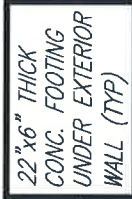


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL.

APPROVED BY: _____
DATE: Jun. 28, 2018

See comments on permit



UNEXCAVATED
(REMOVE TOP SOIL ONLY)

FOUNDATION PLAN 'A'/'A2'/'A3'

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

BE GLUED AND NAILED TO
ENGINEERED JOIST ONLY.

VA3
DESIGN
55 Consumers Rd Suite
Toronto ON M2J 1R4
416.630.2255 f 416.630.
va3design.com

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INDICATES FIRE RATED WALL ASSEMBLY

3'-8"

4'-6"

21'-4" [6.50M]

20'-8"

13'-2"

4"

5

6

12

13

NOTE J1

BI W/ 6" MIN BEARING @ EACH END

VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYPICAL)

NOTE J1

11 7/8" ENG. JST. @ 12" O.C.

W/ 3/4" SUBFLOOR (GLUED & NAILED)

W/ MID-SPAN BLOCKING

UNFINISHED BASEMENT

7

APPROVED BY: 

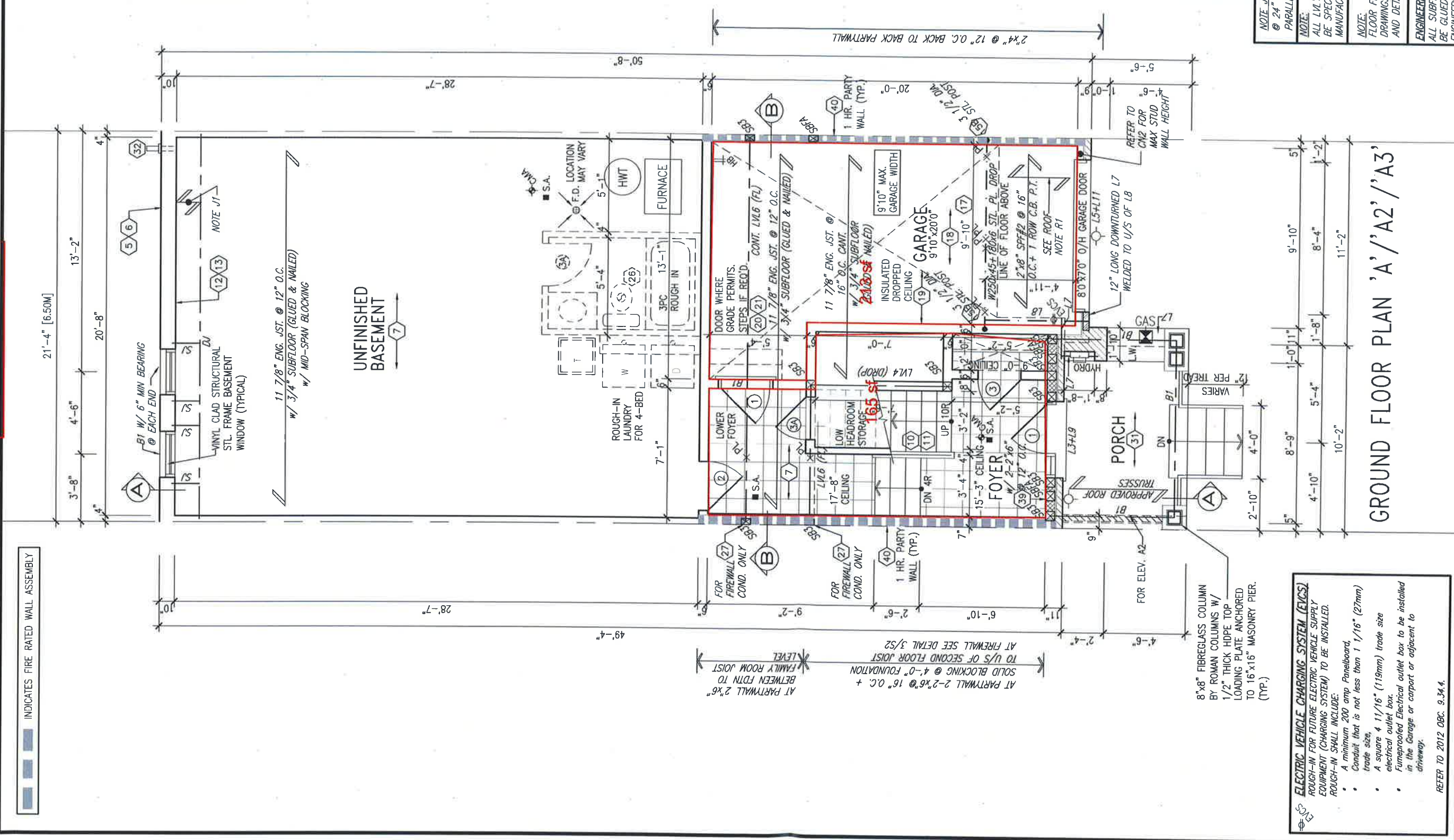
DATE: JUN. 28, 2018

THIS STAMP CERTIFIES COMPLIANCE WITH THE APPLICABLE DESIGN GUIDELINES ONLY AND BEARS NO FURTHER PROFESSIONAL RESPONSIBILITY.

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW

AND APPROVAL



EVCS

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)

ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

ROOF NOTE R1

2"x4" P.T. ON FLATS 1/4" SPACING OVER 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

NOTE J1:

PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:

ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:

FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.



GROUND FLOOR PLAN 'A'/'A2'/'A3'

BAYVIEW WELLINGTON		TH-10 CRANE 10	
project name	ALCONA SHORES	municipality	INNISFIL, ON.
project no.	13049	drawing no.	2
date	JANUARY 2018	checked by	CM
drawn by	CM	scale	3/16" = 1'-0"
file name	13049-TH-10	date	13049-TH-10
no. description	1. ISSUED FOR CLIENT REVIEW		
2. REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT		
3. REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB		
4. REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB		
5. QUALIFICATION INFORMATION	Wellington Jno-Baptiste 25591		
6. QUALIFICATION INFORMATION	VA3 Design Inc. 42658		
7. QUALIFICATION INFORMATION	The undersigned has reviewed and taken responsibility for this design and has not been provided with the requirements set out in the Ontario Building Code to be a Designer.		
8. QUALIFICATION INFORMATION	The undersigned has reviewed and taken responsibility for this design and has not been provided with the requirements set out in the Ontario Building Code to be a Designer.		
9. QUALIFICATION INFORMATION	The undersigned has reviewed and taken responsibility for this design and has not been provided with the requirements set out in the Ontario Building Code to be a Designer.		

INDICATES FIRE RATED WALL ASSEMBLY

 $21'-4'' [6.50M]$

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with all applicable codes, ordinances and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

MAIN FLOOR PLAN 'A'/'A2'

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO
BE SPECIFIED BY THE FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY.

BAYVIEW WELLINGTON

TH-10
CRANE 10

project name	ALCONA SHORES	municipality	INNISFIL, ON.	project no.	13049
--------------	---------------	--------------	---------------	-------------	-------

date JANUARY 2018 MAIN FLOOR PLAN 'A'/'A2' drawing no 1

CM	-	$5/16'' = 1'-0''$	SCALE	the name
RICHARD - - - - - H. L. ARCHIVE, WORKING 2201 ST. 3049, BAY LUNTS, TX. 3049 - TH - 10				
13049-TH-10				

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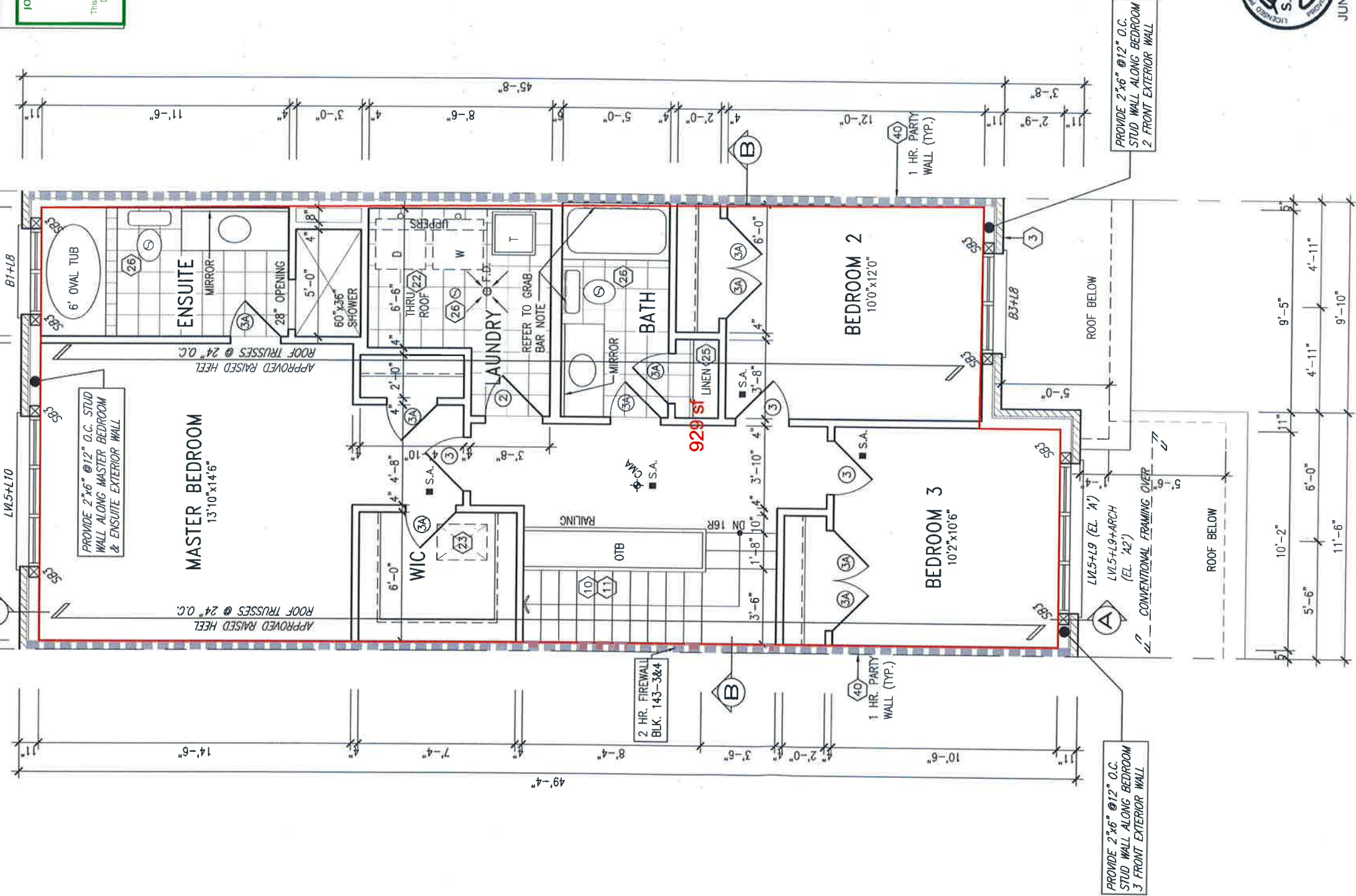
INDICATES FIRE RATED WALL ASSEMBLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or for any changes in respect to any zoning or building code which may apply to any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE JUL 28, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8(1)(c), & 3.8.3.13(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

UPPER FLOOR PLAN 'A'/'A2'
(3 BEDROOM W/ LAUNDRY)

NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE

no.	description	date	by
9			
8			
7			
6			
5			
4	REVISED AS PER ENG'S COMMENTS	JUN 25-18 SB	25591
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	42558
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT	
1	ISSUED FOR CLIENT REVIEW	JAN. 06-18 CM	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
V3 Design Inc. 42558
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

BAYVIEW WELLINGTON
ALCONA SHORES
INNISFIL, ON.

project no. 13049
drawing no. 4
date JANUARY 2018
checked by CM
scale 3/16" = 1'-0"
drawn by RICHARD - 416.630.2255 f 416.630.4782
file name 13049-TH-10
project no. 13049
drawing no. 4
date JUN 27 2018 8:16 AM
file name 13049-TH-10

