

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



See approved
Engineered drawing for
2hr firewall.

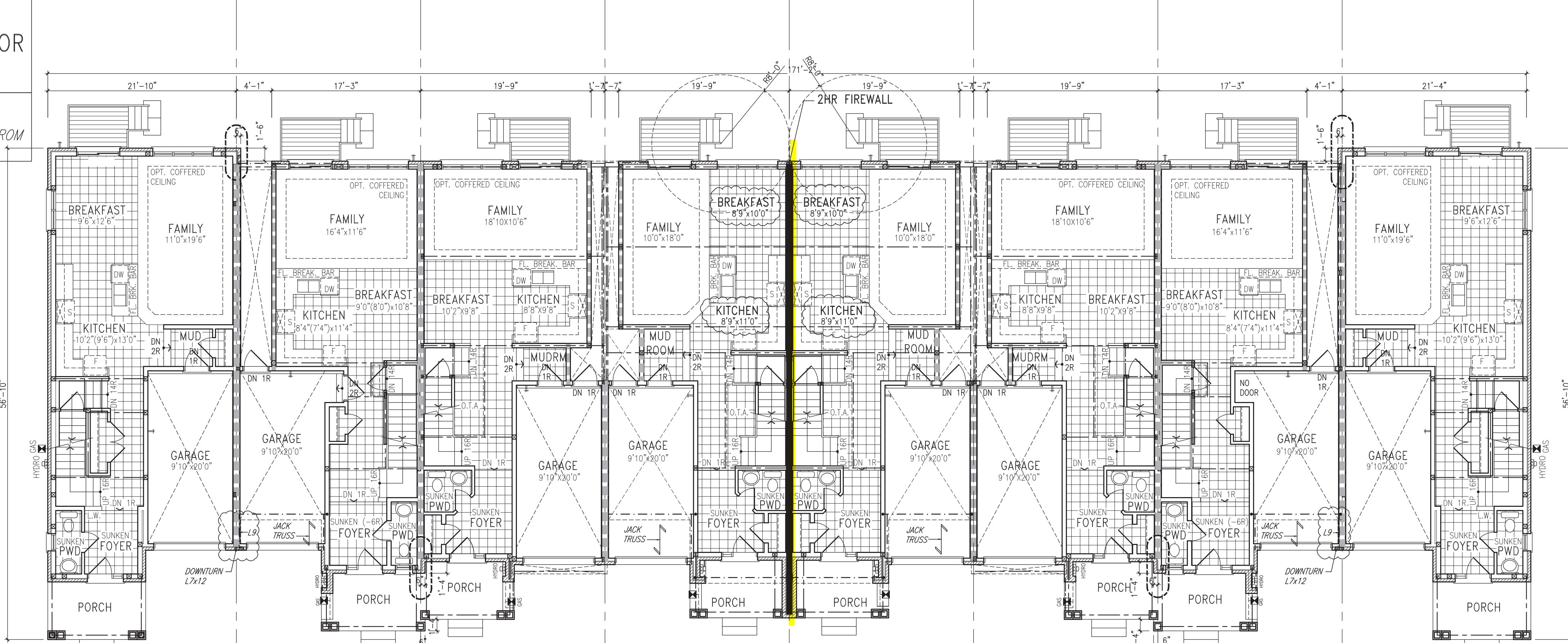
Town of Innisfil Building Dept Notes:

All smoke alarms and CO detectors shall
comply with O.B.C 9.10.19 and 9.33.4

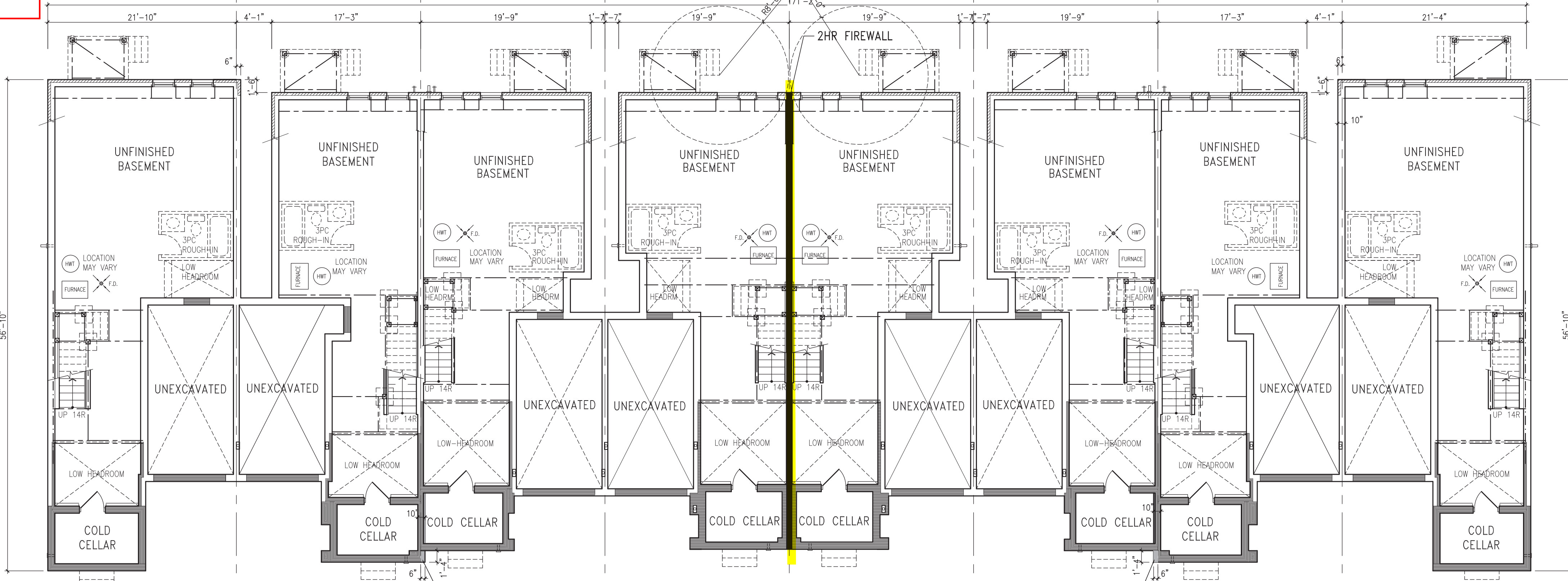
Main bathroom shall be designed as per 9.5.2

All construction subject to review by Town
Building Inspectors

See comments on permit



GROUND FLOOR PLAN



BASEMENT FLOOR PLAN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council is not responsible in any way for the design, construction or performance of any building or structure built in accordance with these plans. The Council is not responsible for any damage or loss of any kind resulting from the use of these plans. The Council is not responsible for any damage or loss of any kind resulting from the use of these plans.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a building code or permit number or that any house can be properly built or located on its lot.

BUILDING AREA
8687 S.F. (807.05 m²)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	2/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
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LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
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LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
 - 3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10			
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 15/18 WT	
1	ISSUED FOR TRUSS LAYOUT	MAR 28-18 RC	
0	description	date	by

V3 DESIGN

255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vo3design.com

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The architect has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a design professional.

Wellington Jan-Baptiste
42591

BAYVIEW WELLINGTON

PROJECT NAME: ALCONA SHORES
PROJECT NO: 13049
SUBJECT: INNISFIL
JOB NO: BLOCK 139
BLOCK PLANS
DATE: FEBRUARY 2018
drawn by: [Signature]
checked by: [Signature]
scale: 1/8" = 1'-0"
sheet: 8139.1
of: 13049-BLOCK

