

**Town of Innisfil Building Dept Notes:**

All smoke alarms and CO detectors shall comply with O.B.C 9.10.19 and 9.33.4

Main bathroom shall be designed as per 9.5.2

All construction subject to review by Town Building Inspectors

See comments on permit

24"x8" THICK  
CONC. FOOTING  
UNDER PARTWALL  
32"x12" THICK  
CONC. FOOTING  
UNDER FIREWALL  
SOIL TO HAVE MIN  
ALLOWABLE  
BEARING CAPACITY  
OF 150 KPa

**Town of Innisfil Certified Model**

10/23/2018 12:09:22 PM klayley

I, the undersigned, hereby certify that the plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Officer is not responsible in any way for the construction of the building or for the building code or permit matter or that any house can be properly built or located on its lot.

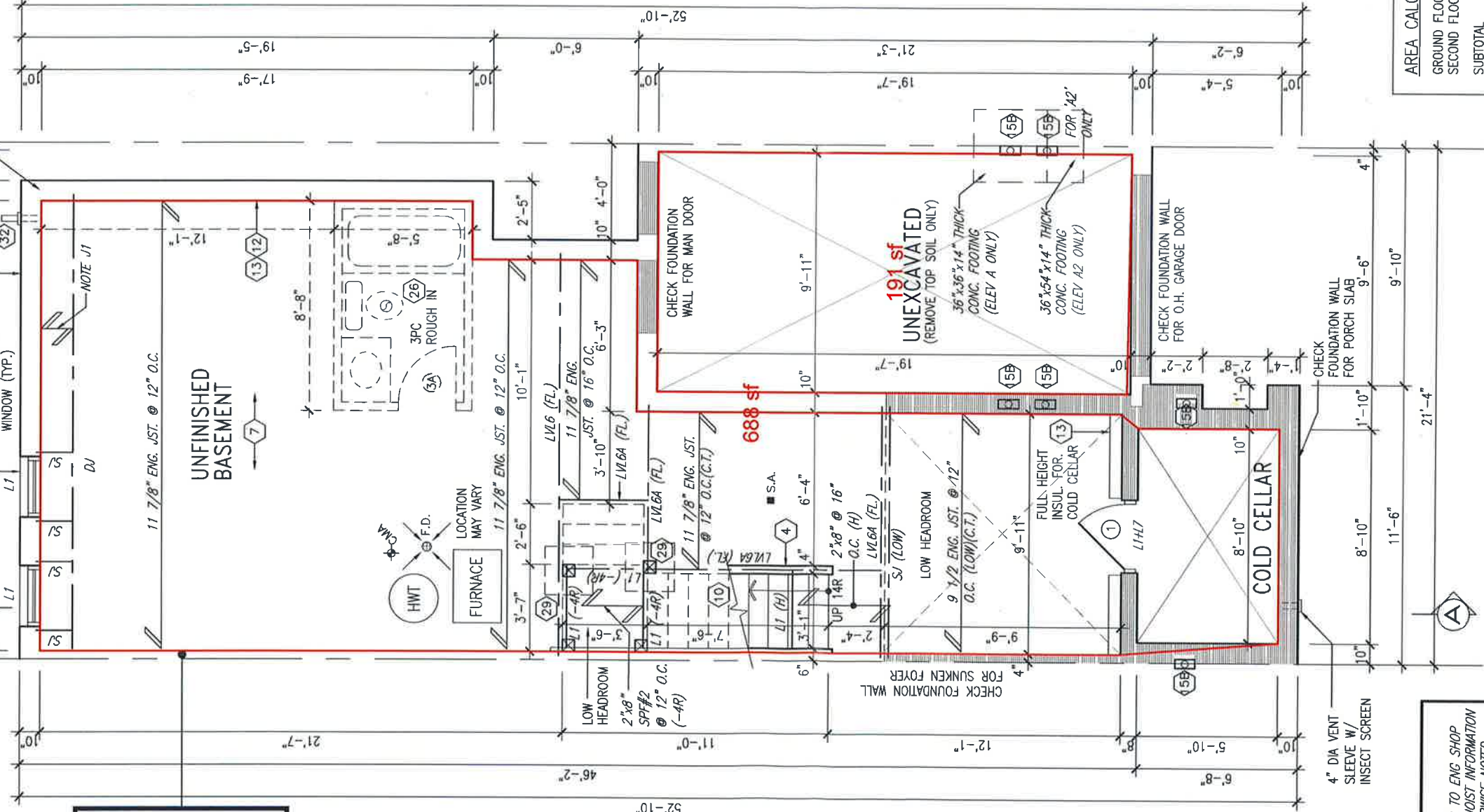
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



**NOTE:**  
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

**ENGINEERED FLOOR SUBFLOORS:**  
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

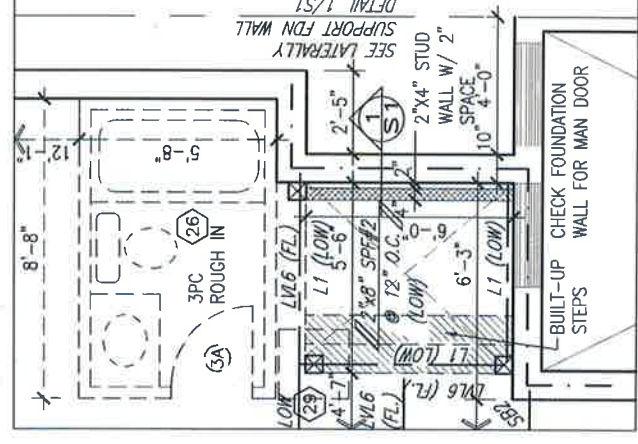
**NOTE:**  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

**NOTE J1:** PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

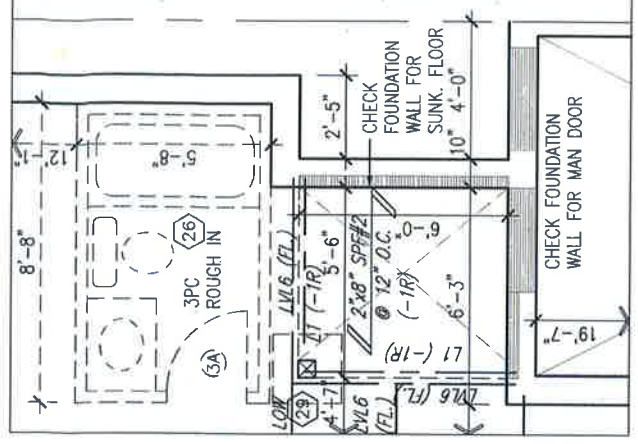
**BASEMENT PLAN 'A'/'A2'**



| AREA CALCULATIONS        | ELEV. A/B/B2                               | ELEV. A2                                   |
|--------------------------|--------------------------------------------|--------------------------------------------|
| GROUND FLOOR AREA        | 721 SF                                     | 721 SF                                     |
| SECOND FLOOR AREA        | 970 SF                                     | 977 SF                                     |
| SUBTOTAL                 | 1691 SF                                    | 1698 SF                                    |
| DEDUCT ALL OPEN AREAS    | 25 SF                                      | 25 SF                                      |
| <b>TOTAL NET AREA</b>    | <b>1666 SF</b><br>(154.78 m <sup>2</sup> ) | <b>1673 SF</b><br>(155.43 m <sup>2</sup> ) |
| FINISHED BSMT AREA       | 0 SF                                       | 0 SF                                       |
| COVERAGE W/OUT PORCH     | 990 SF<br>(91.97 m <sup>2</sup> )          | 990 SF<br>(91.97 m <sup>2</sup> )          |
| <b>COVERAGE W/ PORCH</b> | <b>1066 SF</b><br>(99.03 m <sup>2</sup> )  | <b>1066 SF</b><br>(99.03 m <sup>2</sup> )  |



**PARTIAL PLAN  
SUNKEN 2R COND.  
OR MORE**



**PARTIAL PLAN  
SUNKEN 1R COND.**

|     |                                      |           |    |       |  |
|-----|--------------------------------------|-----------|----|-------|--|
| 9.  |                                      |           |    |       |  |
| 8.  |                                      |           |    |       |  |
| 7.  |                                      |           |    |       |  |
| 6.  |                                      |           |    |       |  |
| 5.  | REVISED AS PER ENG'S COMMENTS        | JUN 21-18 | SB | 25591 |  |
| 4.  | REVISED AS PER FLOOR TRUSS COMMENTS. | MAY 22/18 | WT | 90N   |  |
| 3.  | REVISED AS PER ROOF TRUSS COMMENTS.  | MAY 18/18 | WT | 42658 |  |
| 2.  | REVISED AS PER CONSTRUCTION COMMENTS | MAR 26-18 | PB |       |  |
| 1.  | ISSUE FOR CLIENT REVIEW              | JAN 15-18 | NS |       |  |
| no. | description                          | date      | by |       |  |

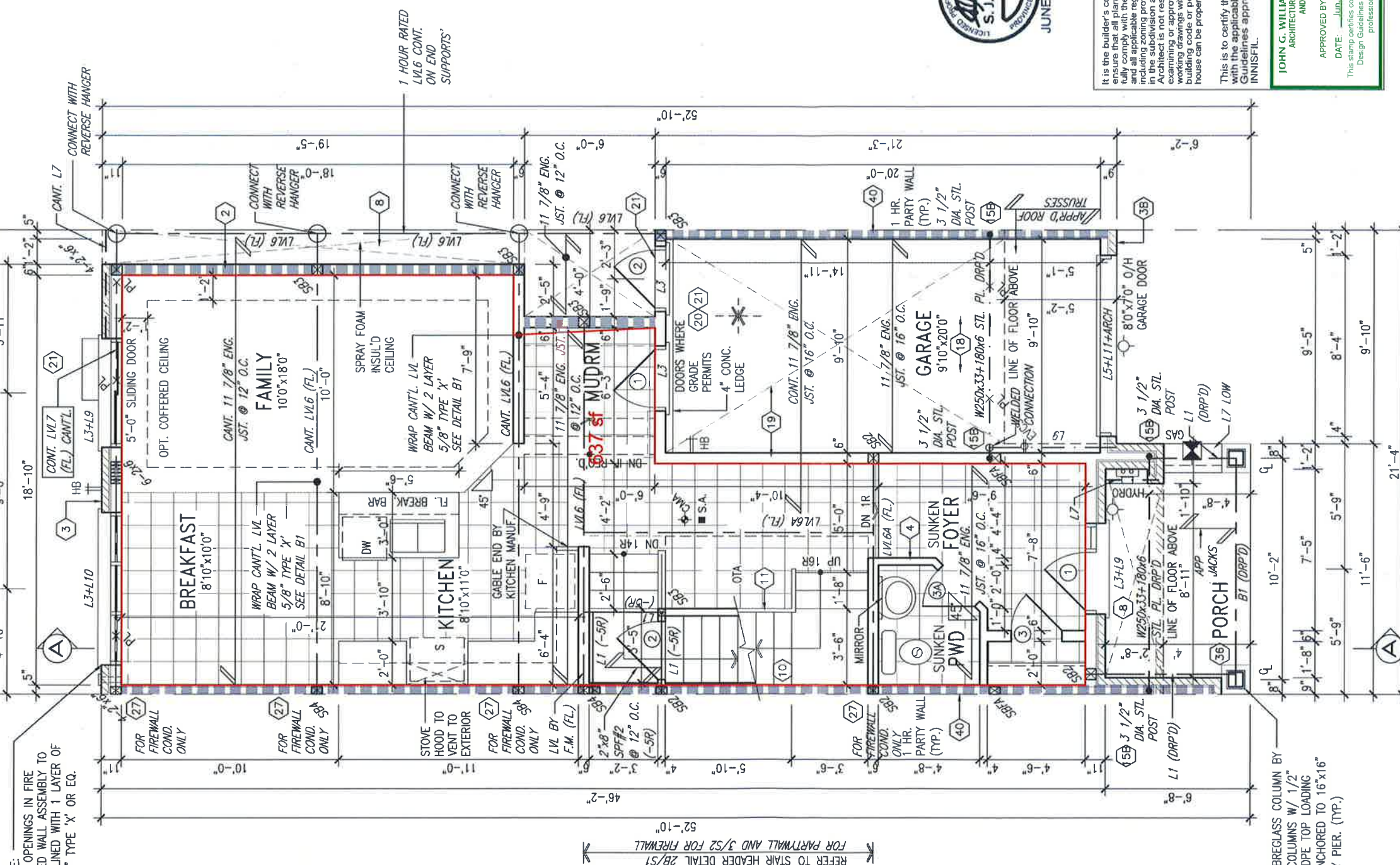
**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**BAYVIEW WELLINGTON**

|              |               |             |               |
|--------------|---------------|-------------|---------------|
| Project name | ALCONA SHORES | Project no. | 13049         |
| City         | INNISFIL      | Sheet no.   | 1             |
| Date         | DECEMBER 2017 | Scale       | 3/16" = 1'-0" |
| Drawn by     | NS            | Checked by  | 13049-TH-2    |

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NOTE:  
ALL OPENINGS IN FIRE  
RATED WALL ASSEMBLY TO  
BE LINED WITH 1 LAYER OF  
5/8" TYPE 'X' OR EQ.



NOTE:  
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO  
BE SPECIFIED BY THE FLOOR TRUSS  
MANUFACTURER.  
FLOOR FRAMING INFO REFER TO ENG SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION  
AND DETAILS. UNLESS OTHERWISE NOTED.  
ENGINEERED FLOOR SUBFLOORS  
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO  
BE GLUED AND NAILED ON THIS FLOOR FOR  
ENGINEERED JOIST ONLY.

GROUND FLOOR PLAN 'A'

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)  
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY  
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.  
ROUGH-IN SHALL INCLUDE:  
• A minimum 200 amp Panelboard,  
• Conduit that is not less than 1 1/16" (27mm)  
trade size,  
• A square 4 11/16" (119mm) trade size  
electrical outlet box.  
• Furnished Electrical outlet box to be installed  
in the Garage or carport or adjacent to  
driveway.  
REFER TO 2012 OBC. 9.34.4.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Inverell Local Environmental Plan. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: JUN. 28, 2018  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



|                                                                                                                                                                                    |                                      |                                                                                                                                                                                    |       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |                                      | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |       |
| 9.                                                                                                                                                                                 |                                      | 10.                                                                                                                                                                                |       |
| 8.                                                                                                                                                                                 |                                      | 11.                                                                                                                                                                                |       |
| 7.                                                                                                                                                                                 |                                      | 12.                                                                                                                                                                                |       |
| 6.                                                                                                                                                                                 |                                      | 13.                                                                                                                                                                                |       |
| 5.                                                                                                                                                                                 | REVISED AS PER ENG'S COMMENTS        | JUN 21-18 SR                                                                                                                                                                       | 25591 |
| 4.                                                                                                                                                                                 | REVISED AS PER FLOOR TRUSS COMMENTS. | MAY 22/18 WT                                                                                                                                                                       | 820N  |
| 3.                                                                                                                                                                                 | REVISED AS PER ROOF TRUSS COMMENTS.  | MAY 18/18 WT                                                                                                                                                                       | 42658 |
| 2.                                                                                                                                                                                 | REVISED AS PER CONSTRUCTION COMMENTS | MAY 26-18 PE                                                                                                                                                                       |       |
| 1.                                                                                                                                                                                 | ISSUE FOR CLIENT REVIEW              | JAN 15-18 NS                                                                                                                                                                       |       |
| no.                                                                                                                                                                                | description                          | date                                                                                                                                                                               | by    |

project name

ALCONA SHORES

project no.

13049

municipality

INNISFIL

township

TH2

date

DECEMBER 2017

checked by

NS

drawn by

NS

scale

3/16" = 1'-0"

file name

13049-TH-2

drawing no.

