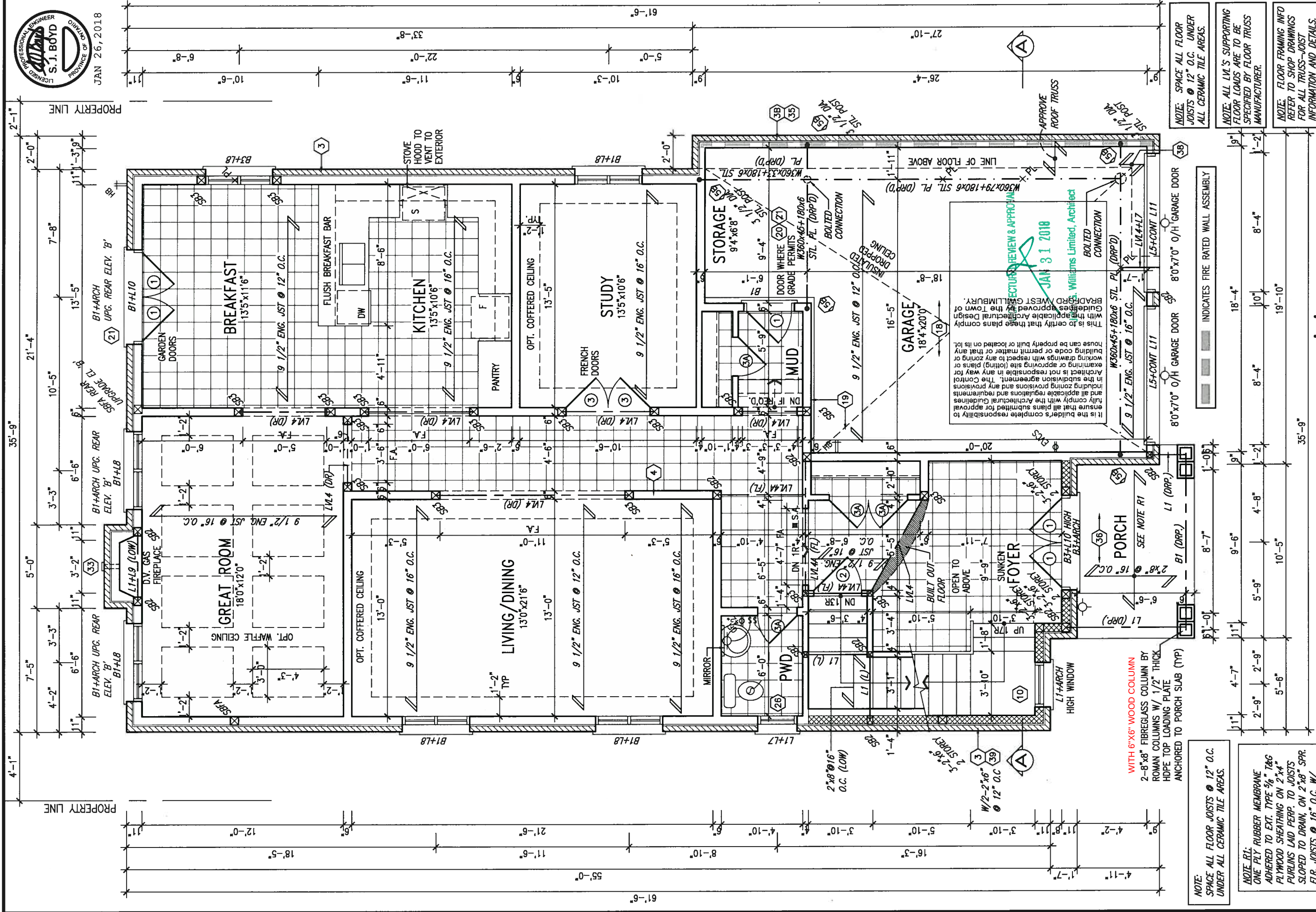


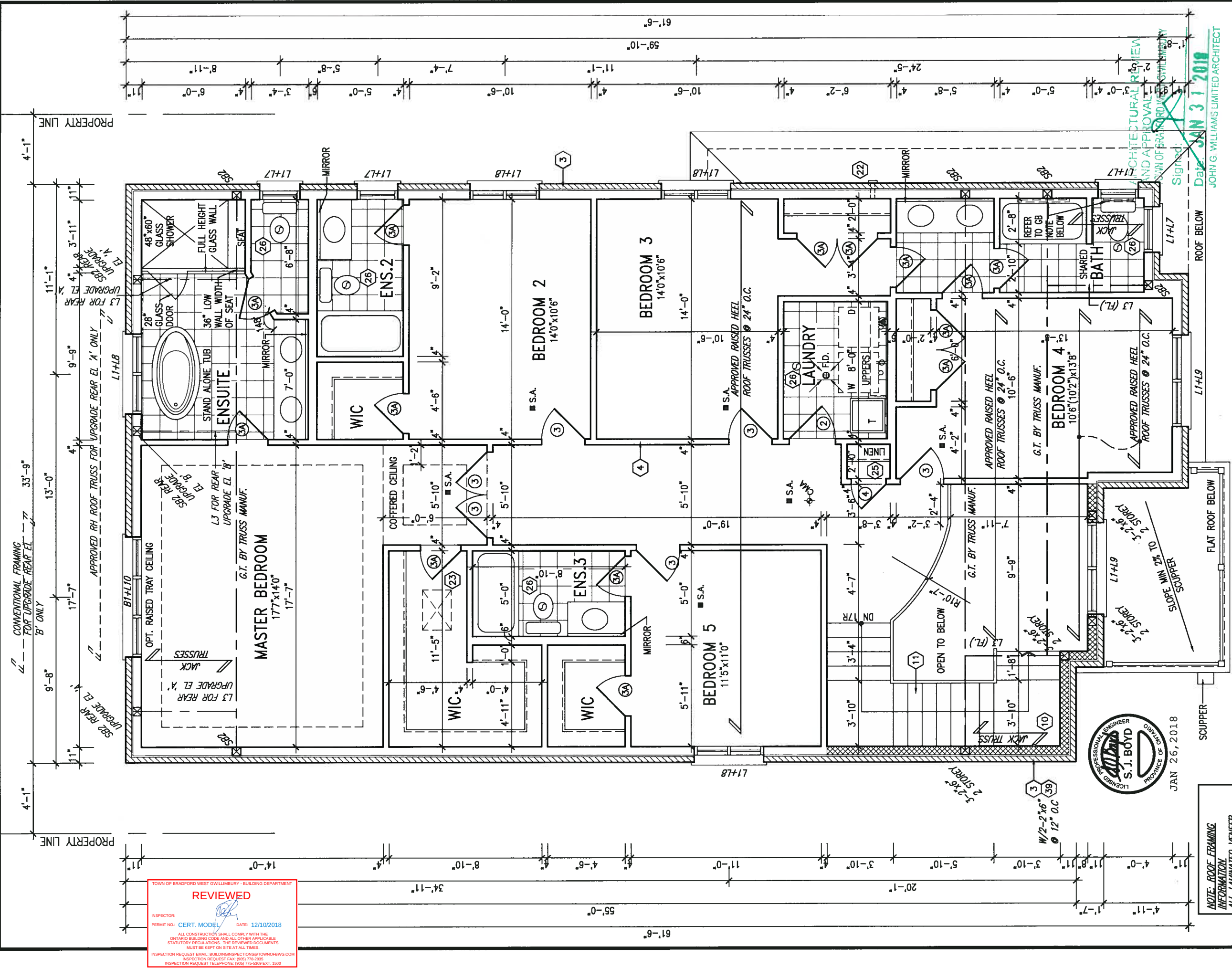


JAN 26, 2018



The undersigned has reviewed and taken responsibility for this design. The plan has been prepared in accordance with the requirements set out in the Ontario Building Code to be a designer.		signature	25591	42658
specification information	Wellington Jno-Baptiste	signature	25591	42658
name	VA3 Design Inc.	registration information	8881	42658
date	JAN 25-18 RC	contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
description	2 REVISED AS PER ENG'S COMMENTS			
	1 ISSUED FOR CLIENT REVIEW			

Site Copy



NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGERS CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF BRADFORD WEST GUILDFORD. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

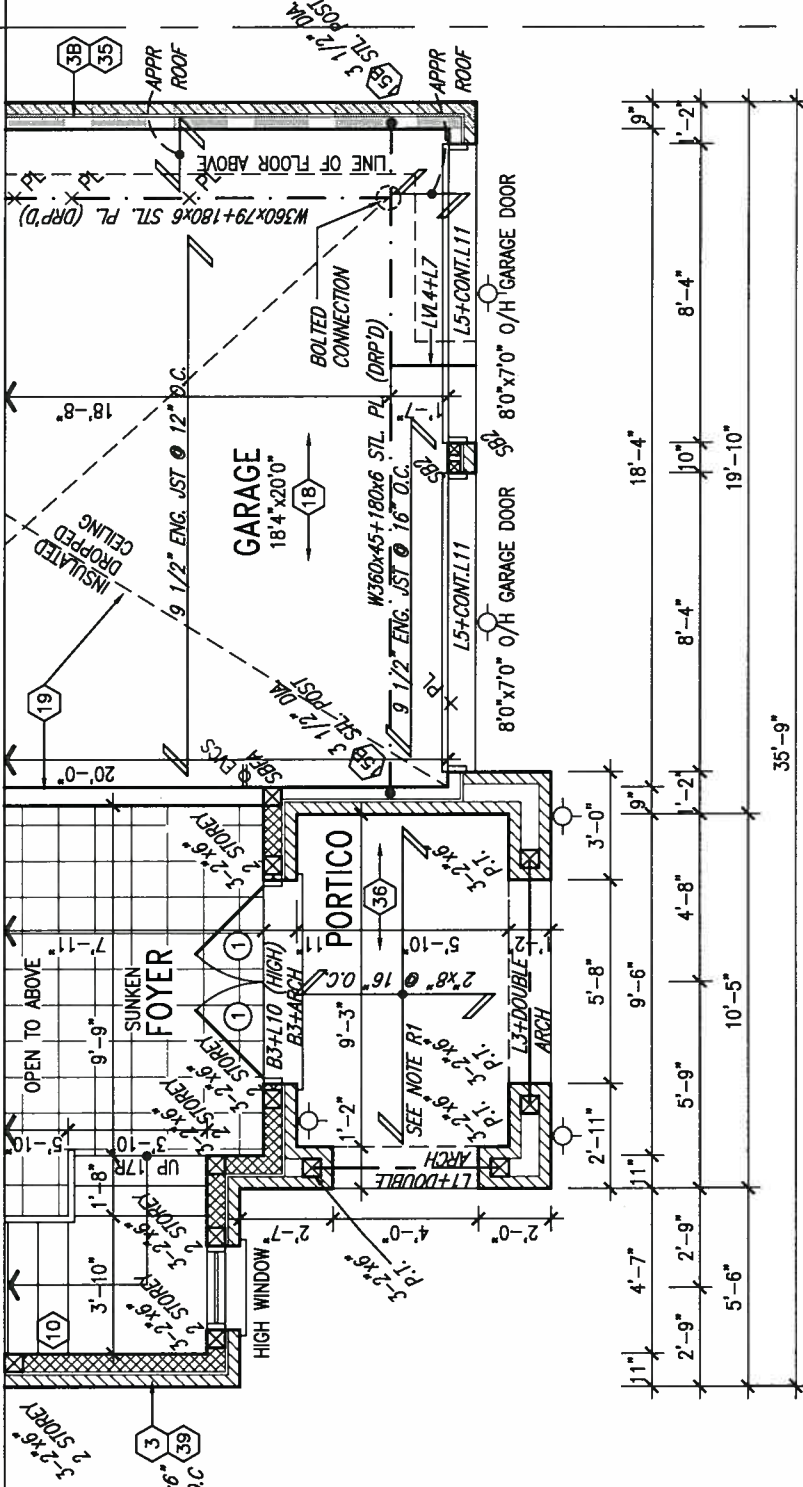
GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.3.2.3, 3.8.3.6.(1)(a), & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

DATE: JAN 31 2018
SIGNED: JOHN G. WILLIAMS LIMITED ARCHITECT

VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		project name GREEN VALLEY EAST		project no. 16023	
qualification information Wellington Jno-Baptiste VA3 Design Inc.		municipality BRADFORD, ONT.		drawing no. 4	
contractor information JAN 25-18 RC JAN 25-18 RC		checked by RC		scale 3/16" = 1'-0"	
description 2 REVISED AS PER ENG'S COMMENTS 1 ISSUED FOR CLIENT REVIEW		date JAN 25-18 RC		file name 16023-S42-6	

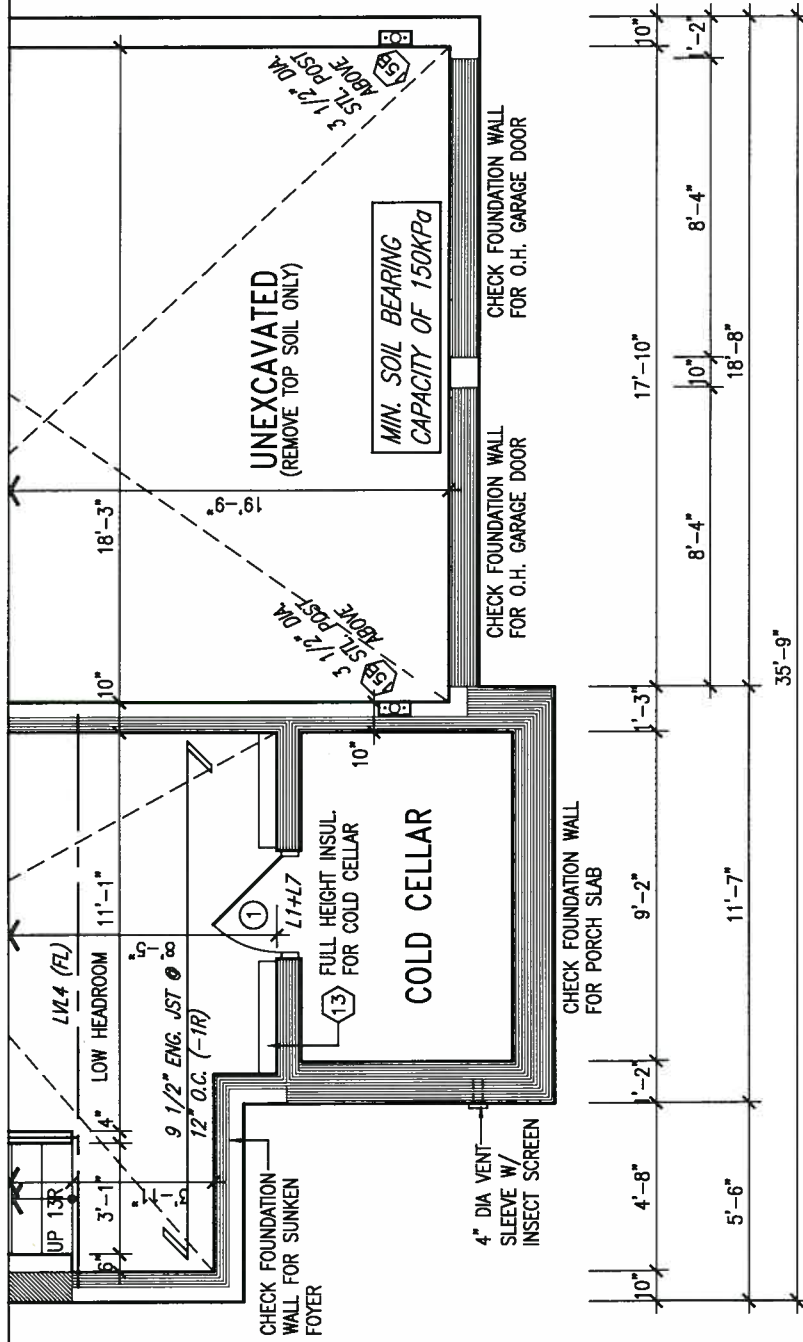
Site Copy

- A minimum 200 amp Panelboard, Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.



NOTE: R1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

 INDICATES FIRE RATED WALL ASSEMBLY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILIMBURY

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

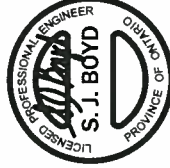
John G. Williams Limited, Architect

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**



JAN 26, 2018

PARTIAL BASEMENT PLAN 'B'

[illegible]

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	municipality
GREEN VALLEY EAST	BRADFORD. ONT.

date _____ PART FLOOR PLAN _____

drawn by	checked by	scale
FEBRUARY, 2017		

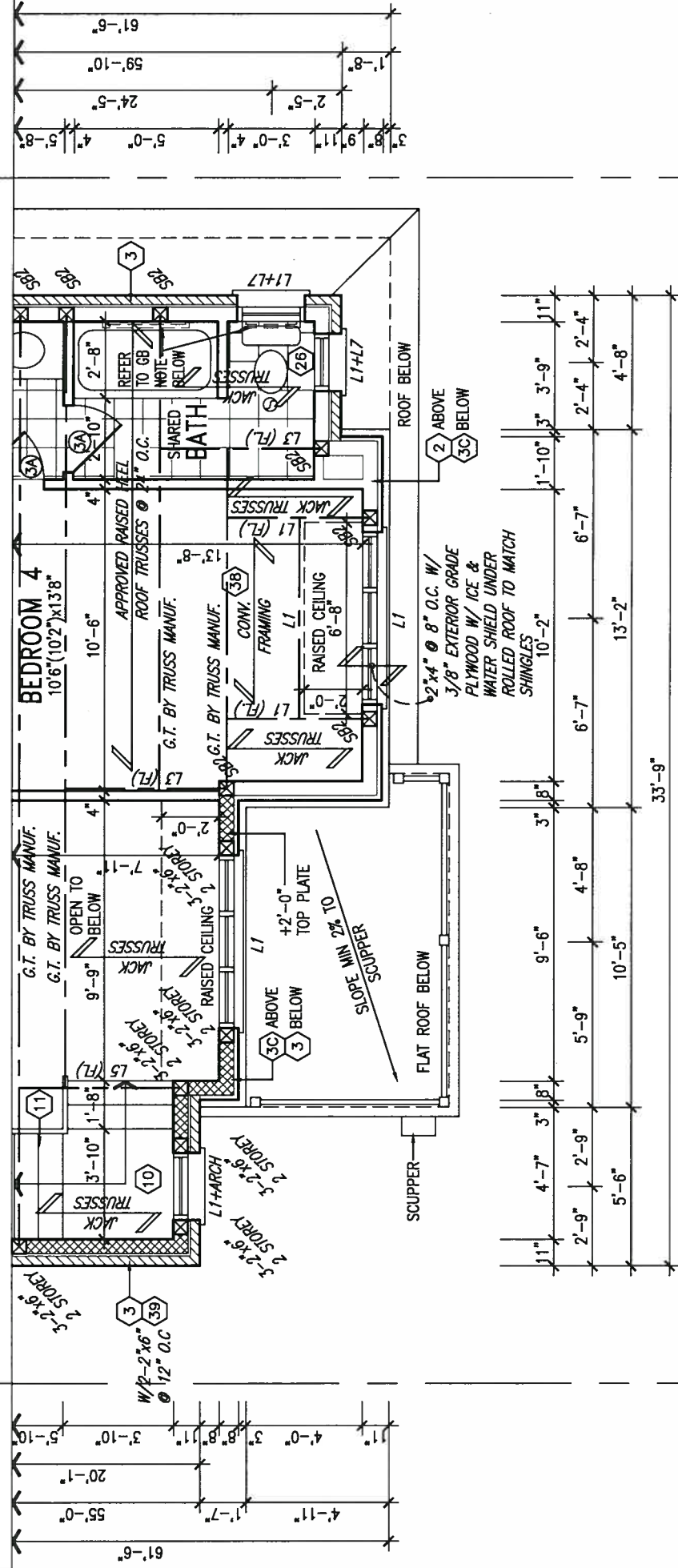
WT	RC	RC	$3/16'' = 1'-0''$
DICHUARD	U.S. AIRCRAFT WORKING CO.	15003 BWA	11-1-47 15003 543 543 543

can are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

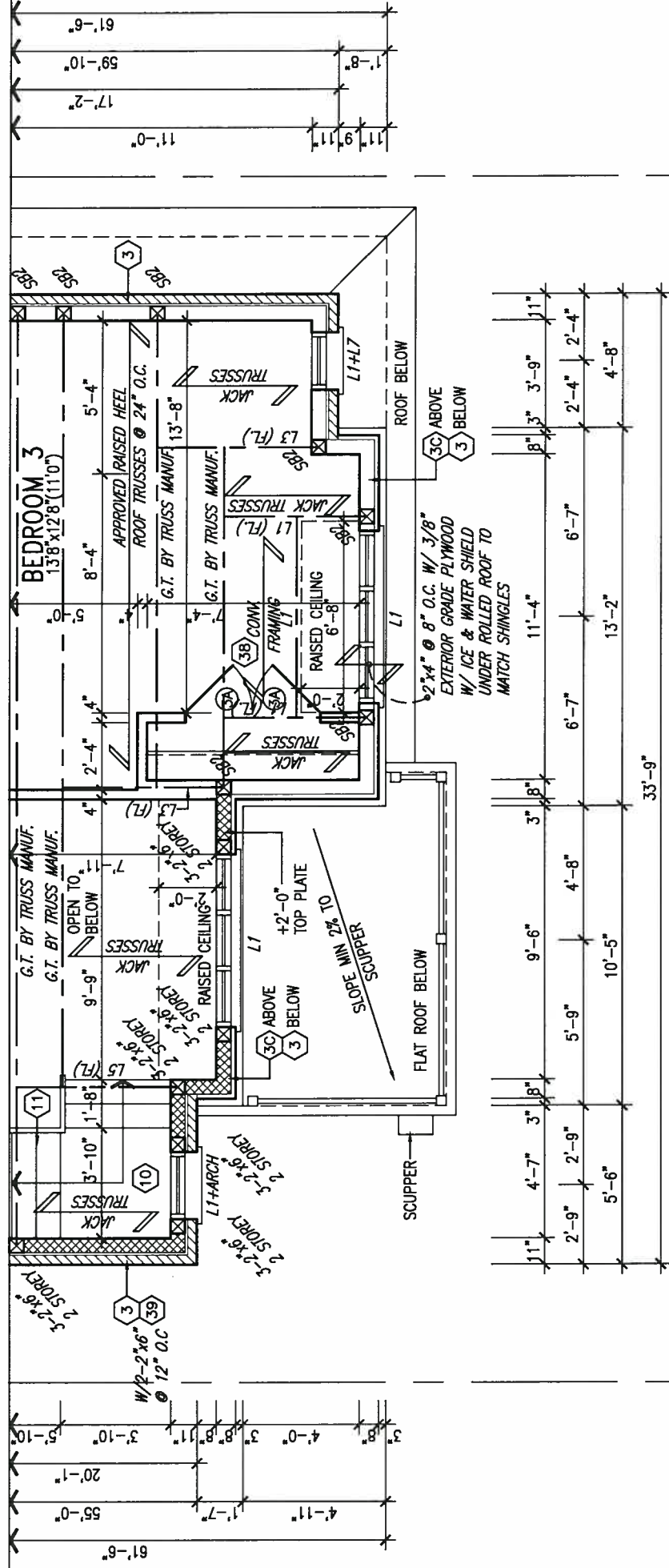
Site Copy

PROPERTY LINE

PROPERTY LINE



PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT

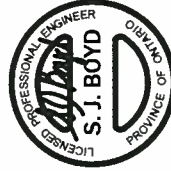
It is the builder's complete responsibility to ensure that the construction of the building complies with the Architectural Guidelines and all applicable provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect



GB NOTE:
STUD WALL REINFORCEMENT FOR BATHROOM FUTURE GRAB BARS IN MAIN
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(i) AND DETAILS PROVIDED

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.	The undersigned has reviewed and takes responsibility for this design and the construction of the building in accordance with the Ontario Building Code to be a design.	qualification information	25591	25591
8.				
7.				
6.				
5.				
4.				
3.				
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC		
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

Site Copy



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

S42-6
RIDEAU 6

project no.
16023

drawing no.
6

file name
16023-S42-6

scale
3/16" = 1'-0"

checked by
RC

drawn by
WT

date
FEBRUARY 2017

part. FLOOR PLANS ELEV. 'B'

Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

- A minimum 200 amp Panelboard.
- Conduit that is not less than 1 1/8" (27mm) trade size.
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

1-2-18



INDICATES FIRE RATED WALL ASSEMBLY



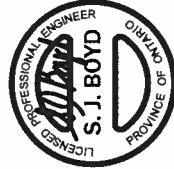
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

John G. Williams Limited, Architect

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFORMATION REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.



JAN 26. 2018

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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

wellington jno-baptiste

25591

name

registration information

signature

BCIN

VAS Design Inc.

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

BAYVIEW WELLINGTON

S42-6
RIDEAU 6



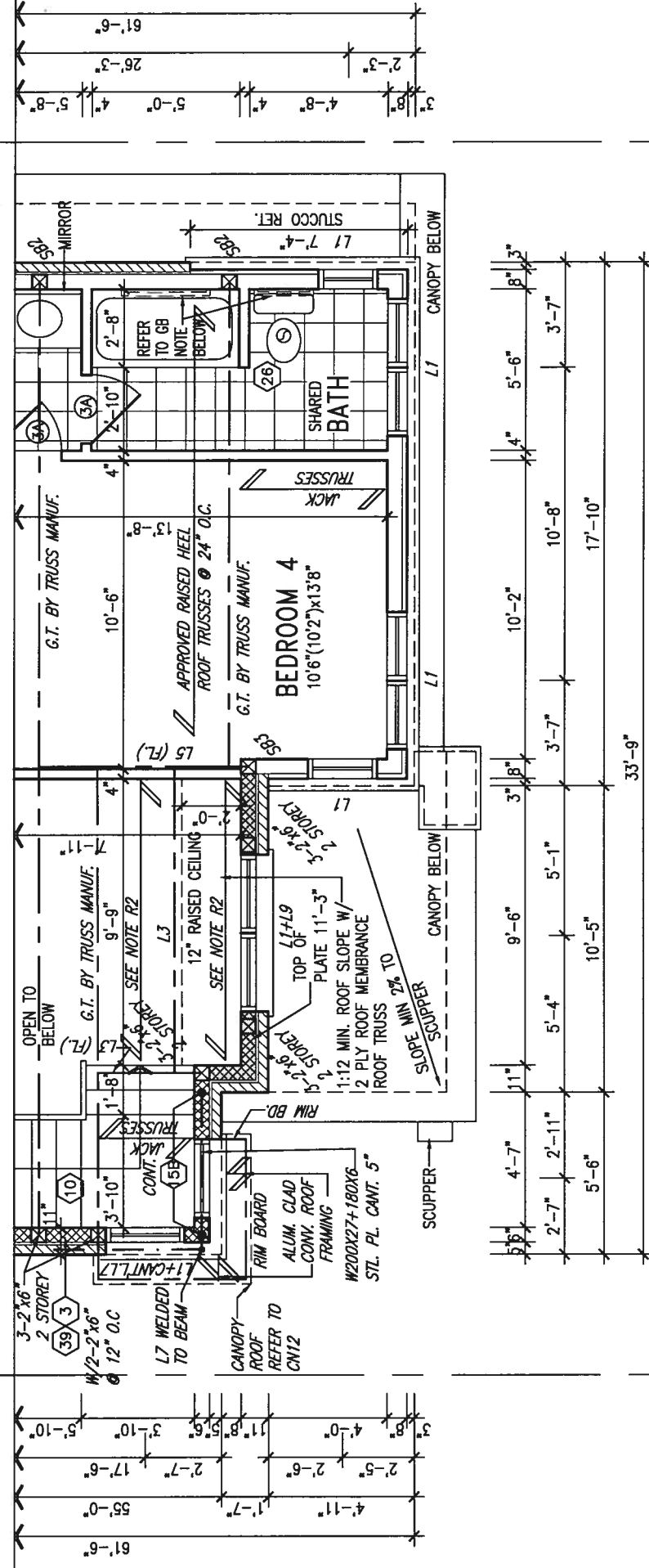
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Appendix IV

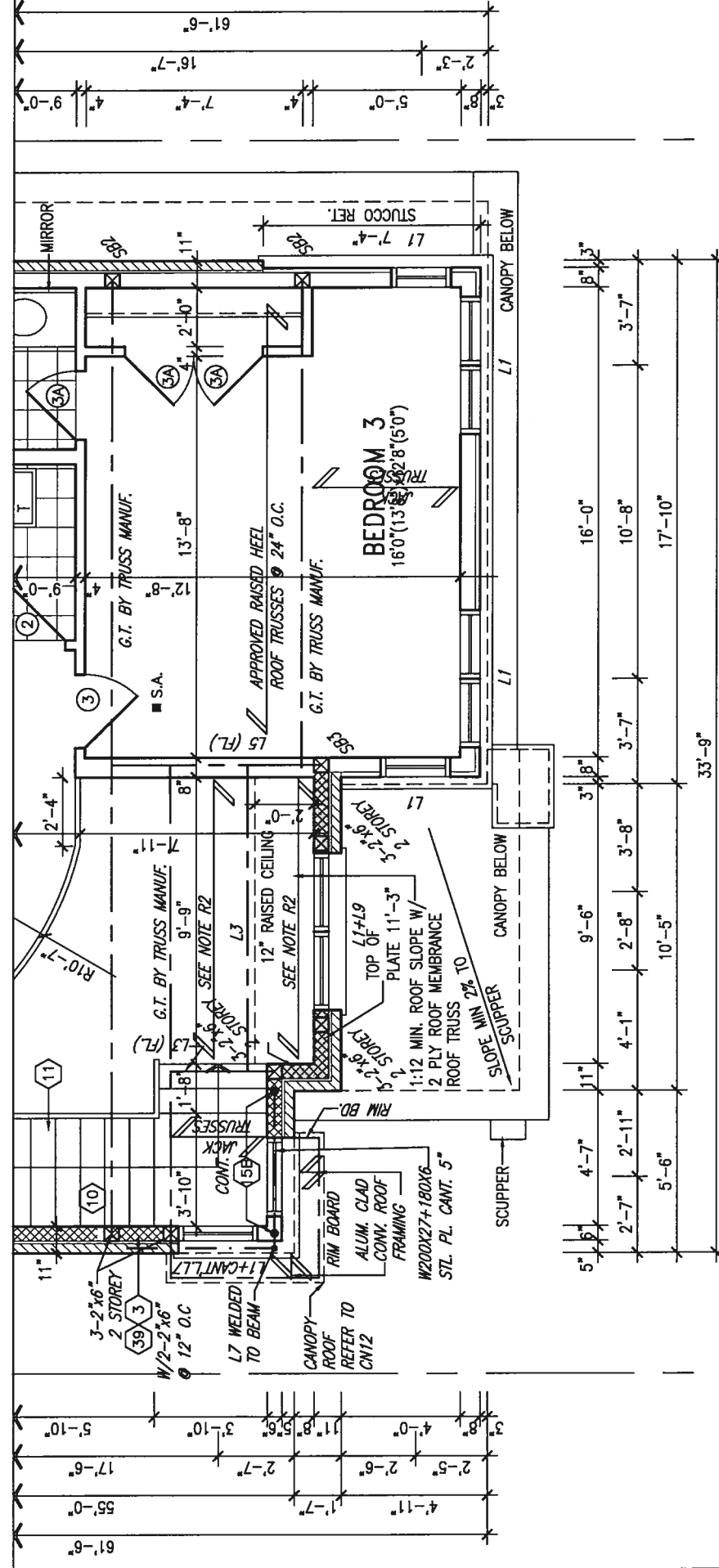
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PROPERTY LINE

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
o.c. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.45 (R31)) MIN SLOPE 1:12



PARTIAL OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house could be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams | limited Architect



JAN 26, 2018

GB NOTE:
STUD WALL REINFORCEMENT FOR
FUTURE GRAB BARS IN MAIN

BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE
INSTALLED ADJACENT TO WATER CLOSETS AND
SHOWER OR BATHTUB IN MAIN BATHROOM AS
PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), &
3.8.3.13.(1)(f) AND DETAILS PROVIDED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO
ROOF TRUSS SHOP DRAWINGS FOR A
ROOF FRAMING INFORMATION UNLESS
OTHERWISE NOTED.

PARTIAL SECOND FLOOR PLAN 'C'
4 BEDROOM + MEDIA LOFT

All done



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

www.ign.com

BAYVIEW WELLINGTON

project name	BRADFO
GREEN VALLEY EAST	

date FEBRUARY 2017 PART.

drawn by	checked by	scale
WT	RC	$3/16'' = 1'-0''$

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-

S42-6
RIDEAU 6

LEV. 'C'

file name	5023-S42-6
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Site Copy

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION A	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		675 S.F.	132.73 S.F.	19.66 %
LEFT SIDE		1176 S.F.	63.00 S.F.	5.36 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		675 S.F.	153.72 S.F.	22.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3702.00 S.F.	481.50 S.F.	13.01 %
TOTAL SQ. M.		343.92 S.M.	44.73 S.M.	13.01 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION A WOD	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		675 S.F.	132.73 S.F.	19.66 %
LEFT SIDE		1176 S.F.	63.00 S.F.	5.36 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		810 S.F.	178.13 S.F.	21.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3837.00 S.F.	505.91 S.F.	13.19 %
TOTAL SQ. M.		356.47 S.M.	47.00 S.M.	13.19 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION A WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		675 S.F.	132.73 S.F.	19.66 %
LEFT SIDE		1176 S.F.	63.00 S.F.	5.36 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		908 S.F.	232.41 S.F.	25.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3935.00 S.F.	560.19 S.F.	14.24 %
TOTAL SQ. M.		365.57 S.M.	52.04 S.M.	14.24 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION C	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		685 S.F.	156.98 S.F.	22.92 %
LEFT SIDE		1228 S.F.	117.33 S.F.	9.55 %
RIGHT SIDE		1228 S.F.	143.72 S.F.	11.70 %
REAR		675 S.F.	153.72 S.F.	22.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3816.00 S.F.	571.75 S.F.	14.98 %
TOTAL SQ. M.		354.52 S.M.	53.12 S.M.	14.98 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION C WOD	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		685 S.F.	156.98 S.F.	22.92 %
LEFT SIDE		1228 S.F.	117.33 S.F.	9.55 %
RIGHT SIDE		1228 S.F.	143.72 S.F.	11.70 %
REAR		810 S.F.	178.13 S.F.	21.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3951.00 S.F.	596.16 S.F.	15.09 %
TOTAL SQ. M.		367.06 S.M.	55.38 S.M.	15.09 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		703 S.F.	151.73 S.F.	21.58 %
LEFT SIDE		1176 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		675 S.F.	153.72 S.F.	22.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3730.00 S.F.	516.50 S.F.	13.85 %
TOTAL SQ. M.		346.53 S.M.	47.98 S.M.	13.85 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION B WOD	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		703 S.F.	151.73 S.F.	21.58 %
LEFT SIDE		1176 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		810 S.F.	178.13 S.F.	21.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3865.00 S.F.	540.91 S.F.	14.00 %
TOTAL SQ. M.		359.07 S.M.	50.25 S.M.	14.00 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION B WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		703 S.F.	151.73 S.F.	21.58 %
LEFT SIDE		1176 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE		1176 S.F.	132.05 S.F.	11.23 %
REAR		908 S.F.	232.41 S.F.	25.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		3963.00 S.F.	595.19 S.F.	15.02 %
TOTAL SQ. M.		368.17 S.M.	55.29 S.M.	15.02 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
42-6	ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		685 S.F.	156.98 S.F.	22.92 %
LEFT SIDE		1228 S.F.	117.33 S.F.	9.55 %
RIGHT SIDE		1228 S.F.	143.72 S.F.	11.70 %
REAR		908 S.F.	232.41 S.F.	25.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			00.0 S.F.	
TOTAL SQ. FT.		4049.00 S.F.	650.44 S.F.	16.06 %
TOTAL SQ. M.		376.16 S.M.	60.43 S.M.	16.06 %

9	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and for the information and data provided and warrants that the requirements set out in the Ontario Building Code to be a Designer.	25591
8	.	.	.	.	qualification information	BCM
7	.	.	.	.	Wellington Jno-Baptiste	42658
6	.	.	.	.	registration information	VA3 Design Inc.
5	.	.	.	.	VA3 Design Inc.	
4	.	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
3	.	.	.	.		
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC			
1	ISSUED FOR CLIENT REVIEW	.	.	.		
no.	description	date	by			



VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON
 GREEN VALLEY EAST
 project name

BRADFORD, ONT.
 municipality

S42-6
 RIDEAU 6
 project no.

date
 FEBRUARY, 2017
 drawn by
 WT

checked by
 RC
 scale
 3/16" = 1'-0"

SB-12 CHARTS
 16023-S42-6
 file name

10
 drawing no.

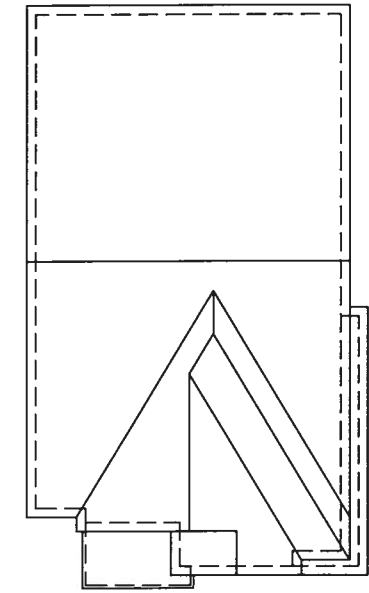
16023
 project no.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMERY.

6"x16" STUD



JAN 26, 2018



ROOF 'A'

S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date	FEBRUARY, 2017	FRONT ELEVATION 'A'	drawing no.
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-6

11



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Inc. Dentists
J. B. Dentist
 25501

name	signature	BCIN
registration information		42658
VAX Design, Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

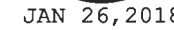
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3	.	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.

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Site Copy



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & ANALYSIS
JAN 31 2018

S42-6
RIDEAU 6

BAYVIEW WELLINGTON



VA3
DESIGN
255 Consumers Rd. Suite 101
Scarborough, ON M1V 4Y6
Tel: (416) 291-1333
Fax: (416) 291-1334
www.va3design.com

Wellington Jno-Baptiste 25591 BCN
name signature 42658
registration information
VAS Design Inc.

9	4	1
8	1	1
7	1	1
6	1	1
5	1	1
4	1	1
3	1	1

2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	-	-	
no.	description	date	by	

All drawings specifications, related documents and design are the copyright property of VAJ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAJ DESIGN's written permission.

$$1' - 0''$$
$$1' - 0$$

FOR REAR UPGRADE ONLY

6:12

6:12

10:15

10:11

— VALLEY FLASHING
— ASPHALT SHINGLE
(TYPICAL)

TOP OF PLATE
TOP OF WINDOW

2

11th

5-4

FRIEZE BD. AND TRIPLE
ROWLOCK FOR UPGRADE
ONLY

4'-0"

—FACE BRICK (TYP.)—

—BRICK SOLDIER
COURSE (TYP.)

