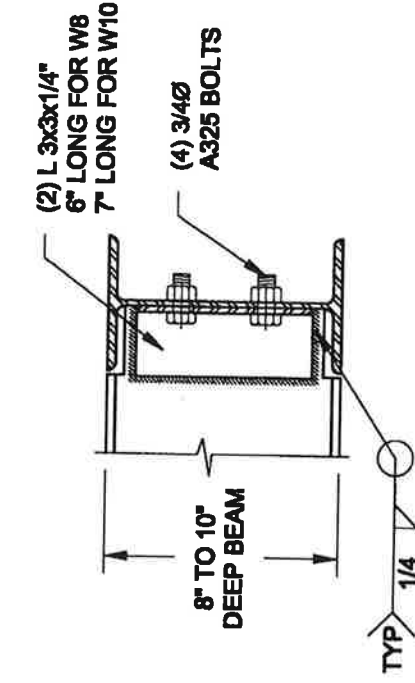
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

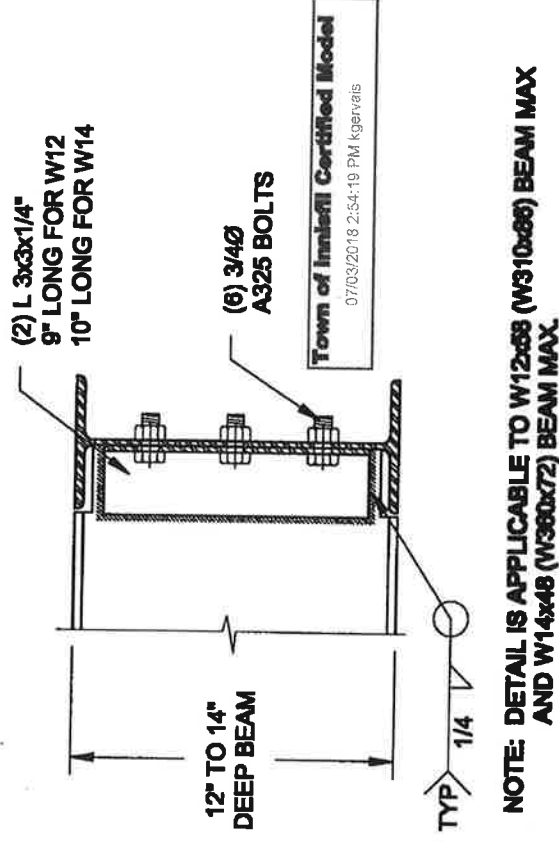
2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