INDICATES FIRE RATED WALL ASSEMBLY

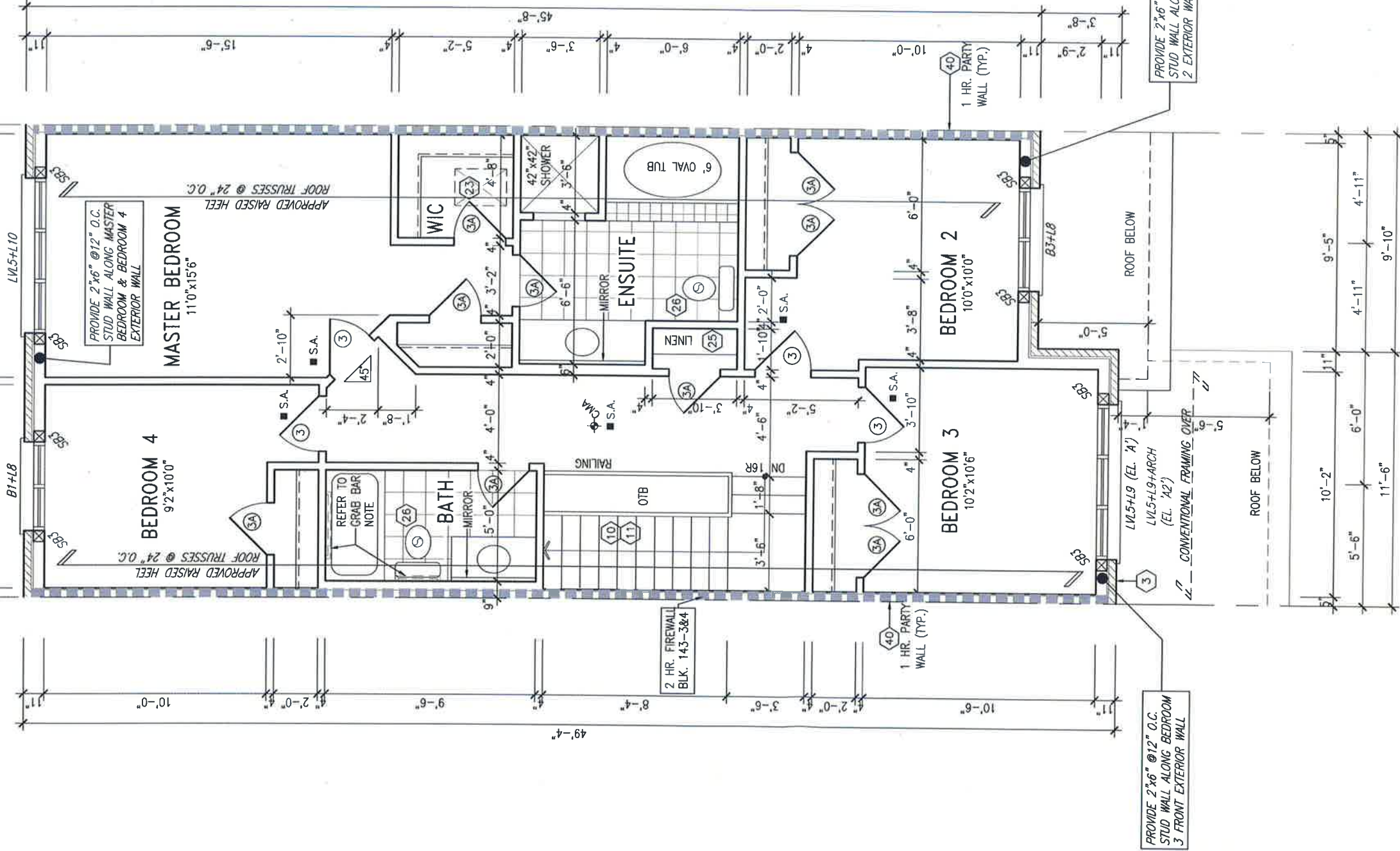
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNESFILL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

ALT. UPPER FLOOR PLAN 'A'/'A2'
(4 BEDROOM)

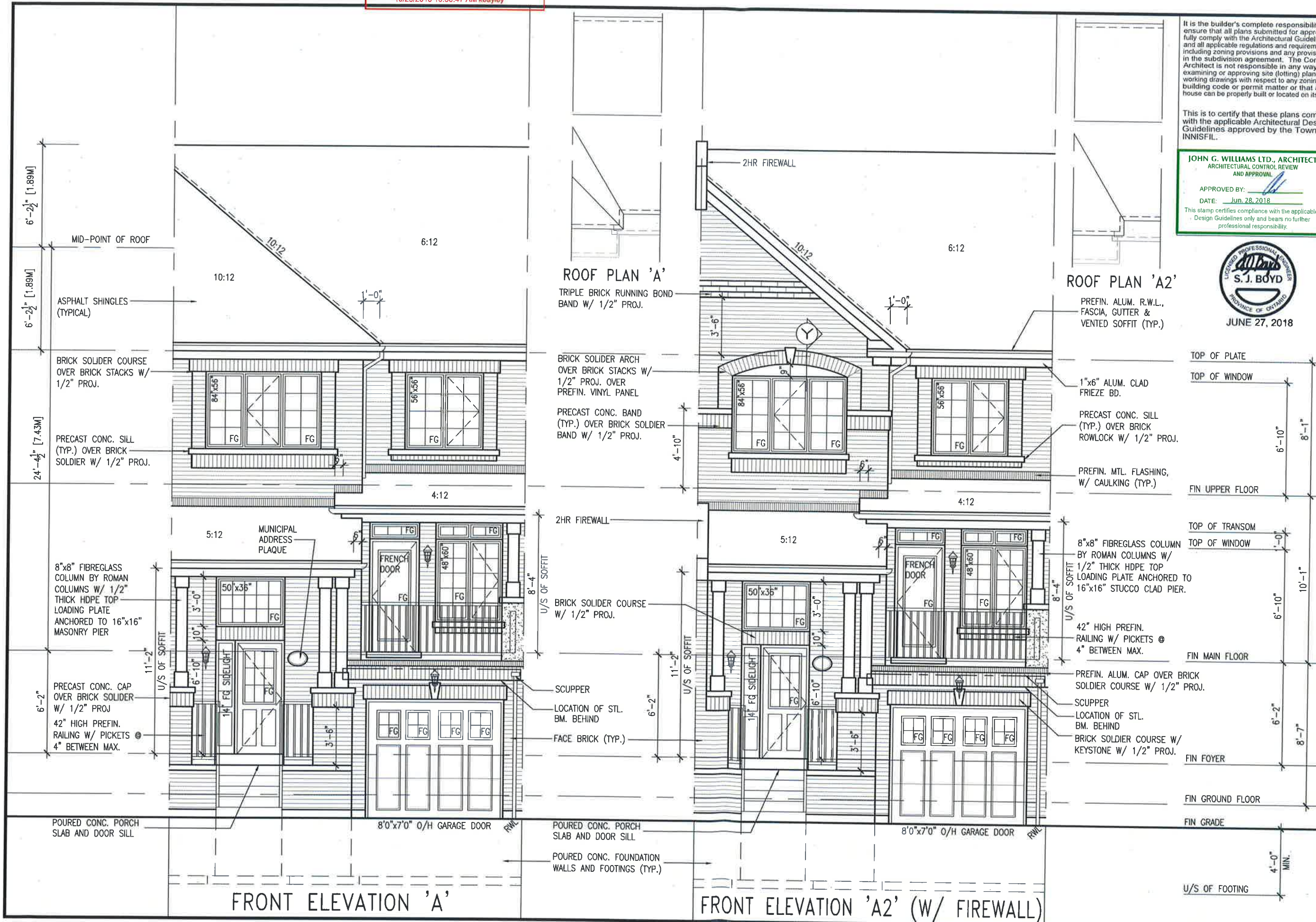
NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE

	
255 Consumers Rd Suite Toronto, ON M2L 1R4 t 416.630.2255 f 416.630. va3design.com	
25591 Wellington Jno-Baptiste	42658 signature
name verification info VA3 Design Inc.	
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions shall be verified by the Designer using instruments of service and the property of this Designer must be returned to the Designer at the completion of the work. Drawings are to be signed.	

BAYVIEW WELLINGTON

project name	ALCONA SHORES	project no.	13049
date	JANUARY 2018	drawing no.	5
drawn by	CM	the name	13049-H-10
checked by	—	scale	3/16" = 1'-0"
description	OPT. 4 BED UPPER FLOOR PLAN 'A' / 'A2'		
location	INNISFILL, ON.		

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

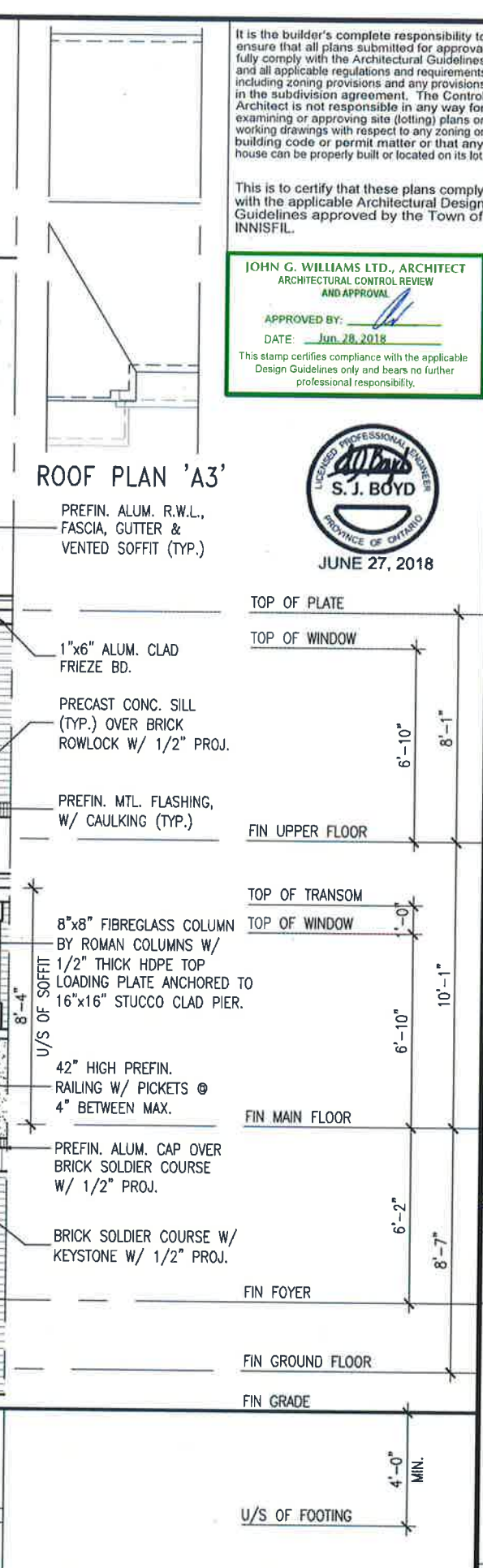
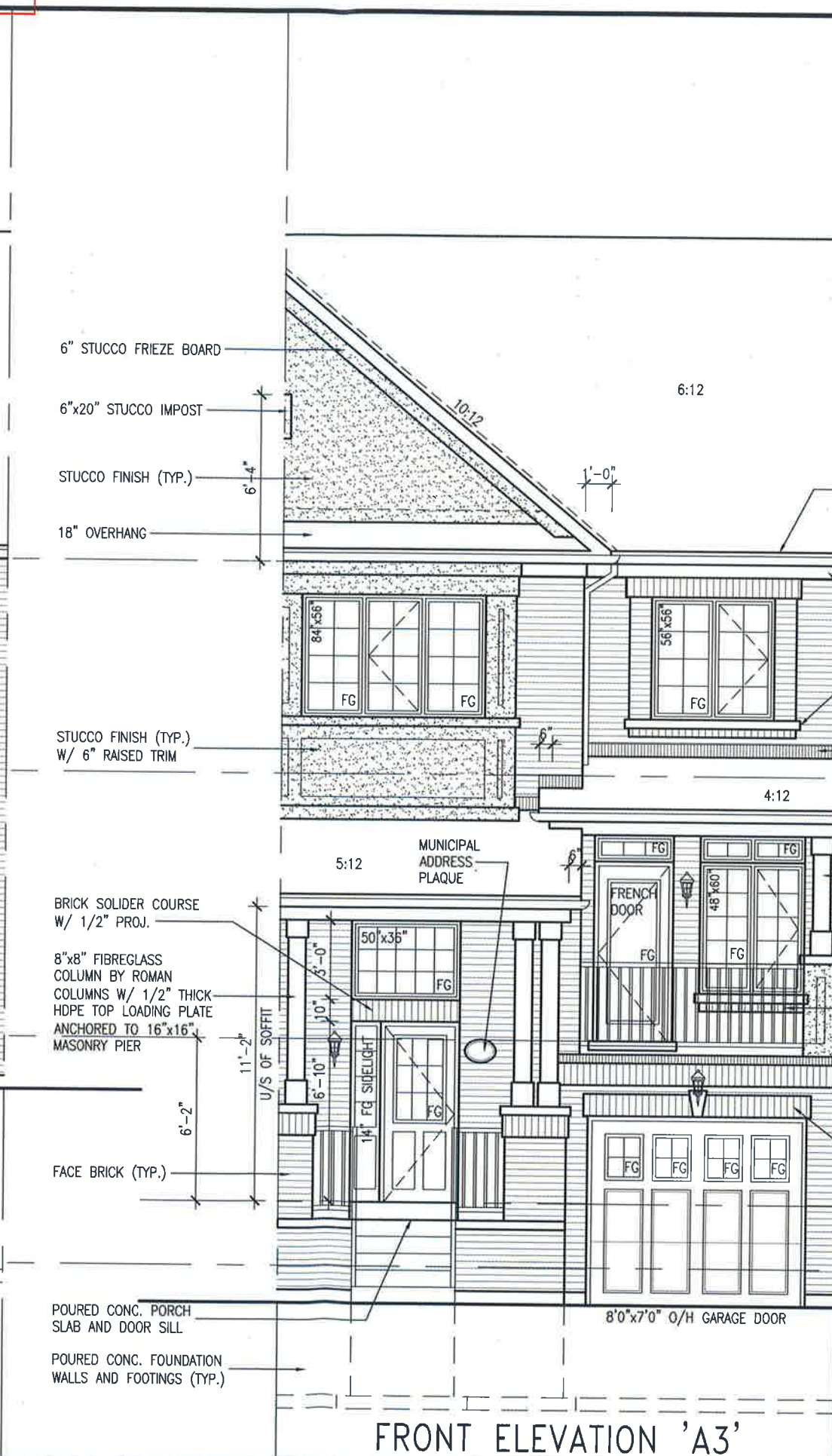
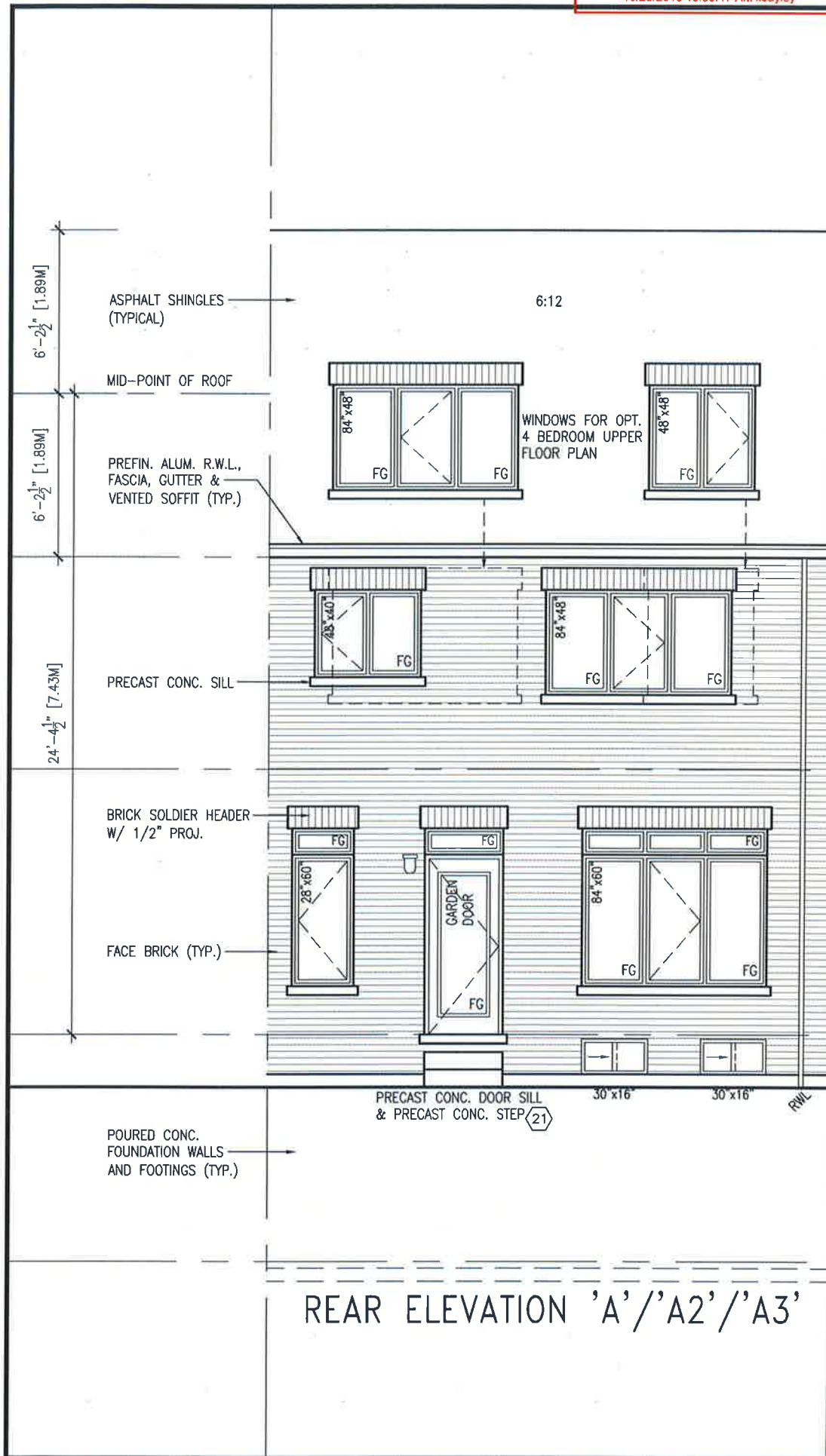


