

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

See approved engineering
plans for 2hr firewall.

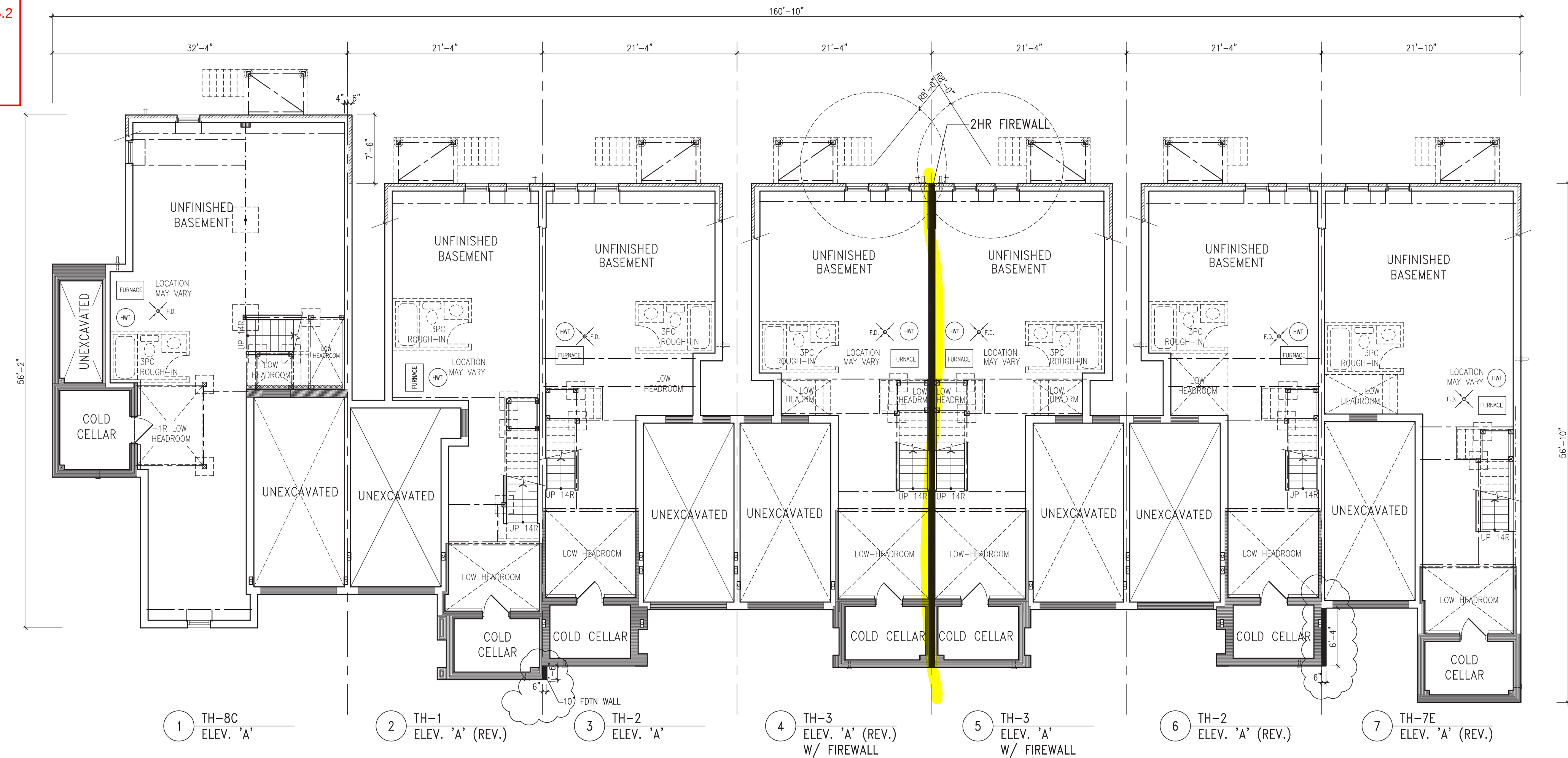
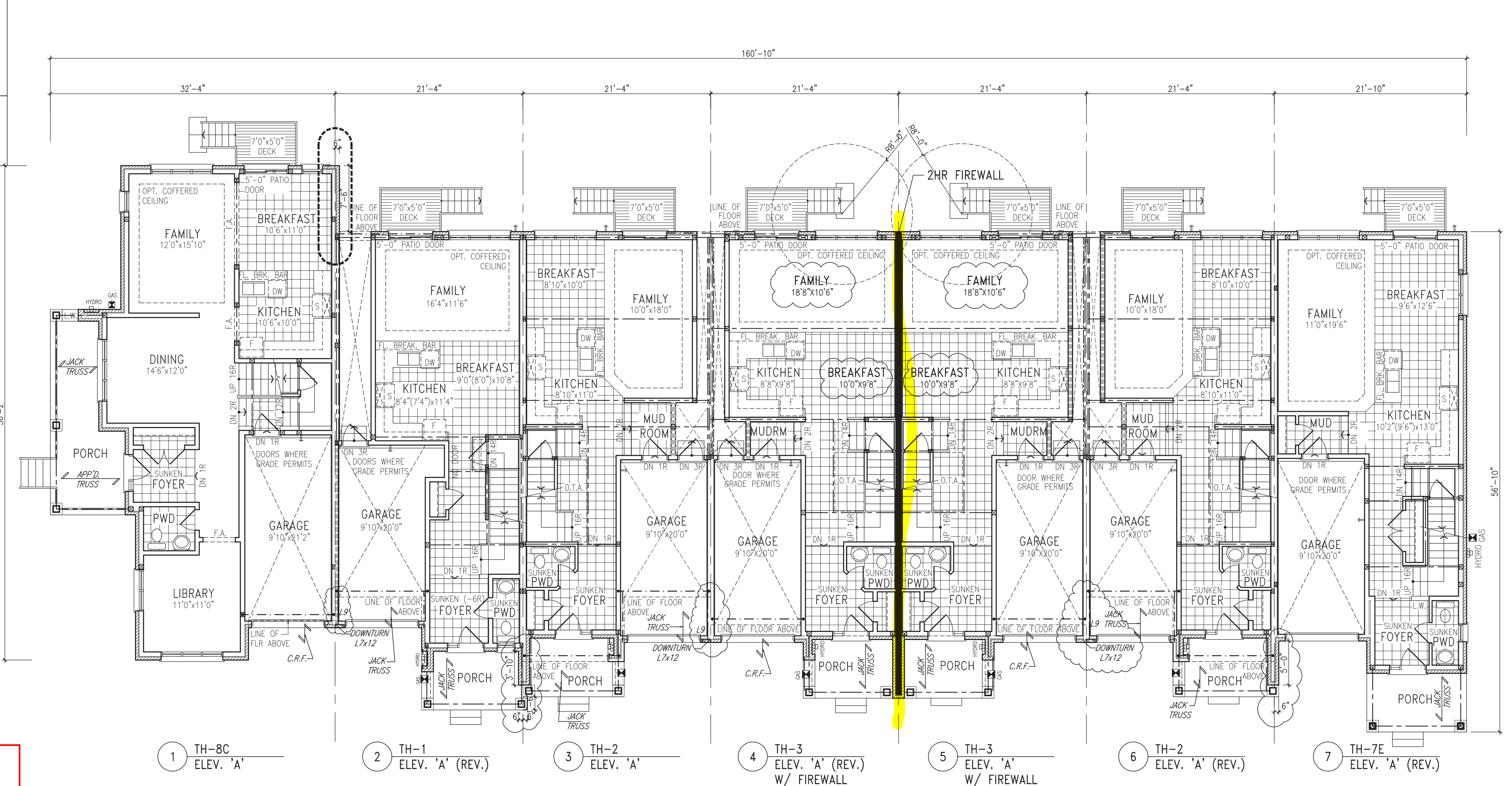
Town of Innisfil Building Dept Notes:

All smoke alarms and CO detectors shall
comply with O.B.C 9.10.19 and 9.33.4

Main bathroom shall be designed as per 9.5.2

All construction subject to review by Town
Building Inspectors

See comments on permit



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for the examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 25, 2018

The stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



BUILDING AREA
7958 S.F. (739.32 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS		
L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS		
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")	
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")	
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")	
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")	
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")	
L12	150 x 100 x 10.0L (6" x 4" x 3/8")	
L13	180 x 100 x 10.0L (7" x 4" x 3/8")	

LAMINATED VENEER LUMBER (LVL) BEAMS		
LVL1A	1-1 3/4"x7 1/4" (1-45x184)	
LVL1	2-1 3/4"x7 1/4" (2-45x184)	
LVL2	3-1 3/4"x7 1/4" (3-45x184)	
LVL3	4-1 3/4"x7 1/4" (4-45x184)	
LVL4A	1-1 3/4"x9 1/2" (1-45x240)	
LVL4	2-1 3/4"x9 1/2" (2-45x240)	
LVL5	3-1 3/4"x9 1/2" (3-45x240)	
LVL5A	4-1 3/4"x9 1/2" (4-45x240)	
LVL6A	1-1 3/4"x11 7/8" (1-45x300)	
LVL6	2-1 3/4"x11 7/8" (2-45x300)	
LVL7	3-1 3/4"x11 7/8" (3-45x300)	
LVL8	4-1 3/4"x11 7/8" (4-45x300)	

WINDOWS:

1) **MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) **WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

3) **EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR TRUSS LAYOUT	MAR 28-18 RC	
2	REVISED AS PER ROOF TRUSS COMMENTS	MAY 15-18 WT	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
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The copyright has been reserved and taken responsibility for the design and for the specifications and notes the requirements set out in the qualification statement.

Wellington, Jan-Baptiste [Signature] 25591
V3 Design Inc. 42588

BAYVIEW WELLINGTON

PROJECT NAME: **ALCONA SHORES**
PROJECT NO: **13049**

SUBJECT: **INNISFIL**
JOB NAME: **BLOCK 140**

DATE: **FEBRUARY 2018**
DRAWN BY: **1/8" = 1'-0"**
CHECKED BY: **13049-BLOCK**

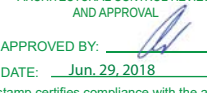
BLOCK 140

BLOCK 140
BLOCK PLANS
8140.1

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JUN 29, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



BUILDING AREA
7958 S.F. (739.32 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	2/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
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B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
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LOOSE STEEL LINTELS

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LVL1	2-1 3/4"x7 1/4" (2-45x184)
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LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
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WINDOWS:

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A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8

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NOTE:

ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10					
9					
8					
7					
6					
5					
4					
3					
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 15/18	WT		
1	ISSUED FOR TRUSS LAYOUT	MAR 28-18	RC		
0	description	date	by		

