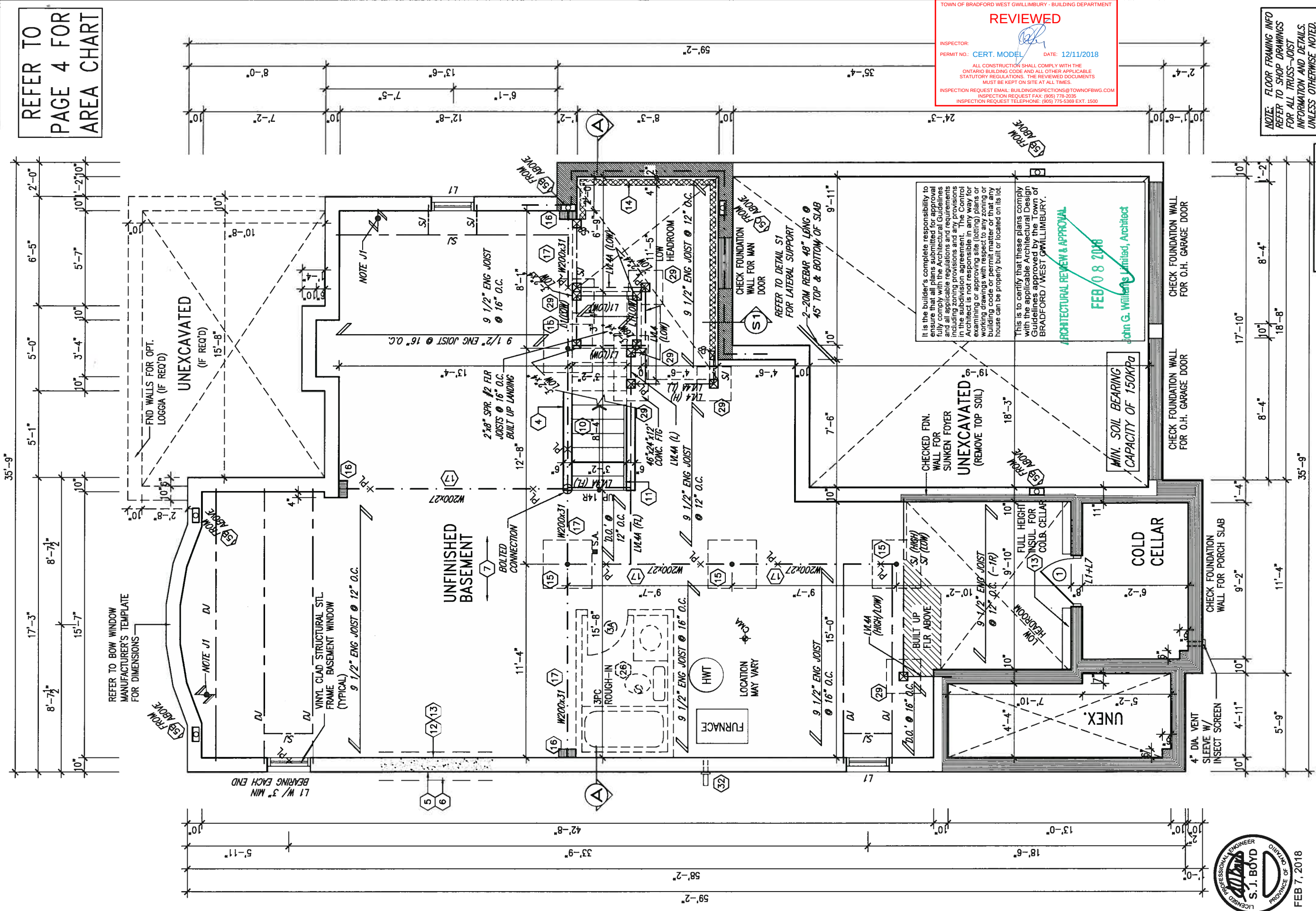


REFER TO
PAGE 4 FOR
AREA CHART



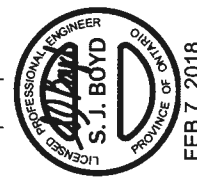
TOWN OF BRADFORD WEST GUILMBURY - BUILDING DEPARTMENT
REVIEWED
INSPECTOR: *[Signature]*
PERMIT NO.: CERT. MODEL DATE: 12/11/2018
ALL CONSTRUCTION SHALL COMPLY WITH THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS
MUST BE KEPT ON SITE AT ALL TIMES.
INSPECTION REQUEST EMAIL: BUILDINGSPECTIONS@TOWNOFBWG.COM
INSPECTION REQUEST FAX: (905) 775-2035
INSPECTION REQUEST TELEPHONE: (905) 775-5399 EXT. 1500

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.
NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

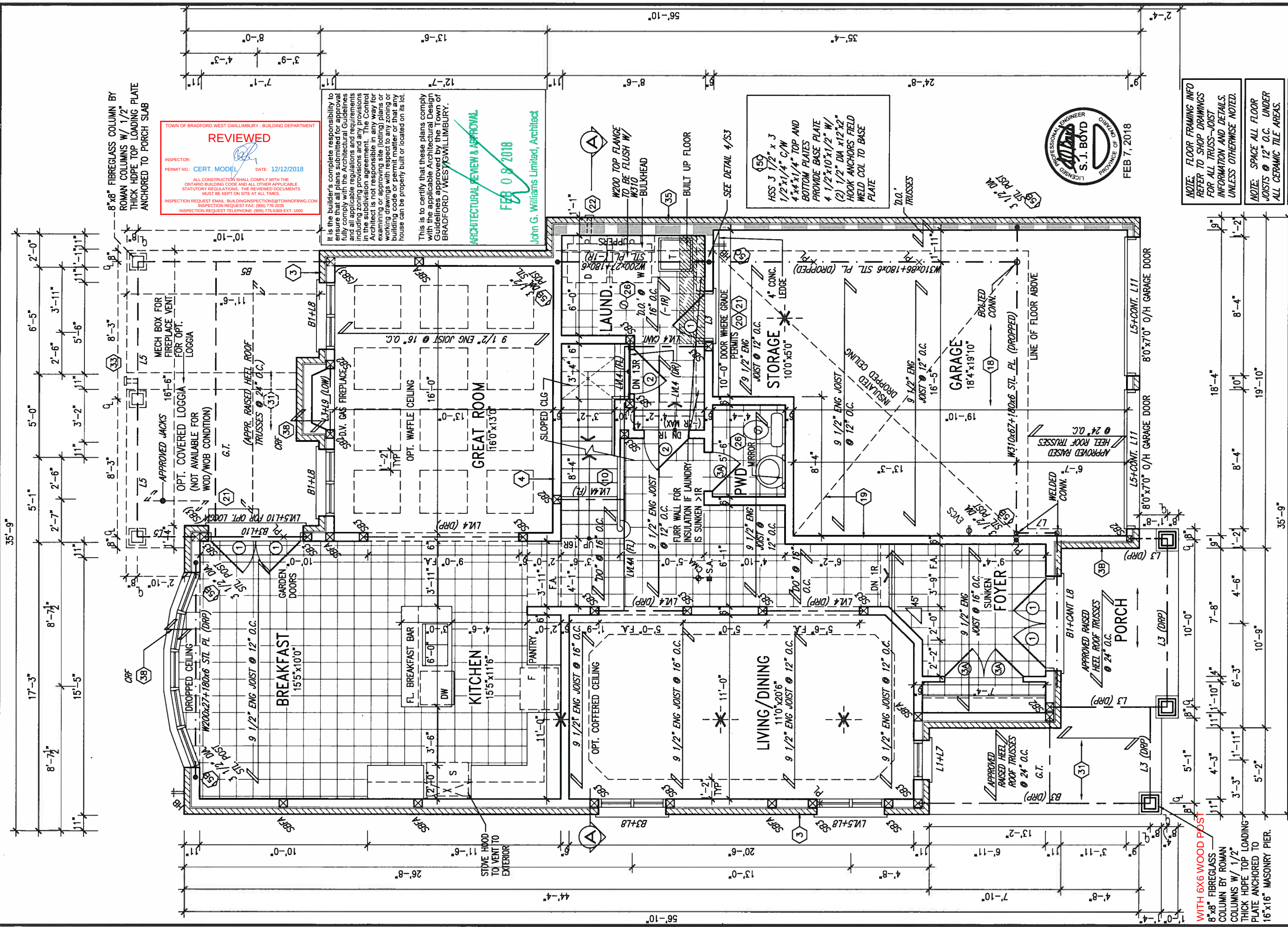
NOTE: ALL LV'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

BASEMENT PLAN 'A'

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		BAYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD, ONT.		S42-2 RIDEAU 2	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		project name Municipality project no. drawing no.		project no. drawing no.	
Wellington Jno-Baptiste signature 25591 BCM		date FEBRUARY 2017		date FEB 7 2018	
qualification information		checked by RC		checked by RC	
name Wellington Jno-Baptiste		scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
registration information VA3 Design Inc.		drawn by WT		drawn by WT	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		no. description		no. description	
2 REVISED AS PER ENG'S COMMENTS		FEB 07-18 RC		FEB 07-18 RC	
1 ISSUED FOR CLIENT REVIEW		date		date	



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

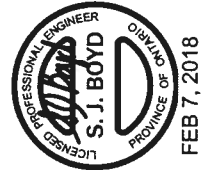
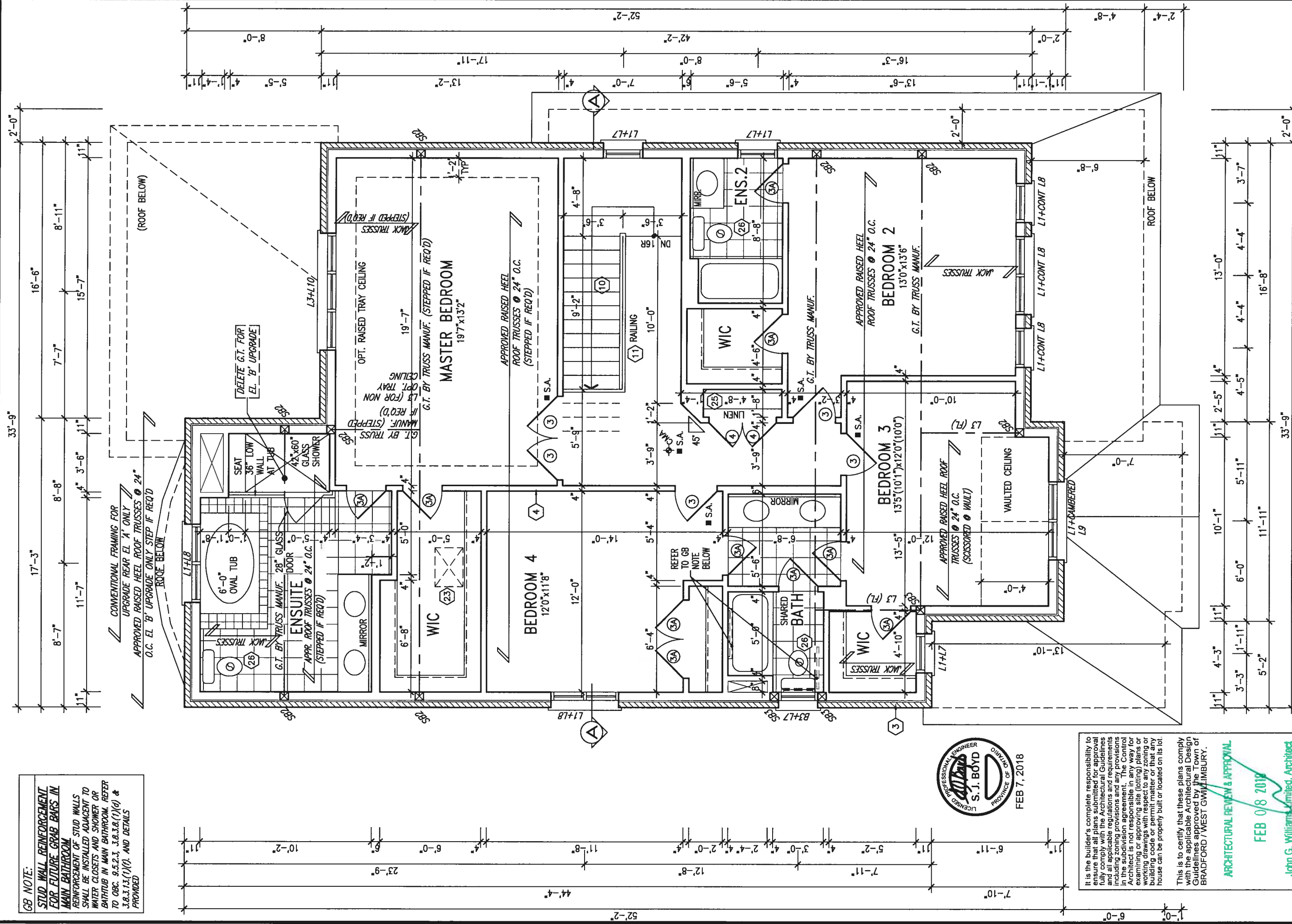
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

GROUND FLOOR PLAN 'A'

[illegible]

GB NOTE:
STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT TO
WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER
TO CBC 9.5.2.3, 3.8.3.8.(1)(d) &
3.8.3.13.(1)(i). AND DETAILS
PROVIDED



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code requirements that may apply to a house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWM LIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

SECOND FLOOR PLAN 'A'

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

The undersigned has reviewed and takes responsibility for this design and the information contained herein. The requirements set out in the Ontario Building Code to be a design professional.		Wellington Jno-Baptiste		25591	BCA
Qualification information		VA3 Design Inc.		42558	
Name		VA3 Design Inc.		42558	
Registration number		25591		BCA	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		FEB 07-18 RC		25591	
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC		25591	
1	ISSUED FOR CLIENT REVIEW	FEB 07-18 RC		25591	
no.	description	date	by		

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

project name
GREEN VALLEY EAST

project no.
16023

city
BRADFORD, ONT.

municipality
BRADFORD, ONT.

date
FEBRUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

second floor plan elev. 'A'

file name
16023-S42-2

drawing no.
3

project no.
16023

project name
BAYVIEW WELLINGTON

project no.
S42-2

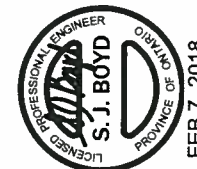
project name
GREEN VALLEY EAST

project no.
RIDEAU 2

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.