BAYVIEW WELLINGTON		TH-10 CRANE 10	
project name	ALCONA SHORES	municipality	INNISFIL, ON.
project no.	13049	drawing no.	7
date	JANUARY 2018	scale	3/16" = 1'-0"
drawn by	RICHARD	checked by	CM
RICHARD - H:\ARCHIVE\WORKING\2018\13049\BAYVIEW\TH-10.dwg - Wed, Jun 27 2018 8:16 AM 13049-TH-10			

VA3 DESIGN		25591	
255 Consumers Rd Suite 120		BCIN	
Toronto ON M2J 1R4		42658	
T 416-630-2235 F 416-630-4782		Signature	
vo3design.com		Wellington Jno-Baptiste	

1	ISSUED FOR CLIENT REVIEW	JUN 25-18	SB	REVISIONS
2	REVISED AS PER ENG'S COMMENTS	MAY 22/18	WT	COMMENTS
3	REVISED AS PER FLOOR TRUSS COMMENTS	MAY 18/18	WT	COMMENTS
4	REVISED AS PER ROOF TRUSS COMMENTS	JUN 06-18	CM	COMMENTS

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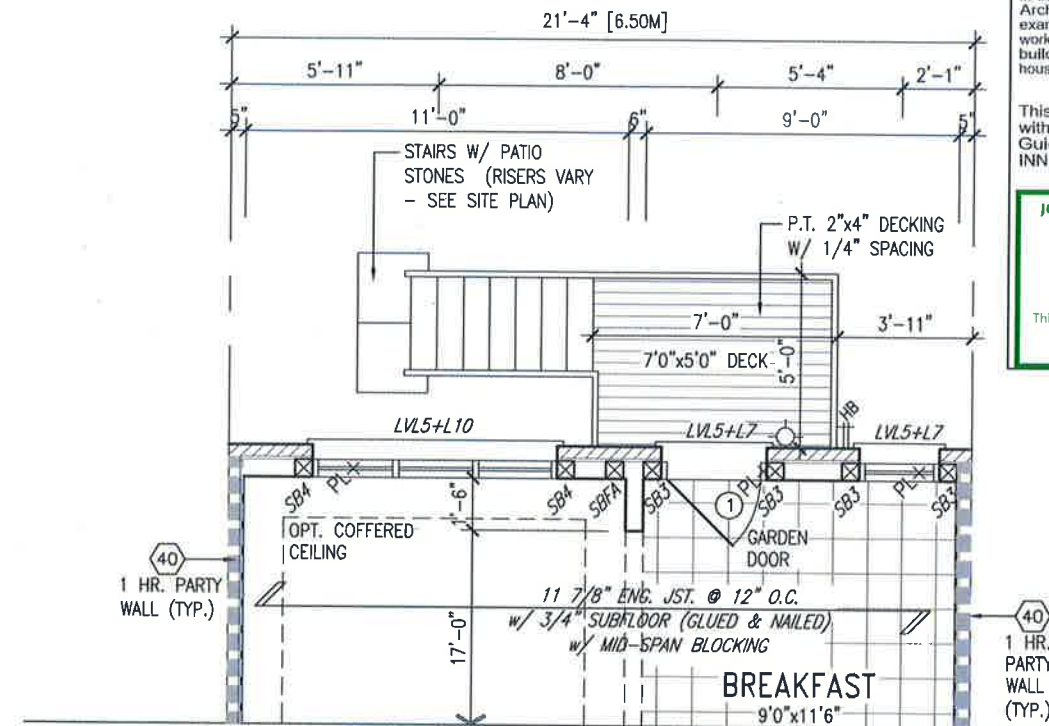
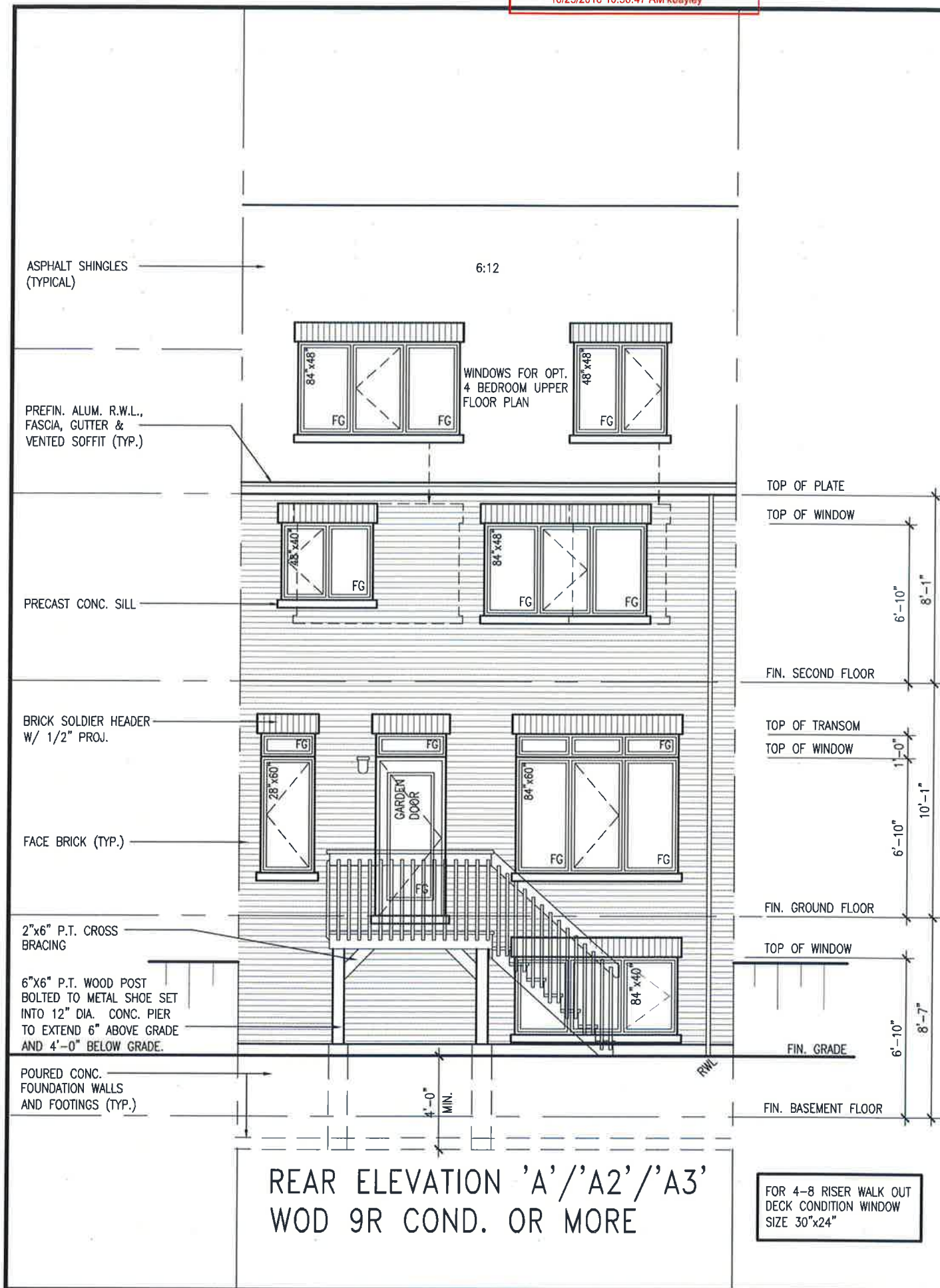
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

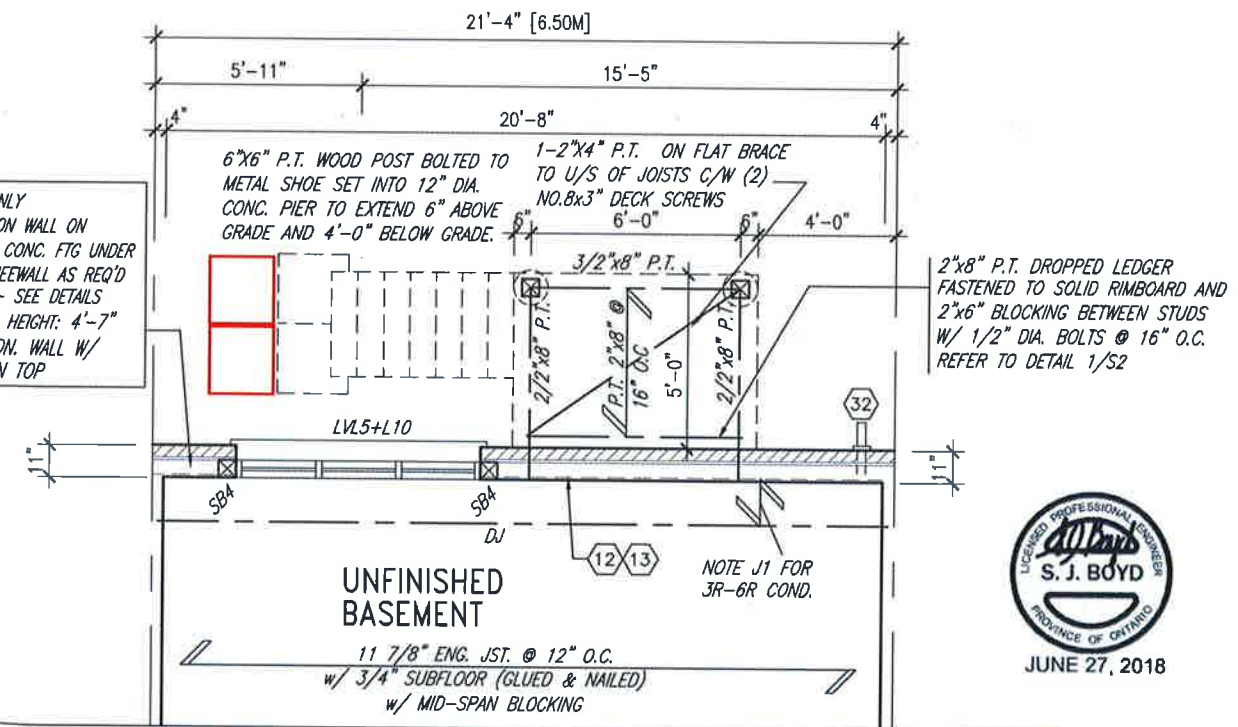
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 28, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



TH-10 CRANE 10		BAYVIEW WELLINGTON		ALCONA SHORES		INNISFIL, ON.		project no. 13049		drawing no. 8	
JANUARY 2018		FRONT ELEVATION 'A3' & REAR ELEVATION		scale 3/16" = 1'-0"		checked by CM		drawn by CM		file name 13049-TH-10	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2235 f 416.630.4792 v3design.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptista [Signature]		25591		42658		JUN 25-18 SB	
4 REVISED AS PER ENG'S COMMENTS		5 MAY 22/18 WT		6 MAY 18/18 WT		7 MAY 18/18 WT		8 MAY 18/18 WT		9 MAY 18/18 WT	
2 REVISED AS PER FLOOR TRUSS COMMENTS		3 REVISED AS PER ROOF TRUSS COMMENTS		1 ISSUED FOR CLIENT REVIEW		no. description		date		by	



PARTIAL MAIN FLOOR PLAN
WOD 9R COND.