2

GROUND FLOOR PLAN 'A'

GROUND FLOOR PLAN 'A'

VA3 DESIGN

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
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BAYVIEW WELLINGTON

TH2

CRANE 2





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DATE: Jun 28, 2018

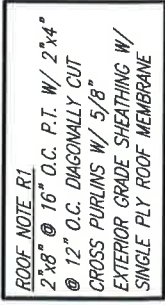
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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

[illegible]

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                          |                               |                                |
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| <b>BAYVIEW WELLINGTON</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                          | <b>TH2</b><br>CRANE 2         |                                |
| project name<br><b>ALCONA SHORES</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | municipality<br><b>INNISFIL</b>          | project no.<br><b>13045</b>   |                                |
| date<br><b>DECEMBER 2017</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | PARTIAL GROUND & SECOND FLOOR PLANS 'A2' |                               |                                |
| drawn by<br>NS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | checked by<br>-                          | scale<br><b>3/16" = 1'-0"</b> | file name<br><b>13045-TH-2</b> |
| REVISIONS: 1. 11/14/17 2. 11/14/17 3. 11/14/17 4. 11/14/17 5. 11/14/17 6. 11/14/17 7. 11/14/17 8. 11/14/17 9. 11/14/17 10. 11/14/17 11. 11/14/17 12. 11/14/17 13. 11/14/17 14. 11/14/17 15. 11/14/17 16. 11/14/17 17. 11/14/17 18. 11/14/17 19. 11/14/17 20. 11/14/17 21. 11/14/17 22. 11/14/17 23. 11/14/17 24. 11/14/17 25. 11/14/17 26. 11/14/17 27. 11/14/17 28. 11/14/17 29. 11/14/17 30. 11/14/17 31. 11/14/17 32. 11/14/17 33. 11/14/17 34. 11/14/17 35. 11/14/17 36. 11/14/17 37. 11/14/17 38. 11/14/17 39. 11/14/17 40. 11/14/17 41. 11/14/17 42. 11/14/17 43. 11/14/17 44. 11/14/17 45. 11/14/17 46. 11/14/17 47. 11/14/17 48. 11/14/17 49. 11/14/17 50. 11/14/17 51. 11/14/17 52. 11/14/17 53. 11/14/17 54. 11/14/17 55. 11/14/17 56. 11/14/17 57. 11/14/17 58. 11/14/17 59. 11/14/17 60. 11/14/17 61. 11/14/17 62. 11/14/17 63. 11/14/17 64. 11/14/17 65. 11/14/17 66. 11/14/17 67. 11/14/17 68. 11/14/17 69. 11/14/17 70. 11/14/17 71. 11/14/17 72. 11/14/17 73. 11/14/17 74. 11/14/17 75. 11/14/17 76. 11/14/17 77. 11/14/17 78. 11/14/17 79. 11/14/17 80. 11/14/17 81. 11/14/17 82. 11/14/17 83. 11/14/17 84. 11/14/17 85. 11/14/17 86. 11/14/17 87. 11/14/17 88. 11/14/17 89. 11/14/17 90. 11/14/17 91. 11/14/17 92. 11/14/17 93. 11/14/17 94. 11/14/17 95. 11/14/17 96. 11/14/17 97. 11/14/17 98. 11/14/17 99. 11/14/17 100. 11/14/17 101. 11/14/17 102. 11/14/17 103. 11/14/17 104. 11/14/17 105. 11/14/17 106. 11/14/17 107. 11/14/17 108. 11/14/17 109. 11/14/17 110. 11/14/17 111. 11/14/17 112. 11/14/17 113. 11/14/17 114. 11/14/17 115. 11/14/17 116. 11/14/17 117. 11/14/17 118. 11/14/17 119. 11/14/17 120. 11/14/17 121. 11/14/17 122. 11/14/17 123. 11/14/17 124. 11/14/17 125. 11/14/17 126. 11/14/17 127. 11/14/17 128. 11/14/17 129. 11/14/17 130. 11/14/17 131. 11/14/17 132. 11/14/17 133. 11/14/17 134. 11/14/17 135. 11/14/17 136. 11/14/17 137. 11/14/17 138. 11/14/17 139. 11/14/17 140. 11/14/17 141. 11/14/17 142. 11/14/17 143. 11/14/17 144. 11/14/17 145. 11/14/17 146. 11/14/17 147. 11/14/17 148. 11/14/17 149. 11/14/17 150. 11/14/17 151. 11/14/17 152. 11/14/17 153. 11/14/17 154. 11/14/17 155. 11/14/17 156. 11/14/17 157. 11/14/17 158. 11/14/17 159. 11/14/17 160. 11/14/17 161. 11/14/17 162. 11/14/17 163. 11/14/17 164. 11/14/17 165. 11/14/17 166. 11/14/17 167. 11/14/17 168. 11/14/17 169. 11/14/17 170. 11/14/17 171. 11/14/17 172. 11/14/17 173. 11/14/17 174. 11/14/17 175. 11/14/17 176. 11/14/17 177. 11/14/17 178. 11/14/17 179. 11/14/17 180. 11/14/17 181. 11/14/17 182. 11/14/17 183. 11/14/17 184. 11/14/17 185. 11/14/17 186. 11/14/17 187. 11/14/17 188. 11/14/17 189. 11/14/17 190. 11/14/17 191. 11/14/17 192. 11/14/17 193. 11/14/17 194. 11/14/17 195. 11/14/17 196. 11/14/17 197. 11/14/17 198. 11/14/17 199. 11/14/17 200. 11/14/17 201. 11/14/17 202. 11/14/17 203. 11/14/17 204. 11/14/17 205. 11/14/17 206. 11/14/17 207. 11/14/17 208. 11/14/17 209. 11/14/17 210. 11/14/17 211. 11/14/17 212. 11/14/17 213. 11/14/17 214. 11/14/17 215. 11/14/17 216. 11/14/17 217. 11/14/17 218. 11/14/17 219. 11/14/17 220. 11/14/17 221. 11/14/17 222. 11/14/17 223. 11/14/17 224. 11/14/17 225. 11/14/17 226. 11/14/17 227. 11/14/17 228. 11/14/17 229. 11/14/17 230. 11/14/17 231. 11/14/17 232. 11/14/17 233. 11/14/17 234. 11/14/17 235. 11/14/17 236. 11/14/17 237. 11/14/17 238. 11/14/17 239. 11/14/17 240. 11/14/17 241. 11/14/17 242. 11/14/17 243. 11/14/17 244. 11/14/17 245. 11/14/17 246. 11/14/17 247. 11/14/17 248. 11/14/17 249. 11/14/17 250. 11/14/17 251. 11/14/17 252. 11/14/17 253. 11/14/17 254. 11/14/17 255. 11/14/17 256. 11/14/17 257. 11/14/17 258. 11/14/17 259. 11/14/17 260. 11/14/17 261. 11/14/17 262. 11/14/17 263. 11/14/17 264. 11/14/17 265. 11/14/17 266. 11/14/17 267. 11/14/17 268. 11/14/17 269. 11/14/17 270. 11/14/17 271. 11/14/17 272. 11/14/17 273. 11/14/17 274. 11/14/17 275. 11/14/17 276. 11/14/17 277. 11/14/17 278. 11/14/17 |                                          |                               |                                |

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 JUN 26, 2018

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: Jun. 28, 2018

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

**ENGINEERED FLOOR SUBFLOORS**  
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO  
BE GLUED AND NAILED ON THIS FLOOR FOR  
ENGINEERED JOIST ONLY.

|       |                                      |              |    |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |
|-------|--------------------------------------|--------------|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9     | -                                    | -            |    | The undersigned has reviewed and takes responsibility for this design and from the completion and meeting the requirements set out in the Ontario Building Code to be a Designer. | <b>Wellington Jno-Baptiste</b><br><i>J. Baptiste</i><br>signature<br>BCIN 42658                                                                                                                                                                                                                                                                                  |
| 8     | -                                    | -            |    | qualification information                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                  |
| 7     | -                                    | -            |    |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |
| 6     | -                                    | -            |    |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |
| 5     | REVISED AS PER ENG'S COMMENTS        | JUN 21-18 SB |    | name registration information                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                  |
| 4     | REVISED AS PER FLOOR TRUSS COMMENTS: | MAY 22/18 WT |    | VAA3 Design Inc.                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                  |
| 3     | REVISED AS PER ROOF TRUSS COMMENTS:  | MAY 18/18 WT |    |                                                                                                                                                                                   | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are subject to change without notice. The Engineer's seal and specifications are instruments of service and the property of the firm. If they are returned upon completion of the work, drawings are not to be copied. |
| 2     | REVISED AS PER CONSTRUCTION COMMENTS | MAR 26-18 PB |    |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |
| 1     | ISSUE FOR CLIENT REVIEW              | JAN 15-18 NS |    |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |
| (no.) | description                          | date         | by |                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                  |

**V3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

|                    |                                               |              |          |
|--------------------|-----------------------------------------------|--------------|----------|
| BAYVIEW WELLINGTON |                                               | TH2          |          |
| ALCONA SHORES      |                                               | CRANE 2      |          |
| project name       | ALCONA SHORES                                 | municipality | INNISFIL |
| date               | DECEMBER 2017                                 | project no.  | 13049    |
| drawn by           | PARTIAL BASEMENT & GROND FLOOR PLANS 'B'/'B2' | drawing no.  | 5        |
| checked by         | scale                                         | file name    |          |
| NS                 | 3/16" = 1'-0"                                 | 13049-TH-2   |          |

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APPROVED BY: \_\_\_\_\_  
DATE: Jun. 28, 2018

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

[illegible]

|                                                 |                                            |                                         |                                          |
|-------------------------------------------------|--------------------------------------------|-----------------------------------------|------------------------------------------|
| <p><b>BAYVIEW WELLINGTON</b></p>                |                                            | <p><b>TH2</b></p> <p><b>CRANE 2</b></p> |                                          |
| <p>project name</p> <p><b>ALCONA SHORES</b></p> | <p>municipality</p> <p><b>INNISFIL</b></p> | <p>project no</p> <p><b>13049</b></p>   | <p>drawing no</p> <p><b>6</b></p>        |
| <p>date</p> <p><b>DECEMBER 2017</b></p>         | <p>drawn by</p> <p><b>NS</b></p>           | <p>checked by</p> <p><b>NS</b></p>      | <p>scale</p> <p><b>3/16" = 1'-0"</b></p> |
| <p>file name</p> <p><b>13049-TH-2</b></p>       |                                            |                                         |                                          |

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10/23/2018 12:09:30 PM kbayley

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

|   |         |
|---|---------|
| 3 | REVISED |
| 4 | REVISED |
| 5 | REVISED |

| no. | description | 1 | ISSUE FOR | 2 | REVISED | 3 | REVISED |
|-----|-------------|---|-----------|---|---------|---|---------|
|-----|-------------|---|-----------|---|---------|---|---------|

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FRONT ELEVATION 'A2'  
W/ FIREWALL

Town of Innisfil Certified Model

10/23/2018 12:09:30 PM kbayley

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TH2  
CRANE 2

BAYVIEW WELLINGTON

project no.  
13049

municipality  
INNISFIL

project name  
ALCONA SHORES

date  
DECEMBER 2017

signature  
J. Baptista

name  
Wellington Jno-Baptista

registration information  
JUN 21-18 SB

comments  
REVISED AS PER ENG'S COMMENTS

comments  
REVISED AS PER FLOOR TRUSS COMMENTS

comments  
REVISED AS PER ROOF TRUSS COMMENTS

comments  
REVISED AS PER CONSTRUCTION COMMENTS

drawing no.  
8

file name  
13049-TH-2

checked by  
NS

scale  
3/16" = 1'-0"

signature  
J. Baptista

name  
Wellington Jno-Baptista

registration information  
JUN 21-18 SB

comments  
REVISED AS PER ENG'S COMMENTS

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drawing no.  
8

file name  
13049-TH-2

checked by  
NS

scale  
3/16" = 1'-0"

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name  
Wellington Jno-Baptista

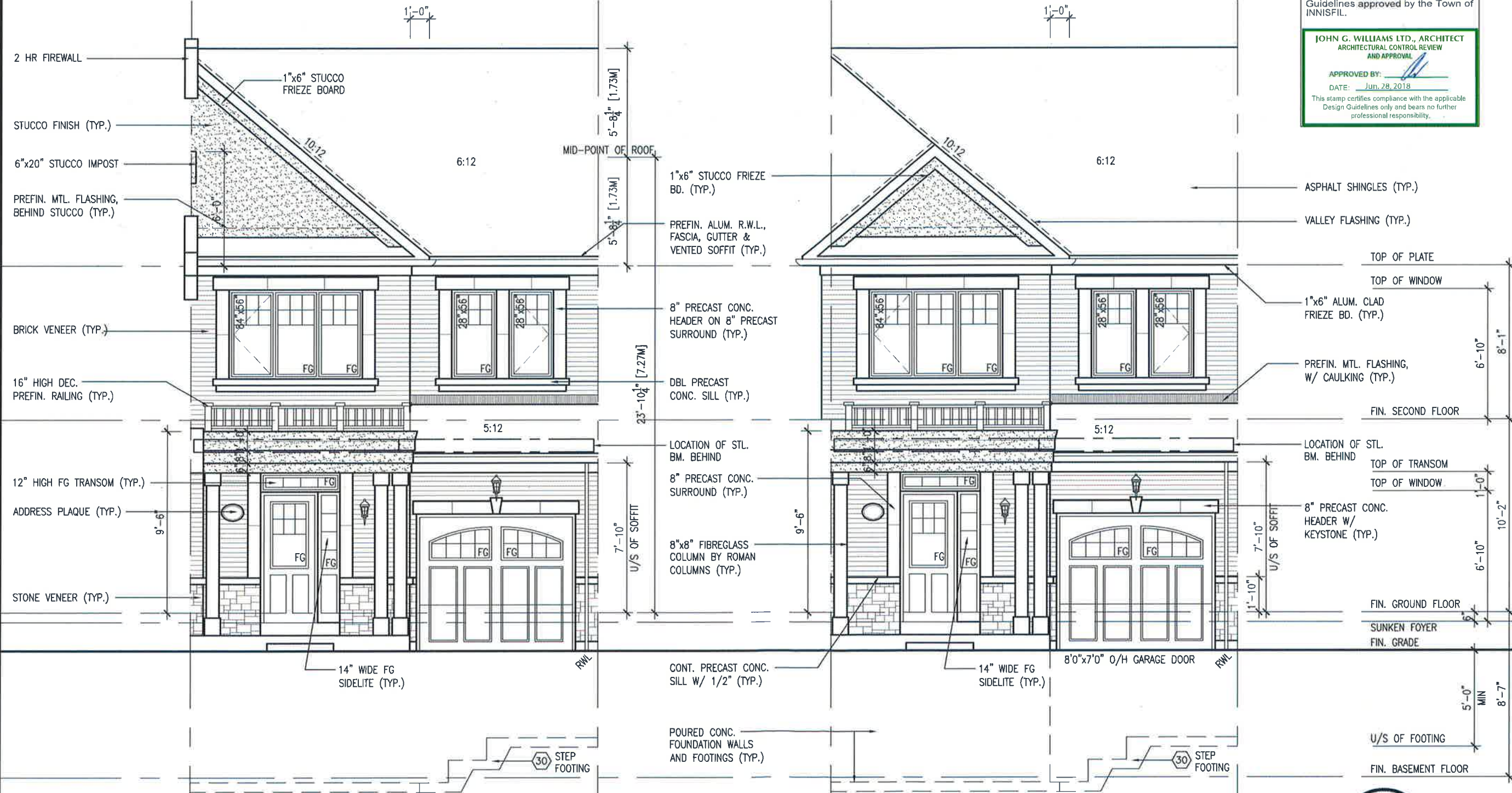
registration information  
JUN 21-18 SB

comments  
REVISED AS PER ENG'S COMMENTS

comments  
REVISED AS PER FLOOR TRUSS COMMENTS

comments  
REVISED AS PER ROOF TRUSS COMMENTS

comments  
REVISED AS PER CONSTRUCTION COMMENTS

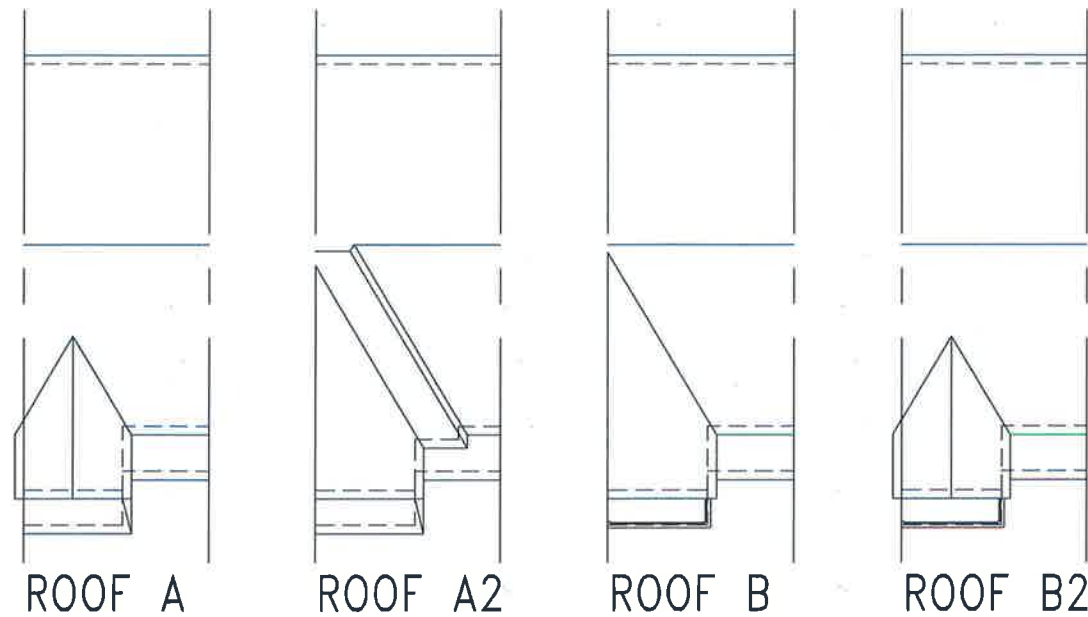


FRONT ELEVATION 'B2'  
W/ FIREWALL

FRONT ELEVATION 'B'



