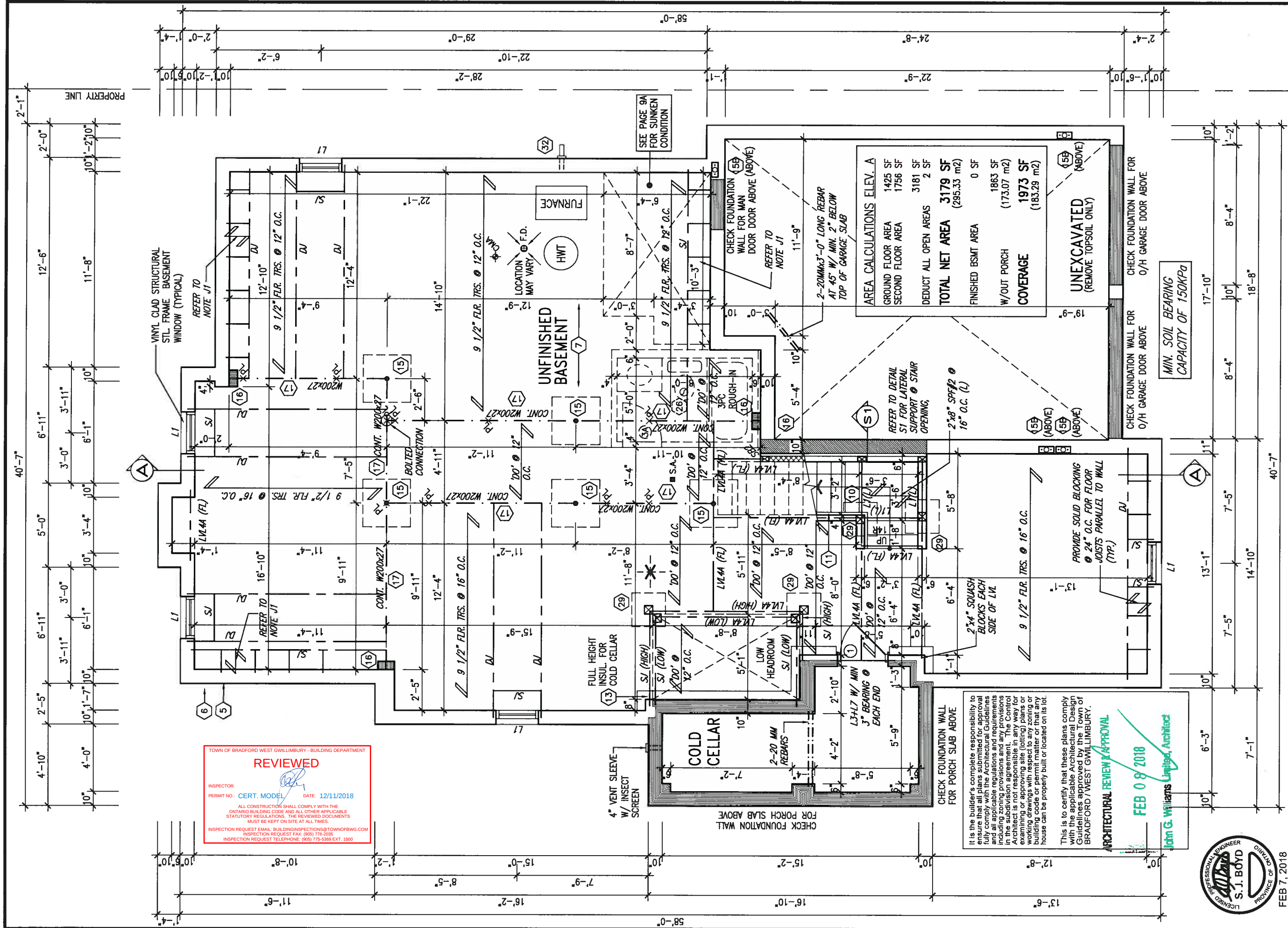




NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
NOTE J-1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT PLAN 'A'

AREA CALCULATIONS ELEV. A

GROUND FLOOR AREA	1425 SF
SECOND FLOOR AREA	1756 SF
DEDUCT ALL OPEN AREAS	3181 SF
TOTAL NET AREA	3179 SF (295.33 m²)
FINISHED BSMT AREA	0 SF
W/OUT PORCH	1863 SF (173.07 m ²)
COVERAGE	1973 SF (183.29 m²)

UNEXCAVATED (REMOVE TOPSOIL ONLY)

MIN. SOIL BEARING CAPACITY OF 150KPa

UNFINISHED BASEMENT

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UNEXCAVATED (REMOVE TOPSOIL ONLY)

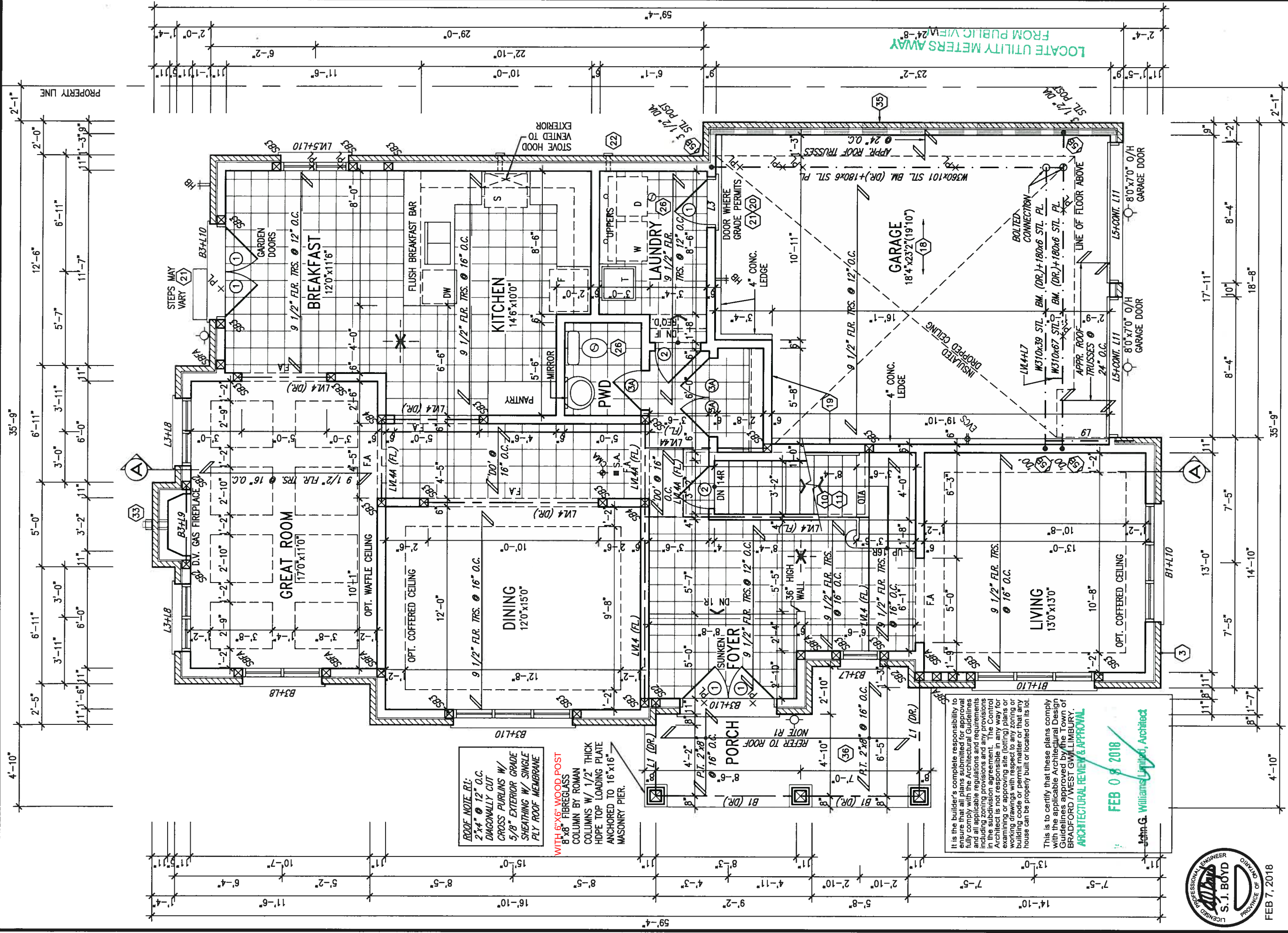
MIN. SOIL BEARING CAPACITY OF 150KPa

UNFINISHED BASEMENT

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UNEXCAVATED (REMOVE TOPSOIL ONLY)



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

INDICATES REDUCED SIDE YARD

GROUND FLOOR PLAN 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the construction of the building or for the working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

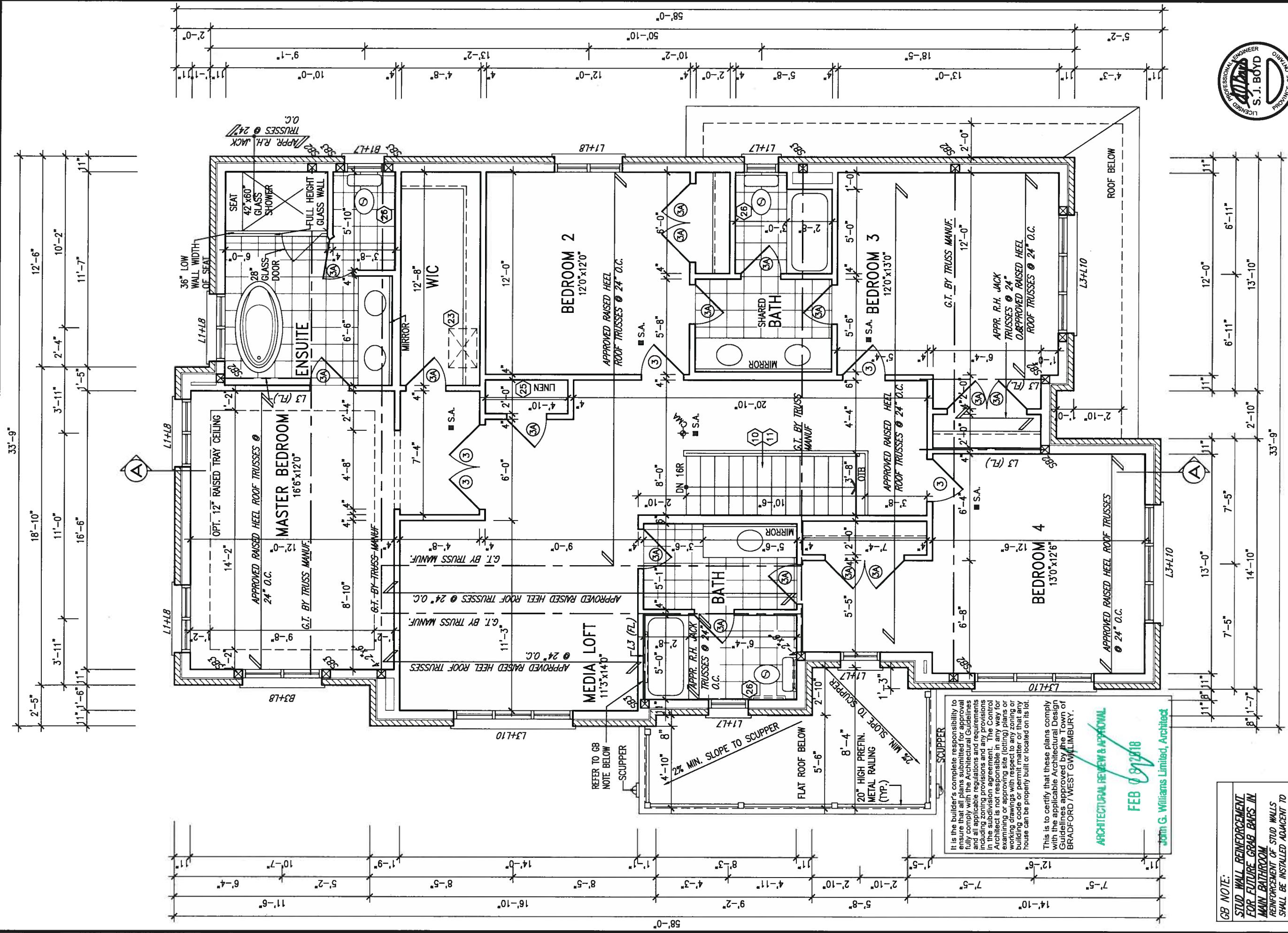
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams, Architect

VA3 DESIGN		BAYVIEW WELLINGTON		S42-7C	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3designinc.com		GREEN VALLEY ESTATES		RIDEAU 7	
The undersigned has reviewed and takes responsibility for this design and the information contained herein and certifies that the design complies with the Ontario Building Code to be a Design Professional.		project name		project no.	
Wellington Jno-Baptiste		BRADFORD, ON.		16023	
signature		municipality		drawing no.	
25591		BRADFORD, ON.		2A	
BOA		GREEN VALLEY ESTATES		16023-S42-7C	
42558		BRADFORD, ON.		16023-S42-7C	
VA3 Design Inc.		BRADFORD, ON.		16023-S42-7C	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		checked by		date	
RC		RC		16023-S42-7C	
FEB 01-18		RC		16023-S42-7C	
REVISED AS PER ENG'S COMMENTS		checked by		date	
1 ISSUED FOR CLIENT REVIEW		RC		16023-S42-7C	
no. description		checked by		date	
1		RC		16023-S42-7C	
2		RC		16023-S42-7C	
3		RC		16023-S42-7C	
4		RC		16023-S42-7C	
5		RC		16023-S42-7C	
6		RC		16023-S42-7C	
7		RC		16023-S42-7C	
8		RC		16023-S42-7C	
9		RC		16023-S42-7C	



SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i). AND DETAILS PROVIDED

NOTE:
REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and provisions including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible for any way for examination or approval of the drawings or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08/2018
John G. Williams Limited, Architect



BAYVIEW WELLINGTON		S42-7C RIDEAU 7	
GREEN VALLEY ESTATES		BRADFORD, ON.	
Project name		Project no. 16023	
date		drawing no. 3A	
checked by RC		SECOND FLOOR PLAN ELEV. 'A' (4 BR)	
scale 3/16" = 1'-0"		file name 16023-S42-7C	
drawn by NC		date 16023-542-7C	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-7C.dwg - Fri - Feb 2 2018 - 1:51 PM			

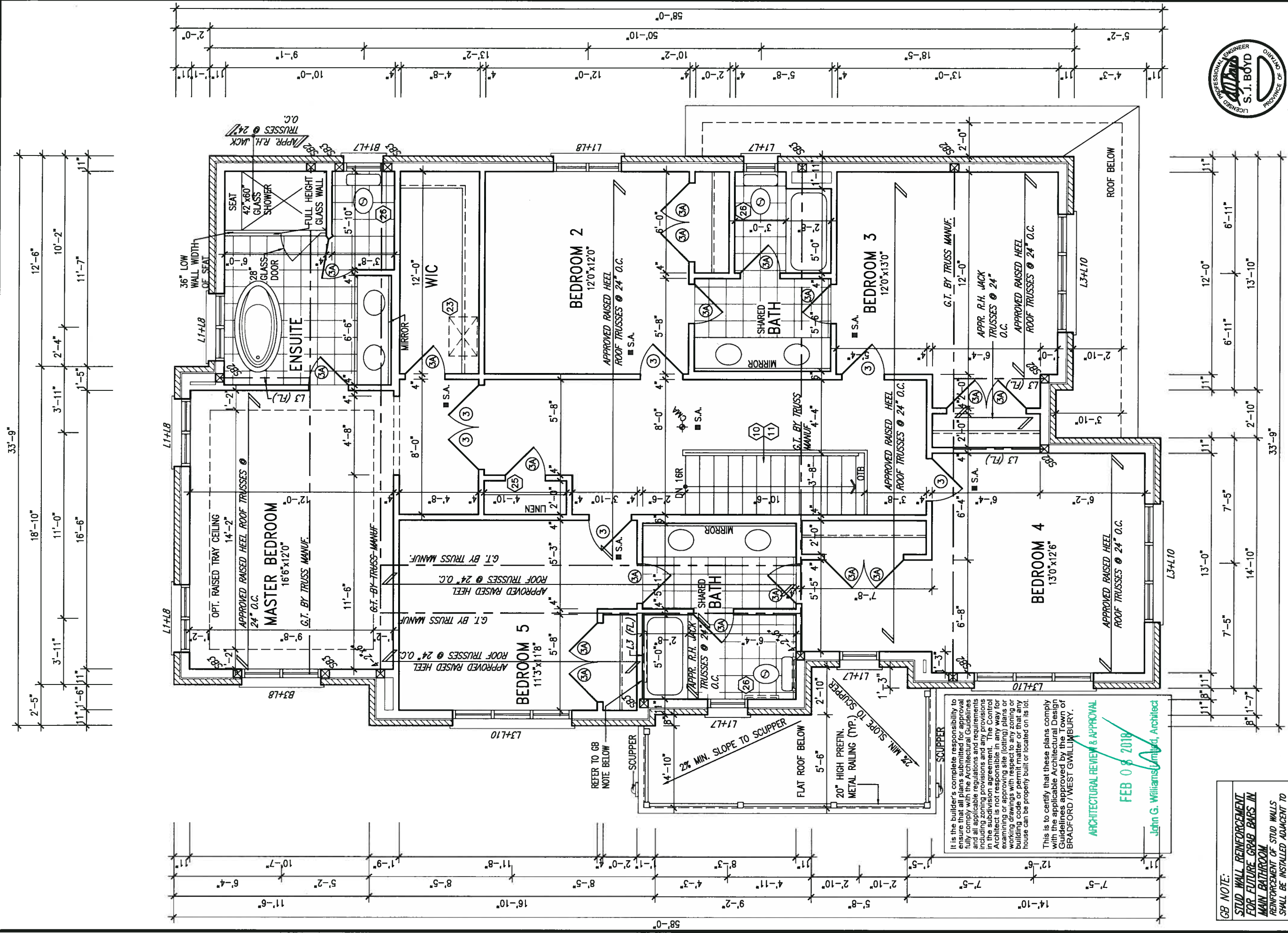
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
3			
4			
5			
6			
7			
8			
9			

This undersigned has reviewed and takes responsibility for this design and the construction of the building in accordance with the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
signature
25591
BCN
42658
VA3 Design Inc.

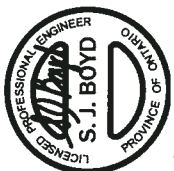
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GB NOTE:
STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT TO
WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM. REFER
TO OBC, 9.5.2.3, 3.8.3.8.(1)(d) &
3.8.3.13.(1)(f), AND DETAILS
PROVIDED

OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.



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EVCS ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Flameproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
42-7C ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675 S.F.	127.81 S.F.	18.93 %
LEFT SIDE	1160 S.F.	259.82 S.F.	22.40 %
RIGHT SIDE	1160 S.F.	58.19 S.F.	5.02 %
REAR	675 S.F.	148.38 S.F.	21.98 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3670.00 S.F.	594.20 S.F.	16.19 %
TOTAL SQ. M.	340.95 S.M.	55.20 S.M.	16.19 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

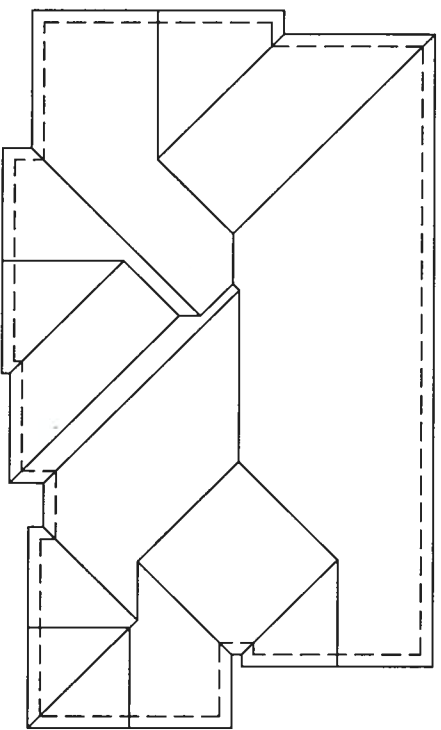
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



ARCHITECTURAL REVIEW APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

ROOF PLAN 'A'

- ASPHALT SHINGLES (TYP)
- 1"x6" STUCCO FRIEZE BD. (TYP.)
- STUCCO FINISH (TYP.)
- MTL. FLASHING BEHIND STUCCO FINISH



- PREMANUF. METAL ROOFING W/ RAISED SEAMS (TYP.)
- VALLEY FLASHING (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

- BRICK FACE (TYP.)
- PRECAST CONC. SILL OVER BRICK ROWLOCK W/ 1/2" PROJ. (TYP.)
- 20" HIGH PREFIN. METAL RAILING (TYP.)
- SCUPPER

- STUCCO TRIM FINISH
- BRICK ROWLOCK OVER BRICK SOLDIER COURSE HEADER ON 10" STACK BOND W/ 1/2" PROJ. (TYP.)
- 8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

- POURED CONC. PORCH SLAB AND DOOR SILL
- CONT. PRECAST CONC. SILL OVER STONE VENEER (TYP.)
- POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.

30"x16" VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYPICAL)

8'0"x7'0" O/H GARAGE DOOR 8'0"x7'0" O/H GARAGE DOOR

- 1"x6" ALUM. CLAD FRIEZE BD.(TYP.)
- BRICK SOLDIER COURSE HEADER ON STACK BOND W/ 1/2" PROJ. (TYP.)
- 1'-4" WIDE BRICK PILASTER C/W BRICK ROWLOCK HEADER AND BASE W/ 1" PROJECTION (TYP.)

- LOCATION OF STL. BEAM (DROPPED)
- BRICK ROWLOCK OVER BRICK SOLDIER COURSE HEADER W/ 1/2" PROJ. (TYP.)
- MUNICIPAL ADDRESS SIGNAGE, LOCATION AS SHOWN
- PRECAST CONC. SILL OVER STONE VENEER (TYP.)

STEPPED FOOTINGS (30)

FRONT ELEVATION 'A'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.
project no.	16023	drawing no.	5A
checked by	RC	scale	3/16" = 1'-0"
drawn by	NC	date	16023-S42-7C
RICHARD - H. ARCHIVE WORKING 2016 \16023-BW Units\42\16023-S42-7C.dwg - Fri - Feb 2 2018 - 1:51 PM			



signature	25591	ECN	42558
Wellington Jno-Baptiste			
signature			
VAB Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW		

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
J. G. Williams Limited, Architect
PREMANUJ K. METT
W/ RAISED SEA



S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY ESTATES	16023
municipality	
BRADFORD, ON.	

6A

drawn by	checked by	scale	file name
INC	RC	$3/16'' = 1'-0''$	16023-S42-7C



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3darian.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Inc-Bentley
1/1/2015
25591

name	signature	BCIN
registration information		23051

VAS Design Inc. 47638

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

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vuuuesign.com

FLANKAGE ELEVATION 'A'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

Site Copy

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVALS

FEB 08 2018

Williams Limited, Architect

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

S42-7C

Site Copy

BAYVIEW WELLINGTON

S42-7C

/ALLEY ESTATES
BRADFO

RIDEAU /



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

Qualification information
Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	ECIN
	registration information	25591

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Penalties are not to be assessed.

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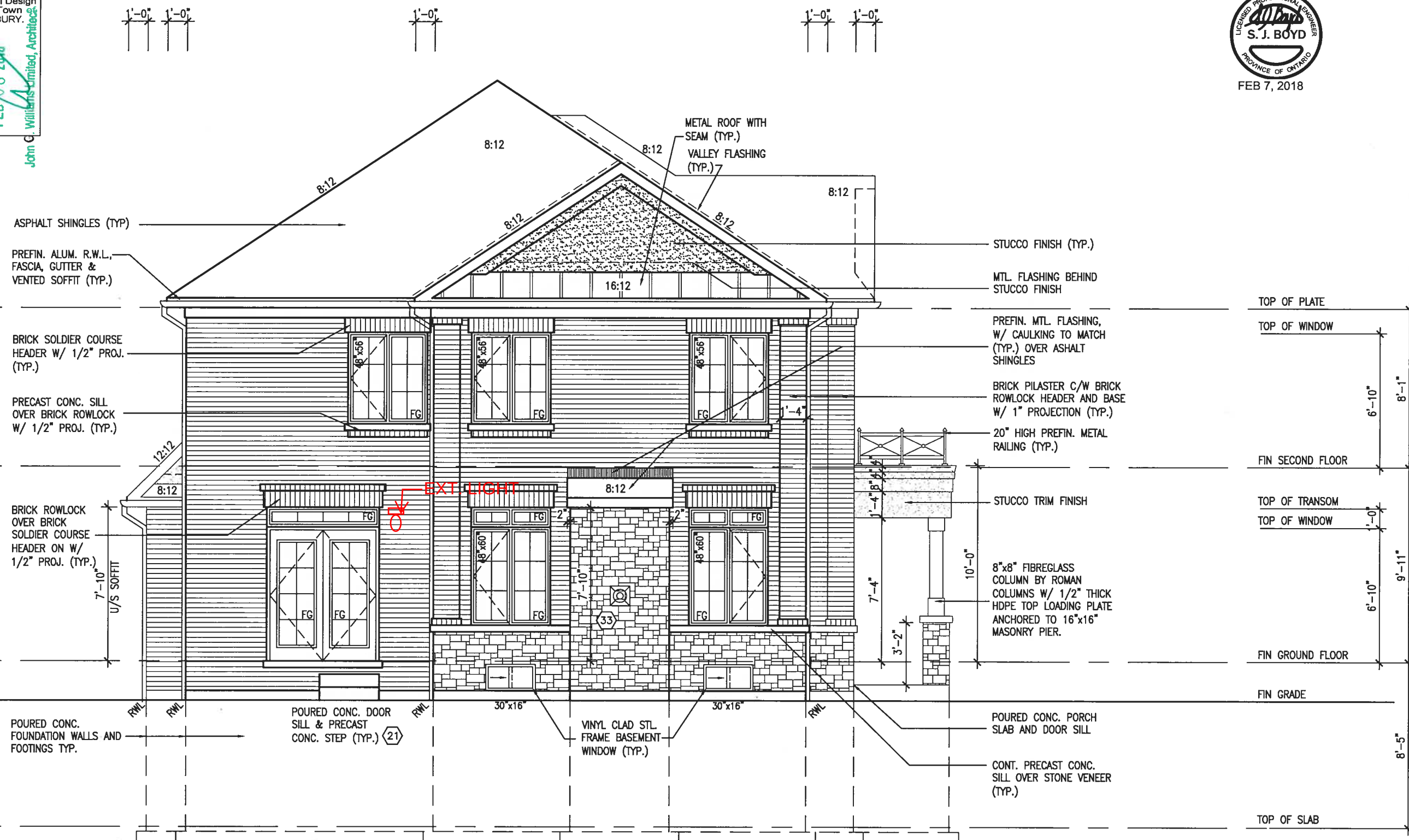
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST SWILIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John C. Williams Limited, Architect



REAR ELEVATION 'A'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

S42-7C
RIDEAU 7

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY ESTATES	16023
municipality	
BRADFORD, ON.	