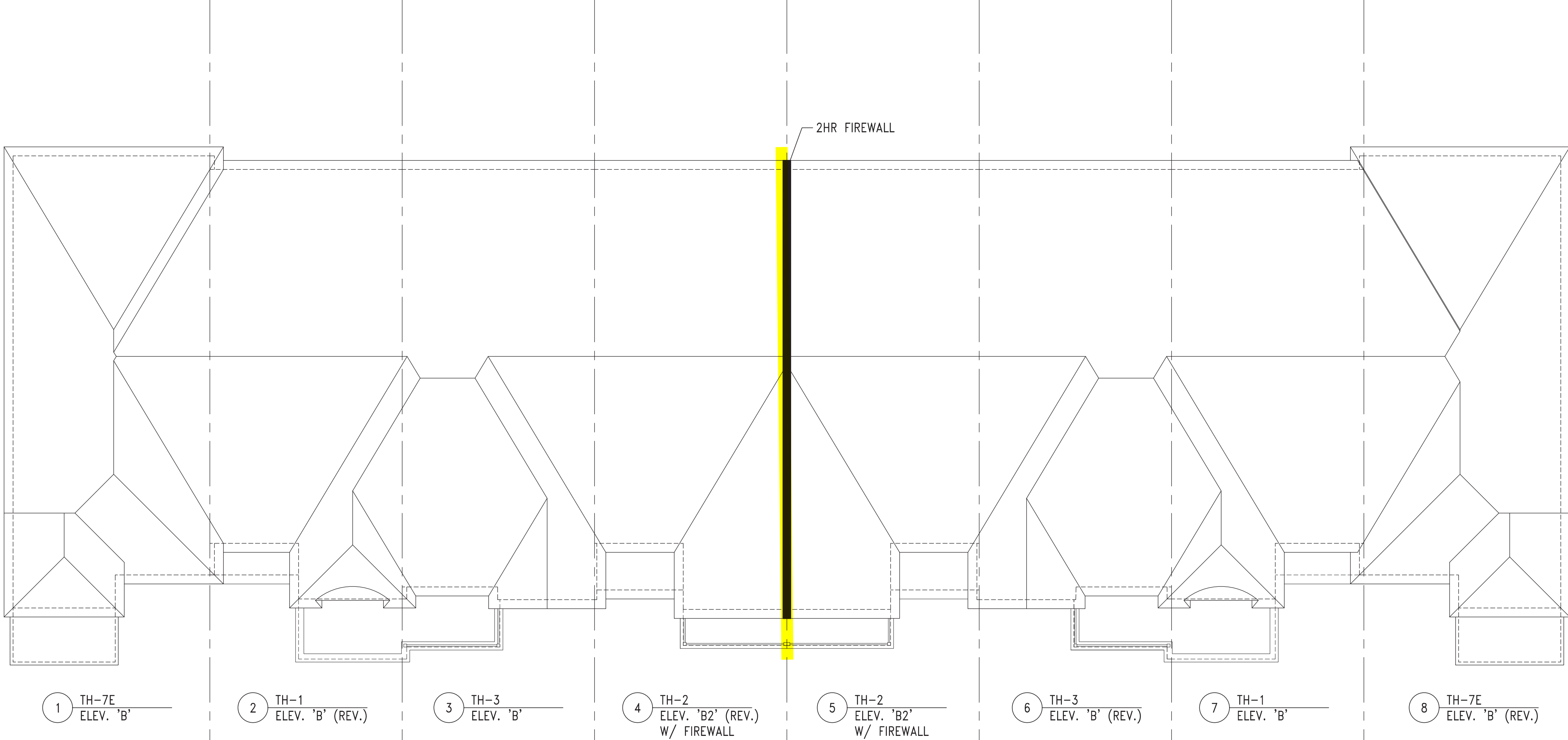
REFER TO INDIVIDUAL
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FOOTING SIZES