JUNE 26, 2018



| UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))                                           |                              |              |            | UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))                                           |                              |              |            |
|------------------------------------------------------------------------------------------|------------------------------|--------------|------------|------------------------------------------------------------------------------------------|------------------------------|--------------|------------|
| TH-2 ELEVATION 'A'/'A2'                                                                  | ENERGY EFFICIENCY – OBC SB12 |              |            | TH-2 ELEVATION 'A'/'A2' W.O.D                                                            | ENERGY EFFICIENCY – OBC SB12 |              |            |
| ELEVATION                                                                                | WALL AREA S.F.               | OPENING S.F. | PERCENTAGE | ELEVATION                                                                                | WALL AREA S.F.               | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 430.22 S.F.                  | 73.26 S.F.   | 17.03 %    | FRONT                                                                                    | 430.22 S.F.                  | 73.26 S.F.   | 17.03 %    |
| LEFT SIDE                                                                                | 955.25 S.F.                  | 0 S.F.       | 0.00 %     | LEFT SIDE                                                                                | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| RIGHT SIDE                                                                               | 955.25 S.F.                  | 0 S.F.       | 0.00 %     | RIGHT SIDE                                                                               | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| REAR                                                                                     | 414.26 S.F.                  | 128.32 S.F.  | 30.98 %    | REAR                                                                                     | 493.26 S.F.                  | 144.99 S.F.  | 29.39 %    |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.       |            | * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.       |            |
| TOTAL SQ. FT.                                                                            | 2754.98 S.F.                 | 201.58 S.F.  | 7.32 %     | TOTAL SQ. FT.                                                                            | 2833.98 S.F.                 | 218.25 S.F.  | 7.70 %     |
| TOTAL SQ. M.                                                                             | 255.94 S.M.                  | 18.73 S.M.   | 7.32 %     | TOTAL SQ. M.                                                                             | 263.28 S.M.                  | 20.28 S.M.   | 7.70 %     |
| UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))                                           |                              |              |            | UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))                                           |                              |              |            |
| TH-2 ELEVATION 'B'/'B2'                                                                  | ENERGY EFFICIENCY – OBC SB12 |              |            | TH-2 ELEVATION 'B'/'B2' W.O.D                                                            | ENERGY EFFICIENCY – OBC SB12 |              |            |
| ELEVATION                                                                                | WALL AREA S.F.               | OPENING S.F. | PERCENTAGE | ELEVATION                                                                                | WALL AREA S.F.               | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 430.22 S.F.                  | 73.59 S.F.   | 17.11 %    | FRONT                                                                                    | 430.22 S.F.                  | 73.59 S.F.   | 17.11 %    |
| LEFT SIDE                                                                                | 955.25 S.F.                  | 0 S.F.       | 0.00 %     | LEFT SIDE                                                                                | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| RIGHT SIDE                                                                               | 955.25 S.F.                  | 0 S.F.       | 0.00 %     | RIGHT SIDE                                                                               | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| REAR                                                                                     | 414.26 S.F.                  | 128.32 S.F.  | 30.98 %    | REAR                                                                                     | 493.26 S.F.                  | 144.99 S.F.  | 29.39 %    |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.       |            | * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.       |            |
| TOTAL SQ. FT.                                                                            | 2754.98 S.F.                 | 201.91 S.F.  | 7.33 %     | TOTAL SQ. FT.                                                                            | 2833.98 S.F.                 | 218.58 S.F.  | 7.71 %     |
| TOTAL SQ. M.                                                                             | 255.94 S.M.                  | 18.76 S.M.   | 7.33 %     | TOTAL SQ. M.                                                                             | 263.28 S.M.                  | 20.31 S.M.   | 7.71 %     |

**Town of Innisfil Certified Model**  
10/23/2018 12:09:30 PM kbayley

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: 

DATE: Jun 28, 2018

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[illegible]

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BRICK SOLDIER HEADERS  
W/ 1/2" PROJ. (TYP.)

PRECAST CONC.  
SILL (TYP.)

TRANSOM (TYP.

POURED CONC. —  
FOUNDATION WALLS  
AND FOOTINGS (TYP.)

REAR ELEVATION 'A'/'A2'/'B'/'B2'


 JUN 26, 2018

| UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))                                           |                              |              |            |
|------------------------------------------------------------------------------------------|------------------------------|--------------|------------|
| TH-2 ELEV. 'B' W.O.D                                                                     | ENERGY EFFICIENCY - OBC SB12 |              |            |
| ELEVATION                                                                                | WALL AREA S.F.               | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 430.22 S.F.                  | 73.59 S.F.   | 17.11 %    |
| LEFT SIDE                                                                                | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| RIGHT SIDE                                                                               | 955.25 S.F.                  | 0 S.F.       | 0.00 %     |
| REAR                                                                                     | 493.26 S.F.                  | 144.99 S.F.  | 29.39 %    |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              |              |            |
| TOTAL SQ. FT.                                                                            | 2833.98 S.F.                 | 218.58 S.F.  | 7.71 %     |
| TOTAL SQ. M.                                                                             | 263.28 S.M.                  | 20.31 S.M.   | 7.71 %     |

Town of Innisfil Certified Model  
11/09/2018 3:49:40 PM kbayley

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: Jul 10, 2018  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

8" PRECAST CONC. HEADER W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL (TYP.)

12" HIGH FG TRANSOM (TYP.)

2"x6" P.T. CROSS BRACING

6"x6" P.T. WOOD POST BOLTED TO METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 4'-0" BELOW GRADE.

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

REAR UPGRADE ELEV. 'B'  
WOD 9R COND. OR MORE'

TOP OF PLATE  
TOP OF WINDOW  
6'-10" 8'-1"  
FIN. SECOND FLOOR  
TOP OF TRANSOM  
TOP OF WINDOW  
1'-0" 10'-2"  
FIN. GROUND FLOOR  
TOP OF WINDOW  
6'-10" 8'-7"  
FIN. GRADE  
FIN. BASEMENT FLOOR



VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

25591 BCN 42658  
Wellington Jno-Baptiste k.kayley  
name registration information  
VA3 Design Inc.  
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

| no. | description                          | date         | by |
|-----|--------------------------------------|--------------|----|
| 9   | ADD UPGRADE REAR ELEVATION           | JUL 05/18 PB |    |
| 8   | REVISED AS PER ENG'S COMMENTS        | JUN 21-18 SB |    |
| 7   | REVISED AS PER FLOOR TRUSS COMMENTS. | MAY 22/18 WT |    |
| 6   | REVISED AS PER ROOF TRUSS COMMENTS.  | MAY 18/18 WT |    |
| 5   | REVISED AS PER CONSTRUCTION COMMENTS | MAR 26-18 PB |    |
| 4   | ISSUE FOR CLIENT REVIEW              | JAN 15-18 NS |    |

|                        |               |              |               |             |            |
|------------------------|---------------|--------------|---------------|-------------|------------|
| project name           | ALCONA SHORES | municipality | INNISFIL      | project no. | 13049      |
| date                   | DECEMBER 2017 | drawn by     | NS            | drawing no. | 10         |
| checked by             |               | scale        | 3/16" = 1'-0" | file name   | 13049-TH-2 |
| REAR ELEVATION UPGRADE |               |              |               |             |            |

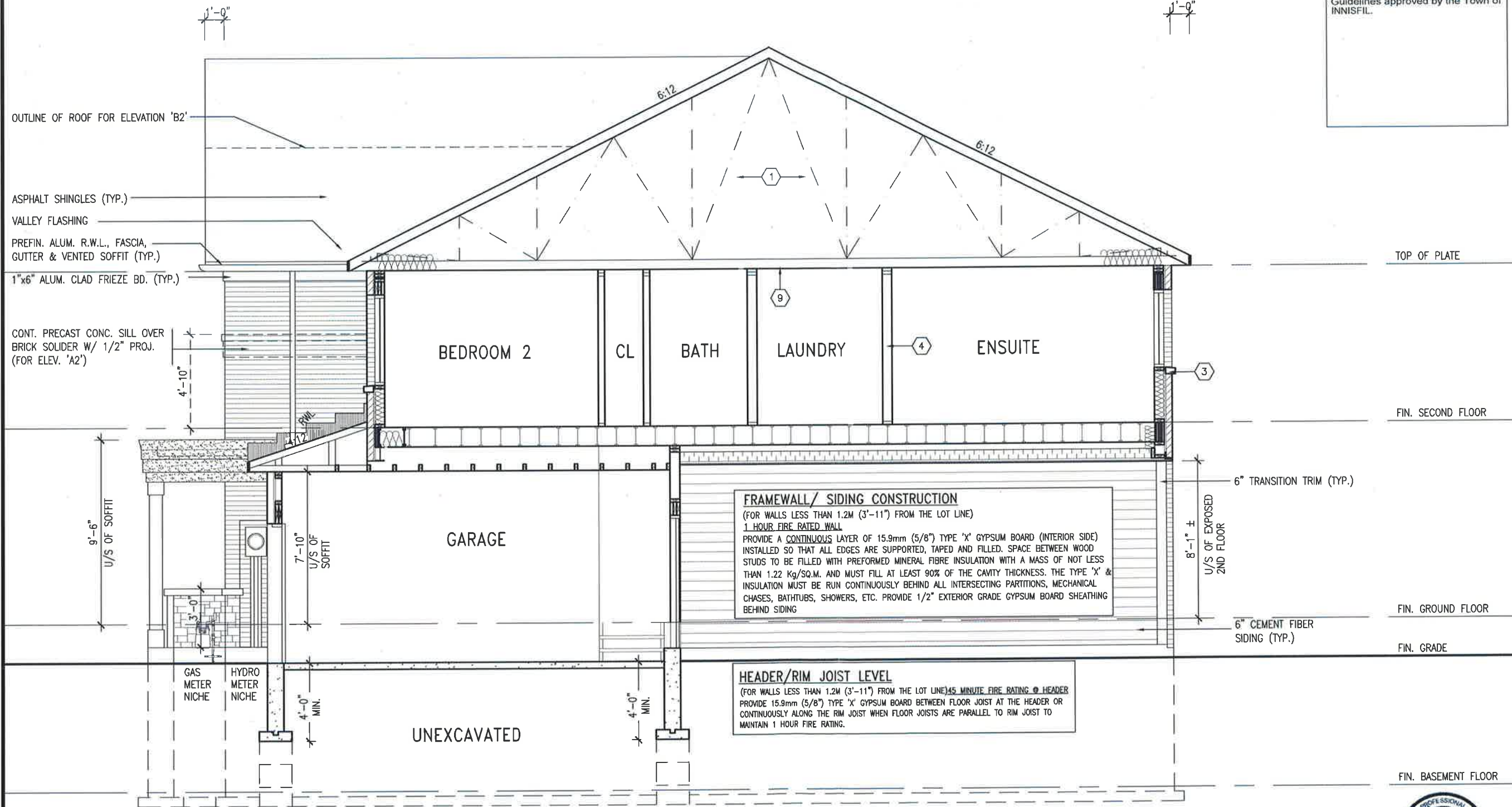


REFER TO FRONT ELEVATION FOR  
TYPICAL NOTES.

**Town of Innisfil Certified Model**  
10/23/2018 12:09:30 PM kbayley

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INTERIOR SIDE ELEVATION 'B'/'B2'



|     |  |             |  |      |  |                                                                                                                                                                                    |  |                 |  |                                                                                                                                                                                                                                                                                                                 |  |                       |  |                               |  |                          |  |                           |  |
|-----|--|-------------|--|------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------|--|-------------------------------|--|--------------------------|--|---------------------------|--|
| 9   |  | -           |  | -    |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |  | VA3 DESIGN      |  | 255 Consumers Rd. Suite 120<br>Toronto ON M2J 1T6<br>t 416 630 2255 f 416 630 4782<br>vo3design.com                                                                                                                                                                                                             |  | project no.<br>13049  |  | project name<br>ALCONA SHORES |  | municipality<br>INNISFIL |  | TH2<br>CRANE 2            |  |
| 8   |  | -           |  | -    |  | specification information                                                                                                                                                          |  | VA3 Design Inc. |  | Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. |  | checked by<br>-       |  | scale<br>3/16" = 1'-0"        |  | INTERIOR ELEVATION B/B2  |  | drawing no.<br>13049-TH-2 |  |
| 7   |  | -           |  | -    |  | -                                                                                                                                                                                  |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>DECEMBER 2017 |  | drawn by<br>NS                |  | -                        |  | -                         |  |
| 6   |  | -           |  | -    |  | Wellington Jno-Baptiste                                                                                                                                                            |  | signature       |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>JUN 21-18 SB  |  | checked by                    |  | -                        |  | -                         |  |
| 5   |  | -           |  | -    |  | revised as per ENG'S COMMENTS                                                                                                                                                      |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>MAY 22/18 WT  |  | checked by                    |  | -                        |  | -                         |  |
| 4   |  | -           |  | -    |  | revised as per FLOOR TRUSS COMMENTS                                                                                                                                                |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>MAY 18/18 WT  |  | checked by                    |  | -                        |  | -                         |  |
| 3   |  | -           |  | -    |  | revised as per ROOF TRUSS COMMENTS                                                                                                                                                 |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>MAR 26-18 PB  |  | checked by                    |  | -                        |  | -                         |  |
| 2   |  | -           |  | -    |  | revised as per CONSTRUCTION COMMENTS                                                                                                                                               |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date<br>JAN 15-18 NS  |  | checked by                    |  | -                        |  | -                         |  |
| 1   |  | -           |  | -    |  | ISSUE FOR CLIENT REVIEW                                                                                                                                                            |  | -               |  | -                                                                                                                                                                                                                                                                                                               |  | date                  |  | by                            |  | -                        |  | -                         |  |
| no. |  | description |  | date |  | date                                                                                                                                                                               |  | date            |  | date                                                                                                                                                                                                                                                                                                            |  | date                  |  | date                          |  | date                     |  | date                      |  |

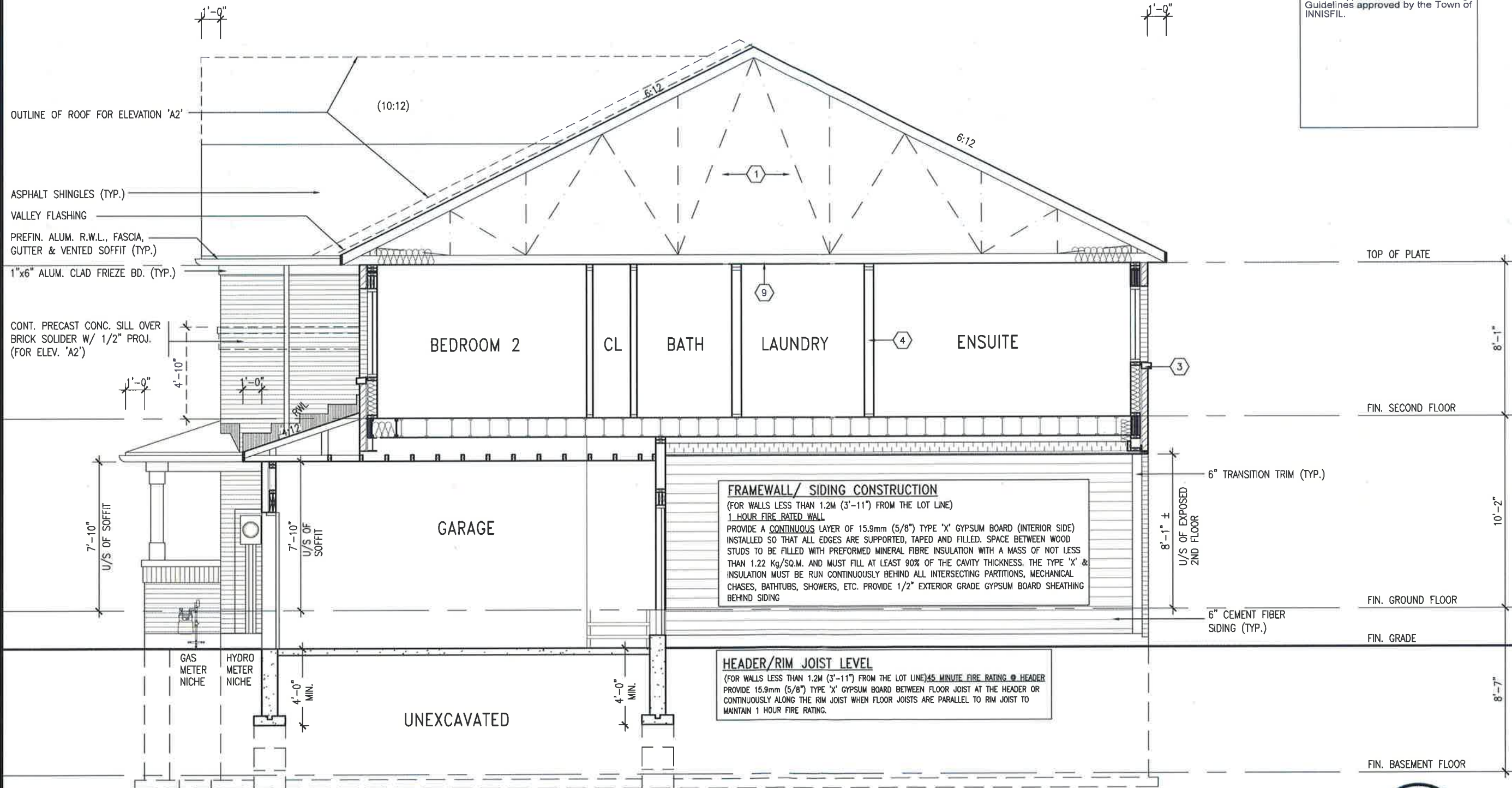
REFER TO FRONT ELEVATION FOR  
TYPICAL NOTES.