date	REAR ELEVATION 'A'	drawing no.
drawn by	checked by	scale
		file name
		8 A



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vn@designn.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Inc.-Portland
16. Bodenste
75591

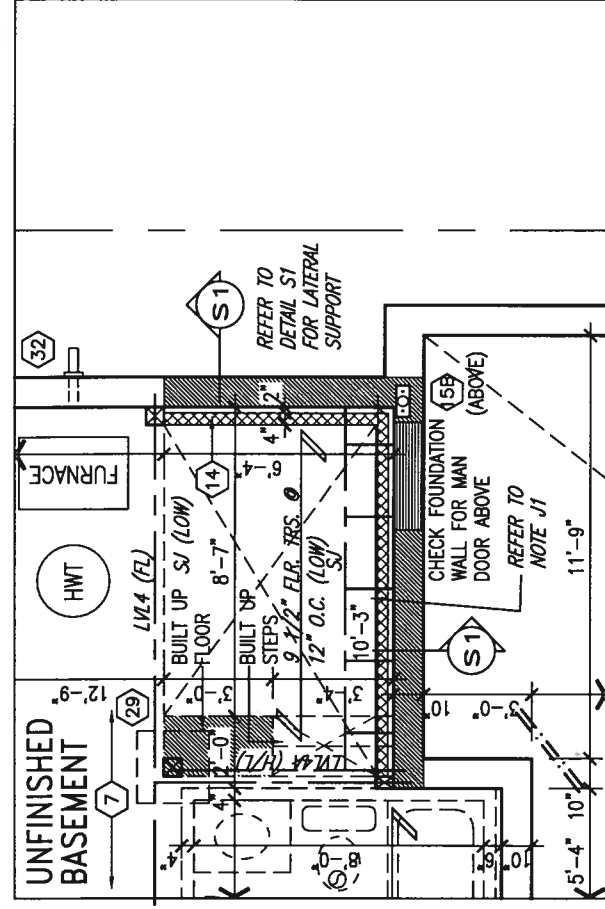
name	signature	BCIN
registration information		42558
AAZ Deaton Inc		

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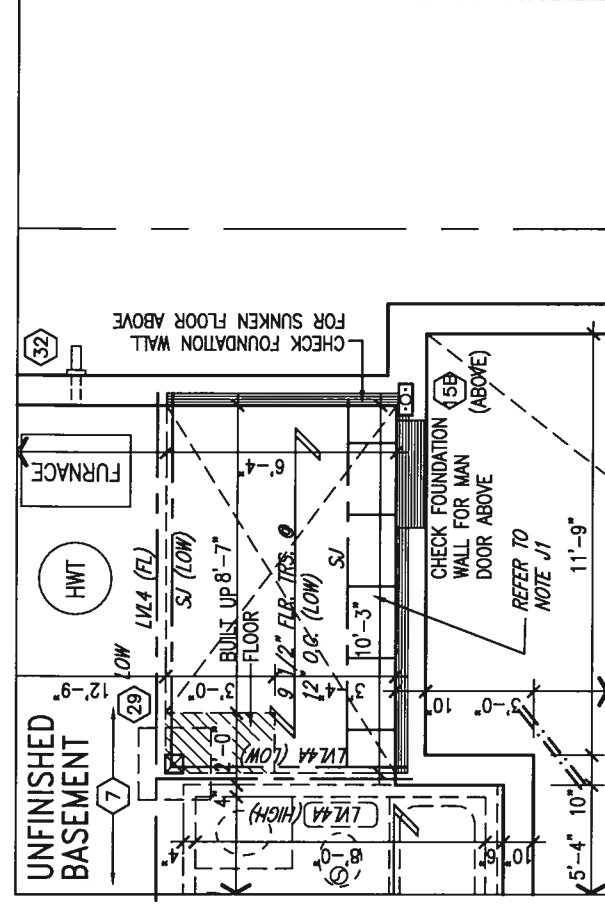
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2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

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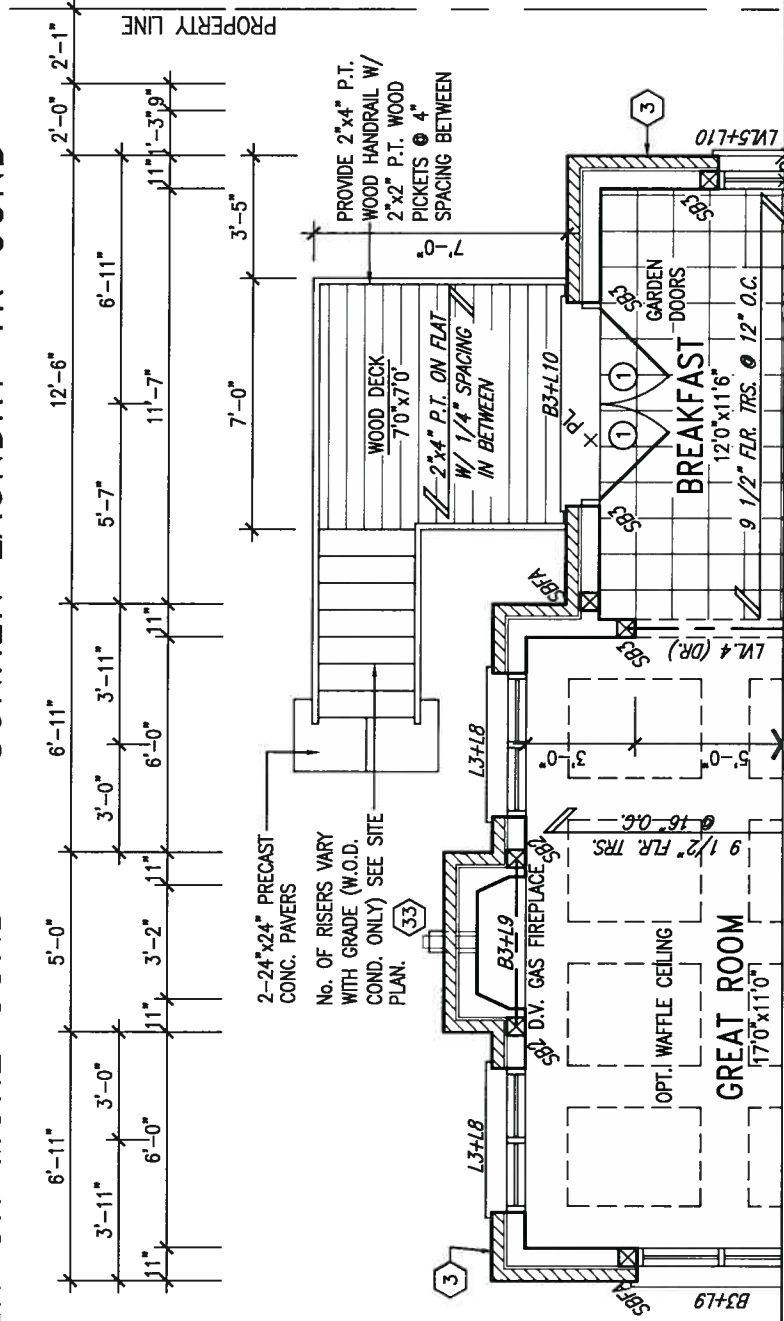
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PART. BASEMENT PLAN FOR OPT.
SUNKEN LAUNDRY 2R OR MORE COND



PART. BASEMENT PLAN FOR OPT.
SUNKEN LAUNDRY 1R COND

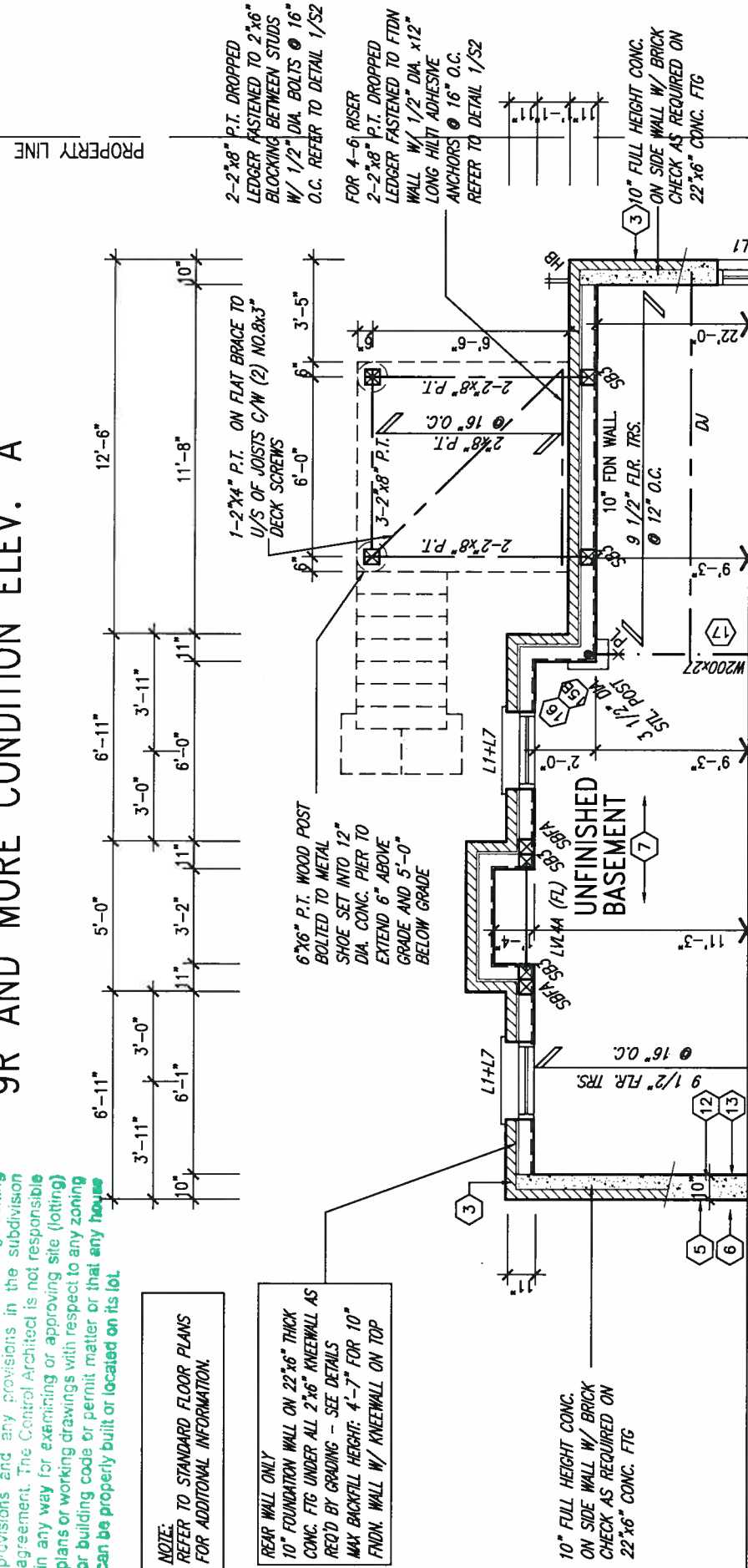


PARTIAL GROUND FLOOR PLAN W.O.D.
9R AND MORE CONDITION ELEV. 'A'

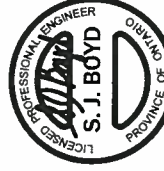
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NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAY BRACKET HEIGHT: 4'-7" FOR 10"



PARTIAL BASEMENT PLAN W.O.D.
9R AND MORE CONDITION ELEV.



Date: FEB 03 2010
JOHN G. WILLIAMS LIMITED ARCHITECT

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE:
5/8" SUBFLOOR TO BE GLUED AND NAILED
CERAMIC TILE APPLICATION TO CONFORM TO
ORC 9.30.6

NOTE:
ALL LVL'S SUPPORTING FLOOR
LOADS ARE TO BE SPECIFIED BY
THE FLOOR TRUSS MANUFACTURER

NOTE: REFER TO FLOOR TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS & I/M SIZES

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2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC		
1	ISSUED FOR CLIENT REVIEW	.	.	.	.
no.	description	date	by		



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name
GREEN VALLEY ESTATES

BRADFORD, ON. municipality

PART. PLANS ELEV. 'A'-W.O.D. COND.