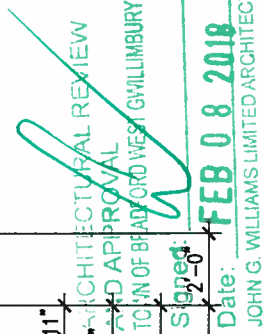
PARTIAL BASEMENT PLAN 'B'

[illegible]

- REFER TO 2012 OBC. 9.34.4.



I am the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house

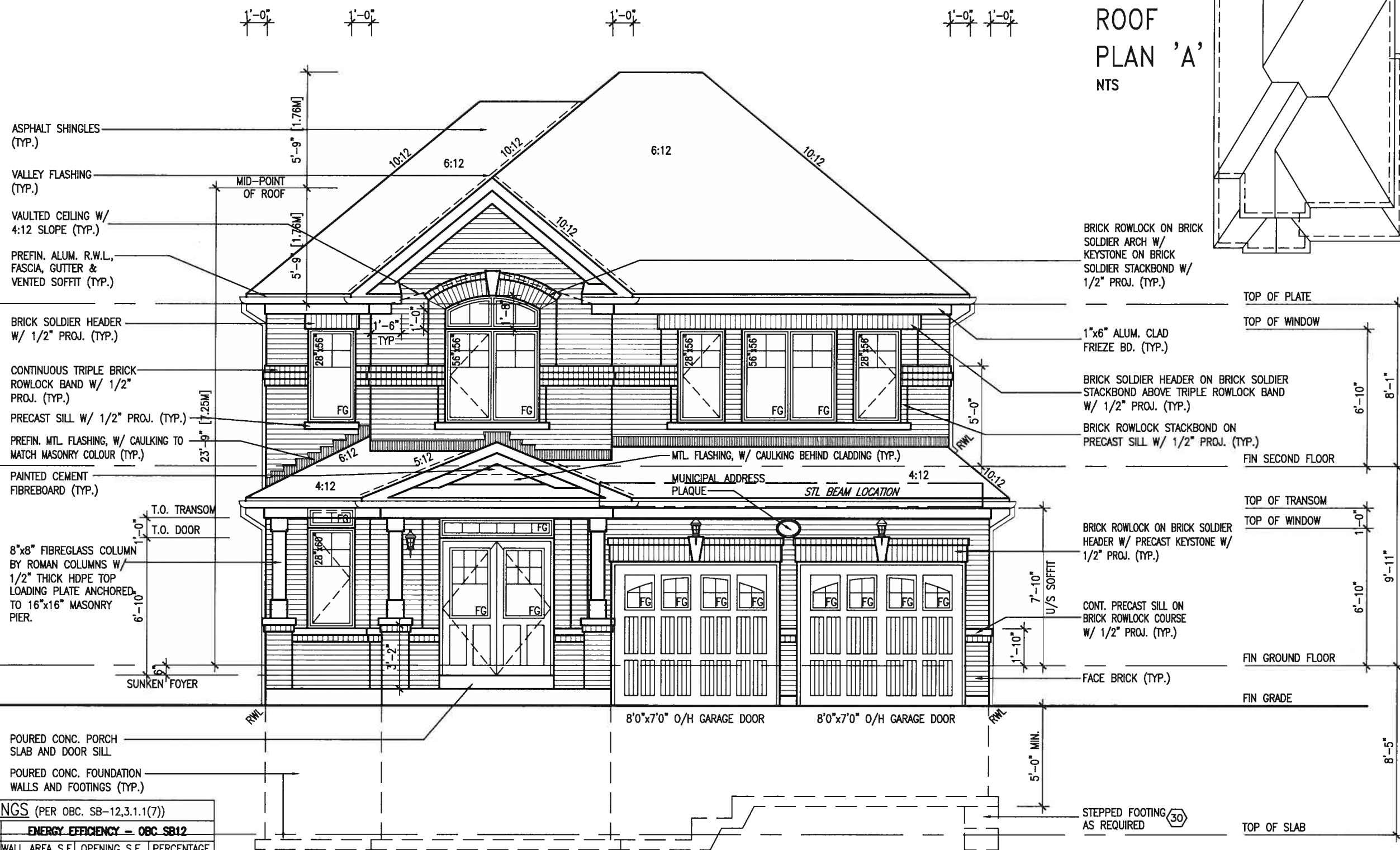
[illegible]

project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
date FEBRUARY, 2017	PART. PLANS ELEV. 'B' & 'C'	drawing no. 5
drawn by WT	checked by RC	scale 3/16" = 1'-0"
title name 16023-S42-2 S42-2 RIDEAU 2		
file name 16023-S42-2 16023-S42-2.dwg RICHARD - H:\ARCHIVE\WORKING\2016\16023.BPM Units\42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:20 PM		

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect



FRONT ELEVATION 'A'

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	161.88 S.F.	23.70 %
LEFT SIDE	1043 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043 S.F.	63.05 S.F.	6.05 %
REAR	675 S.F.	159.33 S.F.	23.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3444.00 S.F.	462.70 S.F.	13.43 %
TOTAL SQ. M.	319.96 S.M.	42.99 S.M.	13.43 %



FEB 7. 2018

project name BAYVIEW WELLINGTON	municipality BRADFORD, ONT.	project no. S42-2 RIDEAU 2
date FEBRUARY 2017	checked by RC	drawing no. 16023
drawn by WT	scale 3/16" = 1'-0"	file name 16023-S42-2

V3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1P4
416.630.2255 f 416.630.4
vo3design.com

contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

9	*	*	*
8	*	*	*
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6	*	*	*
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2	REVISED AS PER ENG'S COMMENTS		FEB 07-18 RC
1	ISSUED FOR CLIENT REVIEW		
in	description	date	bu

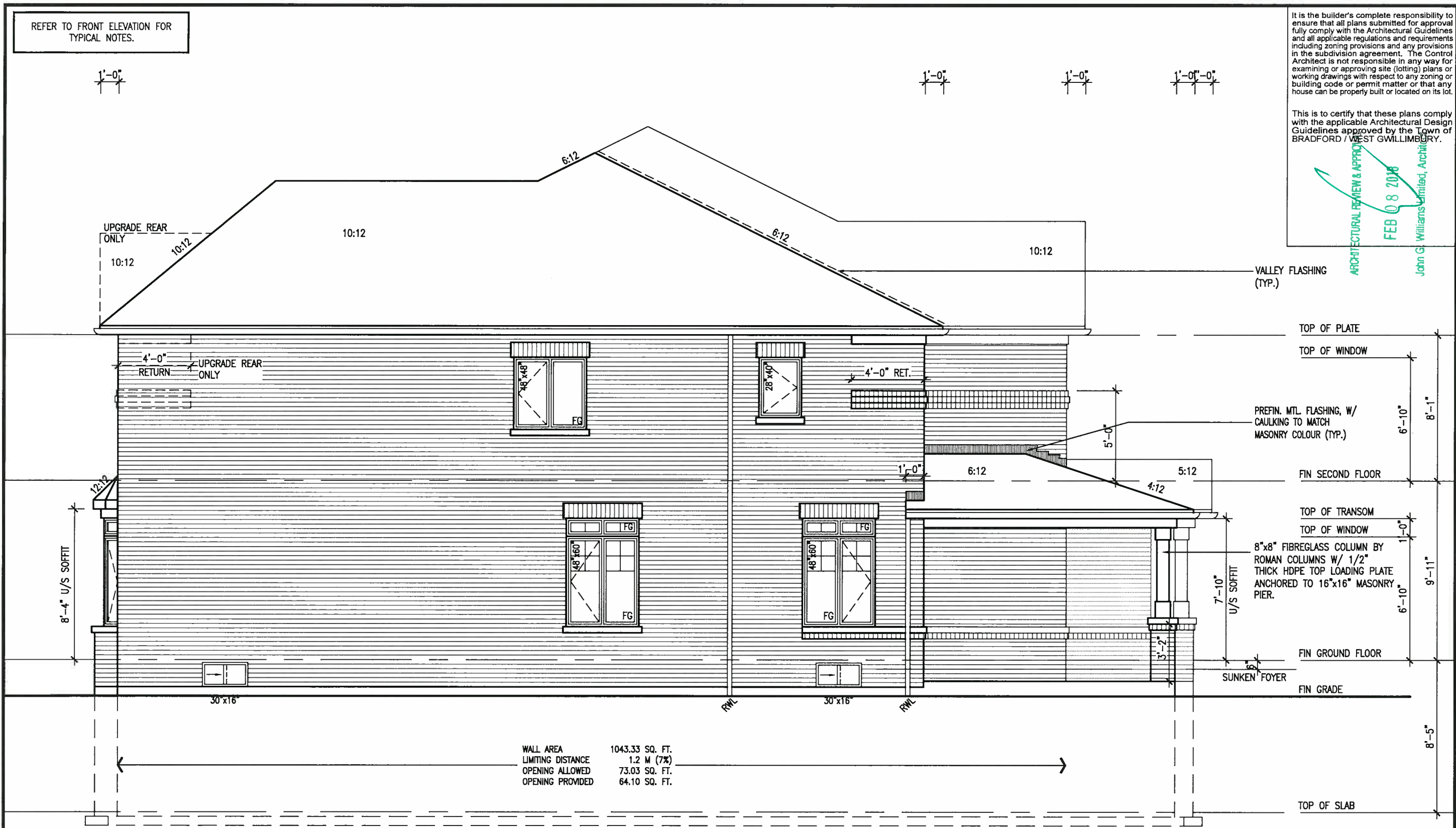
Site Copy

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect



WALL AREA	1043.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	73.03 SQ. FT.
OPENING PROVIDED	64.10 SQ. FT.

LEFT SIDE ELEVATION 'A'



S42-2

RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

LEFT SIDE ELEVATION 'A'

project no.

16023

drawing no.

8

VA3

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va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.

no.

description

date

by

2

REVISED AS PER ENG'S COMMENTS

FEB 07-18 RC

1

ISSUED FOR CLIENT REVIEW

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

project no.

16023

drawing no.

8

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONT.

date

FEBRUARY 2017

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

checked by

RC

drawn by

WT

date

FEB 7 2018

time

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no.

description

date

by

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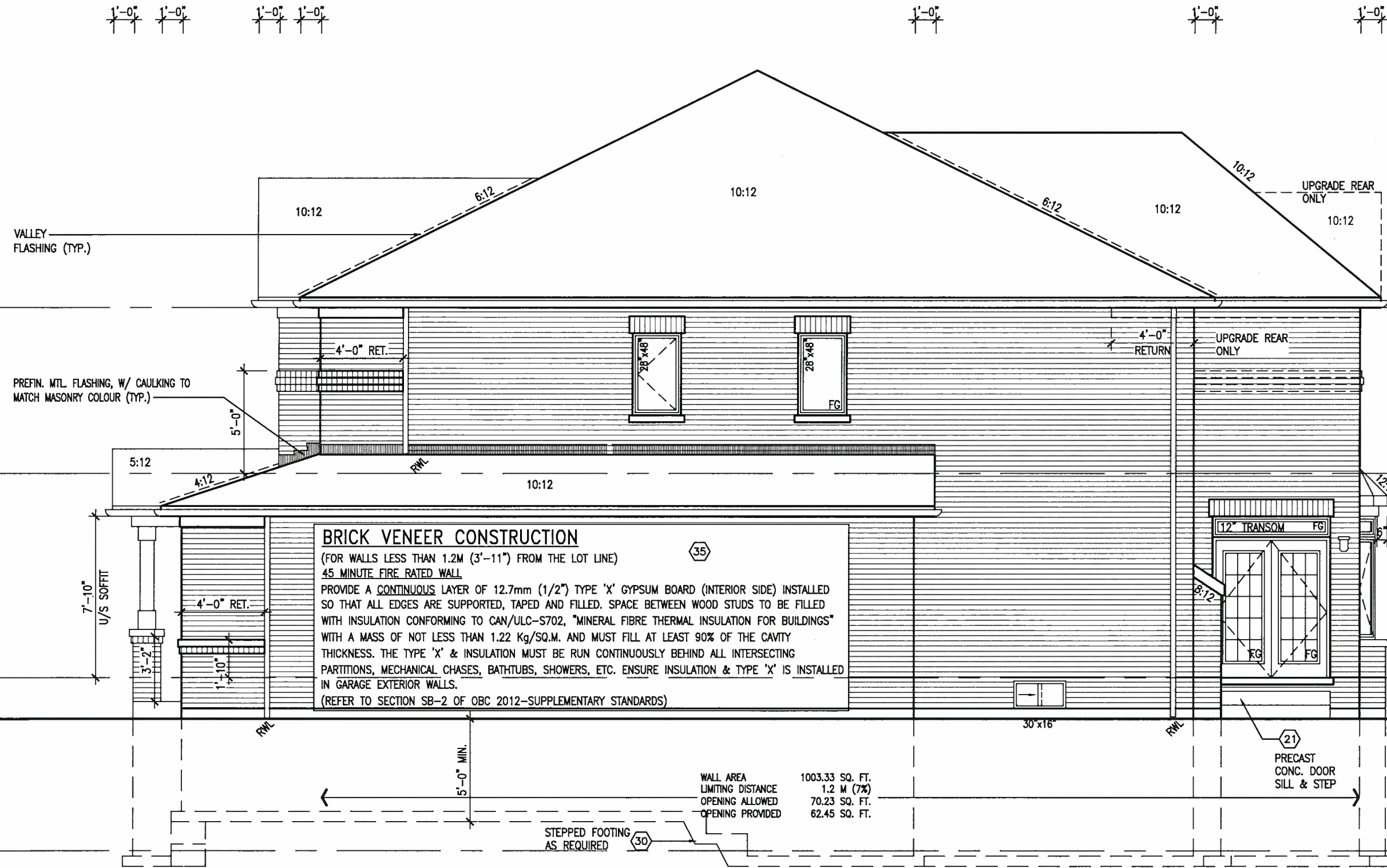
REVISED AS PER ENG'S COMMENTS

