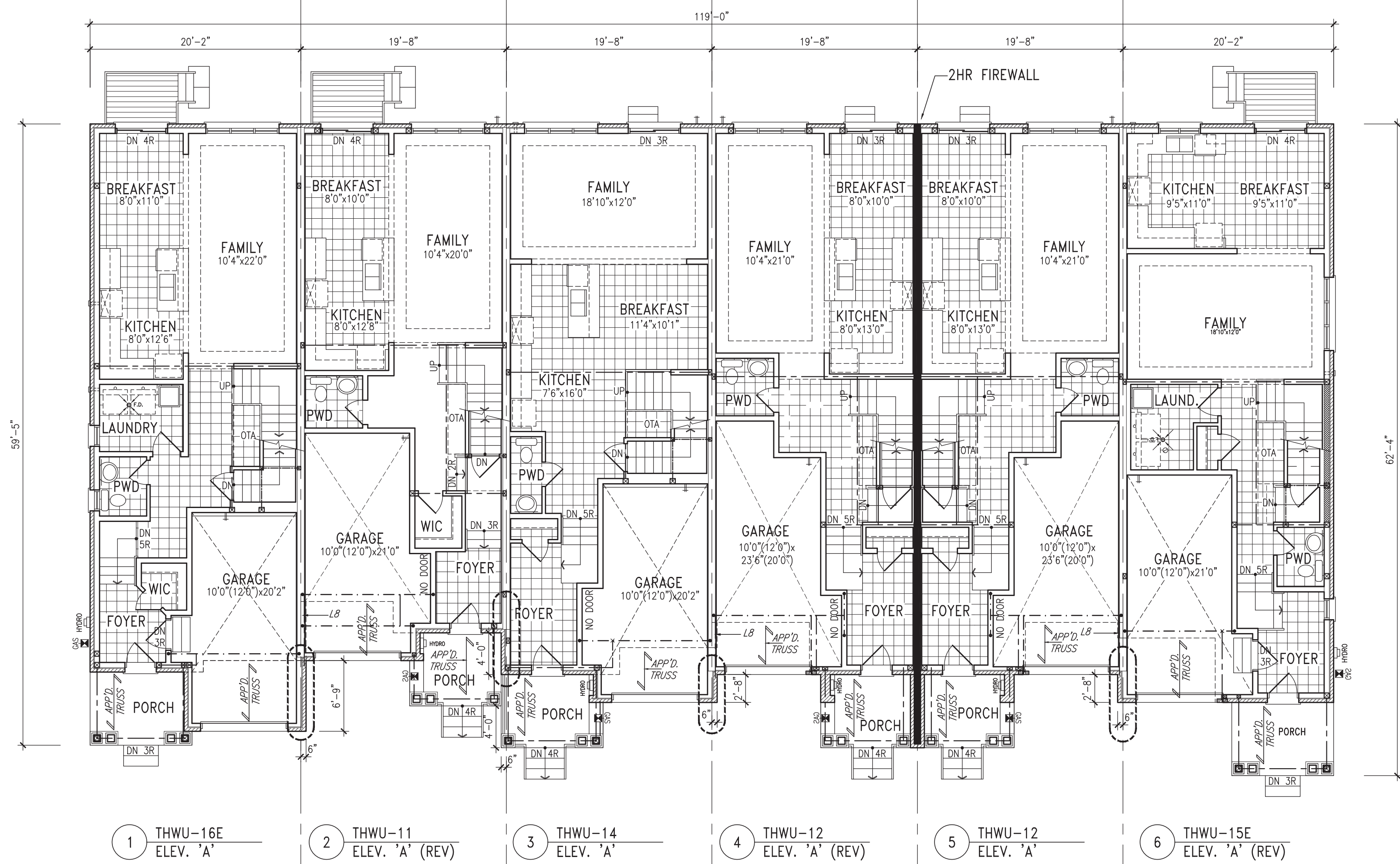