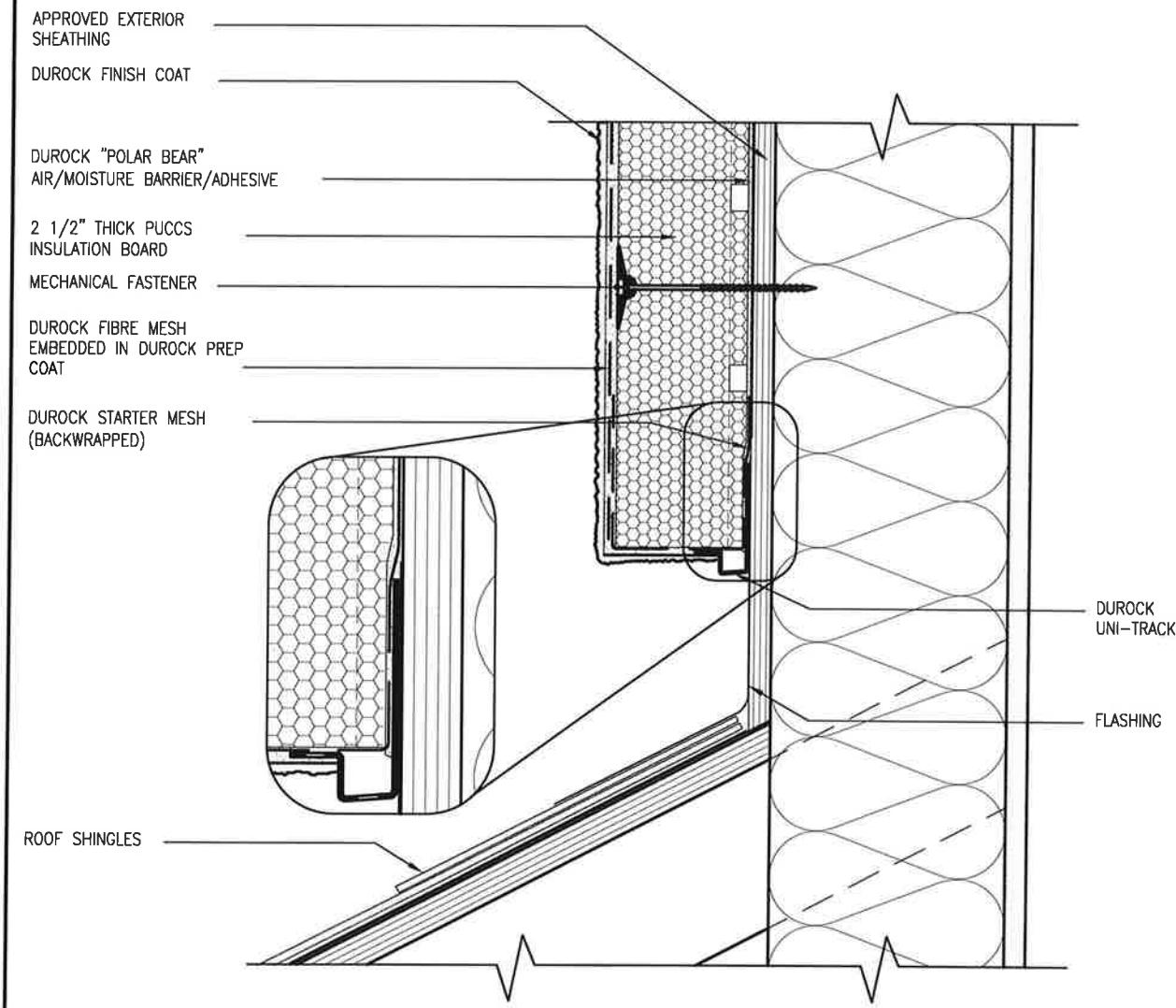


NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

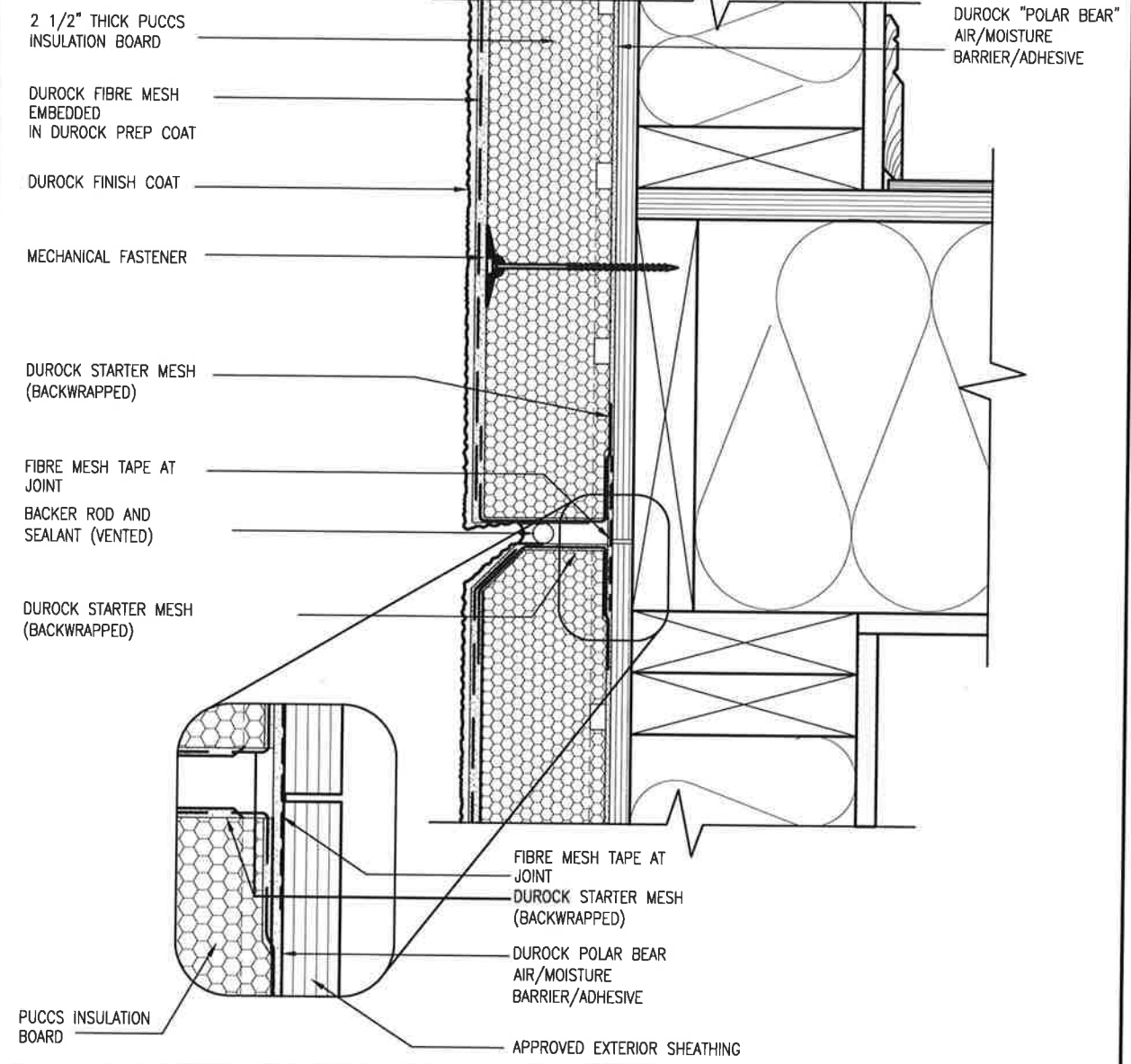
SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED	 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-883-8547 E: quails.eng@rogers.com		Engineer's Seal: 	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNSFEL, ONTARIO TYPICAL STRUCTURAL DETAILS FOR SINGLETS	Project No.: 16-0683	Drawing No.: 92
Date: JUL-01-2017			AUG 10, 2017			
Drawn: SC	Checked: SJB					