FEB 07-18 RC

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ISSUED FOR CLIENT REVIEW

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



RIGHT SIDE ELEVATION 'A'

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams & Associates, Architect

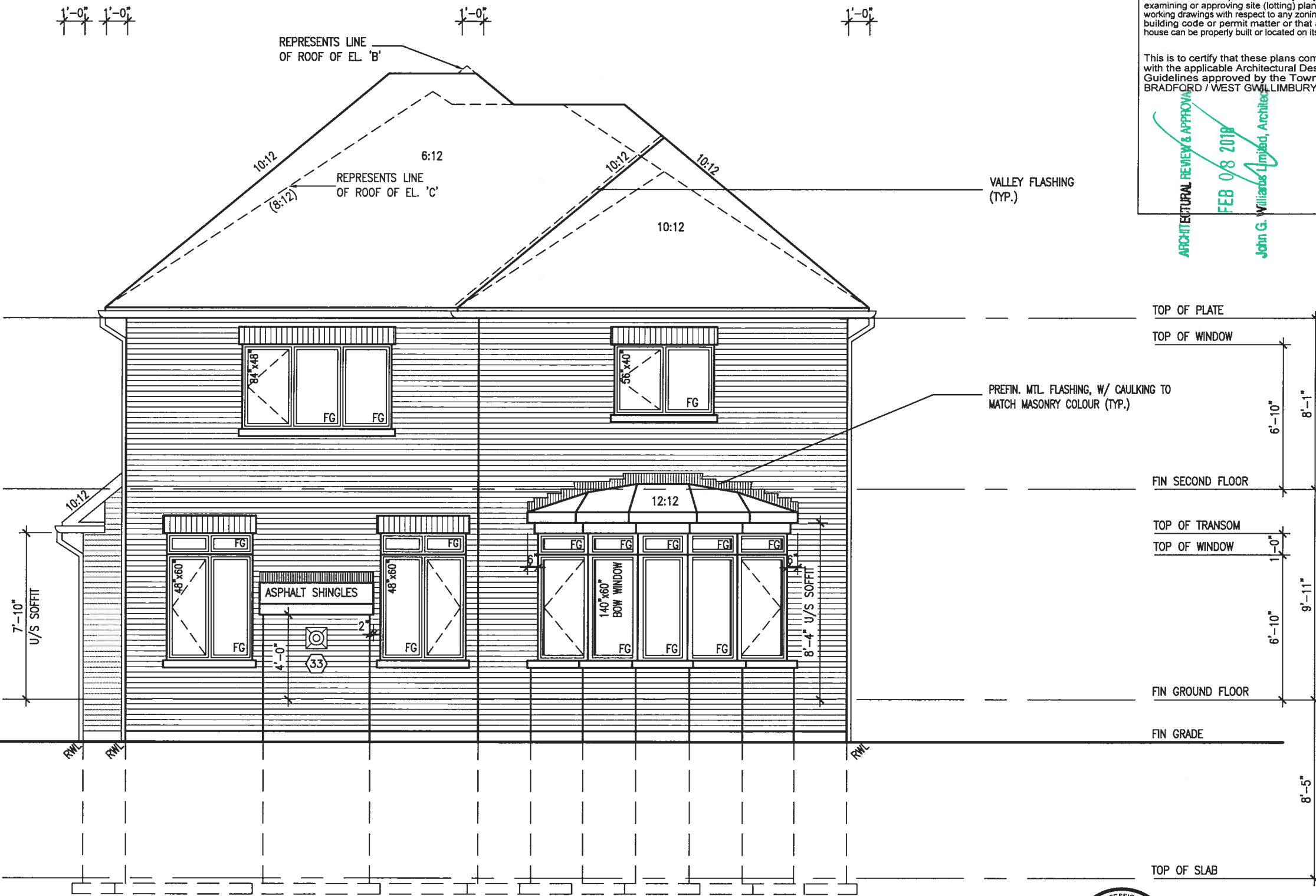
TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR
FIN GROUND FLOOR
FIN GRADE
TOP OF SLAB

6'-10"
8'-1"
6'-10"
1'-0"
6'-10"
9'-11"
8'-5"

S.J. BOYD
PROVINCE OF ONTARIO
FEB 7, 2018

S42-2 RIDEAU 2		BAYVIEW WELLINGTON		VA3 DESIGN	
project no.	16023	project name	GREEN VALLEY EAST	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
drawing no.	9	municipality	BRADFORD, ONT.		
file name	16023-S42-2	date	FEBRUARY, 2017		
scale	3/16" = 1'-0"	checked by	RC		
drawn by	WT	drawn by	RC		
no.	description	date	by		
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC		
1	ISSUED FOR CLIENT REVIEW				

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



REAR ELEVATION 'A', 'B' & 'C'



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	10
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-2	drawn by	WT
RICHARD - H:\ARCHIVE\WORKING\2018\16023.BW\Units\42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:20 PM			
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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		VAS DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	
no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited Architect

S42-2 RIDEAU 2		BAYVIEW WELLINGTON	
project no.	16023	project name	GREEN VALLEY EAST
drawing no.	11	municipality	BRADFORD, ONT.
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-2	checked by	RC
drawn by	WT	checked by	RC
drawn by	WT	checked by	RC

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad3design.com

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no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		

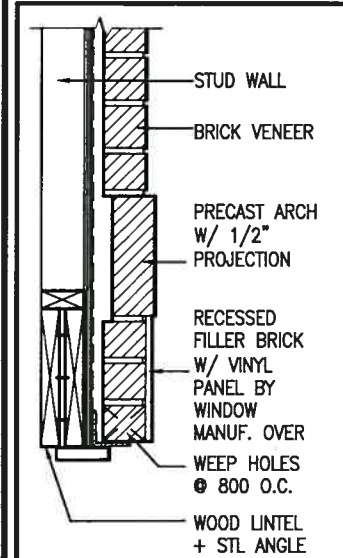
PART. RIGHT SIDE ELEV. 'A'
W/ OPT. LOGGIA

PART. REAR ELEVATION 'A'
W/ OPT. LOGGIA
EL. 'B' & 'C' SIMILAR



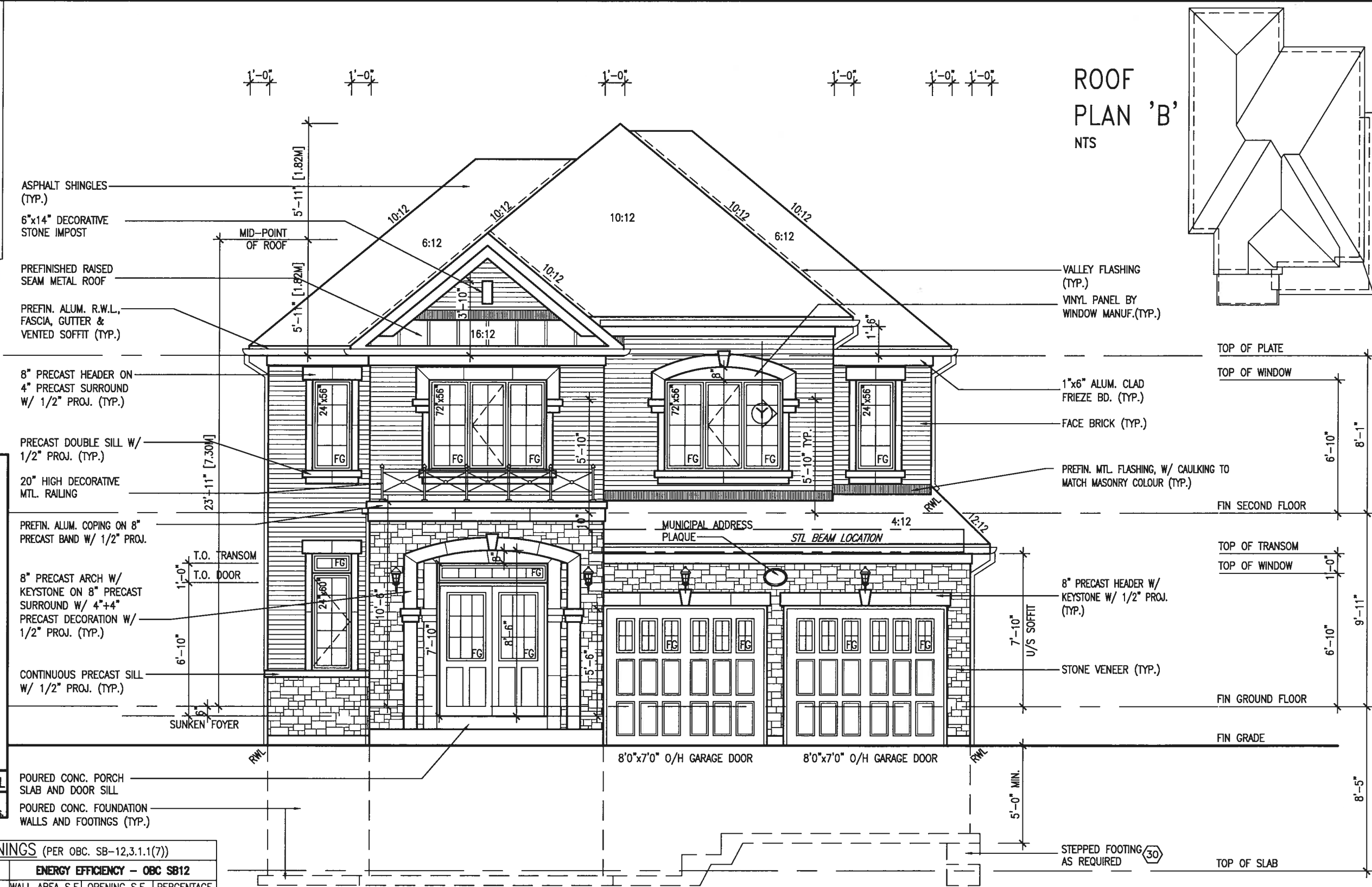
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, A



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

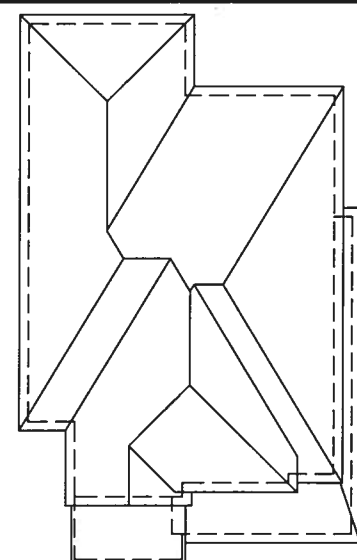
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-2 ELEVATION B		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	683 S.F.	151.55 S.F.	22.19 %	
LEFT SIDE	1053 S.F.	78.44 S.F.	7.45 %	
RIGHT SIDE	1056 S.F.	66.38 S.F.	6.29 %	
REAR	675 S.F.	159.33 S.F.	23.60 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
TOTAL SQ. FT.	3467.00 S.F.	455.70 S.F.	13.14 %	
TOTAL SQ. M.	322.09 S.M.	42.34 S.M.	13.14 %	



FRONT ELEVATION 'B'



ROOF
PLAN 'B'
NTS

[illegible]

Site Copy

$$1' - 0''$$
$$1' - 0''$$

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ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architects

BAYVIEW WELLINGTON	S42-2 RIDEAU 2
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
drawn by date FEBRUARY, 2017	project no. 16023
scale 3/16" = 1'-0"	drawing no. 13
checked by RC	file name 16023-S42-2
drawn by WT	
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VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
- vad3design.com

Contract No.	Wellington - no-Baptiste	25591	BCIN	42658
Name	<i>[Signature]</i>	signature		
Firm Name	VWA Design Inc.			
Address				
City				
State				
Zip				
Telephone				
Fax				

no.	description	date	by
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		
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Architectural elevation drawing of a building facade. The drawing includes the following elements and annotations:

- Roof:** Multiple gables with pitches of 10:12 and 6:12. A dashed line indicates the "UPGRADE REAR ONLY" area.
- Windows:**
 - Top left: 48" x 48" window with "FG" label.
 - Top right: 28" x 40" window with "FG" label.
 - Middle left: 48" x 60" window with "FG" label.
 - Middle right: 48" x 60" window with "FG" label.
 - Bottom left: 30" x 16" window.
 - Bottom right: 30" x 16" window.
- Structural Details:**
 - "4'-0\" RET." (Return) annotations near the top windows.
 - "8'-4\" U/S SOFFIT" (Under Soffit) dimension on the left.
 - "12:12" pitch annotation on the left side.
 - "VALLEY FLASHING (TYP.)" annotation on the right side.
 - "FIN SECOND FLOOR", "TOP OF TRANSOM", "TOP OF WINDOW", "FIN GROUND FLOOR", "SUNKEN FOYER", and "FIN GRADE" level markers on the right.
 - "RWL" (Right Wall Line) markers at the bottom.
- Table:**

WALL AREA	1053.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	73.73 SQ. FT.
OPENING PROVIDED	64.10 SQ. FT.
- Annotations:**
 - "UPGRADE REAR ONLY" (multiple locations).
 - "RETURN" (multiple locations).
 - "TOP OF PLATE" and "TOP OF WINDOW" labels on the right.
 - "TOP OF SLAB" label at the bottom right.