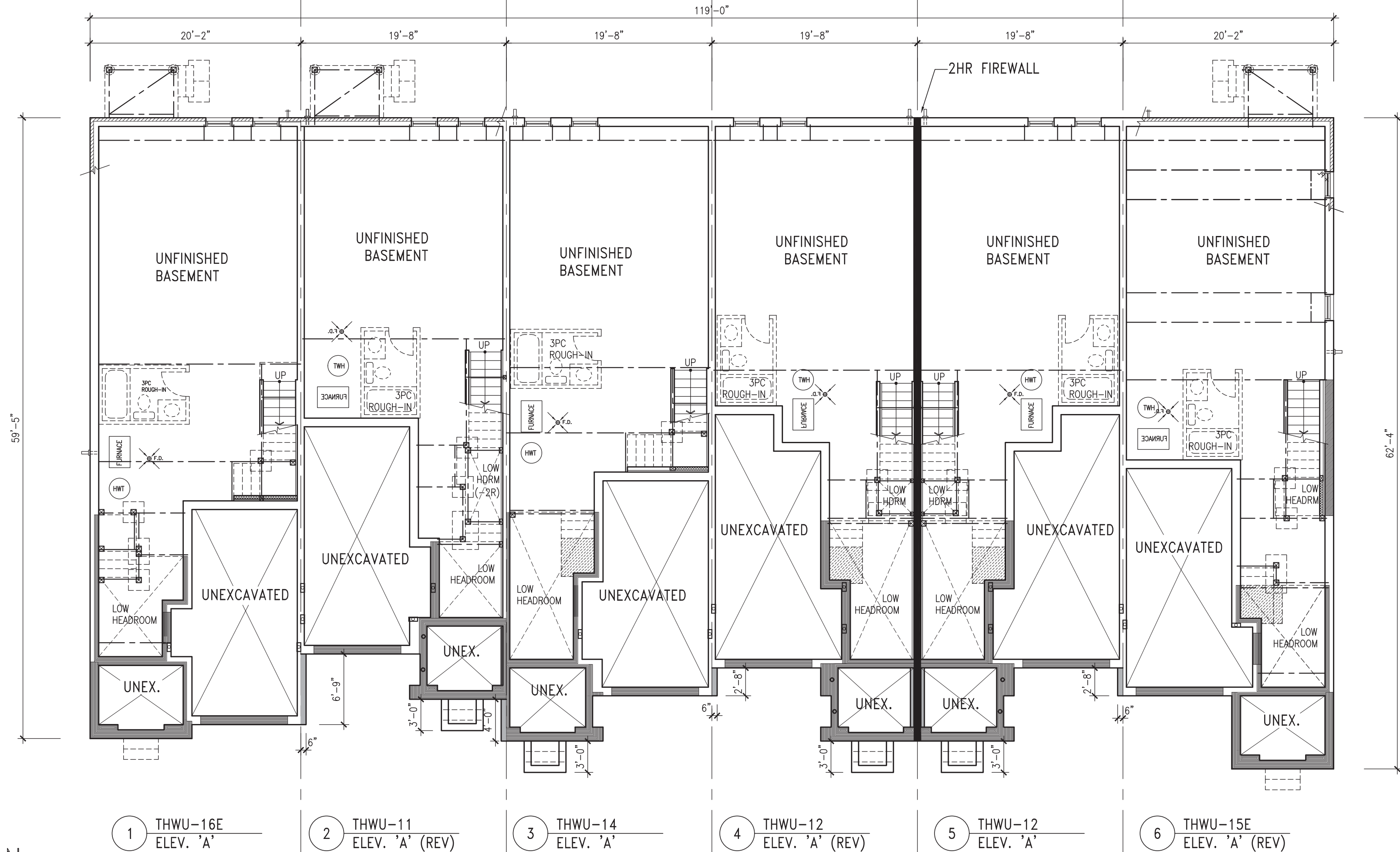


REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



GROUND FLOOR PLAN



BASEMENT PLAN

BUILDING AREA
6756 S.F. (627.65 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2

L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2

L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)

LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)

LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3 -
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO
HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE
AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL
IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR
AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT
GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

- GROUND FLOOR ROOF
STRUCTURE
- BASEMENT AND GROUND
FLOOR LINTELS
- GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
- DOUBLE VOLUME WALL
LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
determining or approving any existing plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
BRADFORD / WEST GUILDFORD.

APPROVED BY: 
DATE: JUN 18, 2019
This stamp certifies compliance with the applicable
Design Guidelines and does not constitute
professional responsibility.

10			
9			
8			
7			
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4			
3	REVISED AS PER FL. TRUS CO-ORD.	APR. 19/18	WT
2	REVISED AS PER ROOF TRUSS CO-ORD.	APR. 17/18	WE
1	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18	WAS
no description		date	by

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be scaled.

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t 416.630.2255
f 416.630.4782
vasdesign.com

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written permission.

The architect has reviewed and taken responsibility for the design
and for the specifications and notes the requirements set out in the
Ontario Building Code to be a design.
specifically intended
Wellspring Inc. - Bayshore
42858

BAYVIEW WELLINGTON

PROJECT NAME
GREEN VALLEY EAST

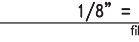
BRADFORD

16023

BLOCK 163

BLOCK PLANS & ELEVATIONS

DATE: OCTOBER, 2017

drawn by:  checked by: 

scale: 1/8" = 1'-0"

sheet: 16023-BLOCK1

BLOCK 163

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

ROOF PLAN

1 THWU-16E ELEV. 'A'
2 THWU-11 ELEV. 'A' (REV)
3 THWU-14 ELEV. 'A'
4 THWU-12 ELEV. 'A' (REV)
5 THWU-12 ELEV. 'A'
6 THWU-15E ELEV. 'A' (REV)

SECOND FLOOR PLAN

1 THWU-16E ELEV. 'A'
2 THWU-11 ELEV. 'A' (REV)
3 THWU-14 ELEV. 'A'
4 THWU-12 ELEV. 'A' (REV)
5 THWU-12 ELEV. 'A'
6 THWU-15E ELEV. 'A' (REV)

BLOCK 163

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1 2/38 x 184 (2/2" x 8") SPR.#2
B1 3/38 x 184 (3/2" x 8") SPR.#2
B2 4/38 x 184 (4/2" x 8") SPR.#2
B7 5/38 x 184 (5/2" x 8") SPR.#2

L3 2/38 x 235 (2/2" x 10") SPR.#2
B3 3/38 x 235 (3/2" x 10") SPR.#2
B4 4/38 x 235 (4/2" x 10") SPR.#2
L5 2/38 x 286 (2/2" x 12") SPR.#2
B5 3/38 x 286 (3/2" x 12") SPR.#2
B6 4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS
L7 90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8 90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9 100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10 125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11 125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12 150 x 100 x 10.0L (6" x 4" x 3/8")
L13 180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A 1-1 3/4"x7 1/4" (1-45x184)
LVL1 2-1 3/4"x7 1/4" (2-45x184)
LVL2 3-1 3/4"x7 1/4" (3-45x184)
LVL3 4-1 3/4"x7 1/4" (4-45x184)

LVL4A 1-1 3/4"x9 1/2" (1-45x240)
LVL4 2-1 3/4"x9 1/2" (2-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5A 4-1 3/4"x9 1/2" (4-45x240)

LVL6A 1-1 3/4"x11 7/8" (1-45x300)
LVL6 2-1 3/4"x11 7/8" (2-45x300)
LVL7 3-1 3/4"x11 7/8" (3-45x300)
LVL8 4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3 -
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO
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2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL
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AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT
GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

-GROUND FLOOR ROOF
STRUCTURE

-BASEMENT AND GROUND
FLOOR LINTELS

-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE

-DOUBLE VOLUME WALL
LOCATION AND DETAILS

-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DESIGN
APPROVED BY: J.G.W. 2018
DATE: JUL 18, 2018
This stamp certifies compliance with the applicable Design Guidelines and does not constitute professional responsibility.

10				
9				
8				
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4				
3	REVISED AS PER FL. TRUS CO-ORD.	APR. 19/18 MT		
2	REVISED AS PER ROOF TRUS CO-ORD.	APR. 17/18 MT		
1	ISSUED FOR ROOF TRUS REVIEW	FEB 12-18 VAS		
no.	description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the design. Building Code is to be followed.