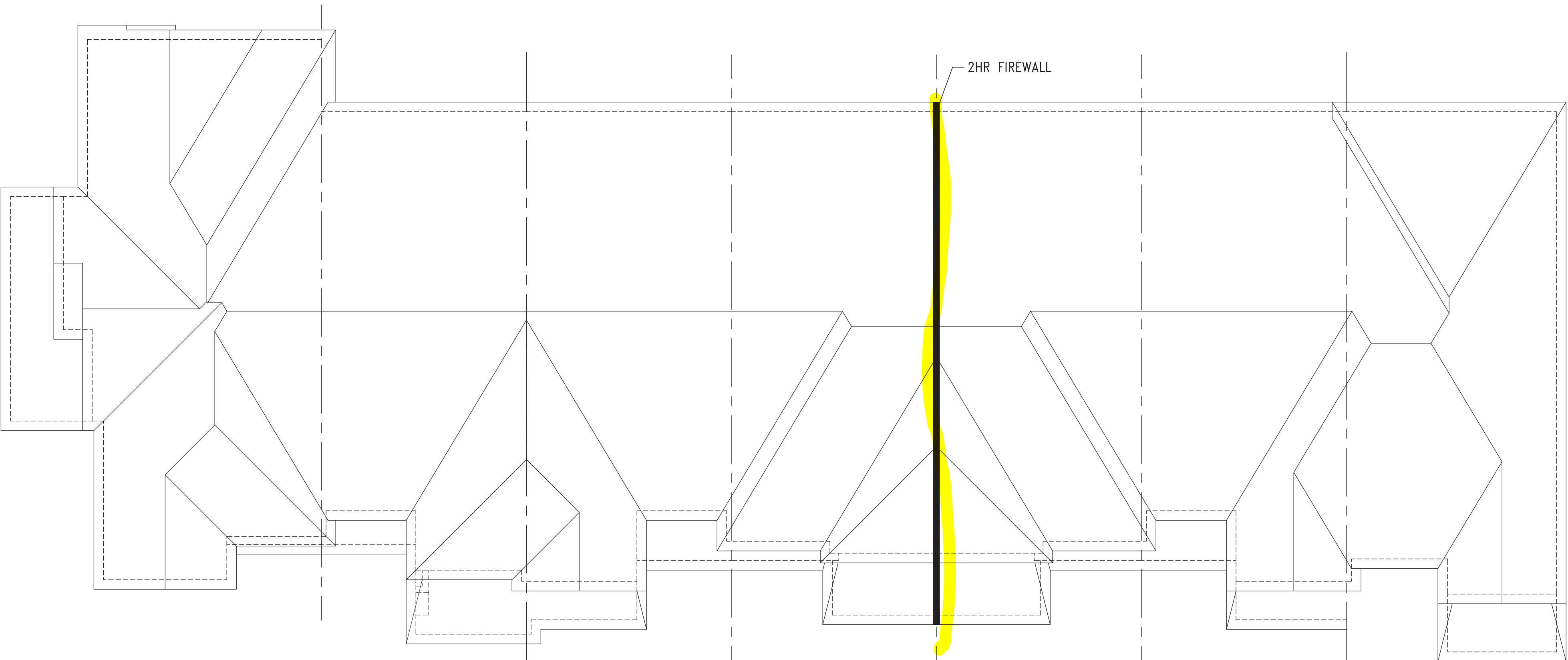
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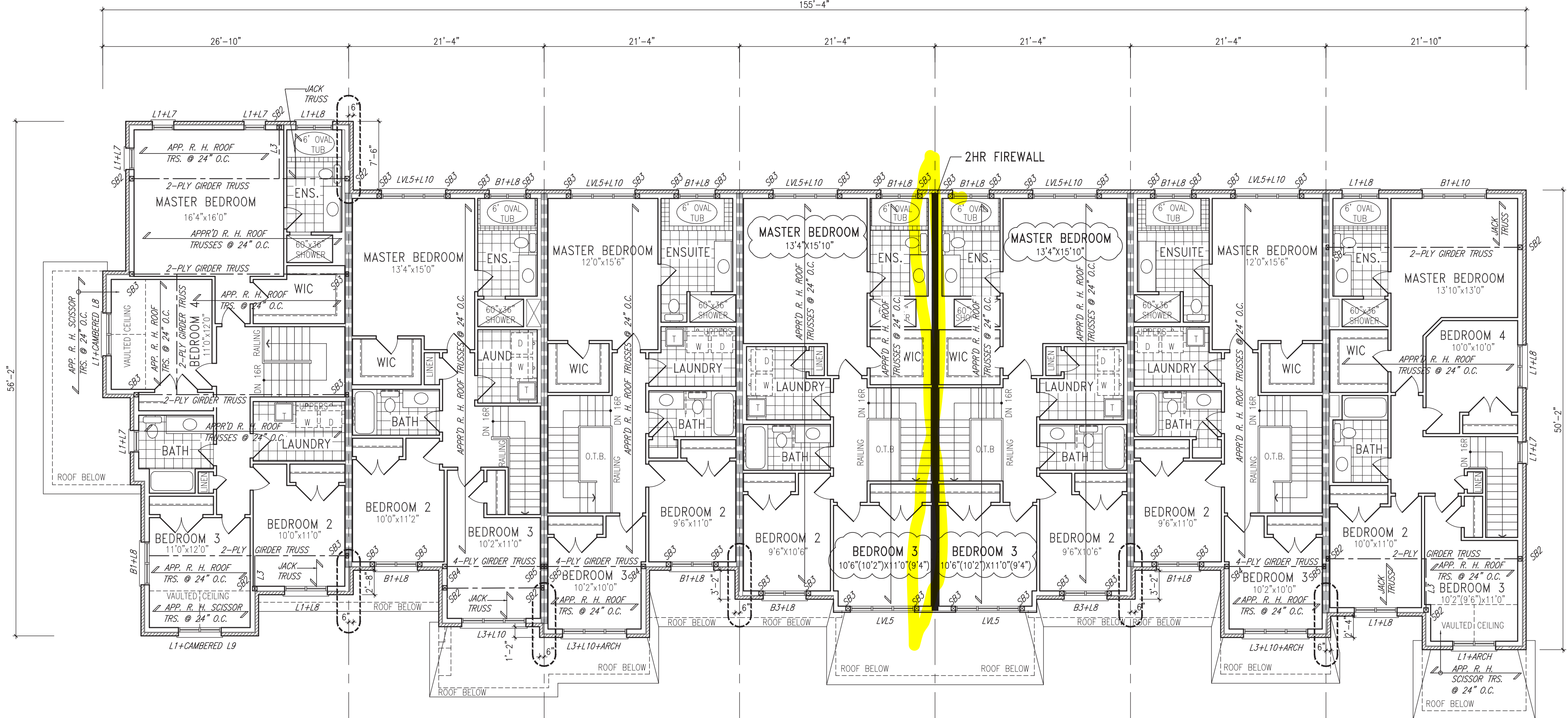
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V3 Design Inc. 42588