WALL AREA	1053.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	73.73 SQ. FT.
OPENING PROVIDED	64.10 SQ. FT.

LEFT SIDE ELEVATION 'B'



Site Copy

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

S42-2
RIDEAU 2

BRADFORD, ONT.	municipality
----------------	--------------

project name
**BAYVIEW WELL
GREEN VALLEY EAST**



name	Wellington Jno-Baptiste	25591
signature	<i>W. J. Baptiste</i>	
BCIN		476558
registration information		
VAT Design, Inc.		

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6	.	.
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4	.	.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	FEB 07-18	RC
2	REVISED AS PER ENG'S COMMENTS		
3			

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	425000 PRO DESIGN INC.
--	---------------------------

255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	DESIGN FEBRUARY 2017 drawn by WT checked by RC scale $3/16" = 1'-0"$ file name 16023-S42-2 16023 - H:\ARCHIVE\WORKING\16023\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:20 PM
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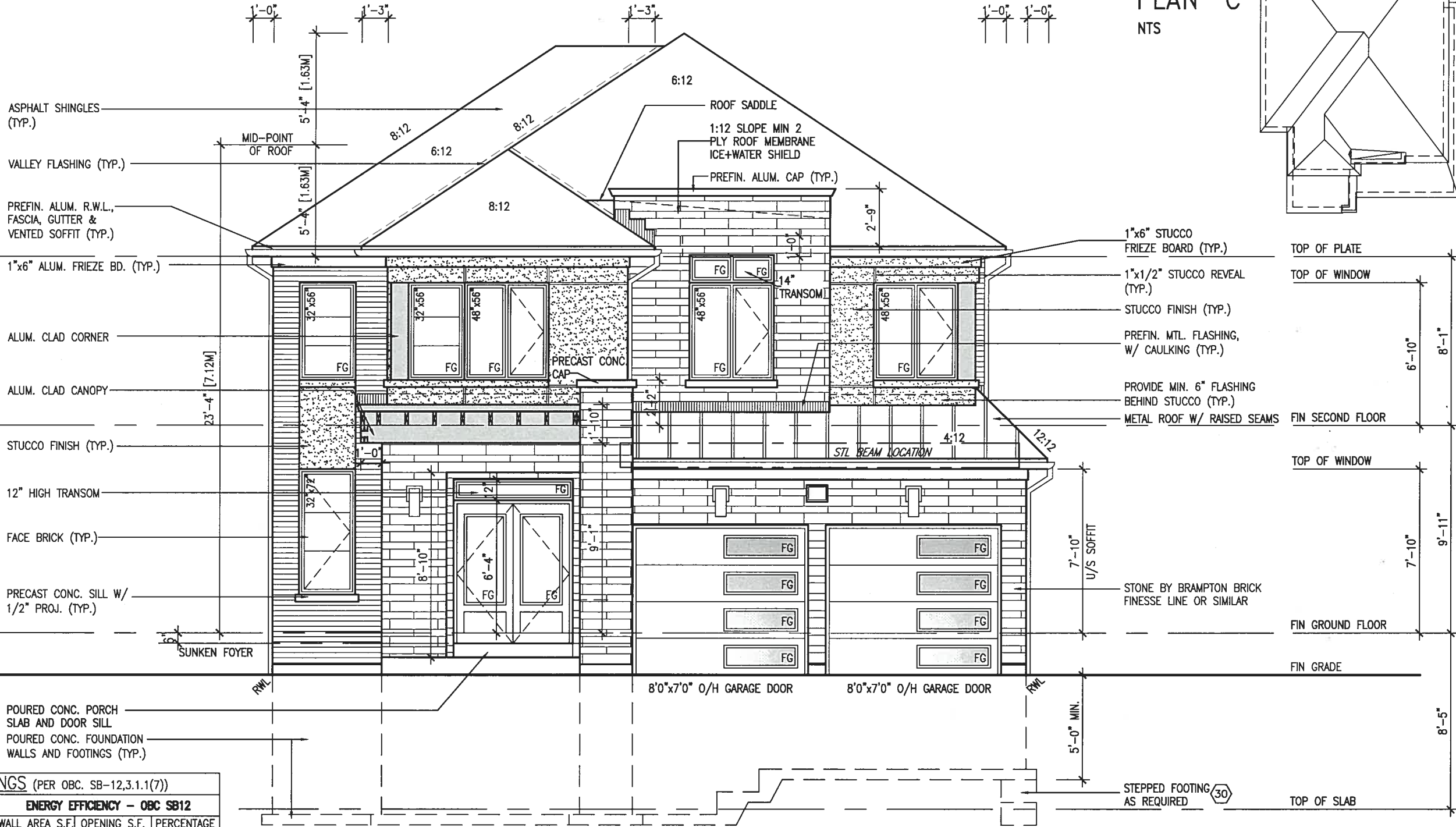
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILMINGTON.

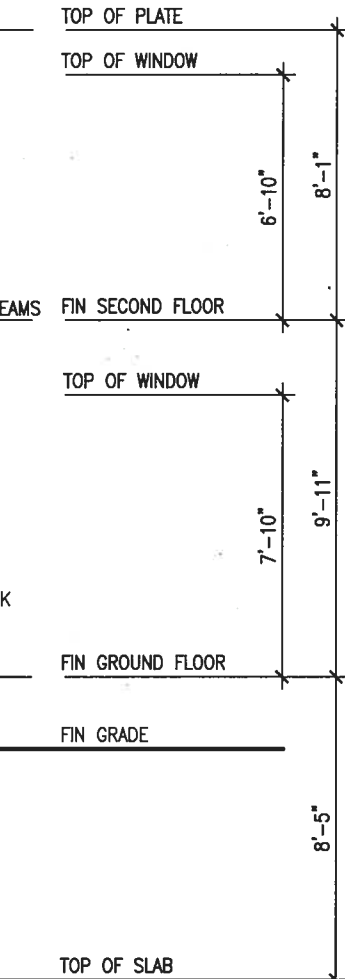
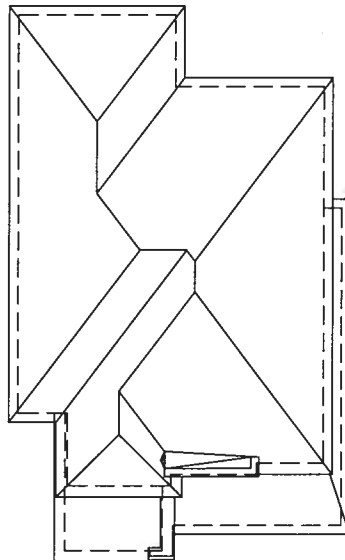
ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams, Architect



UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-2 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	681 S.F.	167.11 S.F.	24.54 %
LEFT SIDE	1048 S.F.	82.88 S.F.	7.91 %
RIGHT SIDE	1048 S.F.	78.84 S.F.	7.52 %
REAR	675 S.F.	159.33 S.F.	23.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3452.00 S.F.	488.16 S.F.	14.14 %
TOTAL SQ. M.	320.70 S.M.	45.35 S.M.	14.14 %

FRONT ELEVATION 'C'

ROOF PLAN 'C'
NTS



S42-2
RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no.
16023

municipality
BRADFORD, ONT.

date
FEBRUARY, 2017

checked by
RC

drawn by
WT

project name
GREEN VALLEY EAST

scale
3/16" = 1'-0"

checked by
RC

drawn by
WT

project no.
16023

drawing no.
15

front elevation 'C'

file name
16023-S42-2

date
FEB 7 2018 - 1:20 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste

25591

BCM

42558

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2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no. description

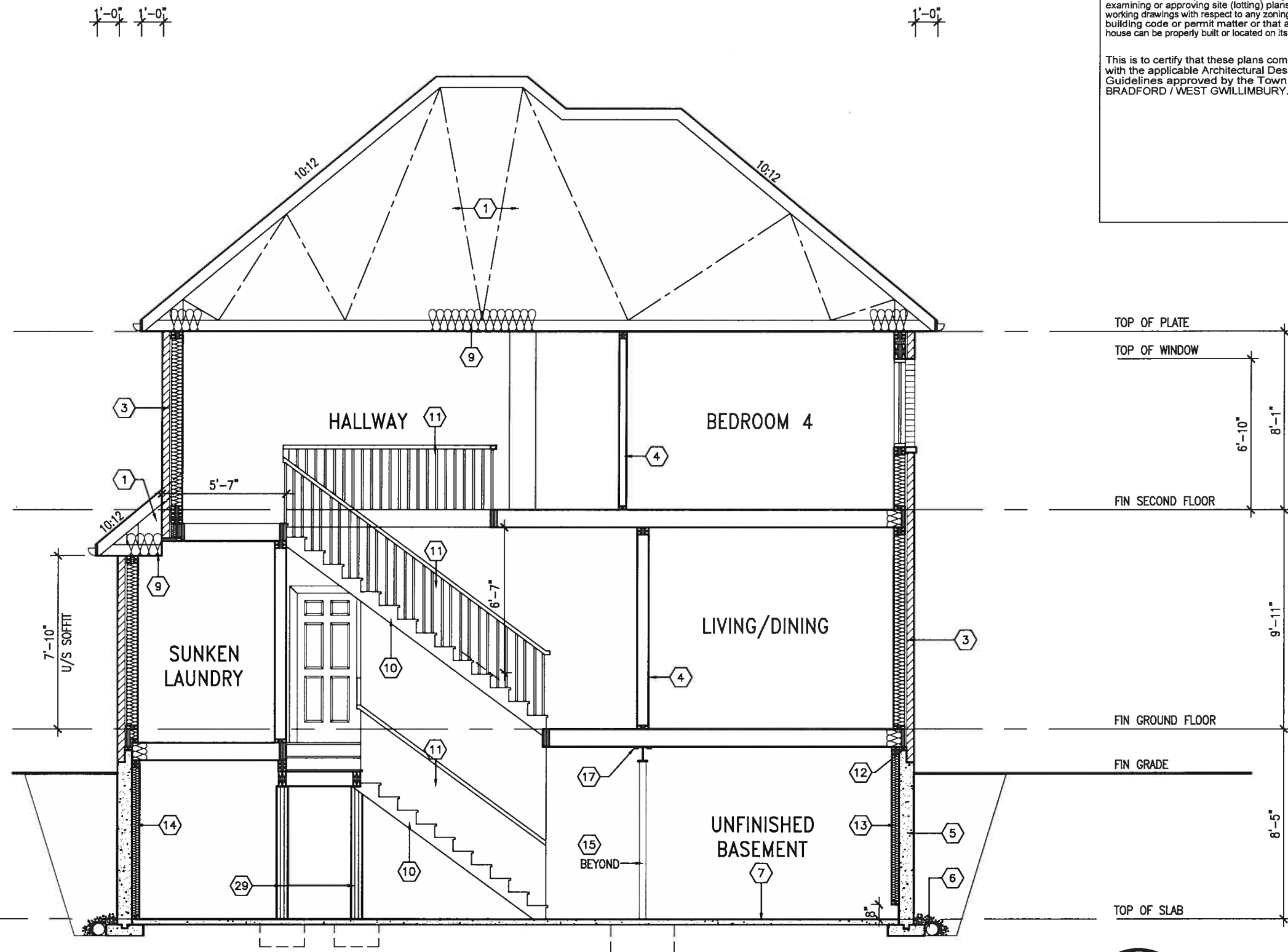
Site Copy

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	161.88 S.F.	23.70 %
LEFT SIDE	1043 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043 S.F.	63.05 S.F.	6.05 %
REAR	908 S.F.	203.96 S.F.	22.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3677.00 S.F.	507.33 S.F.	13.80 %
TOTAL SQ. M.	341.60 S.M.	47.13 S.M.	13.80 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	151.55 S.F.	22.19 %
LEFT SIDE	1053 S.F.	78.44 S.F.	7.45 %
RIGHT SIDE	1056 S.F.	66.38 S.F.	6.29 %
REAR	908 S.F.	203.96 S.F.	22.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3700.00 S.F.	500.33 S.F.	13.52 %
TOTAL SQ. M.	343.74 S.M.	46.48 S.M.	13.52 %

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	681 S.F.	167.11 S.F.	24.54 %
LEFT SIDE	1048 S.F.	82.88 S.F.	7.91 %
RIGHT SIDE	1048 S.F.	78.84 S.F.	7.52 %
REAR	908 S.F.	203.96 S.F.	22.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3685.00 S.F.	532.79 S.F.	14.46 %
TOTAL SQ. M.	342.34 S.M.	49.50 S.M.	14.46 %



CROSS SECTION A-A



FEB 7, 2018

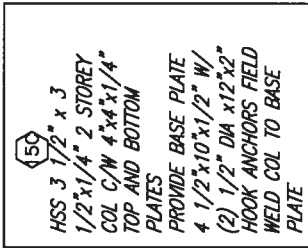
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Site Copy

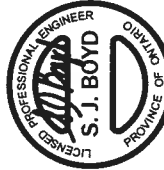
10 FULL PAGES
TYPICAL NOTES.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILFORD.