Town of Innisfil Certified Model

10/23/2018 12:09:30 PM kbayley

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|                                                                                                 |               |                    |            |
|-------------------------------------------------------------------------------------------------|---------------|--------------------|------------|
| BAYVIEW WELLINGTON                                                                              |               | TH2                | CRANE 2    |
| project name                                                                                    | ALCONA SHORES | project no.        | 13049      |
| drawn by                                                                                        | DECEMBER 2017 | drawing no.        | 12         |
| checked by                                                                                      | NS            | interior elevation | A/A2       |
| scale                                                                                           | 3/16" = 1'-0" | file name          | 13049-TH-2 |
| RICHARD - H:\ARCHIVE\WORKING\2018\13049 BAYVIEW\TH 13049-TH-2.dwg - Mon - Jun 25 2018 - 3:45 PM |               |                    |            |

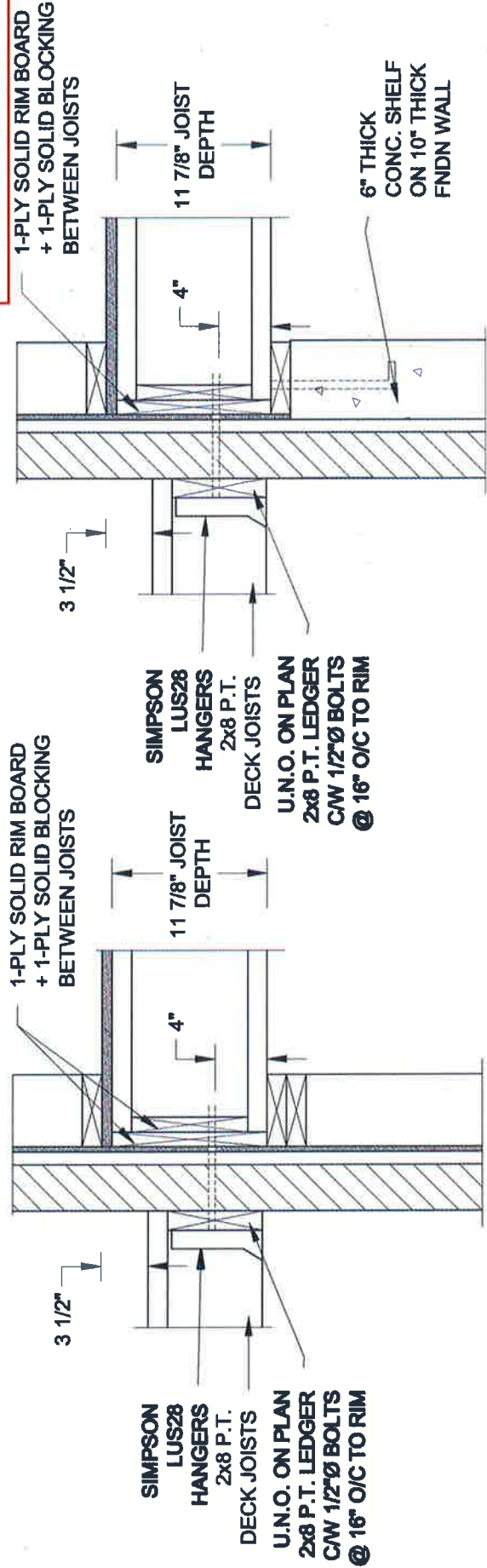
|                            |  |                            |  |
|----------------------------|--|----------------------------|--|
| VAS DESIGN                 |  | 255 Consumers Rd Suite 120 |  |
| 255 Consumers Rd Suite 120 |  | Toronto ON M2J 1P4         |  |
| t 416.630.2255             |  | f 416.630.4782             |  |
| vasdesign.com              |  | vasdesign.com              |  |

|                                                                                                                                                                                    |                                      |                                                                                                                                                                                                                                                                                                               |    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |                                      | 25591                                                                                                                                                                                                                                                                                                         |    |
| Wellington Jno-Baptiste                                                                                                                                                            |                                      | BCIN                                                                                                                                                                                                                                                                                                          |    |
| registration information                                                                                                                                                           |                                      | 42658                                                                                                                                                                                                                                                                                                         |    |
| VAS Design Inc.                                                                                                                                                                    |                                      | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. |    |
| 5                                                                                                                                                                                  | REVISED AS PER ENG'S COMMENTS        | JUN 21-18                                                                                                                                                                                                                                                                                                     | SB |
| 4                                                                                                                                                                                  | REVISED AS PER FLOOR TRUSS COMMENTS. | MAY 22/18                                                                                                                                                                                                                                                                                                     | WT |
| 3                                                                                                                                                                                  | REVISED AS PER ROOF TRUSS COMMENTS.  | MAY 18/18                                                                                                                                                                                                                                                                                                     | WT |
| 2                                                                                                                                                                                  | REVISED AS PER CONSTRUCTION COMMENTS | MAR 26-18                                                                                                                                                                                                                                                                                                     | PB |
| 1                                                                                                                                                                                  | ISSUE FOR CLIENT REVIEW              | JAN 15-18                                                                                                                                                                                                                                                                                                     | NS |
| no.                                                                                                                                                                                | description                          | date                                                                                                                                                                                                                                                                                                          | by |

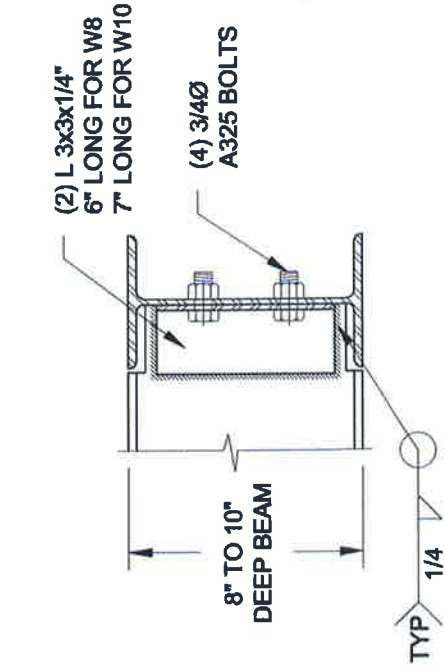




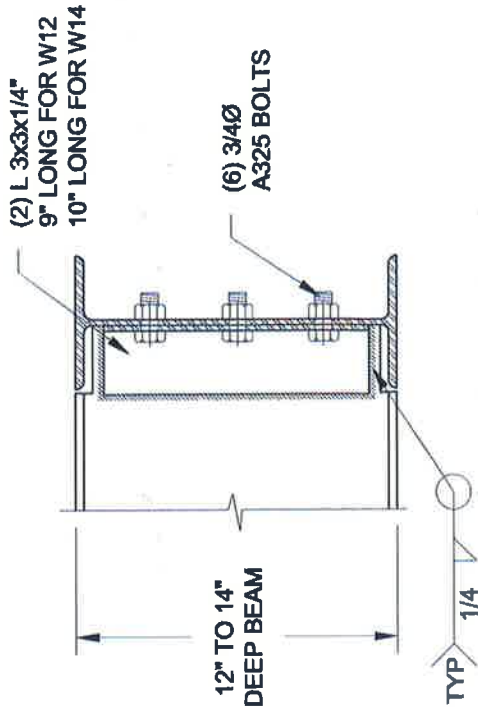




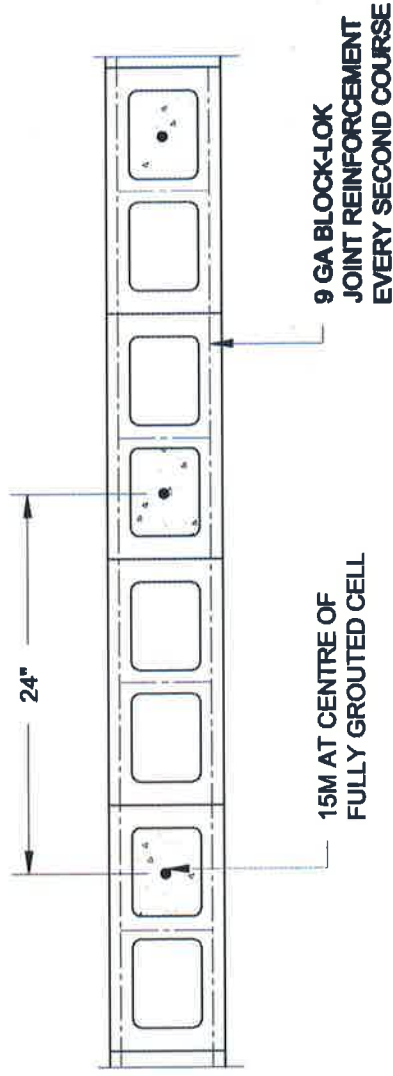
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.



NOTES:

1. REINFORCING STEEL TO CONFORM TO CSA G30.18, GRADE 400.
2. GROUT TO HAVE A COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS WITH 10' SLUMP. MAXIMUM AGGREGATE SIZE = 3/8".
3. LAP VERTICAL BARS 30" AT ANY SPLICES.

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaile\_eng@rogers.com

Engineer's Seal



JUNE 22, 2018

Project:

BAYVIEW WELLINGTON HOMES - ALCONA TOWNS  
INNSFLL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No:

18-104

Drawing No:

S2

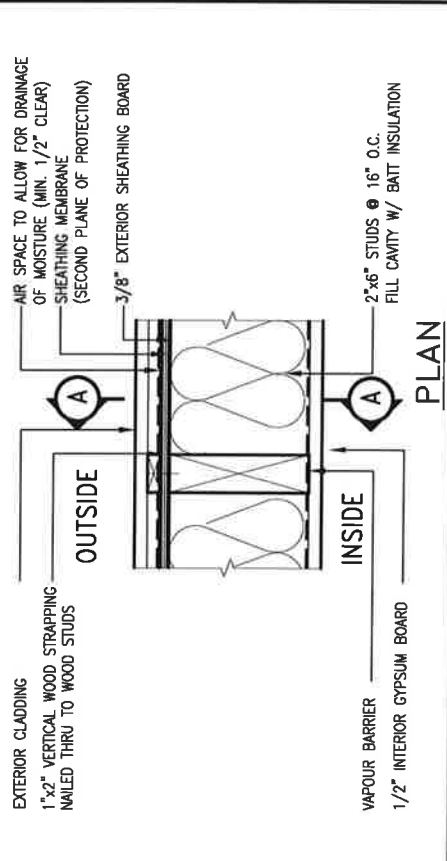
Scale:  
AS NOTED

Date:  
JUN-22-2018

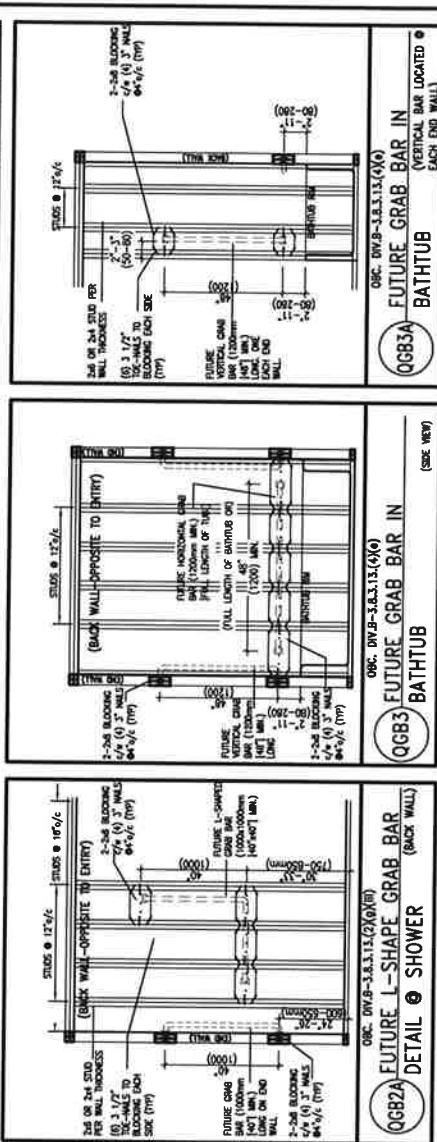
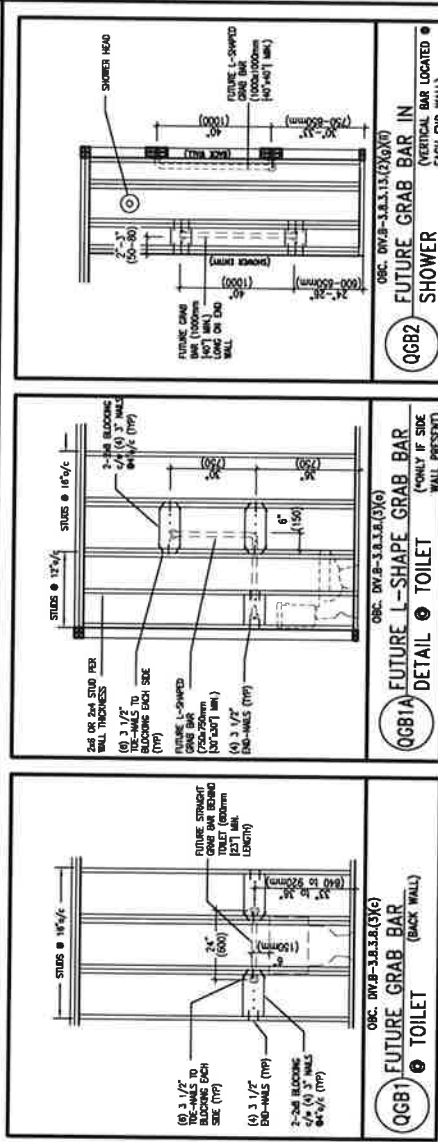
Drawn:  
SC

Checked:  
SJS





**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
 REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.  
 FUTURE GRAB BARS TO BE MOUNTED TO WATER CLOSET AND VERT. LOADS OF 1.3 KN (300 lb).  
 REFER TO OBC. DIV. B- WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). & BATHTUB 3.8.3.13.(4)(c). AND DETAILS PROVIDED BELOW.