4'-0"
RETURN

—20" DECORATIVE MTL RAILING

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

2-8"x8" FIBREGLASS COLUMN
BY ROMAN COLUMNS W/
1/2" THICK HDPE TOP
LOADING PLATE ANCHORED TO
PORCH SLAB

SCUPPER

FIN GROUND FLOOR

FIN. GRADE

— POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

TOP OF SLAB

VINYL CLAD STRUCTURAL
STL. FRAME BASEMENT
WINDOW (TYPICAL)

30"x16"

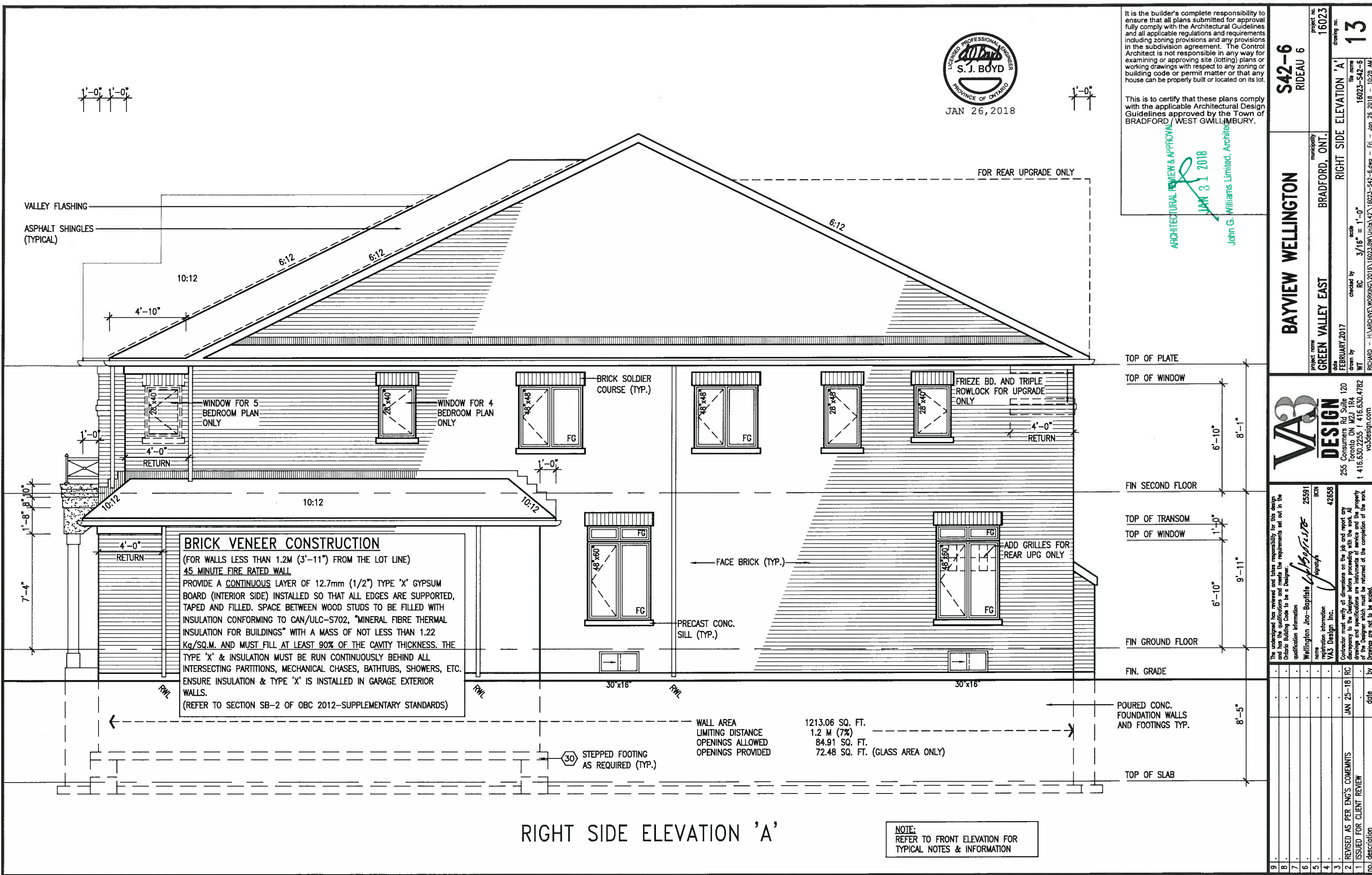
WALL AREA
— LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

1100.00 SQ. FT. _____
1.2 M (7%) _____
77.00 SQ. FT. _____
50.83 SQ. FT. (GLASS AREA ONLY)

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'A'

Site Copy



1'-0" 1'-0"

1'-0"

JAN 26, 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architects

S42-6 RIDEAU 6		BAYVIEW WELLINGTON	
project no.	16023	project name	GREEN VALLEY EAST
drawing no.	13	municipality	BRADFORD, ONT.
file name	16023-S42-6	date	FEBRUARY, 2017
scale	3/16" = 1'-0"	checked by	RC
drawn by	WT	drawn by	WT
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591	BCN	
qualification information		name		registration information	42658	
VA3 Design Inc.		signature		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are to be returned at the completion of the work. Drawings are not to be scaled.		
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC		no.	description	
1 ISSUED FOR CLIENT REVIEW		JAN 25-18 RC		date		
				by		

RIGHT SIDE ELEVATION 'A'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



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ARCHITECTURAL REVIEW APPR.
JAN 31 2018
John G. Wil

S42-6		RIDEAU 6	
BAYVIEW WELLINGTON		BRADFORD, ONT.	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	14
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
REAR ELEVATION 'A', 'B' & 'C'			
16023-S42-6			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM			

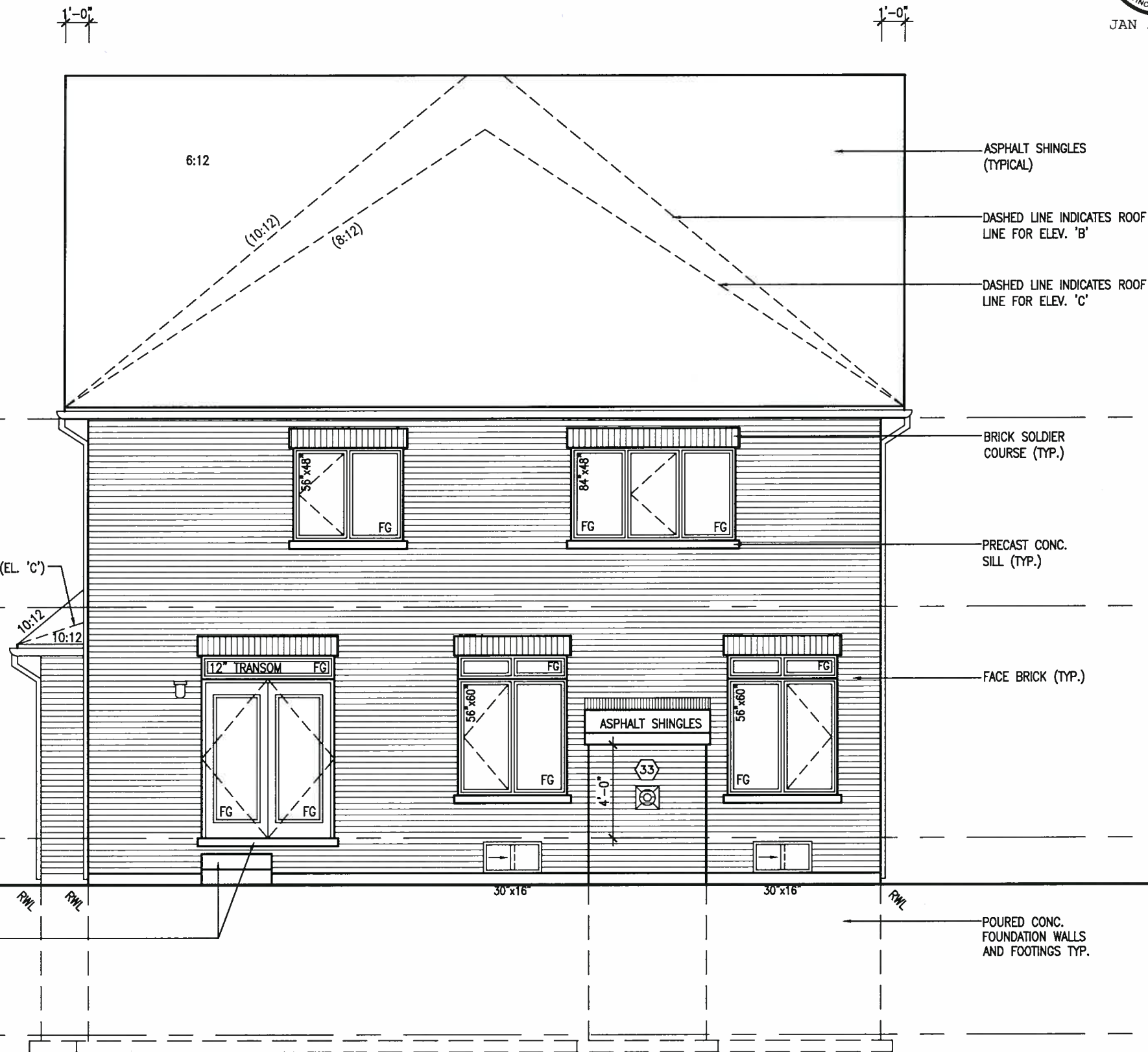
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the quality and accuracy of the information and data used in the design. The design is based on the information and data provided and is subject to the Building Code to be a design.

qualification information
Wellington Jno-Baptiste 25591 BCN
signature
VA3 Design Inc. 42558 BCN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		



REAR ELEVATION 'A', 'B' & 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

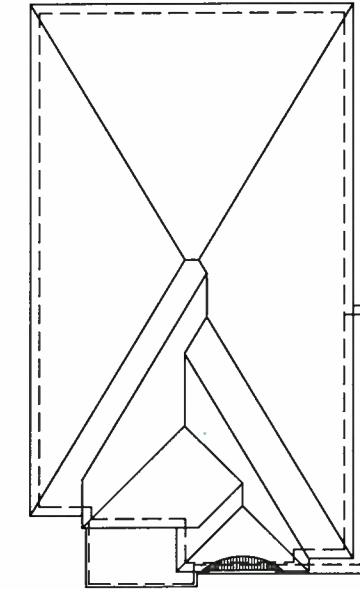
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Inc.



JAN 26, 2018



ROOF 'B'

RAISED TOP PLATE

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN. GRADE

TOP OF SLAB

ASPHALT SHINGLES (TYPICAL)

2"x4" @ 8" O.C. ON RADIUS W/ 3/8" EXT. GRADE PLYWOOD SHEATHING & ICE & WATER SHIELD UNDER ROLLED ROOF TO MATCH SHINGLES (TYP.)

EYEBROW ROOF

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

8" PRECAST CONC. HEADER ON 8" PRECAST CONC. SURROUND ON DOUBLE PRECAST CONC. SILL (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)

LOCATION OF STL. BEAM (DROPPED)

8" PRECAST CONC. HEADER (TYP.)

STONE VENEER (TYP.)

STEPPED FOOTING AS REQUIRED (TYP.)

FRONT ELEVATION 'B'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
drawing no. 15
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date FEBRUARY 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design. The design is in accordance with the requirements set out in the Ontario Building Code to be a Designer.		specification information	Wellington Jno-Baptiste	25591	BCN	42658
		signature	<i>John Baptiste</i>			
		registration information	VA3 Design Inc.			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
9						
8						
7						
6						
5						
4						
3						
2		REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC		
1		ISSUED FOR CLIENT REVIEW				
no.		description	date	by		

Site Copy



JAN 26, 2018

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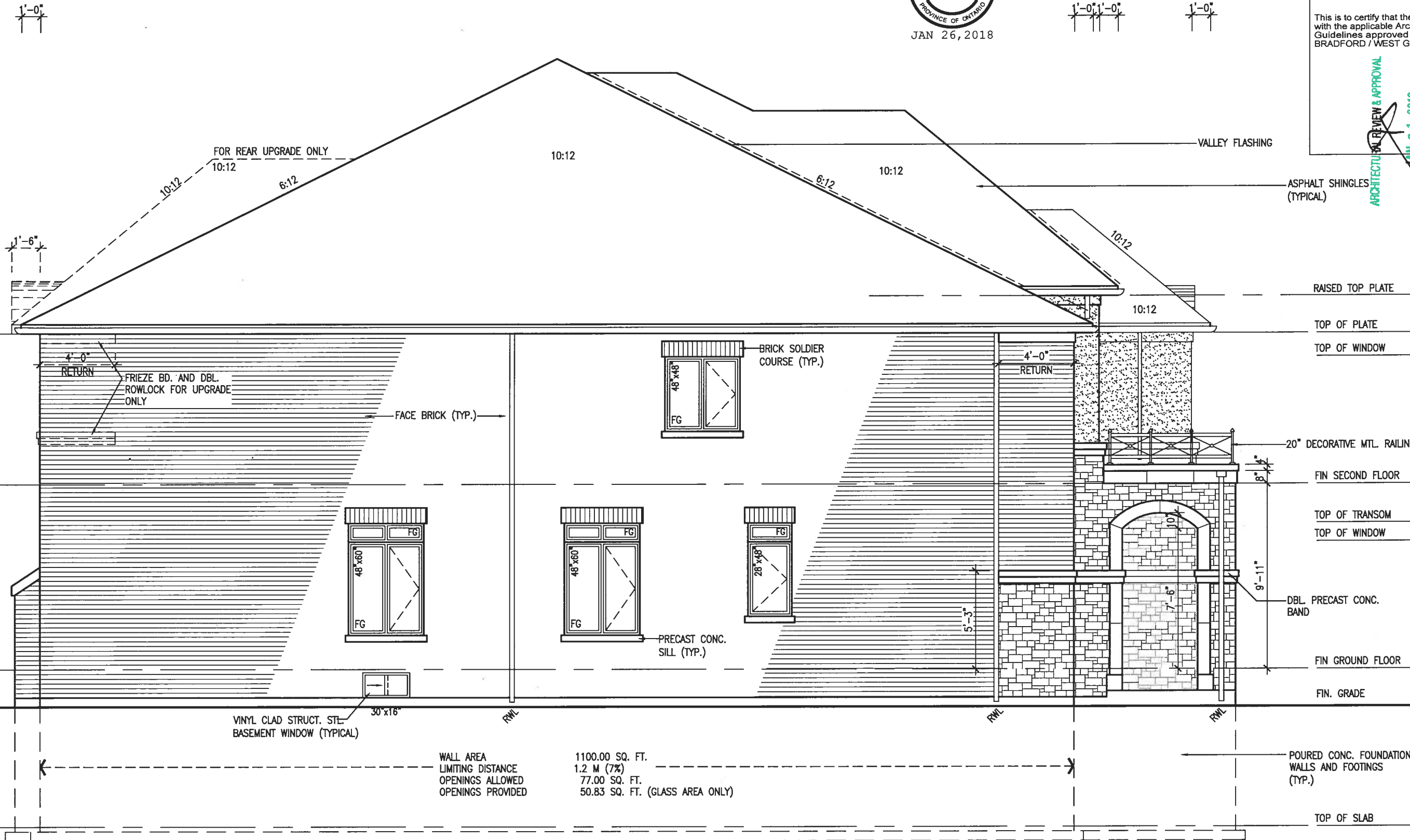
This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6		RIDEAU 6	
BAYVIEW WELLINGTON		BRADFORD, ONT.	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	16
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
LEFT SIDE ELEVATION 'B'			
16023-S42-6			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design on the basis of the information provided and the requirements set out in the Ontario Building Code to be a Designer.		25591	80H	42558
Wellington Jno-Baptiste		signature	VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 25-18 RC		
2 REVISED AS PER ENG'S COMMENTS				
1 ISSUED FOR CLIENT REVIEW				
no.	description	date	by	

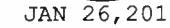


LEFT SIDE ELEVATION 'B'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

WALL AREA
LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

1100.00 SQ. FT.
1.2 M (7%)
77.00 SQ. FT.
50.83 SQ. FT. (GLASS AREA ONLY)



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILIMBURY.

TOP OF PLATE

S42-6 RIDEAU 6		S42-6 RIDEAU 6	
BAYVIEW WELLINGTON	municipality BRADFORD, ONT.	project name GREEN VALLEY EAST	project no. 16023
date FEBRUARY 2017	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-6
RIGHT SIDE ELEVATION 'B'		drawing no. 17	

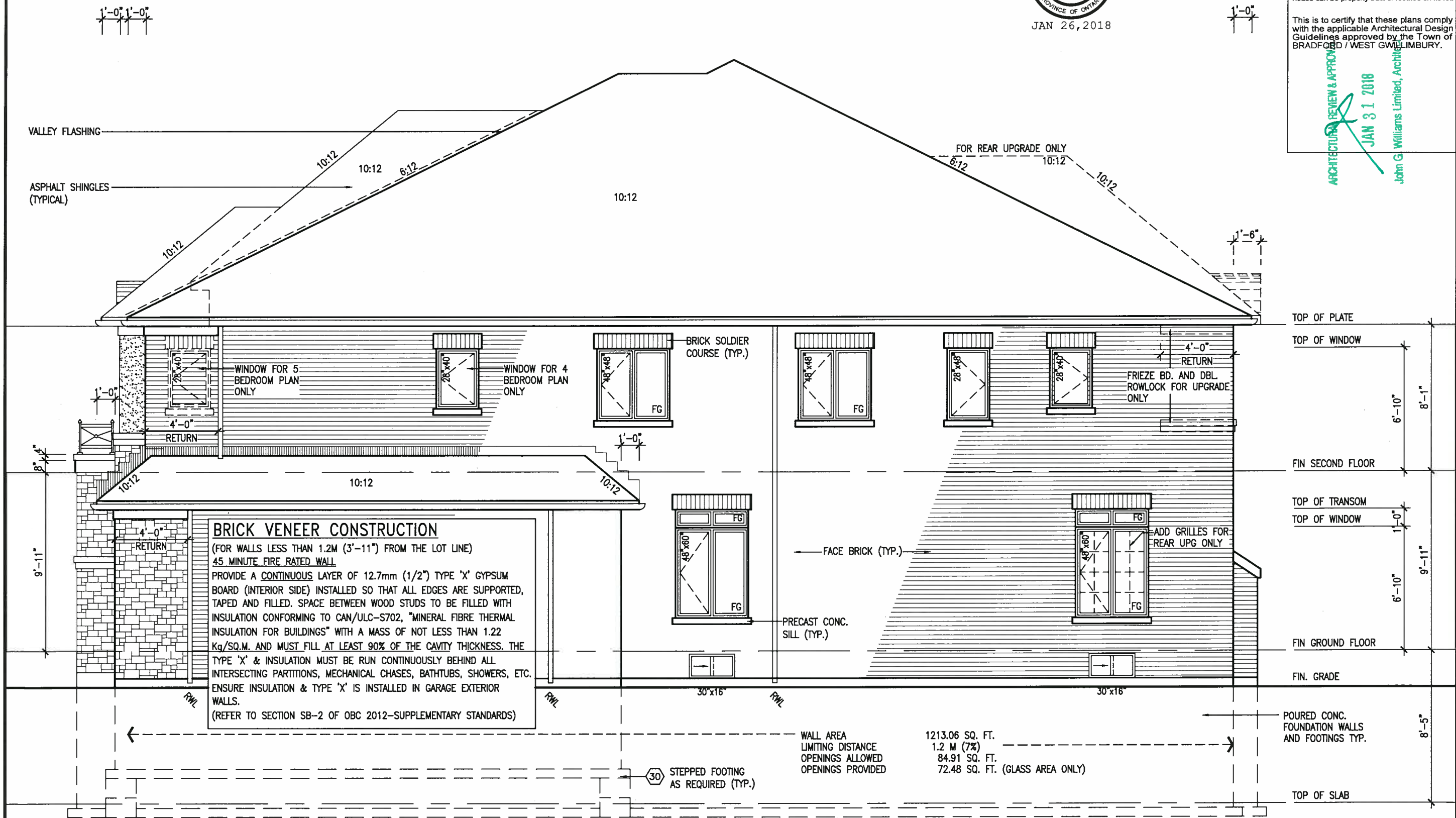
V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2N 1R4
t 416.630.2255 f 416.630.4782
vo@design.com

and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>Jno-Baptiste</i> 25591	name registration information VAS3 Design Inc.	ECN 42658
---	---	-------------------------

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

no.	description	issued for client review	revised as per eng's comments	jan 25-18	rc	by
3						
4						
5						
6						
7						
8						

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RIGHT SIDE ELEVATION 'B'

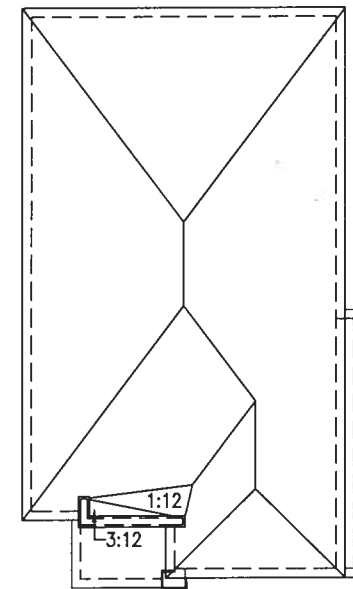
NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

Site Copy

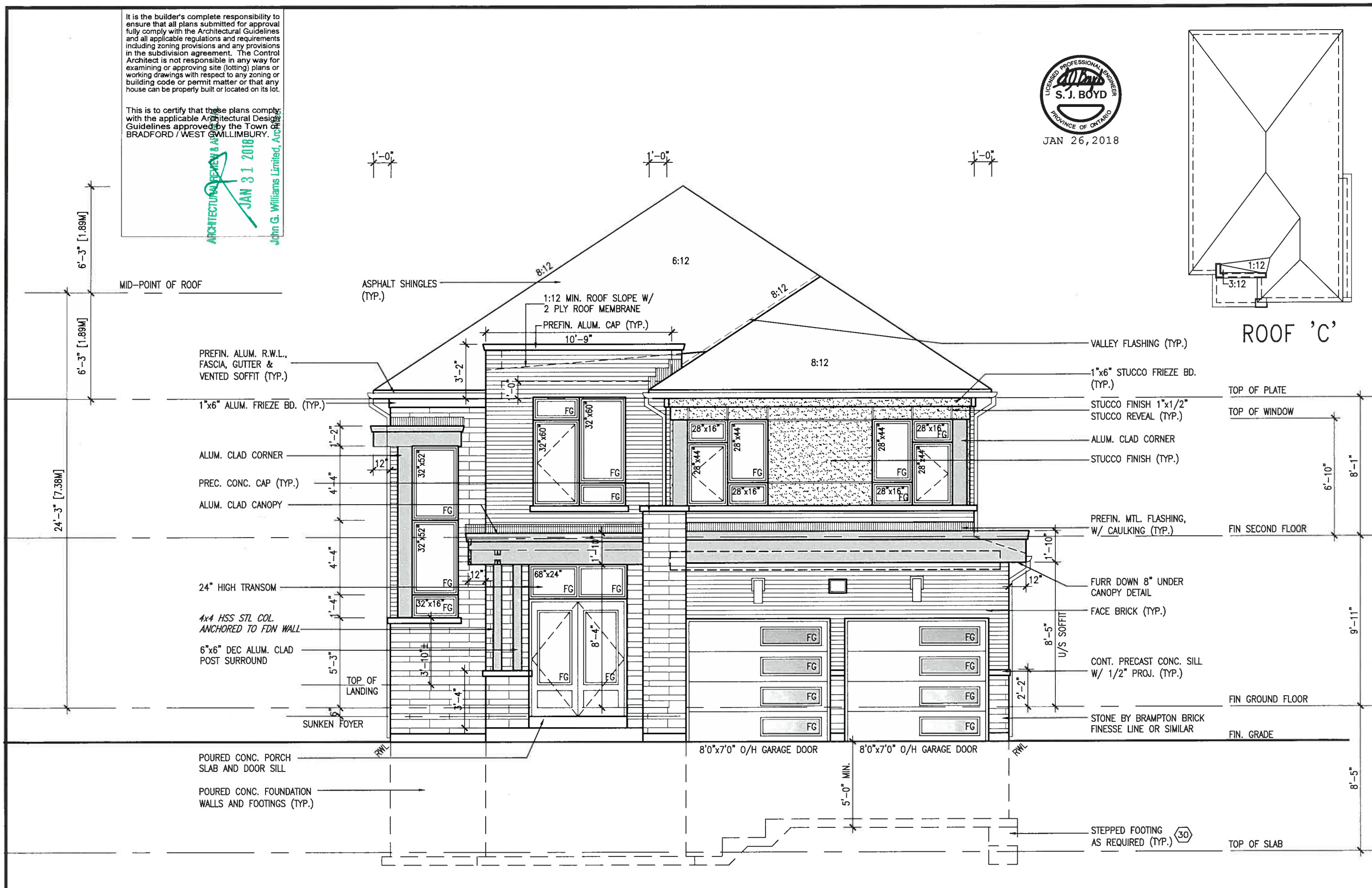
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