NOTE:
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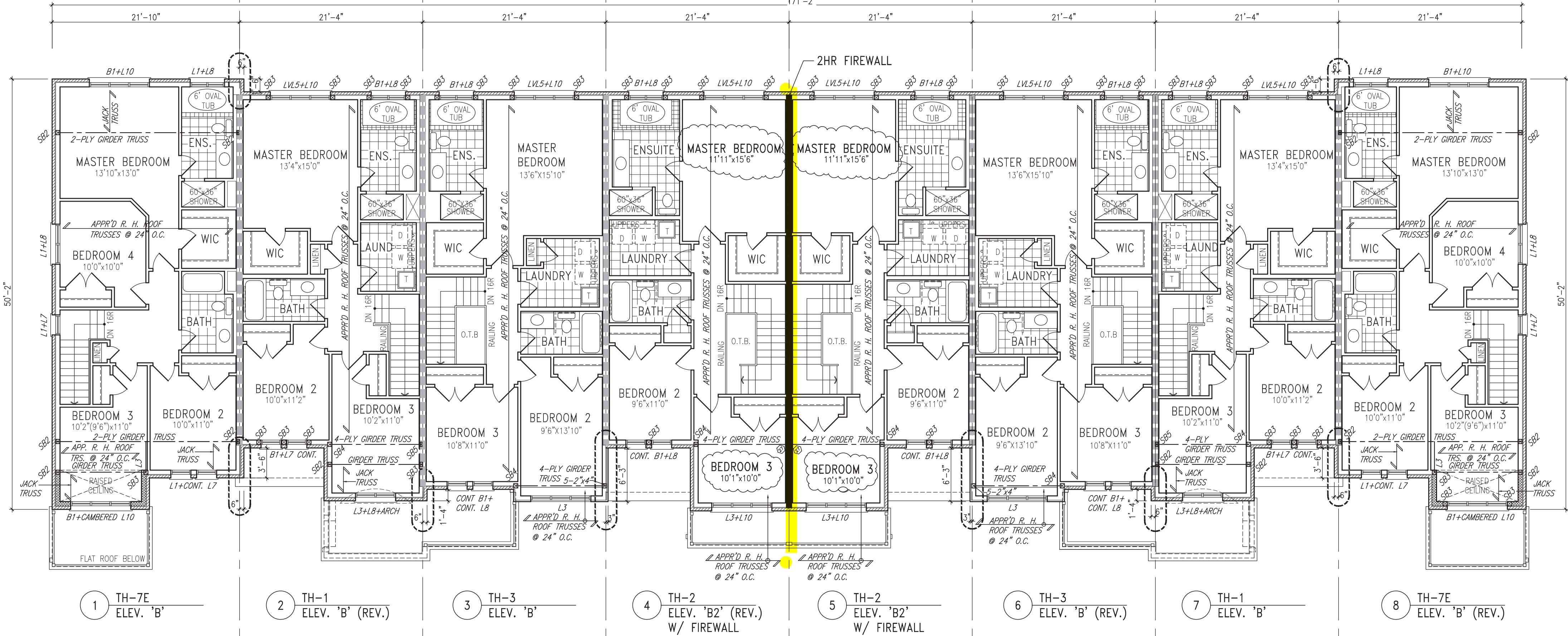


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (footing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY: [Signature]
DATE: Jun 29, 2018
The above certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



ROOF PLAN



SECOND FLOOR PLAN

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
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L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6" x 4" x 3/8"L)
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LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
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LVL3	4-1 3/4"x7 1/4" (4-45x184)
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LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
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- WINDOWS:
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- 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
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SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

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 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10				
9				
8				
7				
6				
5				
4				
3				
2				
1				

2) REVISED AS PER ROOF TRUSS COMMENTS. MAY 15/18 WT

1) ISSUED FOR TRUSS LAYOUT. MAR 28-18 RC

no description date by

V3 DESIGN

255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
v3design.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the contract. Building Code is to be a design.