1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
5. FOR A 1/50 YEAR RETURN PERIOD WIND PRESSURE OF 0.6 KPa.
6. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF SIDING. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

|                             |
|-----------------------------|
| 2"x8" @ 16" O.C. - 16'-0"   |
| 2"x8" @ 12" O.C. - 17'-9"   |
| 2-2"x8" @ 16" O.C. - 20'-4" |
| 2-2"x8" @ 12" O.C. - 22'-4" |

NOTES:

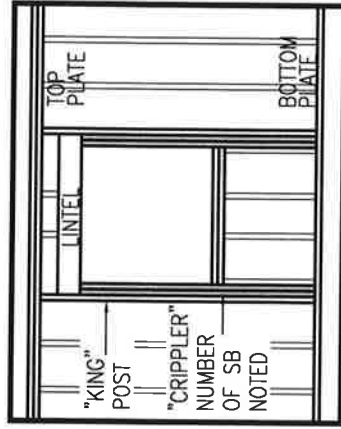
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO CBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

Signature: John J. Boppre 2559 BCN 42658

**VA3**  
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|                                                  |      |
|--------------------------------------------------|------|
| • OUTDOOR AIR INTAKE SEPARATION                  |      |
| • ALL OUTDOOR AIR INTAKE WENTS TO BE SEPARATED 4 |      |
| • MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION |      |
| PER OBC, DIV. B- TABLE 6.2.3.12:                 |      |
| • KITCHEN EXHAUST                                | 3.0m |
| • DRIVEWAY, PARKING SPACE, ROAD                  | 1.5m |
| • SOLID FUEL APPLANCE EXHAUST                    | 3.0m |



## "CRIPPLE" DETAIL

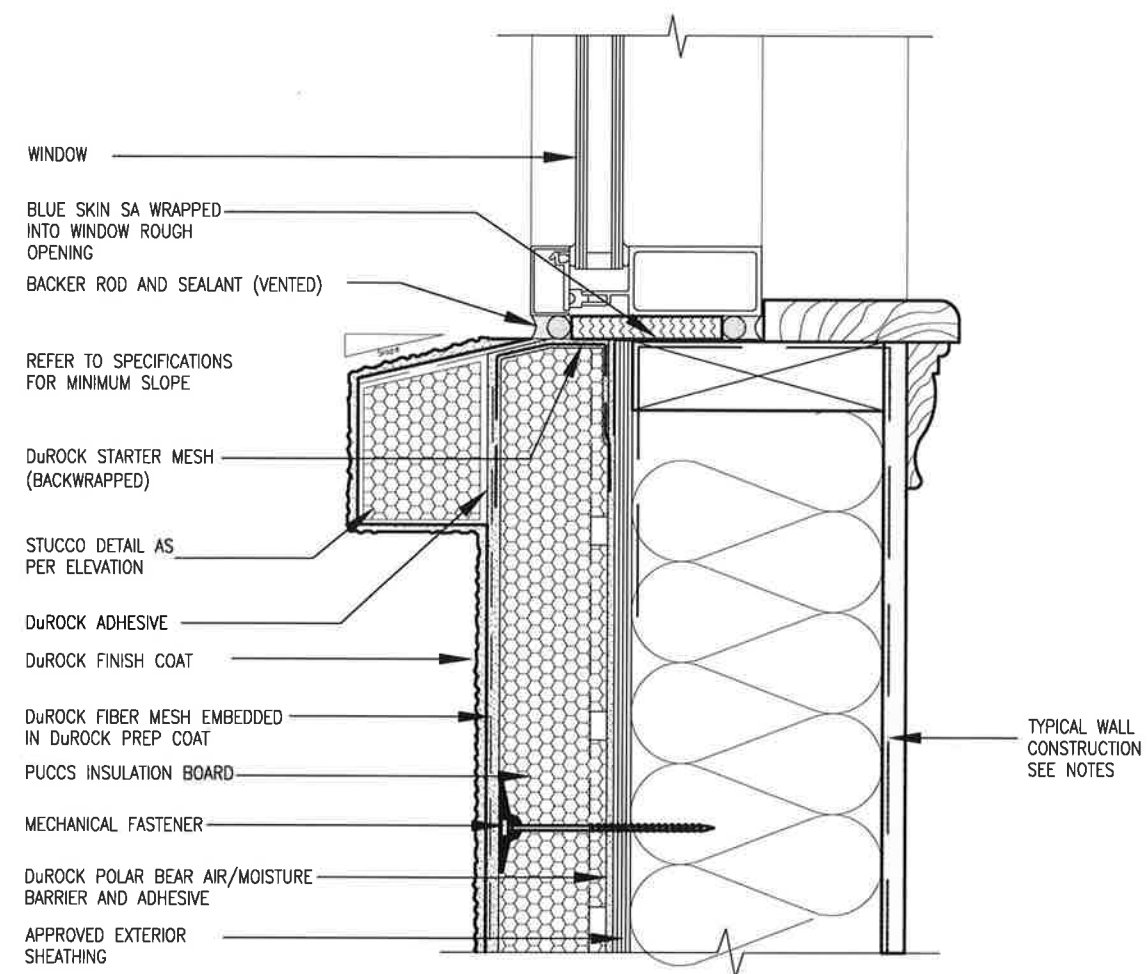


FEB 9, 2021

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                         |                 |    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------------|----|
| no.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | description             | date            | by |
| 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | UPDATE TO OBC VER 2020  | FEB 09-21       | RC |
| 1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | ISSUE FOR CLIENT REVIEW | AUG 04-17       | RC |
| no.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | description             | date            | by |
| 7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                         |                 |    |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                         |                 |    |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                         |                 |    |
| 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                         |                 |    |
| 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                         |                 |    |
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Wellington Jno-Baptiste</b> 25591 BCN 47658</p> <p>name registration information BCN</p> <p>signature</p> <p>VA3 DESIGN</p> <p>255 Consumers Rd Suite 120<br/>Toronto ON M2J 1R4<br/>t. 416.630.2255 f. 416.630.4782<br/>vo3design.com</p> <p>3/16" = 1'-0"</p> <p>drawn by RC checked by</p> <p>scale</p> <p>project name ALCONA project no. 13049</p> <p>city INNISFIL, ON. municipality</p> <p><b>BAYVIEW WELLINGTON</b></p> <p><b>CONST NOTE</b></p> |                         |                 |    |
| CONSTRUCTION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                         | drawing no. CN2 |    |
| 13049-CN-A1 VER 2020                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                         | file name       |    |



2 WINDOW SILL  
CN3 SCALE: 3"=1'-0"



|                 |                         |              |                                                                                                                                                                                                                                                               |
|-----------------|-------------------------|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9               | -                       | -            | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                            |
| 8               | -                       | -            | qualification information                                                                                                                                                                                                                                     |
| 7               | -                       | -            | Wellington Jno-Baptiste                                                                                                                                                                                                                                       |
| 6               | -                       | -            | 25591                                                                                                                                                                                                                                                         |
| 5               | -                       | -            | none                                                                                                                                                                                                                                                          |
| 4               | -                       | -            | information                                                                                                                                                                                                                                                   |
| 3               | -                       | -            | VA3 Design Inc.                                                                                                                                                                                                                                               |
| 2               | UPDATE TO QRC VER 2020  | FEB 09-21 RC | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and will be returned at the completion of the work. Drawings are not to be copied. |
| 1               | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC | by                                                                                                                                                                                                                                                            |
| not description |                         |              |                                                                                                                                                                                                                                                               |

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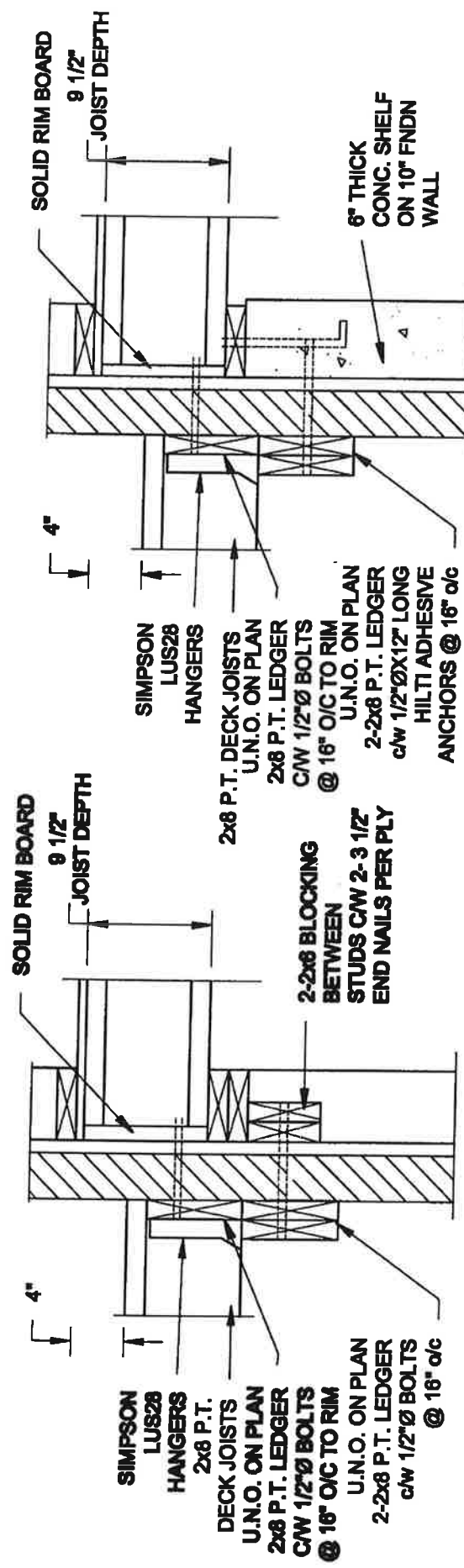
**BAYVIEW WELLINGTON**

## CONST NOTE

|                      |                      |                             |             |
|----------------------|----------------------|-----------------------------|-------------|
| <b>project name</b>  | municipality         | project no.                 | drawing no. |
| <b>ALCONA</b>        | <b>INNISFILON.</b>   | <b>13049</b>                | <b>CN3</b>  |
| <b>date MAY 2016</b> |                      |                             |             |
| <b>drawn by RC</b>   | <b>scale</b>         | <b>file name</b>            |             |
| <b>checked by</b>    | <b>3/16" = 1'-0"</b> | <b>13049-CN-A1 VER 2020</b> |             |
| <b>revision</b>      |                      |                             |             |

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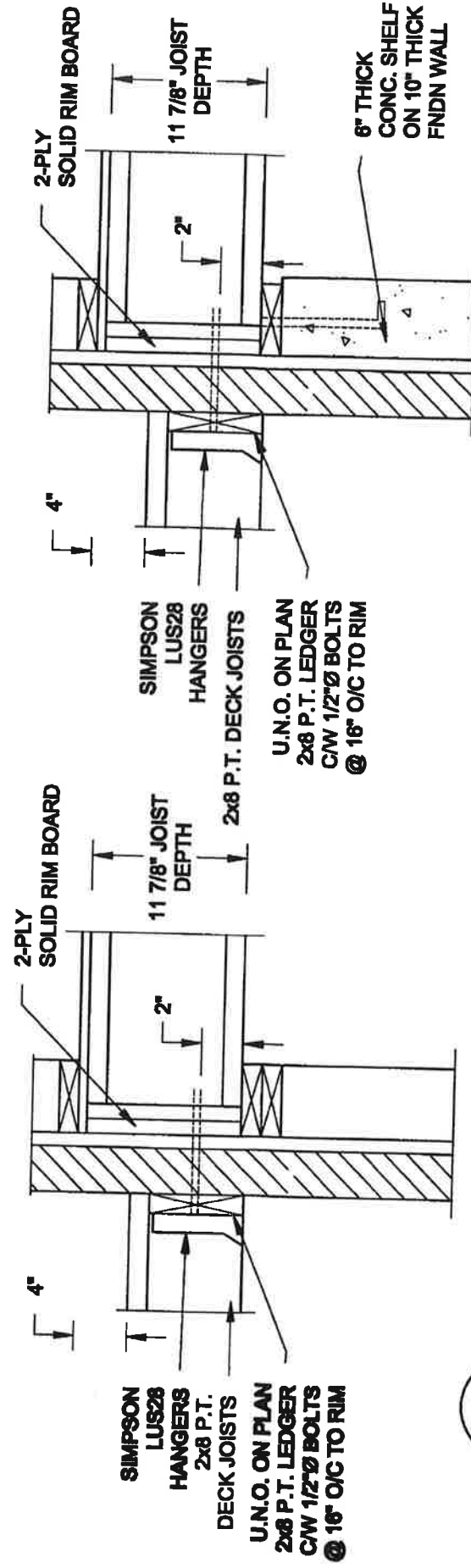
**FOR 9 1/2" JOIST DEPTH**



**1A** **DECK FASTENING DETAIL**  
**S2** **SCALE: 1" = 1'-0"**

**NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**  
**2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL**  
**3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.**

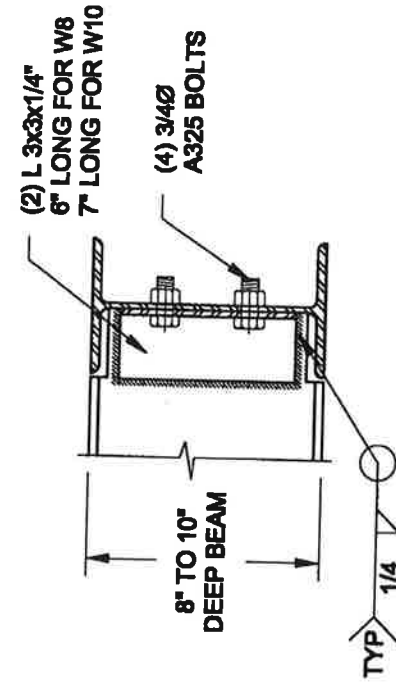
**1B** **DECK FASTENING DETAIL**  
**S2** **SCALE: 1" = 1'-0"**



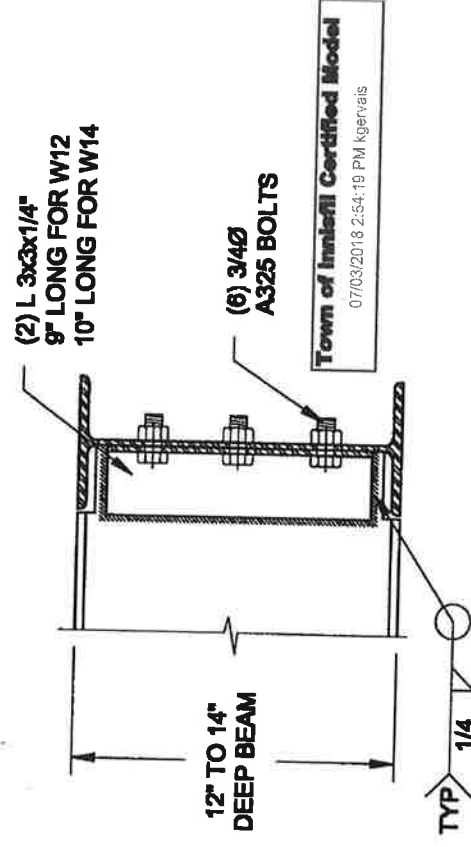
**2A** **DECK FASTENING DETAIL**  
**S2** **SCALE: 1" = 1'-0"**

**NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**  
**2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL**  
**3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.**

**2B** **DECK FASTENING DETAIL**  
**S2** **SCALE: 1" = 1'-0"**



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX  
AND W10x39 (W250x58) BEAM MAX.**