FEB 08 2018

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP



FOR 4-6 RISER
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FDN WALL W/
1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16" O.C.
REFER TO DETAIL 1/S2

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

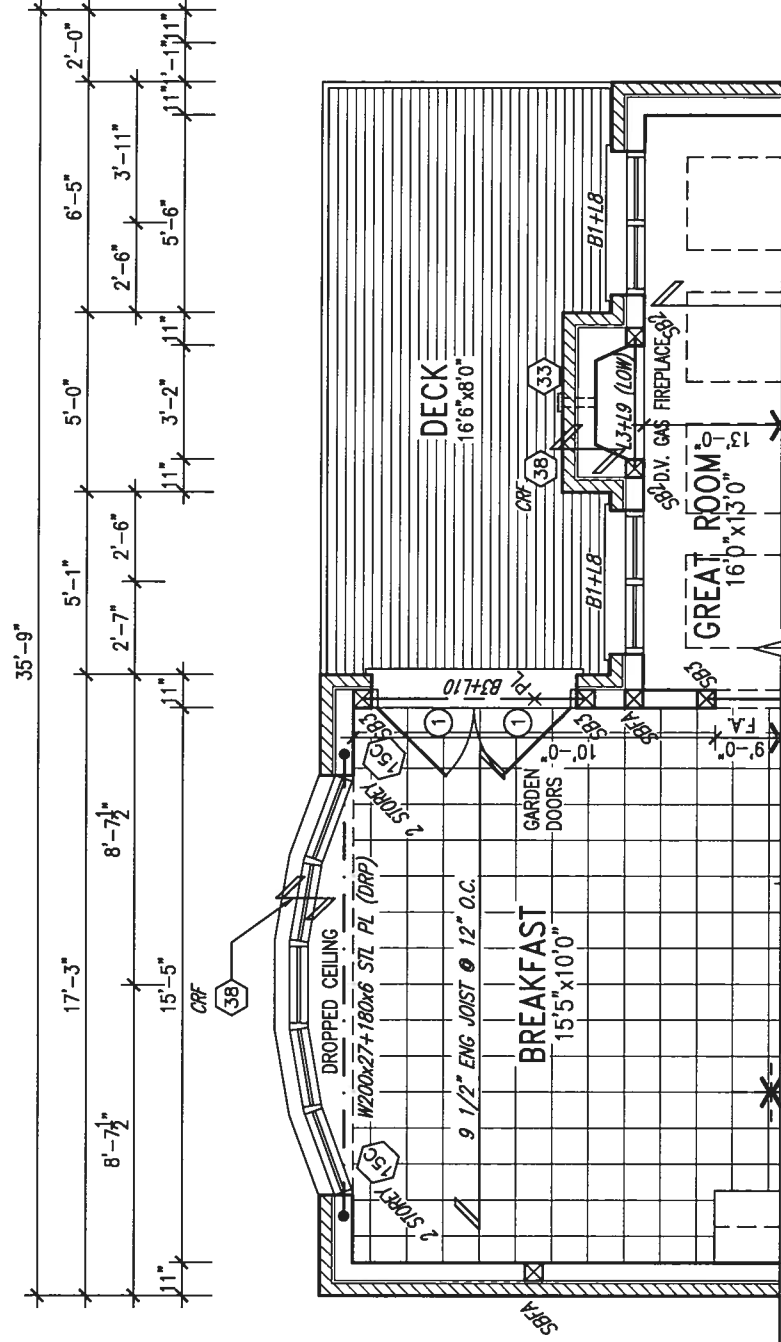


Drawings are not to be scaled.

BAYVIEW WELLINGTON

RICHARD - H:\ARCHIVE\WORKING\2016\16023.8W\Units\42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM

REFER TO FULL PLANS FOR
TYPICAL NOTES.



PART GRND FLOOR PLAN
W.O.B. CONDITION

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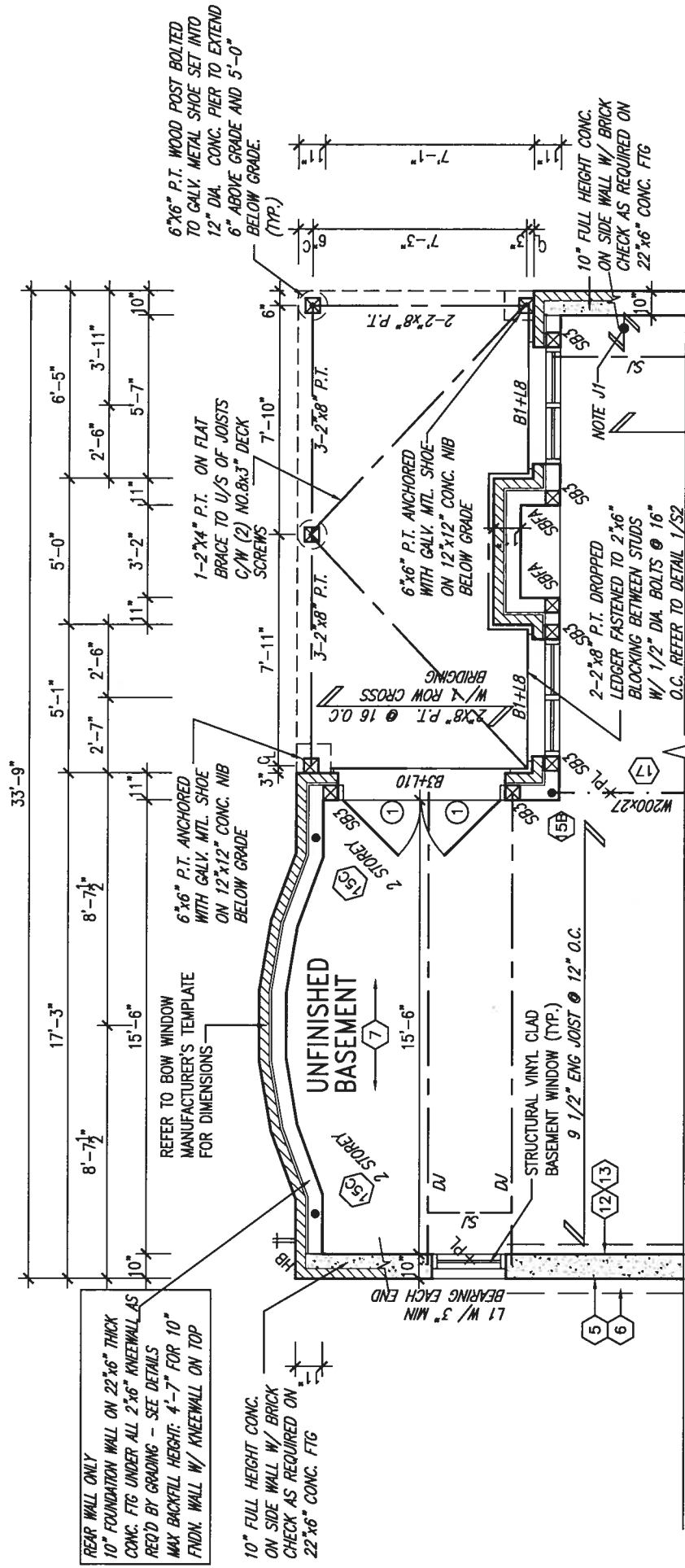


FEB 7, 2018

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architects



PART. BSMT. PLAN - W.O.B. CONDITION

9	.	.	.
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7	.	.	.
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5	.	.	.
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3	.	.	.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. signature 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

V&A
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1H4
t 416.630.2255 f 416.630.4782
va2design.com

BAYVIEW WELLINGTON	S42-2 RIDEAU 2
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
date FEBRUARY, 2017	project no. 16023
drawn by WT	drawing no. 21
checked by RC	scale 3/16" = 1'-0"
file name 16023-S42-2	PART. FLOOR PLAN - W.O.B. COND.
RICHARD - H:\ARCHIVE\WORKINGS\2016\16023.BW Units 4-2\16023-S42-2.dwg -- Wed - Feb 7 2018 -- 1:21 PM	

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ARCHITECTURAL REVIEW & DESIGN

FER/0.8/018

John G. Williams Limited, Architects

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "S. J. BOYD" is printed in a bold, sans-serif font. Above the name is a stylized signature that appears to read "S. J. Boyd". Below the name is a thick, horizontal, slightly curved line.

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH
W/ 1/2" PROJECTION

RECESSED FILLER BRICK
W/ VINYL PANEL BY WINDOW MANUF. OVER

WEEP HOLES
@ 800 O.C.

WOOD LINTEL
+ STL ANGLE

Y BRICK ARCH W/ VINYL PANEL BELOW DETAIL

V3
DESIGN
55 Consumers Rd Suite
Toronto ON M2J 1R4
416.630.2255 f 416.630.2255
v3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Ino-Baptiste *Wellington Ino-Baptiste* 25591
name registration information BCIN
VA3 Design Inc. 42658
signature

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9		*	*
8		*	*
7		*	*
6		*	*
5		*	*
4		*	*
3		*	*
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		
eng.	denotation	date	by

BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	
date FEBRUARY 2017	UPGRADED REAR ELEVATION 'A'		drawing no. 23
drawn by RC	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-2

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 vmsdesign31111111

Site Copy

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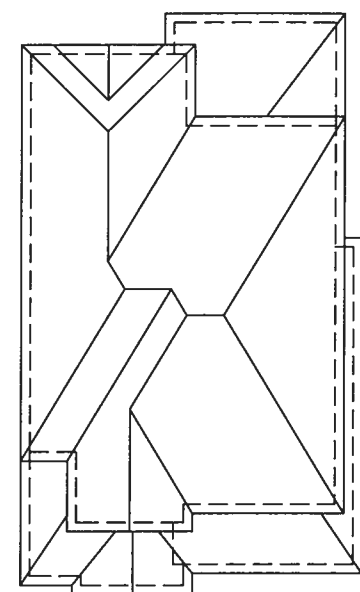
ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

BRICK SOLDIER HEADER ON 4" BRICK
SOLDIER STACKBOND W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH MASONRY COLOUR (TYP.)

PRECAST SILL W/ 1/2" PROJ.
(TYP.)

ROOF PLAN 'A' (UPGRADED REAR w/ LOGGIA)



BRICK ROWLOCK ON BRICK
SOLDIER ARCH W/
KEYSTONE ON BRICK
SOLDIER STACKBOND W/
1/2" PROJ. (TYP.)

CONTINUOUS TRIPLE BRICK
ROWLOCK BAND W/ 1/2"
PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH MASONRY
COLOUR (TYP.)

FACE BRICK (TYP.)