BAYVIEW WELLINGTON

PROJECT NAME	ALCONA SHORES	PROJECT NO.	13049
CLIENT	INNISFIL	DATE	FEBRUARY 2018
DESIGNER	INNISFIL	1/8" = 1'-0"	8140.2
DATE	FEBRUARY 2018	checked by	
drawn by		scale	13049-BLOCK



ROOF PLAN

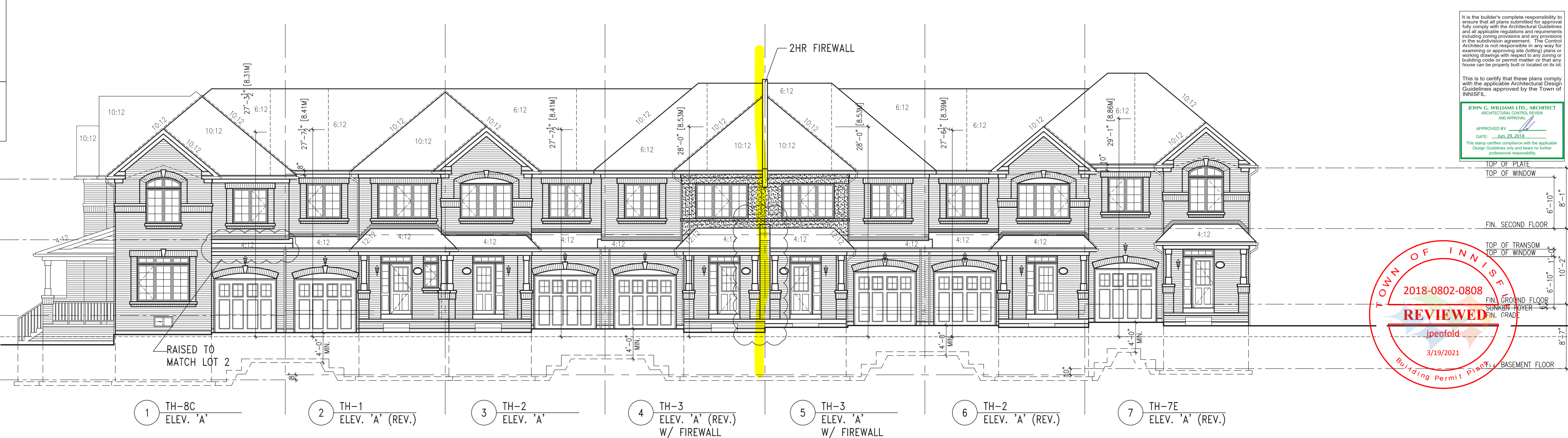


SECOND FLOOR PLAN

BLOCK 140

REFER TO INDIVIDUAL
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FOOTING SIZES

