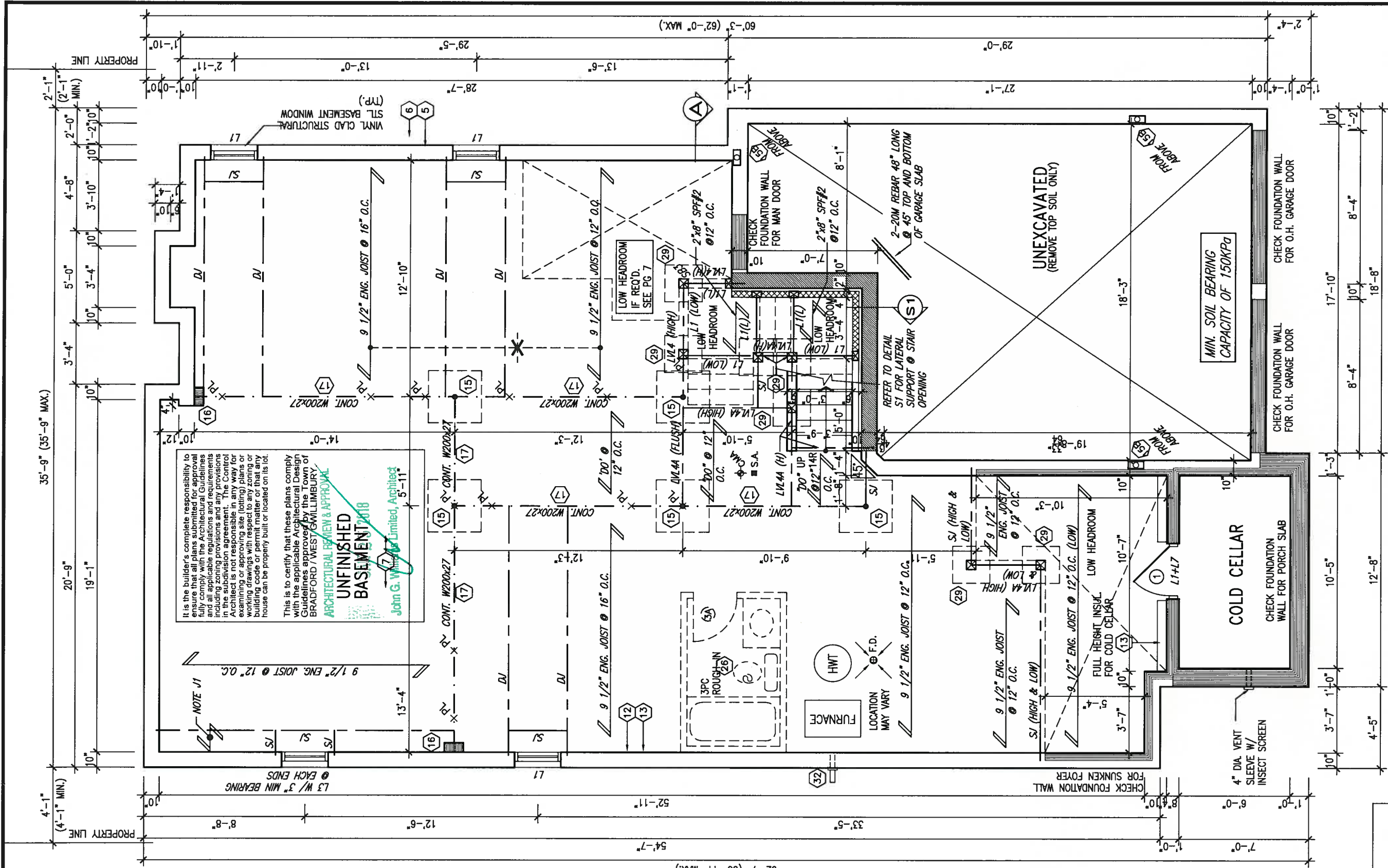




NOTE: PROVIDE SOLID BLOCKING @ 24\"/>

NOTE: SPACE ALL FLOOR JOISTS @ 12\"/>

BASEMENT PLAN 'A'

REFER TO PAGE 7
FOR AREA CHART

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BAYVIEW WELLINGTON		S42-5		RIDEAU 5	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	drawn by	RC	drawing no.	1
BASEMENT PLAN ELEV. 'A'					
RICHARD - H:\ARCHITECT\WORKING\2016\16023.5W\Units\42\16023-542-5.dwg - Tue - Jan 23 2018 - 9:49 AM					

1	ISSUED FOR CLIENT REVIEW	date	
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
3			
4			
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1	ISSUED FOR CLIENT REVIEW	date	
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
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JAN 23, 2018

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

INSPECTOR: **REVIEWED**

PERMIT NO.: **CERT. MODEL** DATE: **12/11/2018**

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGSPECTIONS@TOWNOFBRWG.COM
INSPECTION REQUEST FAX: (905) 778-2035
INSPECTION REQUEST TELEPHONE: (905) 775-5369 EXT. 1500

Site Copy

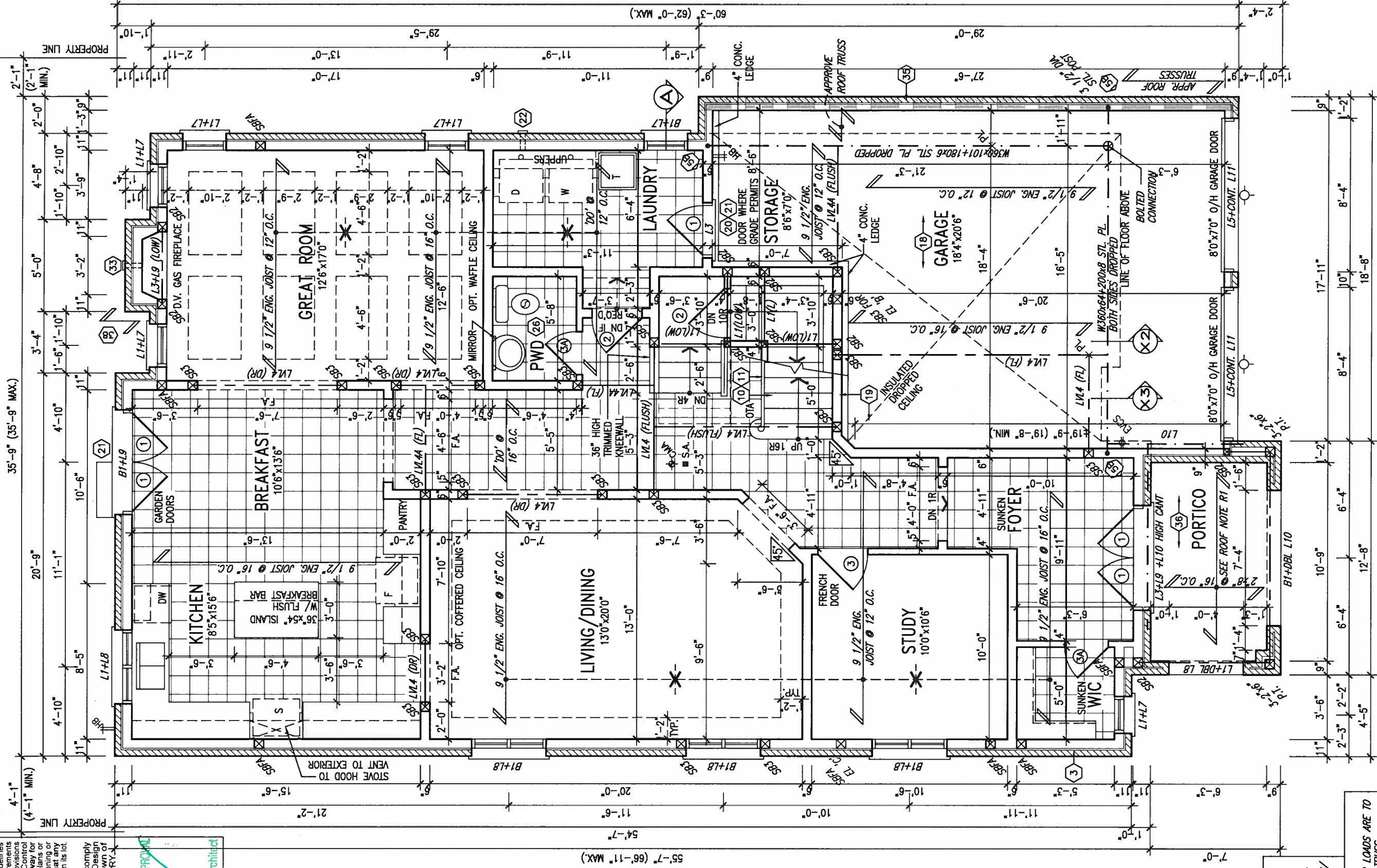
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



NOTE:
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NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN 'A'

INDICATES FIRE RATED WALL ASSEMBLY

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

1	ISSUED FOR CLIENT REVIEW	RC	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18		
3				
4				
5				
6				
7				
8				
9				

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Ino-Baptiste
signature
25591
BCN
42658
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.

date
FEBRUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

project no.
16023

drawing no.
2

S42-5
RIDEAU 5

GROUND FLOOR PLAN ELEV. 'A'
file name
16023-S42-5

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

project no.
16023

drawing no.
2

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Site Copy

John G. Williams Limited, Architect

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7	.	
6	.	
5	.	
4	.	
3	.	
2	REVISED AS PER ENG'S COMMENTS	JAN
1	ISSUED FOR CLIENT REVIEW	
no.	description	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.2256
va3design.com

date FEBRUARY, 2017
drawn by WNT
checked RC
RICHARD - H:\ARCHIVE\WORKING\2

BRADFORD

EV. 'A'	project no. 16023	drawing no. 3
file name 23-542-5		
- 9:49 AM		

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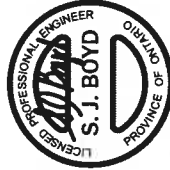
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



JAN 23, 2018

GB NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS, SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(i) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC		
1.	ISSUED FOR CLIENT REVIEW				
NO.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

none

regulation information

VA3 Design Inc. 42658

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONT.

project no.

16023

drawing no.

4

date

FEBRUARY 2017

checked by

RC

drawn by

WT

scale

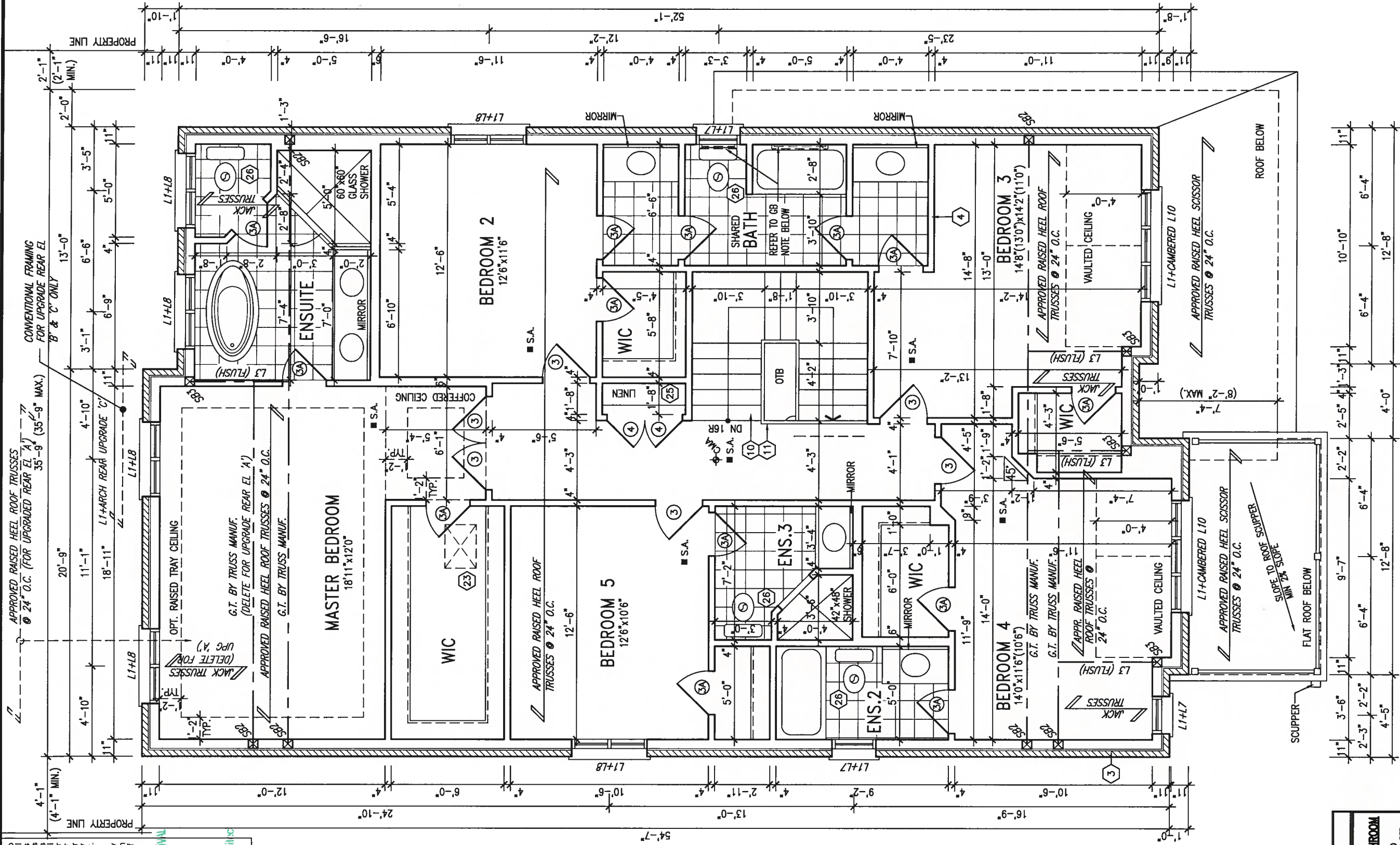
3/16" = 1'-0"

file name

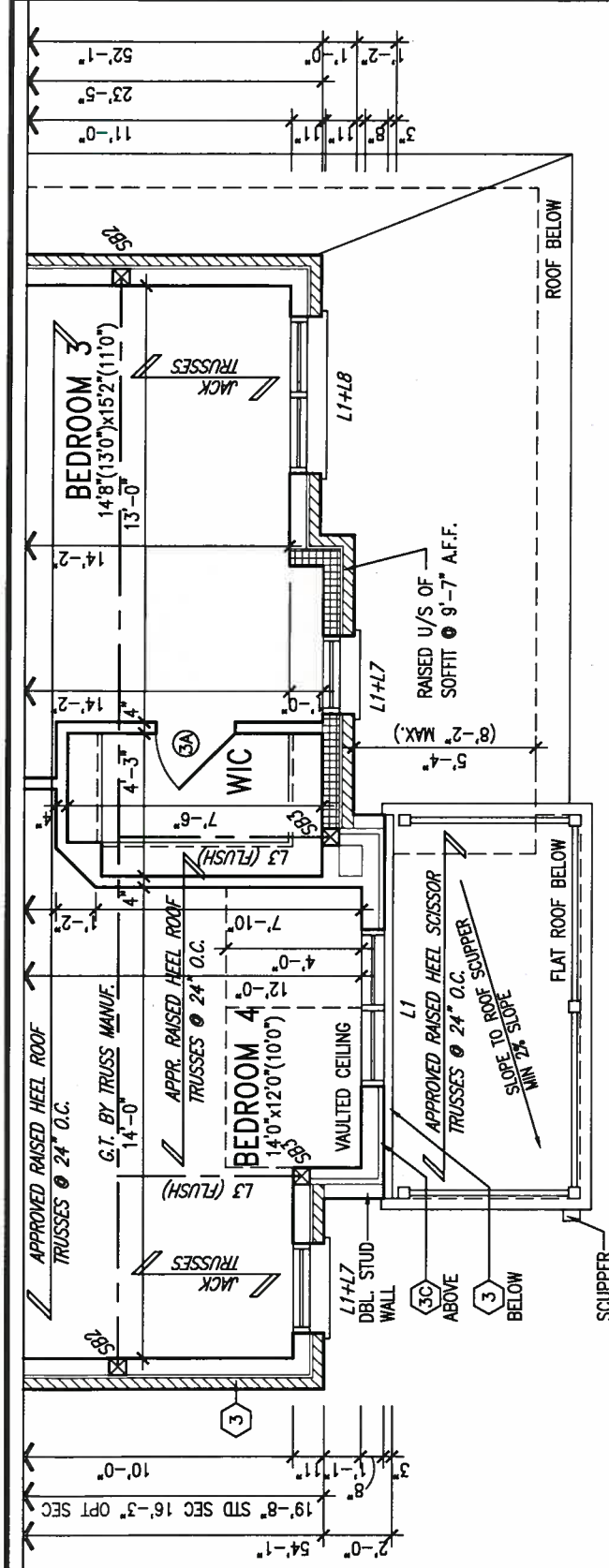
16023-S42-5

OPT. SECOND FLOOR PLAN ELEV. 'A'

OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION

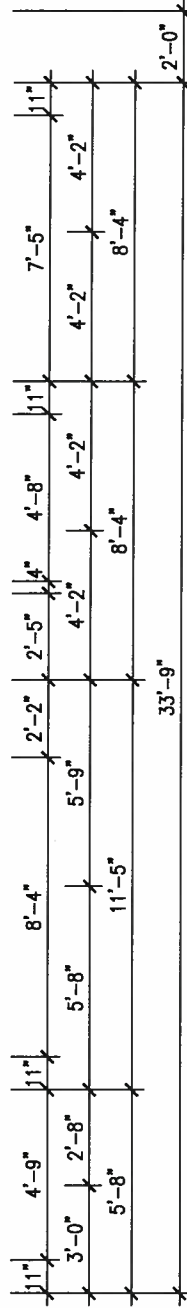
GB NOTE:

**STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM**

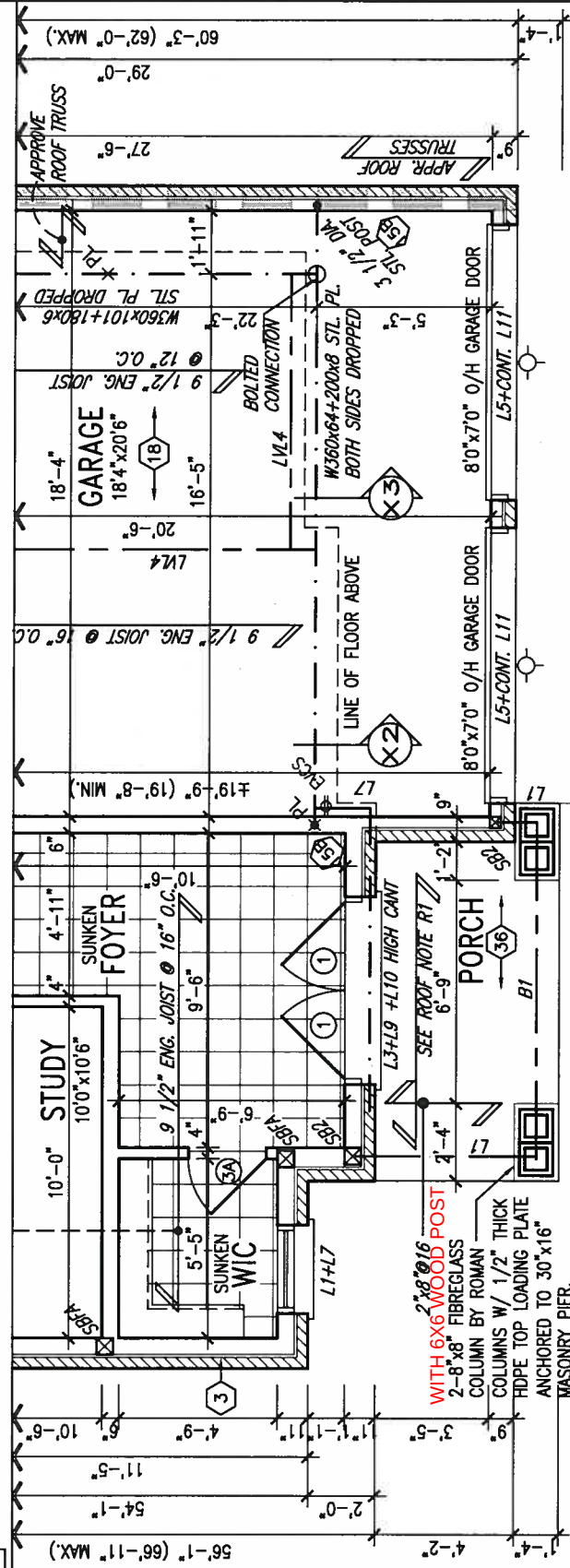
REINFORCEMENT OF STUD WALLS SHALL
BE INSTALLED ADJACENT TO WATER
CLOSETS AND SHOWER OR BATHTUB IN
MAIN BATHROOM AS PER O.B.C. 9.5.2.3,
3.8.3.8.(1)(d), & 3.8.3.13.(1)(f) AND
DETAILS PROVIDED

NOTE: ROOF FRAMING

**ROOF TRUSS INFORMATION
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED**



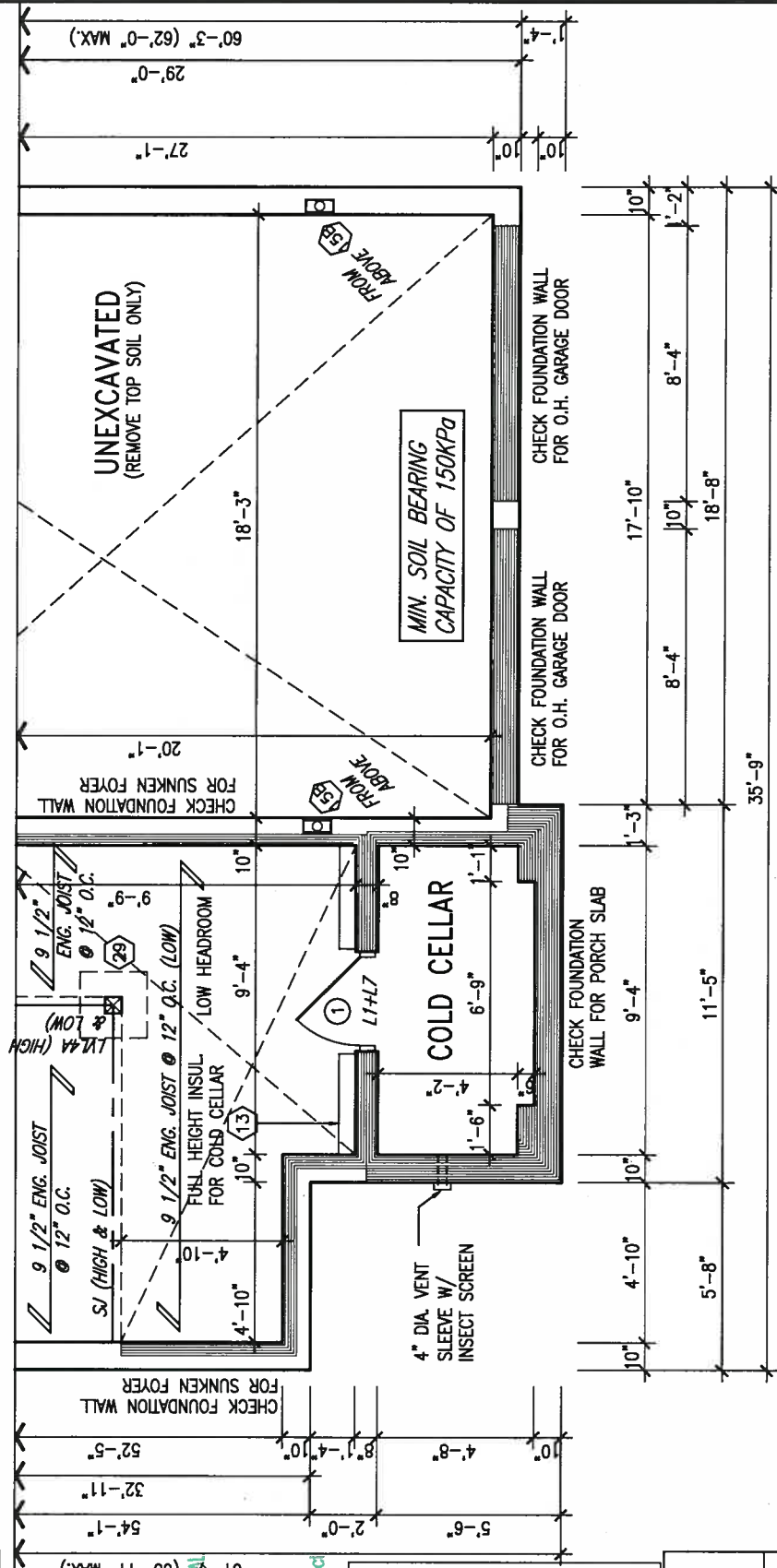
PARTIAL STD./OPT. SECOND FLOOR PLAN 'B'



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
ALL LVL'S SUPPORTING FLOOR
LOADS ARE TO BE SPECIFIED
BY THE FLOOR TRUSS
MANUFACTURER.