scale	file name
$16^m = 1^p - 0^m$	16023-S12-7

BWUnits\42\16023-S42-7C.dwg - Fri - Feb 2 2018 - 1:51 PM
16023-S42-7

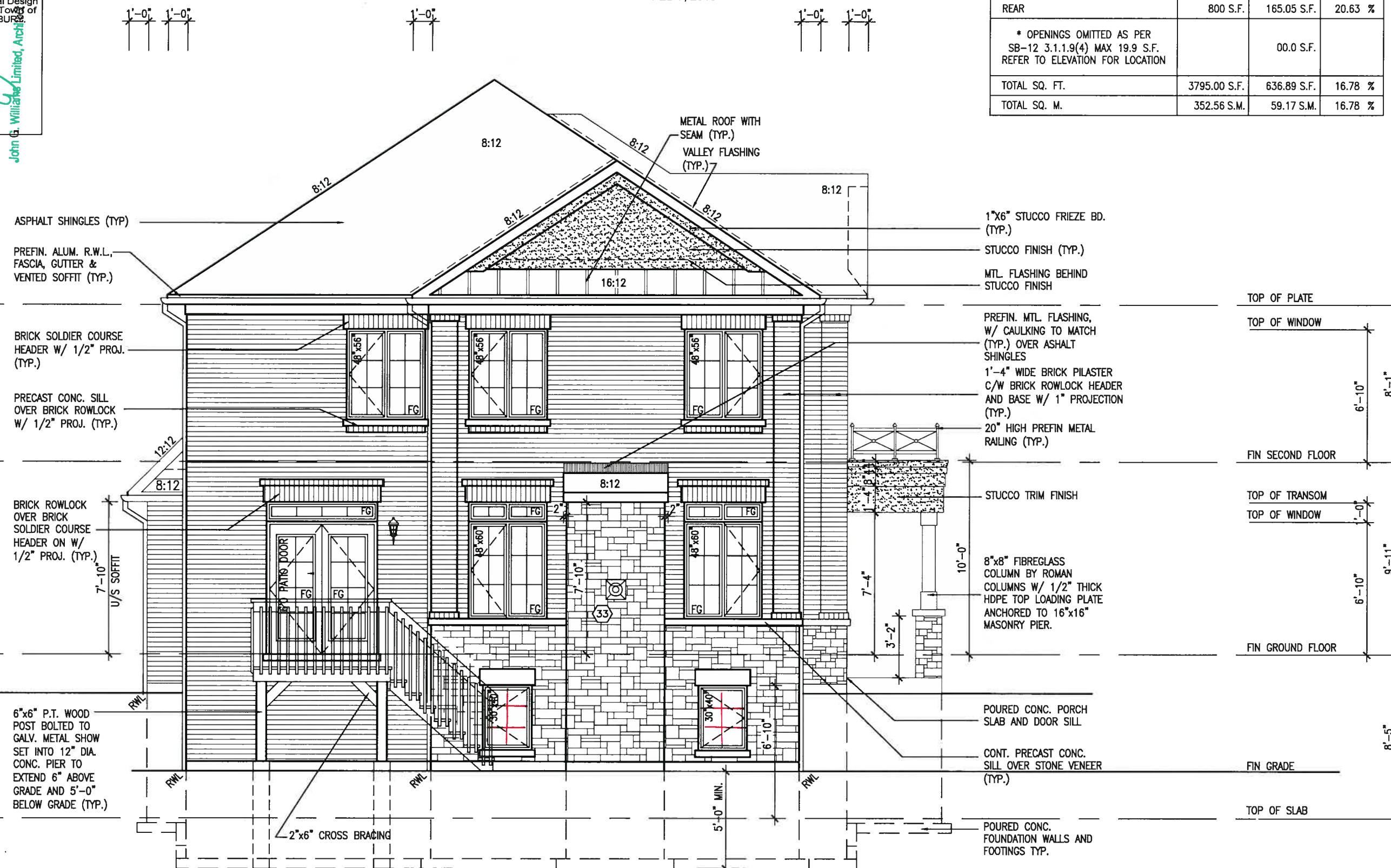
tion of this property in whole or in part is strictly prohibited without VA's be-

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, A



<u>UNINSULATED OPENINGS</u>		(PER OBC. SB-12,3.1.1(7))	
42-7C ELEVATION A WOD	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675 S.F.	127.81 S.F.	18.93 %
LEFT SIDE	1160 S.F.	282.52 S.F.	24.36 %
RIGHT SIDE	1160 S.F.	61.51 S.F.	5.30 %
REAR	800 S.F.	165.05 S.F.	20.63 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3795.00 S.F.	636.89 S.F.	16.78 %
TOTAL SQ. M.	352.56 S.M.	59.17 S.M.	16.78 %



REAR ELEVATION 'A'—W.O.D. 9R AND MORE COND.

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

BAYVIEW WELLINGTON

S42-7C
RIDEAU 7

project name	project no.
GREEN VALLEY ESTATES	16023
BRADFORD, ON.	
RIDEAU /	

date	checked by	scale	file name
10C	RC	3/16" = 1'-0"	16023-S42-7C

10A

drawing no. 10A

REAR ELEV. -W.O.D. COND.



DESIGN
2255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

Antarctic Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25591

name	signature	BCIN
------	-----------	------

42658

Contractor must verify all dimensions on the job and report any

drawings and specifications are instruments of service and the property

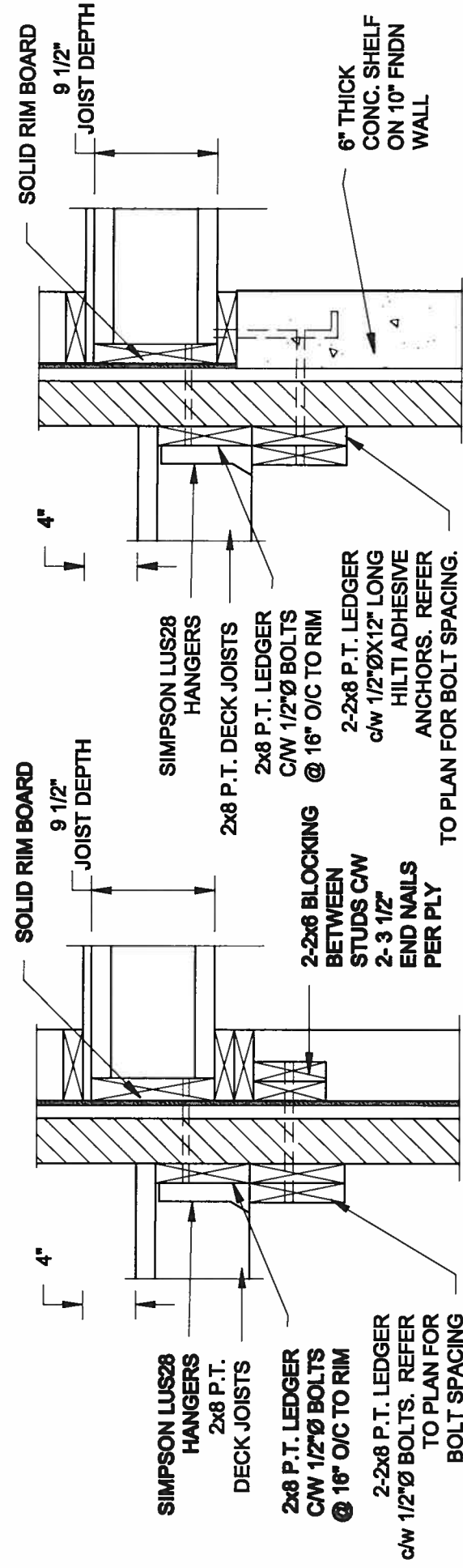
Drawings are not to be scaled.

All drowsy

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no.	description	date	by

Site Copy

FOR 9 1/2" JOIST DEPTH



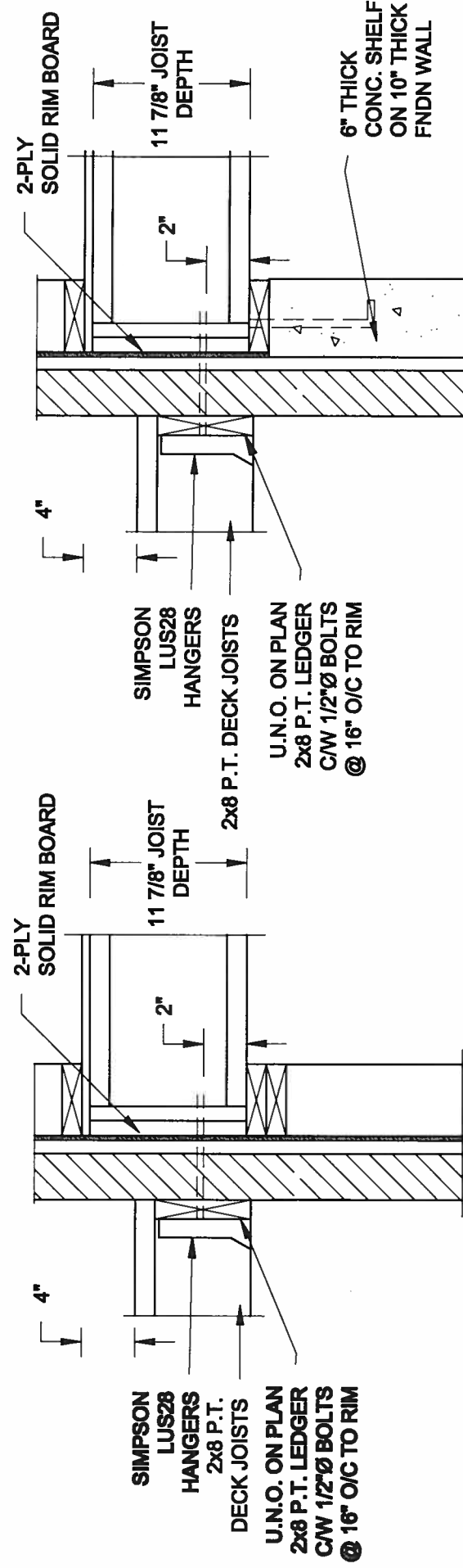
1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

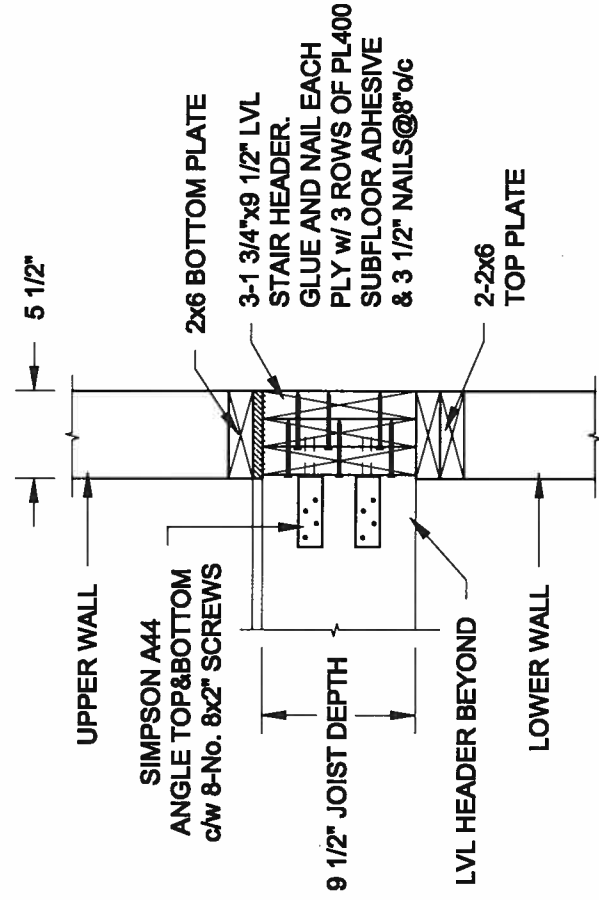
SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



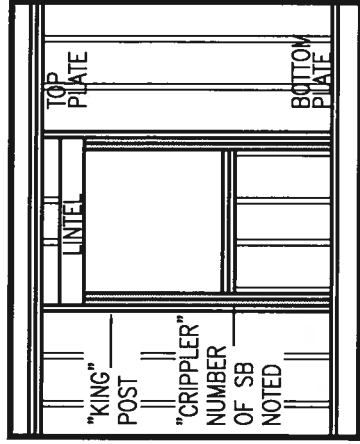
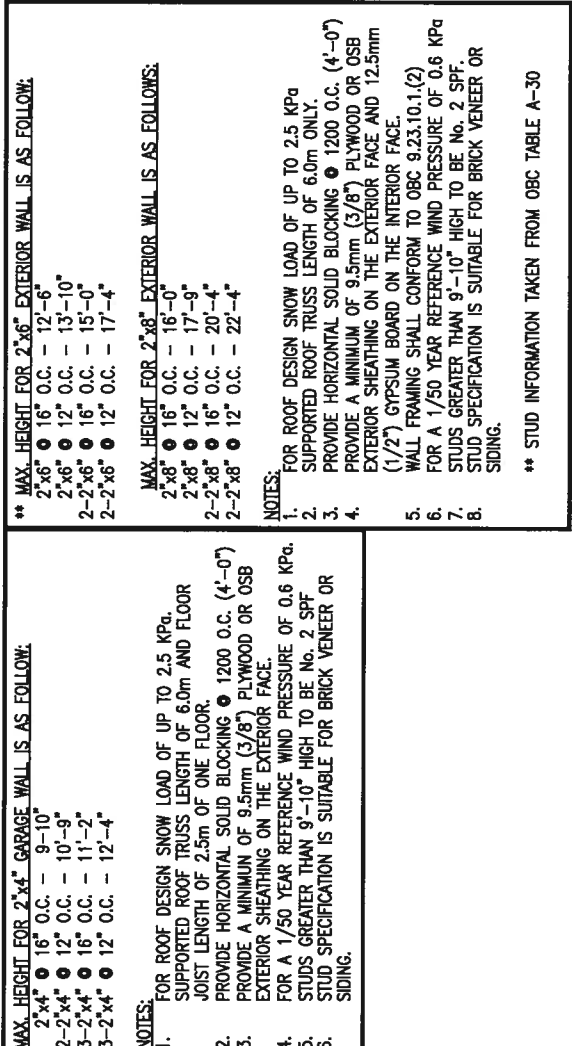
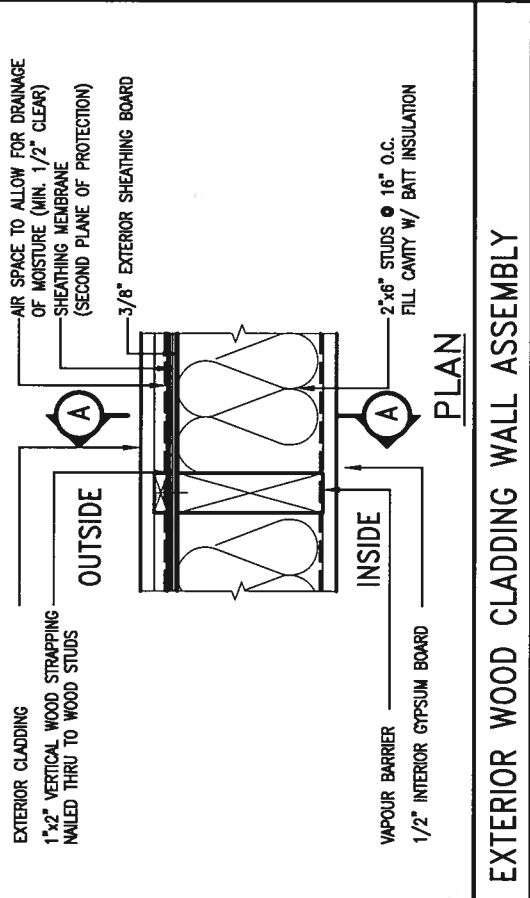
2A STAIR HEADER