ROOF 'C'



FRONT ELEVATION 'C'

S42-6 RIDEAU 6		BAYVIEW WELLINGTON		GREEN VALLEY EAST BRADFORD, ONT.		project no. 16023	drawing no. 18
project name		municipality		project no.		drawing no.	
16023		BRADFORD, ONT.		16023		18	
date		checked by		scale		file name	
FEBRUARY 2017		RC		3/16" = 1'-0"		16023-S42-6	
drawn by		drawn by		drawn by		drawn by	
WT		WT		WT		WT	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\27\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\27\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\27\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\27\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM	
The undersigned has reviewed and takes responsibility for this design		The undersigned has reviewed and takes responsibility for this design		The undersigned has reviewed and takes responsibility for this design		The undersigned has reviewed and takes responsibility for this design	
and accepts the requirements set out in the		and accepts the requirements set out in the		and accepts the requirements set out in the		and accepts the requirements set out in the	
Ontario Building Code to be a Designer.		Ontario Building Code to be a Designer.		Ontario Building Code to be a Designer.		Ontario Building Code to be a Designer.	
qualification information		qualification information		qualification information		qualification information	
Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste	
25591		25591		25591		25591	
BCN		BCN		BCN		BCN	
42558		42558		42558		42558	
V&A Design Inc.		V&A Design Inc.		V&A Design Inc.		V&A Design Inc.	
Contractor must verify all dimensions on the job and report any		Contractor must verify all dimensions on the job and report any		Contractor must verify all dimensions on the job and report any		Contractor must verify all dimensions on the job and report any	
discrepancy to the Designer before proceeding with the work. All		discrepancy to the Designer before proceeding with the work. All		discrepancy to the Designer before proceeding with the work. All		discrepancy to the Designer before proceeding with the work. All	
drawings and specifications are instruments of service and the property		drawings and specifications are instruments of service and the property		drawings and specifications are instruments of service and the property		drawings and specifications are instruments of service and the property	
of the Designer which must be returned at the completion of the work.		of the Designer which must be returned at the completion of the work.		of the Designer which must be returned at the completion of the work.		of the Designer which must be returned at the completion of the work.	
Drawings are not to be scaled.		Drawings are not to be scaled.		Drawings are not to be scaled.		Drawings are not to be scaled.	
no. description		no. description		no. description		no. description	
2. REVISED AS PER ENG'S COMMENTS		2. REVISED AS PER ENG'S COMMENTS		2. REVISED AS PER ENG'S COMMENTS		2. REVISED AS PER ENG'S COMMENTS	
JAN 25-18 RC		JAN 25-18 RC		JAN 25-18 RC		JAN 25-18 RC	
1. ISSUED FOR CLIENT REVIEW		1. ISSUED FOR CLIENT REVIEW		1. ISSUED FOR CLIENT REVIEW		1. ISSUED FOR CLIENT REVIEW	
date		date		date		date	
JAN 25-18		JAN 25-18		JAN 25-18		JAN 25-18	
by		by		by		by	
RC		RC		RC		RC	
date		date		date		date	
JAN 25-18		JAN 25-18		JAN 25-18		JAN 25-18	



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6		RIDEAU 6	
BAYVIEW WELLINGTON		BRADFORD, ONT.	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	19
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
LEFT SIDE ELEVATION 'C'			
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes set out in the Ontario Building Code to be a design.		qualification information		signature	
1	Wellington Jno-Baptiste	25591	RCM	42658	
2	VA3 Design Inc.				
3	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
4	JAN 25-18 RC				
5	2 REVISED AS PER ENG'S COMMENTS				
6	1 ISSUED FOR CLIENT REVIEW				
7	no. description				
8	date				
9	by				

LEFT SIDE ELEVATION 'C'

WALL AREA 1131.67 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 79.22 SQ. FT.
OPENING PROVIDED 68.11 SQ. FT. (GLASS AREA ONLY)

VINYL CLAD STRUCT. STEEL BASEMENT WINDOW (TYPICAL)

SUNKEN FOYER

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

2-6"x6" DEC ALUM. CLAD POST SURROUND

ALUM. CLAD CANOPY

FIN SECOND FLOOR

STUCCO FINISH (TYP.)

ALUM. CLAD CORNER

TOP OF WINDOW

TOP OF PLATE

STUCCO FINISH 1"x1/2" STUCCO REVEAL (TYP.)

1"x6" STUCCO FRIEZE BOARD (TYP.)

3/12" ROOF SLOPE W/ 2 PLY ROOF MEMBRANCE

PREFIN. ALUM. CAP (TYP.)

PROVIDE MIN. 6" FLASHING BEHIND STUCCO (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

FOR REAR UPGRADE ONLY
8:12

4'-0" RETURN
FRIEZE BD. FOR UPGRADE ONLY

1'-0"

1'-0"

1'-3"

1'-3"



1'-0"

ASPHALT SHINGLES
(TYPICAL)

6:12

10:12

6:12

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

TOP OF SLAB

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WINDOW FOR 4
BEDROOM PLAN
ONLY

BRICK SOLDIER
COURSE (TYP.)

4'-0"
RETURN
FRIEZE BD. AND DBL
ROWLOCK FOR UPGRADE
ONLY

FACE BRICK (TYP.)

PRECAST CONC.
SILL (TYP.)

WALL AREA
LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

1213.06 SQ. FT.
1.2 M (7%)
84.91 SQ. FT.
72.48 SQ. FT. (GLASS AREA ONLY)

30 STEPPED FOOTING
AS REQUIRED (TYP.)

RIGHT SIDE ELEVATION 'C'

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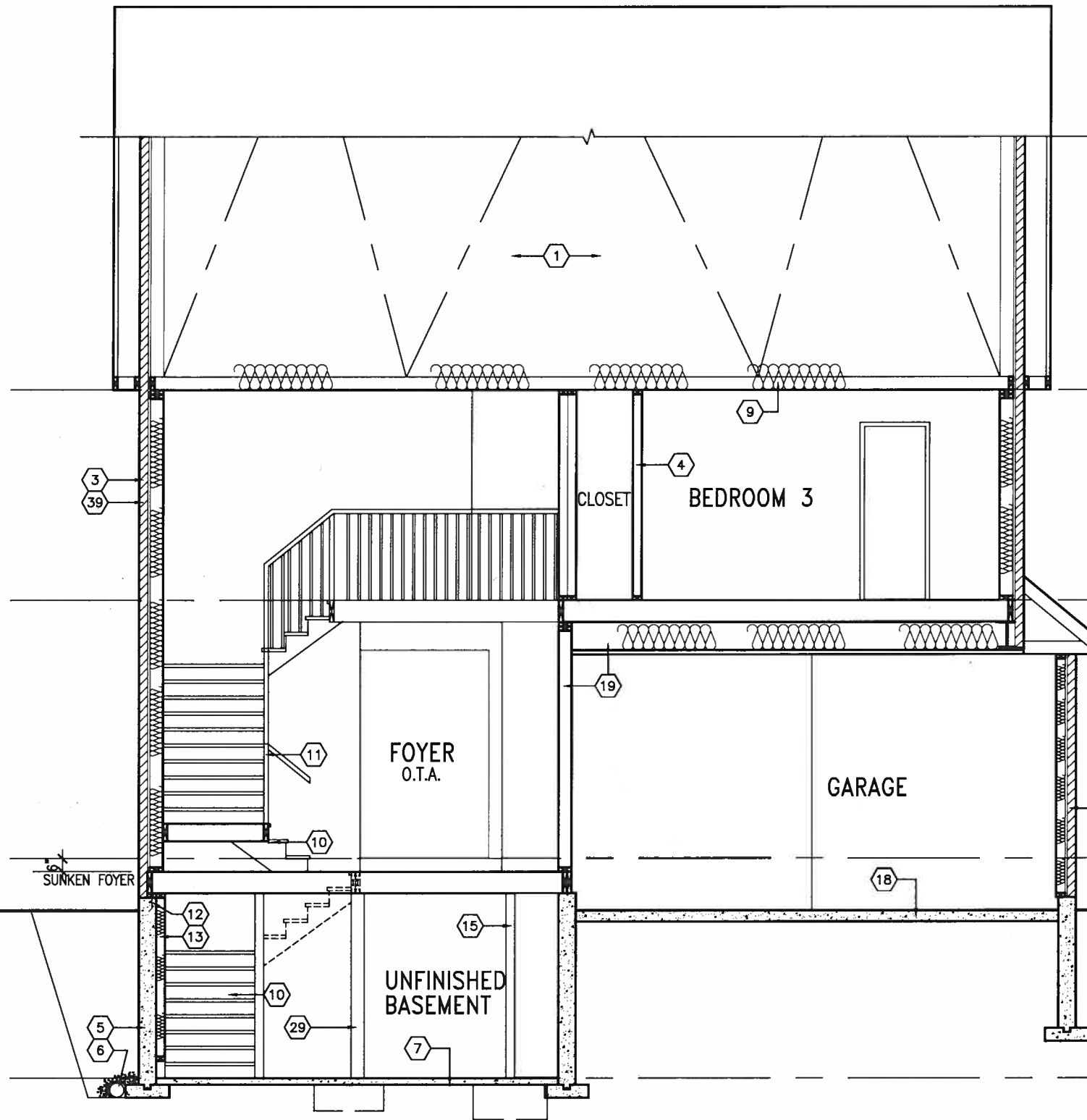
ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	20
date	FEBRUARY 2017	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC
RIGHT SIDE ELEVATION 'C'			
16023-S42-6			
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The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information	Wellington Jno-Baptiste	25591	BCN
name	John Baptiste	42558	BCN
registration information	VA3 Design Inc.		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	1	description	ISSUED FOR CLIENT REVIEW
no.	2	description	REVISED AS PER ENG'S COMMENTS
no.	3	description	JAN 25-18 RC

Site Copy



JAN 26, 2018



CROSS SECTION A-A

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WESTMILLIMBURY.

TOP OF PLATE

8'-1"

FIN SECOND FLOOR

9'-11"

FIN GROUND FLOOR

7'-10" U/S SOFFIT

FIN. GRADE

8'-5"

TOP OF SLAB

BAYVIEW WELLINGTON		S42-6	RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no. 16023
date	FEBRUARY, 2017	checked by	RC	drawing no. 21
drawn by	WT	scale	3/16" = 1'-0"	file name 16023-S42-6
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM				
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The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	25591
Wellington Jno-Baptiste		BCM	42558
registration information		VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

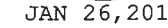



 JAN 26, 2018

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE $\frac{5}{8}$ " T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

[illegible]



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date
 FEBRUARY, 2017

REAR ELEVATION 'A' - W.O.D. COND.

drawing no.
 23

drawn by
 WT

checked by
 RC

scale
 3/16" = 1'-0"

file name
 16023-S42-6



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.idealism.com

11/20/11:11:20

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

name	signature	BCIN
------	-----------	------

VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All

of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All drugs

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2	REVISED AS PER ENG'S COMMENTS		JAN 25-18 R

1	ISSUED FOR CLIENT REVIEW	.
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o. description	date	by
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Site Copy

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

CONT. TRIPLE BRICK ROWLOCK BAND

POURED CONC. DOOR SILL & PRECAST CONC. STEP (21)

ASPHALT SHINGLES (TYPICAL)

6"x16" STONE IMPOST

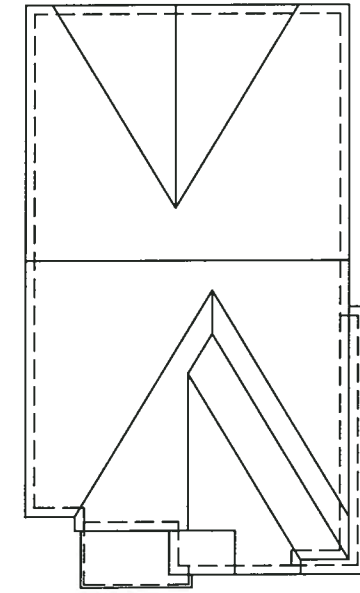
PREFIN. METAL ROOF W/ RAISED SEAMS (TYP.)

DOUBLE BRICK ROWLOCK HEADER ON BRICK ROWLOCK STACK (TYP.)

PRECAST CONC. SILL OVER BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.



ROOF 'A'
(UPGRADE REAR)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'A'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
26

file name
16023-S42-6

date
FEBRUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

UPGRADED REAR ELEVATION 'A'

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
VA3Design.com

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste
signature
25591
BCN
42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no. description

1 ISSUED FOR CLIENT REVIEW

2 REVISED AS PER ENG'S COMMENTS

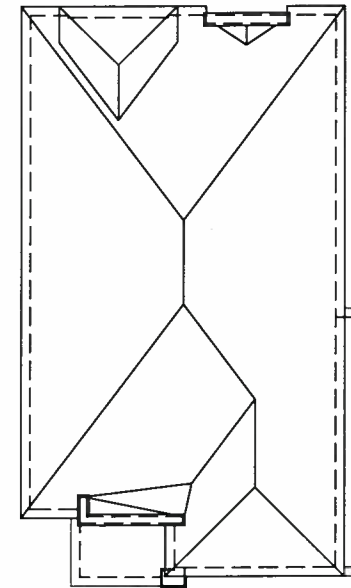
JAN 25-18 RC

Site Copy

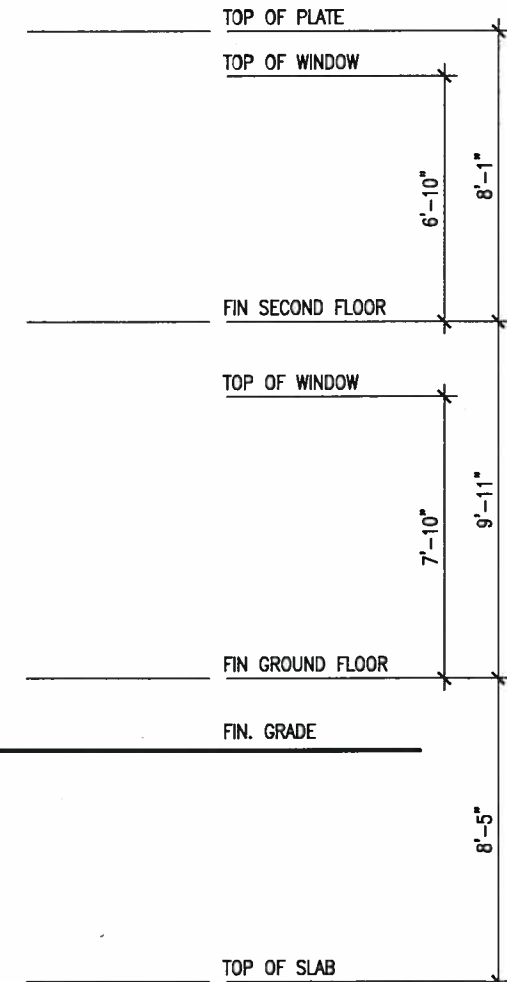
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architects

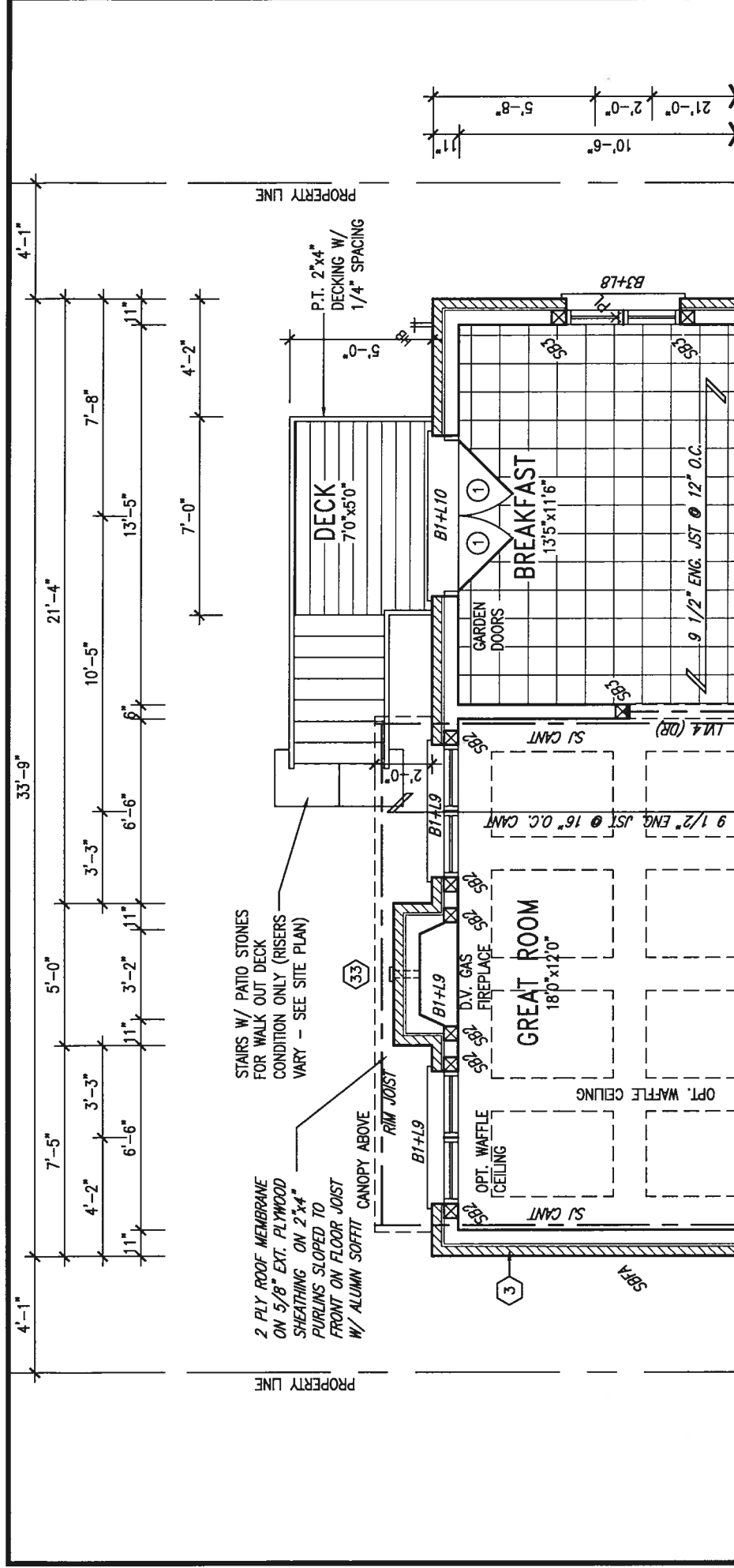


ROOF 'C'
(UPGRADE REAR)

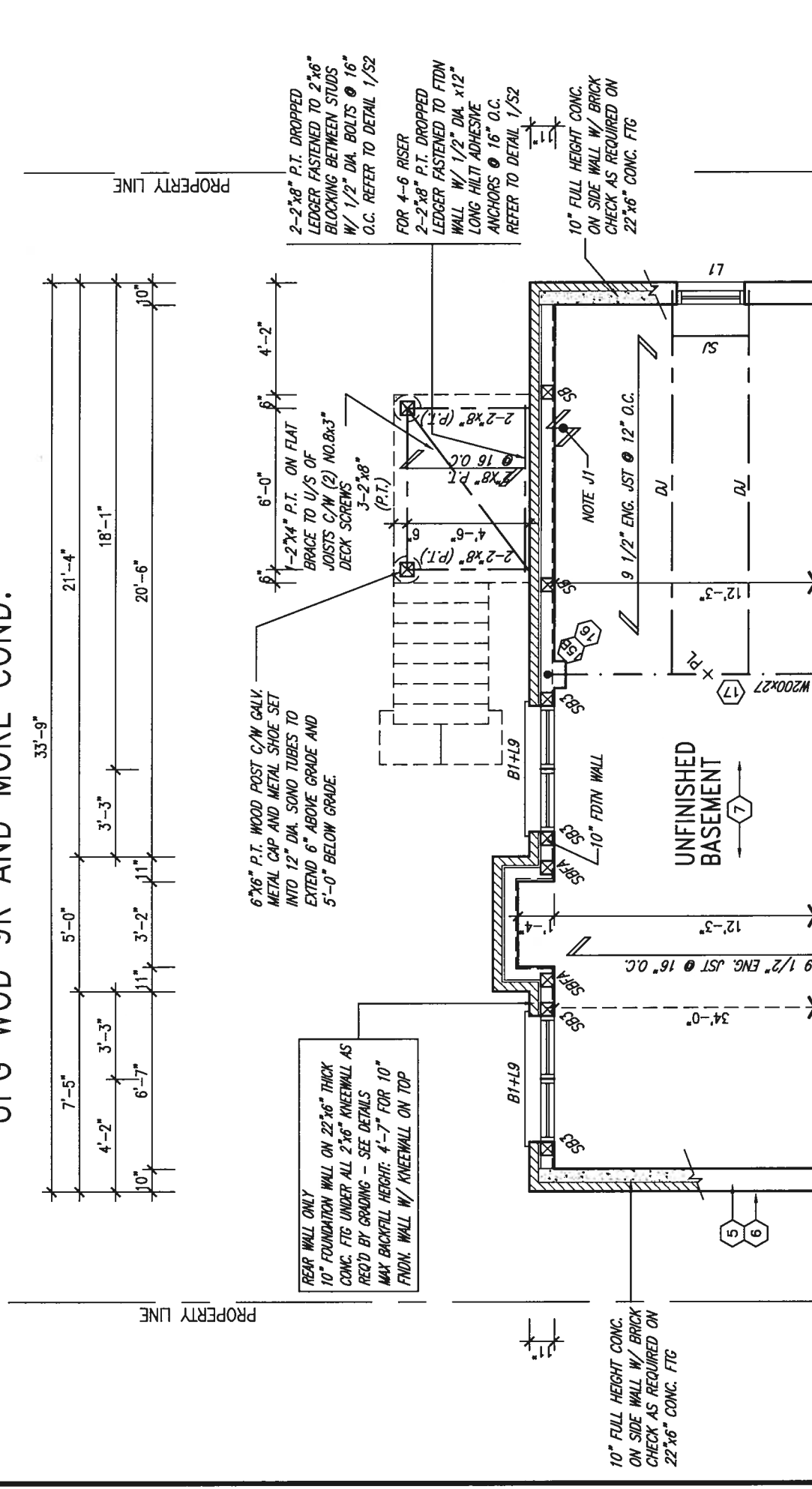


NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 28
date FEBRUARY, 2017	checked by RC	scale 3/16" = 1'-0"	
drawn by WT			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM			
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information Wellington Jno-Baptiste 25591 name registration information VA3 Design Inc. 42558			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC	
1	ISSUED FOR CLIENT REVIEW		



PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.