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

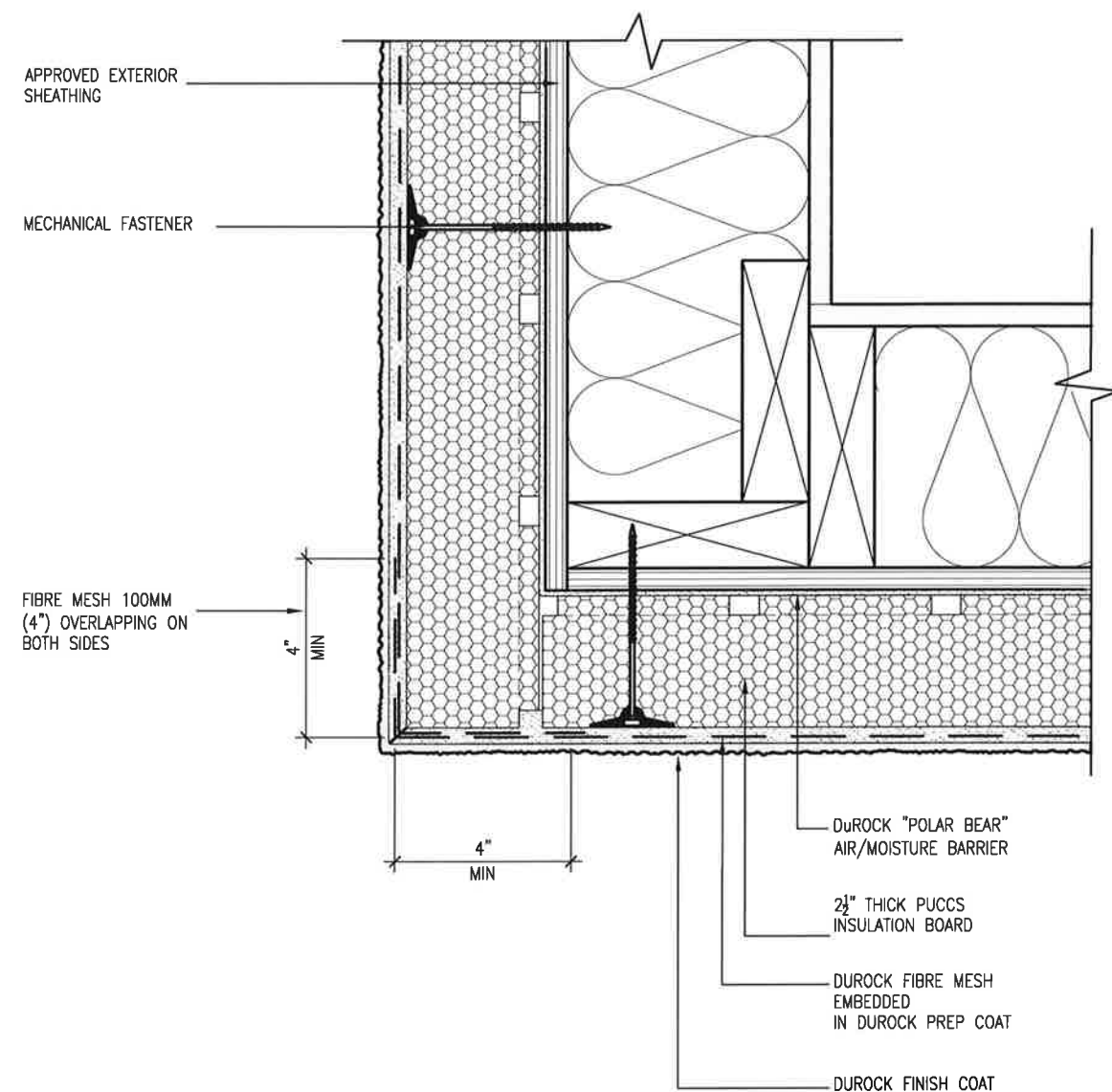
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