SCALE: 1" = 1'-0"

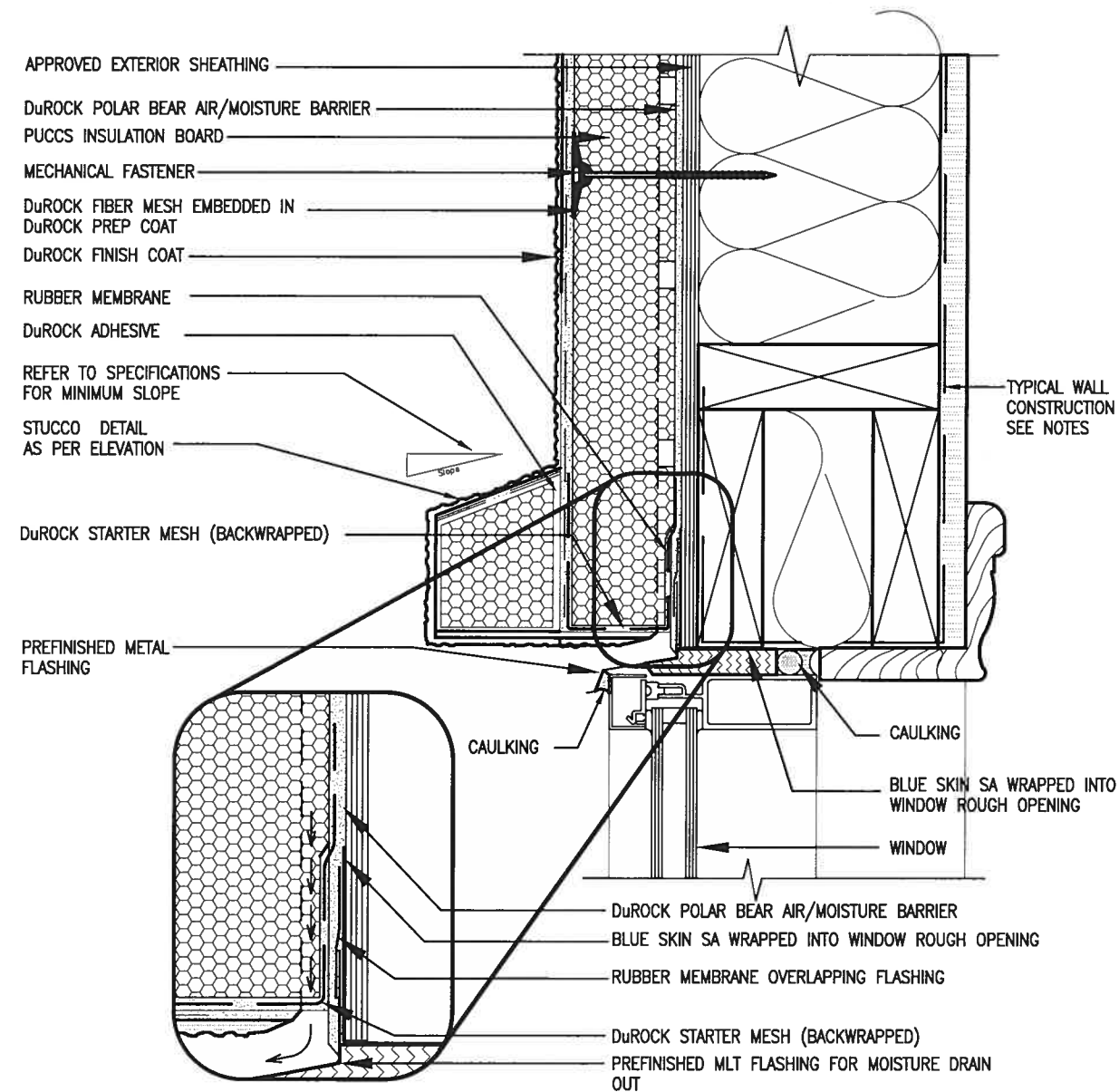
2B STAIR HEADER

SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-20-2017	Drawn: SC		Checked: SJH
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com				
Engineer's Seal:  JAN 16, 2018				
Project: DAYVIEW WELLINGTON HOMES - GREEN VALLEY HEIGHTS - SINGLES BRADFORD, ONTARIO		Project No.: 17-215		
Typical Structural Details		Drawing No.: S2		



"CRIPPLE" DETAIL



WINDOW

BLUE SKIN SA WRAPPED INTO WINDOW ROUGH OPENING

BACKER ROD AND SEALANT (VENTED)

REFER TO SPECIFICATIONS FOR MINIMUM SLOPE

DuRock STARTER MESH (BACKWRAPPED)