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NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
GREEN A/JM SOFFIT ON 11/5

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

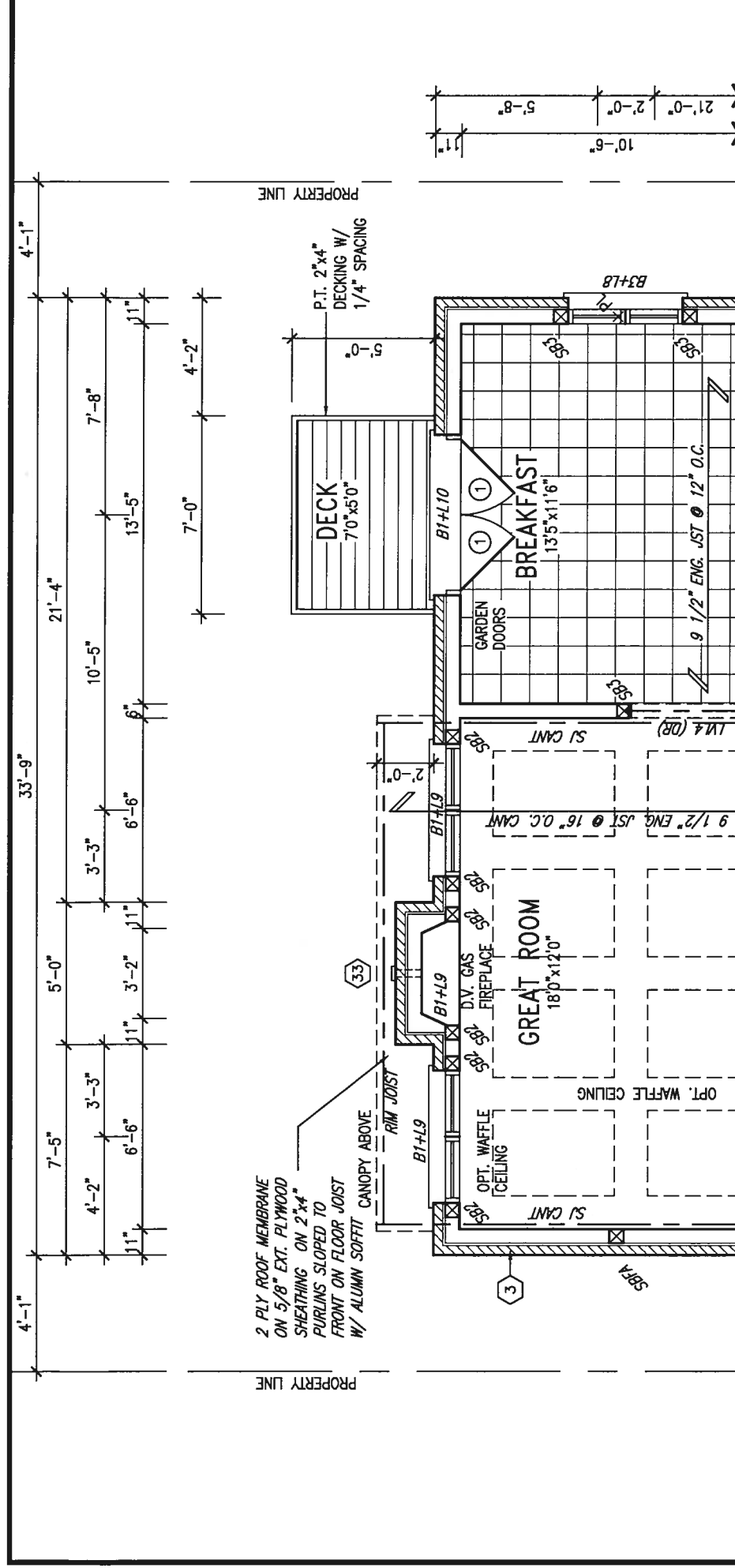

 S.J. BOYD
 PROVINCE OF ONTARIO
 LICENSED PROFESSIONAL ENGINEER
 40325

PROVINCE OF ONTARIO
JAN 26, 2018

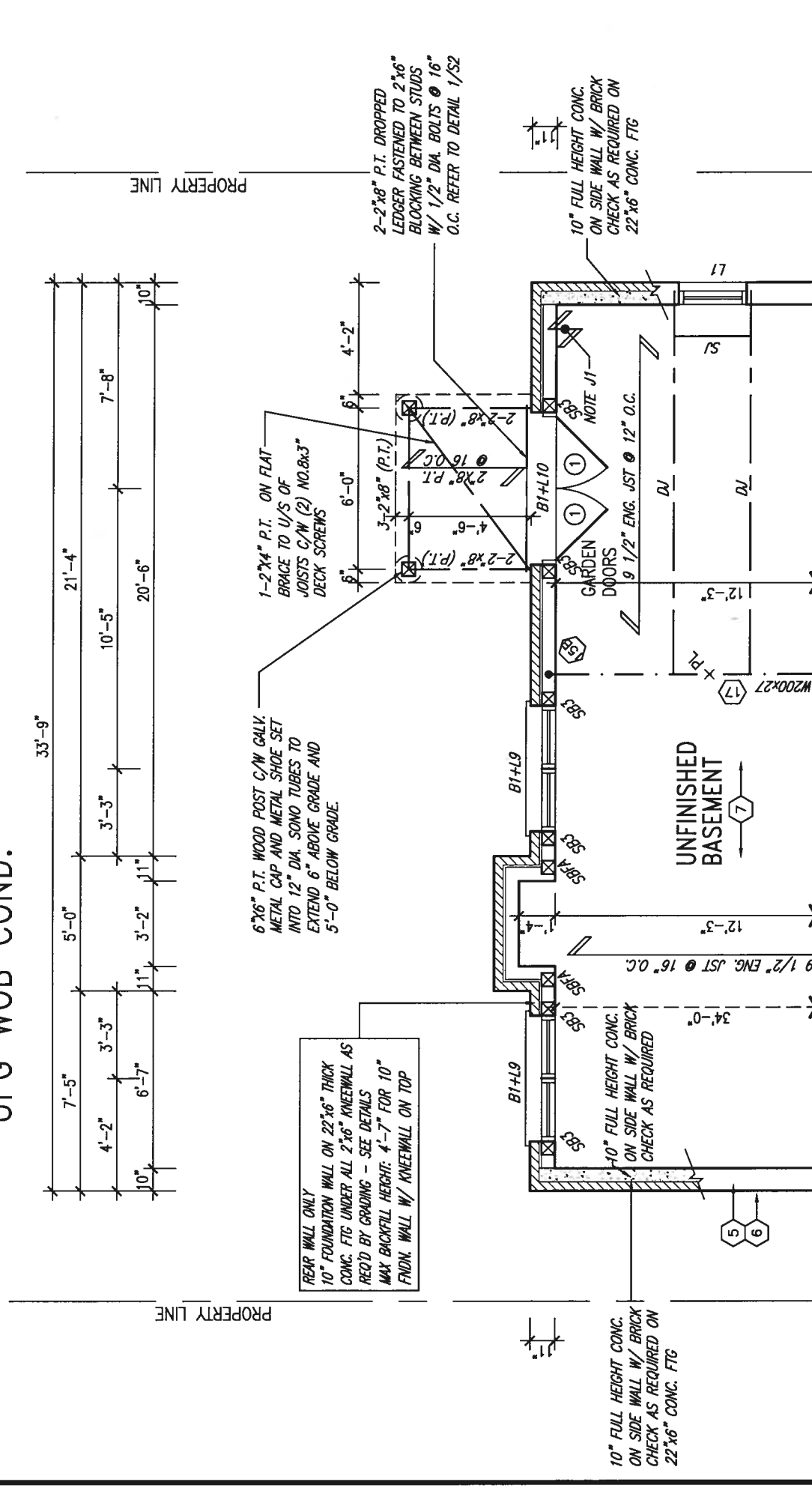
ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
Urban G. Williams Limited, Architect

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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	
date FEBRUARY 2017	drawing no. 31		
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-6
PART. FLOOR PLANS- ELEV C REAR UPG W.O.D. COND. RICHARD - H: VARCHIVE WORKING 20161:16023.BW Units 42' x 16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM			



PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR
UPG WOB COND.



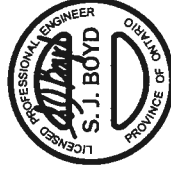
PARTIAL BASEMENT PLAN ELEV 'C' REAR
UPG WOB COND.

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NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 3/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
GREEN ALUM SHEET ON 1/4"

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION



JAN 26, 2018

ARCHITECTURAL REVIEW & APPROVAL

~~JAN 31 2018~~

John G. Williams Limited, Architect

**NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.**

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFORMATION REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

9.		.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591 <i>W. Boppre</i> signature BCIN 42658
8.		.		qualification information	
7.		.			
6.		.			
5.		.		some registration information	
4.		.		VAB Design Inc.	
3.		.			
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUED FOR CLIENT REVIEW				
no.	description	date	by		

		BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date FEBRUARY, 2017		PART. FLOOR PLANS- ELEV C REAR UPG W.O.D. COND.			
drawn by WT		checked by RC		file name 16023-S42-6	
scale 3/16" = 1'-0"		drawing no. 32			

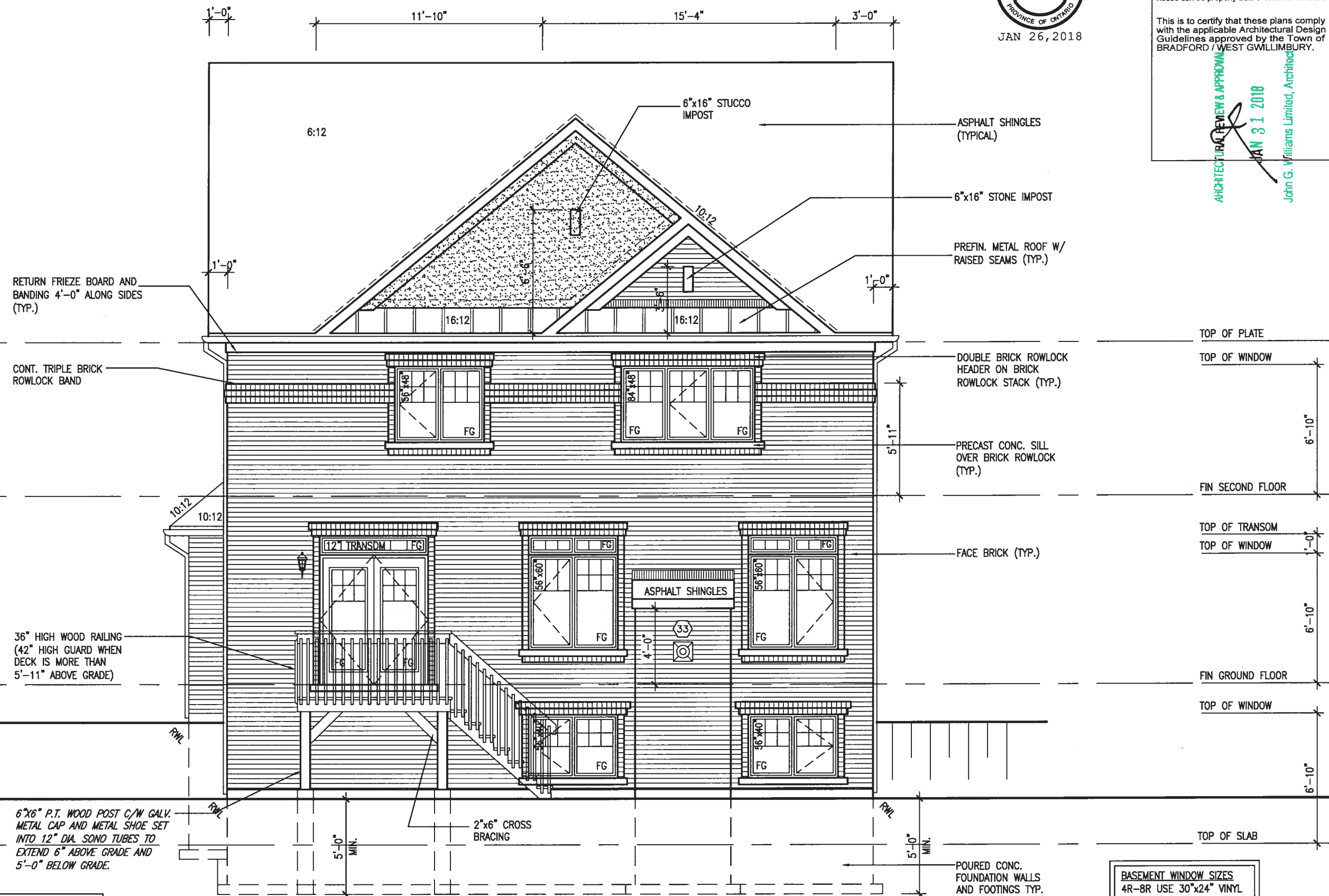
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

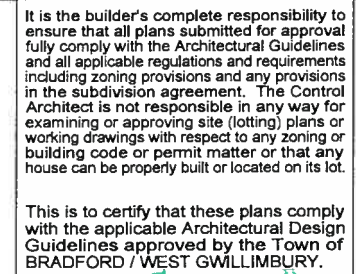
BASEMENT WINDOW SIZES	
4R-8R	USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
date FEBRUARY, 2017		drawing no. 33	
drawn by RC		checked by RC	
scale 3/16" = 1'-0"		file name 16023-S42-6	
description		UPGRADED REAR ELEVATION 'A' - W.O.D. COND.	
date		JAN 25-18	
by		RC	
description		REVISED AS PER ENG'S COMMENTS	
description		1 ISSUED FOR CLIENT REVIEW	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Baptiste
VA3 Design Inc.
25591
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



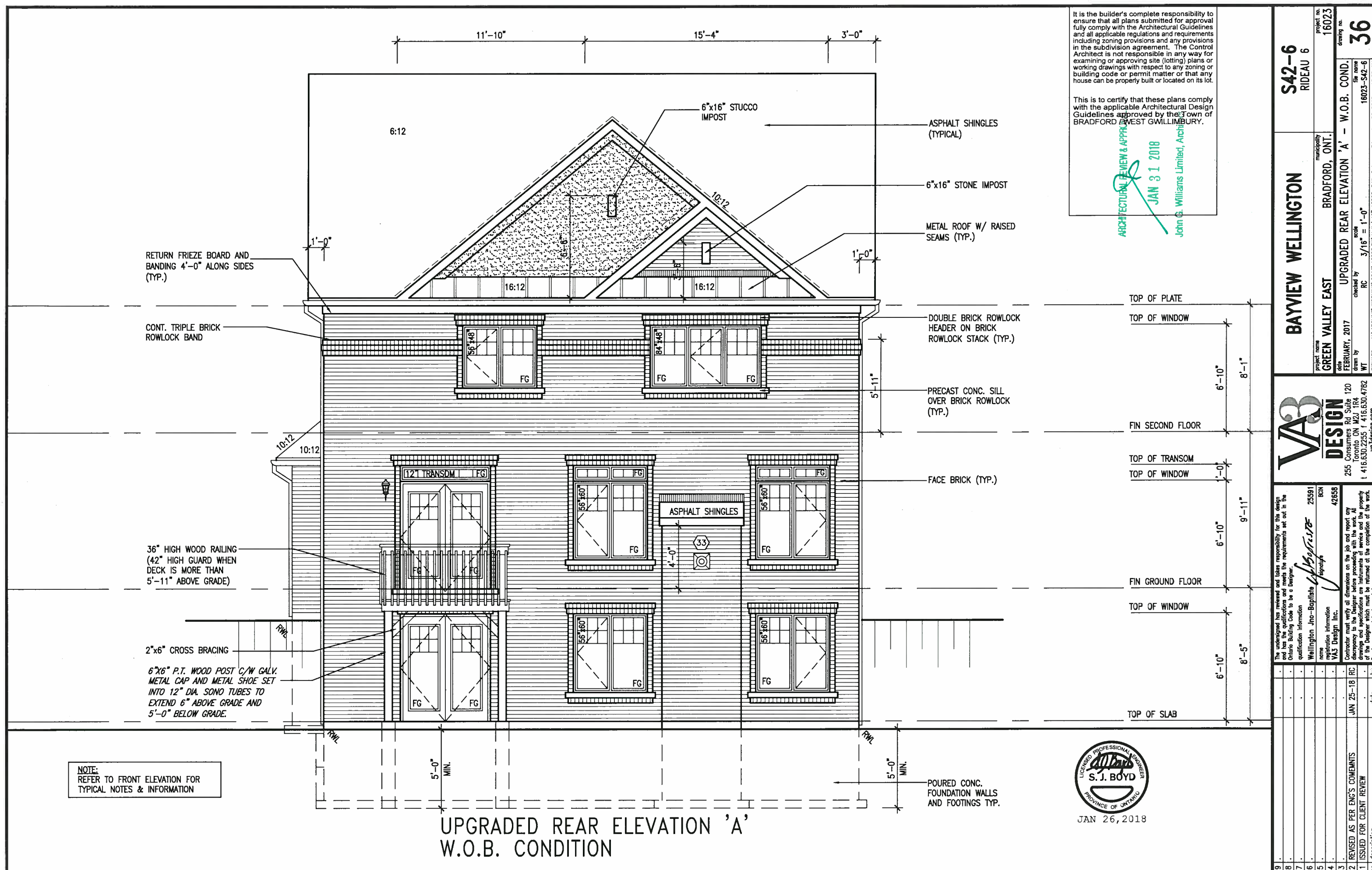
URBAN REVIEW & APPROVAL
JAN 31 2018
C. LUMLED, Architect



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

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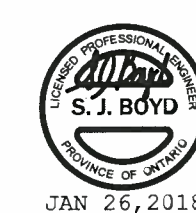
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

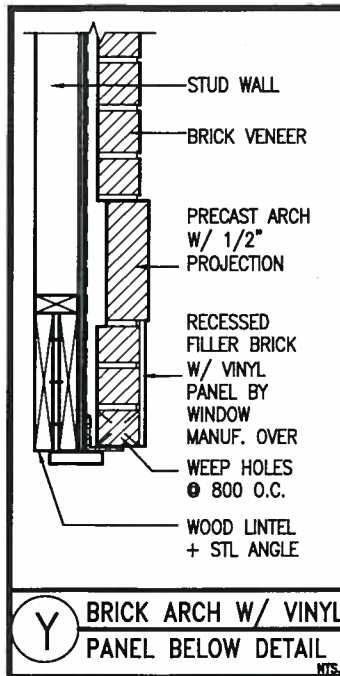
ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591		BCN	
Wellington Jno-Baptiste		Signature		42558	
name		registration information			
VAS Design Inc.					
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.					
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18		RC	
1 ISSUED FOR CLIENT REVIEW					
no. description		date		by	