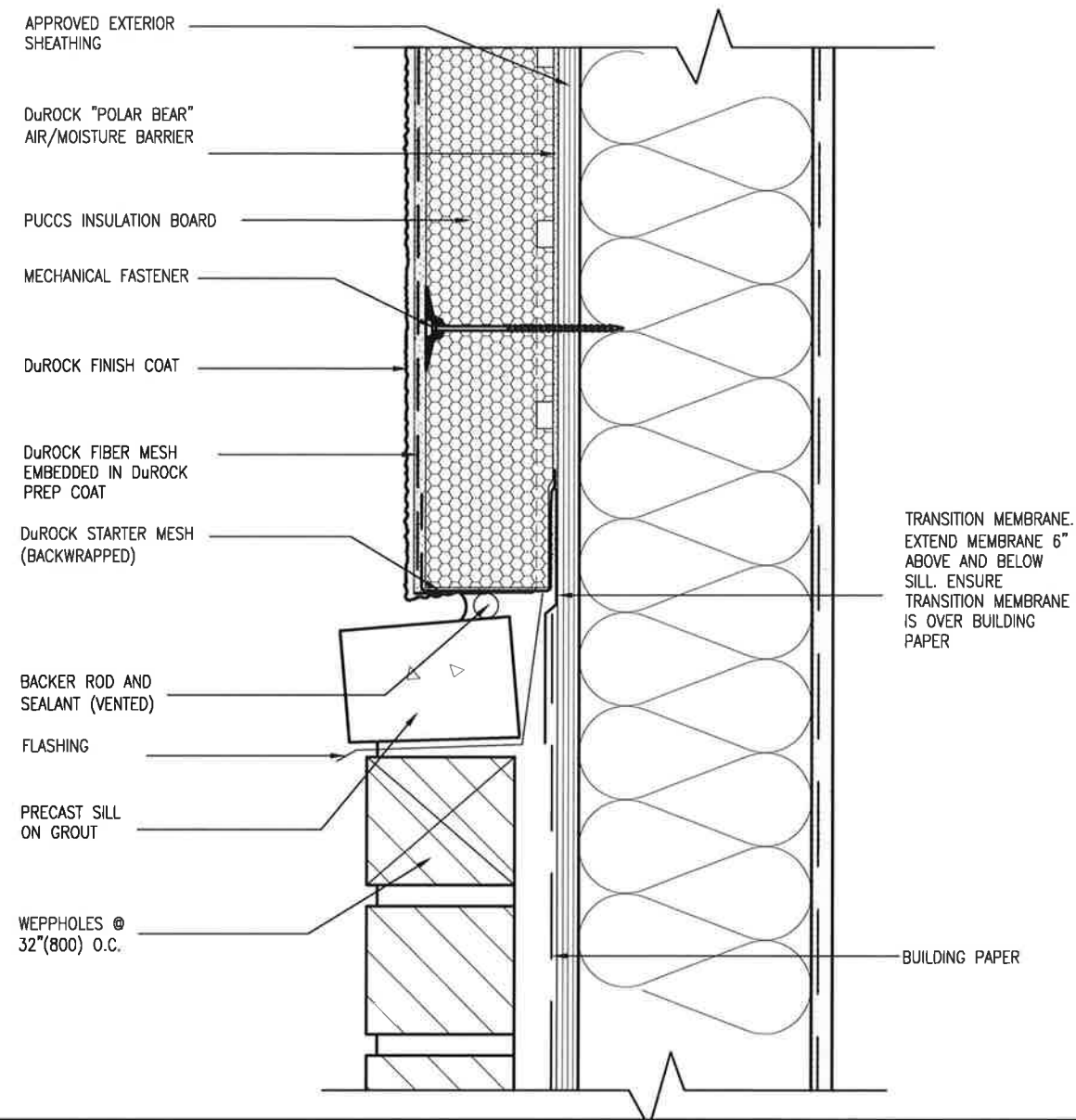
CONST NOTE			
BAYVIEW WELLINGTON		project name	ALCONA
		municipality	INNISFIL ON.
		project no.	13049
		drawing no.	CN4
CONSTRUCTION NOTES			
		file name	13049-CN-A1 VER 2020
		scale	3/16" = 1'-0"
		checked by	RC
		drawn by	RC
		date	MAY 2016
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2L 1K4 t 416.630.2235 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCIN name Jno-Baptiste registration information 42658 BCIN Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

[illegible]

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va3design.com

project name	ALCONA
date	MAY 2016
drawn by	RC

BAYVIEW WELLINGTON

CONST NOTE

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

project name	ALCONA
date	MAY 2016
drawn by	RC

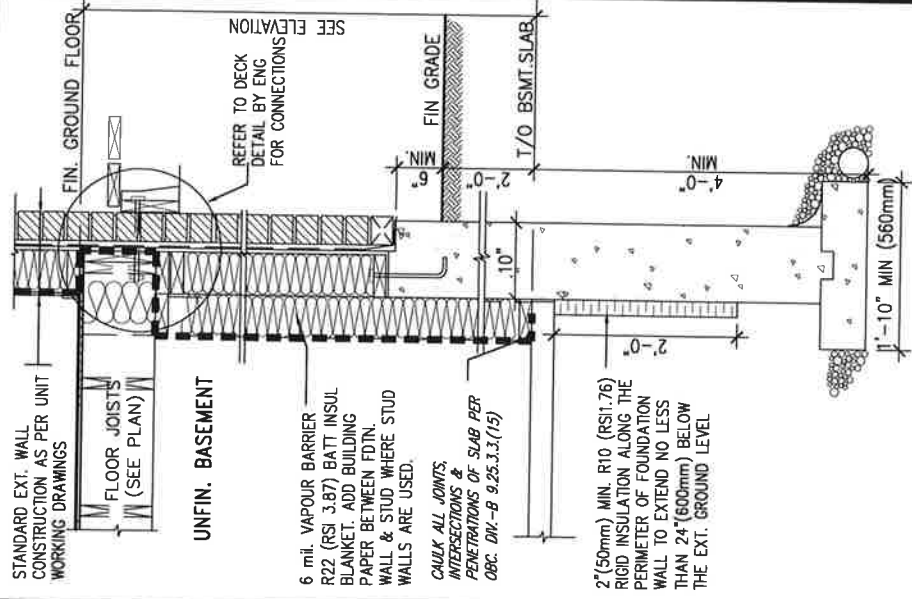
checked by	scale
—	$3/16'' = 1'-0''$

project
1304
drawing no.
CN5

All drawings specifications, related documents and details

-----3-----

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
v3design.com

project name BAYVIEW WELLINGTON		municipality INNISFILL, ON.		project no. 13049	
date MAY 2016		checked by RC		drawing no. CN6	
scale 3/16" = 1'-0"		construction notes 13049-CN-A1 VER 2020			
file name 13049-CN-A1 VER 2020.dwg					

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COMPLIANCE TO CBC SB-12 2.1.1.1(11)