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

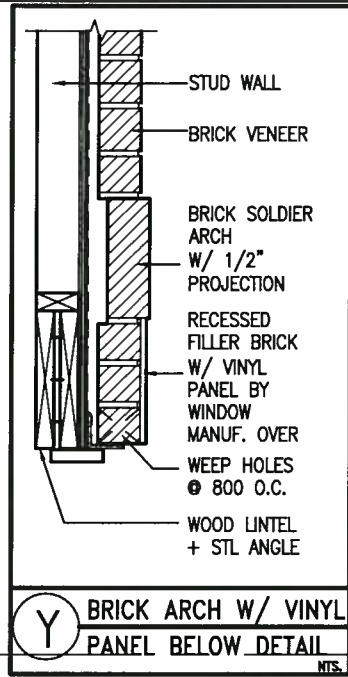
UPGRADED REAR ELEVATION 'A' (with OPT. LOGGIA)



S42-2 RIDEAU 2		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONT.		project no. 16023		drawing no. 24	
ARCHITECTURAL REVIEW & APPROVAL		FEB 08 2018		John G. Williams Limited, Architect				date FEBRUARY 2017		checked by RC	
UPGRADED REAR ELEVATION 'A' (w/ OPT. LOGGIA)		scale 3/16" = 1'-0"		drawn by WT		checked by RC		project name GREEN VALLEY EAST		municipality BRADFORD, ONT.	
VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		Wellington Jno-Baptiste signature		25591 BCN		42558	
2 REVISED AS PER ENG'S COMMENTS		FEB 07-18 RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be used for any other purpose without the written permission of the Designer.		date		by		no. description	
1 ISSUED FOR CLIENT REVIEW											



UPGRADED RIGHT SIDE ELEVATION 'A'
W.O.B. CONDITION

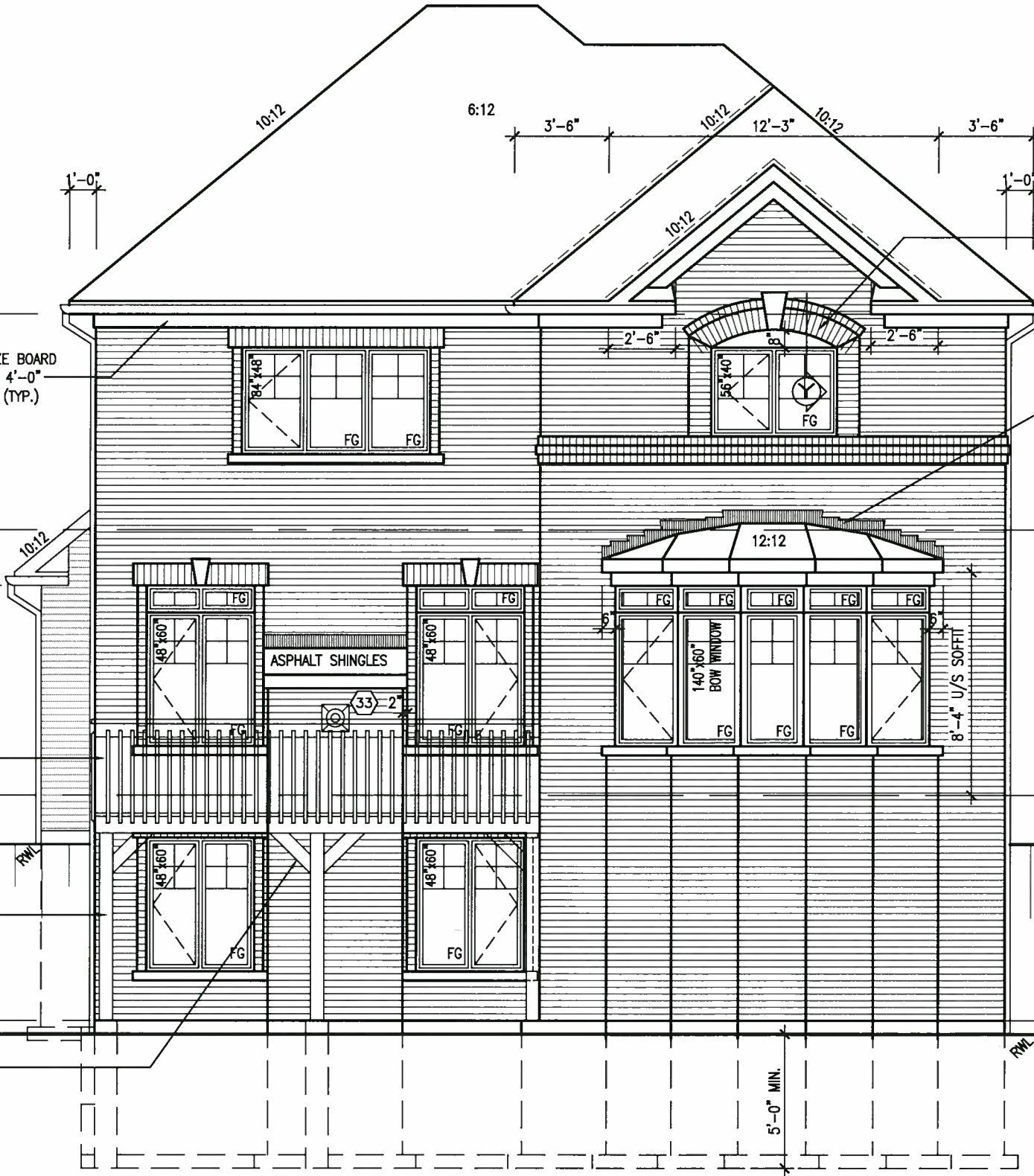


RETURN FRIEZE BOARD
AND BANDING 4'-0"
ALONG SIDES (TYP.)

42" HIGH P.T. RAILING
W/ PICKETS @ 4" O.C.
W/ 4"x4" MIDPOST @
5'0" O.C. MAX. (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND
6" ABOVE GRADE AND
5'-0" BELOW GRADE
(TYP.)

2"x6" CROSS BRACING



UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

TOP OF PLATE
TOP OF WINDOW
PREFIN. MTL. FLASHING,
W/ CAULKING TO
MATCH MASONRY
COLOUR (TYP.)
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
TOP OF SLAB
FIN GRADE



S42-2 RIDEAU 2		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONT.		UPGRADED REAR ELEVATION 'A' - W.O.B. COND.		16023-S42-2		26	
project no.	16023	project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	date	FEBRUARY, 2017	checked by	RC	scale	3/16" = 1'-0"	drawn by	WT
drawing no.	26	file name	16023-S42-2	drawn by	WT	checked by	RC	scale	3/16" = 1'-0"	drawn by	WT	checked by	RC
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN name registration information VA3 Design Inc. 42558 BCN Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.													
no.	9	description	2 REVISED AS PER ENG'S COMMENTS	date	FEB 07-18	RC							
1	ISSUED FOR CLIENT REVIEW												

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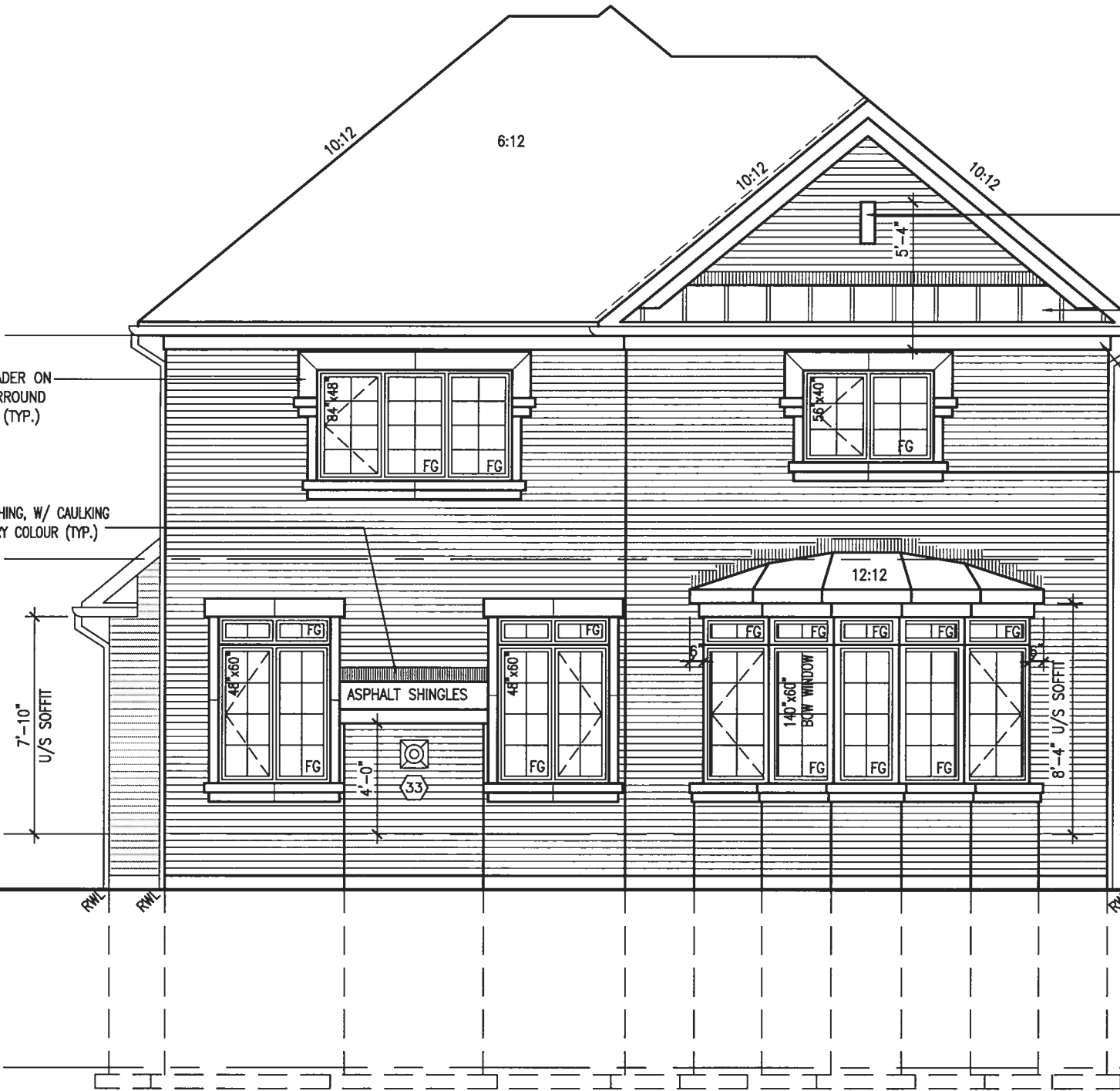
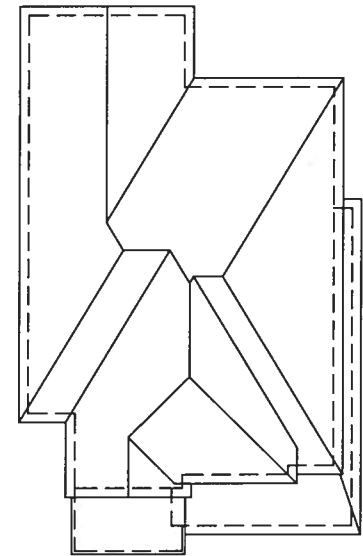
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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect

ROOF PLAN 'B' (UPGRADED REAR)



UPGRADED REAR ELEVATION 'B'

6"x18" DECORATIVE
STONE IMPOST

PREFINISHED RAISED
SEAM METAL ROOF

RETURN FRIEZE BOARD
4'-0" ALONG SIDES (TYP.)

PRECAST DOUBLE SILL W/
1/2" PROJ. (TYP.)

8" PRECAST HEADER ON
4" PRECAST SURROUND
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH MASONRY COLOUR (TYP.)

7'-10"
U/S SOFFIT

ASPHALT SHINGLES

4'-0"
33

12:12

140"x60"
BOW WINDOW

8'-4" U/S SOFFIT

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

8'-1"

1'-0"

9'-11"

8'-5"

FEB 7, 2018



BAYVIEW WELLINGTON

S42-2
RIDEAU 2

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
27

file name
16023-S42-2

checked by
RC

drawn by
WT

date
FEBRUARY, 2017

scale
3/16" = 1'-0"

drawn by
RC

checked by
RC

date
FEB 7 2018

time
1:21 PM

location
16023-S42-2

description
UPGRADED REAR ELEVATION 'B'

author
VA3 DESIGN

project manager
VA3 DESIGN

contractor
VA3 DESIGN

revision
2

description
REVISED AS PER ENG'S COMMENTS

description
1 ISSUED FOR CLIENT REVIEW

description
no. description

description
date

description
by

description
date

description
date

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the authority to issue the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VA3 Design Inc. 42558
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no. description
date
by

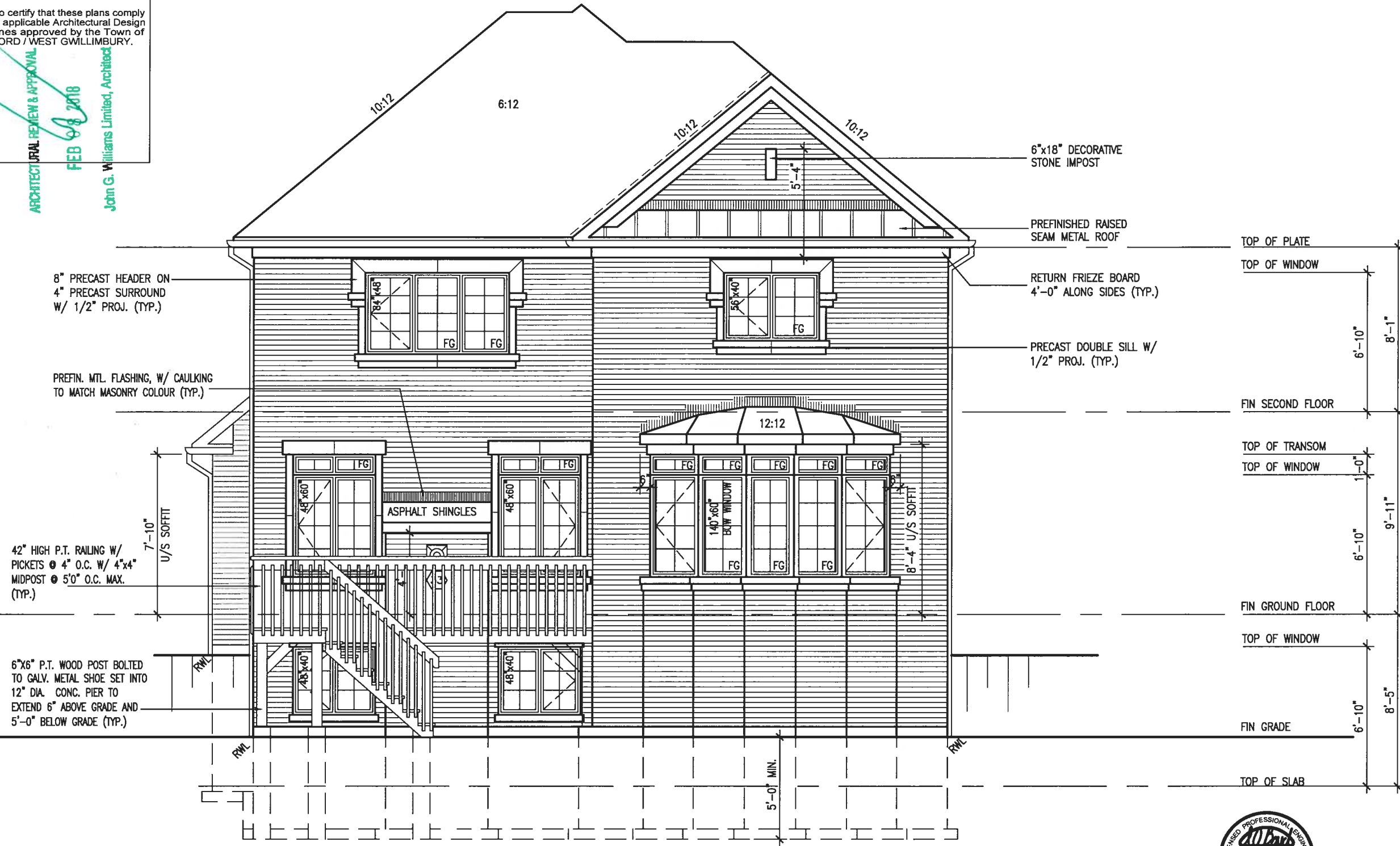
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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



UPGRADED REAR ELEVATION 'B' W.O.D. COND.



BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name GREEN VALLEY EAST		municipality BRADFORD, ONT.	
project no. 16023		drawing no. 29	
date FEBRUARY 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
file name 16023-S42-2			
project location UPGRADED REAR ELEVATION 'B' - W.O.D. COND.			
project description 16023-S42-2			
project address 255 Consumers Rd Suite 120			
project phone 416.630.2255			
project fax 416.630.4782			
project email info@vasdesign.com			
project website www.vasdesign.com			
project notes 1. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information Wellington Jno-Baptiste			
signature Wellington Jno-Baptiste			
name Wellington Jno-Baptiste			
registration information 25591 BCIN 42558			
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.			
Drawings are not to be scaled.			
no. description			
2 REVISED AS PER ENG'S COMMENTS			
1 ISSUED FOR CLIENT REVIEW			
date			
by			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



UPGRADED RIGHT SIDE ELEVATION 'B'
W.O.B. CONDITION



UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION

VALLEY FLASHING (TYP.)
6"x18" DECORATIVE
STONE IMPOST

PREFINISHED RAISED
SEAM METAL ROOF
TOP OF PLATE

TOP OF WINDOW

PREFIN. MTL. FLASHING,
W/ CAULKING TO
MATCH MASONRY
COLOUR (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN GRADE



BAYVIEW WELLINGTON

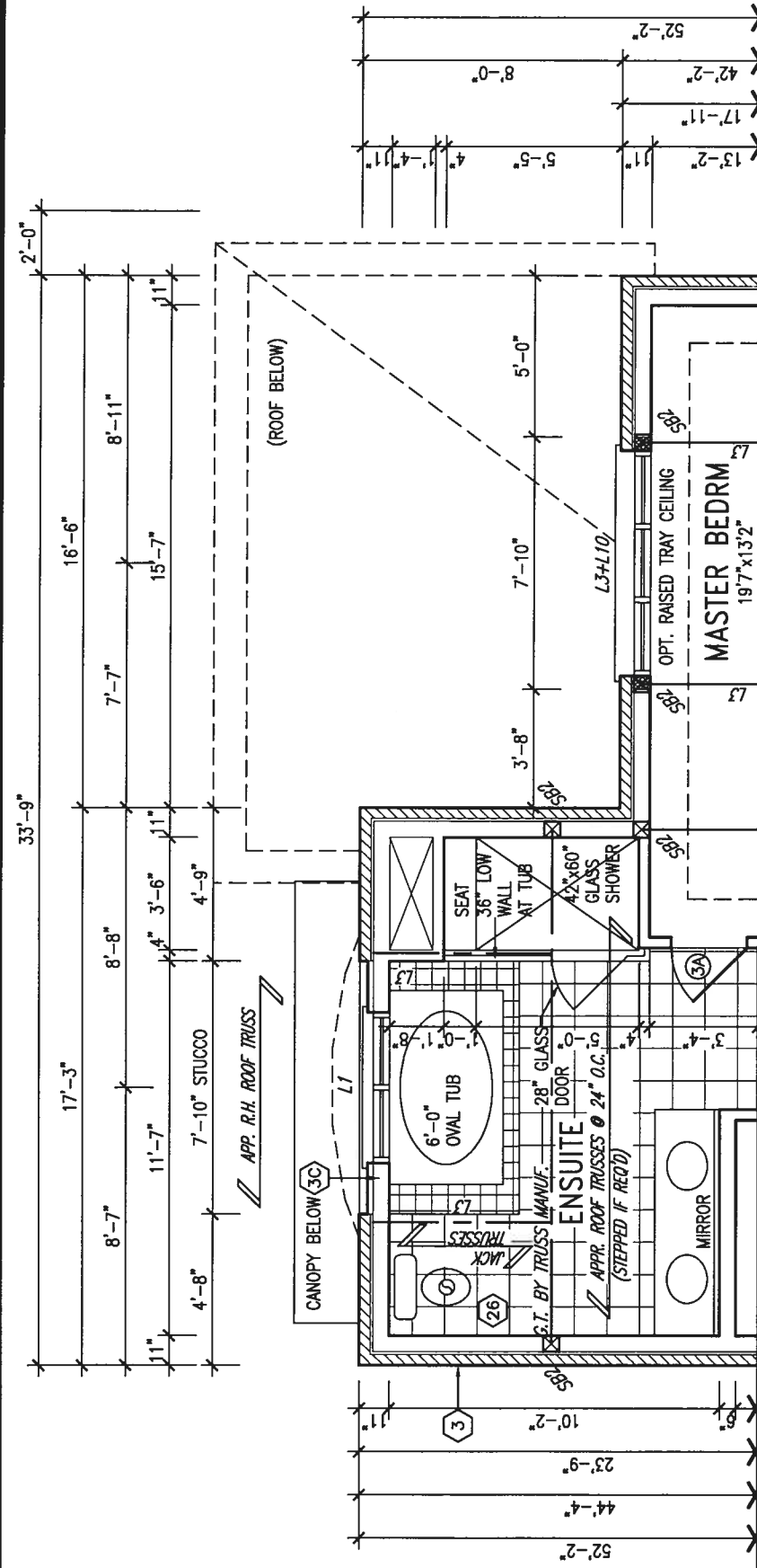
S42-2
RIDEAU 2

project no.	16023
drawing no.	30
project name	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
date	FEBRUARY 2017
drawn by	RC
checked by	RC
scale	3/16" = 1'-0"
description	UPGRADED REAR ELEVATION 'B' - W.O.B. COND.

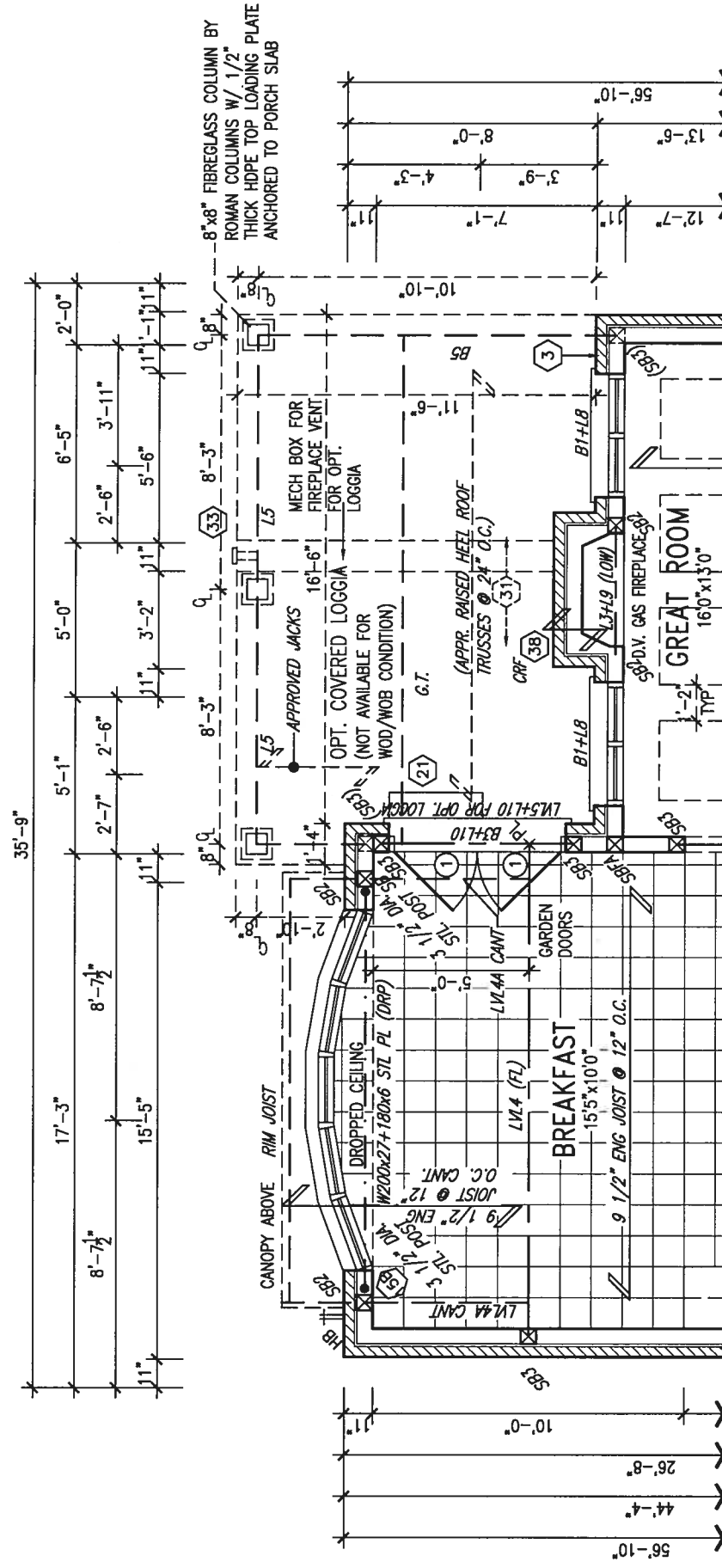


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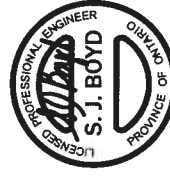
no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	FEB 07-18 RC	
2	REVISED AS PER ENG'S COMMENTS		
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9			



PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



FEB 7. 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD WEST GUILDFORD
Signed: _____ Date: **FEB 08 2018**
JOHN G. WILLIAMS LIMITED ARCHITECT

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2.	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

BAYVIEW WELLINGTON	S42-2 RIDEAU 2
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
date FEBRUARY 2017	project no. 16023
dram by WT	drawing no. 31
checked by RC	scale 3/16" = 1'-0"
PART. FLOOR PLANS— W.O.D. COND.	
file name 16023-S42-2	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-2.dwg -- Wed -- Feb 7 2018 -- 1:21 PM	