BAYVIEW WELLINGTON		S42-6		RIDEAU 6					
GREEN VALLEY EAST		BRADFORD, ONT.		project no. 16023					
FEBRUARY, 2017		UPGRADED REAR ELEVATION 'A' - W.O.B. COND.		drawing no. 36					
checked by RC		scale 3/16" = 1'-0"		file name 16023-S42-6					
drawn by WT		date JAN 26 2018		time 10:29 AM					
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM									
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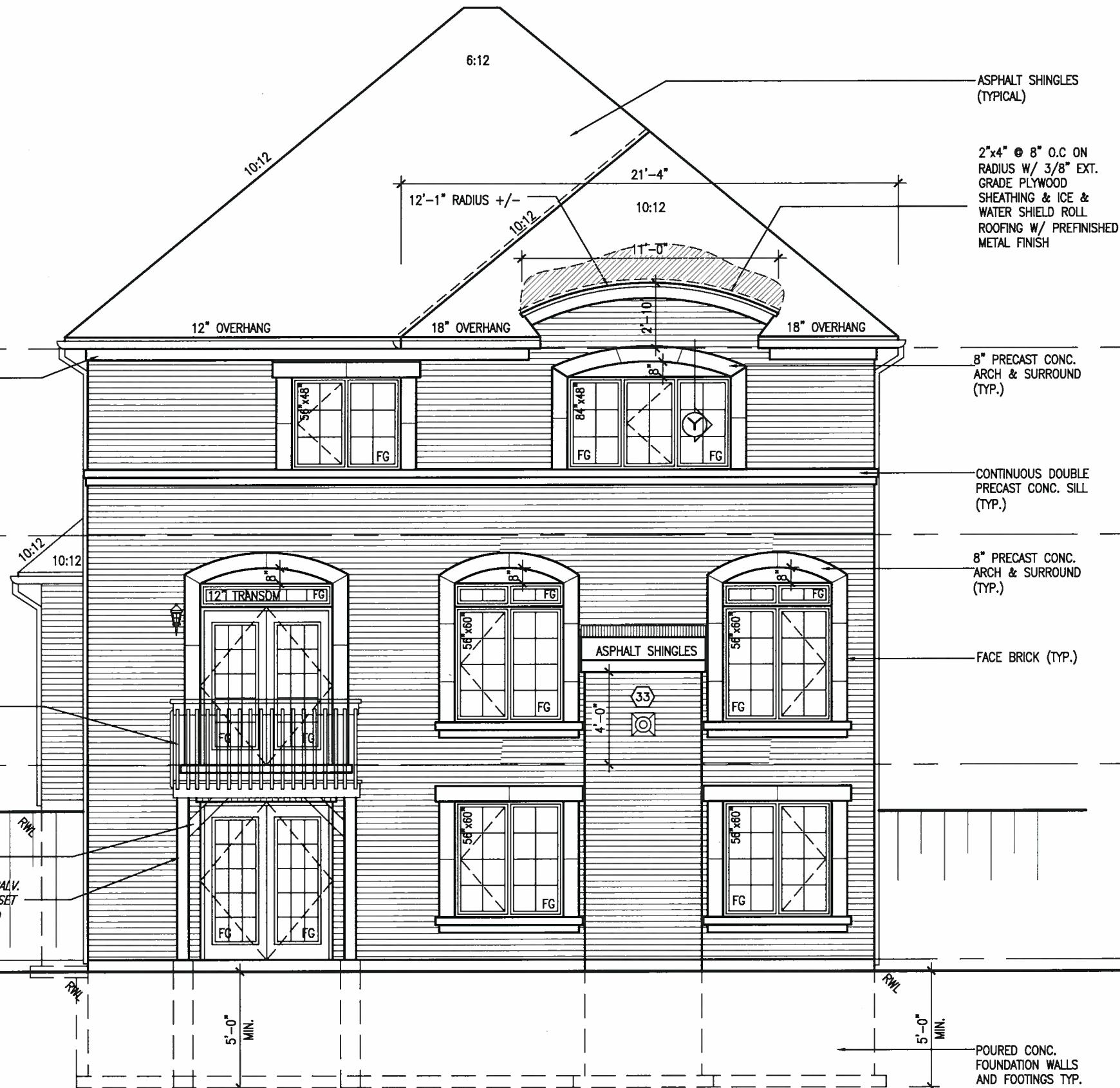


RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

36" HIGH WOOD RAILING (42" HIGH GUARD WHEN DECK IS MORE THAN 5'-11" ABOVE GRADE)

2"x6" CROSS BRACING
6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

NOTE:
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-0"
9'-11"
FIN GROUND FLOOR
TOP OF WINDOW
6'-10"
8'-5"
TOP OF SLAB



JAN 26, 2018

S42-6 RIDEAU 6		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONT.		UPGRADED REAR ELEVATION 'B' - W.O.B. COND.		16023		37	
project no.	16023	project name	BAYVIEW WELLINGTON	municipality	BRADFORD, ONT.	date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"	drawn by	WT
drawing no.	37	file name	16023-S42-6	project name	UPGRADED REAR ELEVATION 'B' - W.O.B. COND.	date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"	drawn by	WT
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information name Wellington Jno-Baptiste signature 25591 BCO 42558 VA3 Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.													
no.	9	description	REVISED AS PER ENG'S COMMENTS	date	JAN 25-18	RC		by					
no.	8	description	ISSUED FOR CLIENT REVIEW	date				by					
no.	7	description		date				by					
no.	6	description		date				by					
no.	5	description		date				by					
no.	4	description		date				by					
no.	3	description		date				by					
no.	2	description		date				by					
no.	1	description		date				by					

Site Copy



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

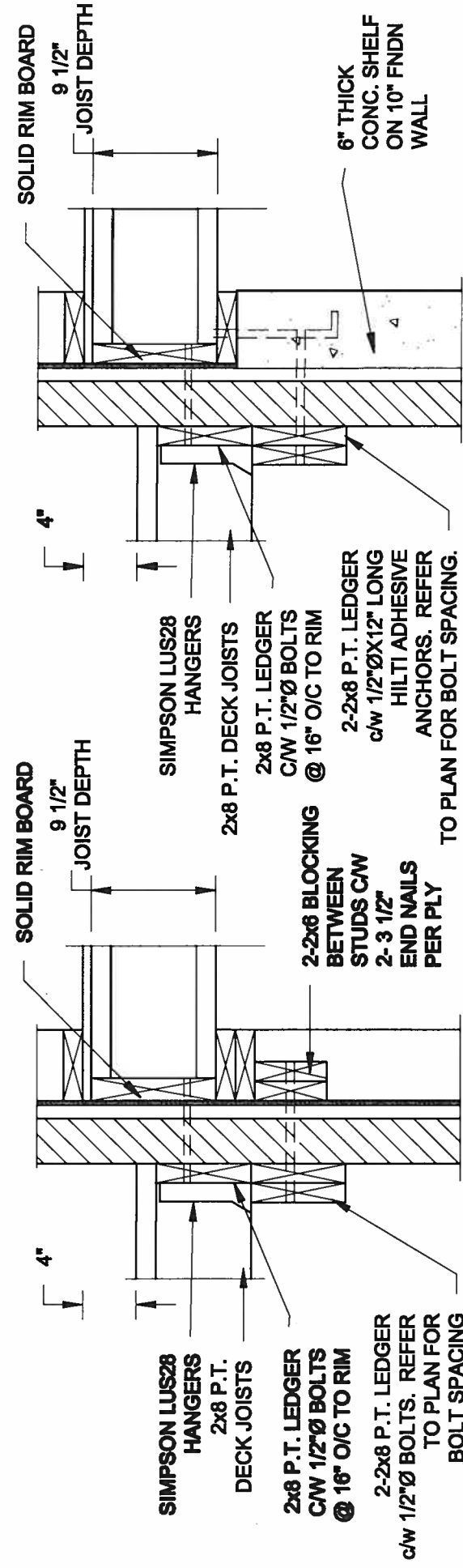
UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION



JAN 26, 2018

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	project no.	16023
date	FEBRUARY, 2017	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		UPGRADED REAR ELEVATION 'C' - W.O.B. COND.	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591 BCN 42558	
Wellington Jno-Baptiste		Signature	
VA3 Design Inc.		Signature	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 25-18 RC	
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 25-18 RC	
no.	description	date	by

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

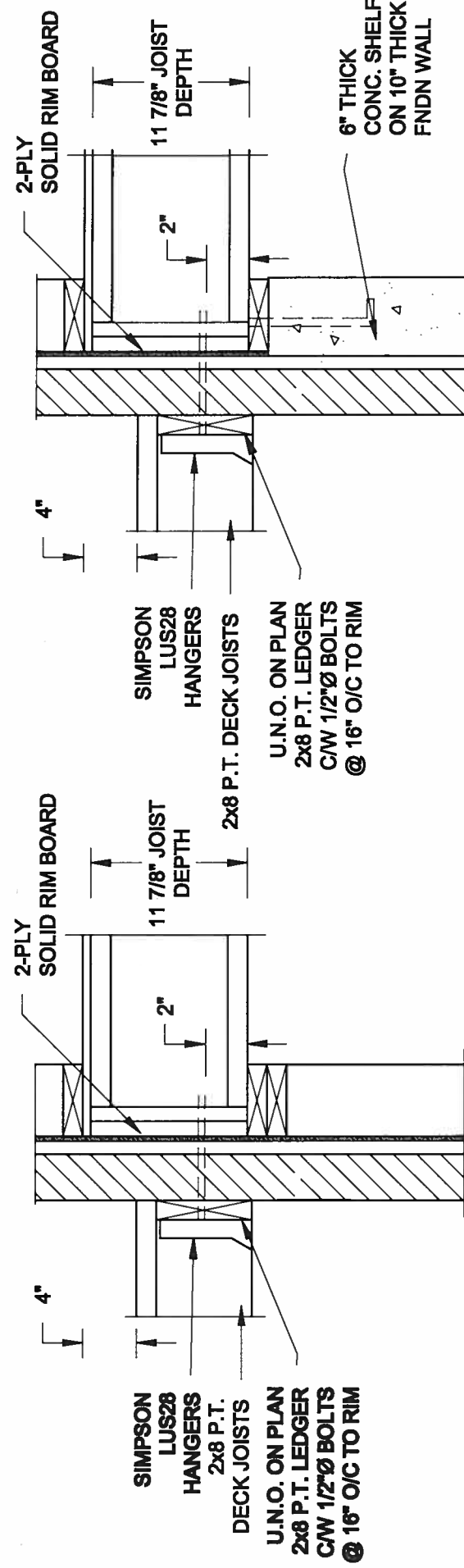
1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

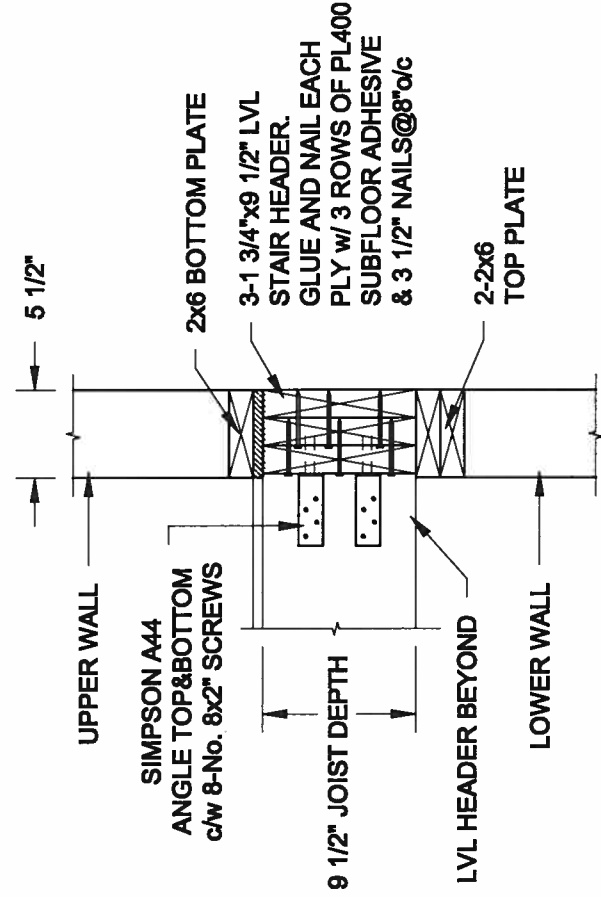
SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

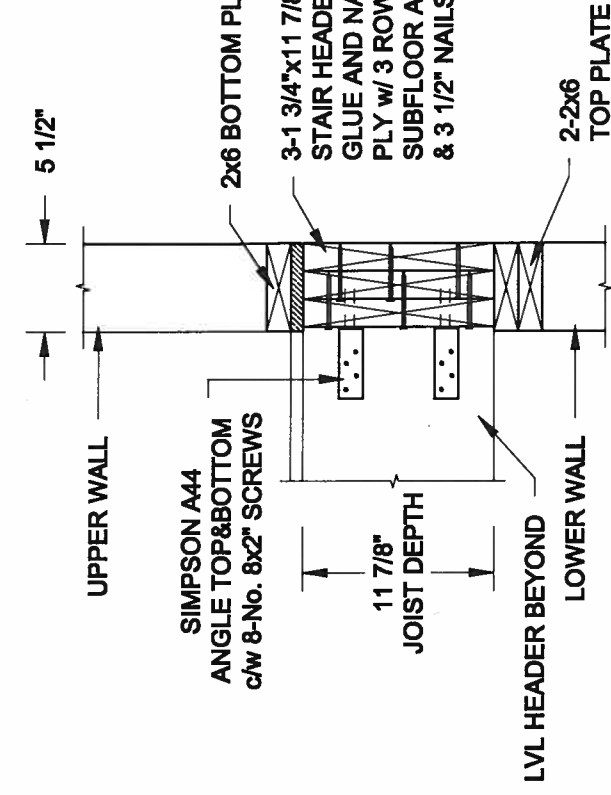
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER

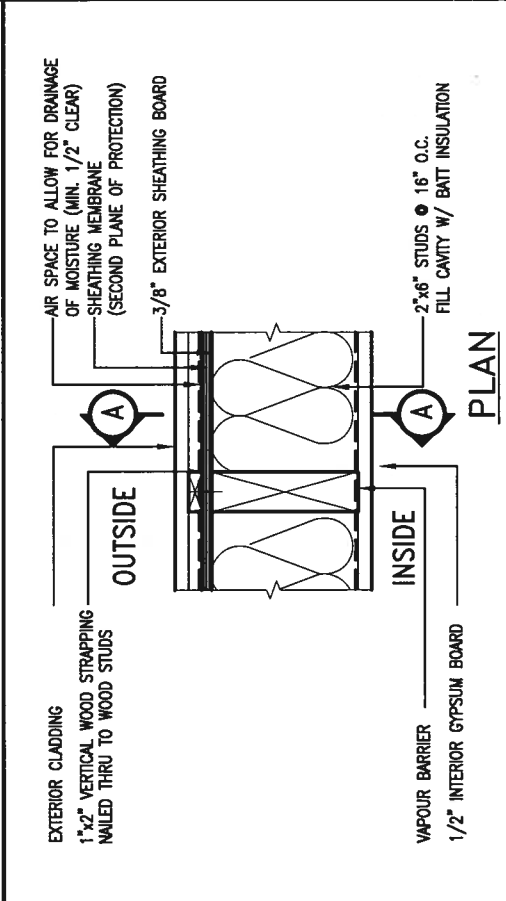
SCALE: 1" = 1'-0"



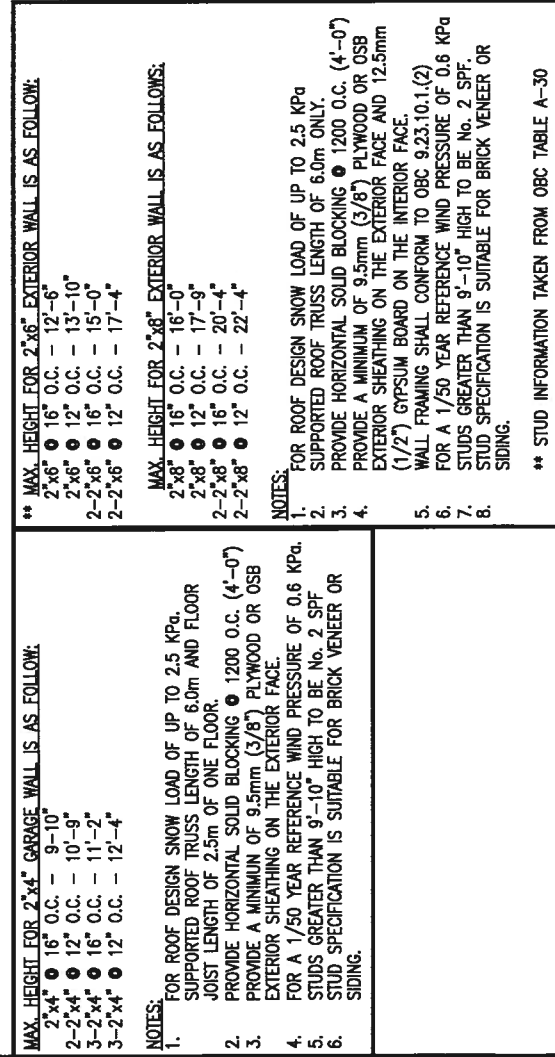
STANDARD HEAD

SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-20-2017	Drawn: SC		Checked: SJB
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com Engineer's Seal:  JAN 16, 2018				
Project: RAYVEN WELINGTON HOMES - GREEN VALLEY BEATES - SINGLES BRADFORD, ONTARIO TYPICAL STRUCTURAL DETAILS Drawing No.: S2				
Project No.: 17-215				

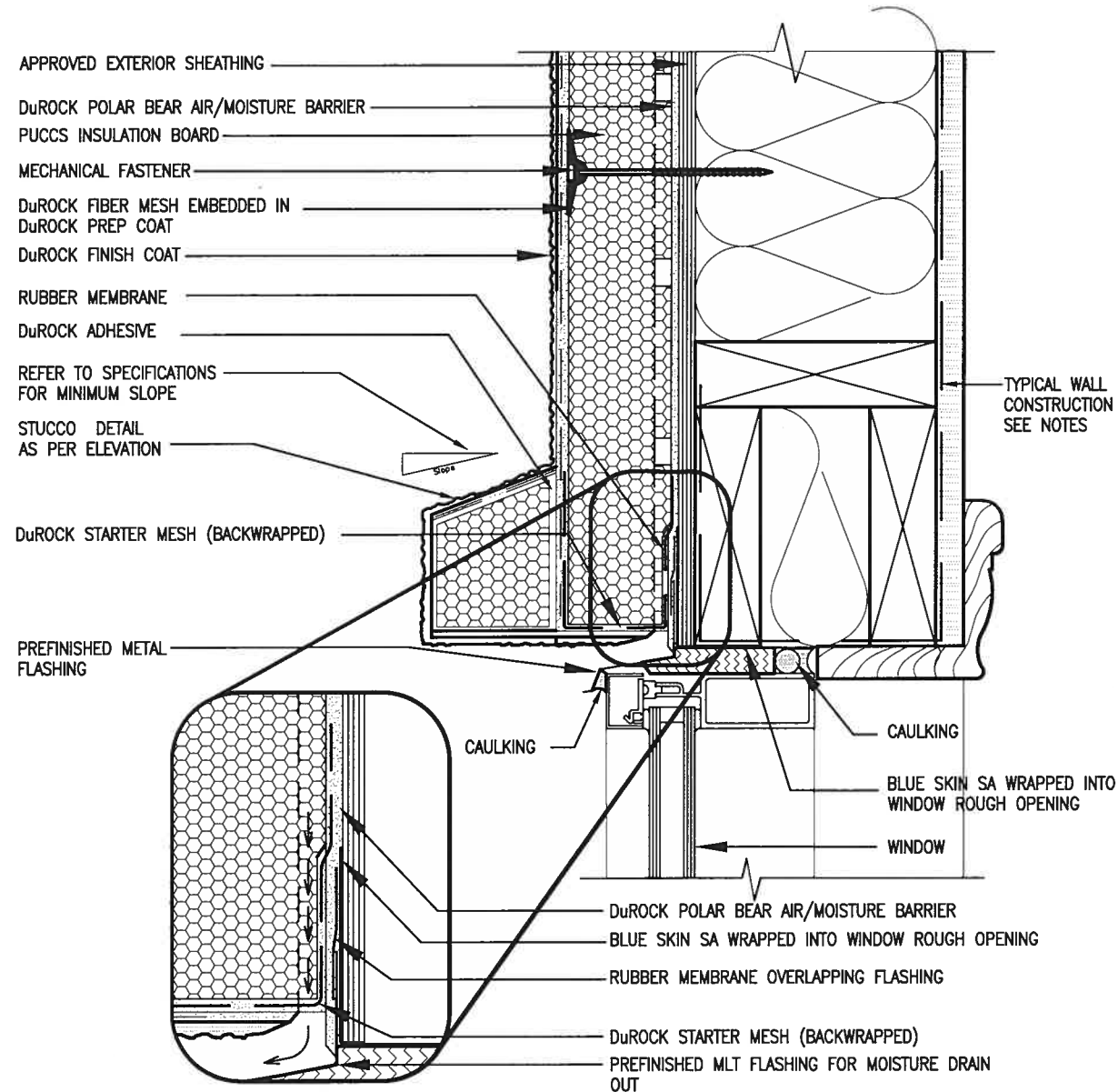


STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KW (300 lb)
REFER TO ORC. DW. B- 9.5.2.3. WATER CLOSET 3.8.3.13(3)(a) & 3.8.3.18(3)(c). SHOWER 3.8.3.13(2)(f). BATHTUB & 3.8.3.13(4)(c). AND DETAILS PROVIDED.