W

B

H

B

H

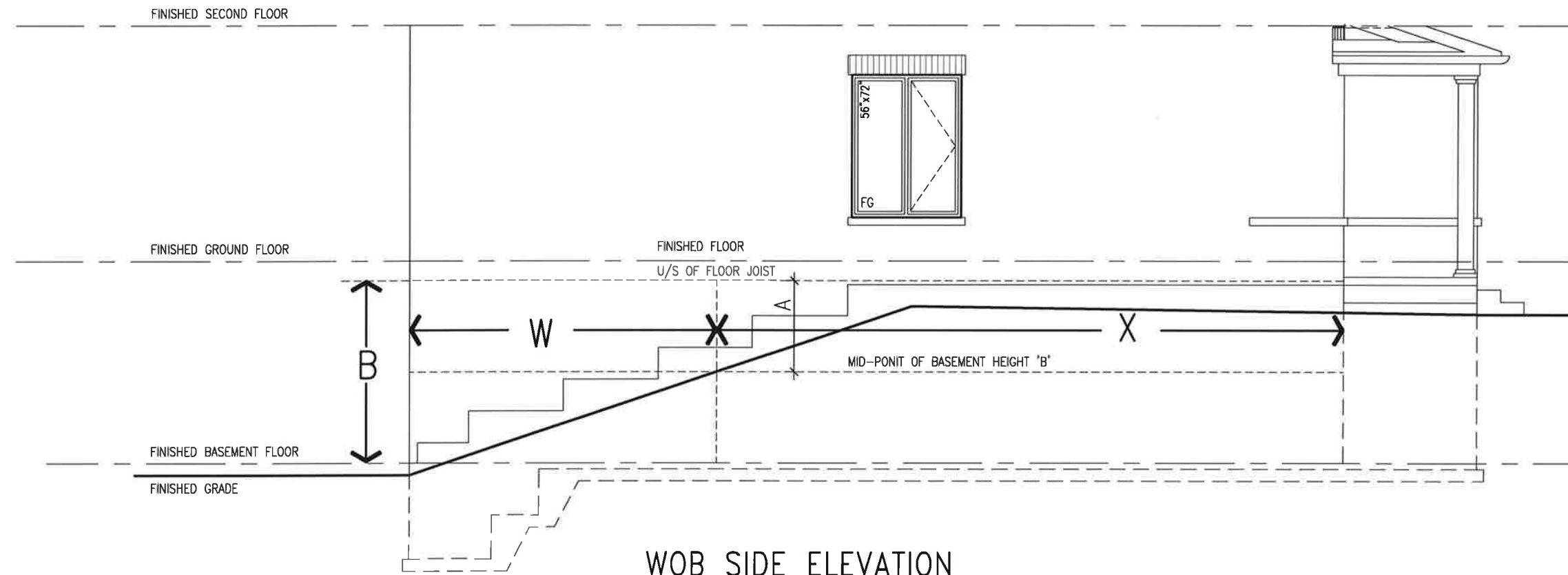
B

H



FEB 9, 2021

WOB PLAN



WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

9		*							The undersigned has reviewed and takes responsibility for this design and issues the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8		*							
7		*							qualification information
6		*							Wellington Jno-Baptiste
5		*							name
4		*							identification information
3		*							VAS Design Inc.
2	UPDATE TO OBC VER 2020							FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner shall retain them until returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW							AUG 04-17 RC	
no.	description							date	by

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va3design.com

project name	ALCONA
date	MAY 2016
drawn by	RC
checked by	
approved by	
scale	
revision	
drawn by	RC
checked by	
approved by	
scale	
revision	

BAYVIEW WELLINGTON

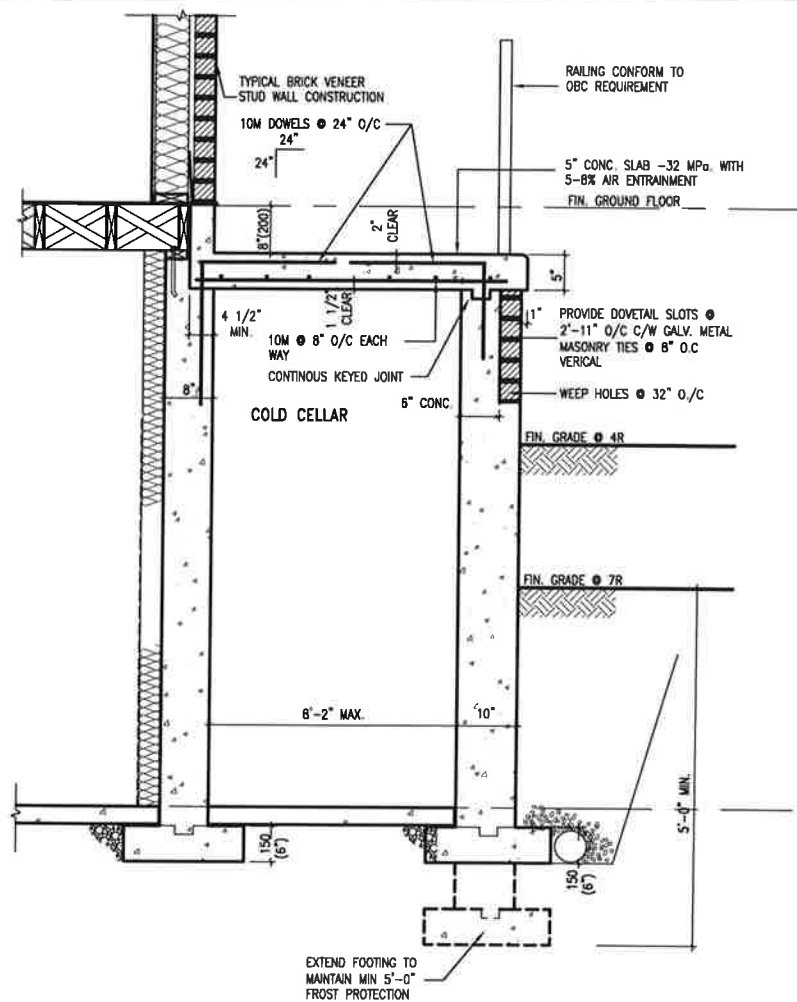
CONST NOTE

project name ALCONA	project no. 13049
date MAY 2016	project no. 13049
drawn by RC	project no. 13049
checked by —	project no. 13049
scale 3/16" = 1'-0"	project no. 13049
file name 13049-CN-A1 VER 2020	project no. 13049
CONSTRUCTION NOTES	project no. 13049
INNSIFLON.	project no. 13049