STUCCO DETAIL AS PER ELEVATION

DuRock ADHESIVE

DuRock FINISH COAT

DuRock FIBER MESH EMBEDDED IN DuRock PREP COAT

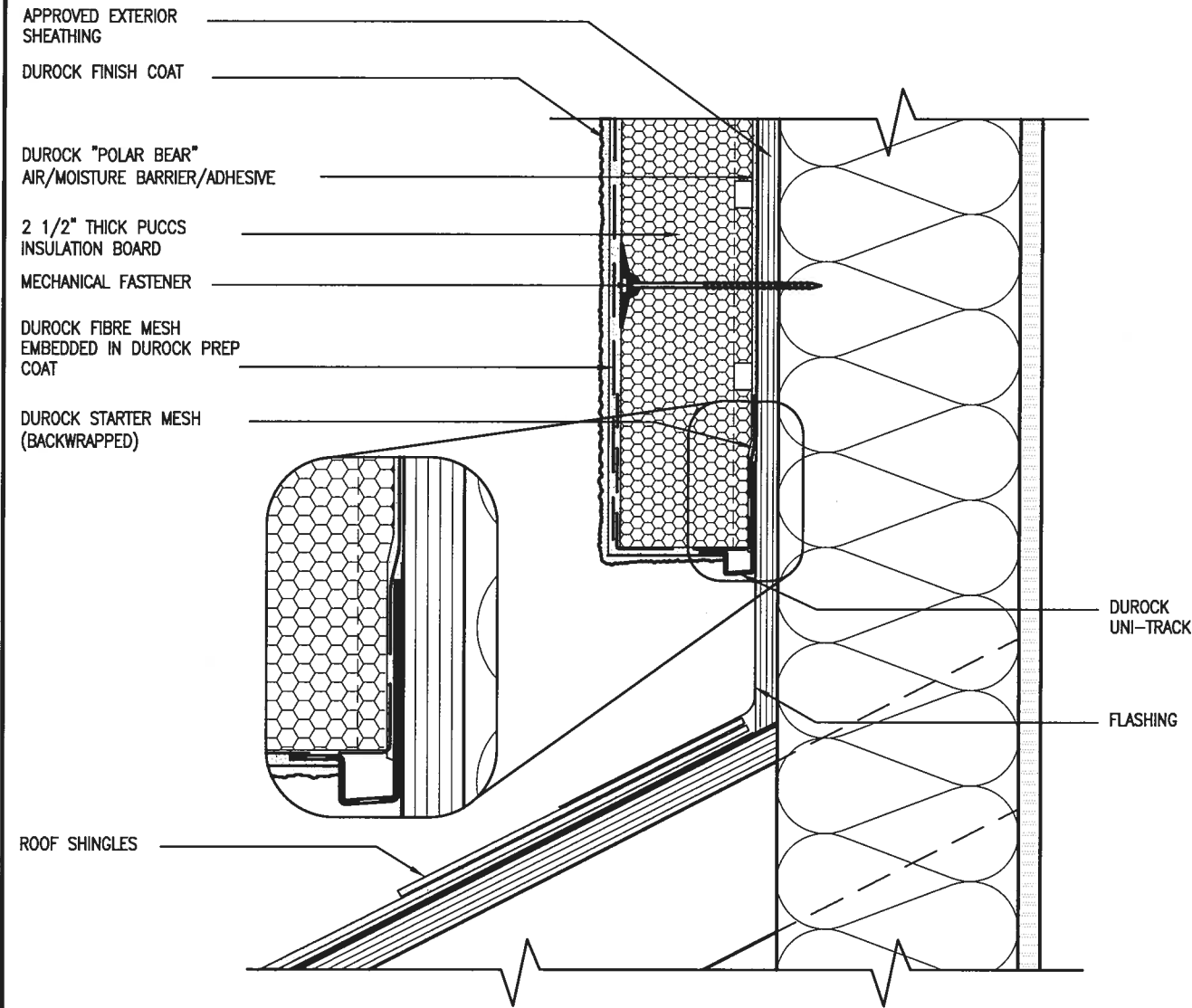
PUCCS INSULATION BOARD

MECHANICAL FASTENER

DuRock POLAR BEAR AIR/MOISTURE BARRIER AND ADHESIVE

APPROVED EXTERIOR SHEATHING

TYPICAL WALL CONSTRUCTION SEE NOTES

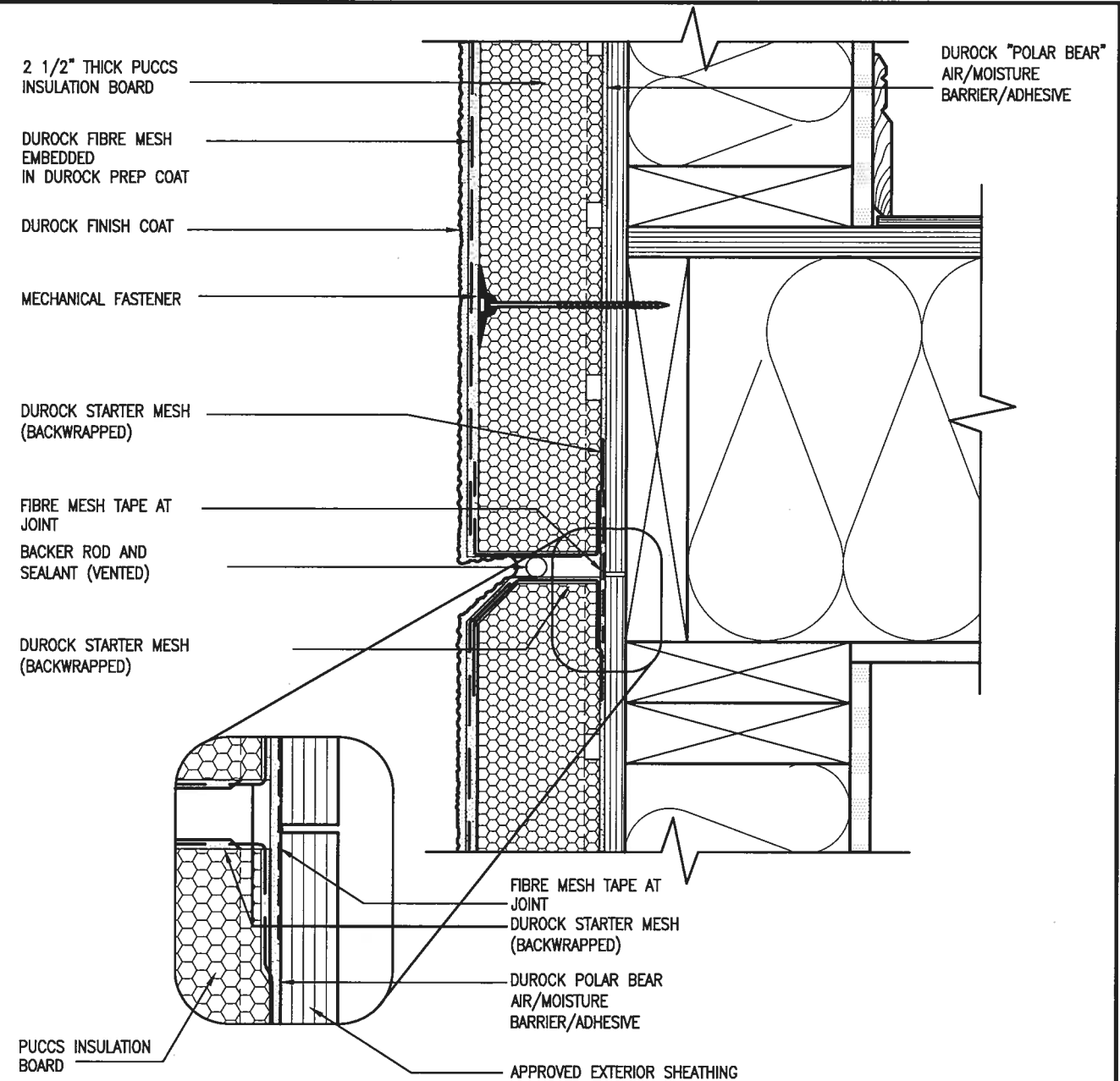


3
CN4

STUCCO TERMINATION @ ROOF

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

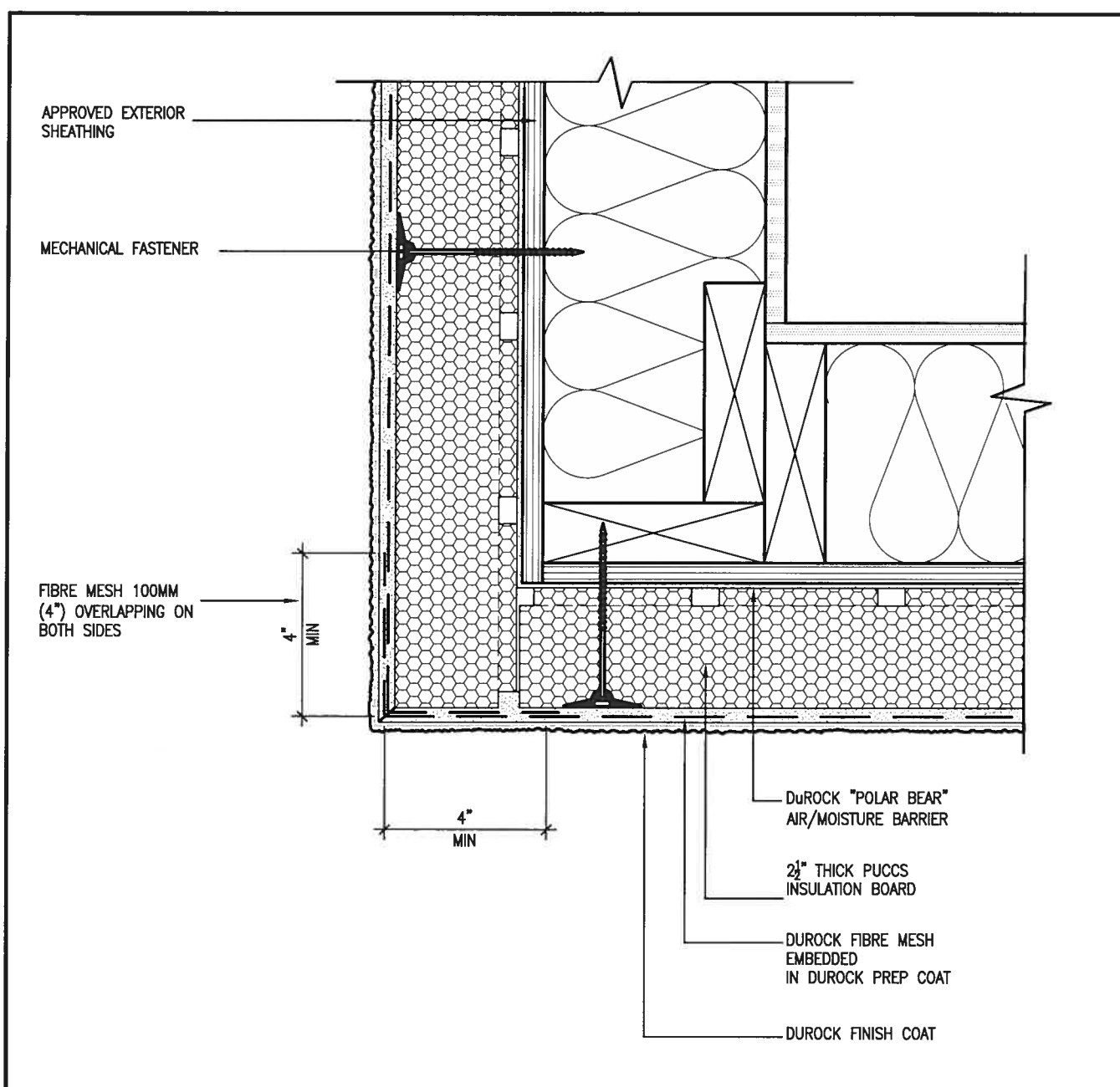


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CN4

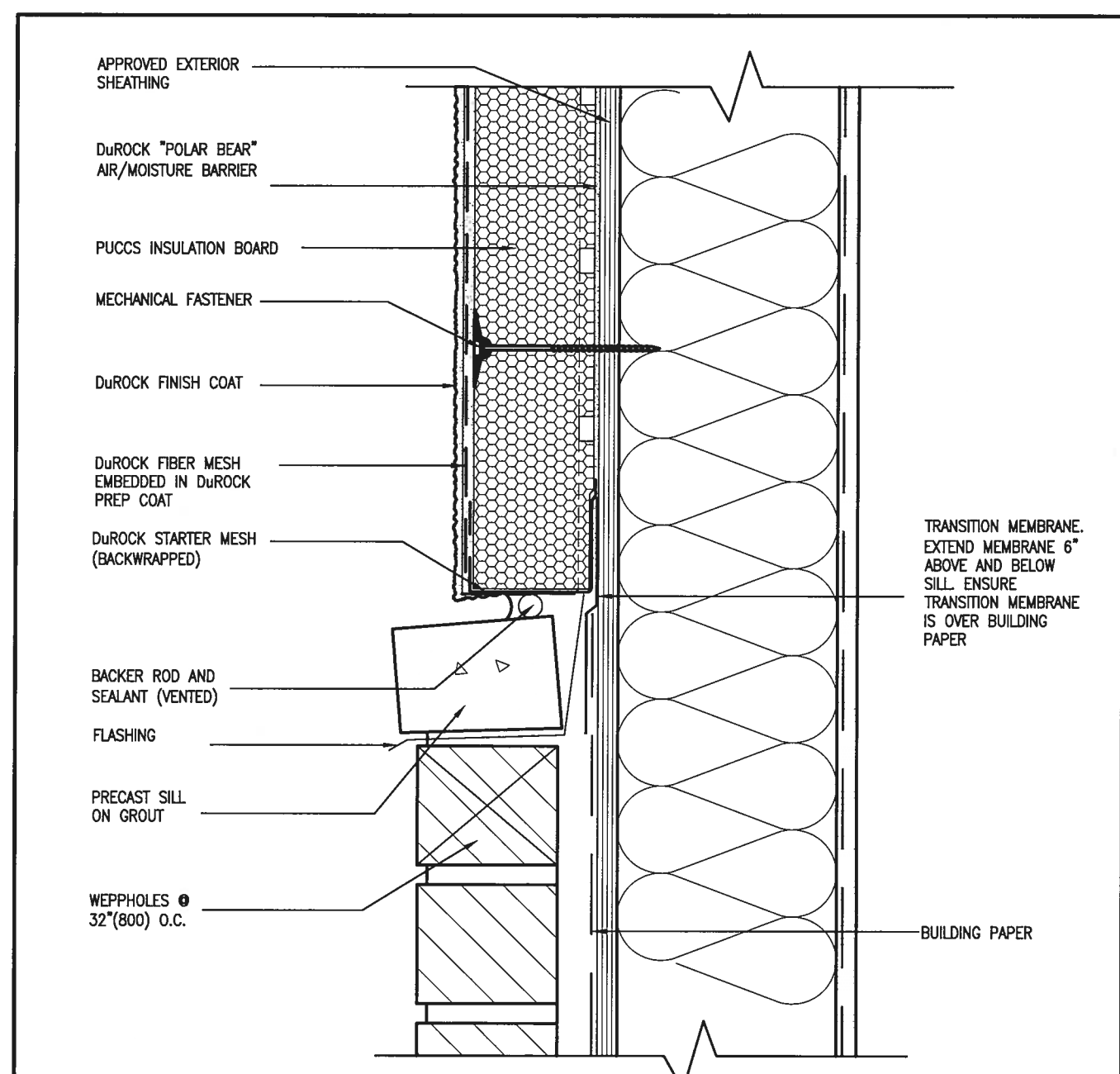
HORIZONTAL EXPANSION JOINT

SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN4	
project no.	16023	project name	GREEN VALLEY EAST	date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"	file name	16023-CN-A1
drawing no.	CN4	drawn by	RC	drawn by	RC	checked by	RC	scale	3/16" = 1'-0"	file name	16023-CN-A1
1. ISSUE FOR CLIENT REVIEW 2. UPDATE TO 2018 3. UPDATE TO 2018 4. UPDATE TO 2018 5. UPDATE TO 2018 6. UPDATE TO 2018 7. UPDATE TO 2018 8. UPDATE TO 2018 9. UPDATE TO 2018											
no.	1	description	ISSUE FOR CLIENT REVIEW	date	AUG 04-17	by	RC	date	JAN 11-18	by	RC
The undersigned has reviewed and takes responsibility for this design and the construction of the project in accordance with the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN signature registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.											



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

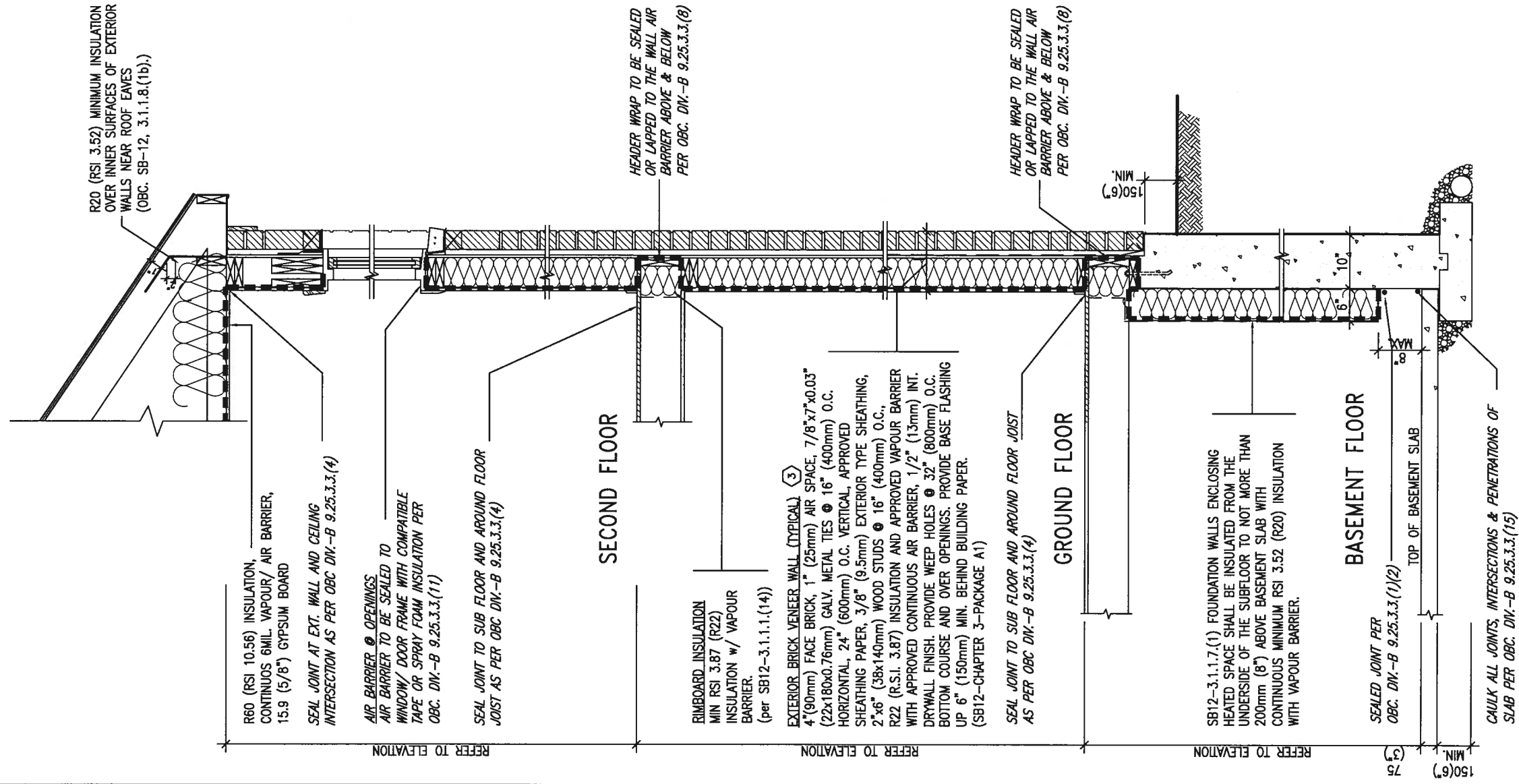


6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE BAYVIEW WELLINGTON GREEN VALLEY EAST		CONSTRUCTION NOTES project no. 16023 municipality BRADFORD date MAY 2016 checked by RC scale 3/16" = 1'-0" drawing no. CN5	
		project name GREEN VALLEY EAST date MAY 2016 checked by RC scale 3/16" = 1'-0" drawing no. CN5	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com		The undersigned has reviewed and takes responsibility for this design and the construction of the project and ensures the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN registration information VA3 Design Inc. 42658 BCN	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		2 UPDATE TO 2018 RC 1 ISSUE FOR CLIENT REVIEW no. description date by	

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1 - COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC, DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

SCALE: N.T.S.

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2	UPWIDE TO 1018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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qualification information

Wellington Jno-Baptiste

name

registration information

VAS Design Inc.