Willingdon, Jan-Baptiste
42588

BAYVIEW WELLINGTON

PROJECT NAME
GREEN VALLEY EAST

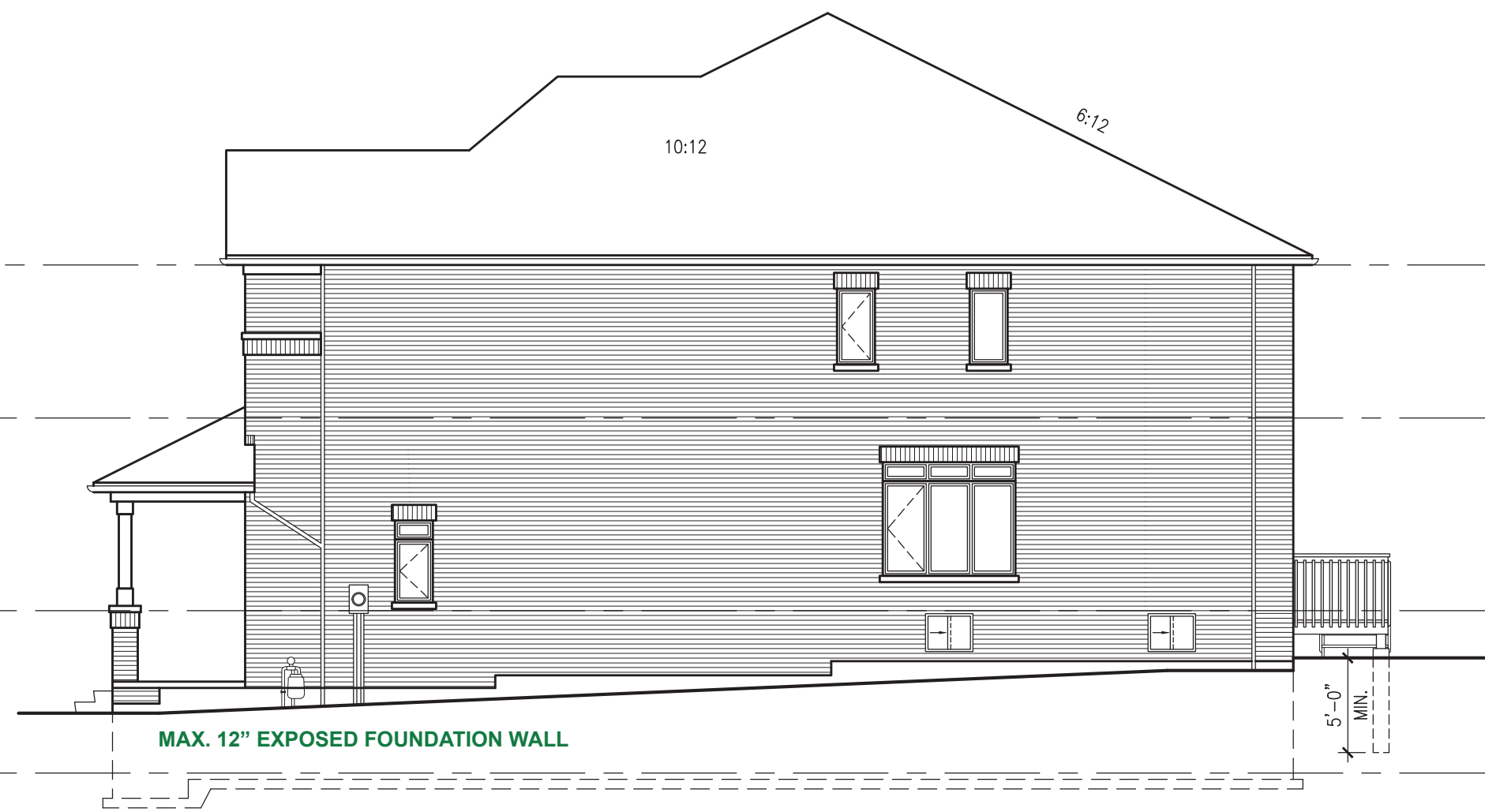
BRADFORD
16023

BLOCK 163

BLOCK PLANS & ELEVATIONS
OCTOBER, 2017
1/8" = 1'-0"
2