Wellington Jan-Baptiste 25591
V3 Design Inc. 42588

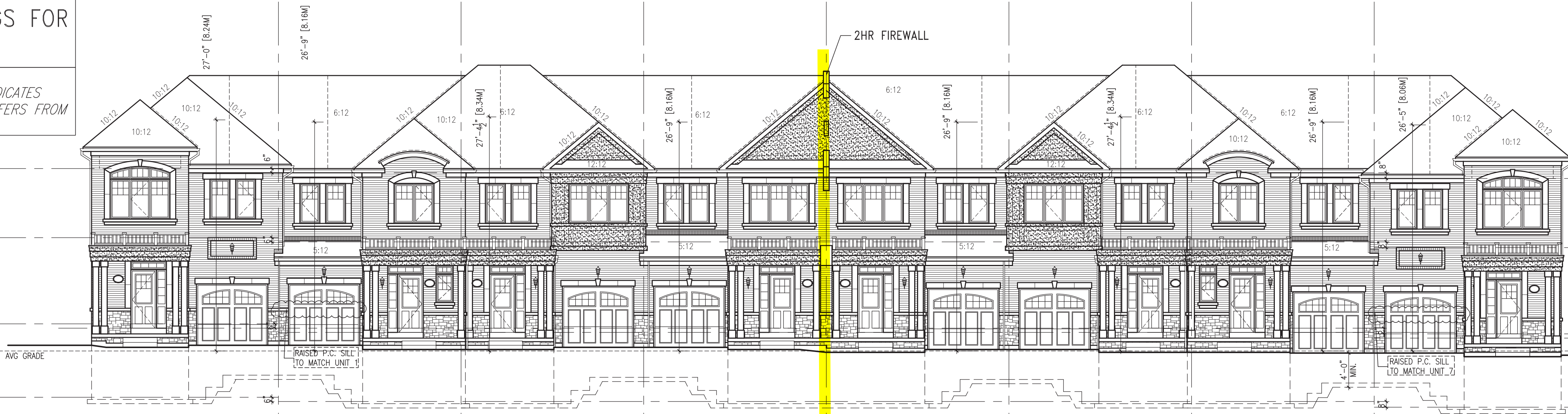
BAYVIEW WELLINGTON

PROJECT NAME	ALCONA SHORES	PROJECT NO.	13049
LOCATION	INNISFIL		
DATE	FEBRUARY 2018	1/8" = 1'-0"	
BY		IN	8139.2
CHECKED BY			
DATE			

BLOCK PLANS & ROOF PLAN

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
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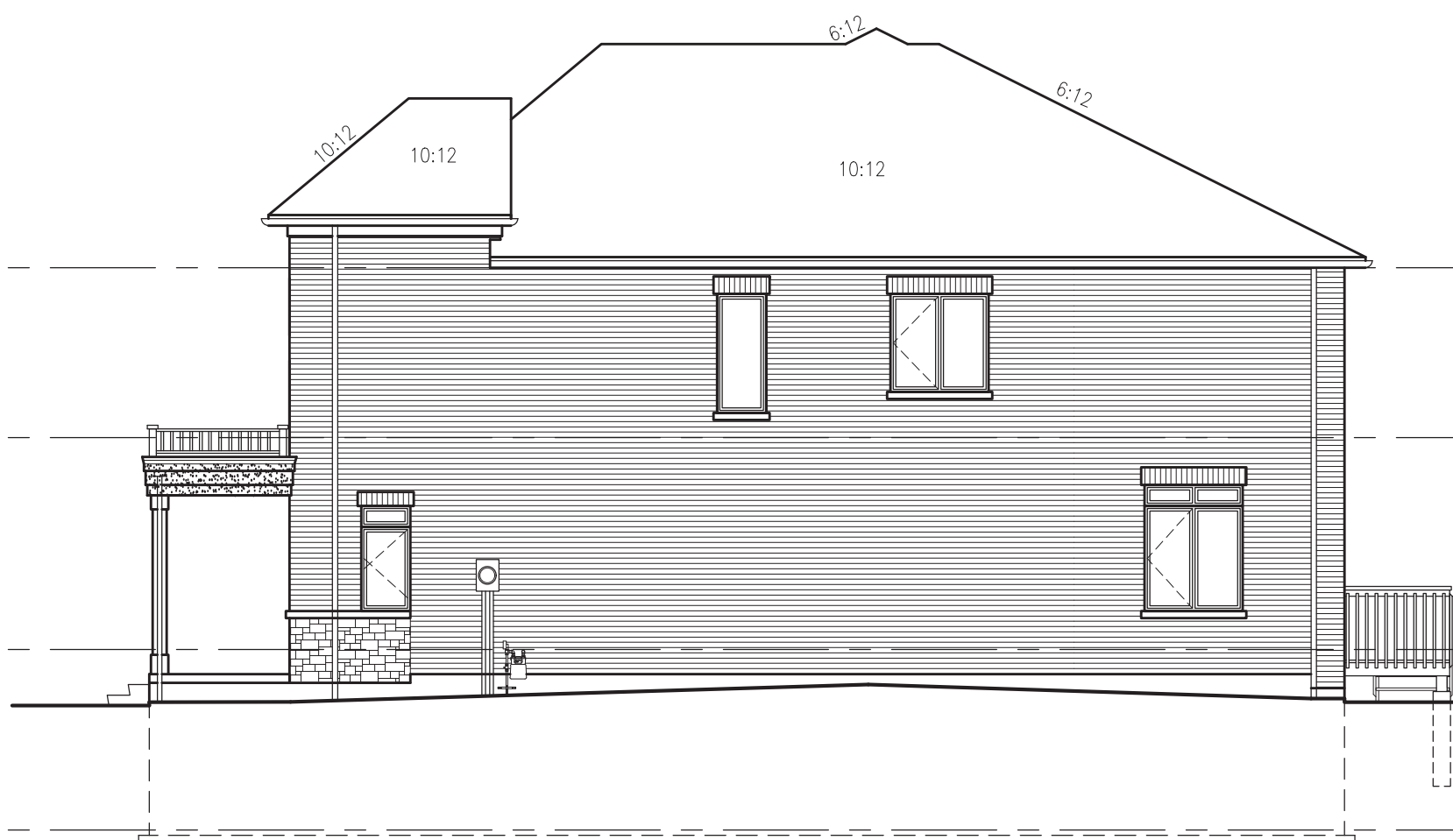