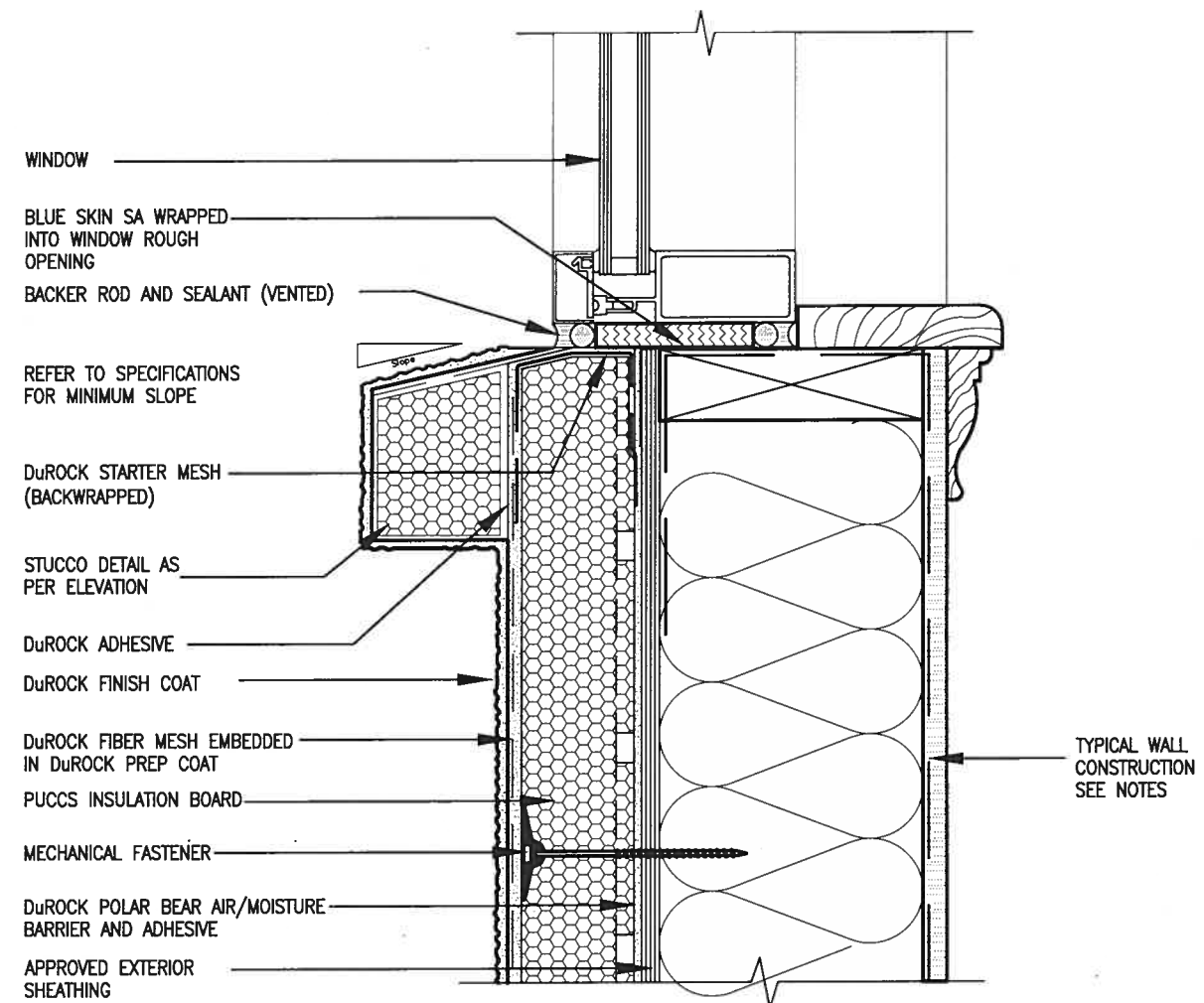
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vc3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
project no. 16023	drawing no. CN2
date MAY 2016	CONSTRUCTION NOTES
drawn by RC	file name 16023-CN-A1
checked by —	scale 3/16" = 1'-0"
printed on RICHARD — H:\ARCHIVE\WORKING\2016\ 16023.BW Units (CN NOTES)\16023 - CN-A1.dwg	plot date Thu — Jun 11 2018 — 10:38 AM



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project name
MAY 2016
RC

project no.
16023
drawing no.
CN3

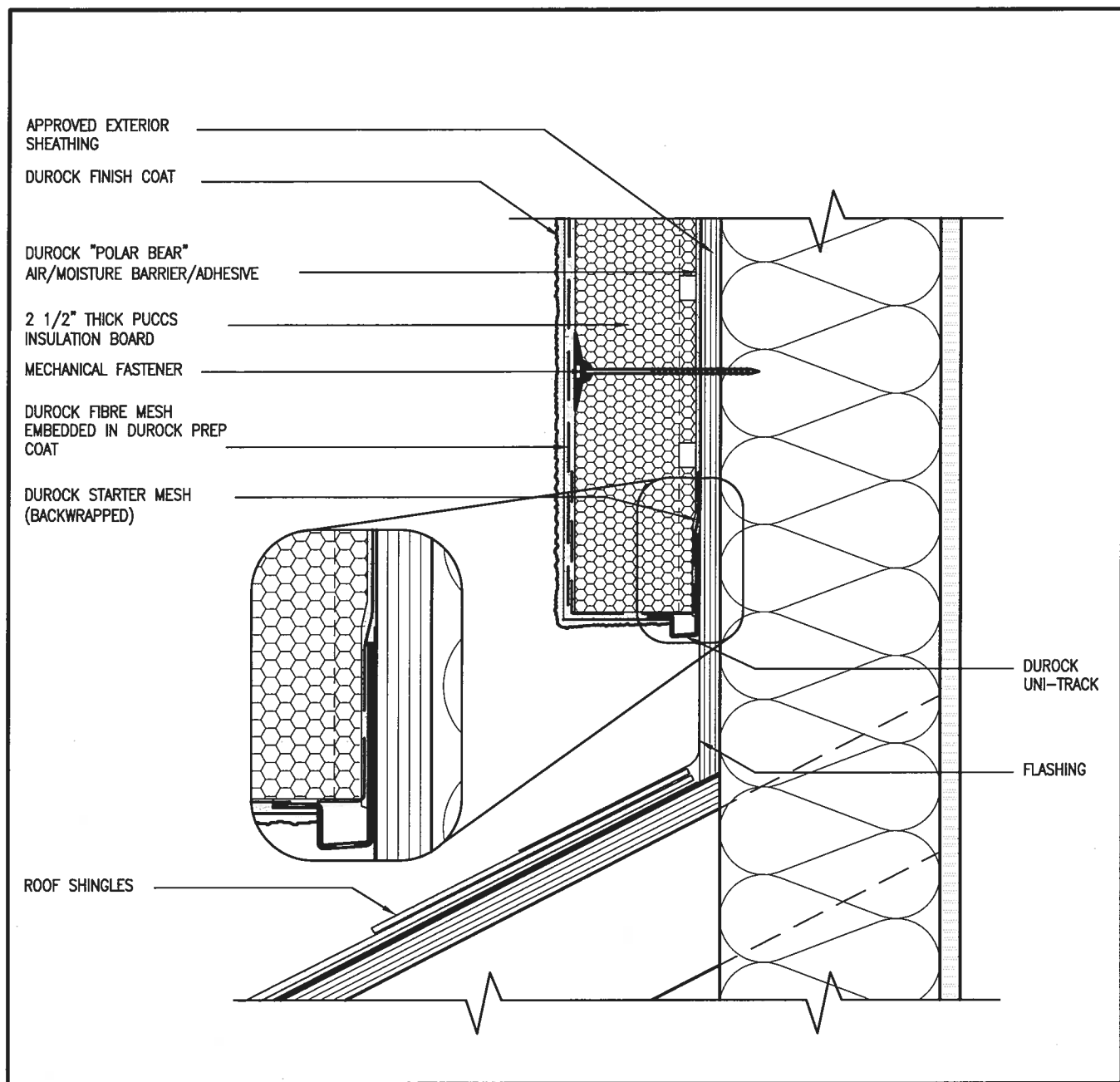
checked by
scale
3/16" = 1'-0"

CONSTRUCTION NOTES
16023-CN-A1
16023-CN-A1
16023-CN-A1

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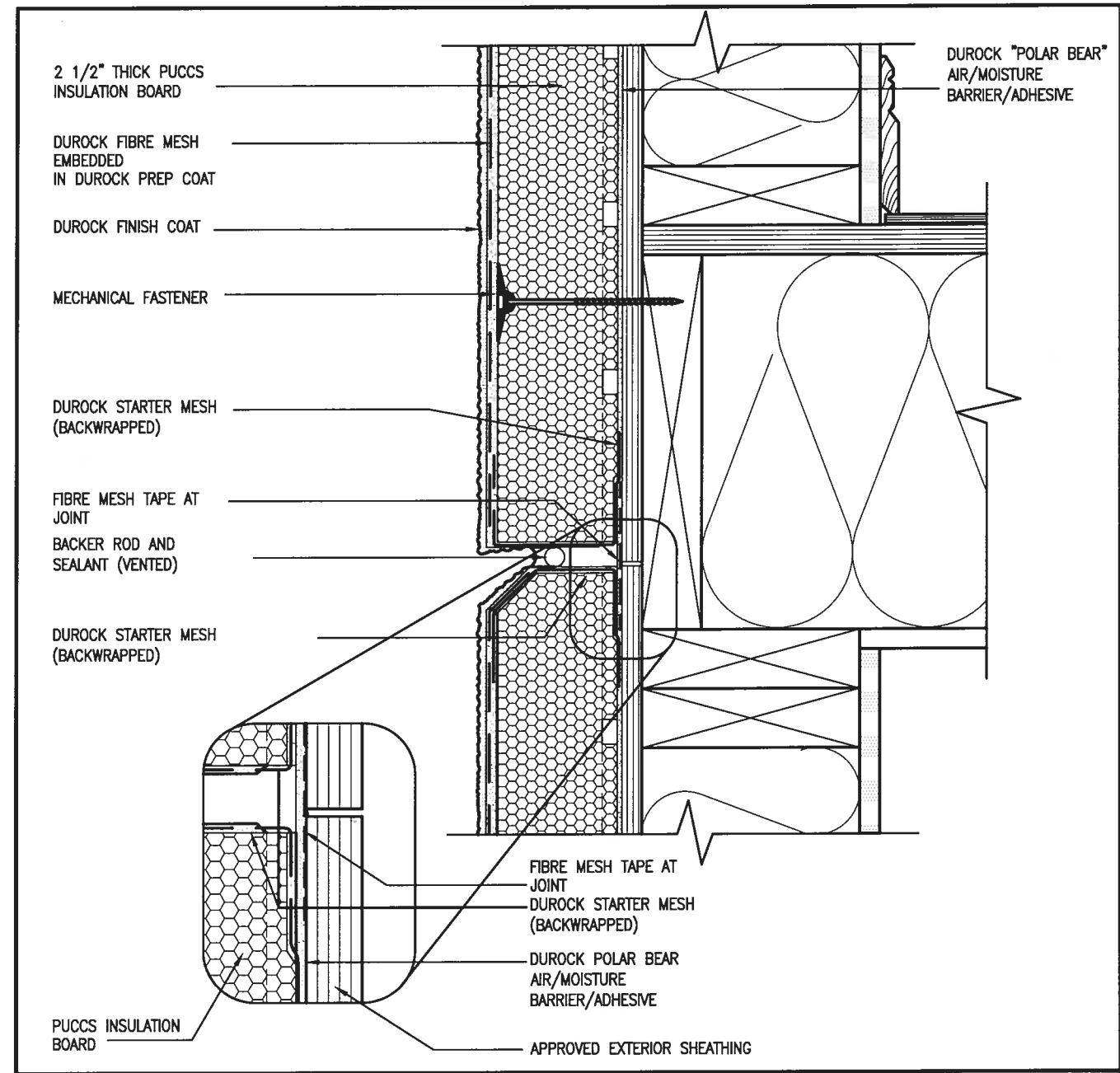
qualification information
Wellington Inc-Bopplate
signature
25591
42658

no. description
1 ISSUE FOR CLIENT REVIEW
JAN 11-18 RC
AUG 04-17 RC
date by



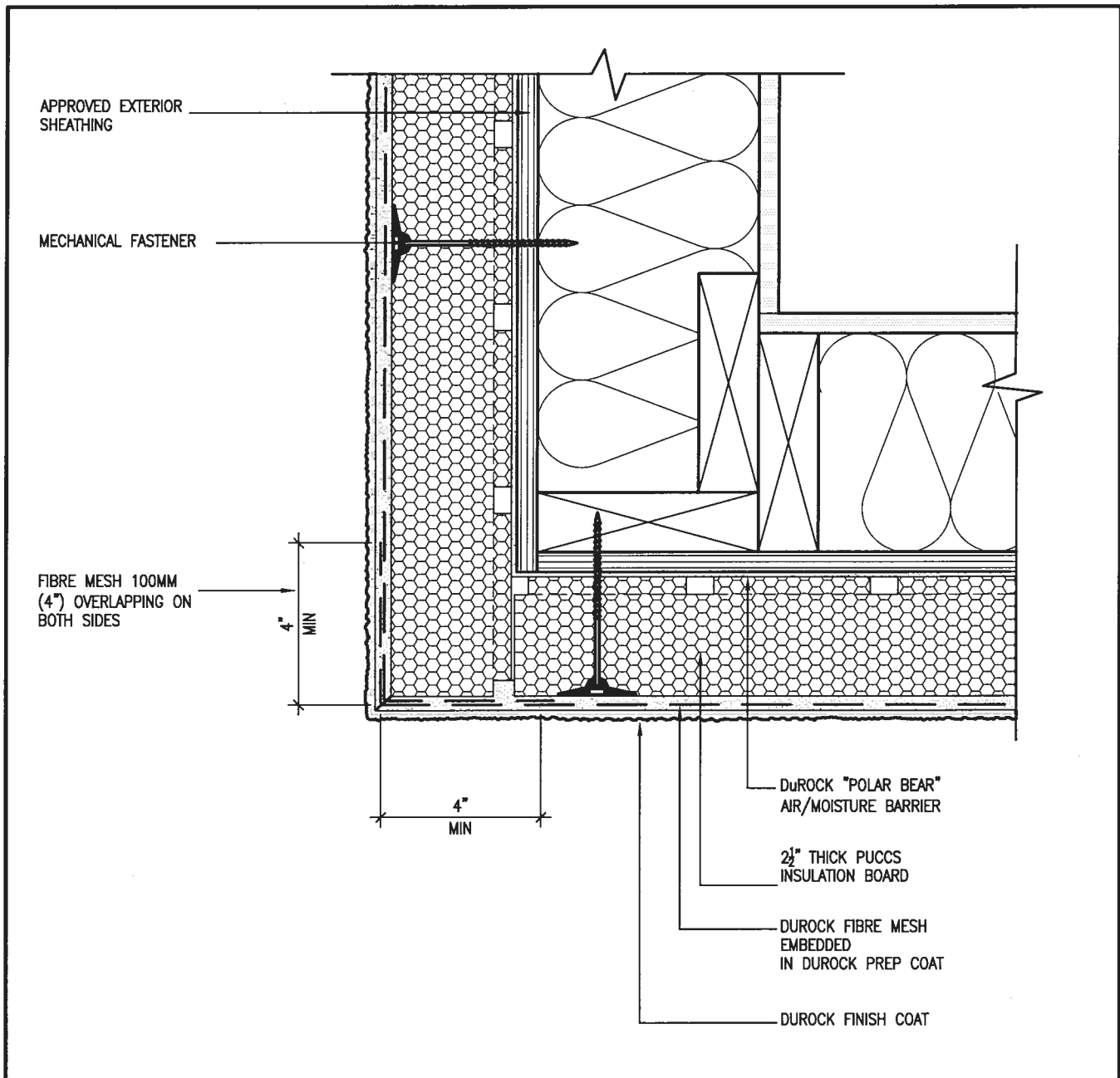
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



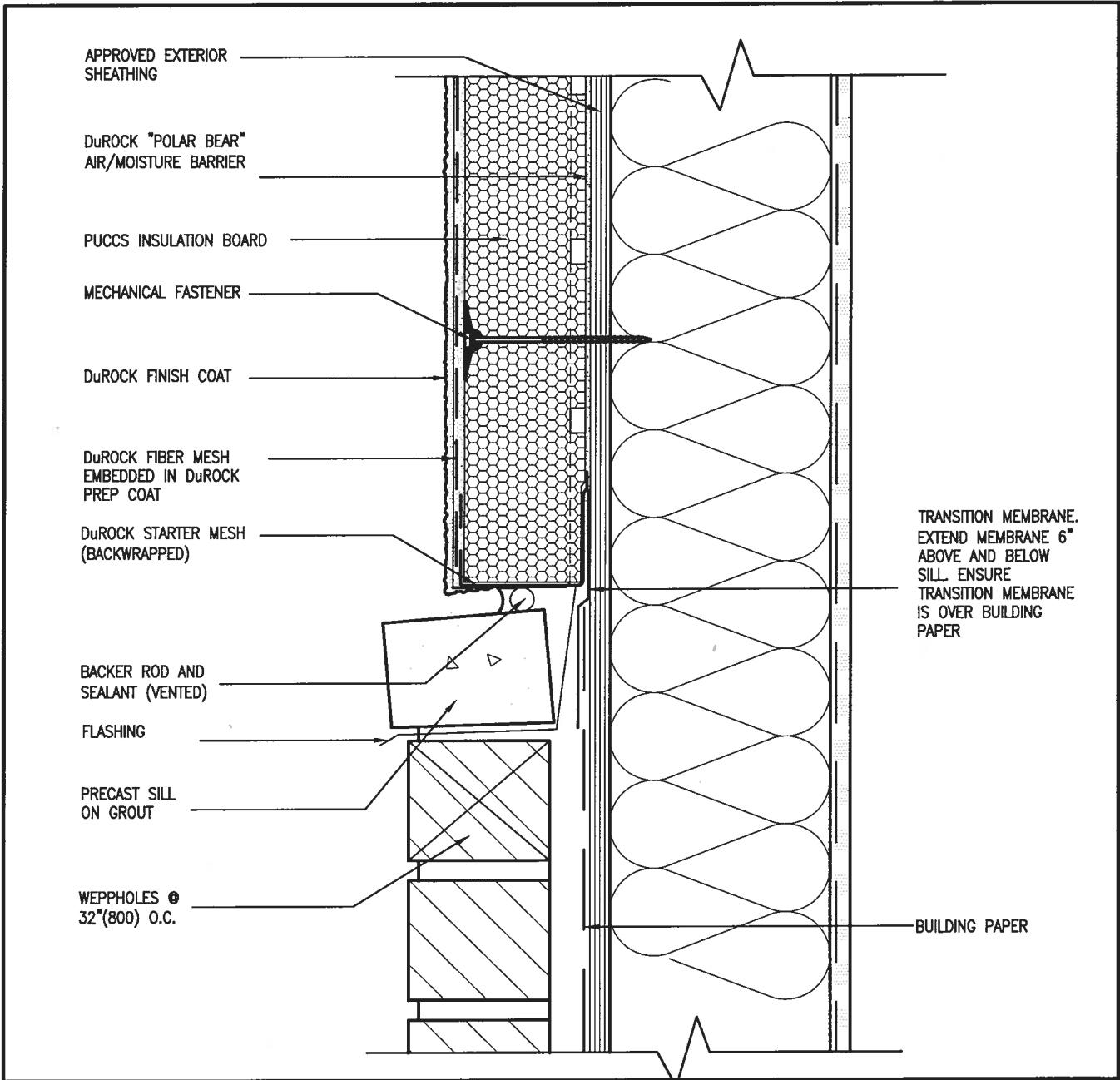
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN4	
project no.	16023	project name	GREEN VALLEY EAST	date	MAY 2016	scale	3/16" = 1'-0"	checked by	RC	drawn by	RC
drawing no.	CN4	file name	16023-CN-A1	drawn by	RC	checked by	RC	drawn by	RC	checked by	RC
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 f 416.630.4782 va3design.com The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington, Jno-Baptiste 25591 BCN signature 42658 VA3 Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.											
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2.	UPDATE TO 2018	JAN 11-18	RC								
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC								
no.	description	date	by								