PARTIAL GROUND FLOOR PLAN 'B'



NOTE:
SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE

PARTIAL BASEMENT PLAN 'B'

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NOTE:
REFER TO STANDARD FLOOR
PLANS FOR ADDITIONAL
INFORMATION.

GB NOTE:

**STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL
BE INSTALLED ADJACENT TO WATER
CLOSETS AND SHOWER OR BATHTUB IN
MAIN BATHROOM AS PER O.B.C. 9.5.2.3,
3.8.3.8.(1)(d), & 3.8.3.13.(1)(i) AND
DETAILS PROVIDED.

CANOPY ROOF NOTE:
P.T. 2"x8" ROOF JOIST @ 16"
O.C., 5/8" SHEATHING SLOPED
FORWARD WITH PREFIN. METAL CAP

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED.

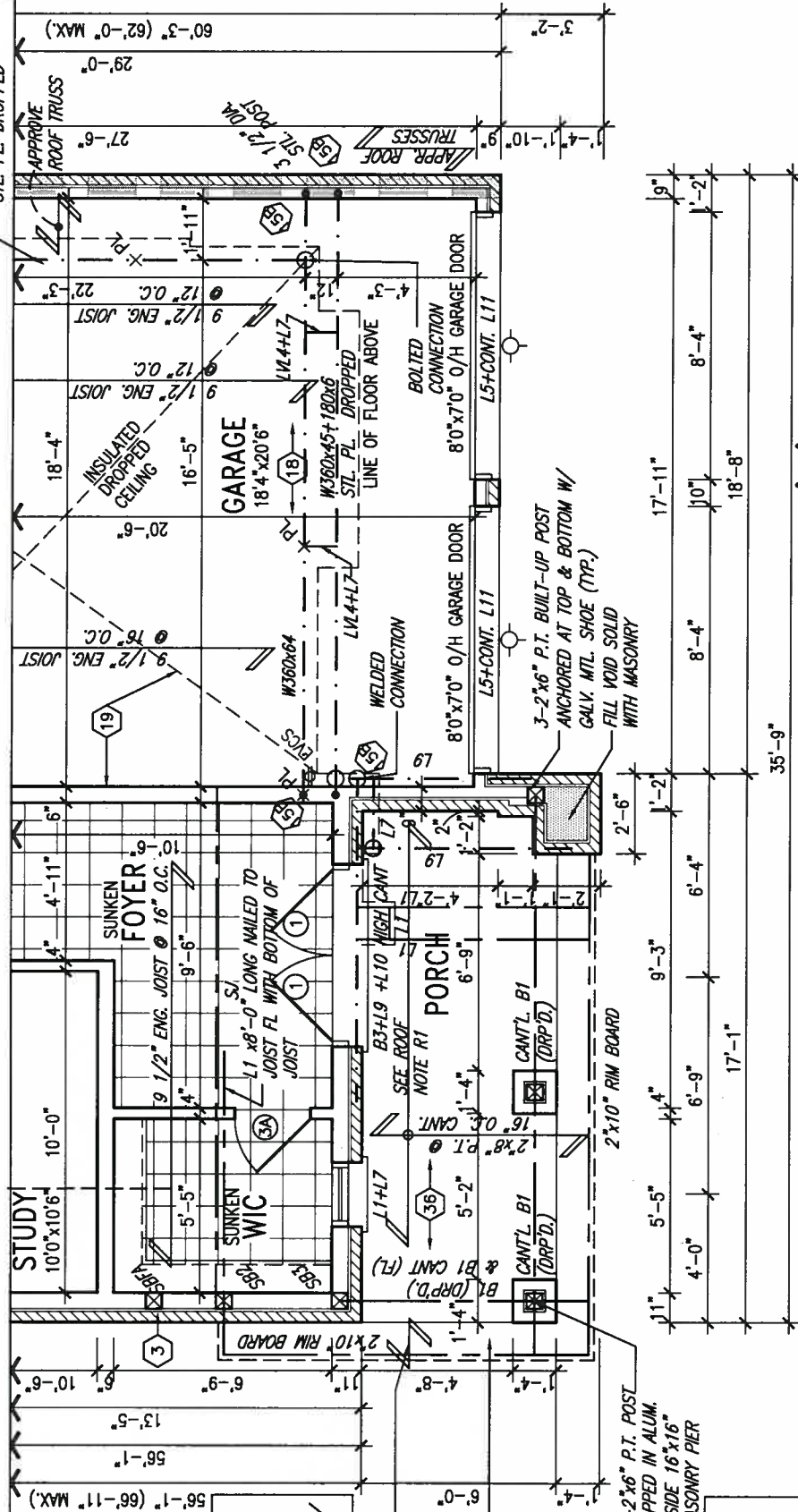
ROOF NOTE B1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

2"x8" @ 16" O.C.
BLOCKING WITH JOIST
HANGER TOP AND BOTTOM
NAILED TO CANT. B1 (FL)
FURR DOWN TO U/S OF
DROP BEAM COVERED
CEILING W/ PREFIN.
ALUM. SOFFIT

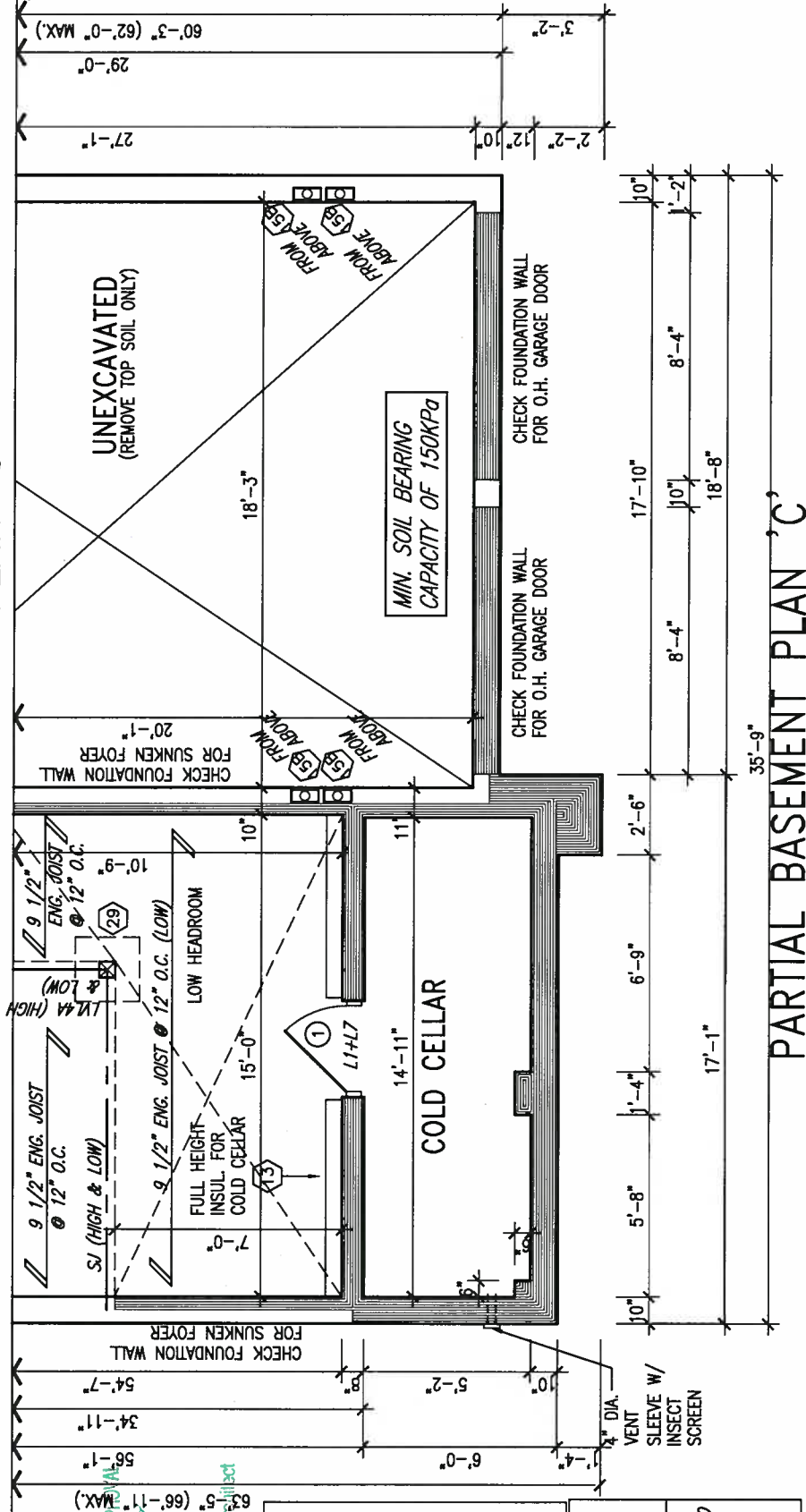
NOTE:
ALL LVL'S SUPPORTING FLOOR
LOADS ARE TO BE SPECIFIED
BY THE FLOOR TRUSS
MANUFACTURER.

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard,
• Conduit that is not less than 1 1/16" (27mm)
trade size,
• A square 4 11/16" (119mm) trade size
electrical outlet box.
• Fumeproofed Electrical outlet box to be installed
in the Garage or carport or adjacent to
driveway.

REFER TO 2012 OBC 9.34.4.



PARTIAL GROUND FLOOR PLAN 'C'



PARTIAL BASEMENT PLAN 'C'

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
name	Wellington Jno-Baptiste
registration number	25591
company	VAS Design Inc.
signature	
date	42658

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

project name	BAYVIEW WELLINGTON	project no.	S42-5
location	GREEN VALLEY EAST	drawing no.	16023
checked by	FEBRUARY 2017	date	
drawn by	RC	scale	3/16" = 1'-0"
title	PART. PLANS ELEV. 'C'	the name	16023-S42-5
date		the name	6

Richard - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM

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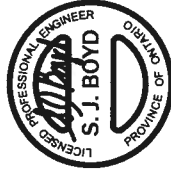
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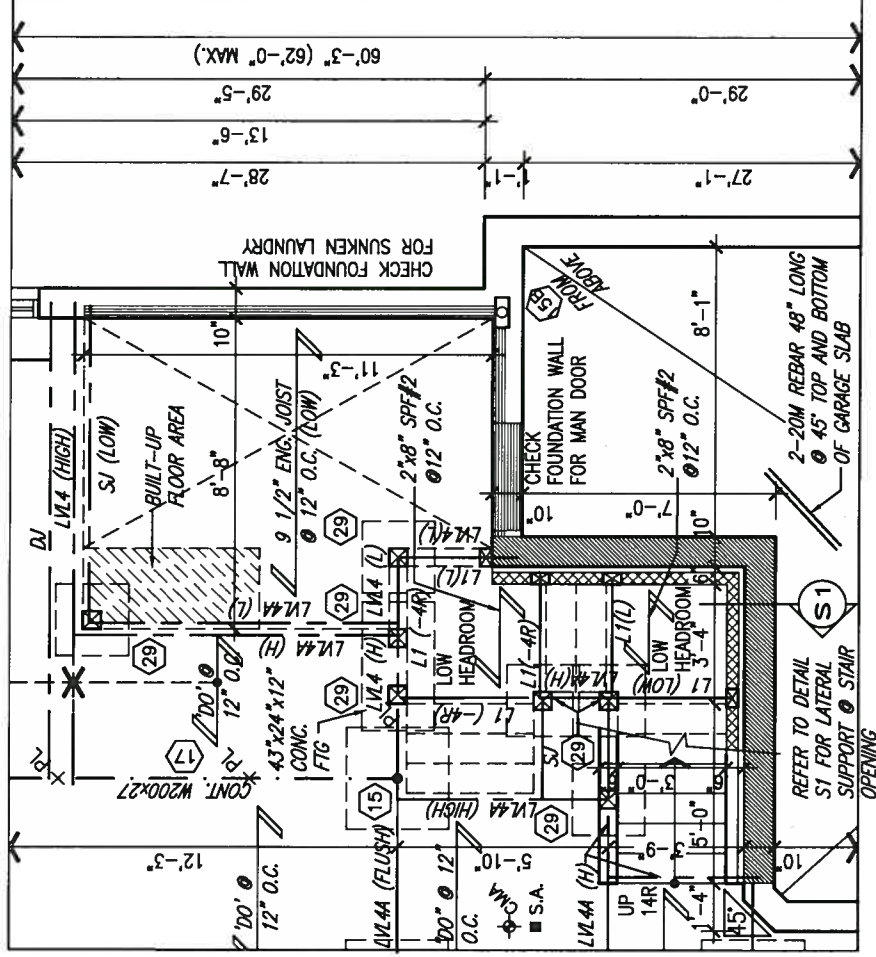
ARCHITECTURAL REVIEW & APPROVAL

JAN 26 2018

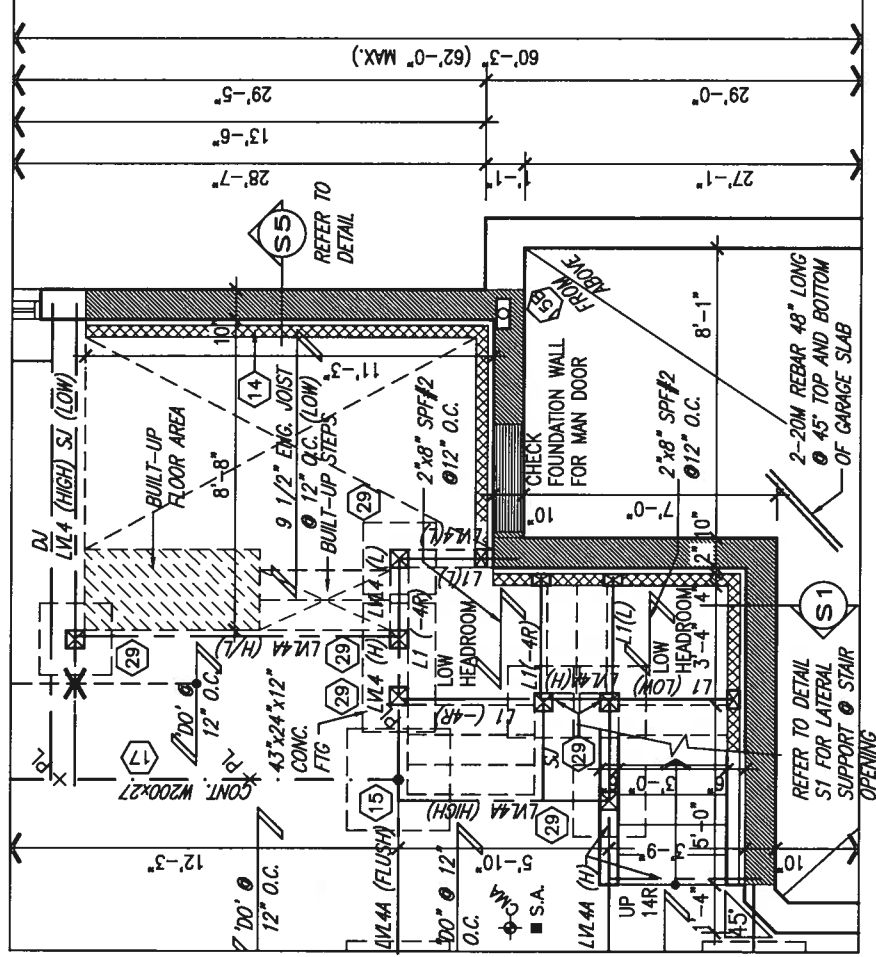
John G. Williams Limited, Architect



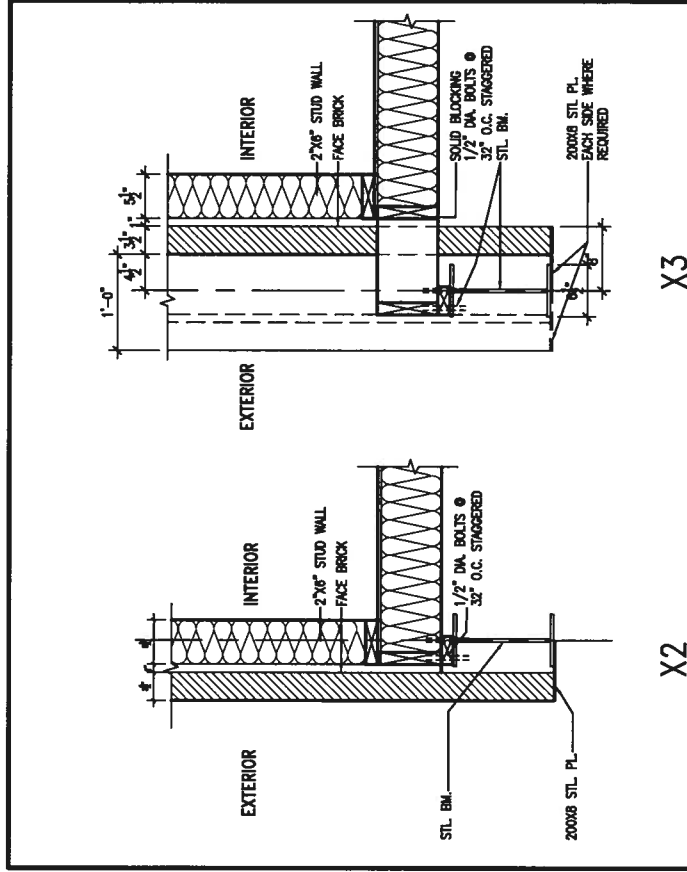
JAN 23, 2018



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -1R



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -2R TO -3R



M11a 12" WALL JOG
SCALE: N.T.S.