BCR#

signature

25591

42658

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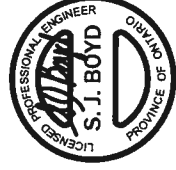
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project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
drawn by RC	drawing no.
scale 3/16" = 1'-0"	CN6
checked by --	CONSTRUCTION NOTES
file name 16023-CN-A1	
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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

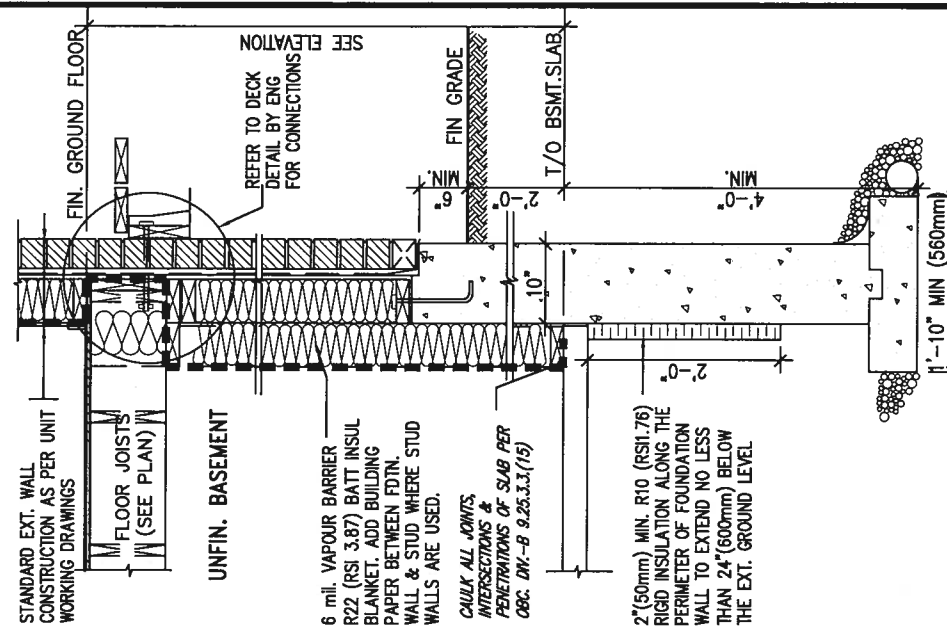
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV	75%	—
Minimum Efficiency Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR 75%	Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci- Denotes Continuous Insulation without framing interruption.



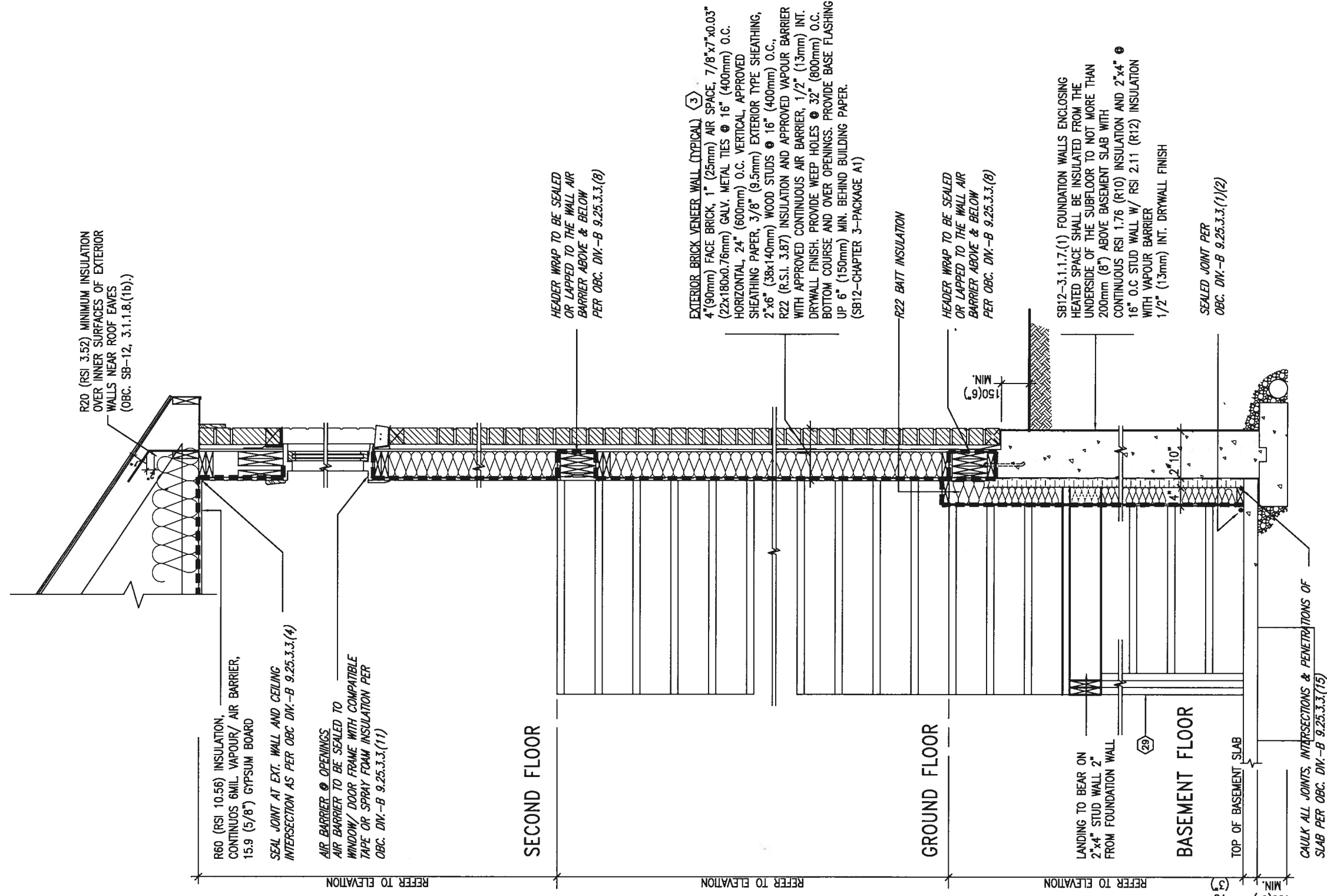
JAN 11, 2018



* REVISED--FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL

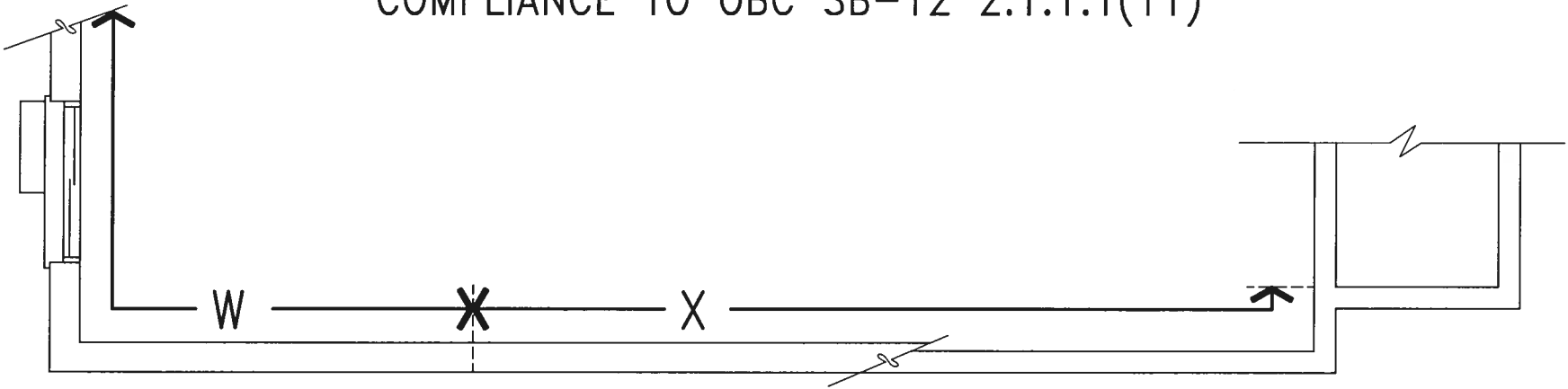
SCALE: N.T.S.

9	.	.		The undersigned has reviewed and takes responsibility for this design and Ontario Building Code to be a Designer.	Wellington Jno-Baptiste signature 25591 BC#N VAS Design Inc. 42658
8	.	.		qualification information	
7	.	.			
6	.	.			
5	.	.			
4	.	.			
3	.	.			
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description		date	by	

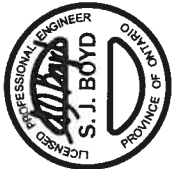
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BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	project no. 16023
municipality BRADFORD	drawing no.
date MAY 2016	CN7
scales from by RC	CONSTRUCTION NOTES
checked by —	this name 16023-CN-AI
scale 3/16" = 1'-0"	
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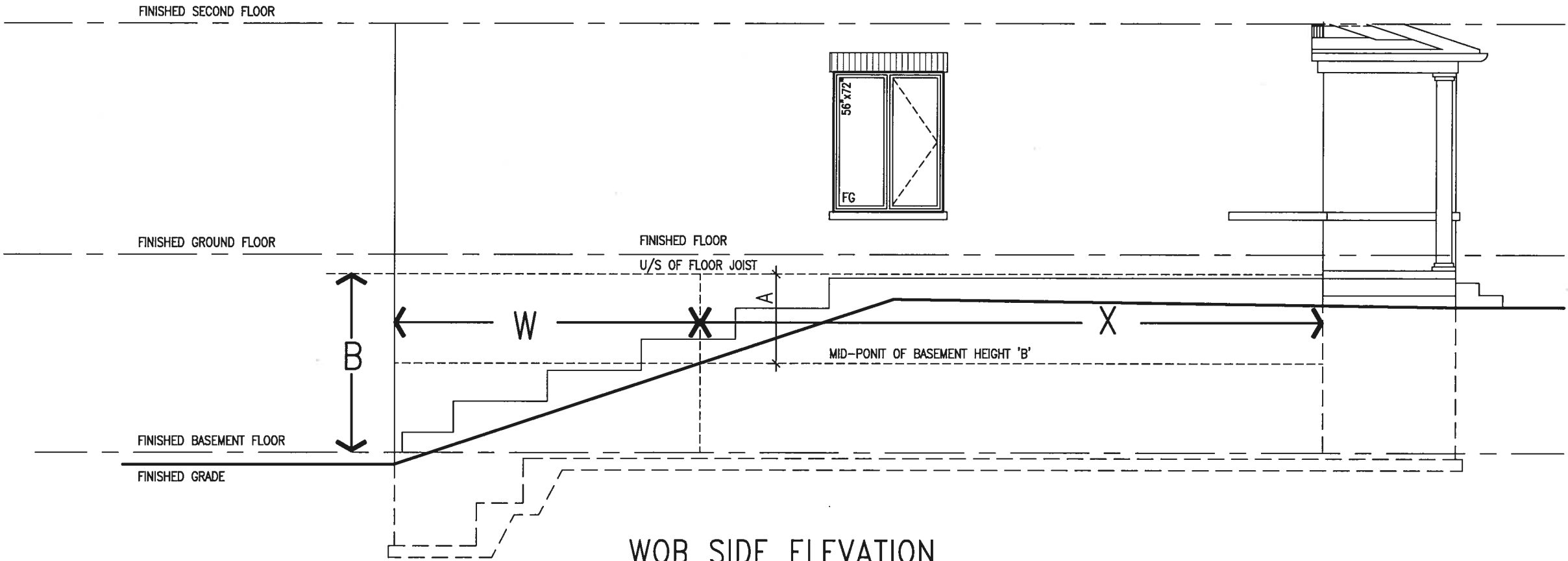
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

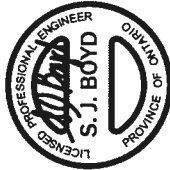
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
signature
name and registration information
V3 Design Inc. 42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST		project no. 16023	
city MAY 2016		drawing no. CN8	
drawn by RC		checked by —	
scale 3/16" = 1'-0"		this name 16023-CN-A1	
CONSTRUCTION NOTES			
RICHARD — H:\ARCHIVE\WORKING\2016\16023.BW Units CN NOTES\16023-CN-A1.dwg — Thu — Jun 11 2016 — 10:09 AM			



BAYVIEW WELLINGTON

CONST NOTE

project name
GREEN VALLEY EAST

project no.
16023

drawing no.
CN9

municipality
BRADFORD

checked by
RC

scale
3/16" = 1'-0"

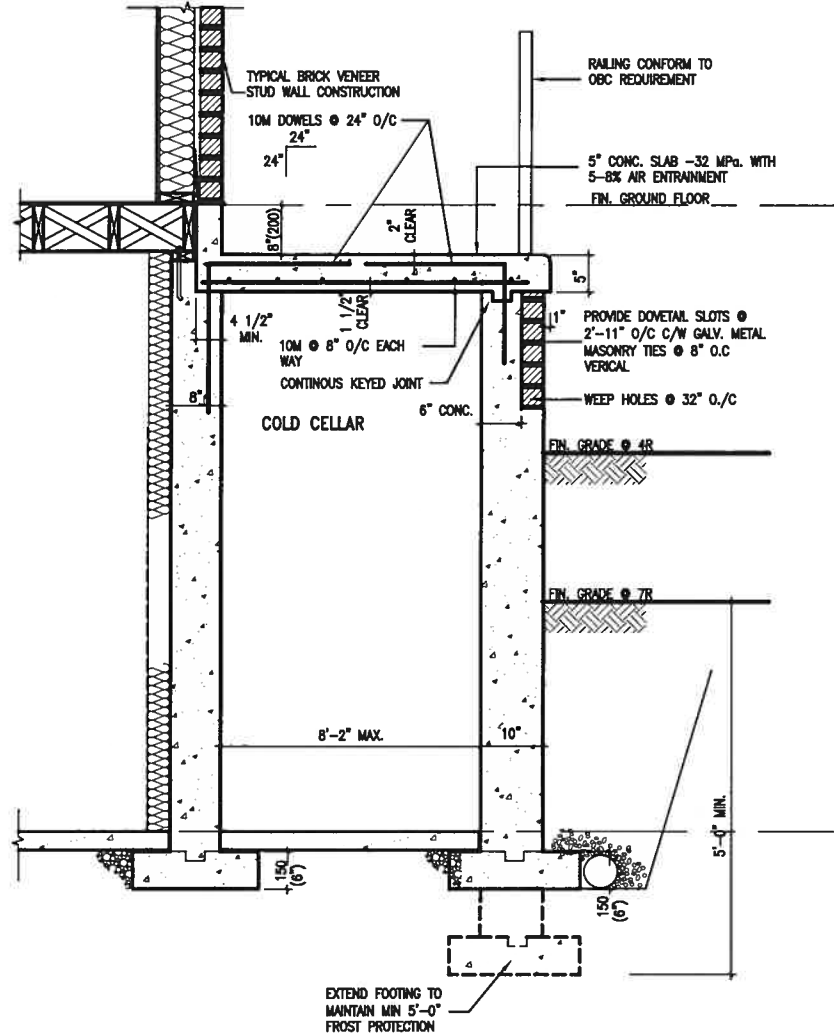
CONSTRUCTION NOTES
16023-CN-A1
16023-CN-A1
16023-CN-A1



