

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



Town of Innisfil Building Dept Notes:

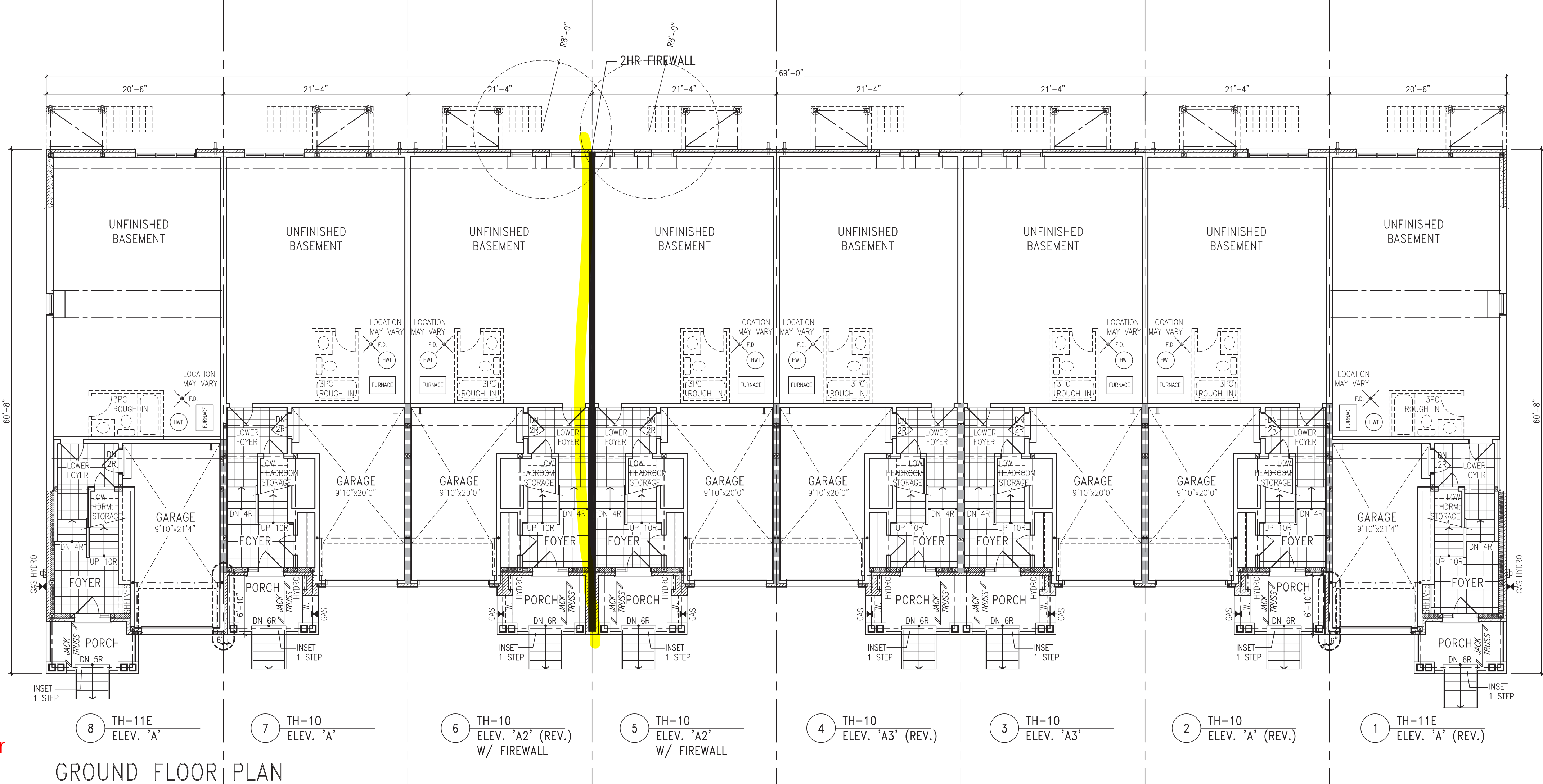
All smoke alarms and CO detectors shall comply with O.B.C 9.10.19 and 9.33.4