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1521 SF	1522 SF	1533 SF
SECOND FLOOR AREA	1816 SF	1844 SF	1857 SF
SUBTOTAL	3337 SF	3366 SF	3390 SF
DEDUCT ALL OPEN AREAS	7 SF	7 SF	7 SF
TOTAL NET AREA	3330 SF (309.36 m ²)	3359 SF (312.06 m ²)	3383 SF (314.29 m ²)
FINISHED BSMT AREA	XX SF	XX SF	XX SF
COVERAGE W/OUT PORCH	1996 SF (185.43 m ²)	1997 SF (185.53 m ²)	2008 SF (186.55 m ²)
COVERAGE W/ PORCH	2079 SF (193.15 m ²)	2055 SF (190.92 m ²)	2109 SF (195.93 m ²)

1	REVISION	DATE	BY
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
3	ISSUED FOR CLIENT REVIEW		
4			
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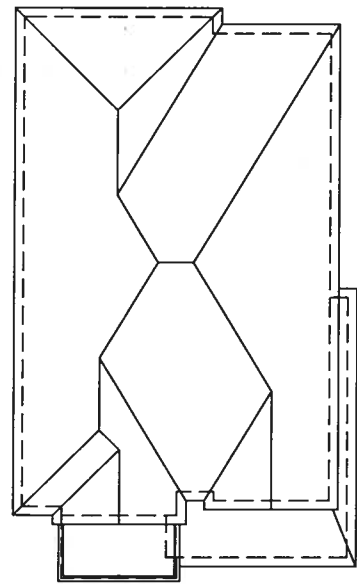
qualification information

name	Wellington Jno-Baptiste	signature	25591
title	Architect	signature	42658
company	VA3 Design Inc.	signature	42658

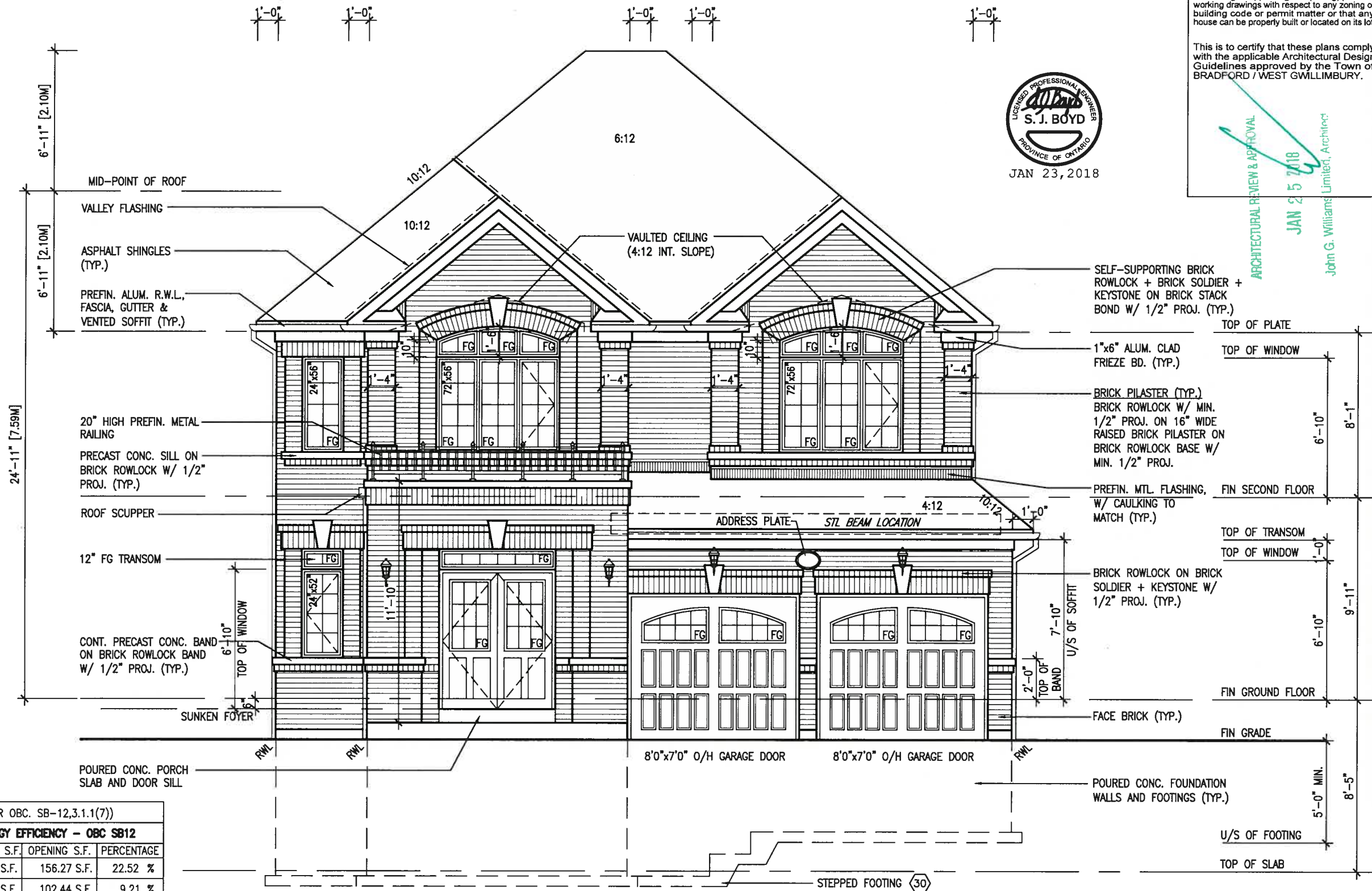
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1B4
t 416.630.2255 f 416.630.4782
v3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.
project name
project no. 16023
drawing no. 8
date FEBRUARY 2017
checked by RC
scale 3/16" = 1'-0"
PART. PLANS FOR SUNKEN LAUNDRY CONDITION
RIDEAU 5
S42-5



ROOF PLAN 'A'



FRONT ELEVATION 'A'

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
42-5 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	675 S.F.	137.72 S.F.	20.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3593.00 S.F.	466.54 S.F.	12.98 %
TOTAL SQ. M.	333.80 S.M.	43.34 S.M.	12.98 %



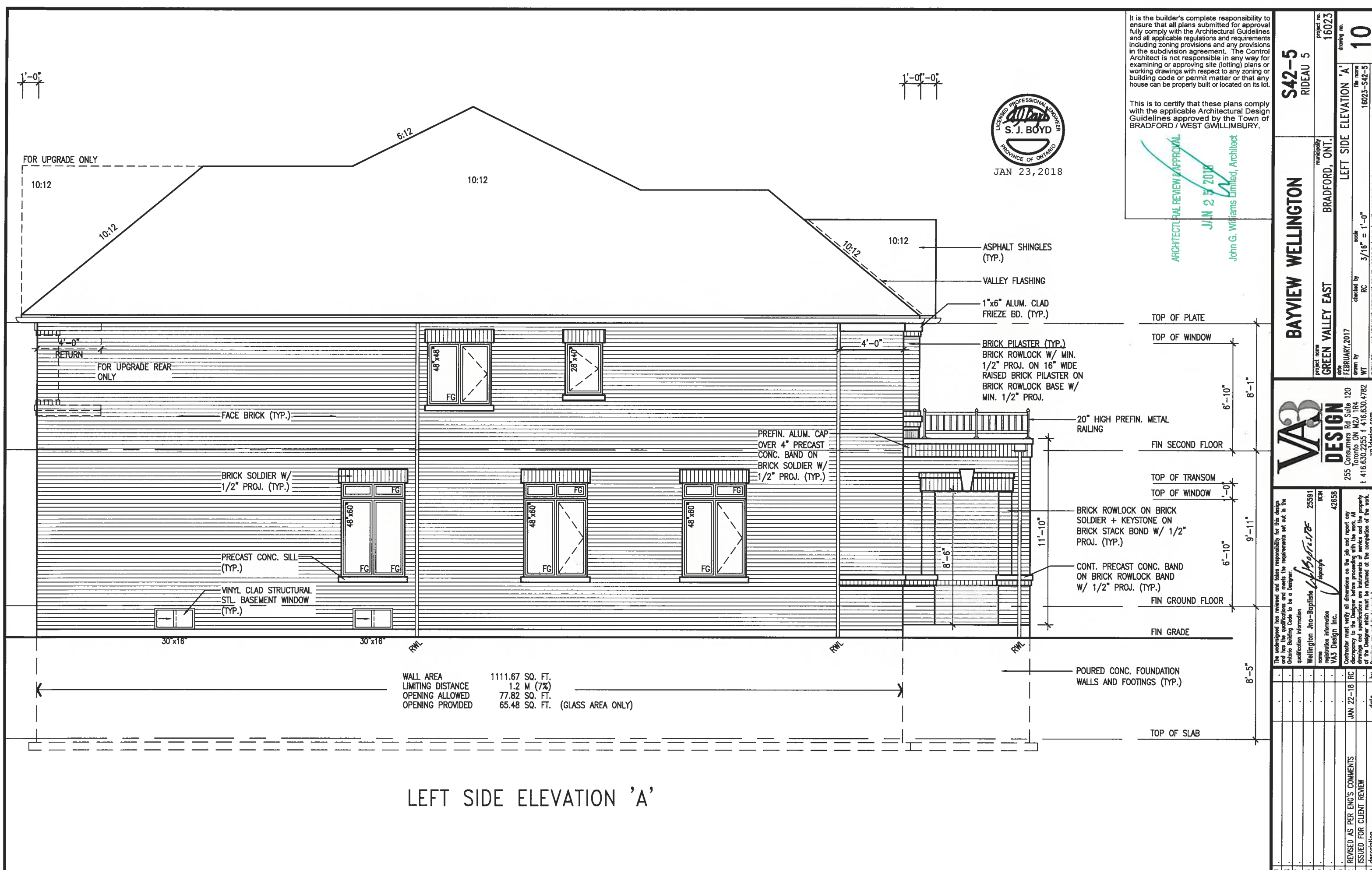
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		FRONT ELEVATION 'A'	
BRADFORD, ONT.		16023	
project name		drawing no.	
date		16023-S42-5	
checked by		scale	
drawn by		3/16" = 1'-0"	
RICHARD - H. ARCHIVE WORKING 2018 16023-S42-5.dwg - Tue - Jan 23 2018 - 9:48 AM		16023-S42-5	
signature		date	
25511		JAN 22 2018	
RC		RC	
1		1	
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9		9	

Site Copy



LEFT SIDE ELEVATION 'A'



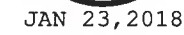
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ARCHITECTURAL REVIEW & APPROVAL
JAN 23 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5		RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.		LEFT SIDE ELEVATION 'A'	
project name		project no.		drawing no.	
FEBRUARY 2017		16023		10	
checked by		scale		file name	
RC		3/16" = 1'-0"		16023-S42-5	
drawn by		date		drawn by	
WT		JAN 23 2018		JAN 23 2018	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-5.dwg		RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-5.dwg		RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-5.dwg	
T 416.630.2255		T 416.630.4782		T 416.630.4782	
V3Design.com		V3Design.com		V3Design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature		signature	
Wellington John-Baptiste		25591		42658	
registration information		BCN		BCN	
V3 Design, Inc.		V3 Design, Inc.		V3 Design, Inc.	
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REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC		JAN 22-18 RC	
ISSUED FOR CLIENT REVIEW		RC		RC	
no.		description		date	
1		ISSUED FOR CLIENT REVIEW		JAN 22-18 RC	
2		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
3		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
4		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
5		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
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7		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
8		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
9		REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	

Site Copy



ARCHITECTURAL REVIEW / APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

PROJECT NAME	BRAD FORD, ONT.	PROJECT NO.	16023
PROJECT NAME	BRAD FORD, ONT.	PROJECT NO.	16023
DATE	FEBRUARY, 2017	RIGHT SIDE ELEVATION 'A'	
TEAM BY	WT	SCALE	3/16" = 1'-0"
CHECKED BY	RC	TITLE NAME	16023-S42-5
RICHARD - H: ARCHIVE WORKING 2016 16023.BW Units 42 16023-S42-5.dwg Tue - Jan 23 2018 - 9:49 AM			

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Inc.-Bantista

25591

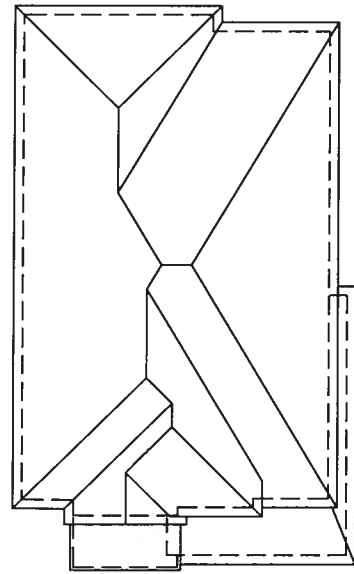
name	signature	BCON	42658
registration information VA3 Design Inc.			

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

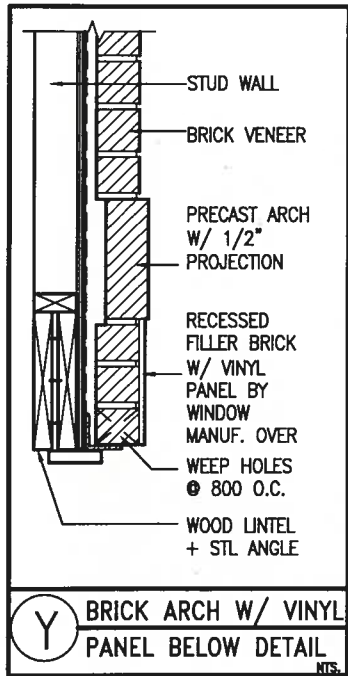
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Site Copy



ROOF PLAN 'B'



BRICK ARCH W/ VINYL PANEL BELOW DETAIL

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
42-5 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	152.77 S.F.	22.11 %
LEFT SIDE	1121 S.F.	102.44 S.F.	9.14 %
RIGHT SIDE	1121 S.F.	70.11 S.F.	6.25 %
REAR	675 S.F.	137.72 S.F.	20.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3608.00 S.F.	463.04 S.F.	12.83 %
TOTAL SQ. M.	335.19 S.M.	43.02 S.M.	12.83 %



FRONT ELEVATION 'B'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

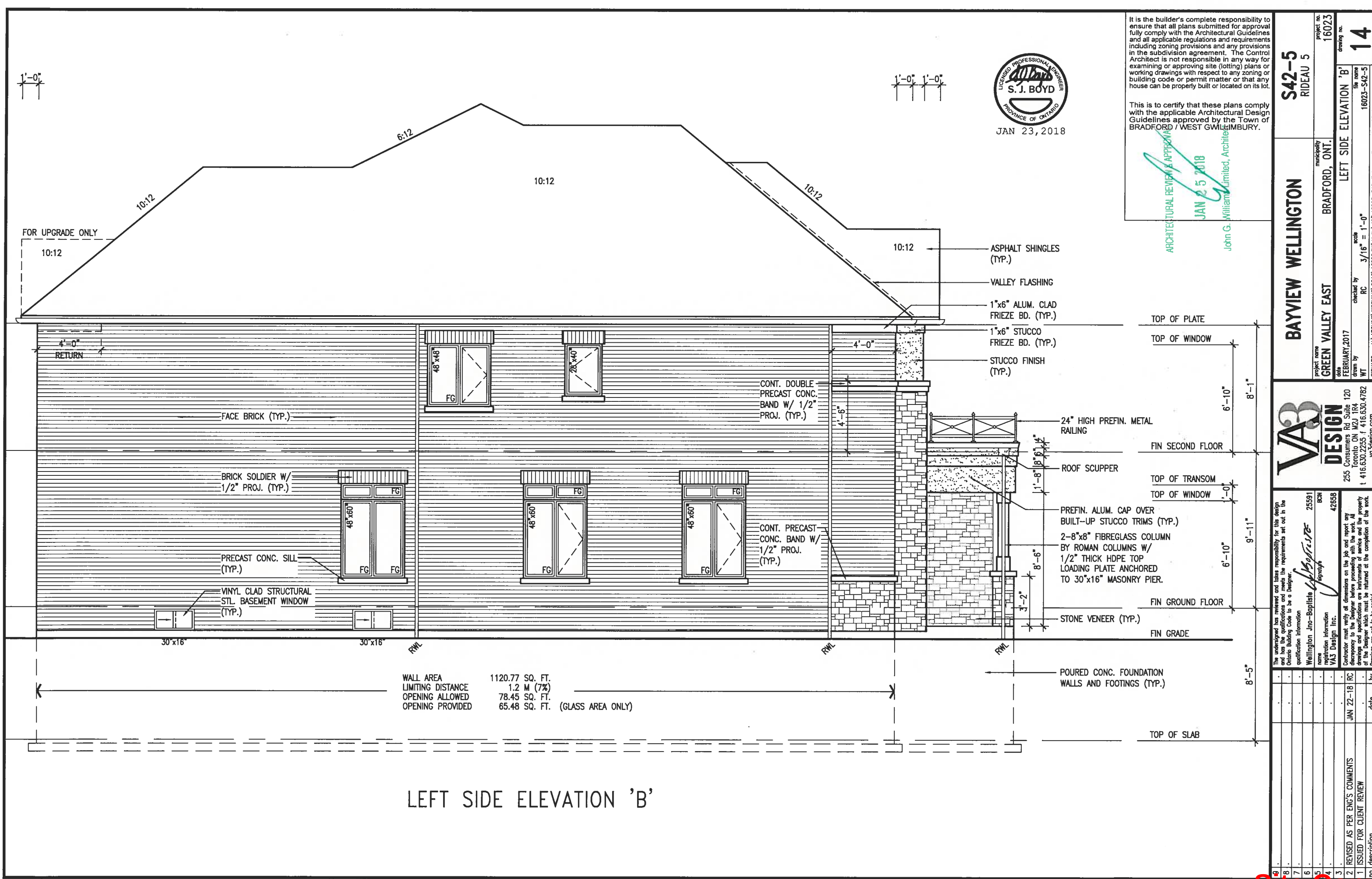
project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
13

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
3
4
5
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9

Site Copy



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

project no.	S42-5
project name	RIDEAU 5
municipality	BAYVIEW WELLINGTON
area	GREEN VALLEY EAST
date	FEBRUARY 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
file name	16023-S42-5
drawing no.	14
project no.	16023
area	LEFT SIDE ELEVATION 'B'
date	JAN 23 2018 - 9:49 AM

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and the information and data provided in the drawings and specifications and hereby certifies that the design complies with the Ontario Building Code as a Design Professional.

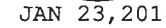
Wellington Jno-Baptiste 25591 BCN
signature
VA3 Design Inc. 42658
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW		

WALL AREA 1120.77 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 78.45 SQ. FT.
OPENING PROVIDED 65.48 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'



STRUCTURAL REVIEW & ANALYSIS
JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date	FEBRUARY, 2017	checked by	scale	file name
RIGHT SIDE ELEVATION 'B'				

WT	RC	$3/16'' = 1'-0''$	16023-S42-5
RICHARD	--	H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-5.dwg	-- Tue -- Jan 23 2018 -- 9:49 AM

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DESIGN
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Toronto ON M2J 1R4

va3design.com

specifications, related documents and a

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25591

registration information
VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All provisions and specifications on drawings and the accuracy

Drawings are not to be scaled.

GROUP IV

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2	REVISED AS PER ENG'S COMMENTS		1 JAN 22 18	PC

2	REVISED AS PER ENG'S COMMENTS	JAN 22-19	KU
1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
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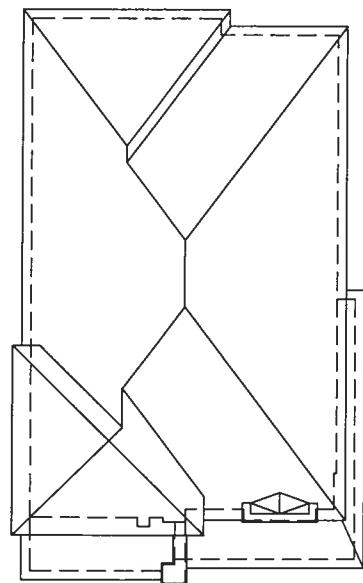
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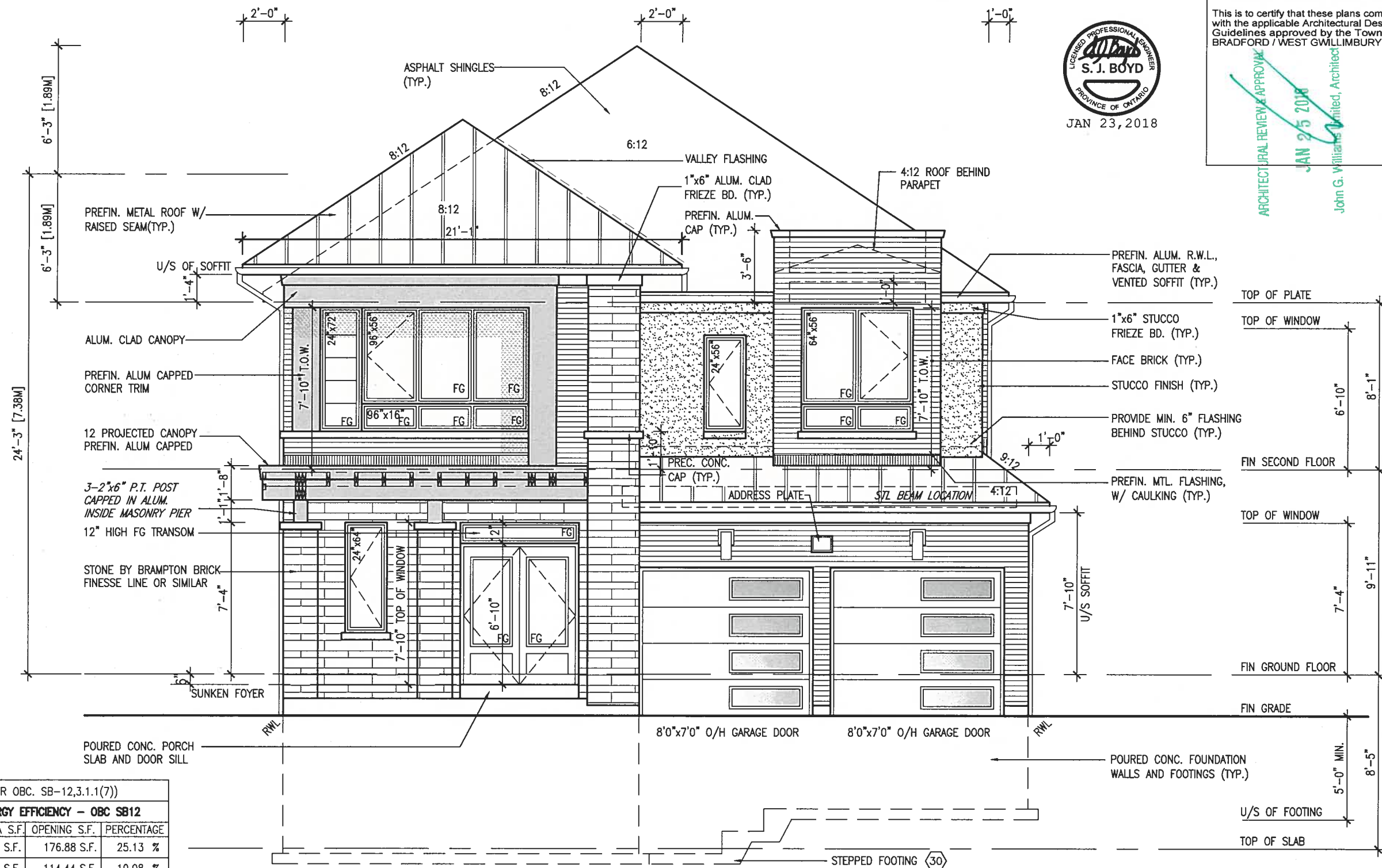
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Site Copy



ROOF PLAN 'C'



FRONT ELEVATION 'C'

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
42-5 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	675 S.F.	137.72 S.F.	20.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3649.00 S.F.	499.15 S.F.	13.68 %
TOTAL SQ. M.	339.00 S.M.	46.37 S.M.	13.68 %