PARTIAL GROUND FLOOR
PLAN WOD 9R COND.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

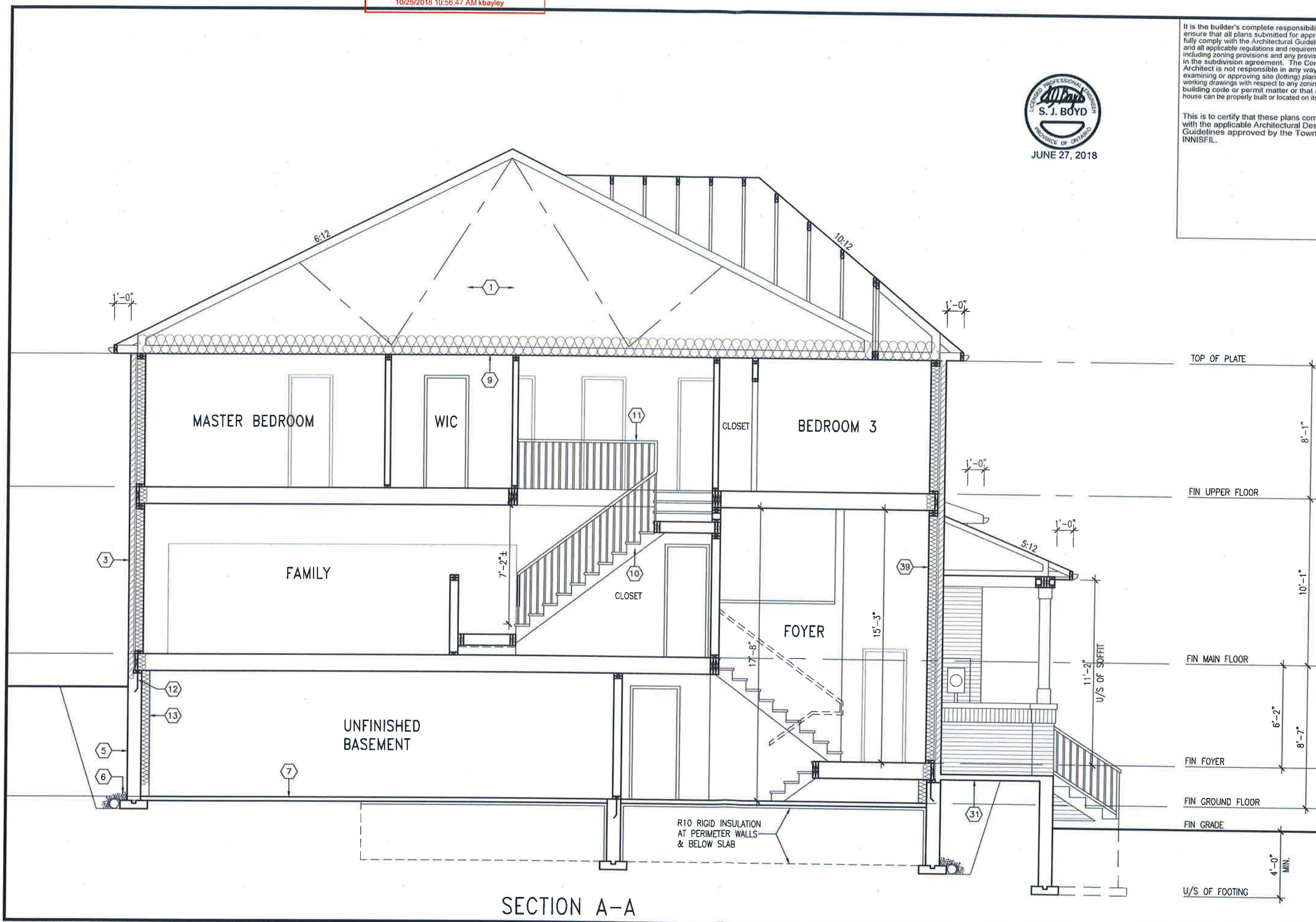
TH-10 CRANE 10		BAYVIEW WELLINGTON		VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
project no.	13049	project name	ALCONA SHORES	registration information	25591	name	Wellington Jno-Baptiste
drawing no.	9	date	JANUARY 2018	VA3 Design Inc.	42658	signature	
WOD CONDITION	3/16" = 1'-0"	checked by	CM	contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date	
no.	description	date	by	4	REVISED AS PER ENG'S COMMENTS	JUN 25-18	SB
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18	WT	2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18	WT
1	ISSUED FOR CLIENT REVIEW	JAN. 06-18	CM				





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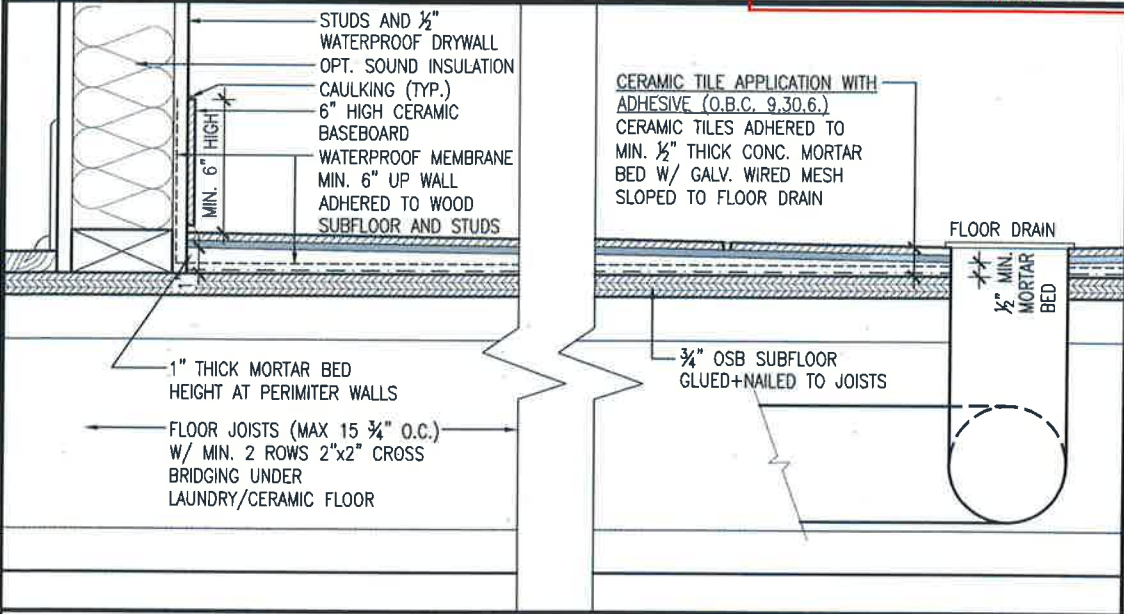


SECTION A-A

BAYVIEW WELLINGTON		TH-10	CRANE 10
project name	ALCONA SHORES	project no.	13049
city	INNISFIL, ON.	drawing no.	10
date	JANUARY 2018	section	A-A
drawn by	CM	file name	13049-TH-10
checked by	CM	scale	3/16" = 1'-0"
RICHARD - ARCHITECTURAL DESIGN INC. 13049 BAYVIEW TRAIL, SUITE 101, BAYVIEW, ONTARIO L4W 5G6			
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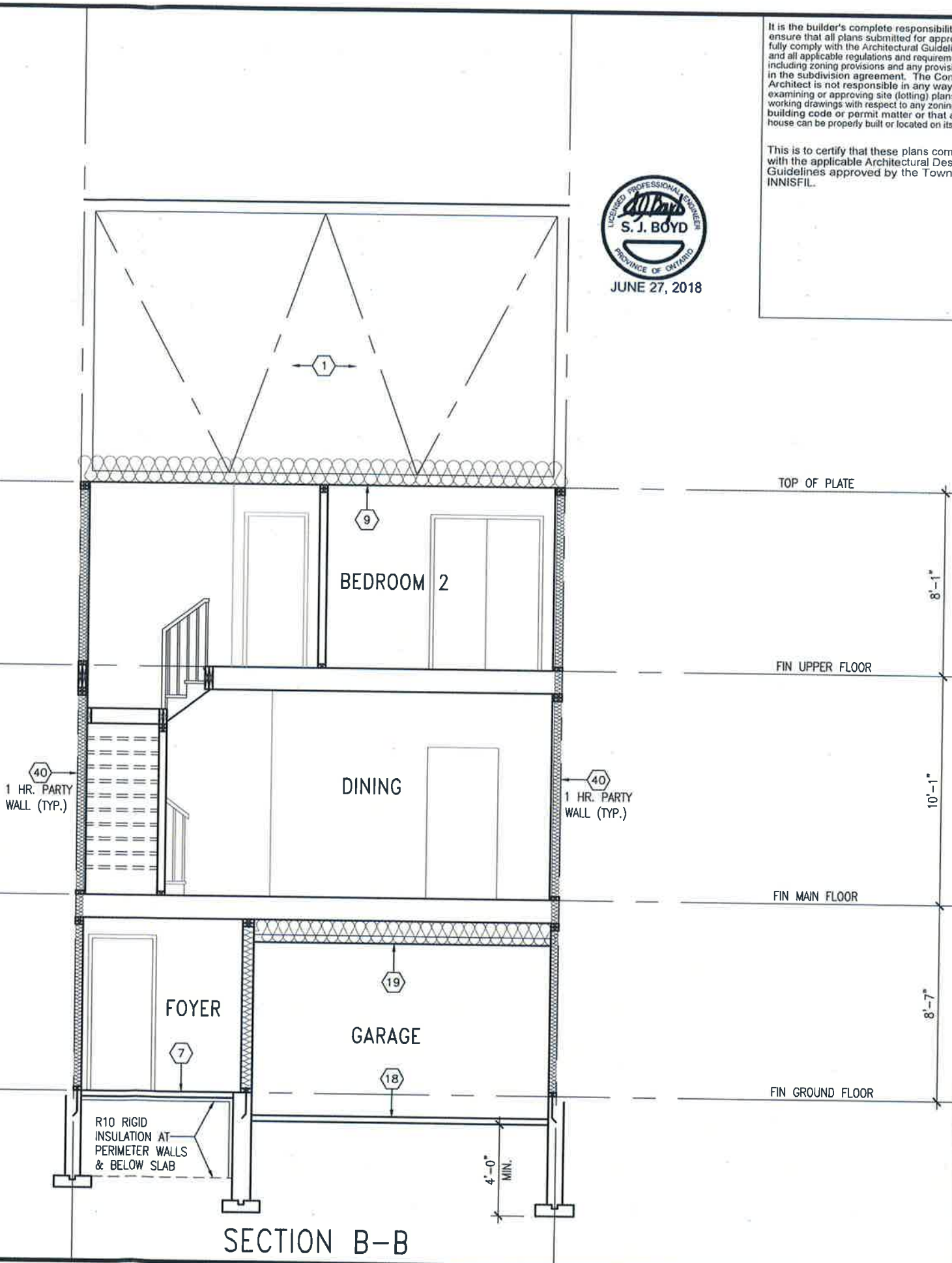
VAS DESIGN		255 Consumers Rd. Suite 120
		Toronto, ON M2J 1R4
		T 416.630.2255 F 416.630.4782
		vasdesign.com

This undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	25591	BCN
Wellington, Ont - Baptiste		name	25591	BCN
VAS Design Inc.		company	42658	BCN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		contractor	42658	BCN
4. REVISED AS PER ENG'S COMMENTS	JUN 25-18	SB		
3. REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18	WT		
2. REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18	WT		
1. ISSUED FOR CLIENT REVIEW	JAN. 06-18	CM		
no.	description	date	by	



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
TH-10 ELEVATION 'A'/'A2'/'A3'	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	600.89 S.F.	142.917 S.F.	23.78 %
LEFT SIDE	994.89 S.F.	0 S.F.	0.00 %
RIGHT SIDE	994.89 S.F.	0 S.F.	0.00 %
REAR	430.22 S.F.	127.500 S.F.	29.64 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3020.89 S.F.	270.42 S.F.	8.95 %
TOTAL SQ. M.	280.65 S.M.	25.12 S.M.	8.95 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
TH-10 ELEVATION 'A'/'A2'/'A3' WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	600.89 S.F.	142.917 S.F.	23.78 %
LEFT SIDE	994.89 S.F.	0 S.F.	0.00 %
RIGHT SIDE	994.89 S.F.	0 S.F.	0.00 %
REAR	515.56 S.F.	144.167 S.F.	27.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3106.23 S.F.	287.08 S.F.	9.24 %
TOTAL SQ. M.	288.58 S.M.	26.67 S.M.	9.24 %



SECTION B-B



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

TH-10
CRANE 10

BAYVIEW WELLINGTON

ALCONA SHORES

project name

project no.
13049

drawing no.
SECTION B-B

checked by
JANUARY 2018

drawn by
CM

scale
3/16" = 1'-0"

date
JUNE 27, 2018

project name
ALCONA SHORES

project no.
13049

drawing no.
SECTION B-B

checked by
JANUARY 2018

drawn by
CM

scale
3/16" = 1'-0"

date
JUNE 27, 2018

project name
ALCONA SHORES

project no.
13049

drawing no.
SECTION B-B

checked by
JANUARY 2018

drawn by
CM

scale
3/16" = 1'-0"

date
JUNE 27, 2018

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Baptiste

25591

BCIN

42658

VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

4

REVISED AS PER ENG'S COMMENTS

JUN 25-18

SB

3

REVISED AS PER FLOOR TRUSS COMMENTS.