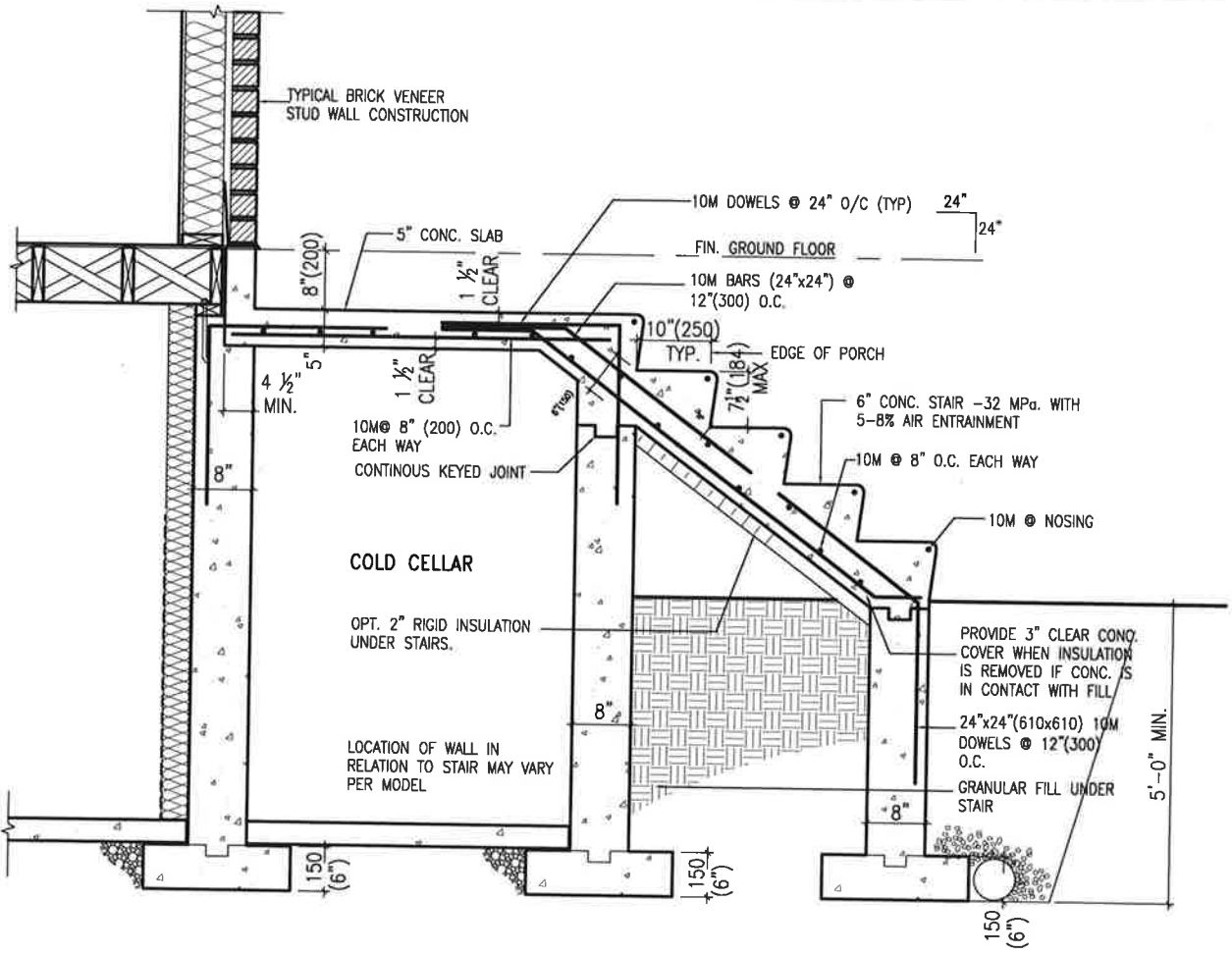
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FEB 9, 2021



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA		project no. 13049	
date MAY 2016		drawing no. CN9	
checked by RC		checked by RC	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
drawn by RC		drawn by RC	
municipality INNISFIL, ON.		municipality INNISFIL, ON.	
CONSTRUCTION NOTES		CONSTRUCTION NOTES	
1. RC-HRD - 14 VACUUM WELDED 2013/13049 BAYVIEW/2016/13049 CN-A1 VER 2020		1. RC-HRD - 14 VACUUM WELDED 2013/13049 BAYVIEW/2016/13049 CN-A1 VER 2020	
2. UPDME 10 OBC VER 2020		2. UPDME 10 OBC VER 2020	
3. ISSUE FOR CLIENT REVIEW		3. ISSUE FOR CLIENT REVIEW	
no. description		no. description	
1		1	
2		2	
3		3	
4		4	
5		5	
6		6	
7		7	
8		8	
9		9	