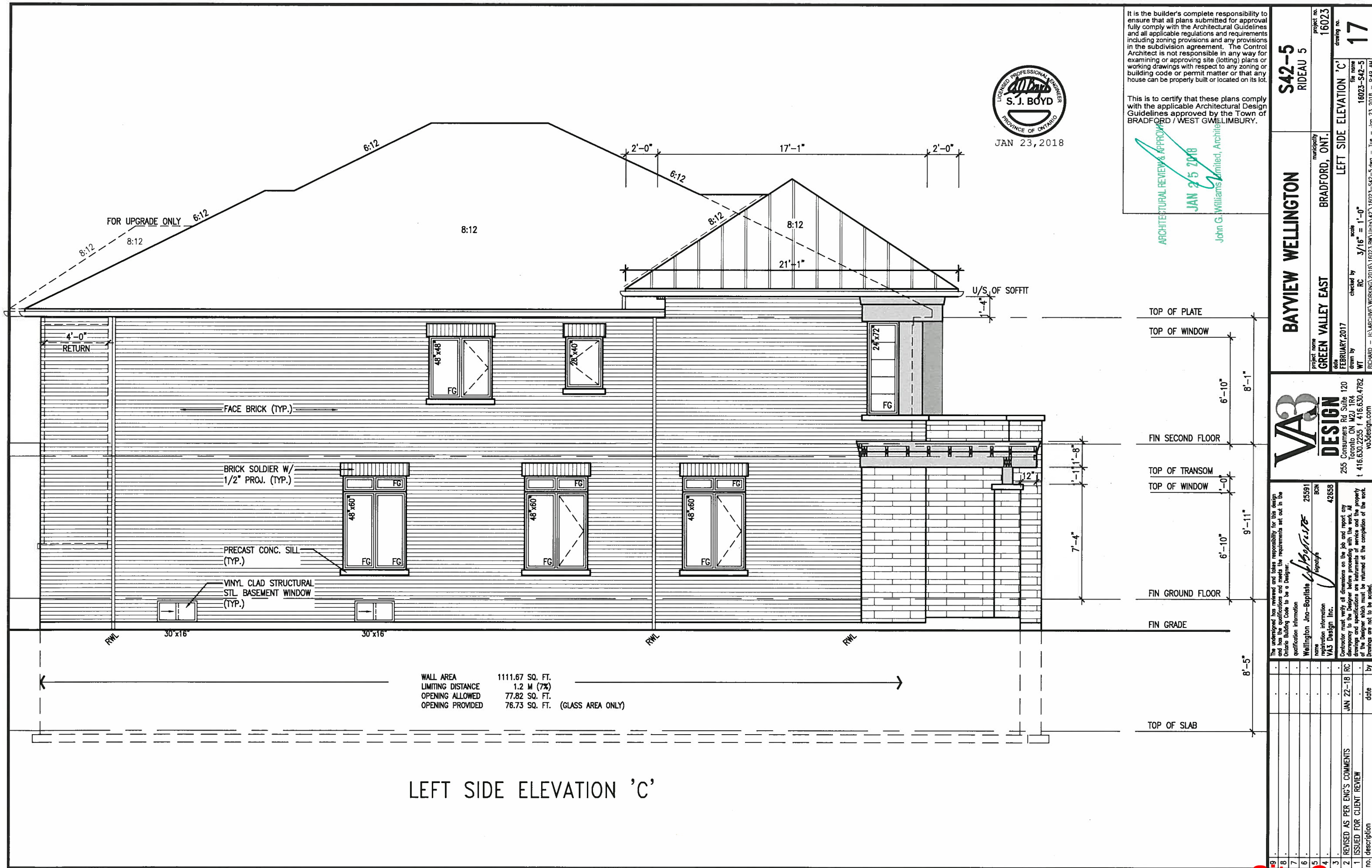
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
DATE: FEBRUARY, 2017		PROJECT NO.: 16023	
DRAWN BY: WT		DRAFTING NO.: 16	
CHECKED BY: RC		FRONT ELEVATION 'C'	
SCALE: 3/16" = 1'-0"		DATE: JAN 23 2018 - 9:49 AM	
PROJECT: 16023-S42-5.dwg		TOWN: BRADFORD / WEST GWILLIMBURY	
DESIGNER: VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
WELLINGTON Jno-Baptiste		25591	
NAME: Jno-Baptiste		820N	
SIGNATURE: [Signature]		42658	
CONTRACTOR: [Signature]		25591	
DATE: JAN 22-18 RC		BY: [Signature]	
REVISION: 1		DESCRIPTION: ISSUED FOR CLIENT REVIEW	
NO. 1		DATE: [Signature]	

Site Copy



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5	RIDEAU 5
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	17
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
LEFT SIDE ELEVATION 'C'		file name	16023-S42-5
RICHARD - H. ARCHIVE WORKING\2016\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM			

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	25591	BCN	42658
qualification information		Wellington Jno-Baptiste			
registration information		VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		

Site Copy

1'-0"
2'-0"
1'-0"



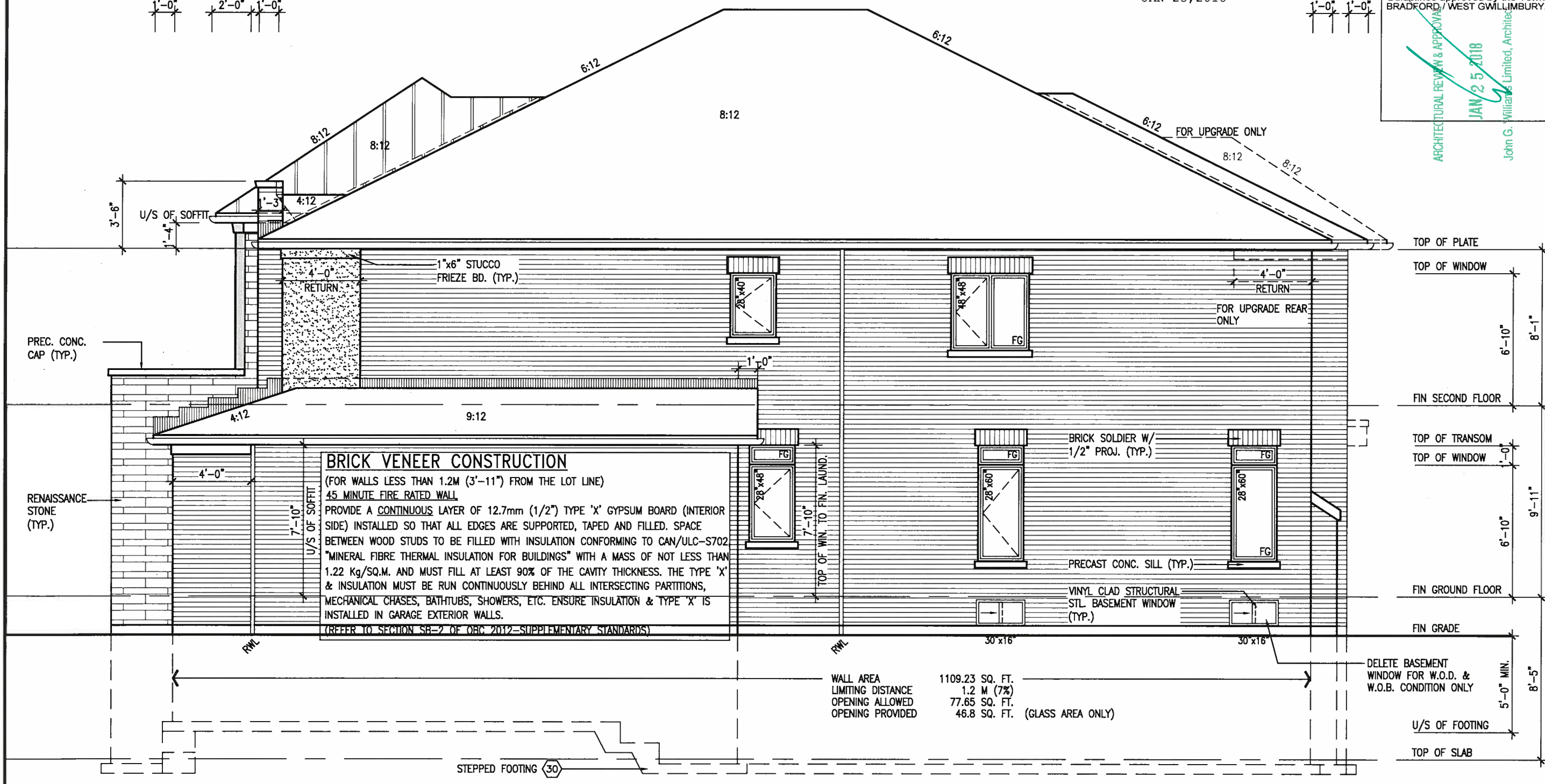
1'-0"
1'-0"

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

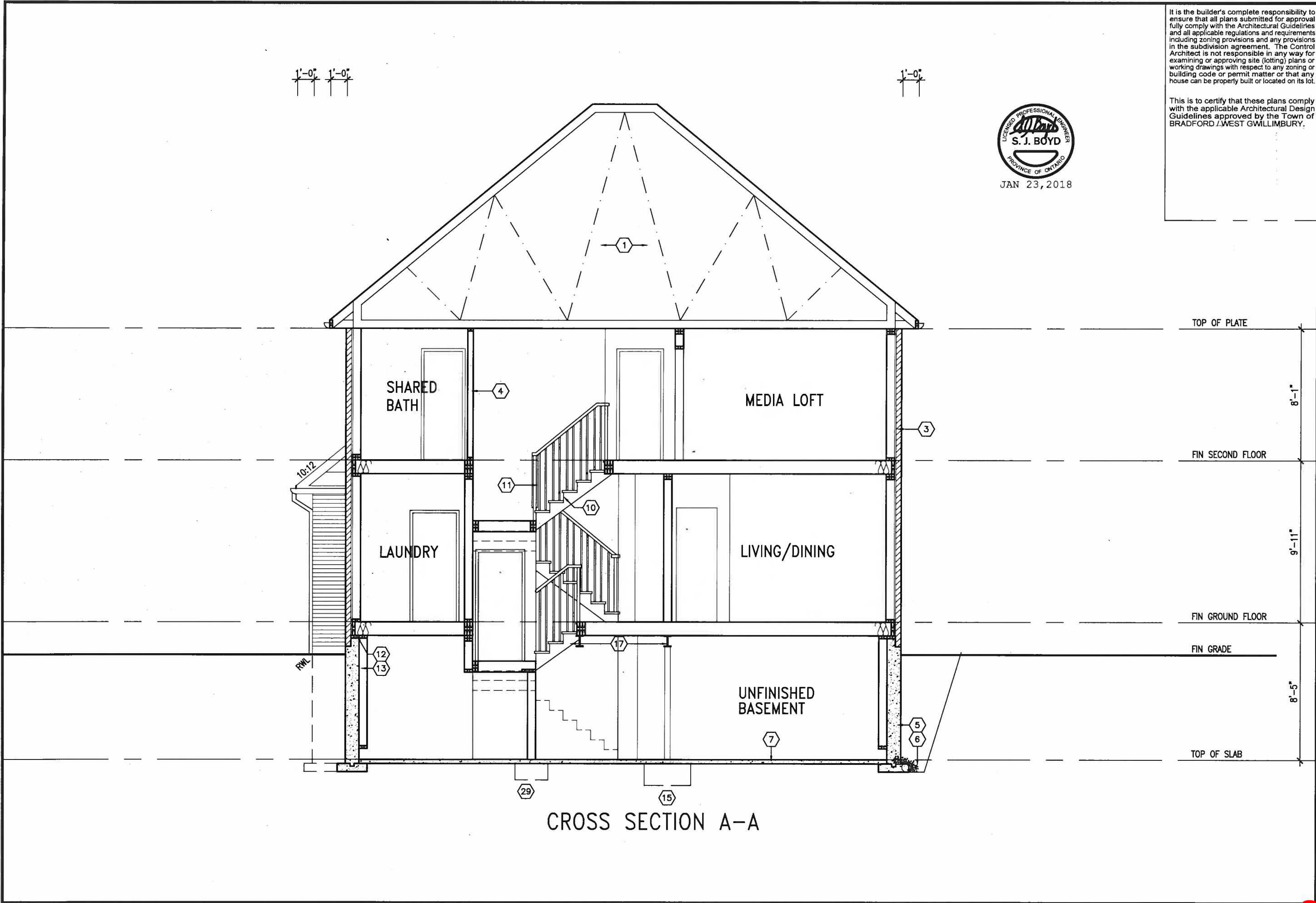
project no.	16023
drawing no.	18
project name	BAYVIEW WELLINGTON
municipality	BRADFORD, ONT.
project name	GREEN VALLEY EAST
date	FEBRUARY 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S42-5
date	JAN 23 2018 - 9:49 AM



RIGHT SIDE ELEVATION 'C'

The undersigned has reviewed and takes responsibility for this design and the information provided and certifies that it complies with the Ontario Building Code to be a Designer.			
signature	25591		
name	Wellington Jno-Baptiste		
registration information	BCR		
VA3 Design, Inc.	42658		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW		

Site Copy



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BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name		project no.	
GREEN VALLEY EAST		16023	
municipality		drawing no.	
BRADFORD, ONT.		19	
date		cross section	
FEBRUARY 2017		SECTION A-A	
drawn by		file name	
WT		16023-S42-5	
checked by		scale	
RC		3/16" = 1'-0"	
drawn by		date	
WT		JAN 23 2018 - 9:49 AM	
drawn by		date	
WT		JAN 23 2018 - 9:49 AM	

VAD3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington - Jno-Baptiste 25591 BCIN
name registration information
VAD3 Design Inc. 42658

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no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		

Site Copy

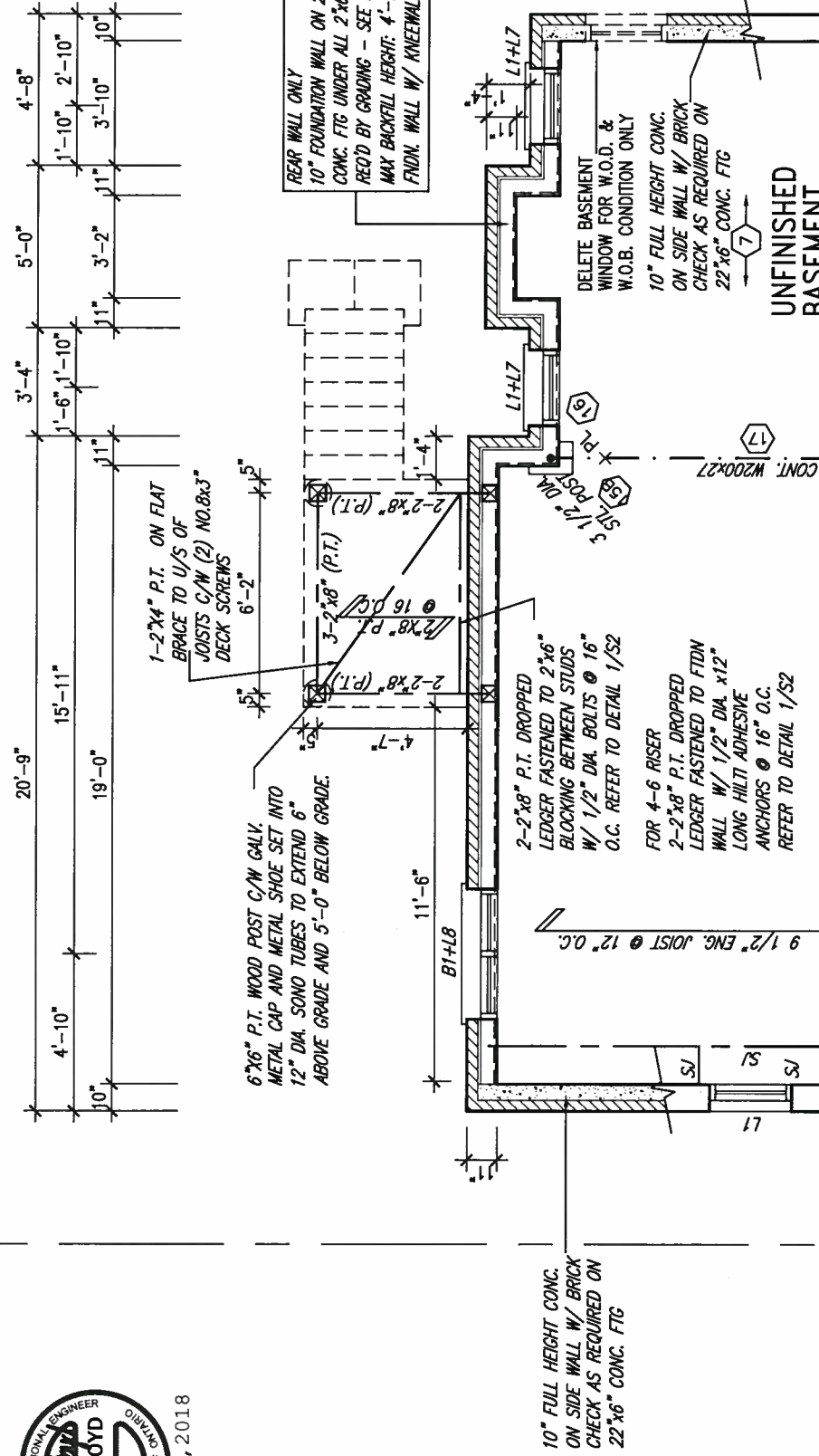
PROPERTY LINE

ACQUISITION, REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architects

JAN 23, 2018



NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.	NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.	NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.	NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.
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9	.	.	.	The undersigned has reviewed and takes responsibility for this design.
8	.	.	.	Drawings are not to be scaled.
7	.	.	.	Drawings are not to be scaled.
6	.	.	.	Drawings are not to be scaled.
5	.	.	.	Drawings are not to be scaled.
4	.	.	.	Drawings are not to be scaled.
3	.	.	.	Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC	Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW			Drawings are not to be scaled.
no.	description	date	by	Drawings are not to be scaled.



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

municipality

S42-5
RIDEAU 5

project name	BRADFORD, ONT. GREEN VALLEY EAST municipality
--------------	---

date FEBRUARY, 2017 PART. FLOOR PLANS- W.O.D. COND.

drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-5

11. PATENTED INVENTION 100230342-JAWAF - 106 - JULI 23 2010 - 5.45 AM

PROPERTY LINE

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architect



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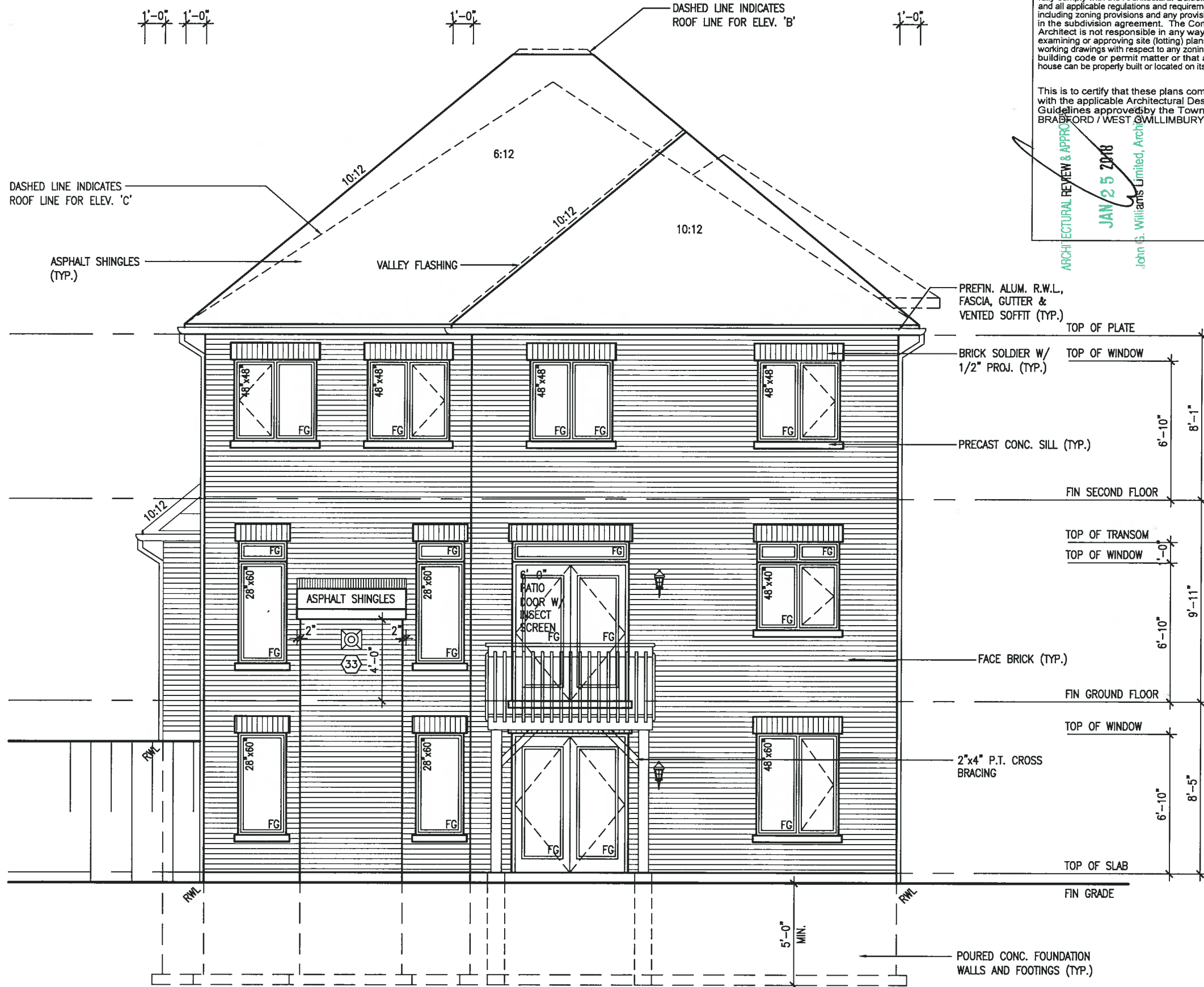


JAN 23, 2018

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3826.00 S.F.	548.59 S.F.	14.34 %
TOTAL SQ. M.	355.44 S.M.	50.97 S.M.	14.34 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	152.77 S.F.	22.11 %
LEFT SIDE	1121 S.F.	102.44 S.F.	9.14 %
RIGHT SIDE	1121 S.F.	70.11 S.F.	6.25 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3841.00 S.F.	545.09 S.F.	14.19 %
TOTAL SQ. M.	356.84 S.M.	50.64 S.M.	14.19 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3882.00 S.F.	581.20 S.F.	14.97 %
TOTAL SQ. M.	360.65 S.M.	53.99 S.M.	14.97 %



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST OLLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

S42-5
RIDEAU 5

project no. 16023
drawing no. 23

project name REAR ELEVATION 'A' - W.O.B. COND.
date FEBRUARY, 2017
checked by RC
drawn by WT

scale 3/16" = 1'-0"

file name 16023-S42-5
date 16023-S42-5.dwg
author RICHARD - H. ARCHIVE WORKING 2016 16023.BW
revision 16023-S42-5.dwg - Tue - Jan 23 2018 - 9:50 AM

VAD3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad3design.com

The undersigned has reviewed and takes responsibility for this design for the building and meets the requirements set out in the Ontario Building Code as a Designer.

qualification information
Wellington Jno-Baptiste
name Jno-Baptiste
registration number 25591
BCN
signature
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

2 REVISED AS PER ENG'S COMMENTS
1 ISSUED FOR CLIENT REVIEW

JAN 22-18 RC

no. description
by date

Site Copy



JAN 23, 2018



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams, Architect

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3826.00 S.F.	548.59 S.F.	14.34 %
TOTAL SQ. M.	355.44 S.M.	50.97 S.M.	14.34 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	152.77 S.F.	22.11 %
LEFT SIDE	1121 S.F.	102.44 S.F.	9.14 %
RIGHT SIDE	1121 S.F.	70.11 S.F.	6.25 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3841.00 S.F.	545.09 S.F.	14.19 %
TOTAL SQ. M.	356.84 S.M.	50.64 S.M.	14.19 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3882.00 S.F.	581.20 S.F.	14.97 %
TOTAL SQ. M.	360.65 S.M.	53.99 S.M.	14.97 %

REAR ELEVATION 'A', 'B' & 'C'
W/ W.O.B. CONDITION

project no.