MAY 22/18

WT

2

REVISED AS PER ROOF TRUSS COMMENTS.

MAY 18/18

WT

1

ISSUED FOR CLIENT REVIEW

JAN. 06-18

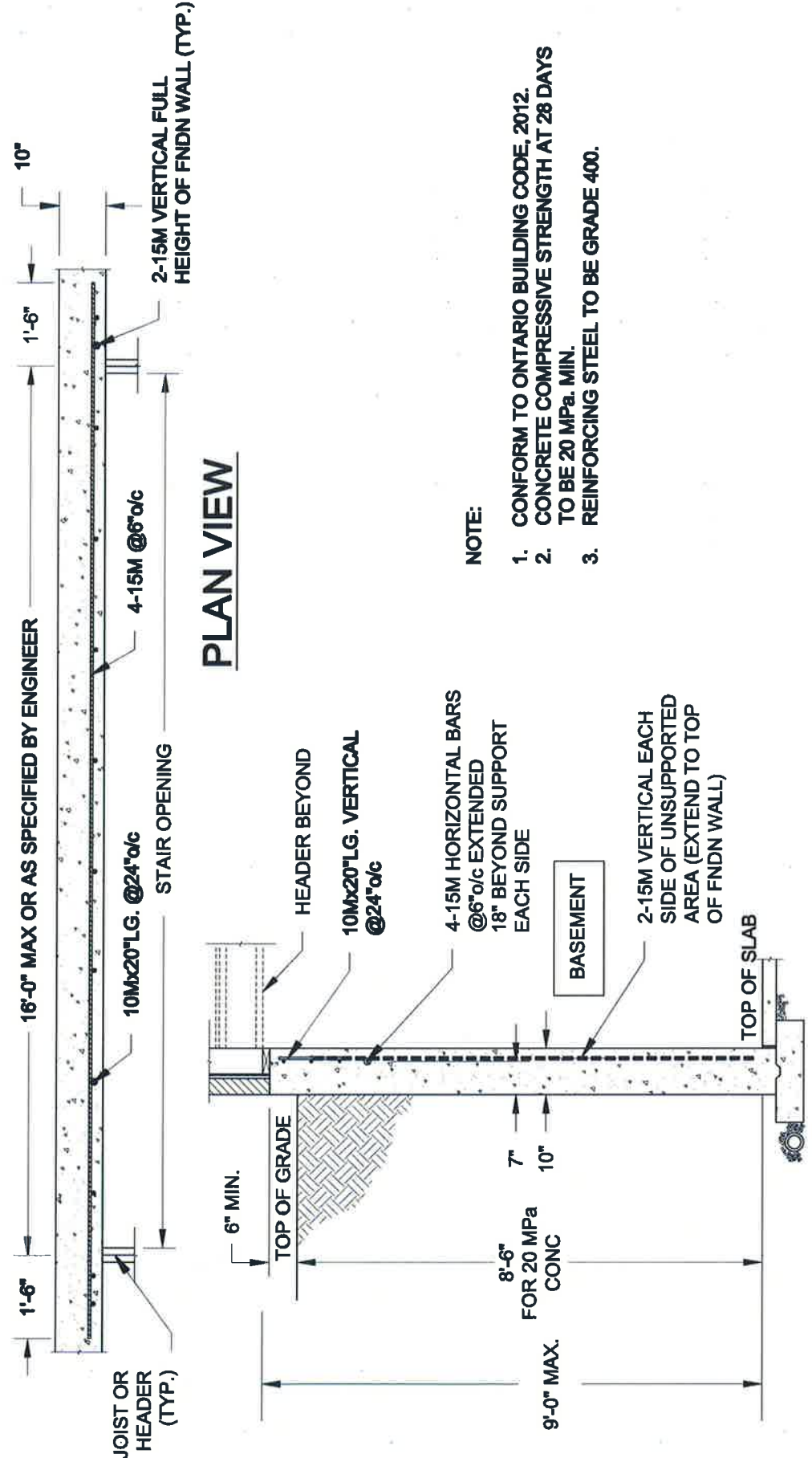
CM

no.

description

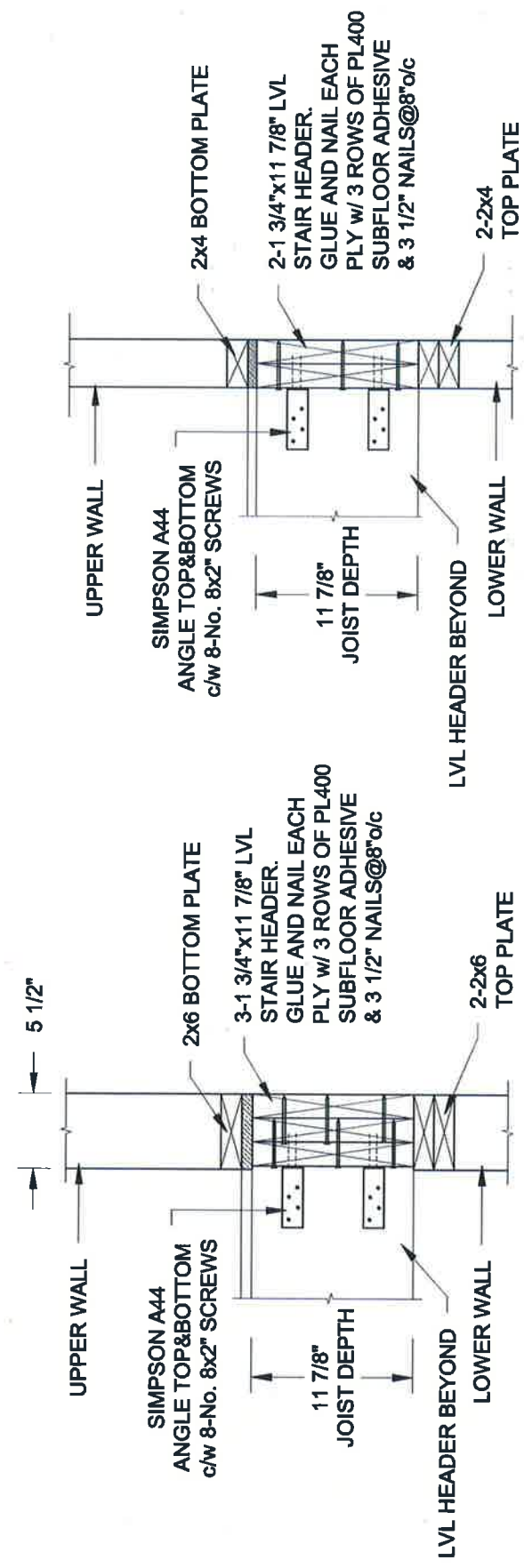
date

by



- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
 3. REINFORCING STEEL TO BE GRADE 400.

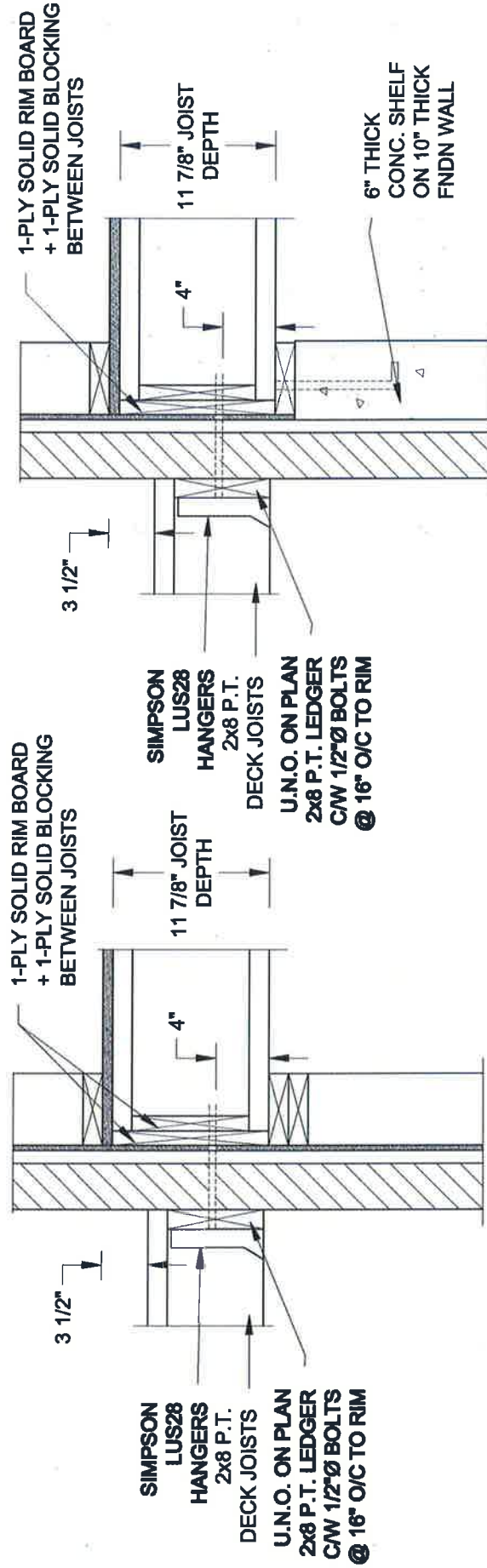
1 LATERALLY UNSUPPORTED WALL
S1 SCALE: 3/8" = 1'-0"



2A HEADER @ EXTERIOR WALL
S1 SCALE: 1" = 1'-0"

2B HEADER @ PARTY WALL
S1 SCALE: 1" = 1'-0"

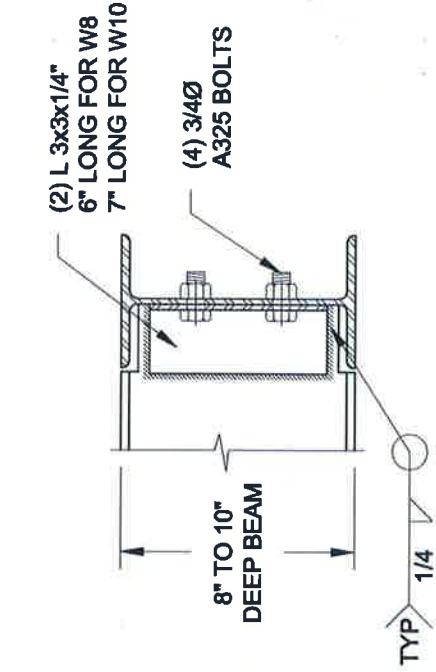
Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: qualie.eng@rogers.com		Engineer's Seal:  JUNE 22, 2018	Project: BAYVIEW WELLINGTON HOMES - ALCONA TOWNS INNISFIL, ONTARIO	
Date: MAY-31-2018					TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB	Project No.: 18-104	Drawing No.: S1			
F:\SamC-08\2018\18-104 BAYVIEW WELLINGTON ALCONA - TOWNS\18-104.dwg						



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

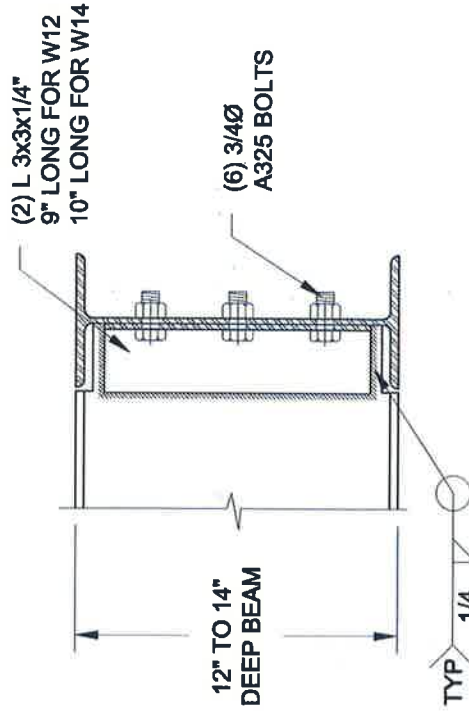
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



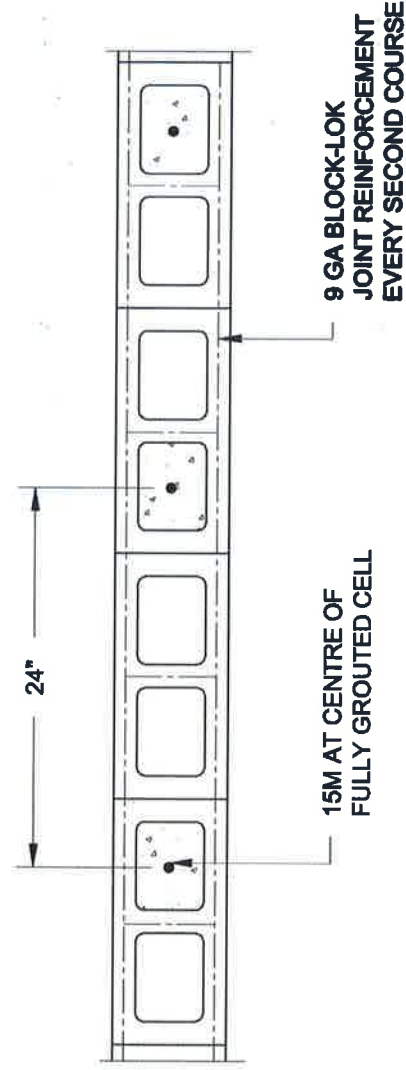
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