Main bathroom shall be designed as per 9.5.2

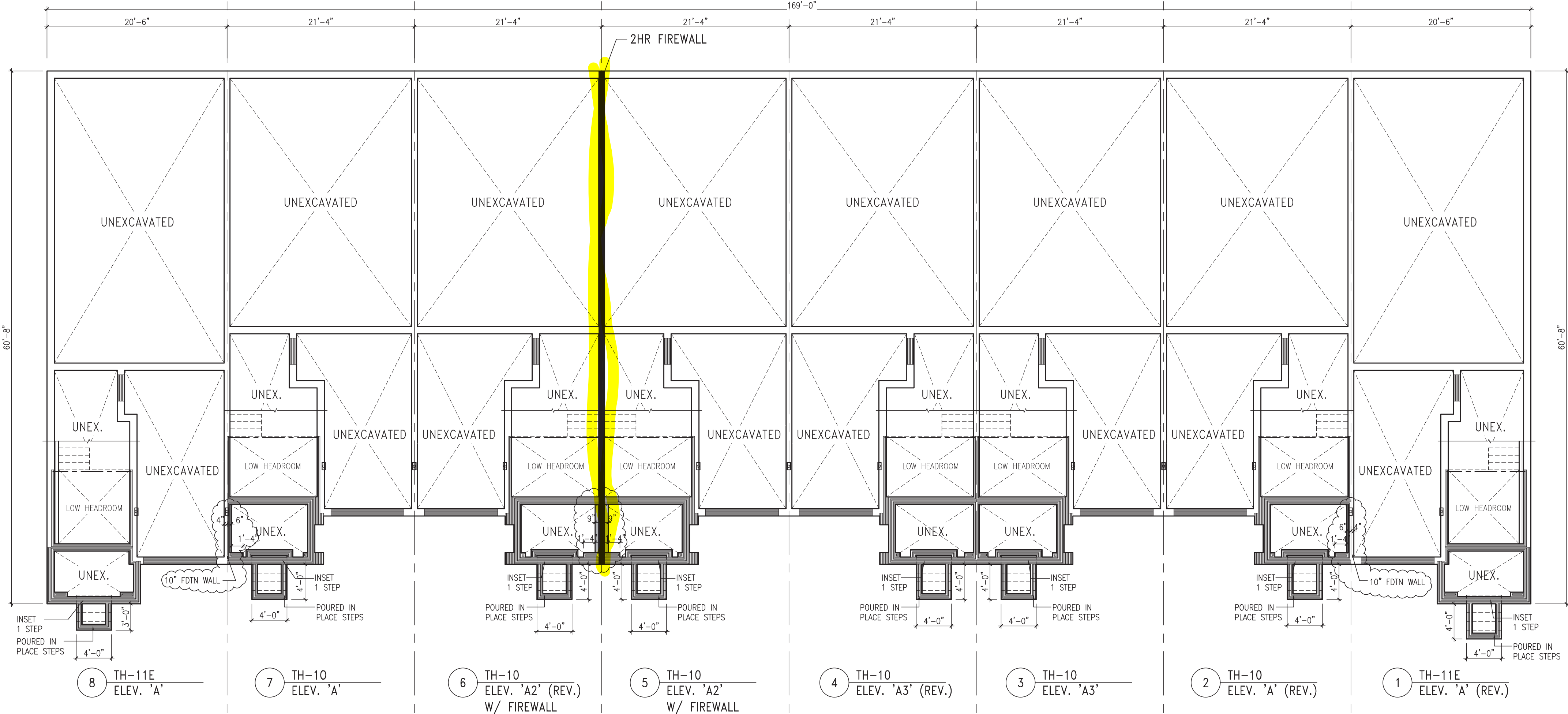
All construction subject to review by Town Building Inspectors

See comments on permit

Refer to approved
Engineering drawings for 2 hr
firewall details.