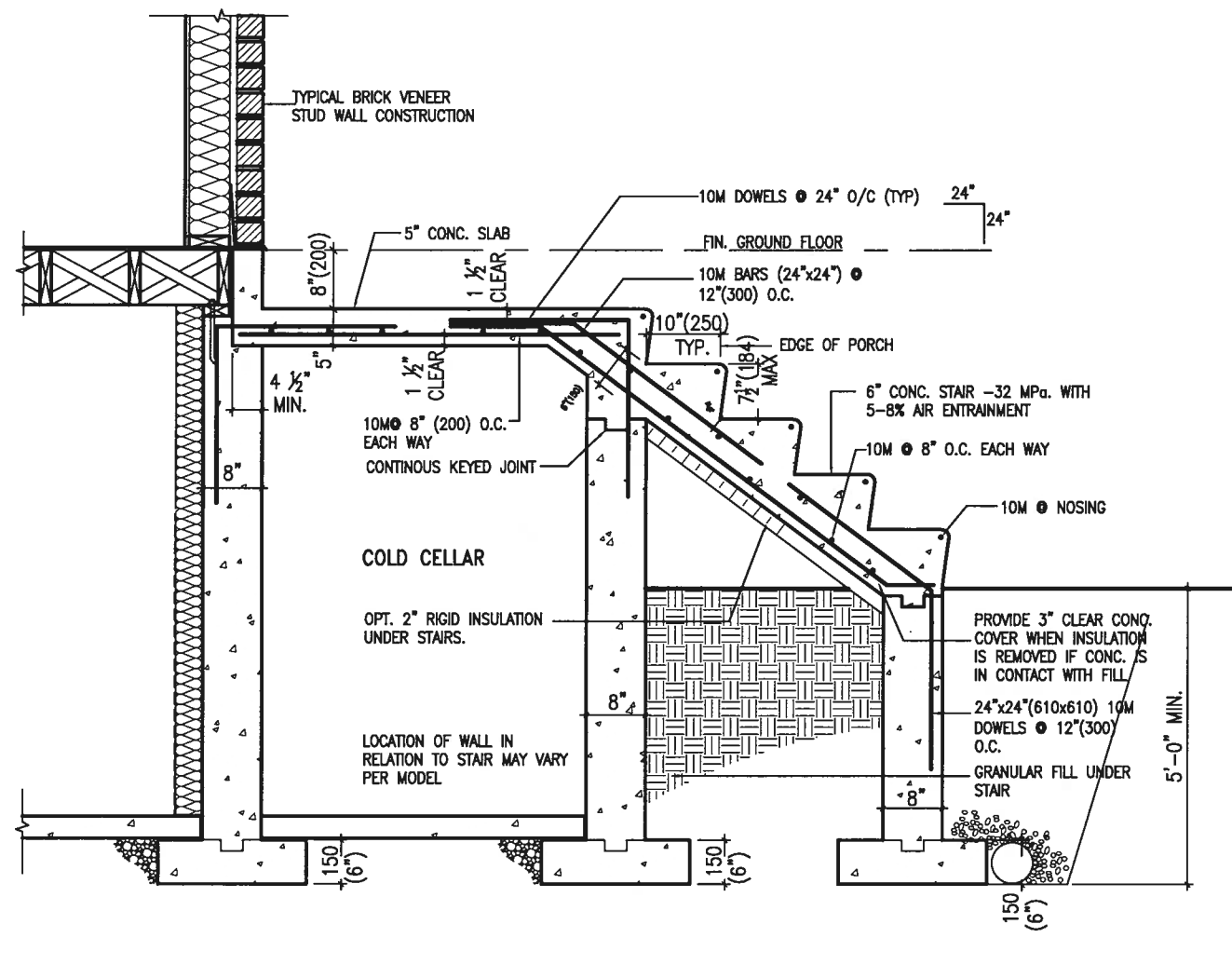
The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

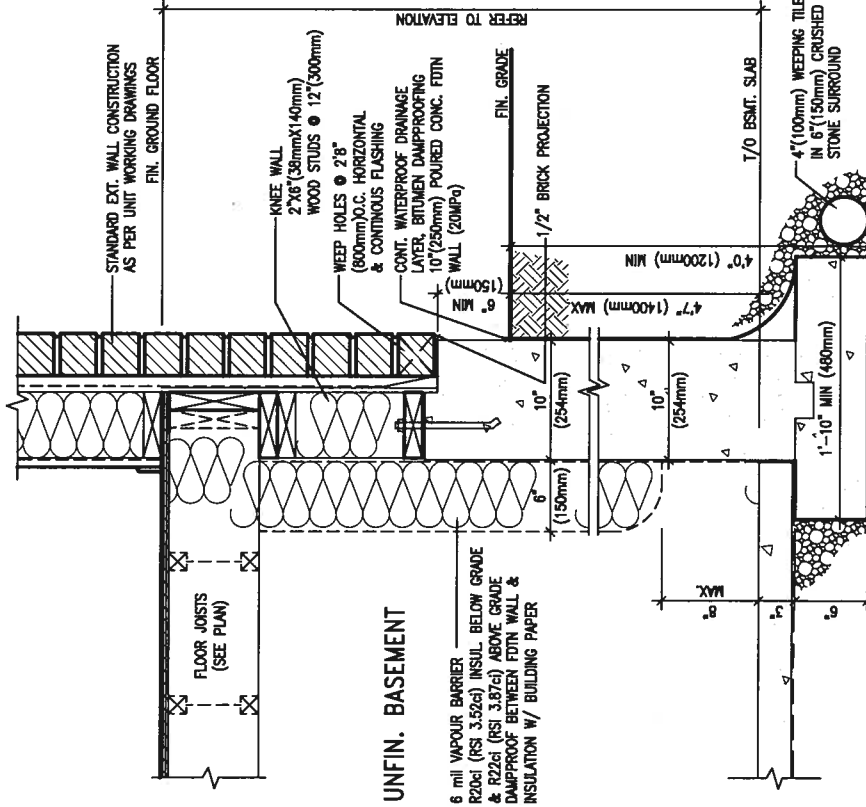
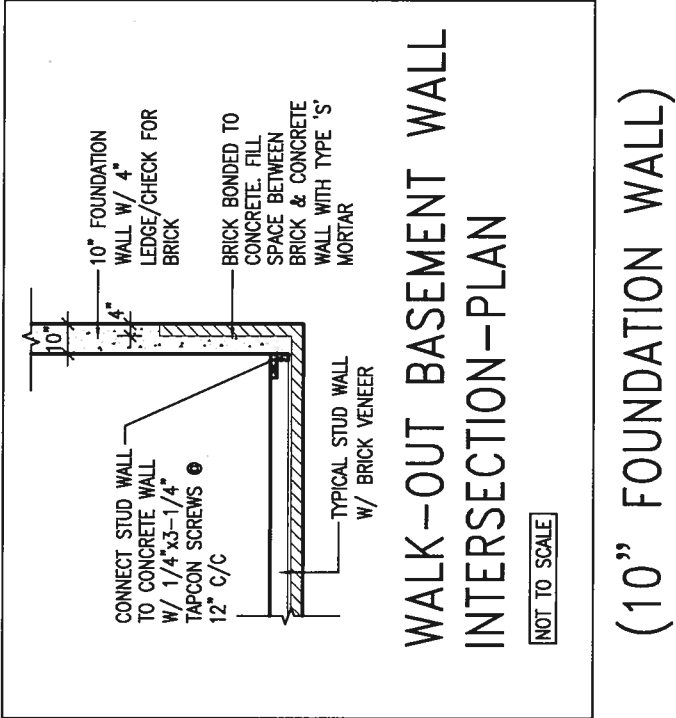
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X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



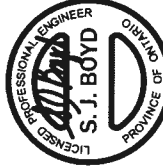
X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.

SCALE: N.T.S.

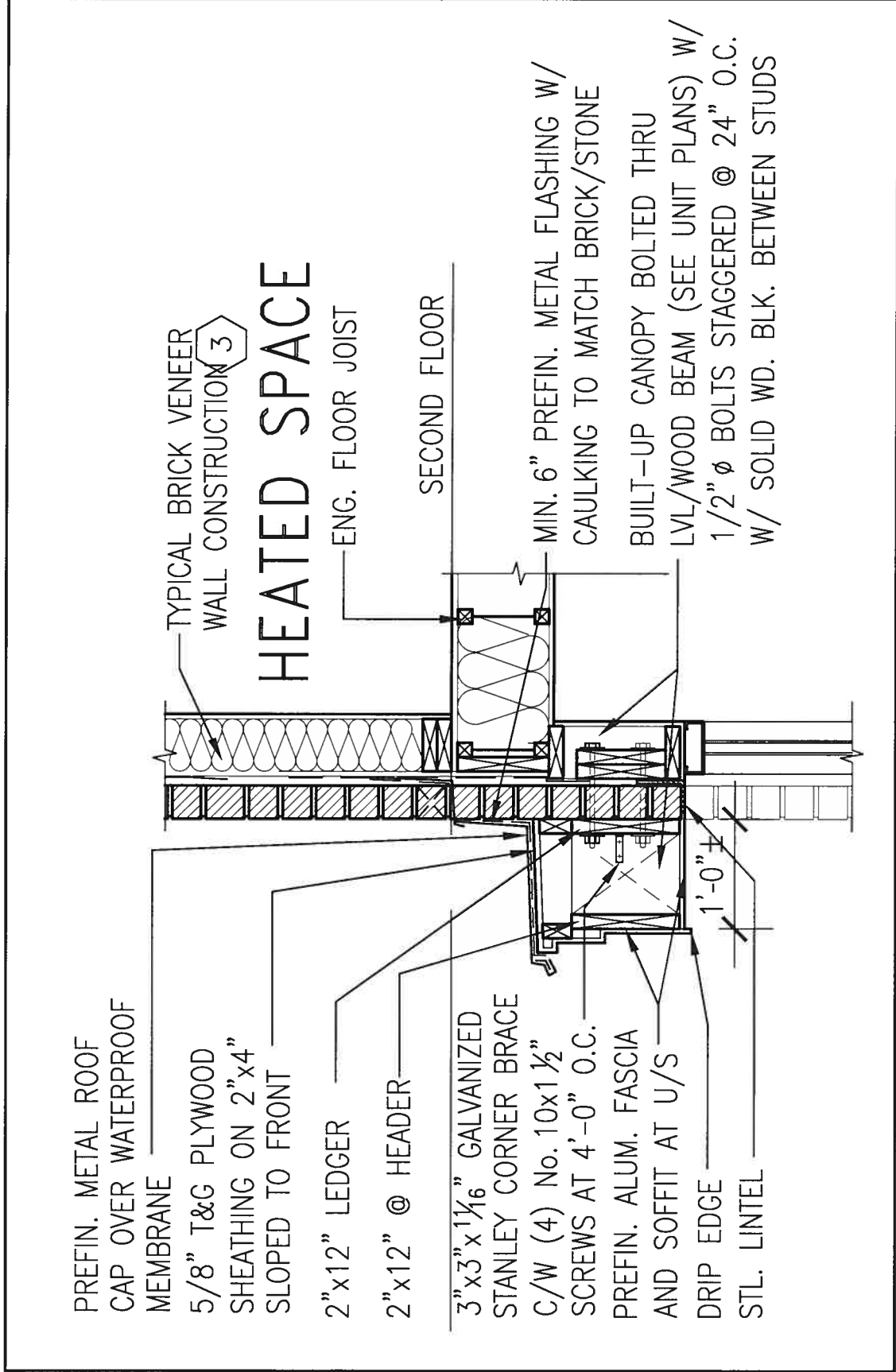


JAN 11, 2018

	The undersigned has reviewed and takes responsibility for this design
	I warrant that I am qualified under the requirements set out in the Ontario Building Code to be a Designer.
9 . *	
8 . *	
7 . *	
6 . *	
5 . *	
4 . *	
3 . *	
2 UPDATE TO 2018 RC	JAN 11-18
1 ISSUE FOR CLIENT REVIEW	AUG 04-17
(no. description)	date by

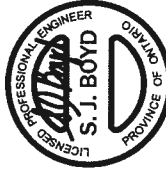
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date MAY 2016		checked by RC		scale 3/16" = 1'-0"	
sheet 1		drawing no. 16023-CH-A1		drawing no. 16023-CH-A1	

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1 SECTION THROUGH CANOPY

CN12 SCALE 1/2" = 1'-0"



9.	.	.	The undersigned has reviewed and takes responsibility for this design and the specifications and details shown on the drawings and in the accompanying notes and specifications and certifies that they comply with the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptista 25591 BCN
6.	.	.	signature
5.	.	.	name registration information VAS Design Inc. 42658
4.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3.	.	.	date by
2.	UPDATE TO 2018	JAN 11-18 RC	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by

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project name	GREEN VALLEY EAST	municipality	BRADFORD	CONST. NOTE
project no.	16023	drawing no.	CN12	
date	MAY 2016	checked by	RC	CONSTRUCTION NOTES
scale	3/16" = 1'-0"	file name	16023-CN-A1	
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