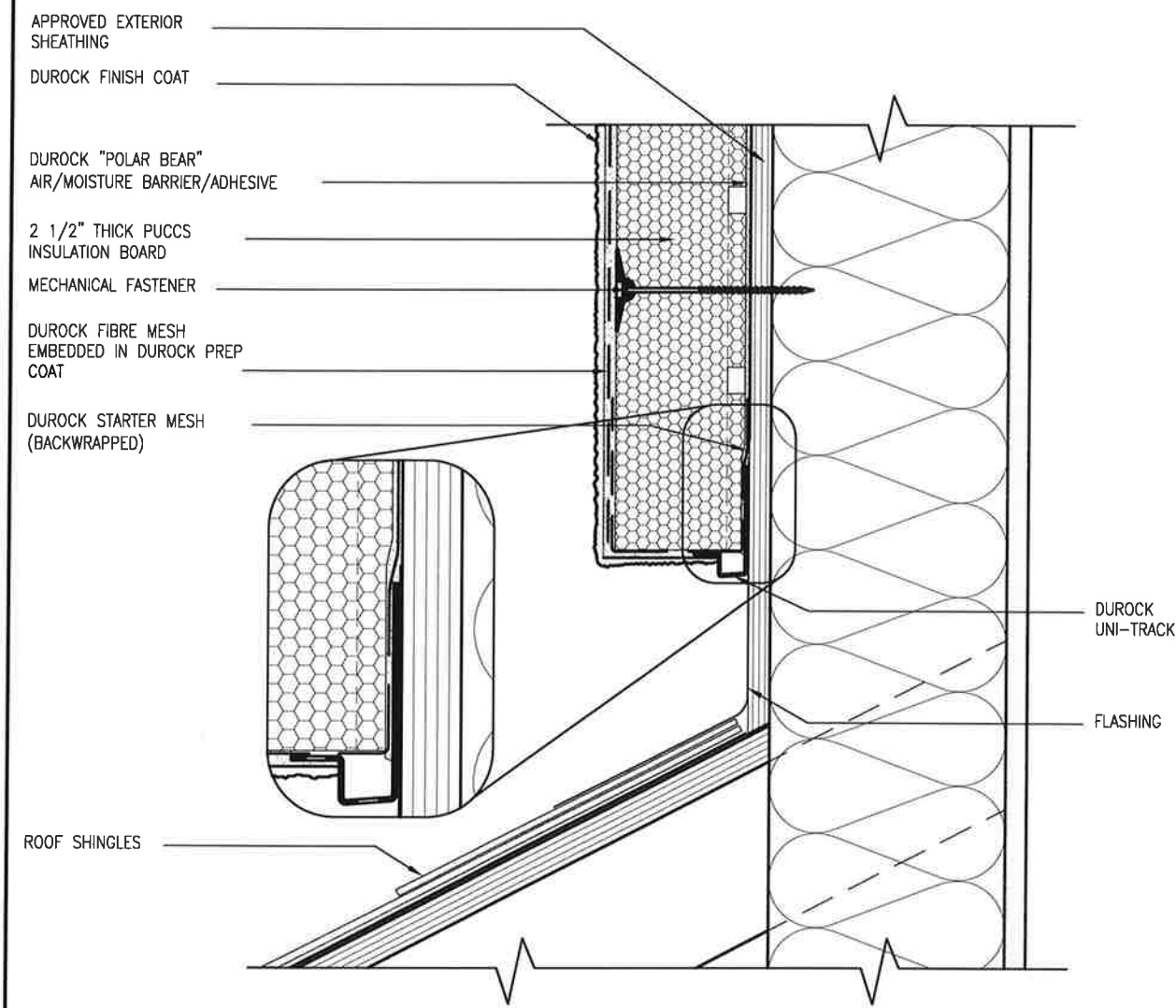


**NOTE: DETAIL IS APPLICABLE TO W12x53 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.**

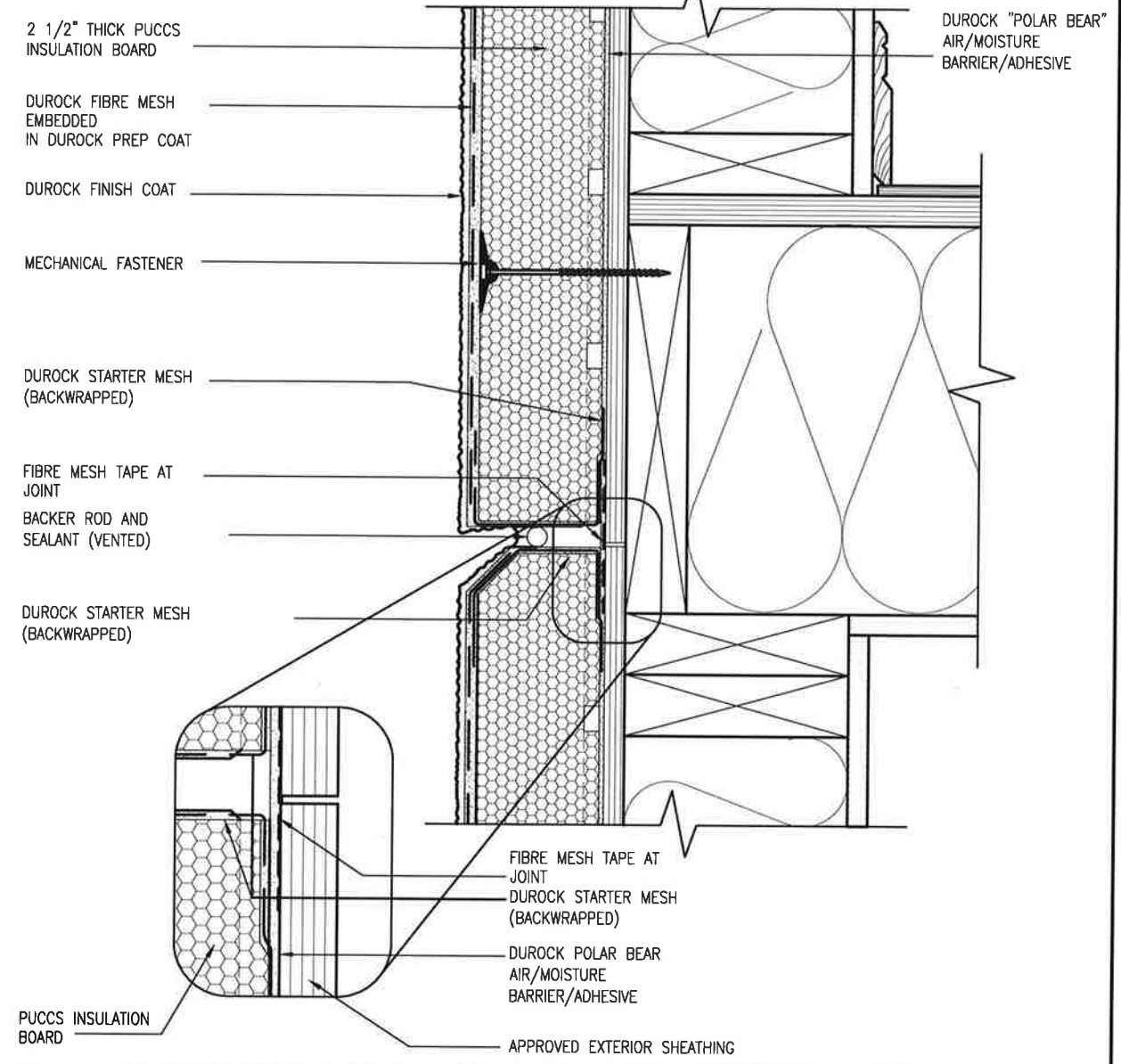
**3** **STEEL BEAM CONNECTION DETAIL**  
**S2** **SCALE: 1-1/2" = 1'-0"**

|                      |  |                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                  |                                                                                                                         |                            |                        |
|----------------------|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|----------------------------|------------------------|
| Scale:<br>AS NOTED   |  | <br><b>QUAILE ENGINEERING LTD.</b><br>38 Parkside Drive, UNIT 7<br>Newmarket, ON<br>L3Y 8J9<br>T: 905-883-8547<br>E: <a href="mailto:quaile.eng@rogers.com">quaile.eng@rogers.com</a> |  | Engineer's Seal:<br><br>S. J. BOYD<br>DISTRICT OF<br>PROVINCE OF<br>ONTARIO | Project:<br>DAYVIEW WELLINGTON HOMES - ALCONA PROJECT<br>INNSFEL, ONTARIO<br><br>TYPICAL STRUCTURAL DETAILS FOR GARAGES | Project No.:<br><br>16-063 | Drawing No.:<br><br>82 |
| Date:<br>JUL-01-2017 |  | Drawn:<br>SC                                                                                                                                                                                                                                                               |  |                                                                                                                                                                  |                                                                                                                         |                            |                        |

Project: DAYVIEW WELLINGTON HOMES - ALCONA PROJECT  
INNSFEL, ONTARIO  
TYPICAL STRUCTURAL DETAILS FOR GARAGES  
Project No.:  
16-063  
Drawing No.:  
82  
Engineer's Seal:  
S. J. BOYD  
DISTRICT OF  
PROVINCE OF  
ONTARIO  
AUG 10, 2017  
Scale: AS NOTED  
Date: JUL-01-2017  
Drawn: SC  
Checked: SJB



3 STUCCO TERMINATION @ ROOF  
CN4 SCALE: 3"=1'-0"

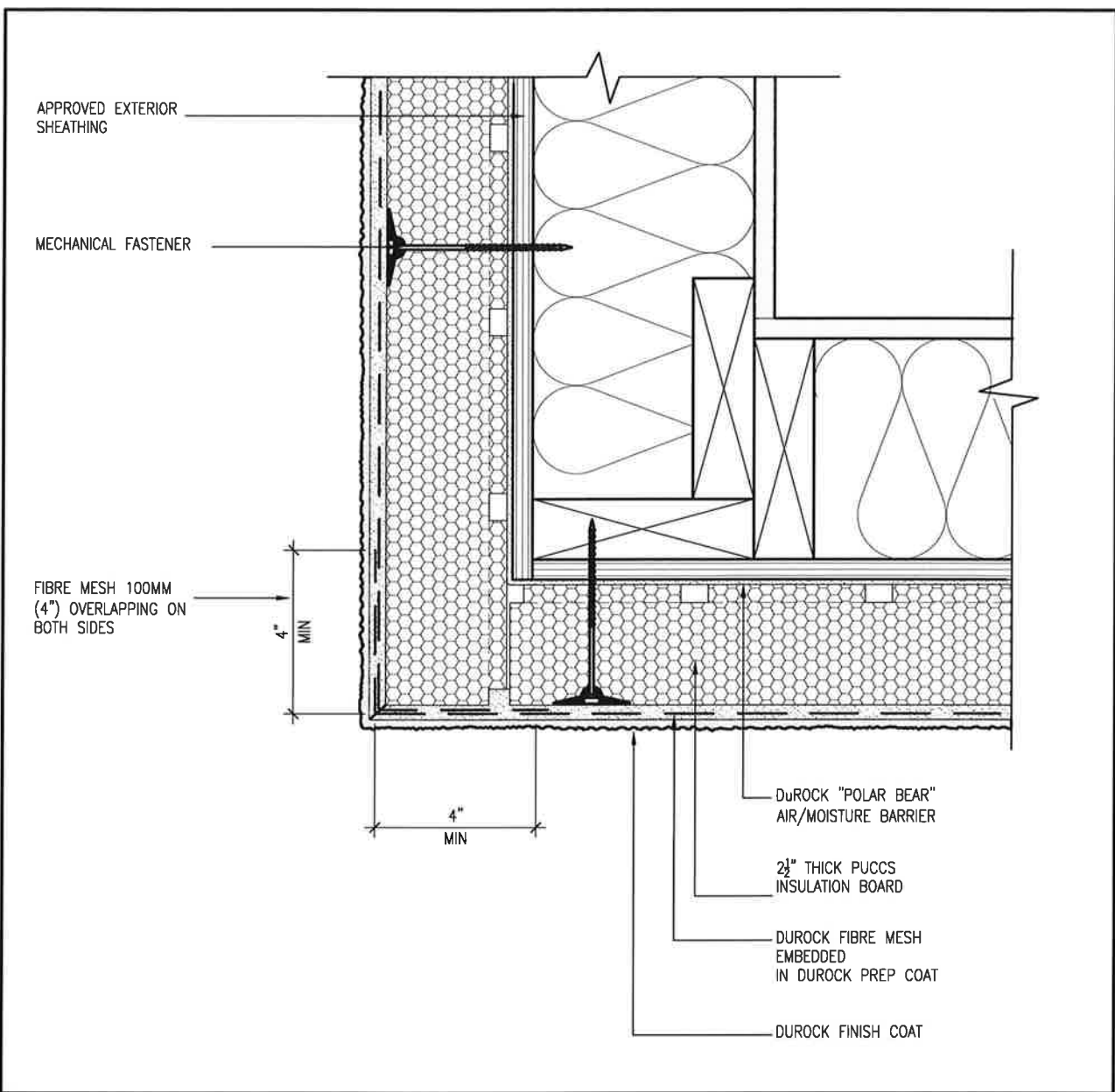


4 HORIZONTAL EXPANSION JOINT  
CN4 SCALE: 3"=1'-0"

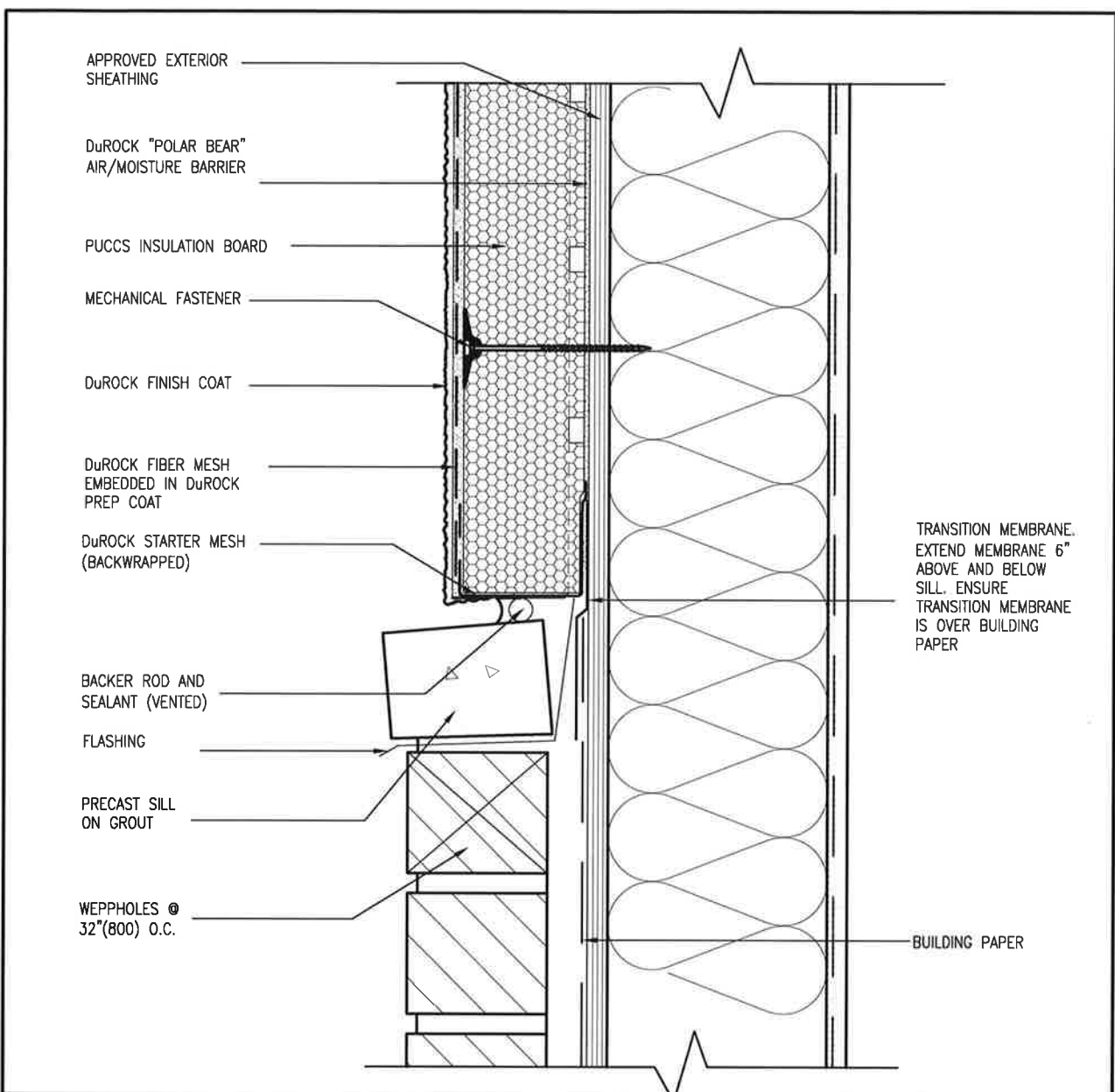
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

|                                                                                                                                                                                                                                                                                                                                |                         |                                                                                                                                                                                                                                                                                                               |    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| <b>BAYVIEW WELLINGTON</b><br>project name: ALCONA<br>municipality: INNISFIL ON.                                                                                                                                                                                                                                                |                         | <b>CONST NOTE</b><br>project no: 13049<br>drawing no: CN4                                                                                                                                                                                                                                                     |    |
| date: MAY 2016<br>from by: RC                                                                                                                                                                                                                                                                                                  |                         | checked by: 3/16" = 1'-0"<br>scale: 3/16" = 1'-0"<br>date: FEB 9 2021 - 1117 AU                                                                                                                                                                                                                               |    |
| 255 Consumers Rd. Suite 120<br>Toronto, ON M2J 1R4<br>t 416.630.2235 f 416.630.4782<br>v3design.com                                                                                                                                                                                                                            |                         | <b>CONSTRUCTION NOTES</b><br>13049-CN-A1 VER 2020                                                                                                                                                                                                                                                             |    |
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.<br>qualification information: Wellington Jno-Baptista<br>name: Jno-Baptista<br>registration information: 25591 BCN<br>VAS Design Inc. 42658 |                         | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. |    |
| 9                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 8                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 7                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 6                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 5                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 4                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 3                                                                                                                                                                                                                                                                                                                              |                         |                                                                                                                                                                                                                                                                                                               |    |
| 2                                                                                                                                                                                                                                                                                                                              | UPDATE TO OBC VER 2020  | FEB 09-21 RC                                                                                                                                                                                                                                                                                                  |    |
| 1                                                                                                                                                                                                                                                                                                                              | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC                                                                                                                                                                                                                                                                                                  |    |
| no.                                                                                                                                                                                                                                                                                                                            | description             | date                                                                                                                                                                                                                                                                                                          | by |

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5 CORNER DETAIL  
CN5 SCALE: 3"=1'-0"



6 STUCCO / MASONRY PLINTH CONNECTION  
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE

BAYVIEW WELLINGTON

project name  
ALCONA

project no.  
13049

drawing no.  
CN5

checked by  
RC

scale  
3/16" = 1'-0"

date  
MAY 2016

CONSTRUCTION NOTES

13049-CN-A1 VER 2020

file name  
13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:17 AM

VA3 DESIGN

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t 416.630.2255 f 416.630.4782  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington, Jno-Baptiste

25591

BCIN

42658

name  
Jno-Baptiste

registration information  
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.

description

date

by

2

UPDATE TO OBC VER 2020

FEB 09-21 RC

1

ISSUE FOR CLIENT REVIEW

AUG 04-17 RC

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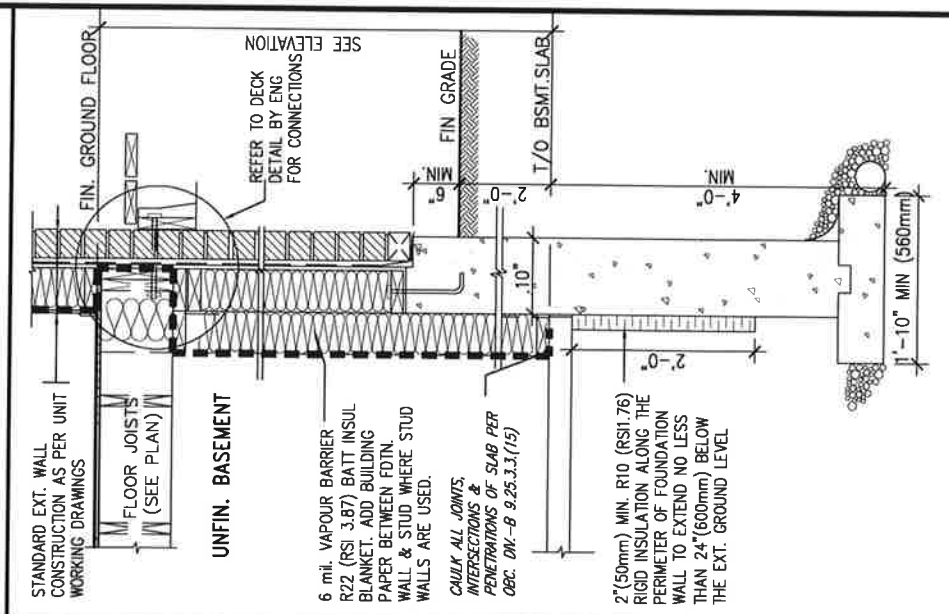
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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1



SECTION AT W.O.D/W.O.B.