GROUND FLOOR PLAN



FOUNDATION FLOOR PLAN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (footing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
NO. 0000000000

APPROVED BY: [Signature]
DATE: OCT 22, 2020

The stamp confirms compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BUILDING AREA
8650 S.F. (803.61 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:**
- 1) **MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) **WINDOW GUARDS - OBC 9.7.1.6. & 9.8.6.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) **EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

- REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING**
- GROUND FLOOR ROOF
STRUCTURE
 - BASEMENT AND GROUND
FLOOR LINTELS
 - GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
 - DOUBLE VOLUME WALL
LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10			
9			
8			
7			
6			
5			
4			
3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18 RC	
2	REVISED RS FOR ROOF TRUSS COMMENTS	MAY 15/18 WF	
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18 RC	
0	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

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The architect has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a design professional.

Wellington Jan-Baptiste
V3 Design Inc.
42558

BAYVIEW WELLINGTON

PROJECT NAME
ALCONA SHORES

PROJECT NO.
13049

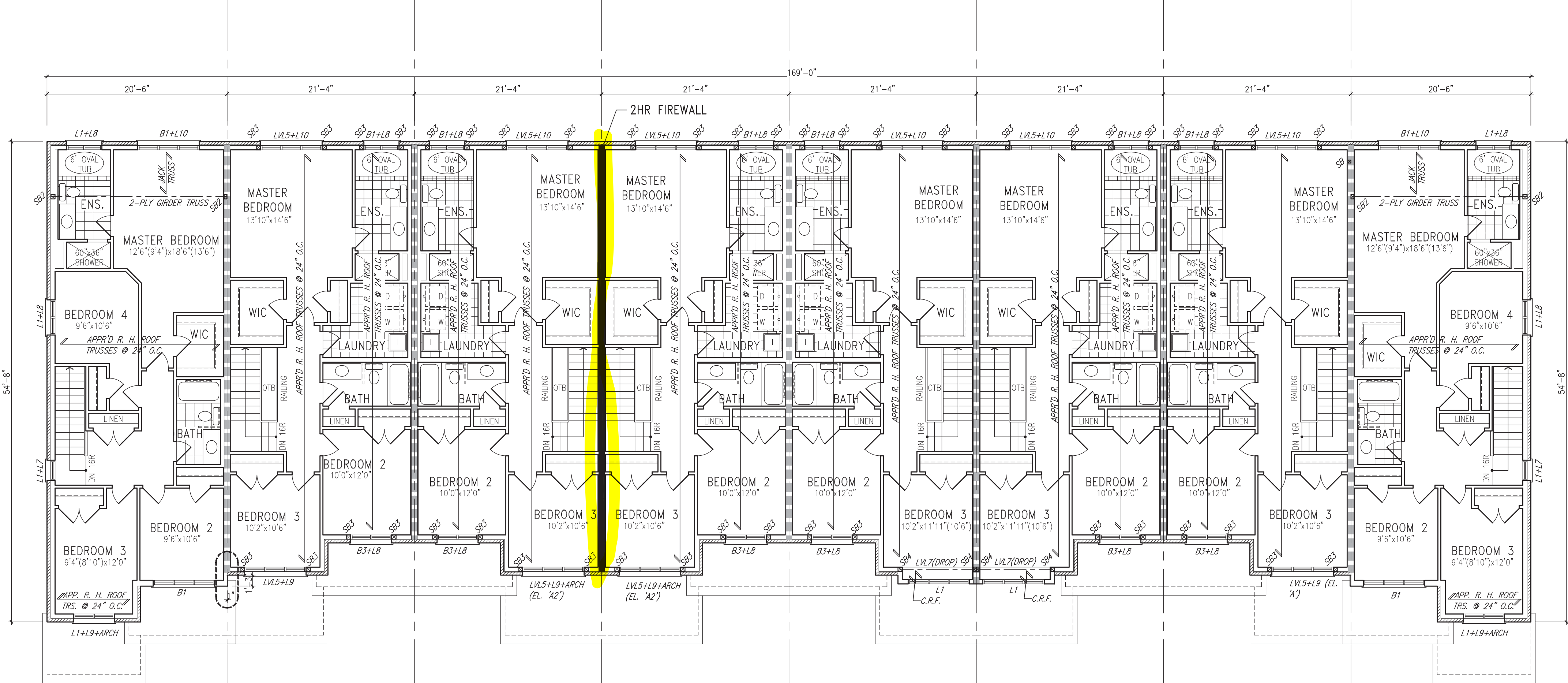
DATE
FEBRUARY 2018

drawn by
B143.1

BLOCK 143

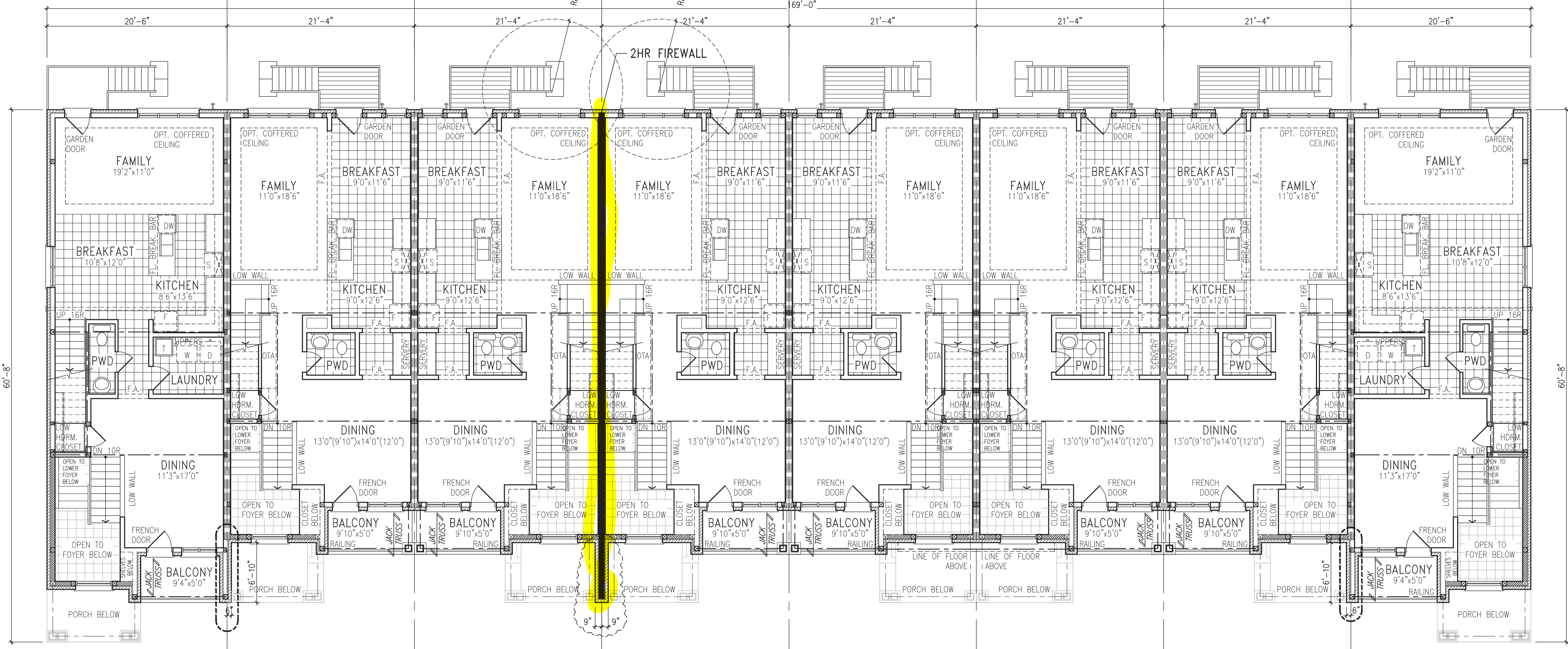
REFER TO INDIVIDUAL
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NOTE:
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CONDITION THAT DIFFERS FROM
STANDARD UNIT