16023

drawing no.

23

project name

BAYVIEW WELLINGTON

municipality

BRADFORD, ONT.

project name

GREEN VALLEY EAST

date

FEBRUARY 2017

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

project name

REAR ELEVATION 'A' - W.O.B. COND.

file name

16023-542-5

date

JAN 23 2018

time

9:50 AM

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams, Architect

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Baptiste

25591

BCN

42658

signature

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

1

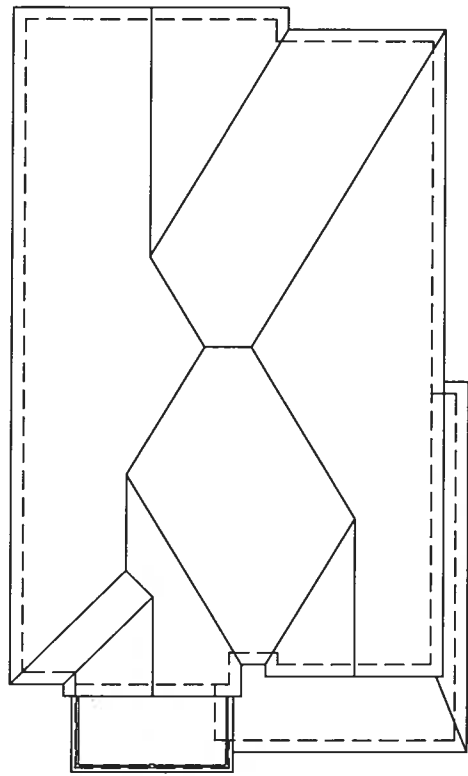
no.

description

date

by

Site Copy



ROOF PLAN 'A'
UPGRADED REAR



UPGRADED REAR ELEVATION 'A'



JAN 23, 2018

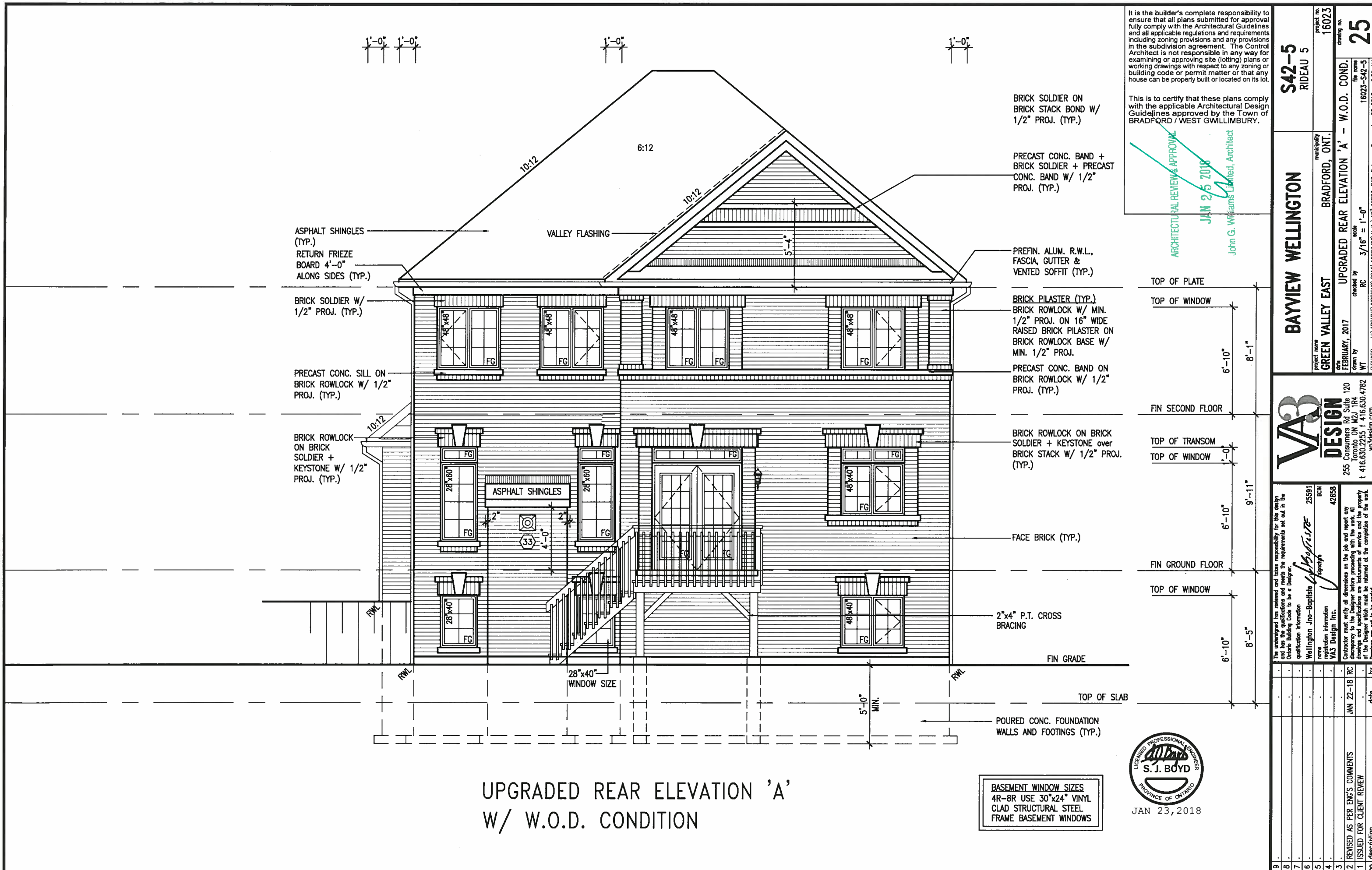
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ARCHITECTURAL REVIEW APPROVAL
JAN 25 2018
John G. Williams, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
DATE: FEBRUARY, 2017		DRAWING NO. 16023	
BY: RC		FILE NO. 16023-542-5	
CHECKED BY: RC		DATE: 3/16/18	
SCALE: 3/16" = 1'-0"		TIME: 9:50 AM	
PROJECT: H:\ARCHIVE\WORKING\2016\16023-542-5.dwg		TUE - JUN 23 2018	
DESIGNER: VA3 DESIGN		REPRODUCED IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT VA3 DESIGN'S WRITTEN PERMISSION.	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 1 416.630.2255 f 416.630.4782 va3design.com		CONTRACTOR: Jno-Baptiste	
25591		42658	
Wellington Jno-Baptiste		VA3 Design Inc.	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.		description	
1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC

Site Copy



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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

S42-5
RIDEAU 5

BAYVIEW WELLINGTON

GREEN VALLEY EAST
BRADFORD, ONT.

UPGRADED REAR ELEVATION 'A' - W.O.D. COND.

project no. 16023
drawing no. 25
date FEBRUARY, 2017
checked by RC
scale 3/16" = 1'-0"

ARCHITECT: VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

signature: J. Boyd
25591 BCN 42658
VA3 Design Inc.

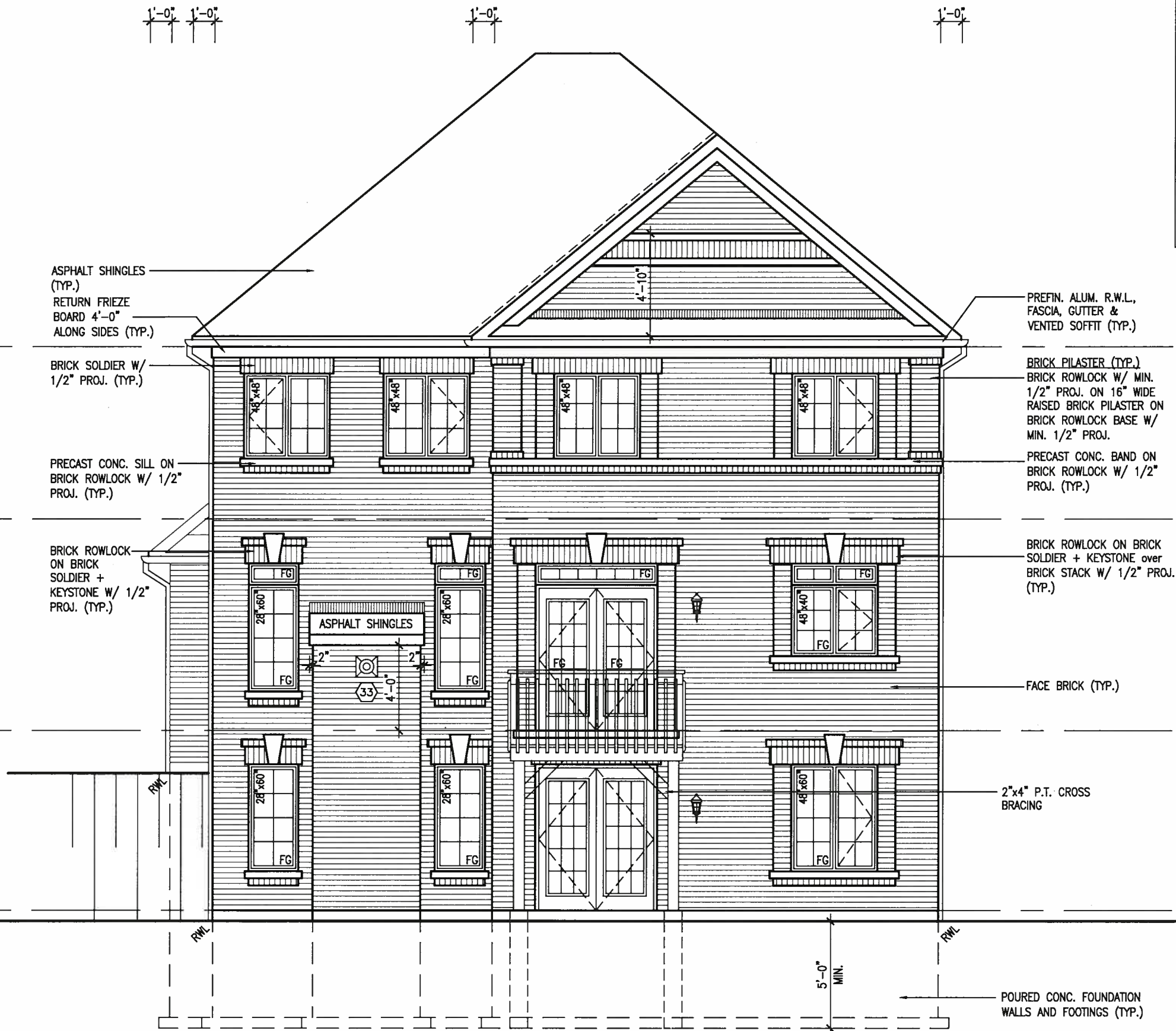
CONTRACTOR: J. Boyd
25591 BCN 42658
VA3 Design Inc.

REVISIONS:
2 REVISED AS PER ENG'S COMMENTS
1 ISSUED FOR CLIENT REVIEW

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1			

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

S. J. BOYD
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 23, 2018



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BRADFORD / WEST GWILLIMBURY.

ANNUAL REVIEW & APPRAISAL
JAN 25 2018

John G. Williams Limited, Architects

Diagram showing vertical dimensions for three window types:

- Double Hung:**
 - Top of Window to Top of Plate: 8'-1"
 - Top of Window to Fin Second Floor: 6'-10"
- Transom:**
 - Top of Window to Top of Transom: 1'-0"
 - Top of Window to Fin Second Floor: 6'-10"
 - Top of Window to Fin Ground Floor: 9'-11"
- Single Hung:**
 - Top of Window to Fin Ground Floor: 8'-5"
 - Top of Window to Top of Slab: 6'-10"

Labels on the left side of the diagram include: TOP OF PLATE, TOP OF WINDOW, FIN SECOND FLOOR, TOP OF TRANSOM, TOP OF WINDOW, FIN GROUND FLOOR, TOP OF WINDOW, TOP OF SLAB, and FIN GRADE.

BAYVIEW WELLINGTON

VAB
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

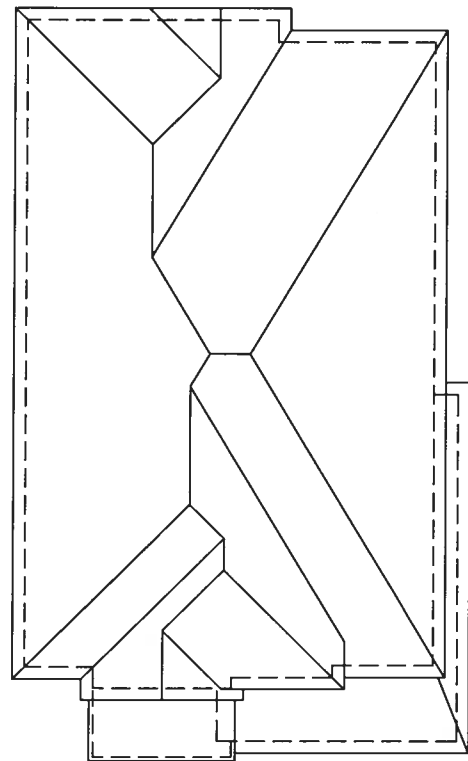
The undersigned hereby certifies that the information provided in the above information is true and correct to the best of his/her knowledge and belief.
 I/we hereby certify that the undersigned is/are duly qualified and meets the requirements set out in the Ontario Building Code to be a Designer.
 Registration information
 Wellington Jno-Baptiste
 name
 signature
 25599
 BCIN
 426558
 Designation information
 VA3 Registration Inc.
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	R	1	1	1
1	ISSUED FOR CLIENT REVIEW					
no.	description	date	by	for	by	for
8						
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3						

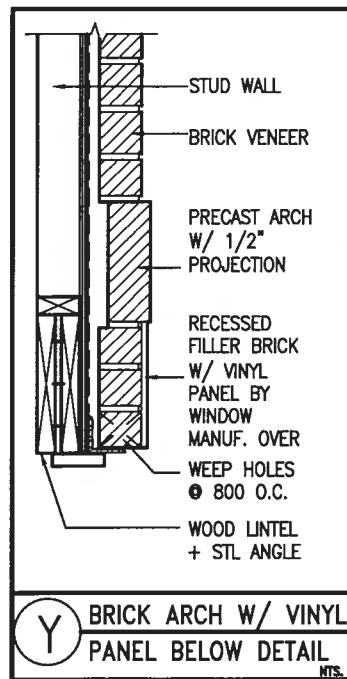
UPGRADED REAR ELEVATION 'A'
W/ W.O.B. CONDITION

PROFESSIONAL ENGINEER
S.J. Boyd
S. J. BOYD
 40184
 PROVINCE OF ONTARIO
 JAN 23, 2018

Site Copy



ROOF PLAN 'B'
UPGRADED REAR



BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



UPGRADED REAR ELEVATION 'B'

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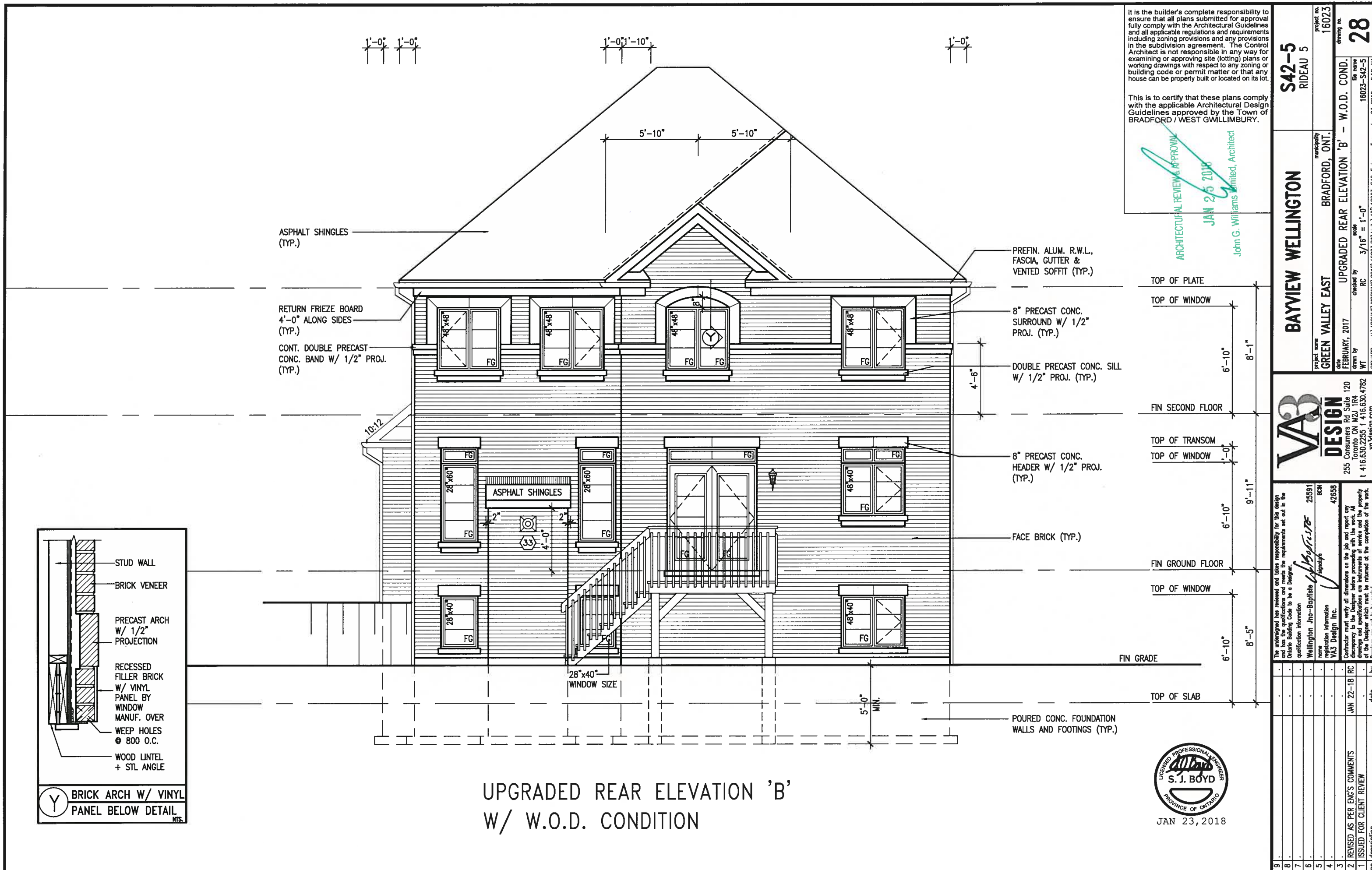
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ARCHITECTURAL REVIEW APPROVAL
JAN 25 2018
John G. Williams Limited, Architects

TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-0"
6'-10"
9'-11"
FIN GROUND FLOOR
8'-5"
TOP OF SLAB

LICENSED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 23, 2018

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
FEBRUARY, 2017		UPGRADED REAR ELEVATION 'B'	
RC		3/16" = 1'-0"	
RC		16023-S42-5	
27		27	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		VA3 DESIGN	
The undersigned has reviewed and takes responsibility for this design and has the specifications and requirements set out in the Ontario Building Code to be a Designer.		25591	
Wellington Jno-Baptiste		BCN	
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 22-18 RC	
2 REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 22-18 RC	
no. description		date by	



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ARCHITECTURAL REVIEW APPROVAL
JAN 23 2018
John G. Williams Limited, Architect

S42-5
RIDEAU 5

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST**
municipality: **BRADFORD, ONT.**

project no.: **16023**
drawing no.: **28**

date: **FEBRUARY, 2017**
checked by: **RC**
drawn by: **WT**

scale: **3/16" = 1'-0"**

UPGRADED REAR ELEVATION 'B' - W.O.D. COND.