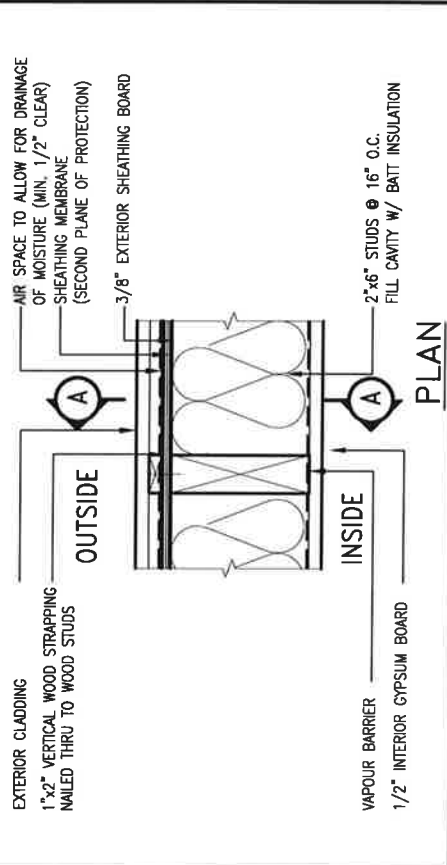


3 PLAN OF FIREWALL AT 2 STOREY CONDITION
S2 SCALE: 1" = 1'-0"

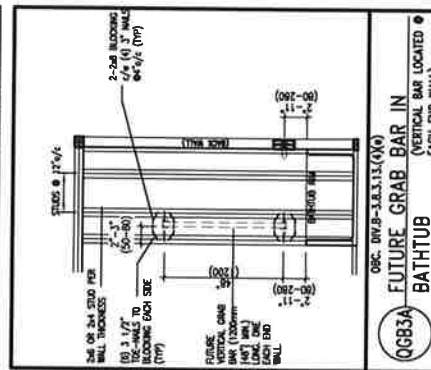
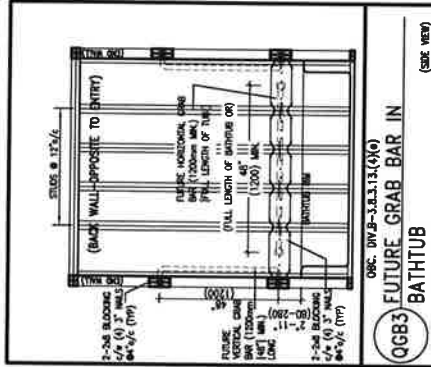
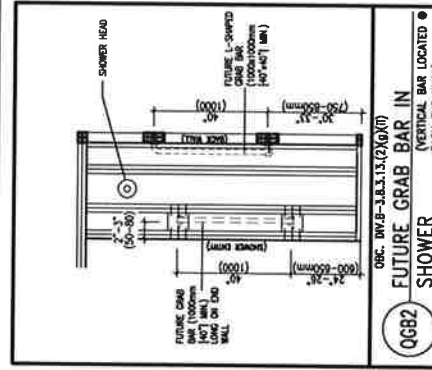
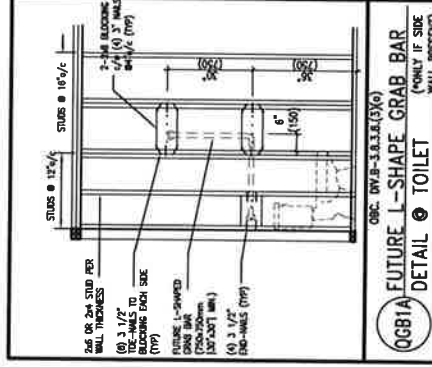
NOTES:

1. REINFORCING STEEL TO CONFORM TO CSA G30.18, GRADE 400.
2. GROUT TO HAVE A COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS WITH 10" SLUMP. MAXIMUM AGGREGATE SIZE = 3/8".
3. LAP VERTICAL BARS 30" AT ANY SPLICES.

Scale: AS NOTED	 QUAILE ENGINEERING LTD.		Engineer's Seal:  S.J. BOYD JUNE 22, 2018		Project: BAYVIEW WELLINGTON HOMES - ALCONA TOWNS INVERELL, ONTARIO
			38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.engineers.com		
Date: JUN-22-2018	Drawn: SC	Checked: SJB	Project No.: 18-104	Drawing No.: S2	TYPICAL STRUCTURAL DETAILS FOR SINGLES



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER IRC. DIV. B-9.5.2.3.
 FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 LB).
 REFER TO IRC. DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & J.B.3.8.(3)(c), SHOWER 3.8.3.13.(2)(g), & BATHTUB 3.8.3.13.(4)(a), AND DETAILS PROVIDED BELOW



MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

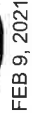
2"x8" @ 12" O.C. - 16'-0"
2"x8" @ 16" O.C. - 17'-9"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4)
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR O.S.B. SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
7. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.
- 8.

NOTES:

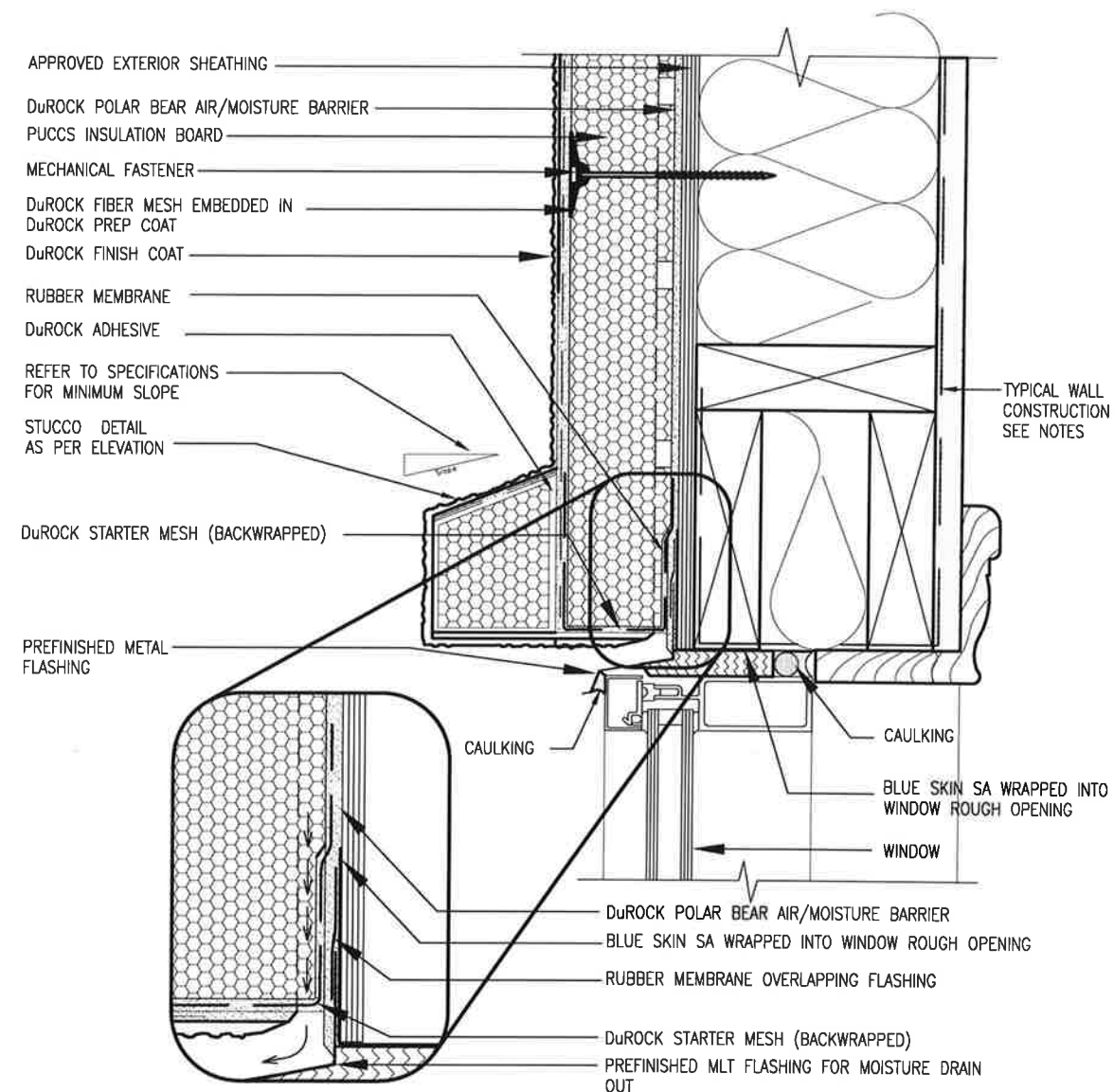
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR
JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
5. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.
- 6.



VAD3
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255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
vo3design.com

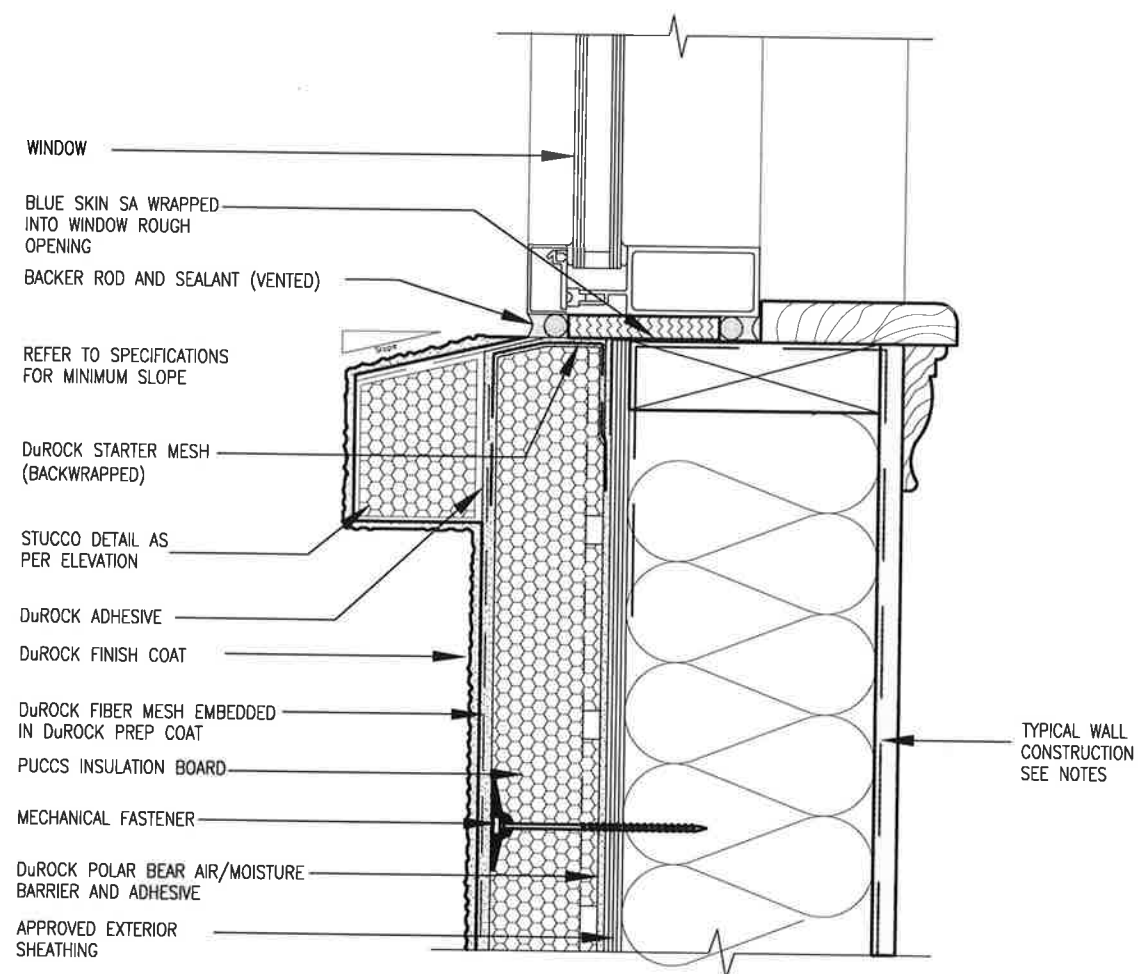
BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawn by	drawing no.
checked by	CN2
scale 3/16" = 1'-0"	CONSTRUCTION NOTES
PC 100%	file name 13049-CN-A1 VER 2020

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	qualification information
7	-	Wellington Jno-Baptiste 25591
6	-	name
5	-	registration information
4	-	VJ3 Design Inc. BCN
3	-	42658
2	UPDATE TO OBC VER 2020	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding.
1	ISSUE FOR CLIENT REVIEW	Drawings are not to be scaled.
date	by	
AUG 04-17	RC	
FEB 09-21	RC	