8 TH-11E ELEV. 'A'
7 TH-10 ELEV. 'A'
6 TH-10 ELEV. 'A2' (REV.) W/ FIREWALL
5 TH-10 ELEV. 'A2' W/ FIREWALL
4 TH-10 ELEV. 'A3' (REV.)
3 TH-10 ELEV. 'A3'
2 TH-10 ELEV. 'A' (REV.)
1 TH-11E ELEV. 'A' (REV.)

UPPER FLOOR PLAN



8 TH-11E ELEV. 'A'
7 TH-10 ELEV. 'A'
6 TH-10 ELEV. 'A2' (REV.) W/ FIREWALL
5 TH-10 ELEV. 'A2' W/ FIREWALL
4 TH-10 ELEV. 'A3' (REV.)
3 TH-10 ELEV. 'A3'
2 TH-10 ELEV. 'A' (REV.)
1 TH-11E ELEV. 'A' (REV.)

MAIN FLOOR PLAN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for the design or construction of the building or for any errors or omissions in the drawings or for any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED: [Signature]
DATE: OCT 12, 2021

The stamp certifies compliance with the applicable Design Guidelines only and does not constitute a professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
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B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3. - AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8. A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
 - 3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

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WHEN VENEER CUT IS GREATER
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FOLLOWING
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10					
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3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18 RC			
2	REVISED RS FOR ROOF TRUSS COMMENTS	MAY 15/18 WF			
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18 RC			
0	description	date	by		

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V3 DESIGN

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

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The architect has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a design professional.

Wellington Jan-Baptiste
425891

BAYVIEW WELLINGTON

PROJECT NAME: ALCONA SHORES
PROJECT NO: 13049
SUBJECT: INNISFIL
JOB NO: BLOCK 143
DATE: FEBRUARY 2018
DRAWN BY: [Signature]
CHECKED BY: [Signature]

1/8" = 1'-0"
13049-BLOCK143

NOTE:
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CONDITION THAT DIFFERS FROM
STANDARD UNIT



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 17, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS			
L1	2/38 x 184	(2/2" x 8")	SPR.#2
B1	3/38 x 184	(2/2" x 8")	SPR.#2
B2	4/38 x 184	(4/2" x 8")	SPR.#2
B7	5/38 x 184	(5/2" x 8")	SPR.#2
L3	2/38 x 235	(2/2" x 10")	SPR.#2
B3	3/38 x 235	(3/2" x 10")	SPR.#2
B4	4/38 x 235	(4/2" x 10")	SPR.#2
L5	2/38 x 286	(2/2" x 12")	SPR.#2
B5	3/38 x 286	(3/2" x 12")	SPR.#2
B6	4/38 x 286	(4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

L7	90	x	90	x	6.0L	(3-1/2" x 3-1/2" x 1/4"L)
L8	90	x	90	x	8.0L	(3-1/2" x 3-1/2" x 5/16"L)
L9	100	x	90	x	8.0L	(4" x 3-1/2" x 5/16"L)
L10	125	x	90	x	8.0L	(5" x 3-1/2" x 5/16"L)
L11	125	x	90	x	10.0L	(5" x 3-1/2" x 3/8"L)
L12	150	x	100	x	10.0L	(6" x 4" x 3/8"L)
L13	180	x	100	x	10.0L	(7" x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS			
LVL1A	—	1-1	3/4"x7 1/4" (1-45x184)
LVL1	—	2-1	3/4"x7 1/4" (2-45x184)
LVL2	—	3-1	3/4"x7 1/4" (3-45x184)
LVL3	—	4-1	3/4"x7 1/4" (4-45x184)