16023-S42-5

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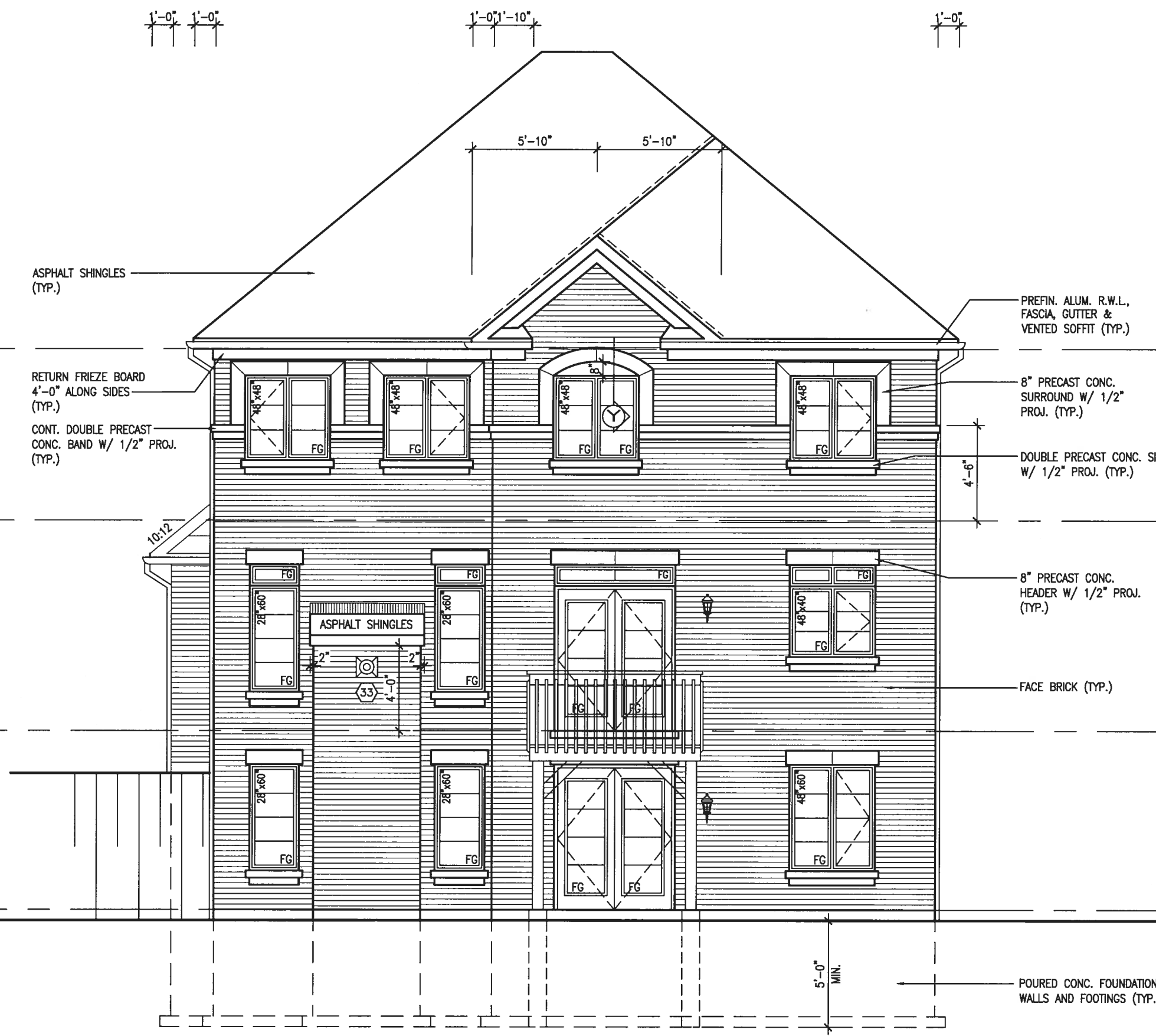
VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.		25591	BCN
Wellington Jno-Baptiste		42658	BCN
name: Wellington Jno-Baptiste		42658	BCN
qualification information: VA3 Design Inc.		42658	BCN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		42658	BCN
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW		

S.J. BOYD
LICENSED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 23, 2018

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 22 - 18	RC
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and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *Jno-Baptiste* 25591 BCIN

signature

same registration information

VAS Design Inc. 42658

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

S42-5
RIDEAU 5

BAYVIEW WELLINGTON

GREEN VALLEY EAST **BRADFORD, ONT.**

project name municipality

project no. 16023

drawing no. 29

date FEBRUARY, 2017

drawn by WJ

checked by RC

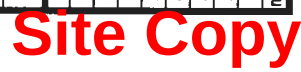
scale 3/16" = 1'-0"

file name 16023-S42-5

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6 JAN 6 50 18

VA3 DESIGN

Wellington Jan-Banister
25591

name	signature	BCIN
registration information		

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All drivers

BAYVIEW WELLINGTON project name	S42-5 RIDEAU 5 project no.
GREEN VALLEY EAST municipality	16023
BRADFORD, ONT.	

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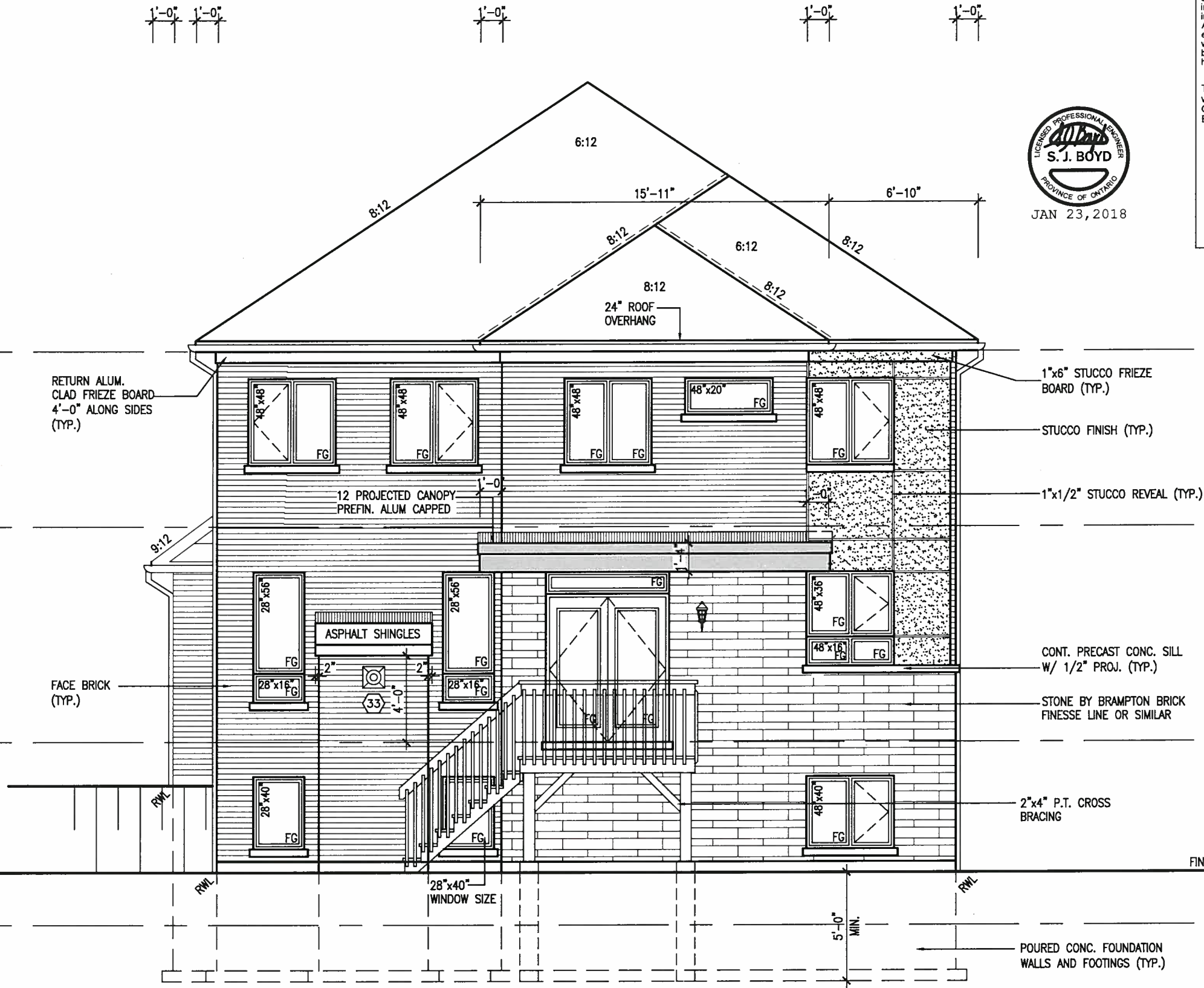
VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vod3design.com

[illegible]

All drivers

9	.	.	.
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2	REVISED AS PER ENG'S COMMENTS		
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

Site Copy



UPGRADED REAR ELEVATION 'C'
W/ W.O.D. CONDITION

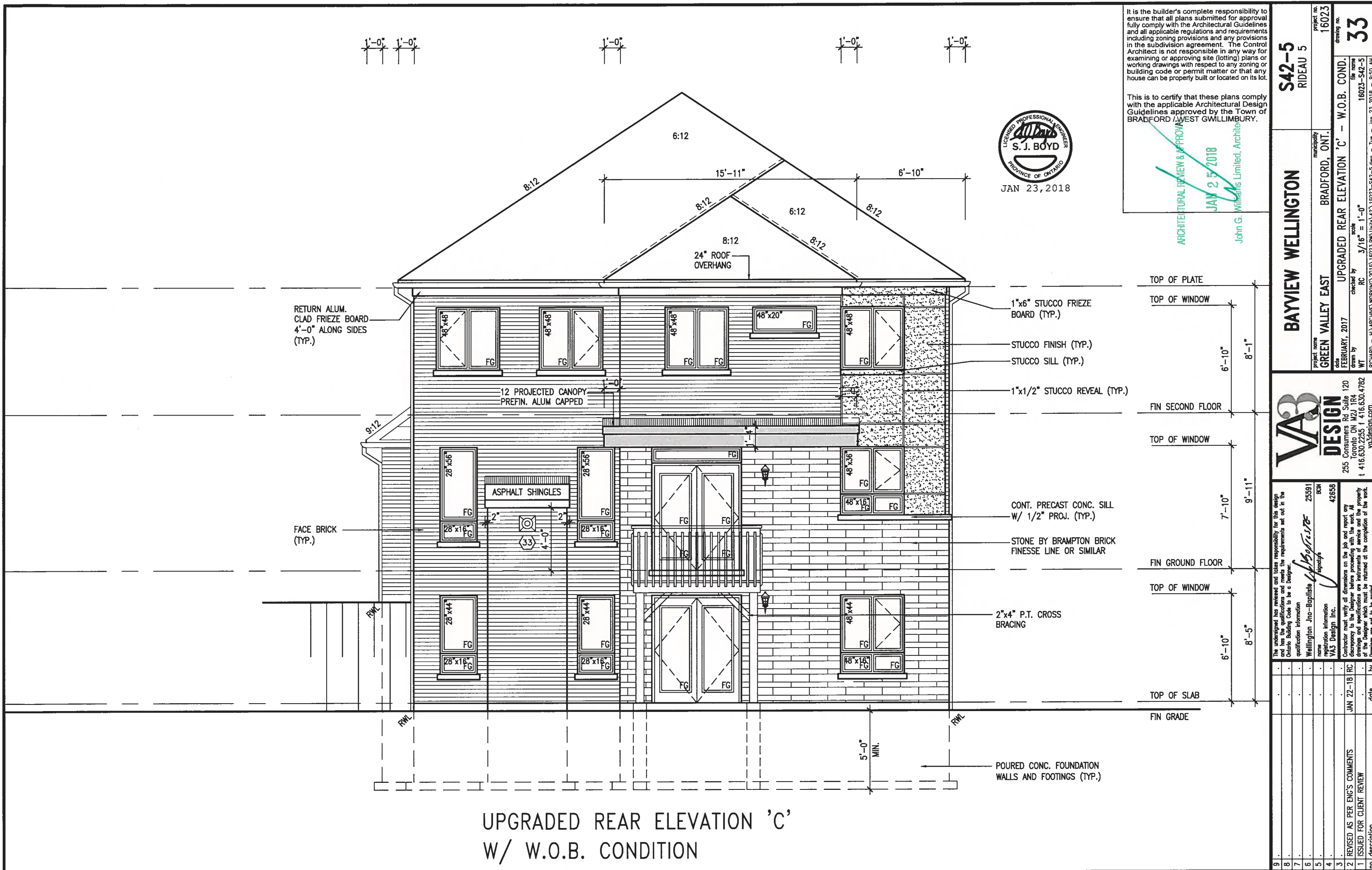


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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John B. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
UPGRADED REAR ELEVATION 'C' - W.O.D. COND.		project no. 16023	
FEBRUARY, 2017		drawing no. 32	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		date JAN 23 2018 - 9:50 AM	
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VAS DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com			
The undersigned has reviewed and takes responsibility for this design. The design complies with the Ontario Building Code and all applicable regulations and requirements set out in the Ontario Building Code to be a Designer.			
qualification information Wellington Jno-Baptiste 25591 BCW signature name registration information VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no. description date by			
2 REVISED AS PER ENG'S COMMENTS JAN 22-18 RC			
1 ISSUED FOR CLIENT REVIEW			



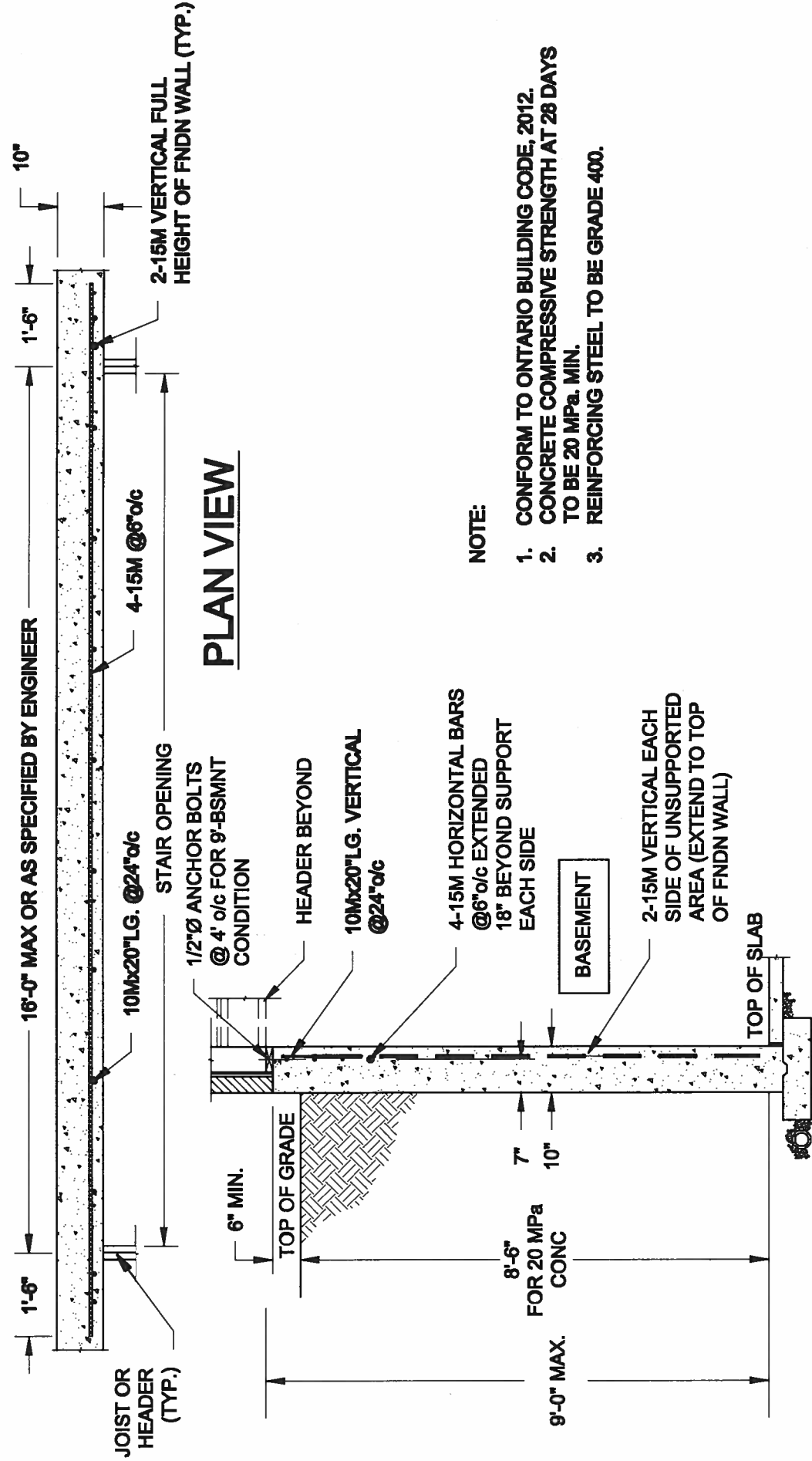
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	33
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
UPGRADED REAR ELEVATION 'C' - W.O.B. COND.			
16023-542-5			
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The undersigned has reviewed and taken responsibility for this design and the construction of the project in accordance with the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		BCN	
Wellington Jno-Baptiste		42658	
name registration information		VAS Design Inc.	
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no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		



PLAN VIEW

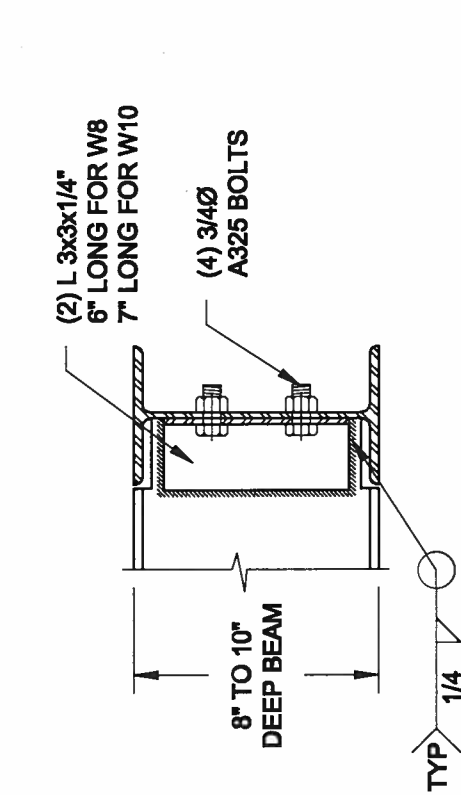
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

1
S1

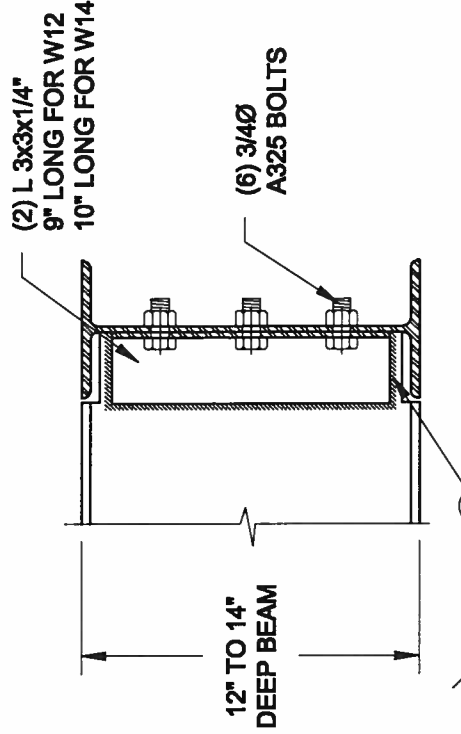


NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2
S1

2 STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"

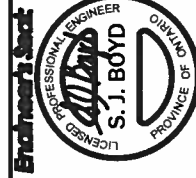


NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

QUAILE ENGINEERING LTD.



38 Paradise Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com



Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY BEARIS - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Drawn: SC
Checked: SJB

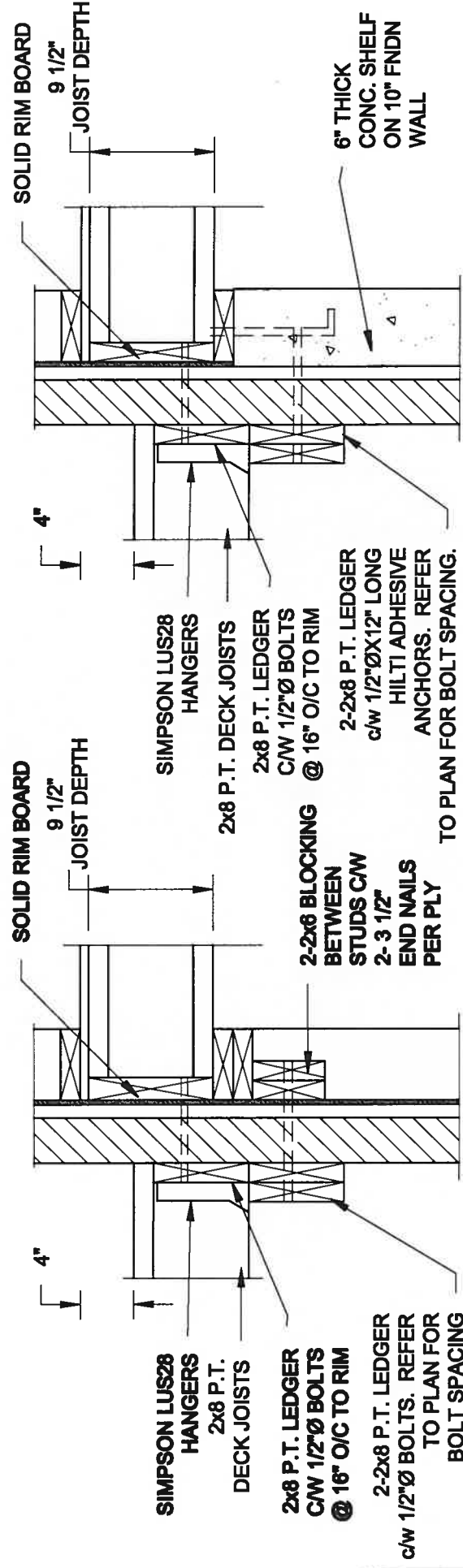
Date: OCT-20-2017

Drawing No.:

17-215

S1

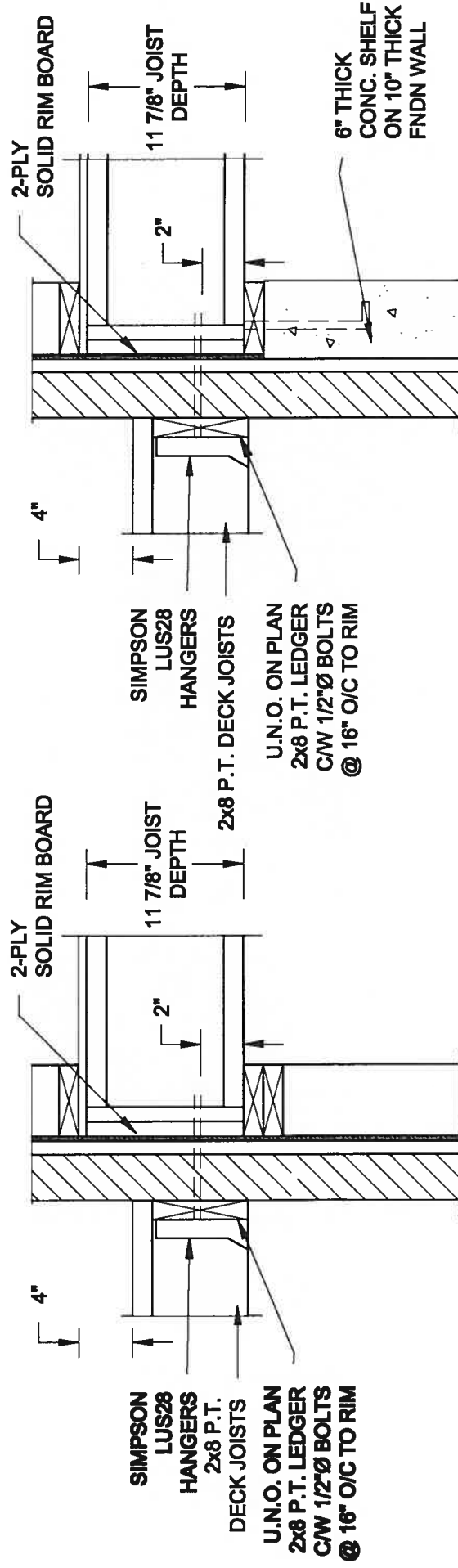
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