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



6 THWU-15E
ELEV. 'A' (REV)

RIGHT SIDE ELEVATION



6 THWU-15E
ELEV. 'A' (REV)

5 THWU-12
ELEV. 'A'

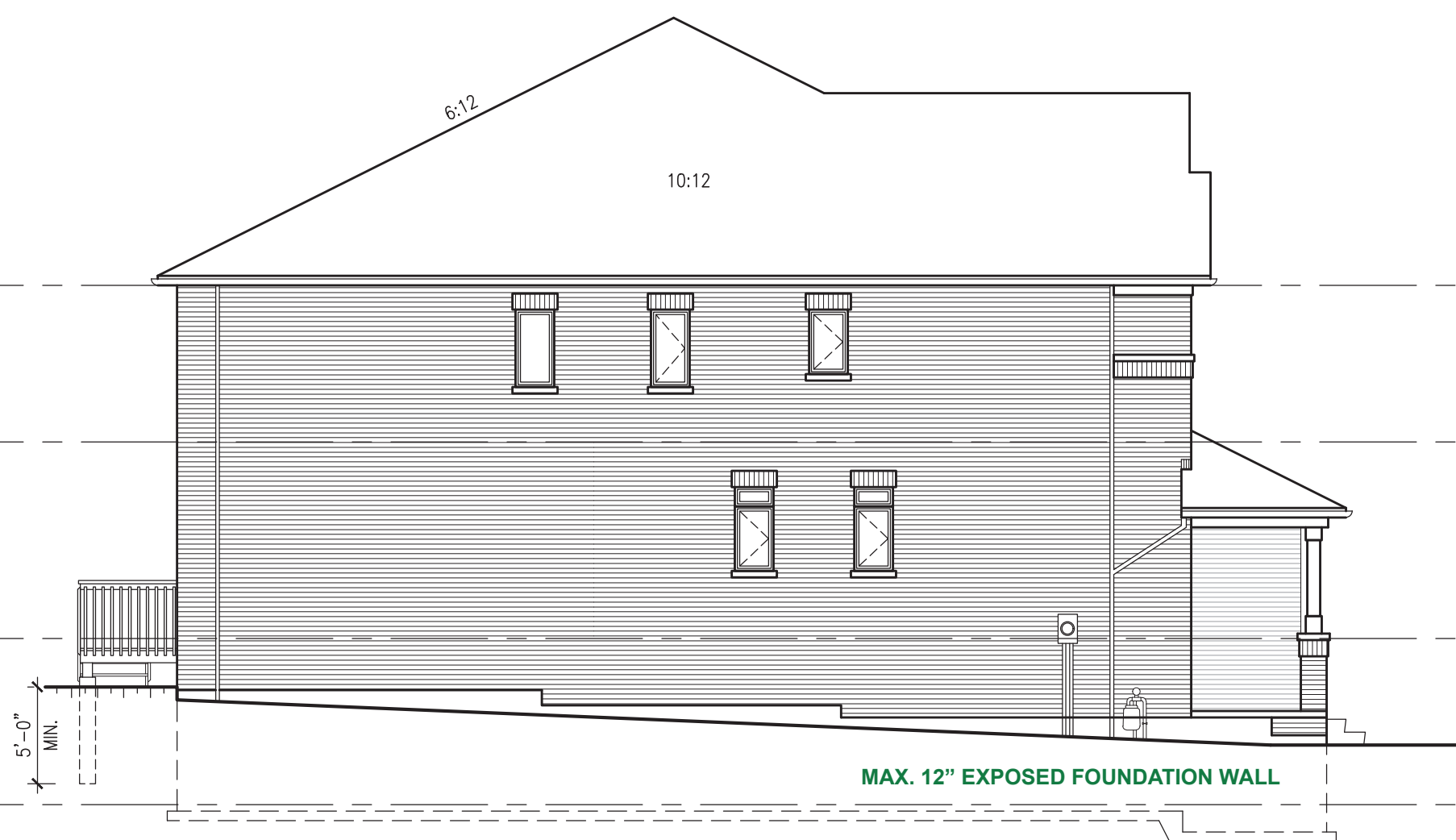
4 THWU-12
ELEV. 'A' (REV)