VA3 DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

project no. **13049**

drawing no. **CN3**

project name **BAYVIEW WELLINGTON**

municipality **INNSISTON.**

CONST NOTE **-**

date **MAY 2016**

checked by **RC**

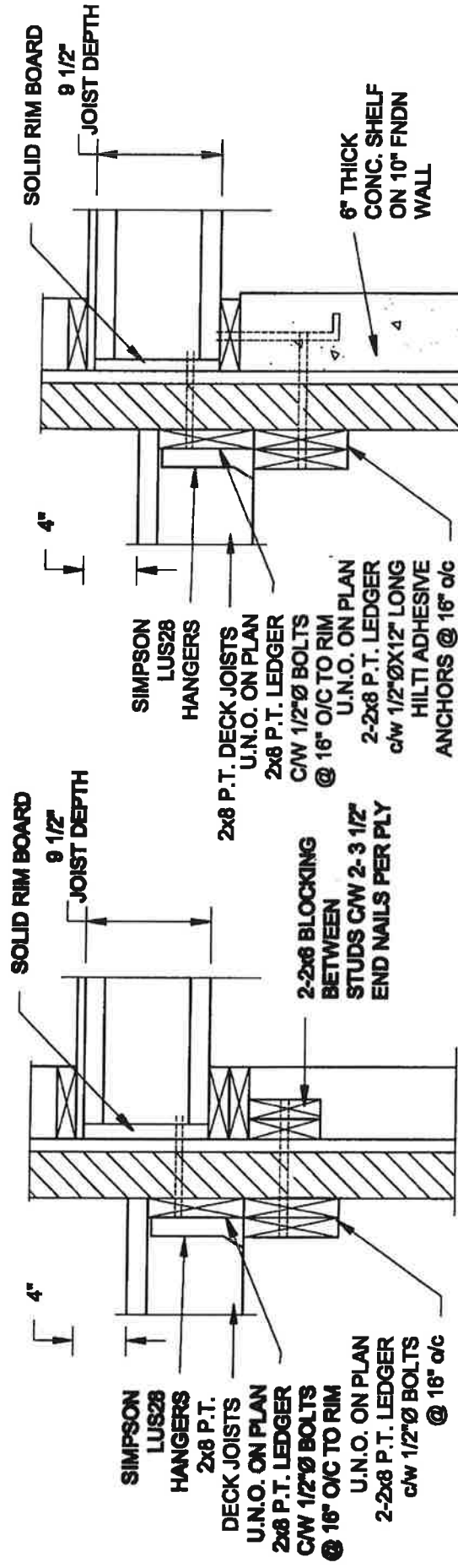
drawn by **RC**

scale **3/16" = 1'-0"**

CONSTRUCTION NOTES

file name **13049-CN-A1 VER 2020**

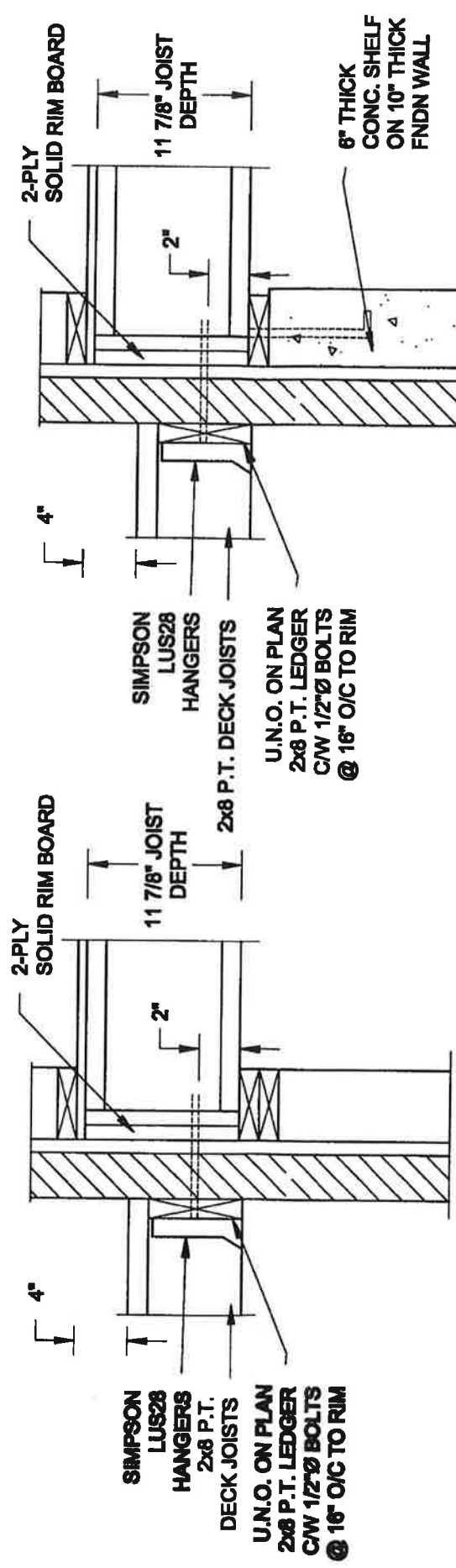
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

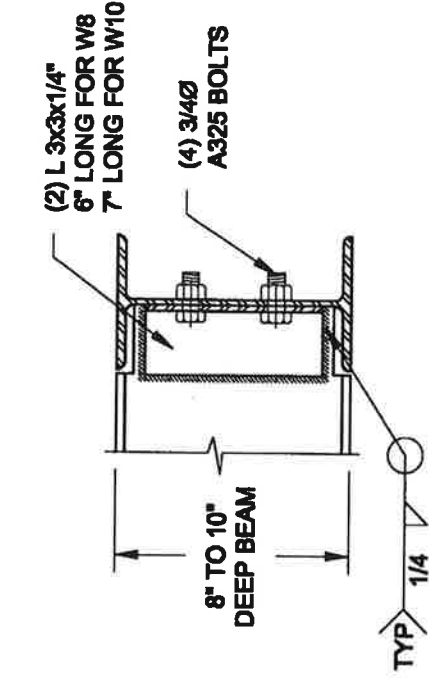
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



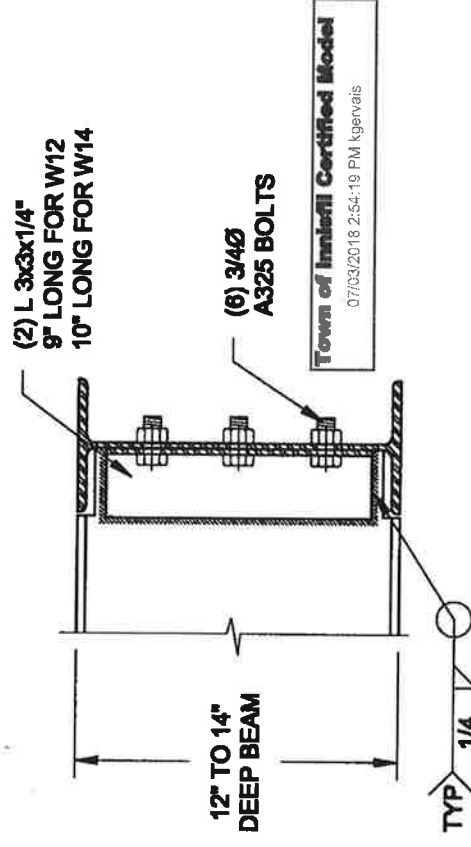
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



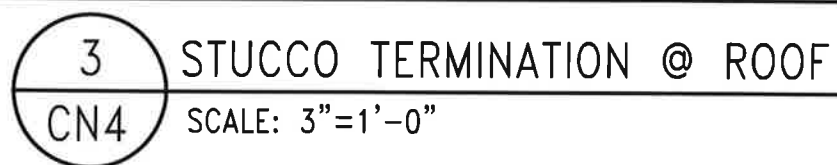
**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x266) BEAM MAX
AND W14x48 (W381x72) BEAM MAX.**

3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

Scale: AS NOTED	Date: JUL-01-2017	Drawn: SC		Checked: SJS
				
QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-863-0847 E: quaile.engineering@gmail.com				
Engineer's Seal  AUG 10, 2017				
Project: DAYVIEW WELLINGTON HOMES - ALCONA PROJECT NEWFEL, ONTARIO		Project No.: 16-083		
Project: TYPICAL STRUCTURAL DETAILS FOR SINGLETS		Drawing No.: 82		



2 1/2" THICK PUCCS INSULATION BOARD

DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT

DUROCK FINISH COAT

MECHANICAL FASTENER

DUROCK STARTER MESH (BACKWRAPPED)

FIBRE MESH TAPE AT JOINT

BACKER ROD AND SEALANT (VENTED)

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK "POLAR BEAR" AIR/MOISTURE BARRIER/ADHESIVE

PUCCS INSULATION BOARD

FIBRE MESH TAPE AT JOINT

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK POLAR BEAR AIR/MOISTURE BARRIER/ADHESIVE

APPROVED EXTERIOR SHEATHING

4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591
8	-	-	-	qualification information	BCIN
7	-	-	-	Wellington Jno-Baptiste	42658
6	-	-	-	signature	
5	-	-	-	name	
4	-	-	-	company information	
3	-	-	-	VAS Design Inc.	
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of VAS Design Inc. and must be returned at the completion of the work. Drawings are not to be used!	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		



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vodesignr.com

BAYVIEW WELLINGTON

CONST NOTE

project name
ALCONA

city
MAY 2016

drawn by
RC

project no.
13049

municipality
INNISFIL ON.

checked by
-

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

file name
13049-CN-A1

VER 2020

RICHARD - R:\ARCHIVE\WORKING\2013\13049 BAYVIEW\SWH_Notes\13049-CN-A1_VER_2020.dwg - Tue - Feb 9, 2021 - 11:17 AM

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6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

									The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
9	-								qualification information
8	-								
7	-								
6	-								
5	-								
4	-								
3	-								
2	UPDATE TO OBC NOV 2020	FEB 09-21 RC							Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC							
no.	description	date	by						

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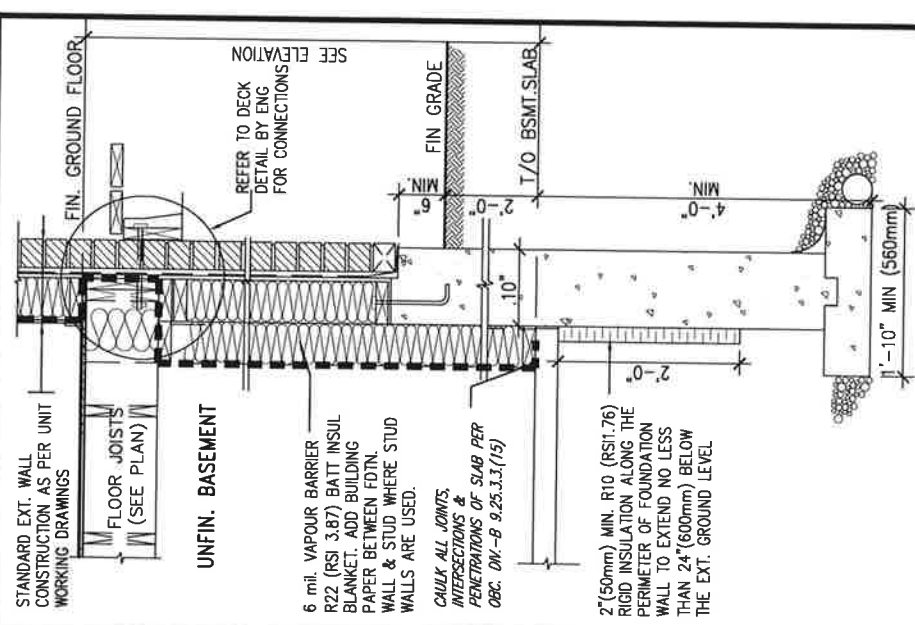
project name	ALCONA
date	MAY 2016
drawn by	RC
checked by	RICHARD - H

BAYVIEW WELLINGTON

CONST NOTE

[illegible]

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1

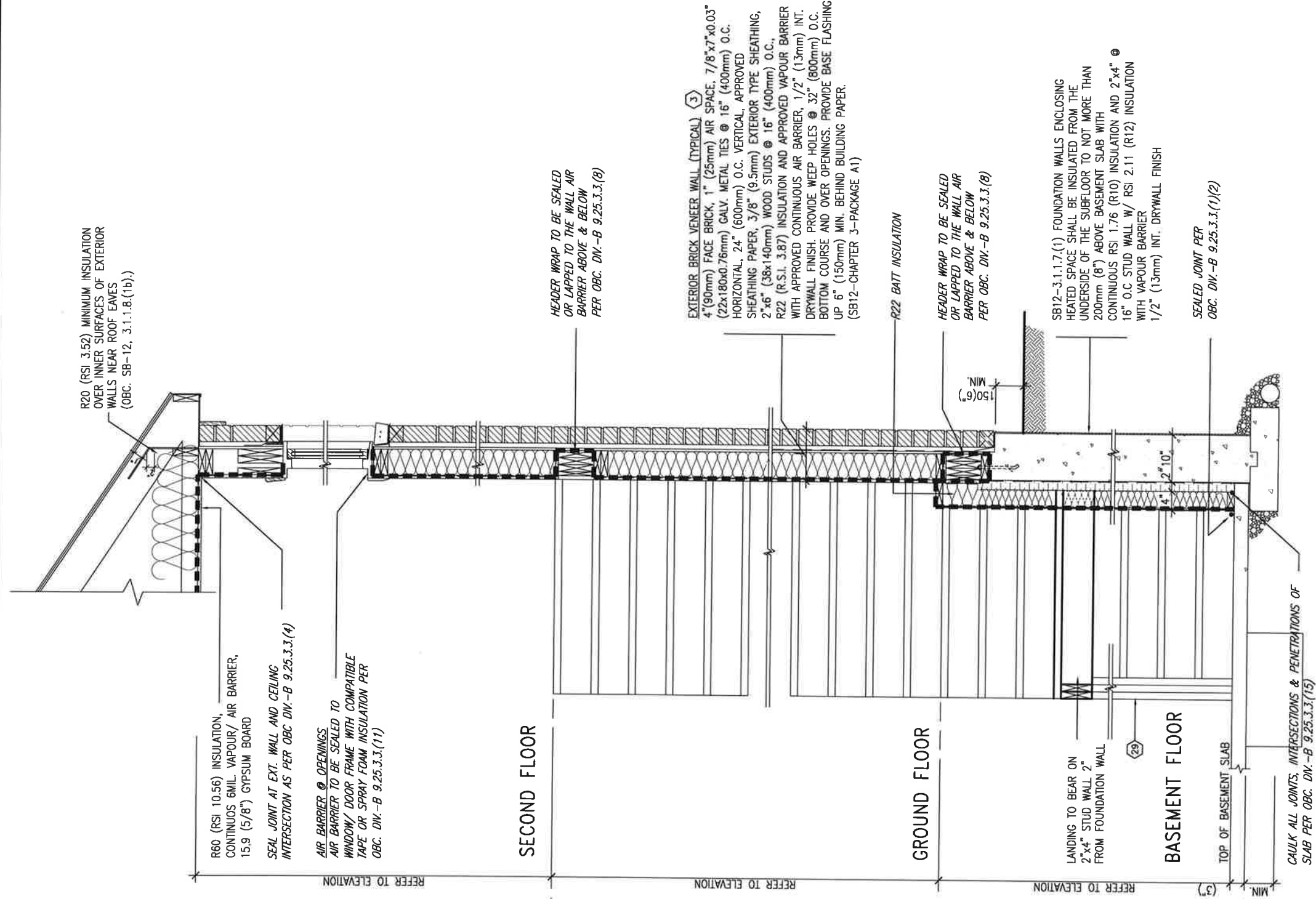


SECTION AT W.O.D/W.O.B.