AIR BARRIER SYSTEMS  
AIR BARRIER TO BE INSTALLED IN  
CONFORMANCE WITH OBC. DIV. B-9.25.3

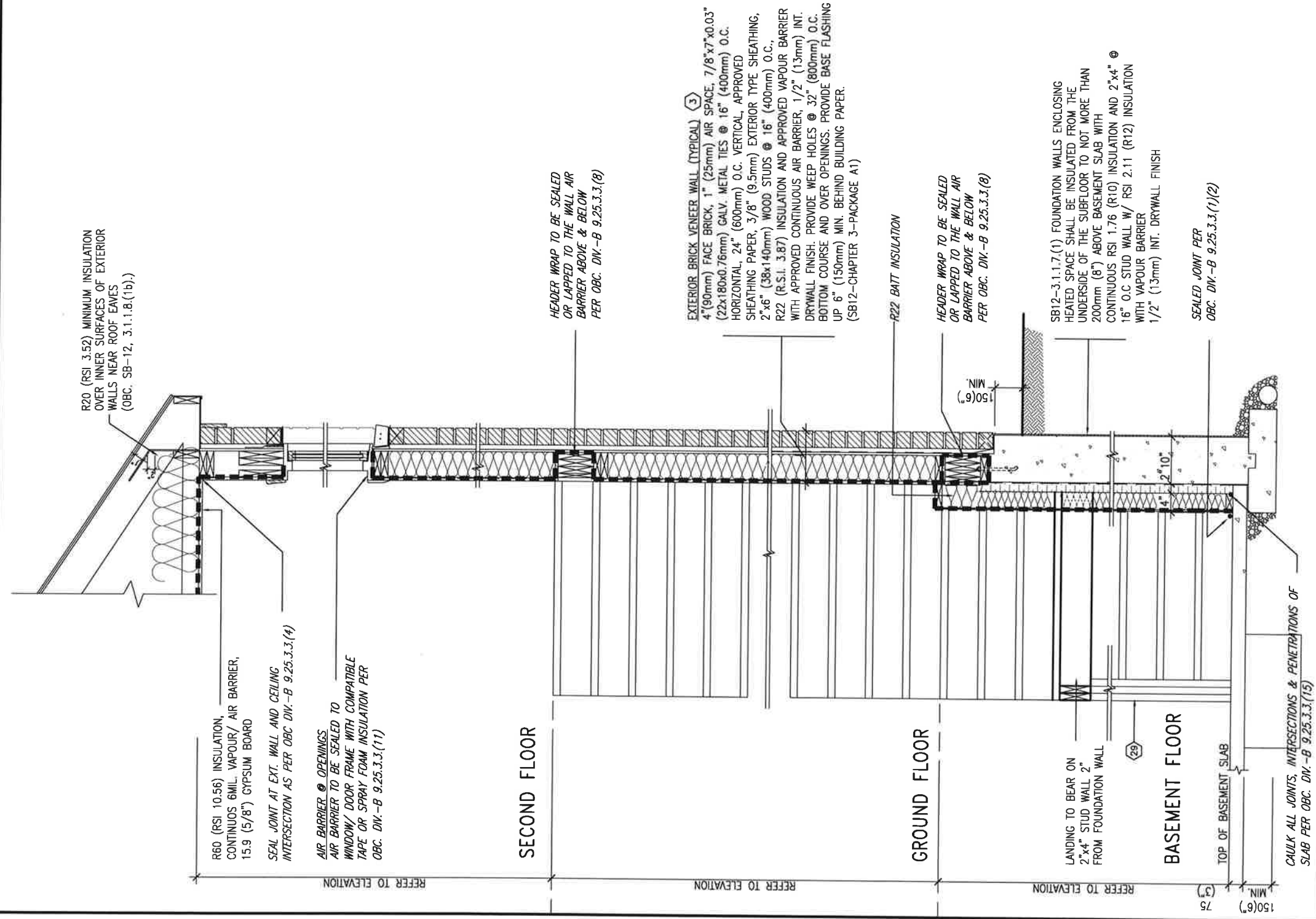
SECTION w/ BRICK VENEER (PACKAGE A1)

SCALE: N.T.S.

|                                   |                                    |
|-----------------------------------|------------------------------------|
| <b>BAYVIEW WELLINGTON</b>         | <b>CONST NOTE</b>                  |
| project name<br><b>ALCONA</b>     | municipality<br><b>INNISTILLON</b> |
| date<br>MAY 2016                  | project no.<br>13049               |
| drawn by<br>RC                    | checked by<br>-                    |
| scale<br>3/16" = 1'-0"            | drawing no.                        |
| <b>CONSTRUCTION NOTES</b>         |                                    |
| file name<br>13049-CN-A1 VER 2020 |                                    |

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# SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS  
REFER TO OBC SB-12, CHAPTER 3.  
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS  
AIR BARRIER TO BE INSTALLED IN  
CONFORMANCE WITH IRC DIV B-9.25.3

REFER TO ADDITIONAL  
DETAILS FOR STRUCTURAL  
COMPONENTS

EW  
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/  
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

SCALE: N.T.S.

|     |                         |           |                                                                                                                                                                                    |                          |           |       |
|-----|-------------------------|-----------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-----------|-------|
| 9   | -                       | -         | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. | 255991                   | BCN       | 42658 |
| 8   | -                       | -         | qualification information                                                                                                                                                          | Wellingdon Jiro-Baptiste | signature |       |
| 7   | -                       | -         | name                                                                                                                                                                               | Wellingdon Jiro-Baptiste |           |       |
| 6   | -                       | -         | contact information                                                                                                                                                                |                          |           |       |
| 5   | -                       | -         | WAS Design Inc.                                                                                                                                                                    |                          |           |       |
| 4   | -                       | -         |                                                                                                                                                                                    |                          |           |       |
| 3   | -                       | -         |                                                                                                                                                                                    |                          |           |       |
| 2   | UPDATE TO OBC NRC 2020  | FEB 09-21 | RC                                                                                                                                                                                 |                          |           |       |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC                                                                                                                                                                                 |                          |           |       |
| no. | description             | date      | by                                                                                                                                                                                 |                          |           |       |

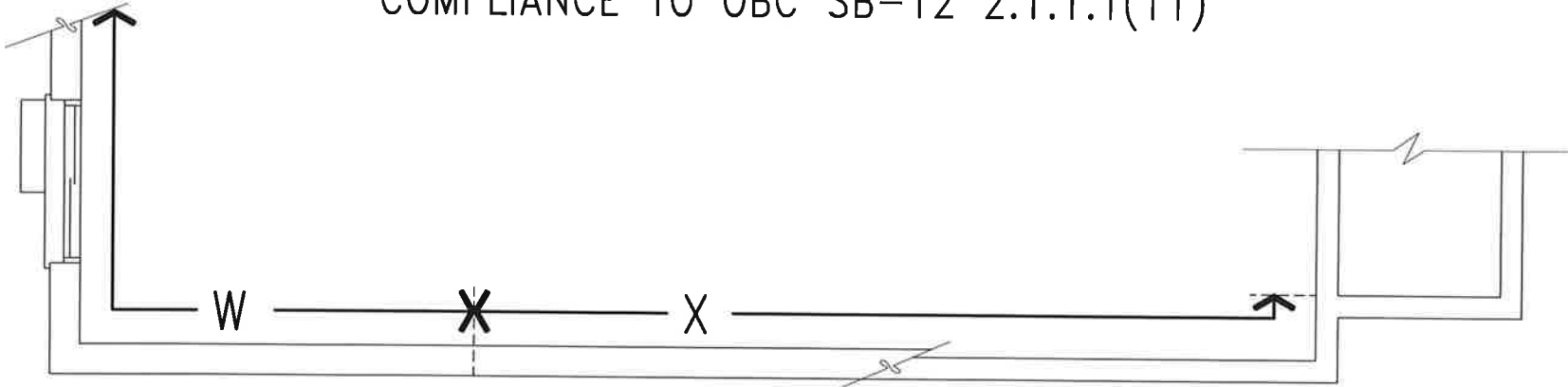
|                                                                                                                                                |                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|
| <b>BAYVIEW WELLINGTON</b>                                                                                                                      | <b>CONST NOTE</b>                        |
| project name<br><b>ALCONA</b>                                                                                                                  | project no.<br><b>13049</b>              |
| date<br><b>MAY 2016</b>                                                                                                                        | drawing no.<br><b>CN7</b>                |
| drawn by<br>RC                                                                                                                                 | checkered by<br>—                        |
| scale<br><b>3/16" = 1'-0"</b>                                                                                                                  | file name<br><b>13049-CN-A1 VER 2020</b> |
| <b>CONSTRUCTION NOTES</b>                                                                                                                      |                                          |
| RC-ARD - IN MACHINE WORKING 2013 N. 13049 BAYVIEW WELLLINGTON Notes\13049-CN-A1 VER 2020.dwg - Tue Feb 9 2021 - 11:11 AM<br><b>INNISFILON.</b> |                                          |

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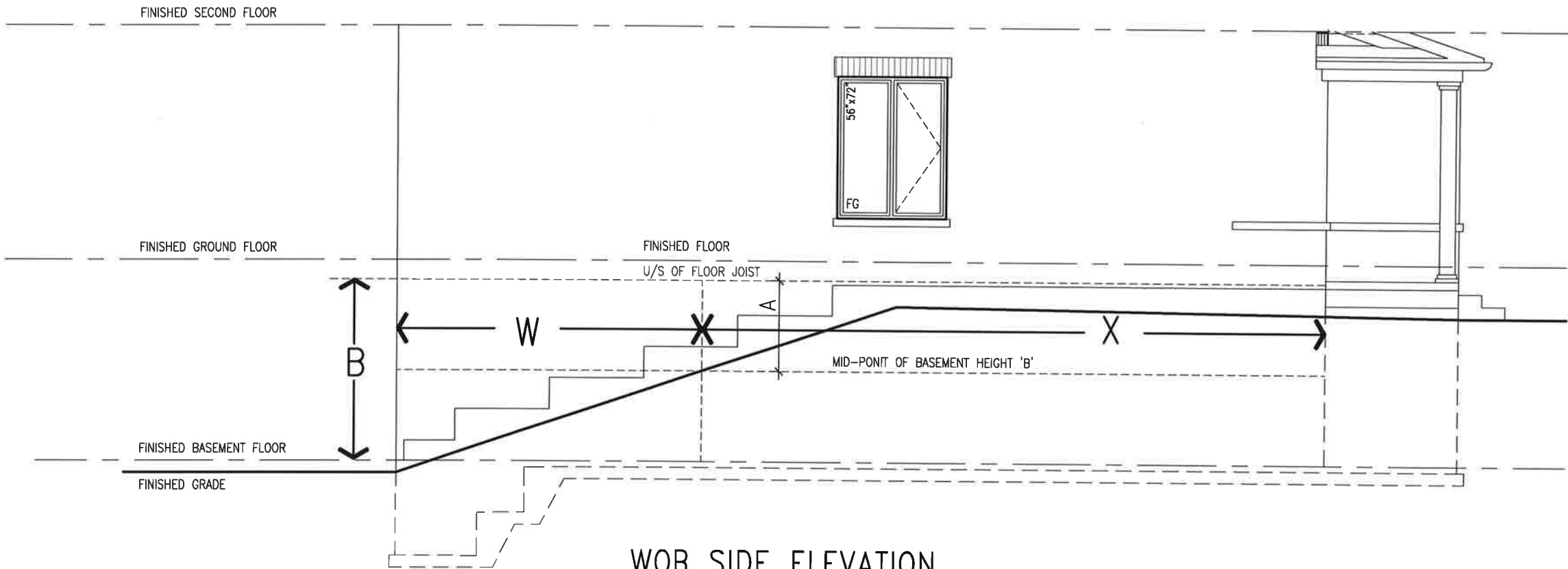
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



FEB 9, 2021



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"  
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"  
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Wallingford Jno-Baptista 25591 BCN  
name registration information  
VA3 Design Inc. 42858 BCN  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They shall not be returned at the completion of the work. Drawings are not to be scaled.

| no. | description             | date         | by |
|-----|-------------------------|--------------|----|
| 2   | UPDATE TO OBC VER 2020  | FEB 09-21 RC |    |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |    |

| project name       | project no. | drawing no.   |
|--------------------|-------------|---------------|
| ALCONA             | 13049       | CN8           |
| date               | checked by  | scale         |
| MAY 2016           | RC          | 3/16" = 1'-0" |
| CONSTRUCTION NOTES | file name   | date          |
| 13049-CN-A1        | VER 2020    | 13049-CN-A1   |