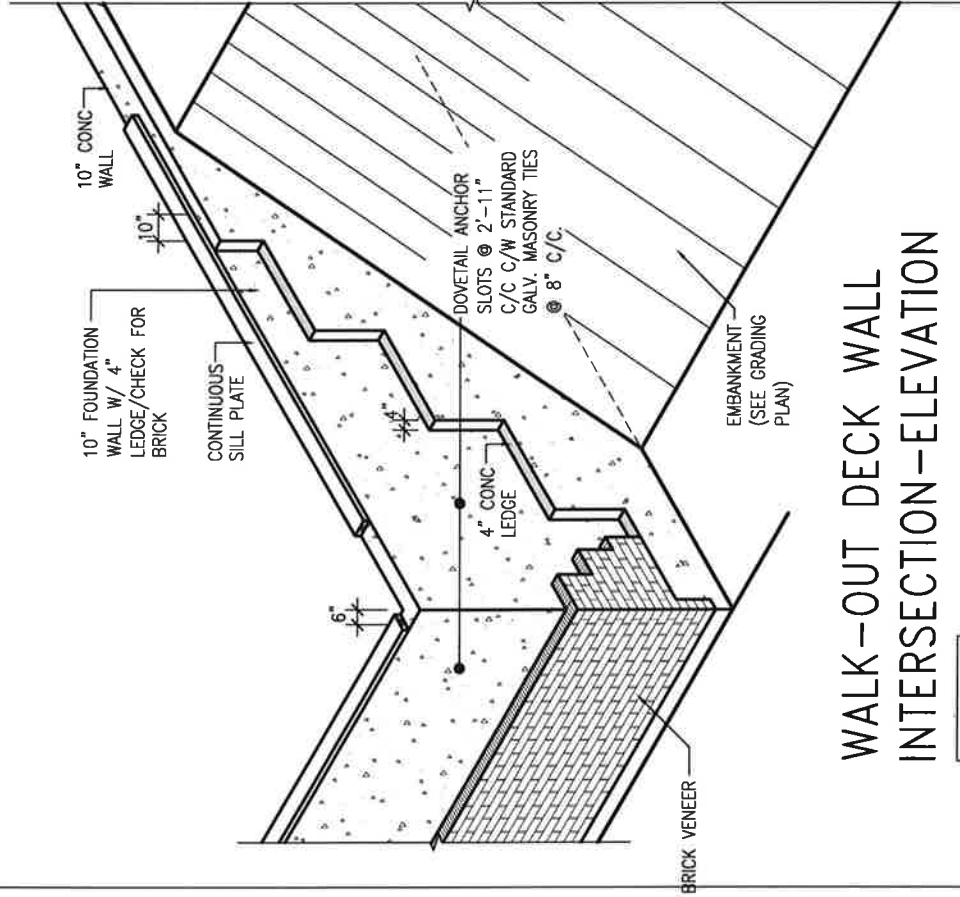
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
VAS Design Inc.
signature
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

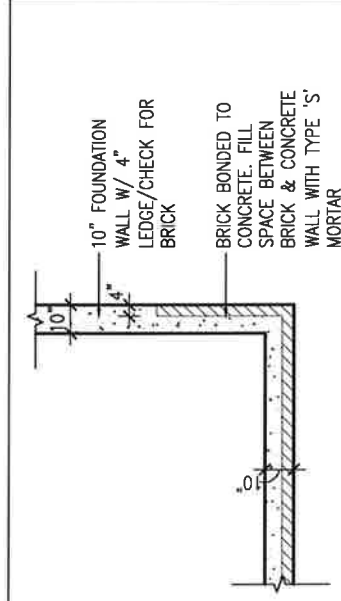
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
vasdesign.com

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WALK-OUT DECK WALL
INTERSECTION-ELEVATION

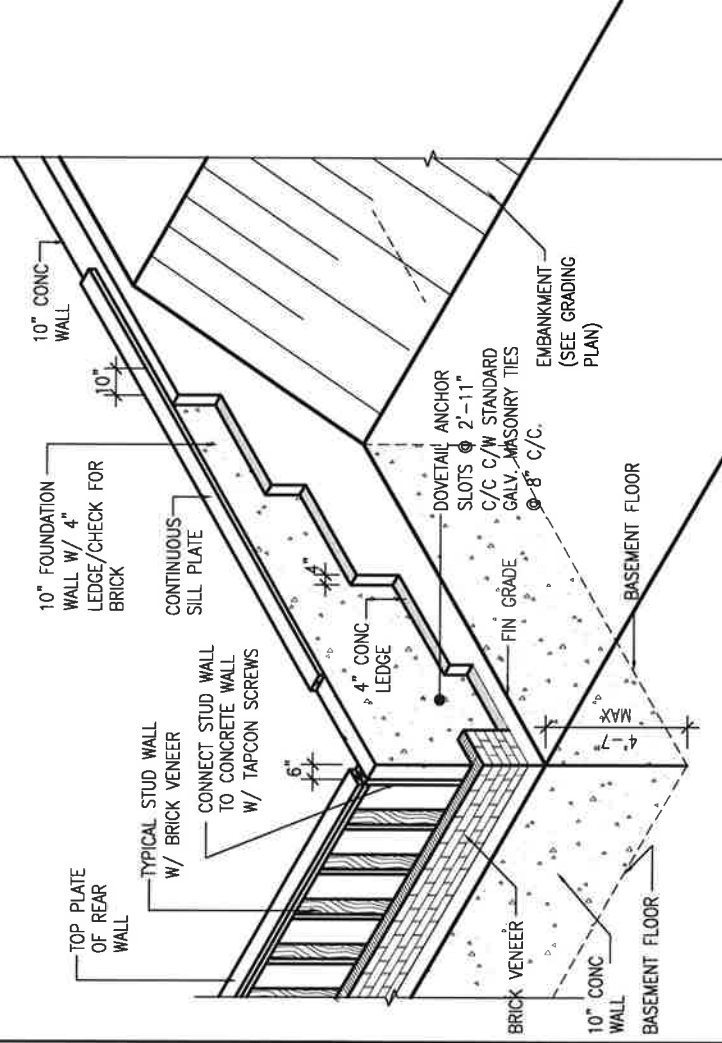
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