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNSFILON
date MAY 2016	project no. 13049
drawing by RC	drawing no.
checked by -	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	
EG-5820 - H:\ARCHIVE\WORKING\2015\13049 BAYWELL\13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:51 AM	
CN6	

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

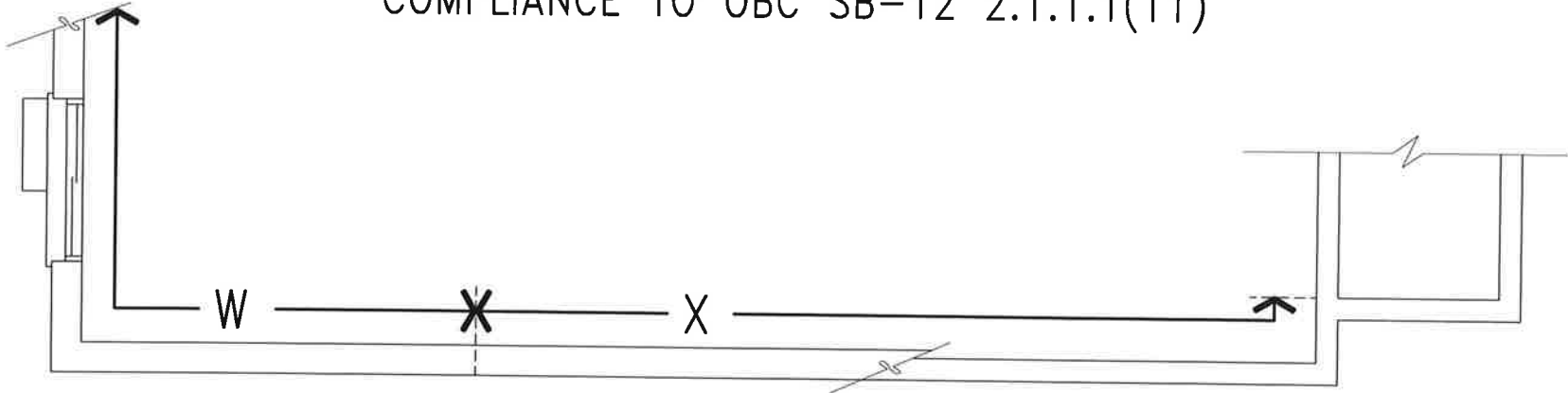
FEB 9, 2021

EW STR
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

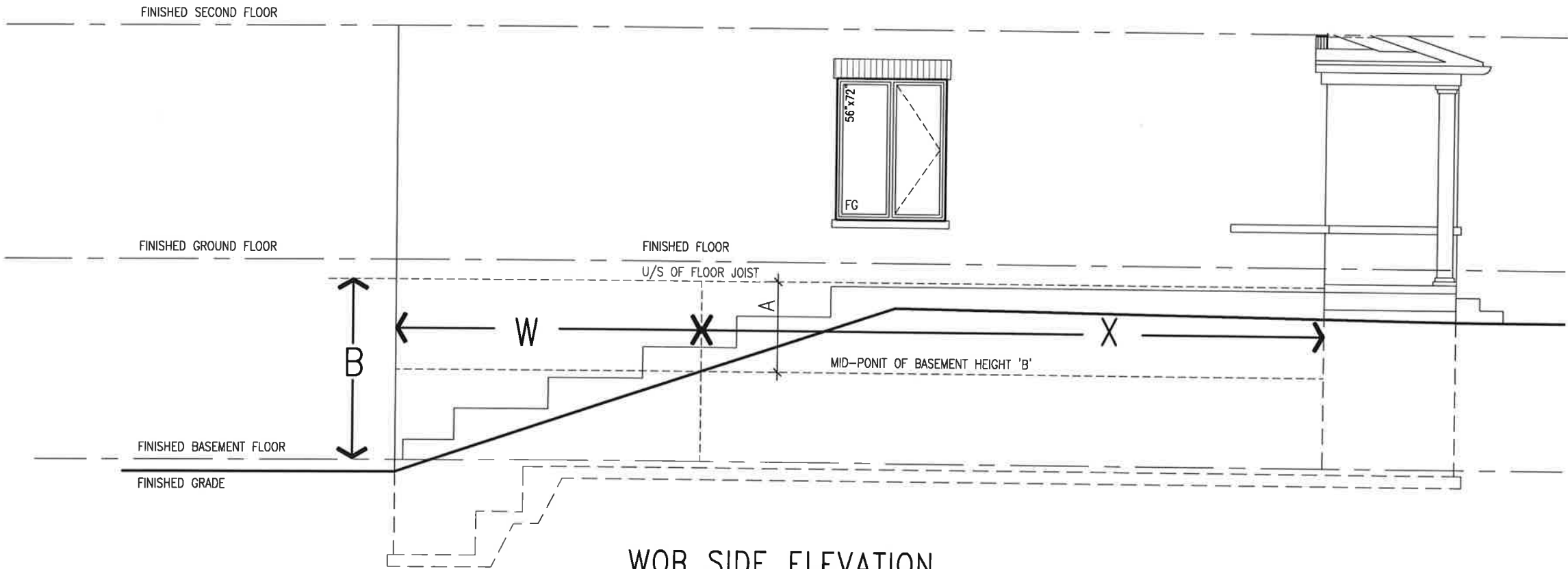


9				BAYVIEW WELLINGTON		CONST NOTE	
8				project name	ALCONA	project no.	13049
7				municipality	INNISFIL, ON.	drawing no.	CN7
6				date	MAY 2016	CONSTRUCTION NOTES	
5				drawn by	RC	13049-CN-A1	VER 2020
4				checked by		scale	3/16" = 1'-0"
3				date		file name	
2	UPDATE TO OBC VER 2020	FEB 09-21	RC	Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				
no. description							

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

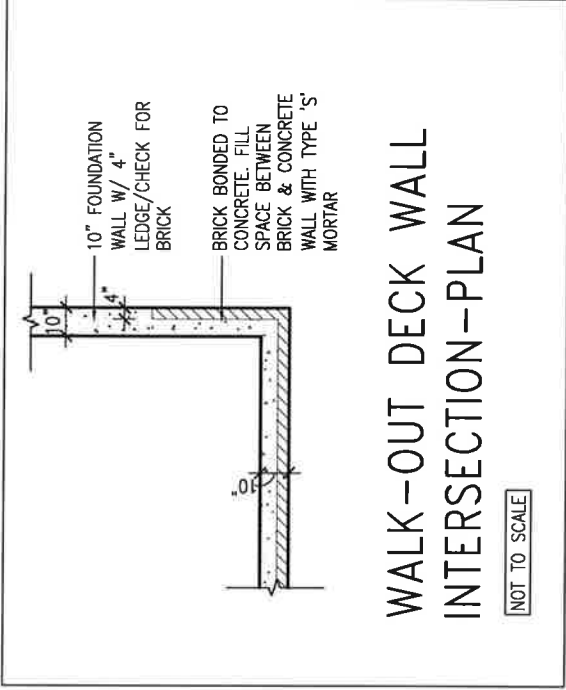
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptista 25591 BCN
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings, specifications and instruments of service and the property of the Designer shall be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2.	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

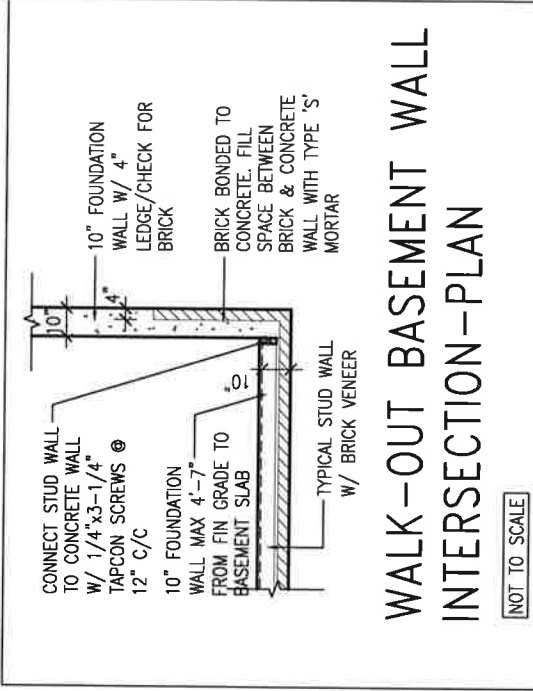
project name	municipality	project no.	drawing no.
ALCONA	INNISFIL, ON.	13049	CN8
date	checked by	scale	CONSTRUCTION NOTES
MAY 2016	RC	3/16" = 1'-0"	13049-CN-A1 VER 2020
drawn by	RC		file name
			13049-CN-A1 VER 2020
			13049-CN-A1 VER 2020



WALK-OUT DECK WALL INTERSECTION-ELEVATION

NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



FEB 9, 2021

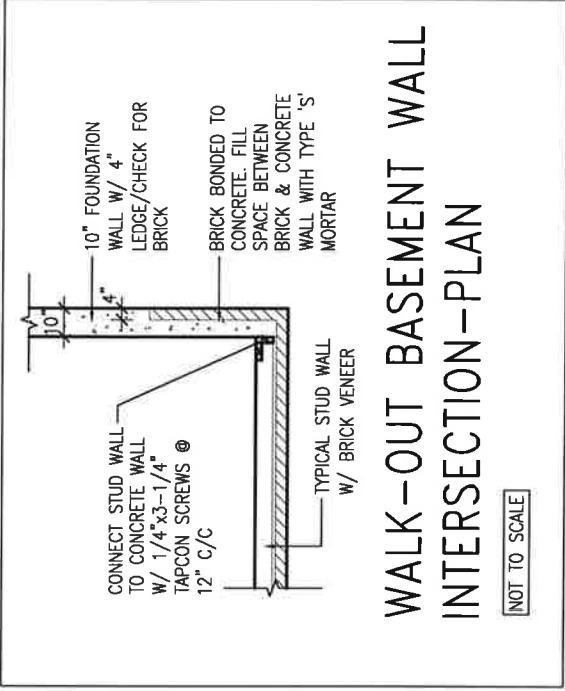
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2	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by

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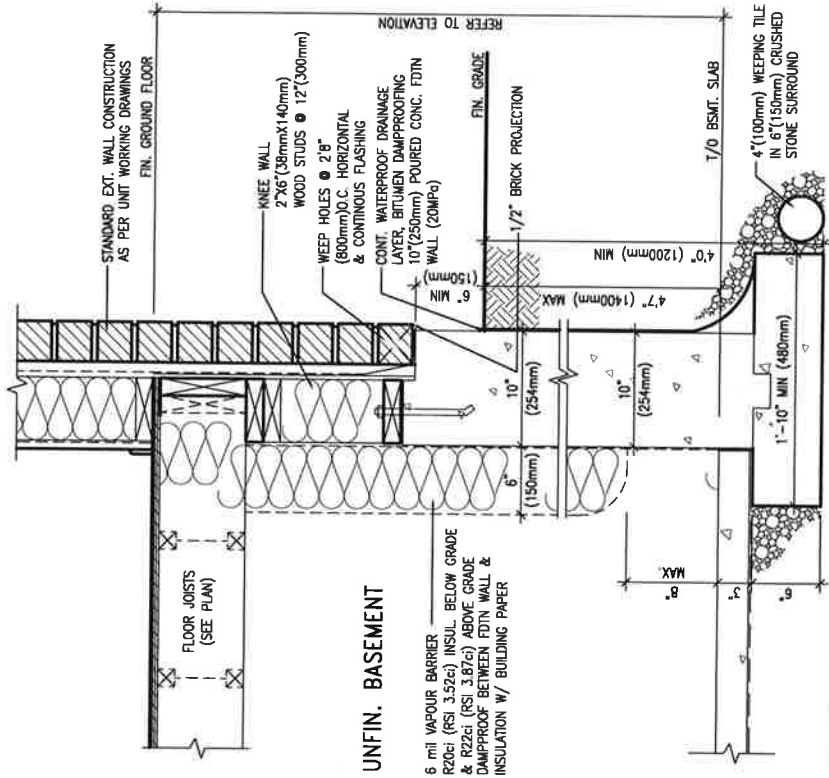
V3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL, ON.
date MAY 2016	project no. 13049
dwn by RC	drawing no.
CONSTRUCTION NOTES	
scale 3/16" = 1'-0"	file name 13049-CN-A1 VER. 2020
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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



FEB 9. 2021

9	*				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*				
7	*				qualification information
6	*				Wellington Jno-Baptiste
5	*				name
4	*				registration information
3	*				BCOA signature VA3 Design Inc.
2	UPDATE TO OBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner must be notified if they must be returned at the completion of the work. Designs are not to be used by anyone other than the Designer.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description		date	by	

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. CN11
date MAY 2016	checked by —	CONSTRUCTION NOTES	
drawn by RC	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020	

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