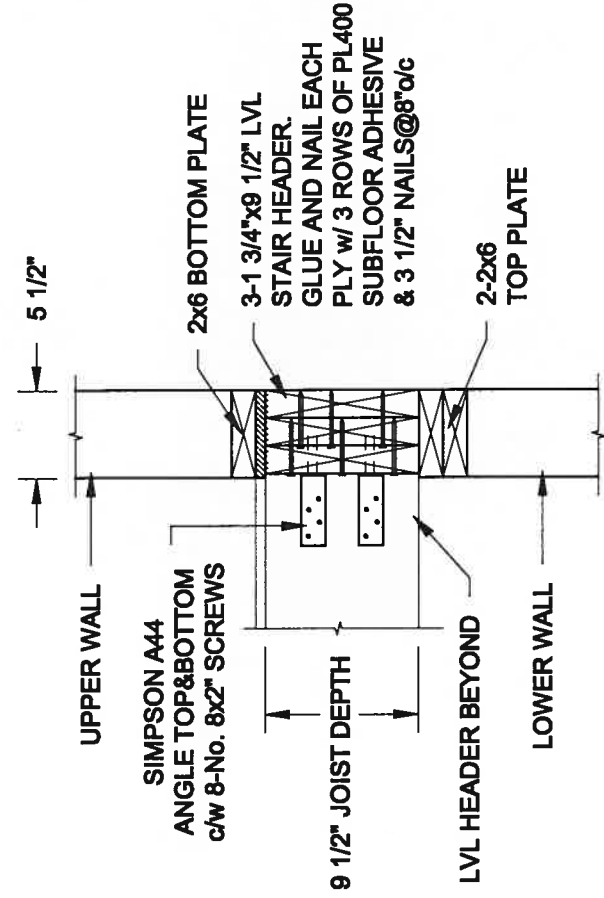


1C **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

1D **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

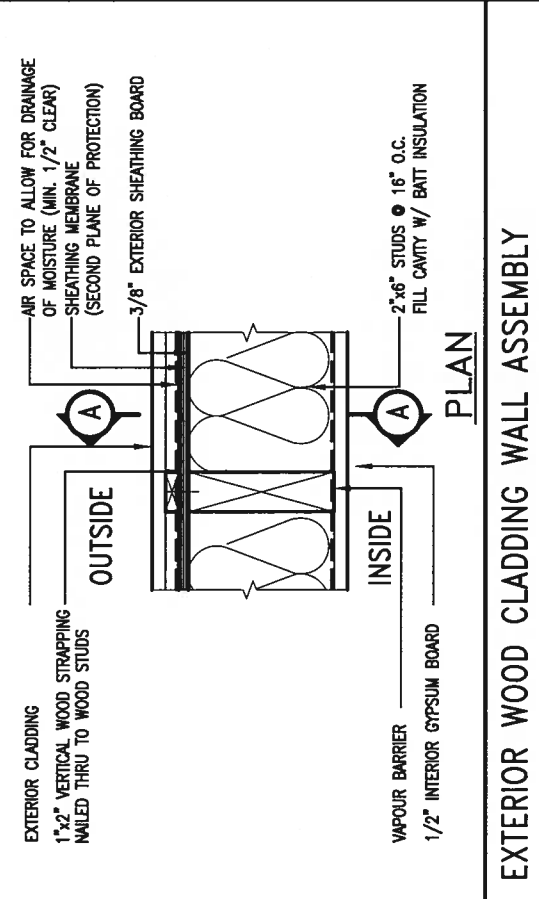
FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-28-2017	Drawn: SC		Checked: SJB
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com Engineer's Seal  JAN 16, 2018				
Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY HEATHS - SINGLES BRADFORD, ONTARIO		Project No.: 17-215		
Project: TYPICAL STRUCTURAL DETAILS		Drawing No.: S2		



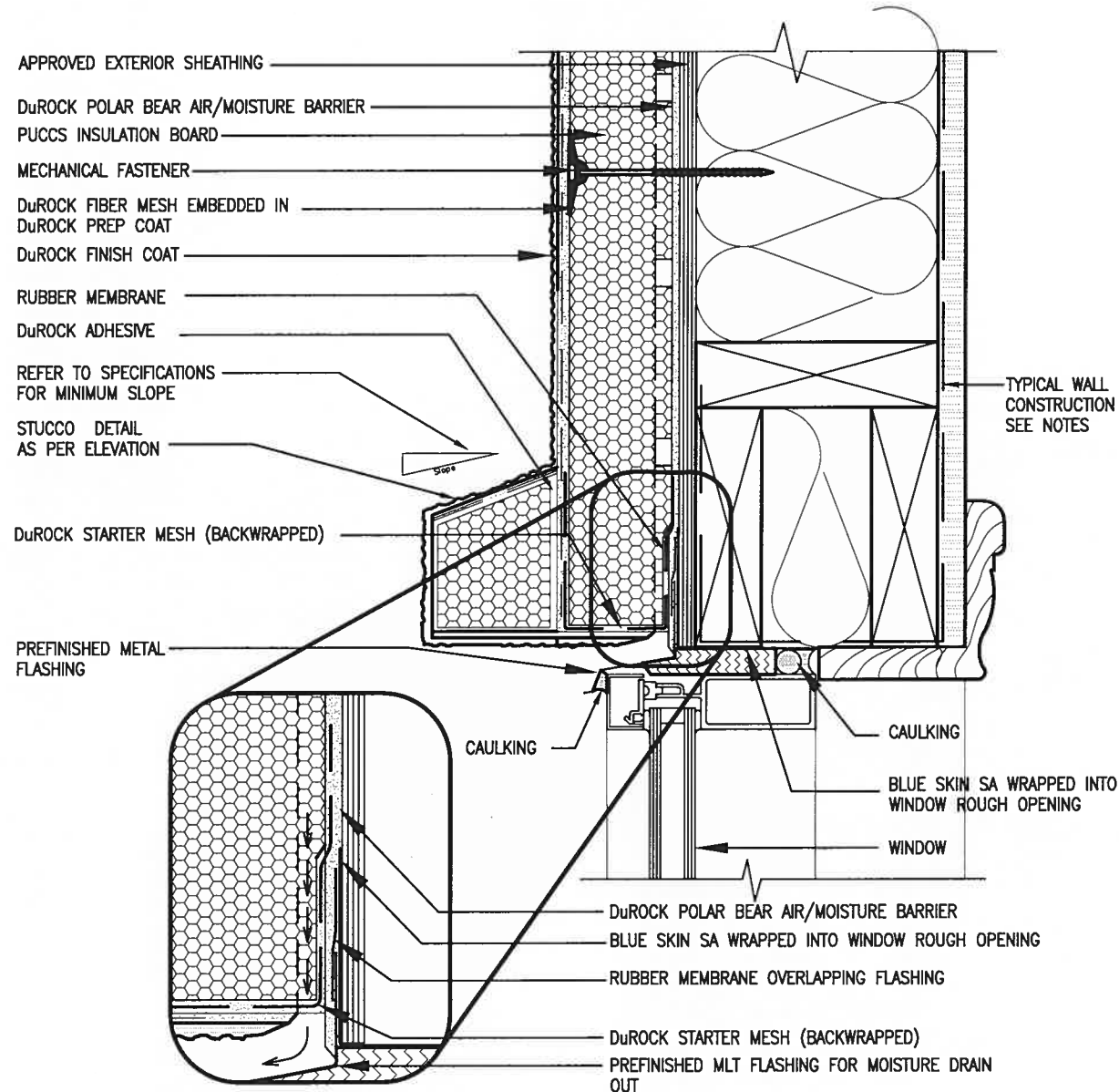
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

NOTES:

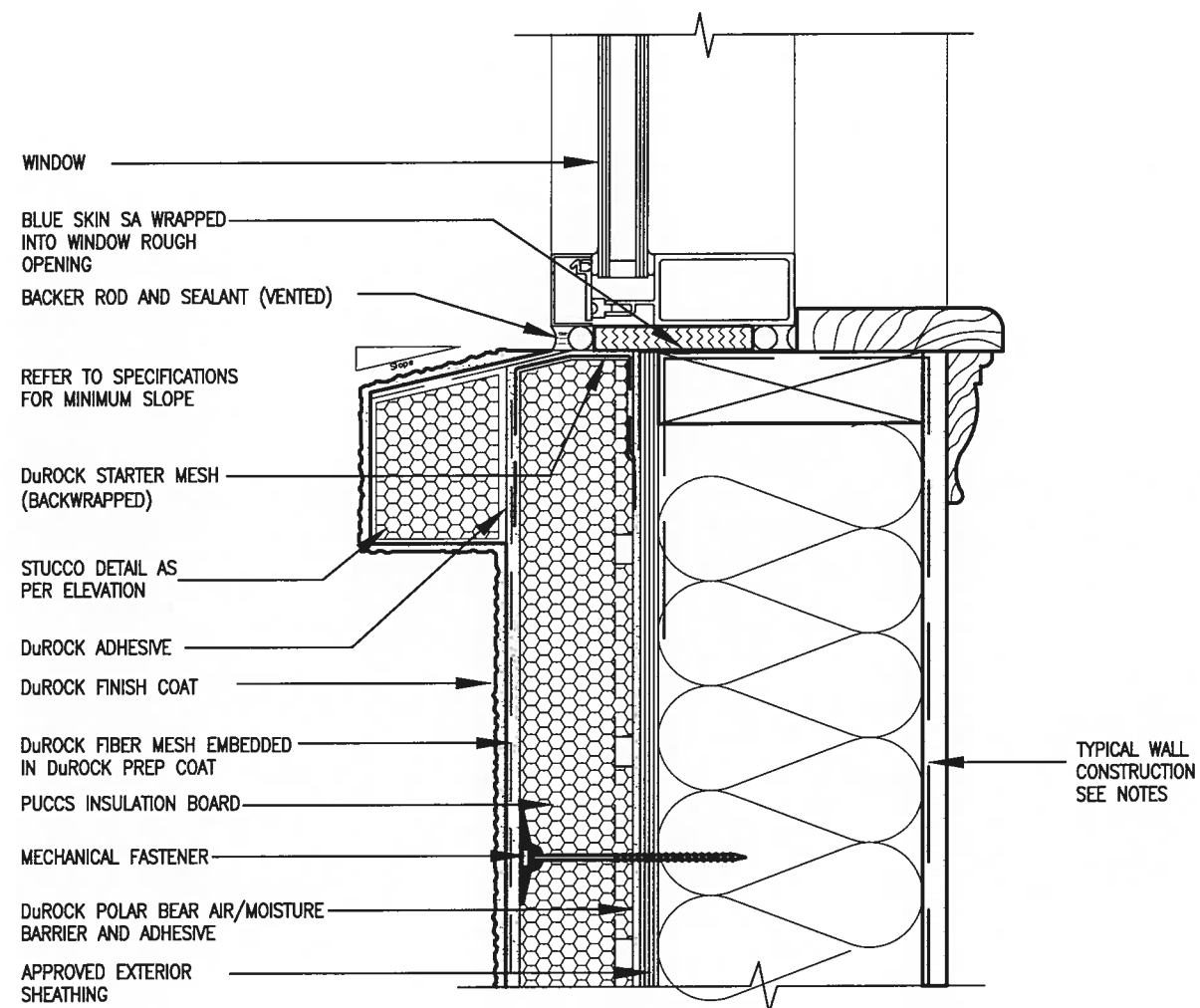
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 Kpa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPP
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE

BAYVIEW WELLINGTON

VAS3
DESIGN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VAS Design Inc. 42658

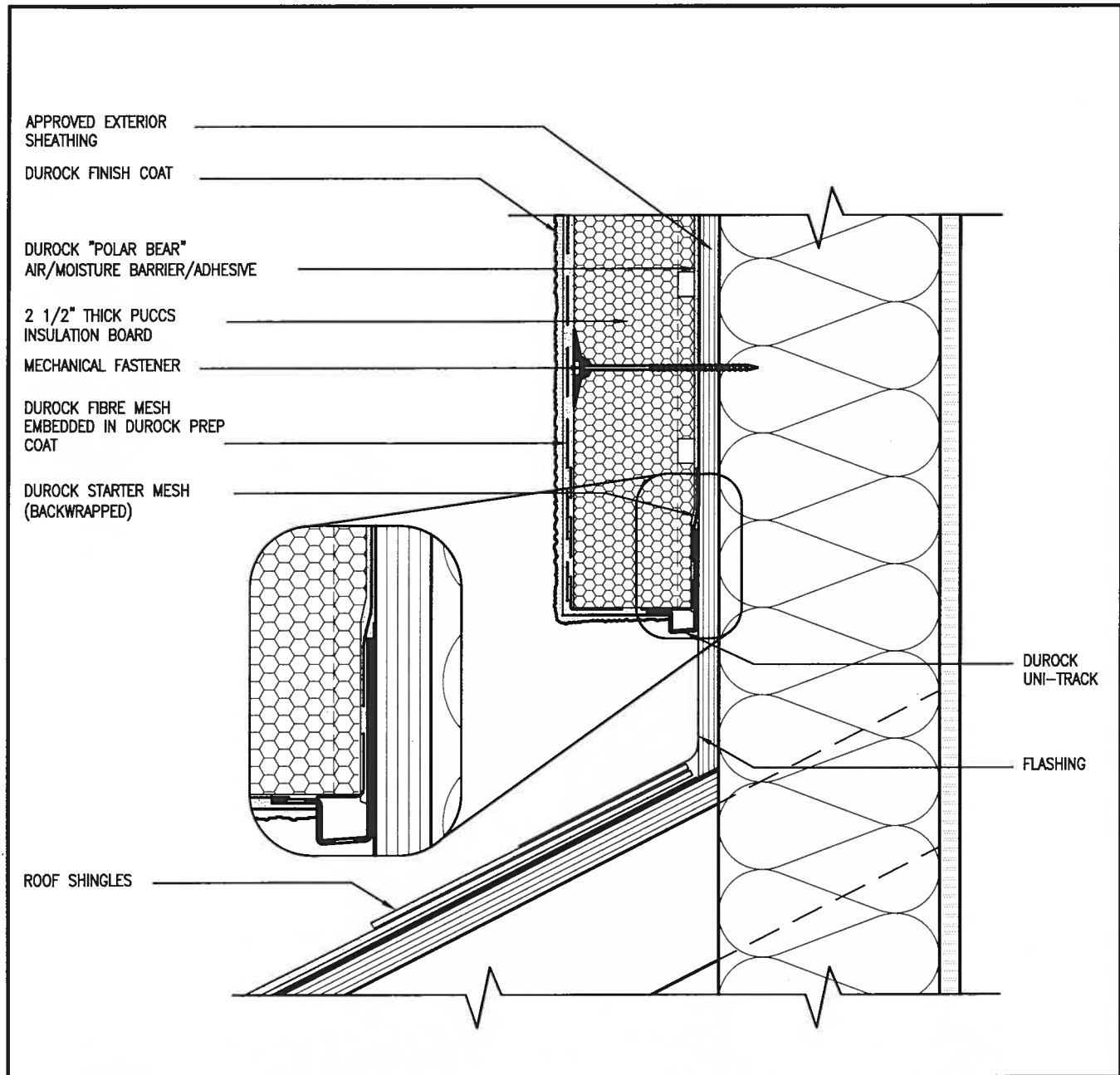
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name GREEN VALLEY EAST
municipality BRADFORD
project no. 16023
drawing no. CN3
date MAY 2016
checked by RC
scale 3/16" = 1'-0"

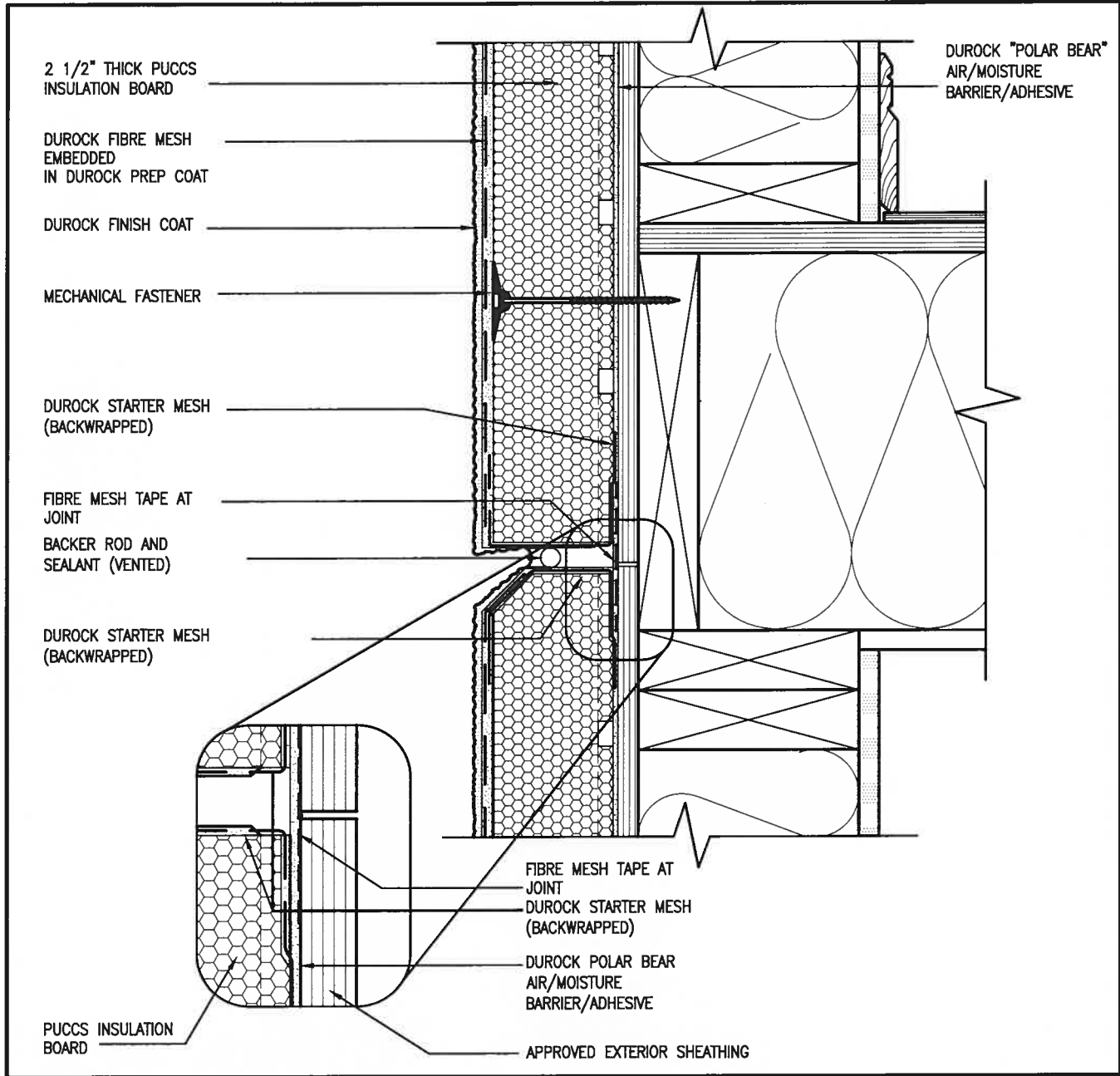
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3
CN4 STUCCO TERMINATION @ ROOF
SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4
CN4 HORIZONTAL EXPANSION JOINT
SCALE: 3"=1'-0"

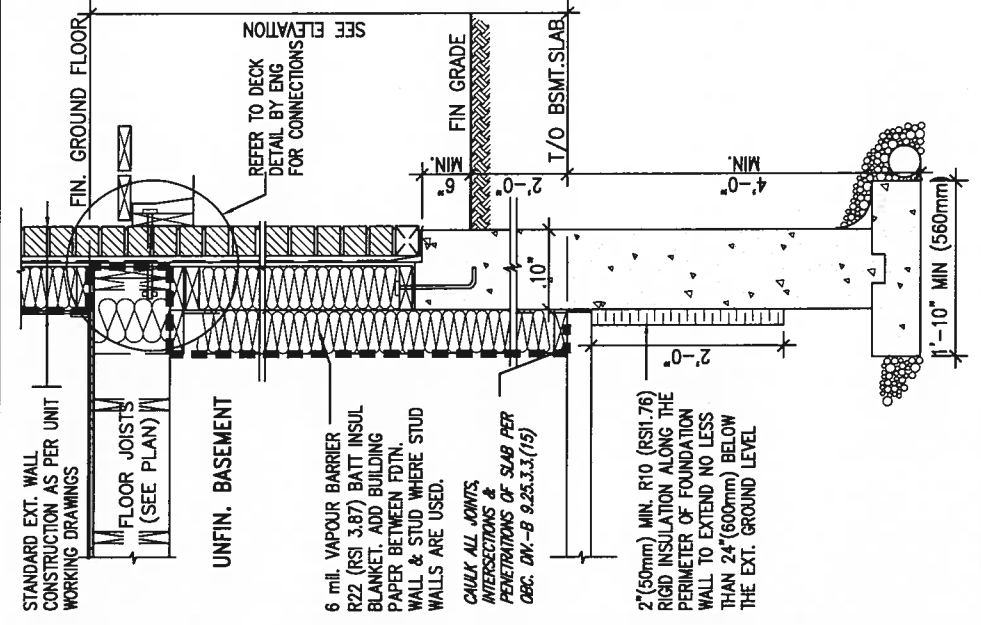
CONST NOTE BAYVIEW WELLINGTON GREEN VALLEY EAST		CONSTRUCTION NOTES project no. 16023 drawing no. CN4 date MAY 2016 checked by RC scale 3/16" = 1'-0" drawn by RC	
		project name GREEN VALLEY EAST municipality BRADFORD file name 16023-CN-A1 date MAY 2016 checked by RC scale 3/16" = 1'-0" drawn by RC	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com		The undersigned has reviewed and takes responsibility for the design and construction of the project and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information name Wellington Inc-Baptiste number 25591 BCN name VAS Design Inc. number 42658 BCN Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no. 9. 8. 7. 6. 5. 4. 3. 2. 1.	description UPDATE TO 2018 RC ISSUE FOR CLIENT REVIEW JAN 11-18 RC AUG 04-17 RC	date JAN 11-18 RC AUG 04-17 RC	by RC RC



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

[illegible]

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

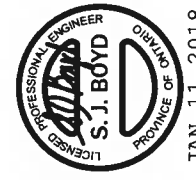


SECTION AT W.O.D/W.O.B.