LVL4A	—	1-1	3/4"x9	1/2"	(1-45x240)
LVL4	—	2-1	3/4"x9	1/2"	(2-45x240)
LVL5	—	3-1	3/4"x9	1/2"	(3-45x240)
LVL5A	—	4-1	3/4"x9	1/2"	(4-45x240)
LVL6A	—	1-1	3/4"x11	7/8"	(1-45x300)
LVL6	—	2-1	3/4"x11	7/8"	(2-45x300)
LVL7	—	3-1	3/4"x11	7/8"	(3-45x300)
LVL8	—	4-1	3/4"x11	7/8"	(4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - OBC, 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - OBC, 9.7.1.6, & 9.8.8.
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3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

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- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10			
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3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18	RC
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 15/18	WT
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18	RC
no.	description	date	by

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VA3
DESIGN

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va3design.com

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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *Jno Baptiste* 25591
name
registration information
VAS Design Inc. 42658

BAYVIEW WELLINGTON

project name
ALCONA SHORES

municipality	project no.
INNISFIL	13049
unit name	unit no.
	BLOCK 143

BLOCK ELEVATIONS & ROOF PLAN

date	scale	drawing no.
FEBRUARY 2018	1/8" = 1'-0"	B143.3
drawn by	checked by	
--	--	
13049-BLOCKS		

This architectural elevation drawing shows a row of townhouses with a central 2HR FIREWALL highlighted in yellow. The drawing includes various dimensions and annotations:

- Roof Pitch:** 10:12
- Roof Height:** 35'-7" [10.24M]
- Second Floor Height:** 32'-5 1/2" [9.89M]
- Third Floor Height:** 39'-5 1/2" [9.89M]
- Window and Door Dimensions:** 4'-12", 5'-12", 3'-0" MIN.
- Annotations:** INSET 1 STEP, 2HR FIREWALL, 18" BRICK OVERLAP.