1 TH-7E ELEV. 'B'
2 TH-1 ELEV. 'B' (REV.)
3 TH-3 ELEV. 'B'
4 TH-2 ELEV. 'B2' (REV.) W/ FIREWALL
5 TH-2 ELEV. 'B2' W/ FIREWALL
6 TH-3 ELEV. 'B' (REV.)
7 TH-1 ELEV. 'B'
8 TH-7E ELEV. 'B' (REV.)

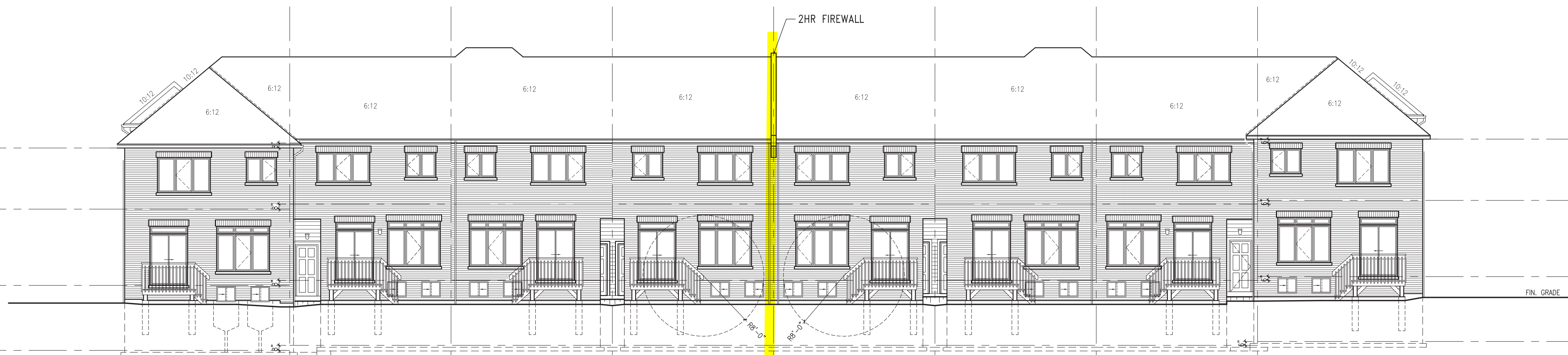
FRONT ELEVATION



1 TH-7E ELEV. 'B'
LEFT SIDE ELEVATION



8 TH-7E ELEV. 'B' (REV.)
RIGHT SIDE ELEVATION



8 TH-7E ELEV. 'B' (REV.)
7 TH-1 ELEV. 'B'
6 TH-3 ELEV. 'B' (REV.)
5 TH-2 ELEV. 'B2' W/ FIREWALL
4 TH-2 ELEV. 'B2' (REV.) W/ FIREWALL
3 TH-3 ELEV. 'B'
2 TH-1 ELEV. 'B' (REV.)
1 TH-7E ELEV. 'B'

REAR ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for the Architect's or the Town of Innisfil's review of the plans or for the building code or permit number or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: JUN 29, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a building code or permit number or that any house can be properly built or located on its lot.

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. BASEMENT FLOOR

WOOD LINTELS AND BUILT-UP WOOD BEAMS		
L1	2/38 x 184 (2/2" x 8")	SPR.#2
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B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
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LOOSE STEEL LINTELS		
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WINDOWS:
1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
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STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR TRUSS LAYOUT	MAY 26-18 RC	
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 15/18 WT	

255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vo3design.com

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BAYVIEW WELLINGTON

PROJECT NAME
ALCONA SHORES

PROJECT NO.
13049

DATE
FEBRUARY 2018

1/8" = 1'-0"

8139.3

BLOCK 139