Site Copy

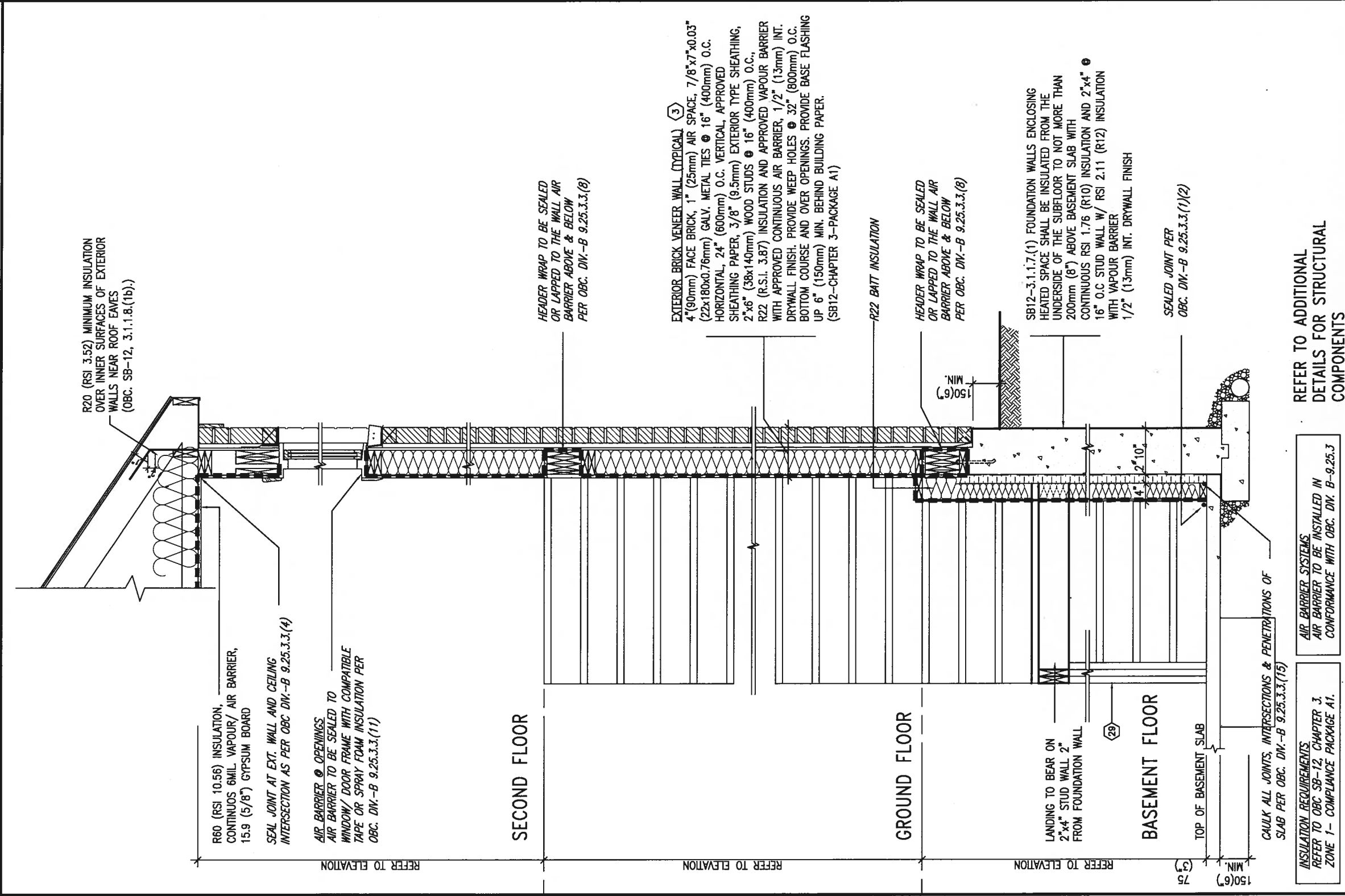
USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci:- Denotes Continuous Insulation without framing interruption.



JAN 11, 2018

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1— COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC DIV. B-9.25.3
---	---

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

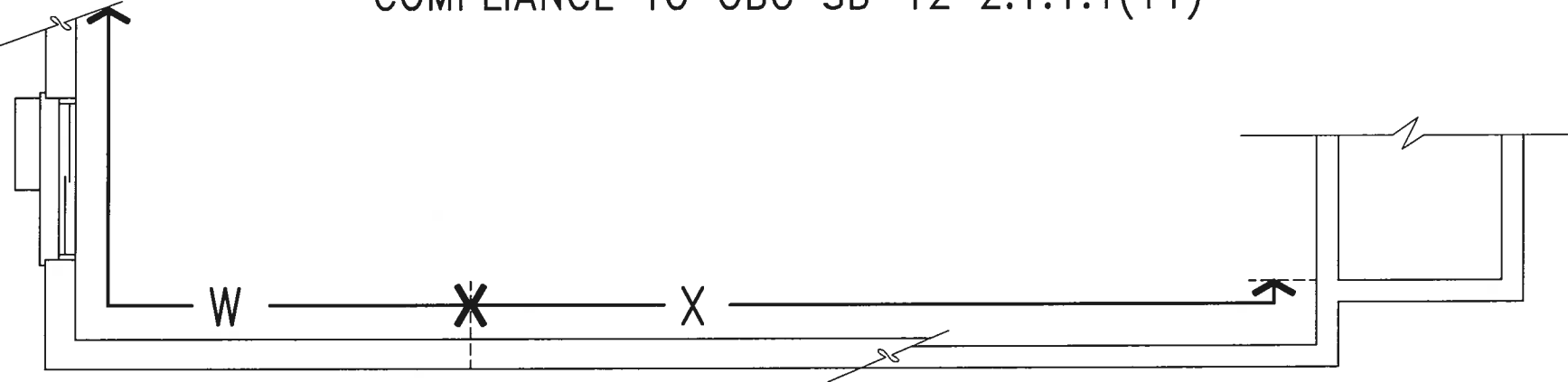
10" FOUNDATION WALL

SCALE: N.T.S.

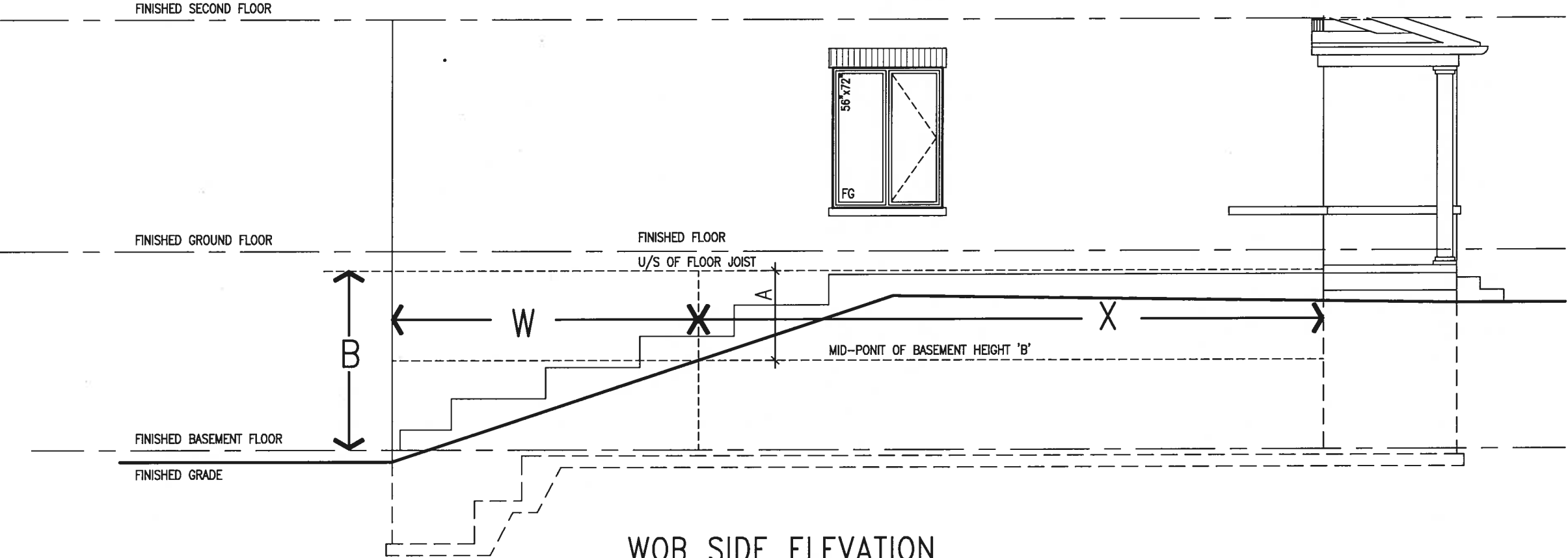
VA3
DESIGN
55 Consumers Rd Suite 120
Toronto ON M2J 1P4
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN

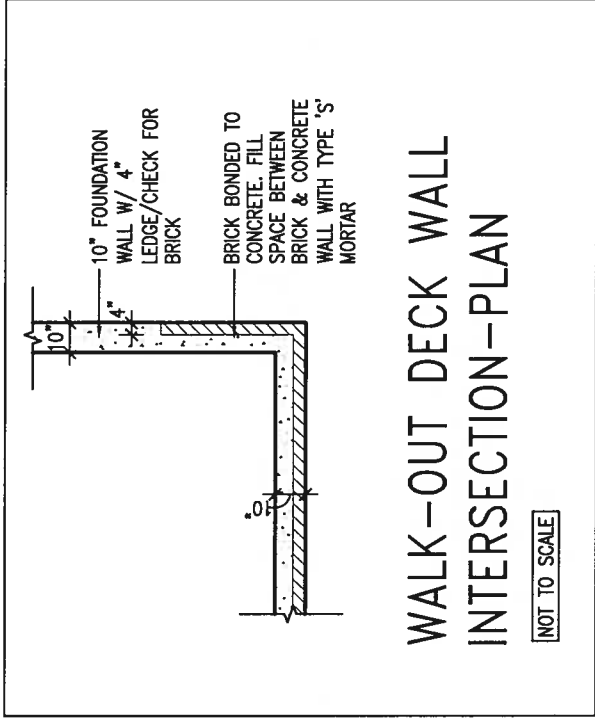


WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

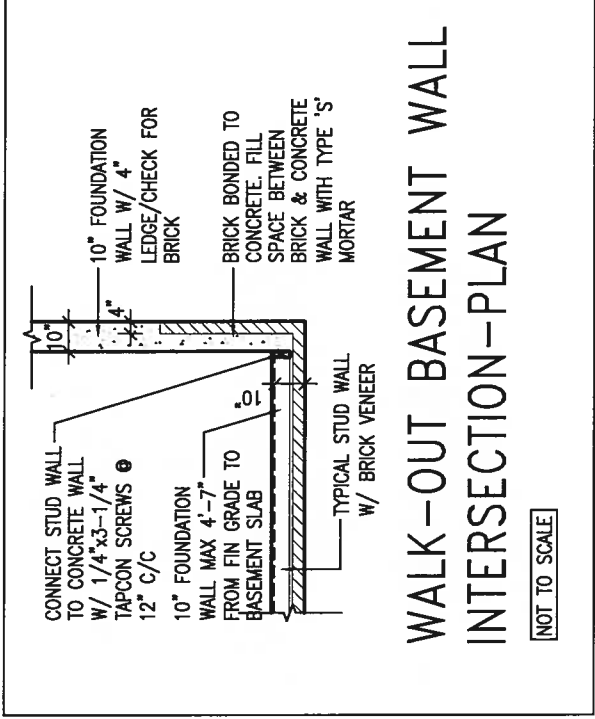
BAYVIEW WELLINGTON		CONST NOTE	
Project name	GREEN VALLEY EAST	Project no.	16023
City	MAY 2016	Municipality	BRADFORD
Drawn by	RC	Construction notes	CN8
Checked by	RC	File name	16023-CN-A1
Scale	3/16" = 1'-0"	Drawn by	RC
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
Wellington Jno-Baptiste 25591		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
Signature		Signature	
Vas Design Inc.		Vas Design Inc.	
42658		42658	
JAN 11-18 RC		JAN 11-18 RC	
AUG 04-17 RC		AUG 04-17 RC	
date		date	
by		by	
description		description	
2. UPDATE TO 2018		2. UPDATE TO 2018	
1. ISSUE FOR CLIENT REVIEW		1. ISSUE FOR CLIENT REVIEW	



WALK-OUT DECK WALL INTERSECTION-PLAN

NOT TO SCALE

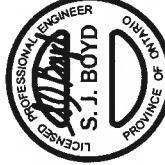
(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



JAN 11, 2018

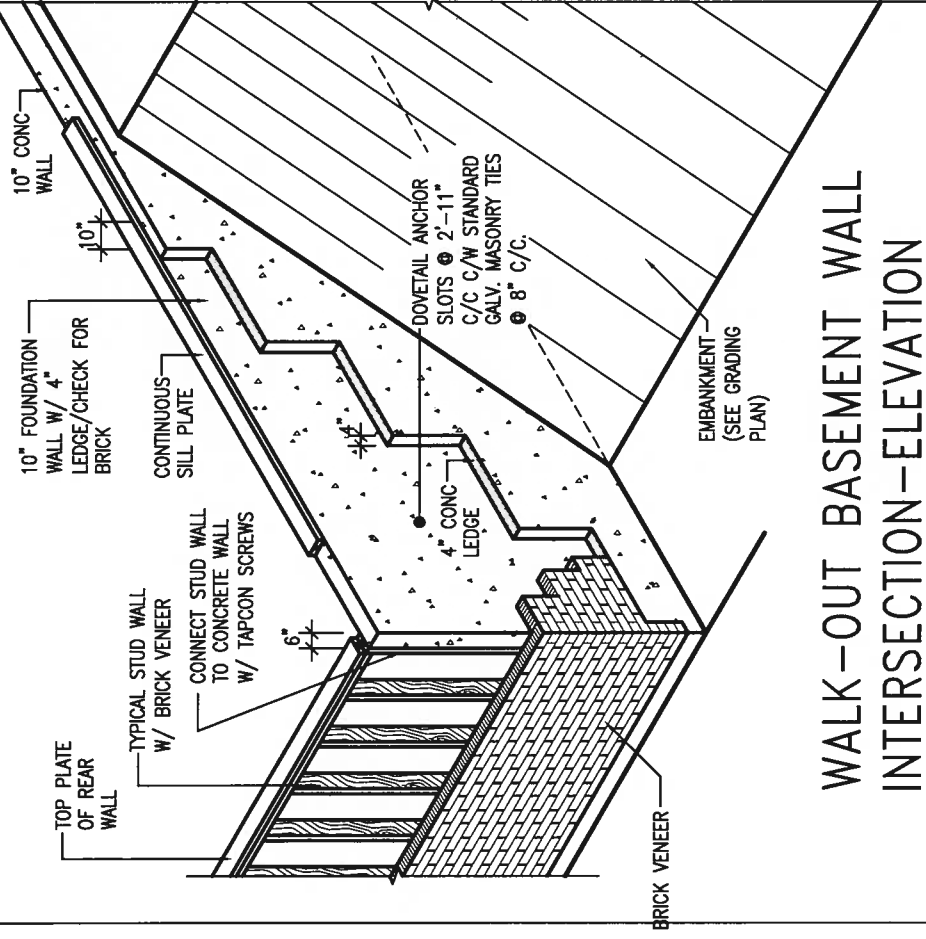
9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	
7.	.	.	qualification information
6.	.	.	Wellington Jno-Baptiste
5.	.	.	name
4.	.	.	registration information
3.	.	.	VAS Design Inc.
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by



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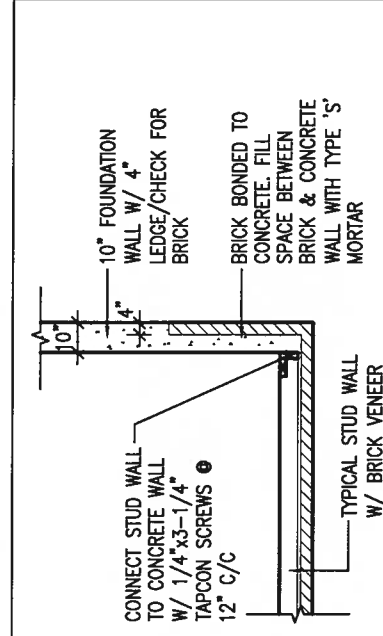
BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016		drawing no. CN10	
checked by RC		checked by RC	
scale 3/16" = 1'-0"		file name 16023-CN-A1	
RICHARD = H:\ARCHIVE\WORKING\2016\16023.BW\Units\GN NOTES\16023-CN-A1.dwg -- Thu - Jun 11 2016 - 10:09 AM			

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WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

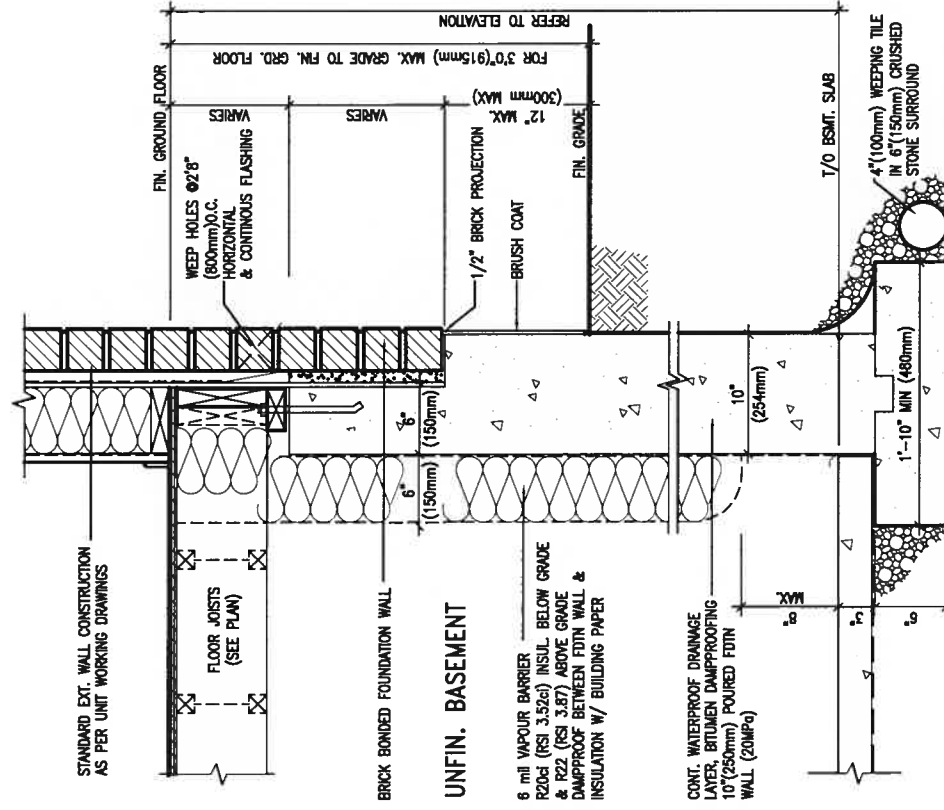
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

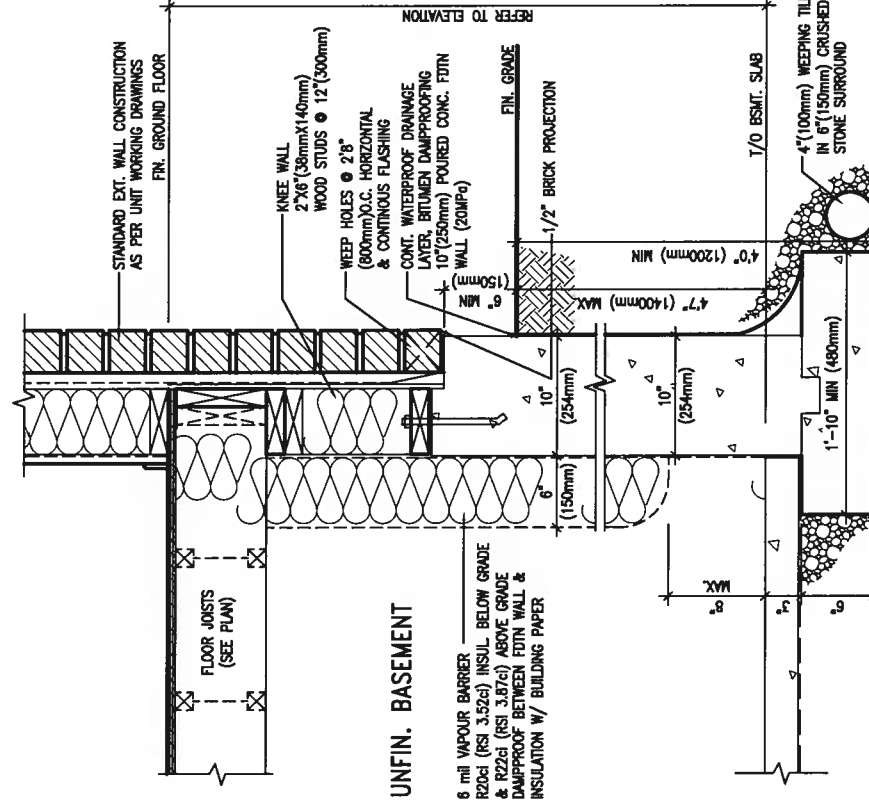
NOT TO SCALE

(10" FOUNDATION WALL)



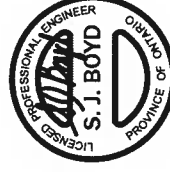
EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
 PKG A1

SCALE: N.T.S.



JAN 11, 2018

9	.	.
8	.	.
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5	.	.
4	.	.
3	.	.
2	UPDATE TO 2018	JAN 11-18 RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC
no.	description	date by



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www.idealism.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	project no. 16023
date MAY 2016	drawing no. CN11
drawn by RC	scale 3/16" = 1'-0"
checked by —	file name 16023-CN-A1
CONSTRUCTION NOTES	
RICHARD — H:\ARCHIVE WORKING\2016\16023.DWG Units\CN NOTES\16023-CN-A1.dwg — Thu — Jan 11 2018 — 10:09 AM	

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PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.
PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S
D RIP EDGE
STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION 3

HEATED SPACE

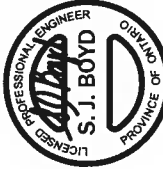
ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE
BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1 SECTION THROUGH CANOPY

CN12 SCALE 1/2" = 1'-0"



9.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	.	qualification information
7.	.	.	.	.	Wellington Jno-Baptiste 25591 BCN
6.	.	.	.	.	name VAS Design Inc. 42553
5.	.	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
4.	.	.	.	.	Drawings are not to be scaled.
3.	.	.	.	.	
2.	UPDATE TO 2018	JAN 11-18	RC	by	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	date	
no.	description				



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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	—	scale	3/16" = 1'-0"
drawn by	RC	checked by	—	CONSTRUCTION NOTES	16023-CN-A1
drawn by	RC	checked by	—	file name	CN12
drawn by	RC	checked by	—	drawing no.	16023-CN-A1

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