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

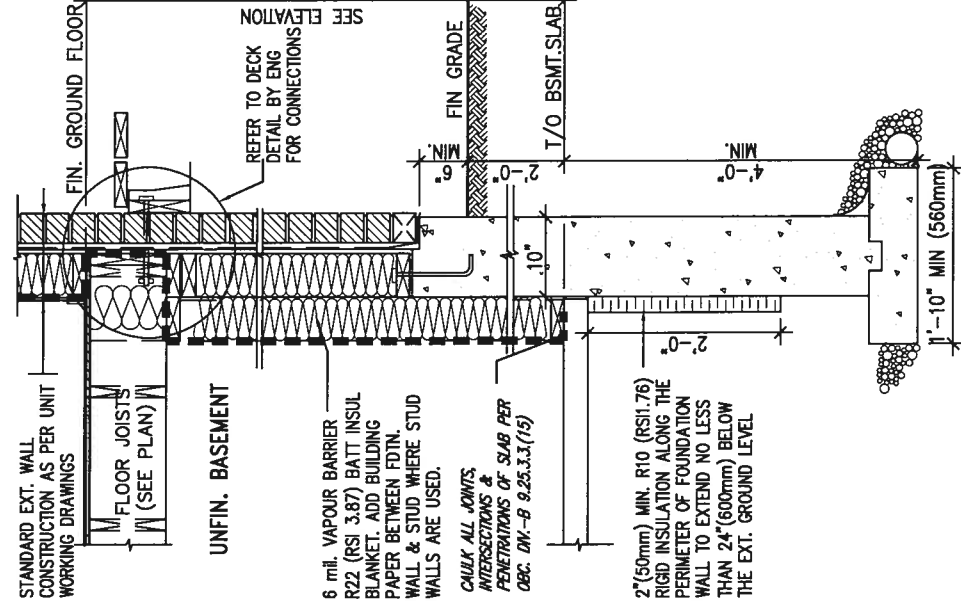
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		CONSTRUCTION NOTES		CN5	
project no.	16023	municipality	BRADFORD	project name	GREEN VALLEY EAST	checked by	RC	scale	3/16" = 1'-0"
drawing no.	CN5	date	MAY 2016	drawn by	RC	checked by	RC	file name	16023-CN-A1
16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM RC - H:\ARCHIVE\WORKING\2016\16023.BK\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM									
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The undersigned has reviewed and taken responsibility for this design. The design complies with the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste 25591 BCN 42658 VA3 Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.									
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2.	UPDATE TO 2018	JAN 11-18	RC						
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

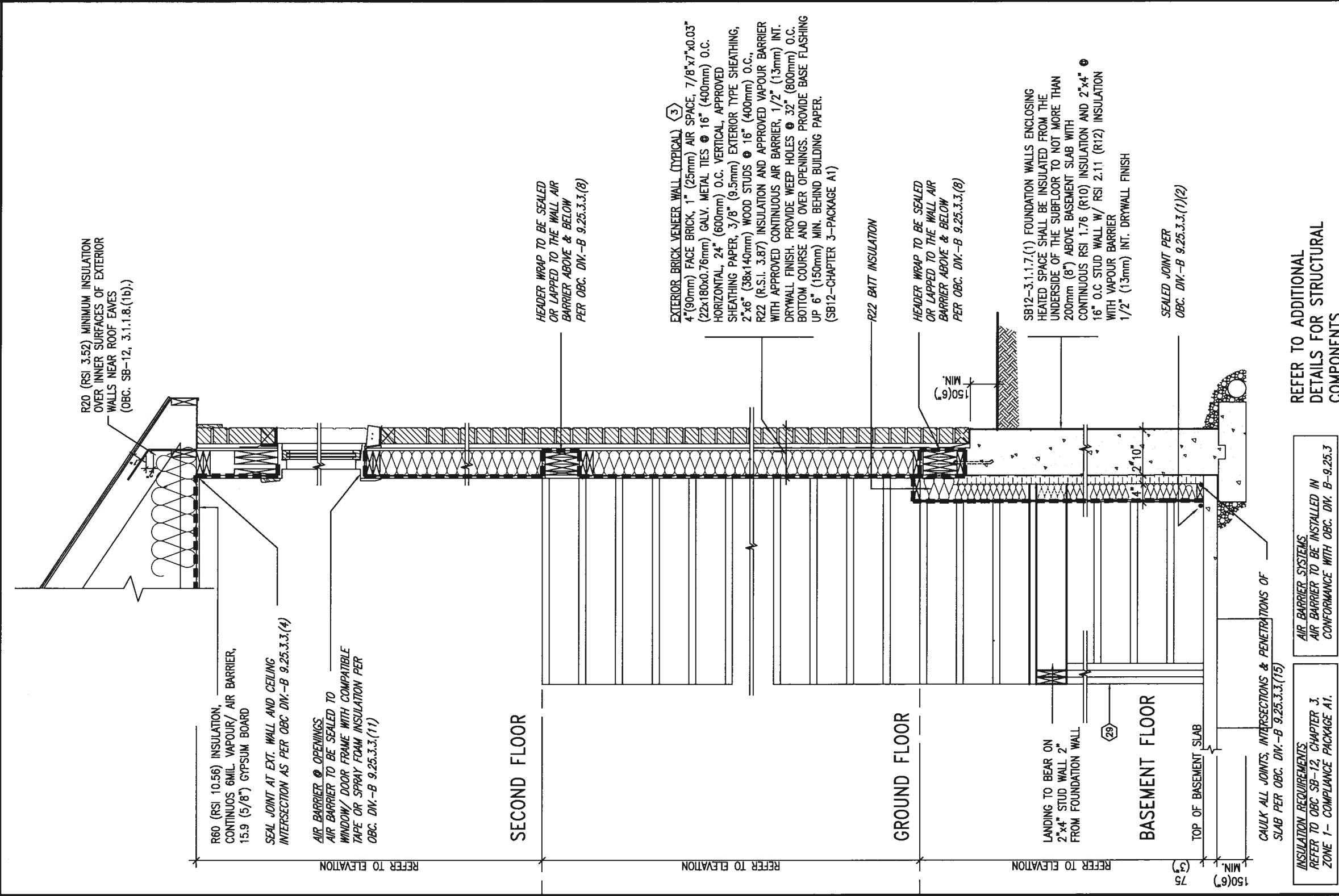
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

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SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

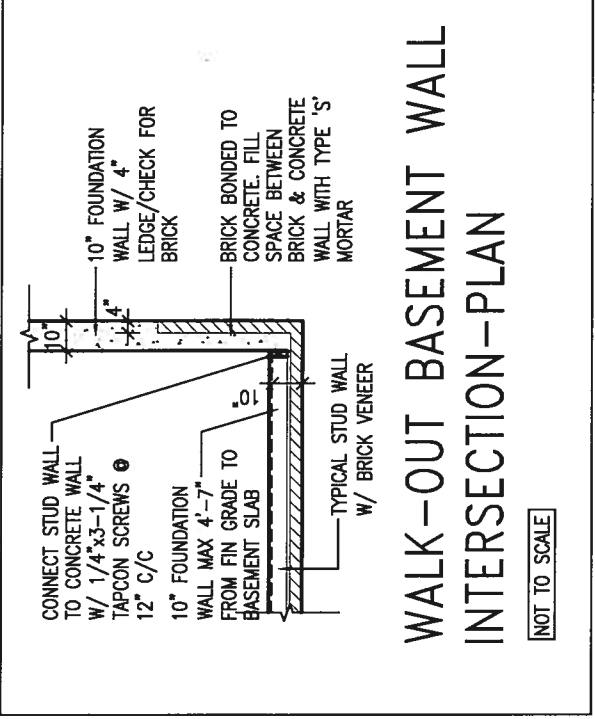
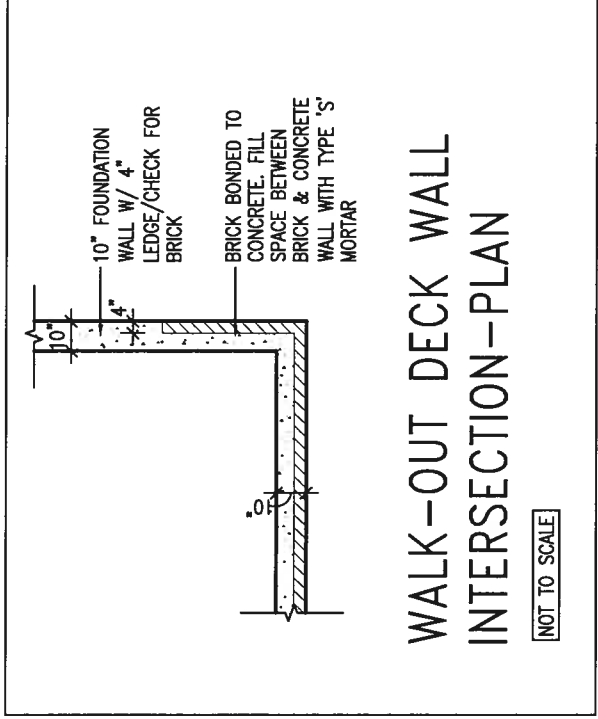
9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	
7.	.	.	qualification information
6.	.	.	Wellington Jno-Baptiste 25591 <i>Jno-Baptiste</i> signature
5.	.	.	name BCH
4.	.	.	registration information VA3 Design Inc. 42658
3.	.	.	
2.	UPDATE TO 2018	JAN 11-18 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by



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vcbdesign.com

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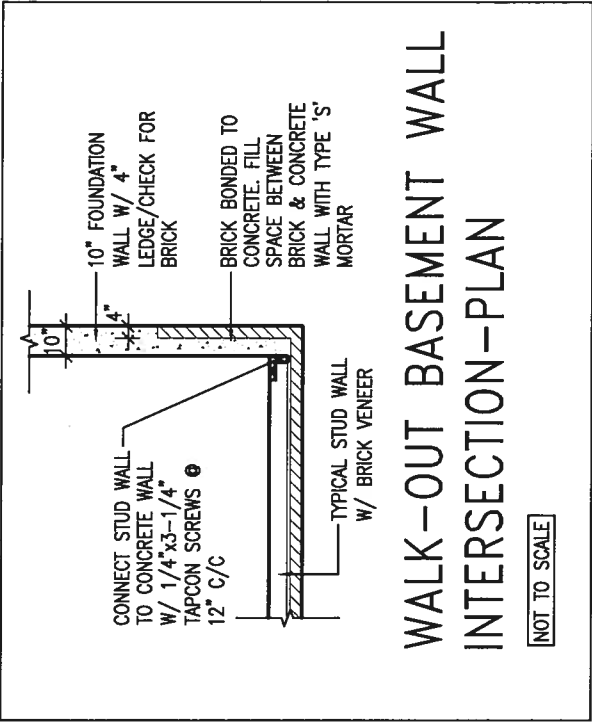
BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0"		CONSTRUCTION NOTES file name 16023-CN-A1	
		drawing no. CN7	



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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

BAYVIEW WELLINGTON	CONST NOTE					
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023				
date MAY 2016	drawn by RC	scale 3/16" = 1'-0"	checked by --	drawing no.		
CONSTRUCTION NOTES				CN10		
file name 16023-CN-A1				16023-CN-A1		
RICHARD - H:\ARCHIVE WORKING\2016\16023.BW Units\CN NOTES\16023-CN-A1.dwg -- Thu - Jan 11 2018 - 10:09 AM						

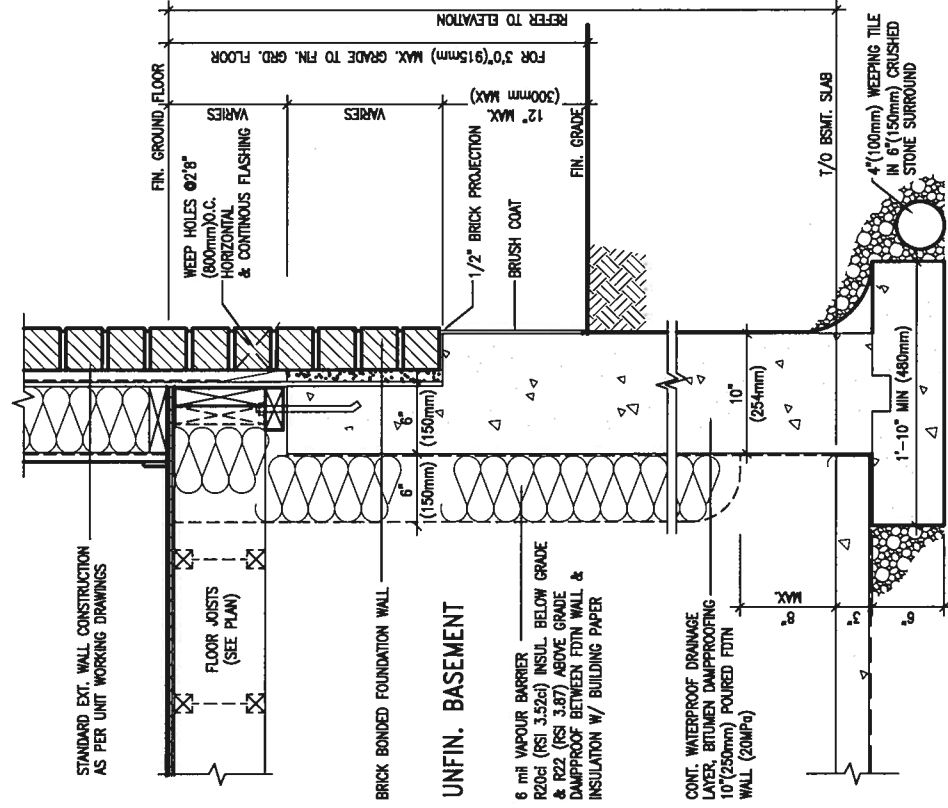
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WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

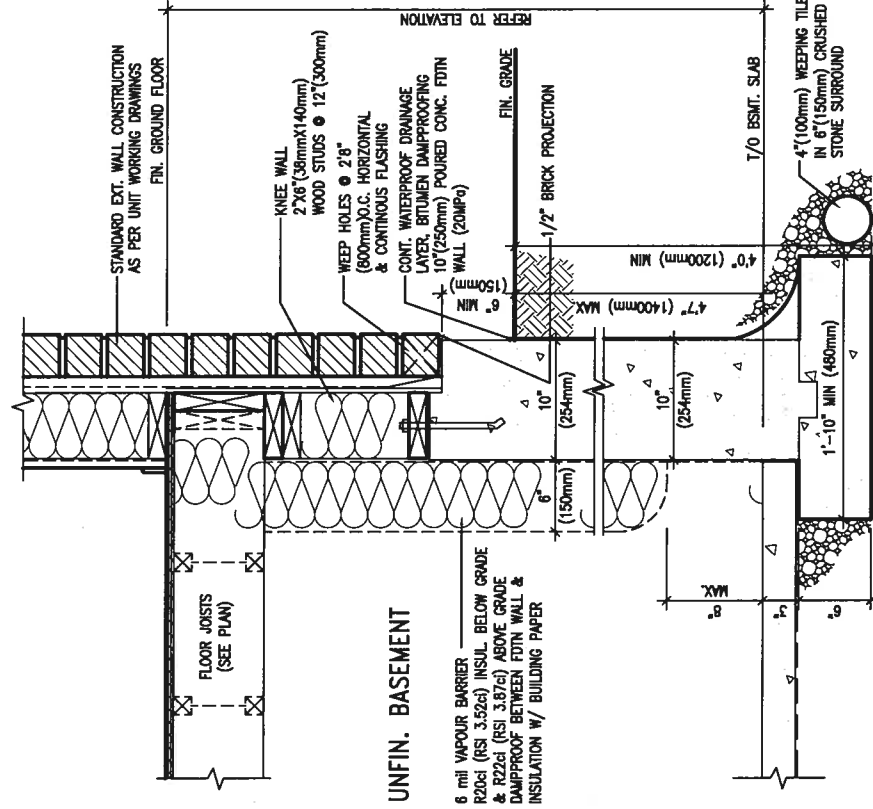
NOT TO SCALE

(10" FOUNDATION WALL)



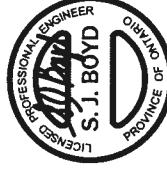
EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information

Wellington Jho-Baptiste 2559

name registration information signature BCMA 426588

VAS Design Inc.

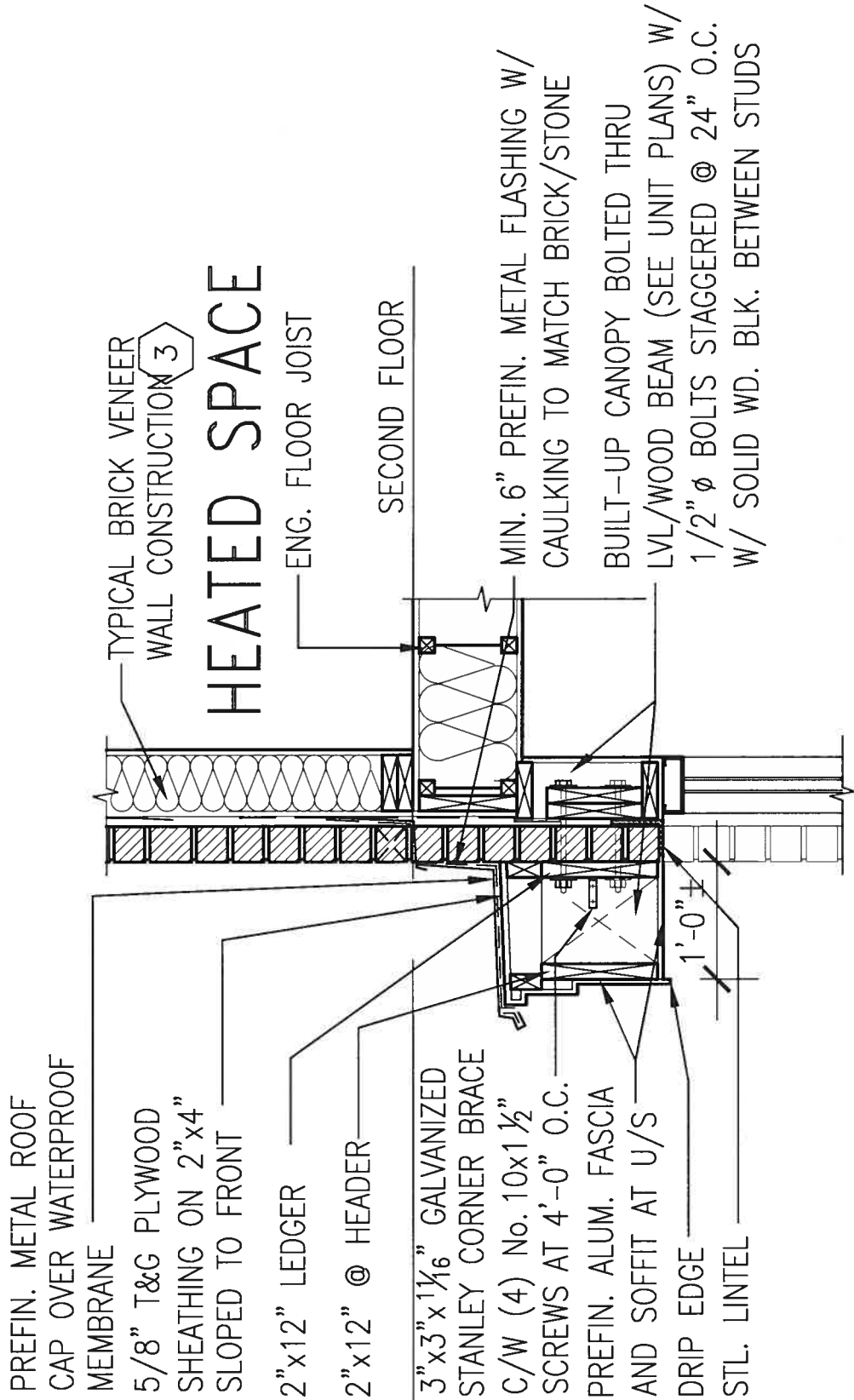
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	1 6023
drawn by	RC	checked by	—
scale	3/16" = 1'-0"	drawing no.	CN11
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM		16023-CN-A1	

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1 SECTION THROUGH CANOPY

CN12 SCALE 1/2" = 1'-0"



JAN 11, 2018

9.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	.	qualification information
7.	.	.	.	.	Wellington Jno-Baptiste 25591 BCN
6.	.	.	.	.	name
5.	.	.	.	.	Wellington Jno-Baptiste 25591 BCN
4.	.	.	.	.	registration information
3.	.	.	.	.	VAS Design Inc. 42658
2.	UPDATE TO 2018	JAN 11-18	RC	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	RC	
no.	description	date	by		



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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	scale	3/16" = 1'-0"	drawing no.	CN12
drawn by	RC	checked by		CONSTRUCTION NOTES	16023-CN-A1
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