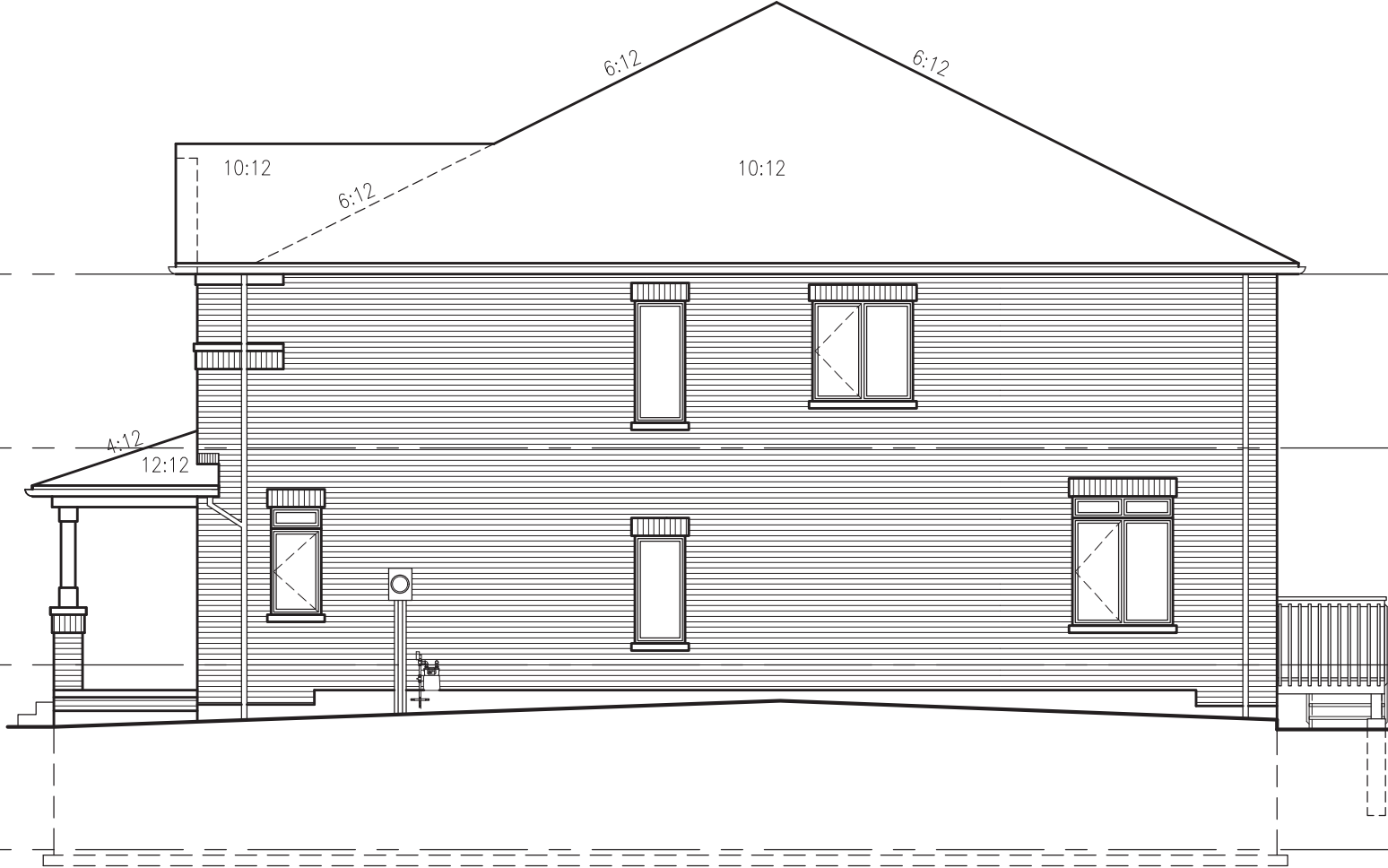
NOTE:
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FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

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APPROVED BY: JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
NO APPROVAL
DATE: JUN 22 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

TOWN OF INNISFIL
2018-0802-0808
REVIEWED
J. Penfold
3/19/2021
Building Permit Plans

BUILDING AREA
7958 S.F. (739.32 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

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NOTE:
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SECOND FLOOR LINTELS
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2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 15/18	WT	
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18	RC	
0	description	date	by	

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f 416.630.4782
vasdesign.com

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The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Licensed Professional Engineer.

Wellington Jan-Baptiste
Professional Engineer
VAS Design Inc.
25591
42658

BAYVIEW WELLINGTON

PROJECT NAME: ALCONA SHORES
PROJECT NO: 13049
INNSIFIL
JOB NAME

BLOCK 140

BLOCK ELEVATIONS
DATE: FEBRUARY 2018
DRAWN BY: 1/8" = 1'-0"
CHECKED BY: 1/8" = 1'-0"
13049-BLOCK1

BLOCK 140