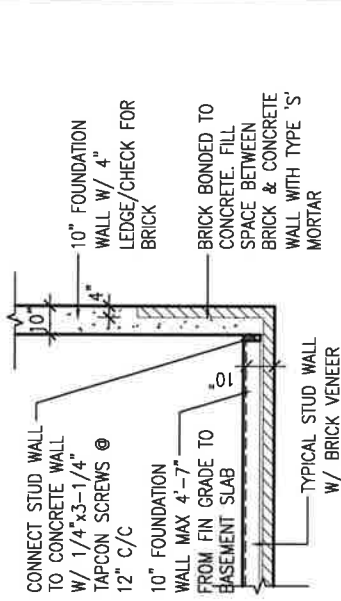
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



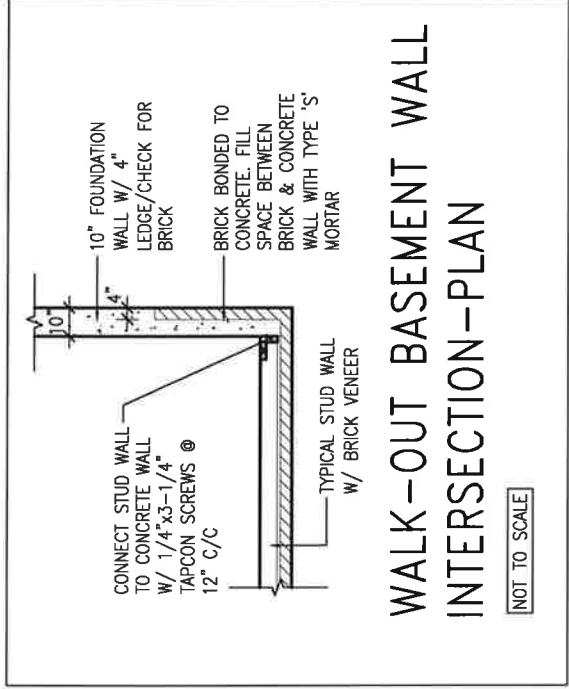
FEB 9, 2021

no.	description	date	by
9	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
8	qualification information		
7			
6			
5	name	Wellington Jno-Baptiste	25591
4	registration information	VA3 Design Inc.	42658
3			
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
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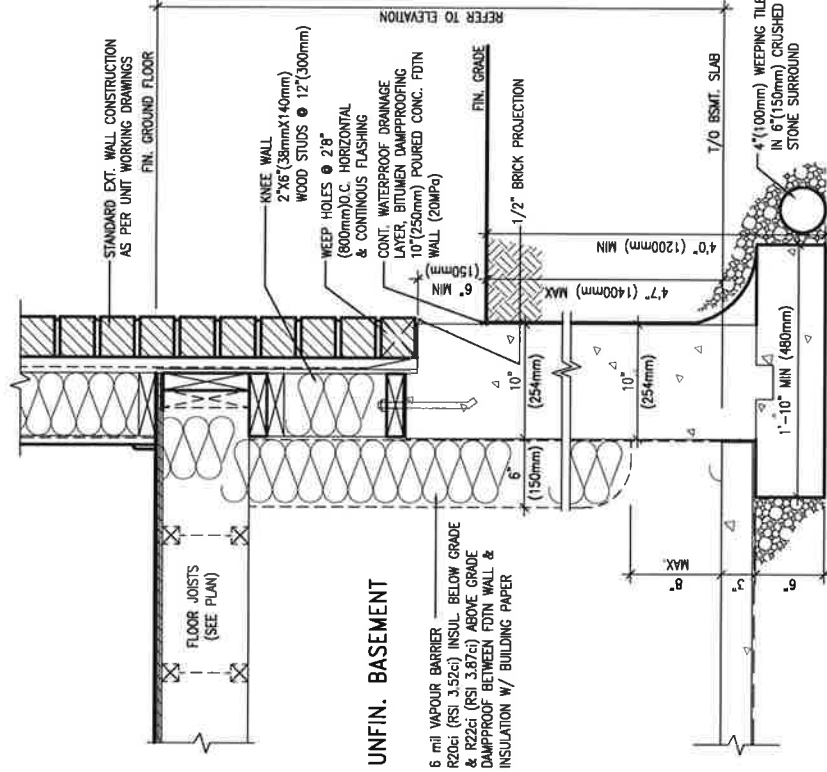
project name	municipality	CONST. NOTE
ALCONA	INNISFIL, ON.	
date	checked by	scale
MAY 2016		3/16" = 1'-0"
drawn by	checked by	
RC		
project no.	drawing no.	
13049	CN10	
file name	CONSTRUCTION NOTES	
13049-CN-A1 VER 2020		

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(10" FOUNDATION WALL)

NOT TO SCALE



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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vo3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
dwn by RC	drawing no. CN111
checked by —	scale 3/16" = 1'-0"
drawn by —	file name 13049-CN-A1 VER 2020
CONSTRUCTION NOTES	
BIRCHMOUNT — at LARSEN'S WOODWORKS (701-151-7484) www.BIRSEVEN.com March 1 2016 - City of Innisfil, Ontario Project # — 13049-CN-A1 Date of Issue — May 2 2016	

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