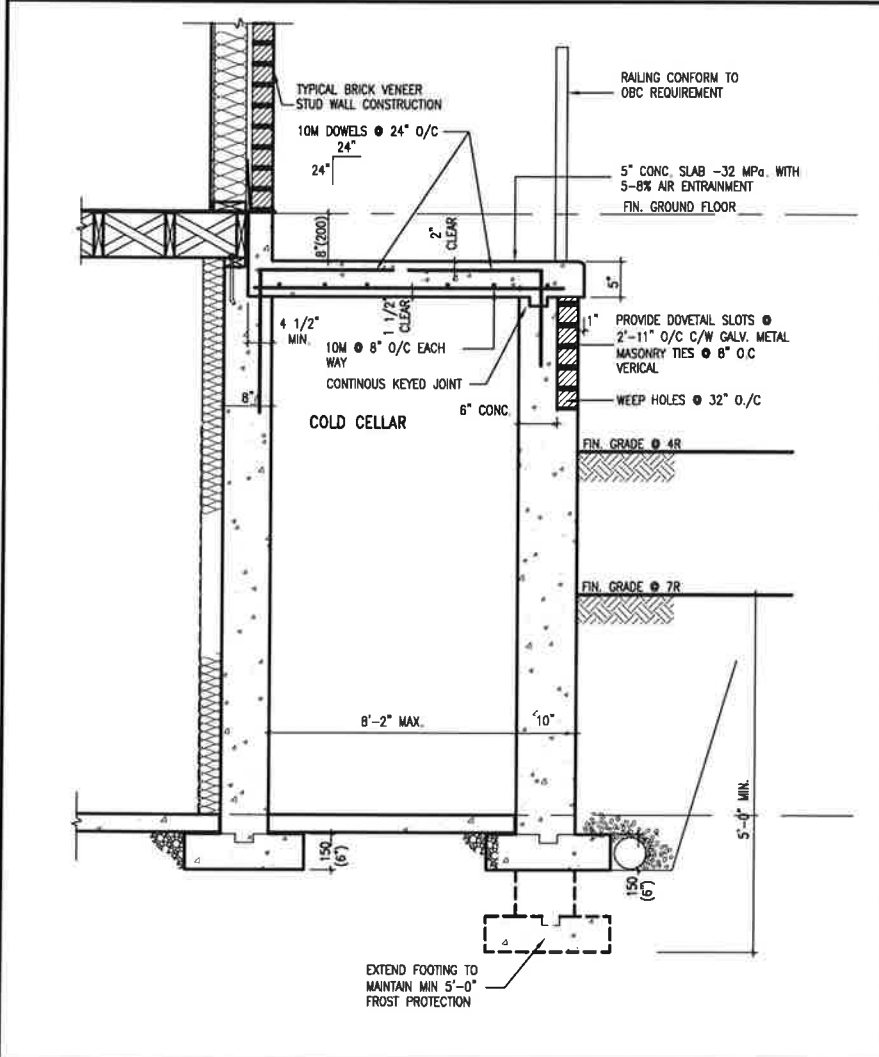
BAYVIEW WELLINGTON

CONST NOTE

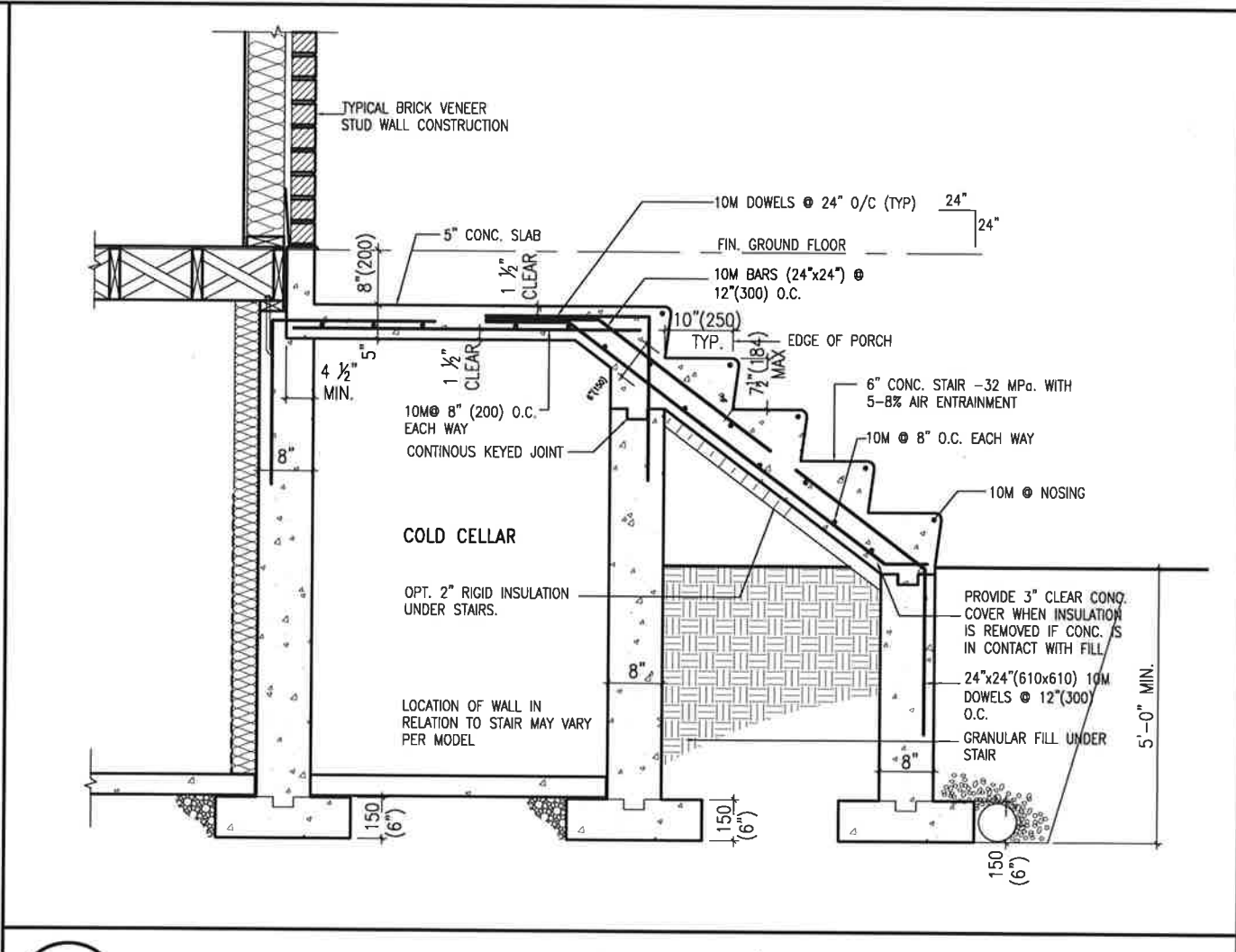
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FEB 9, 2021



**X1** SECTION AT PORCH FOR 4-7R CONDITION  
SCALE: N.T.S.



**X2** EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)  
SCALE: N.T.S.



The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Wellington Jno-Baptiste 25591 BCN  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

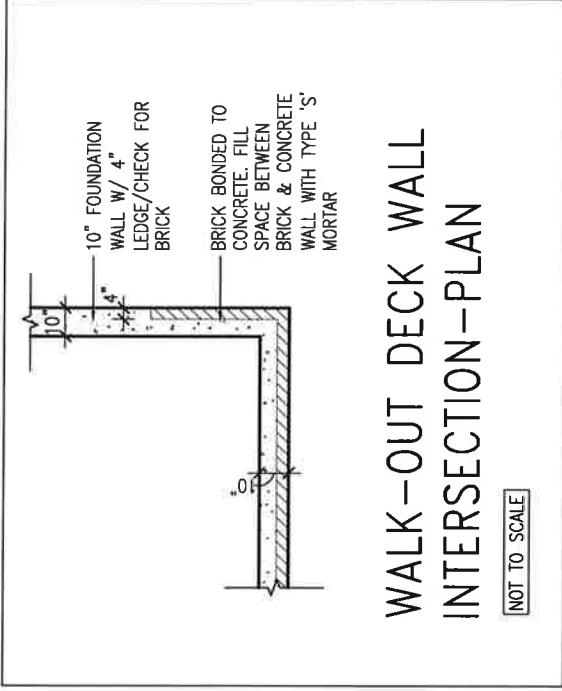
| no. | description             | date      | by |
|-----|-------------------------|-----------|----|
| 2   | UPDATE TO OBC VER 2020  | FEB 09-21 | RC |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC |

| project name       | ALCONA               |
|--------------------|----------------------|
| municipality       | INNISFIL, ON.        |
| project no.        | 13049                |
| drawing no.        | CN9                  |
| CONSTRUCTION NOTES | 13049-CN-A1 VER 2020 |
| checked by         | RC                   |
| scale              | 3/16" = 1'-0"        |
| date               | MAY 2016             |
| drawn by           | RC                   |

**CONST NOTE**

**BAYVIEW WELLINGTON**

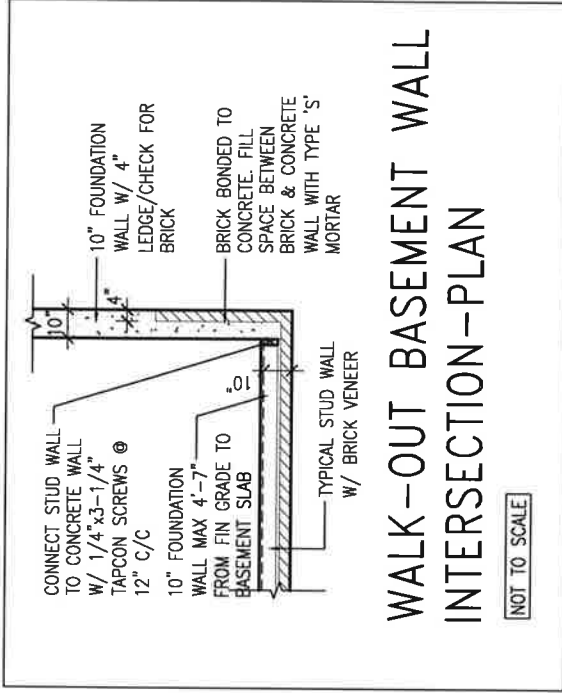
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# WALK-OUT DECK WALL INTERSECTION-ELEVATION

NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL  
INTERSECTION-ELEVATION MAX  
4'-7" BACKFILL

**NOT TO SCALE**

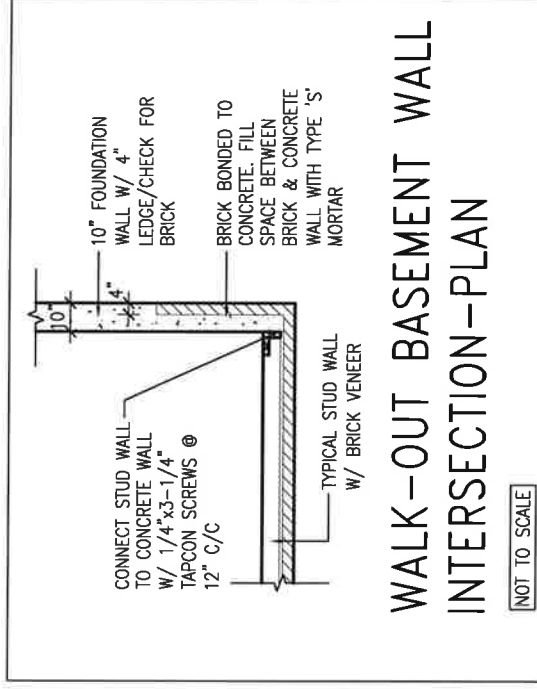


FEB 9, 2021

|     |                         |              |    |  |                                                                                                                                                                                                                                                                                          |
|-----|-------------------------|--------------|----|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9   | *                       |              |    |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                       |
| 8   | *                       |              |    |  |                                                                                                                                                                                                                                                                                          |
| 7   | *                       |              |    |  | qualification information                                                                                                                                                                                                                                                                |
| 6   | *                       |              |    |  |                                                                                                                                                                                                                                                                                          |
| 5   | *                       |              |    |  | Welling Jno-Baptiste 25591                                                                                                                                                                                                                                                               |
| 4   | *                       |              |    |  | name registration information BCN                                                                                                                                                                                                                                                        |
| 3   | *                       |              |    |  | WJ3 Design Inc. 42658<br><i>[Signature]</i> <i>[Signature]</i>                                                                                                                                                                                                                           |
| 2   | UPDATE TO OBC VER 2020  | FEB 09-21 RC |    |  | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All specifications are instruments of service and the property of the firm. Drawings are returned at completion of the work. Drawings are not to be copied. |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |    |  |                                                                                                                                                                                                                                                                                          |
| no. | description             | date         | bv |  |                                                                                                                                                                                                                                                                                          |

|                               |                                      |                                 |                            |
|-------------------------------|--------------------------------------|---------------------------------|----------------------------|
| <b>BAYVIEW WELLINGTON</b>     |                                      | <b>CONST NOTE</b>               |                            |
| project name<br><b>ALCONA</b> | municipality<br><b>INNISFIL, ON.</b> | project no.<br><b>13049</b>     | drawing no.<br><b>CN10</b> |
| date<br><b>MAY 2016</b>       | checked by<br><b>—</b>               | CONSTRUCTION NOTES              |                            |
| drawn by<br><b>RC</b>         | scales<br><b>3/16" = 1'-0"</b>       | file name<br><b>13049-CN-A1</b> | VER 2020                   |

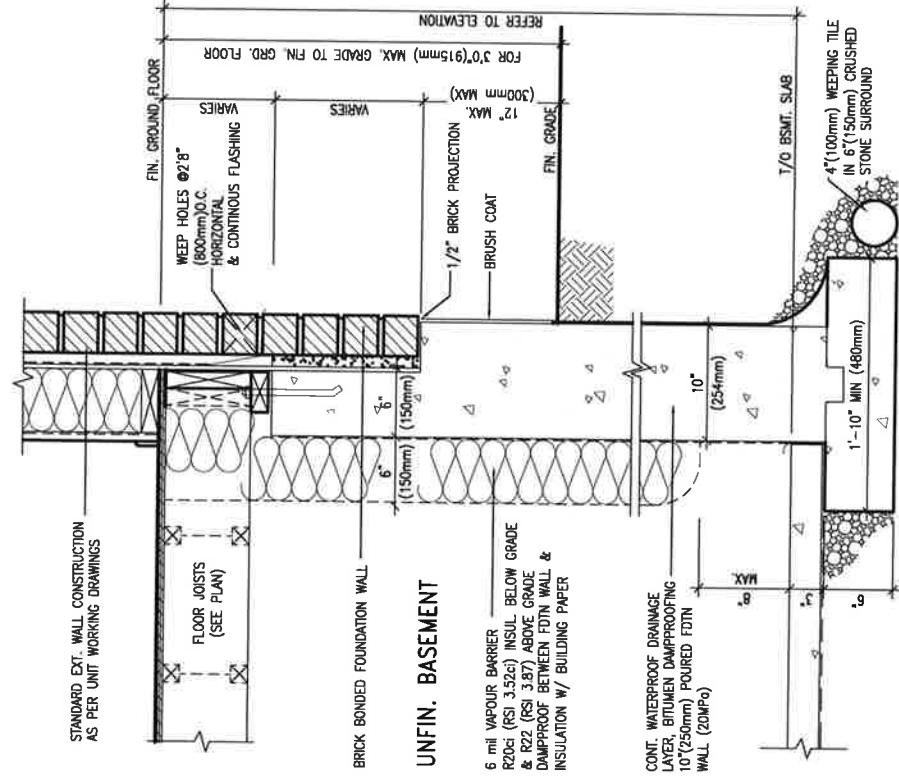
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WALK-OUT BASEMENT WALL  
INTERSECTION-PLAN

**NOT TO SCALE**

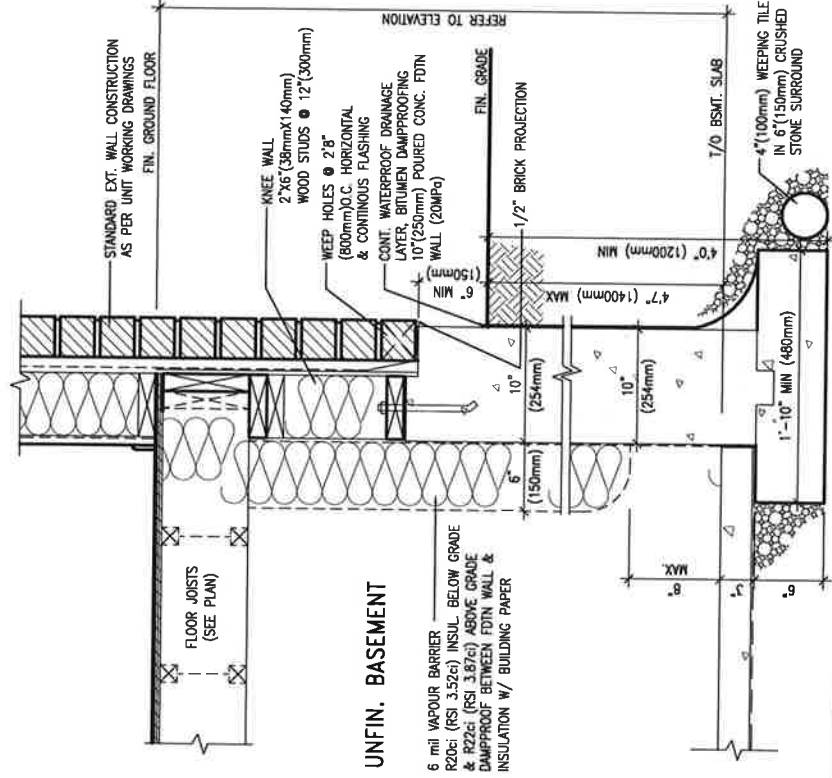
(10" FOUNDATION WALL)



UNFIN. BASEMENT

6 mil VAPOUR BARRIER  
R20ci (RSI 3.52ci) INSUL BELOW GRADE  
& R22 (RSI 3.87) ABOVE GRADE  
DAMP-PROOF BETWEEN FDTN WALL &  
INSULATION W/ BUILDING PAPER

CONT. WATERPROOF DRAINAGE  
LAYER, BITUMEN DAMPROOFING  
10"(250mm) POURED FDTN  
WALL (20MPa)



UNFIN. BASEMENT

6 mil VAPOUR BARRIER  
R20ci (RSI 3.52ci) INSUL. BELOW GRADE  
& R22ci (RSI 3.87ci) ABOVE GRADE  
DAMP-PROOF BETWEEN FDN WALL &  
INSULATION W/ BUILDING PAPER

EW3.06x  
PKG A1

**SCALE: N.T.S.**

WALL SECTION FOR GRADE TO BASEMENT  
SLAB 4'7"(1400mm)  
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



FEB 9. 2021

|                                                                                                                                                                                                                                                                                                                                                                                                             |                         |           |    |  |  |  |  |  |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------|----|--|--|--|--|--|--|
| 9                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 8                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 7                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 6                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 5                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 4                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| 3                                                                                                                                                                                                                                                                                                                                                                                                           | *                       | *         |    |  |  |  |  |  |  |
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Wellington Jno-Baptiste</b> 255891</p> <p>name <i>W. Baptiste</i> BGN</p> <p>business information <i>WAS Design Inc.</i> signature</p> <p><b>VAS Design Inc.</b> 42658</p> |                         |           |    |  |  |  |  |  |  |
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.</p>                                                                                                                       |                         |           |    |  |  |  |  |  |  |
| no.                                                                                                                                                                                                                                                                                                                                                                                                         | description             | date      | by |  |  |  |  |  |  |
| 2                                                                                                                                                                                                                                                                                                                                                                                                           | UPDATE TO OBC VER 2020  | Feb 09-21 | RC |  |  |  |  |  |  |
| 1                                                                                                                                                                                                                                                                                                                                                                                                           | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC |  |  |  |  |  |  |

|                               |                                                   |
|-------------------------------|---------------------------------------------------|
| <b>BAYVIEW WELLINGTON</b>     | <b>CONST NOTE</b>                                 |
| project name<br><b>ALCONA</b> | municipality<br><b>INNISFIL ON.</b>               |
| date<br><b>MAY 2016</b>       | project no.<br><b>13049</b>                       |
| drawn by<br><b>RC</b>         | drawing no.<br><b>CN111</b>                       |
| scale<br><b>3/16" = 1'-0"</b> | construction notes<br><b>13049-CN-A1 VER 2020</b> |
| checked by<br>-               | file name<br><b>13049-CN-A1 VER 2020.dwg</b>      |
| drawn by<br><b>RC</b>         | plot date<br><b>May-16-2016 11:28 AM</b>          |

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