3 THWU-14
ELEV. 'A'

2 THWU-11
ELEV. 'A' (REV)

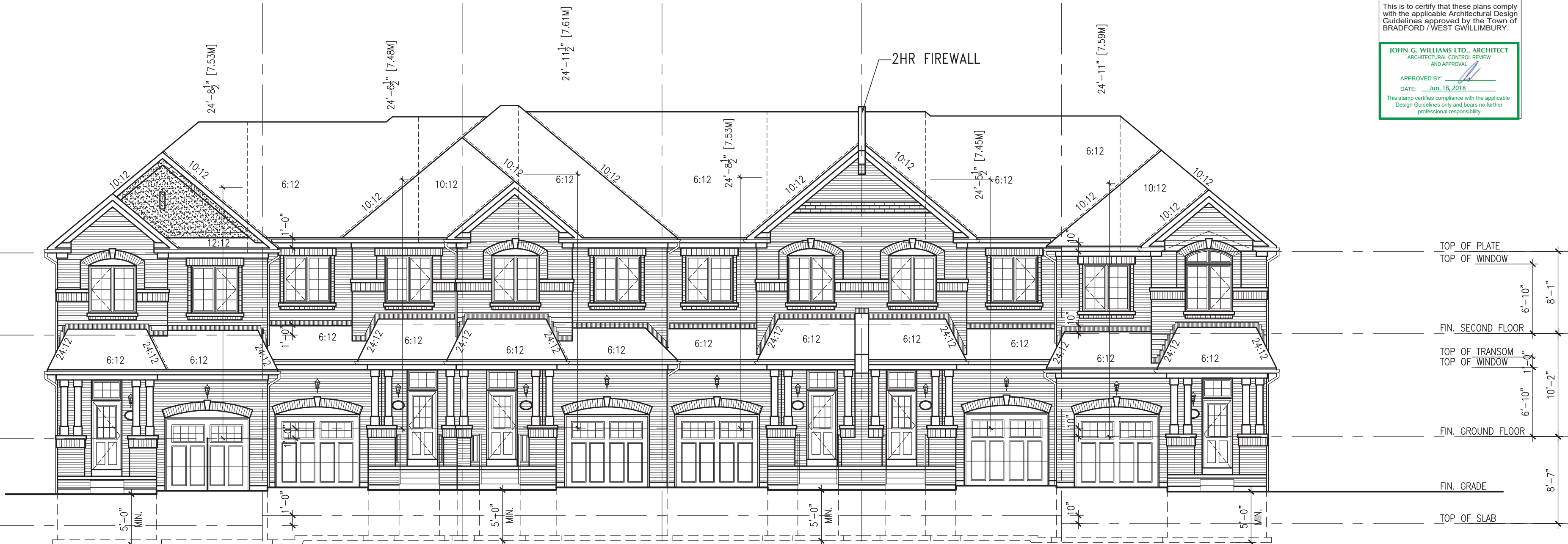
1 THWU-16E
ELEV. 'A'

REAR ELEVATION



1 THWU-16E
ELEV. 'A'

LEFT SIDE ELEVATION



1 THWU-16E
ELEV. 'A'

2 THWU-11
ELEV. 'A' (REV)

3 THWU-14
ELEV. 'A'

4 THWU-12
ELEV. 'A' (REV)

5 THWU-12
ELEV. 'A'

6 THWU-15E
ELEV. 'A' (REV)

FRONT ELEVATION

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
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LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
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LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.1 -
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 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
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GRADE IS GREATER THAN 1800mm (5'-11").
 - 3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8

REFER TO INDIVIDUAL
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FOLLOWING:
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 18, 2018

This plans were prepared in accordance with the applicable Design Guidelines and are based on the professional responsibility.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18	VA3
2	REVISED AS PER F.L. TRUS CO-ORD.	APR 18/18	MT
3	REVISED AS PER ROOF TRUSS CO-ORD.	APR 17/18	MT

255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vo3design.com

VA3 DESIGN

BAYVIEW WELLINGTON

PROJECT NAME
GREEN VALLEY EAST

BRADFORD

OCTOBER, 2017

1/8" = 1'-0"

16023-BLOCK3

PROJECT NO.
16023

DATE
OCTOBER, 2017

1/8" = 1'-0"

16023-BLOCK3

BLOCK 163