FRONT ELEVATION

BLOCK 143

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
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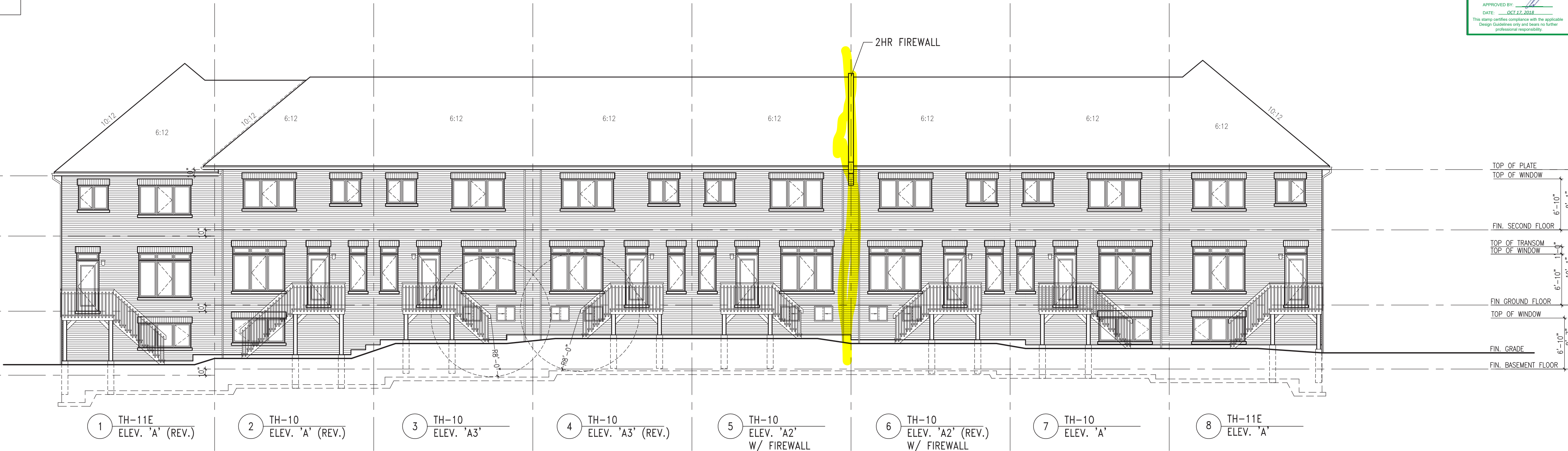
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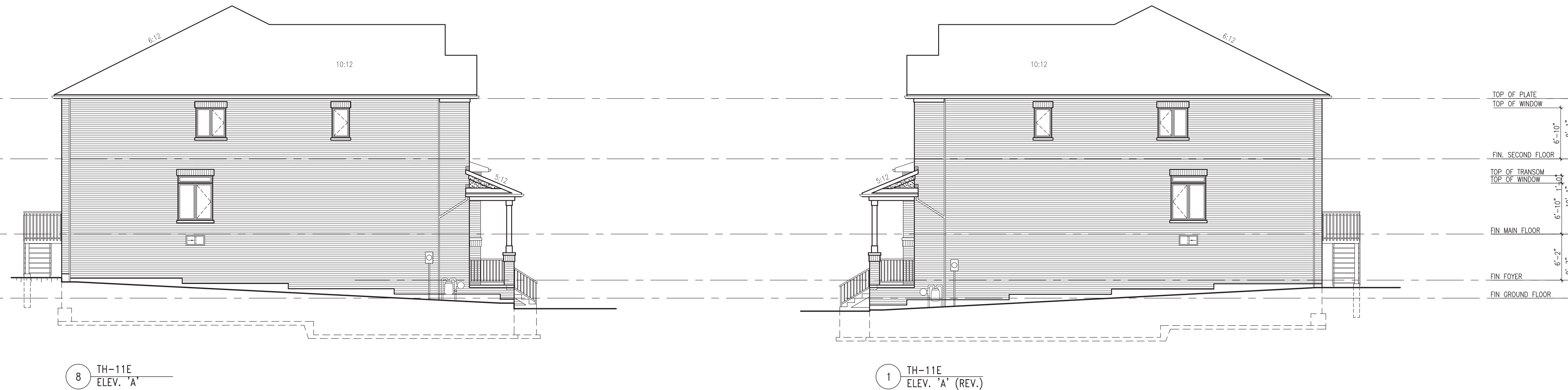
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: OCT 22, 2018

The stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REAR ELEVATION



LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

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LOOSE STEEL LINTELS

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L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
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L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
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LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
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WHEN VENEER CUT IS GREATER
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 - BASEMENT AND GROUND FLOOR LINTELS
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ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10			
9			
8			
7			
6			
5			
4			
3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18 RC	
2	REVISED AS PER ROOF TRUSS COMMENTS	MAY 15/18 WF	
1	ISSUED FOR TRUSS LAYOUT	MAY 28-18 RC	
no description		date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the design. Building Code is to be a design.

Specification Information

Wellington, Jan-Baptiste [Signature] 25591

name: [Signature] 42658

registration information: VAS Design Inc.

BAYVIEW WELLINGTON

project name: **ALCONA SHORES**

location: **INNISFIL**

job name: **BLOCK 143**

drawn by: **FEBRUARY 2018**

checked by: **1/8" = 1'-0"**

scale: **BLOCK ELEVATIONS**

sheet no: **8143.4**

project no: **13049**

sheet no: **13049-BLOCK1**

BLOCK 143