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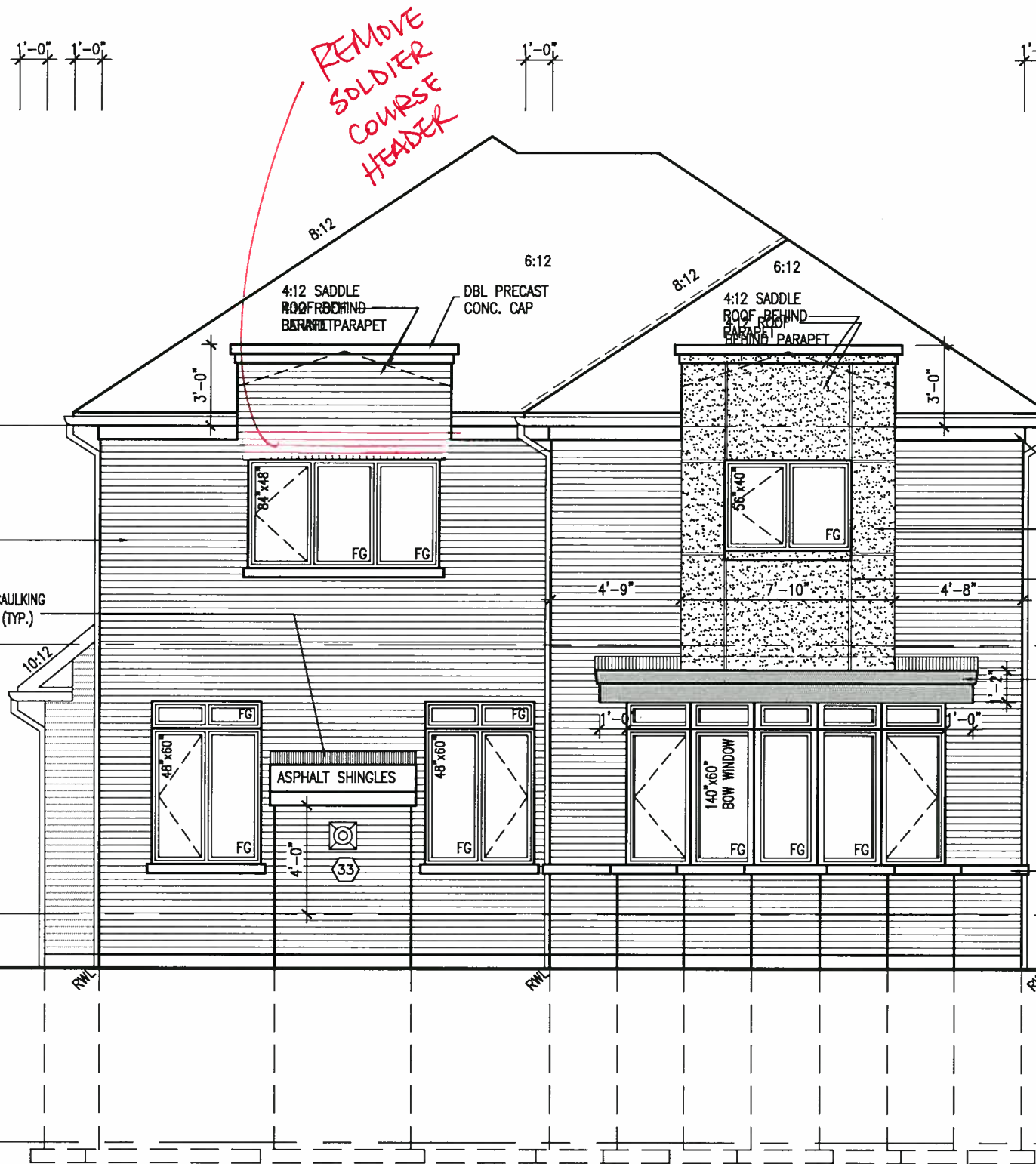
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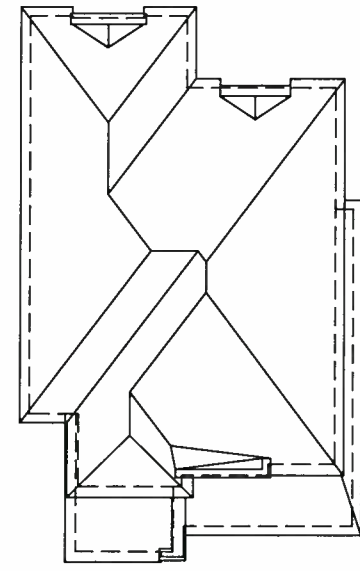
ARCHITECTURAL REVIEW APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



ROOF PLAN 'C'
(UPGRADED REAR)



UPGRADED REAR ELEVATION 'C'



BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name		project no.	
GREEN VALLEY EAST		16023	
municipality		drawing no.	
BRADFORD, ONT.		32	
date		UPGRADED REAR ELEVATION 'C'	
FEBRUARY 2017		16023-S42-2	
checked by		scale	
RC		3/16" = 1'-0"	
drawn by		date	
WT		FEB 7 2018 - 1:21 PM	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\2\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM			
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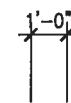
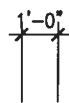
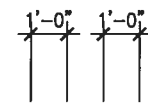
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		BCIN	
Wellington Jno-Baptiste		42658	
name		BCIN	
registration information		42658	
VAS Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date	
2 REVISED AS PER ENG'S COMMENTS		FEB 07-18 RC	
1 ISSUED FOR CLIENT REVIEW		date	
no. description		date	

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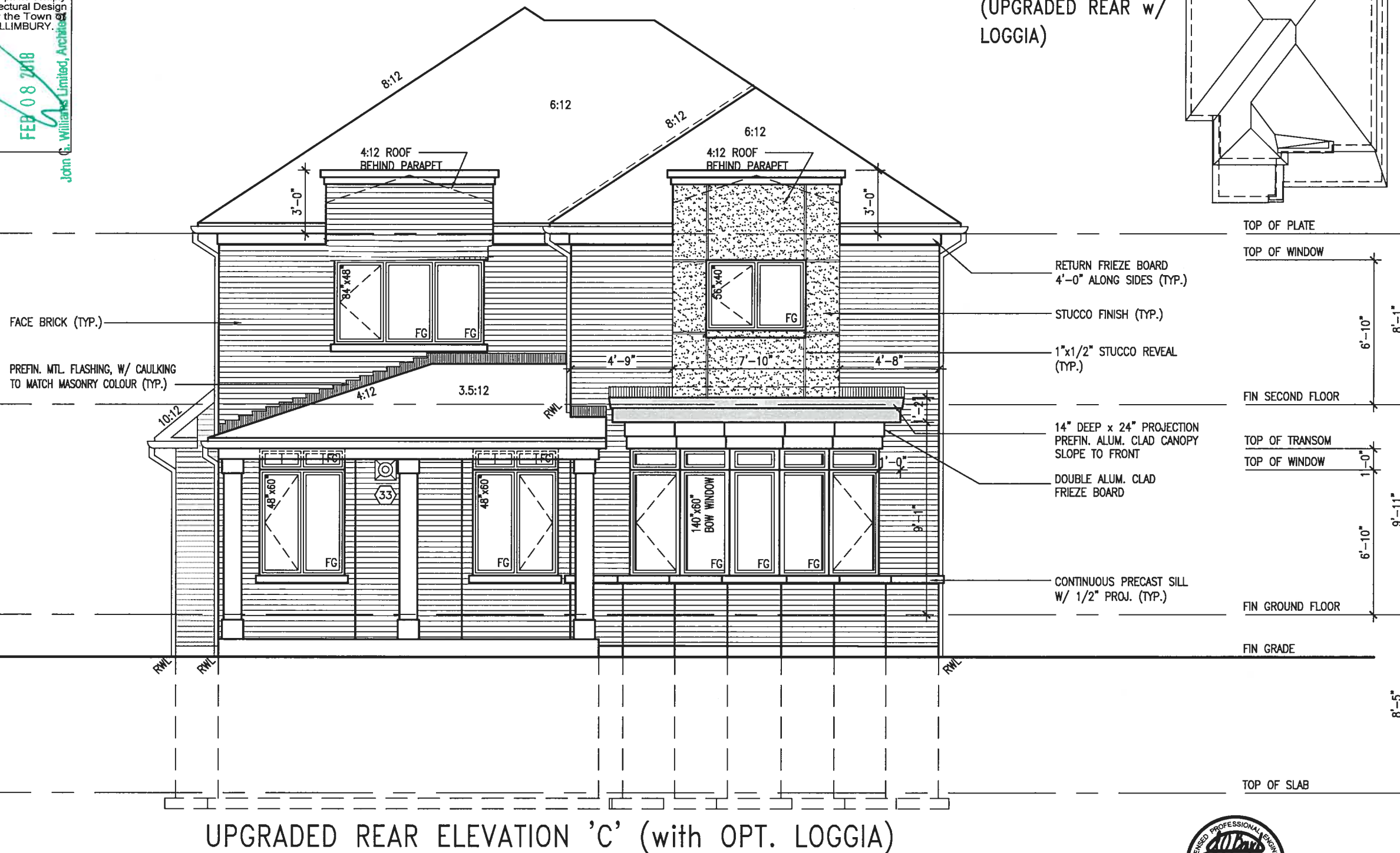
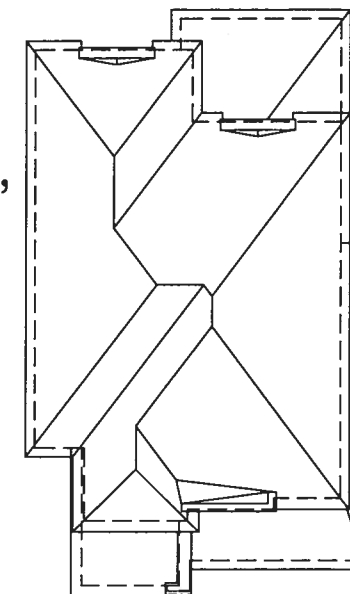
ARCHITECTURAL REVIEW & APPL

FEB 08 2018

John C. Williams Limited, A



ROOF PLAN 'C'
(UPGRADED REAR w/
LOGGIA)



UPGRADED REAR ELEVATION 'C' (with OPT. LOGGIA)



S42-2
RIDEAU 2

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONT.	
municipality	

middle drawing no.

drawn by	checked by	scale	file name
FEBRUARY, 2017	UT UNADED NEAK	ELEVATION 6	(W/ VII: EUGGIA)

WT	RC	$3/16'' = 1'-0''$	16023-S42-2
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specifications, related documents and de

The undersigned has reviewed and takes responsibility for this design and how the modifications and meets the requirements set out in the

Ontario Building Code to be a Designer.

Wellington Jno-Baptista 163052575 25591

signature	BCIN
name	

42658
VA3 Design Inc.

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Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

Al drom

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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
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1	ISSUED FOR CLIENT REVIEW	.	.
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no.	description	date	by
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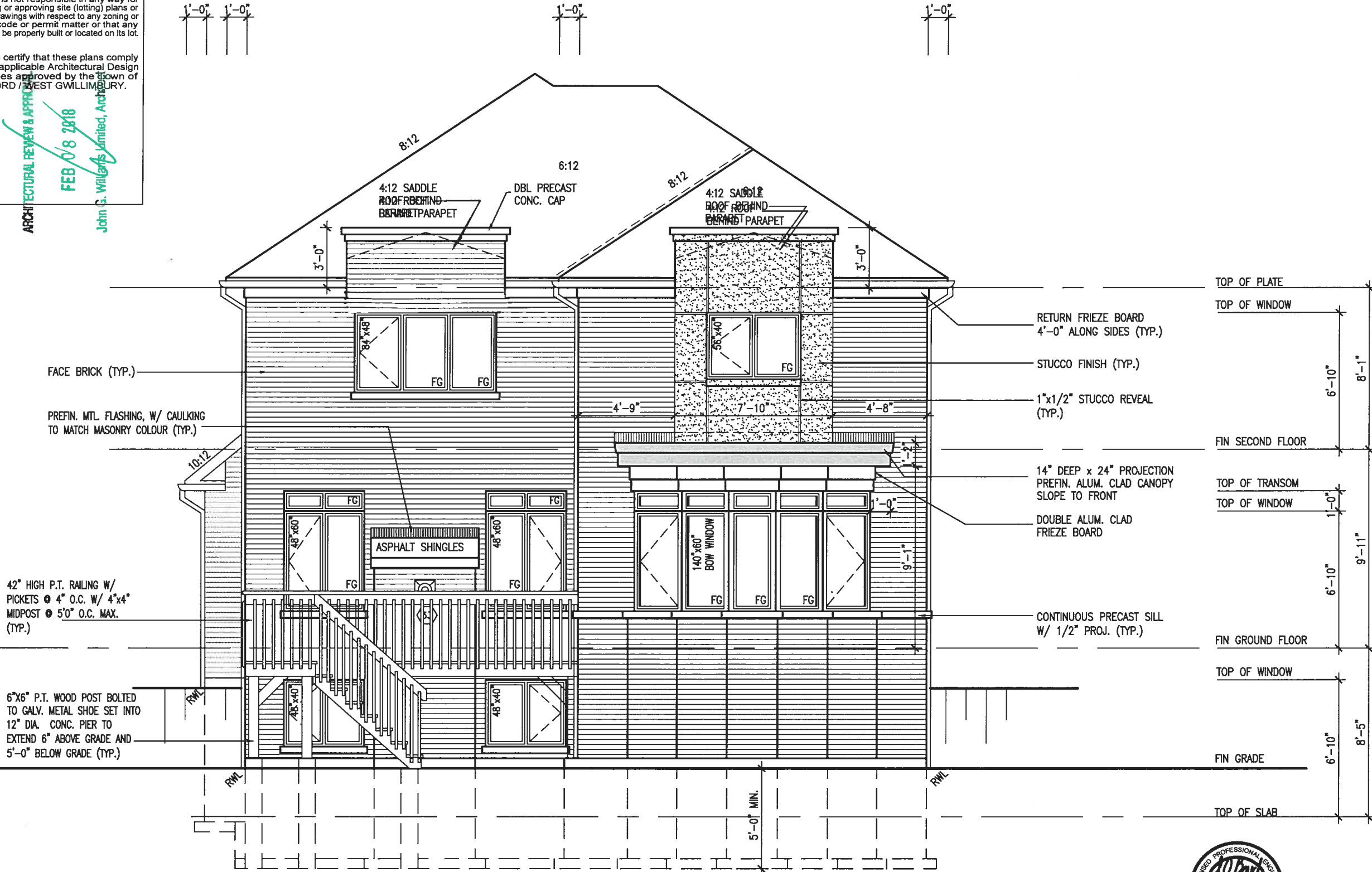
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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



BAYVIEW WELLINGTON

S42-2
RIDEAU 2

GREEN VALLEY EAST
BRADFORD, ONT.

project no. 16023
drawing no. 34

UPGRADED REAR ELEVATION 'C' - W.O.D. COND.
FEBRUARY 2017

checked by RC
scale 3/16" = 1'-0"

drawn by WT
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The undersigned has reviewed and takes responsibility for this design and the specifications and reports the requirements set out in the Ontario Building Code to be a Design.

Wellington Jno-Baptiste
Signature
25591
BCN
42558
VA3 Design Inc.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		

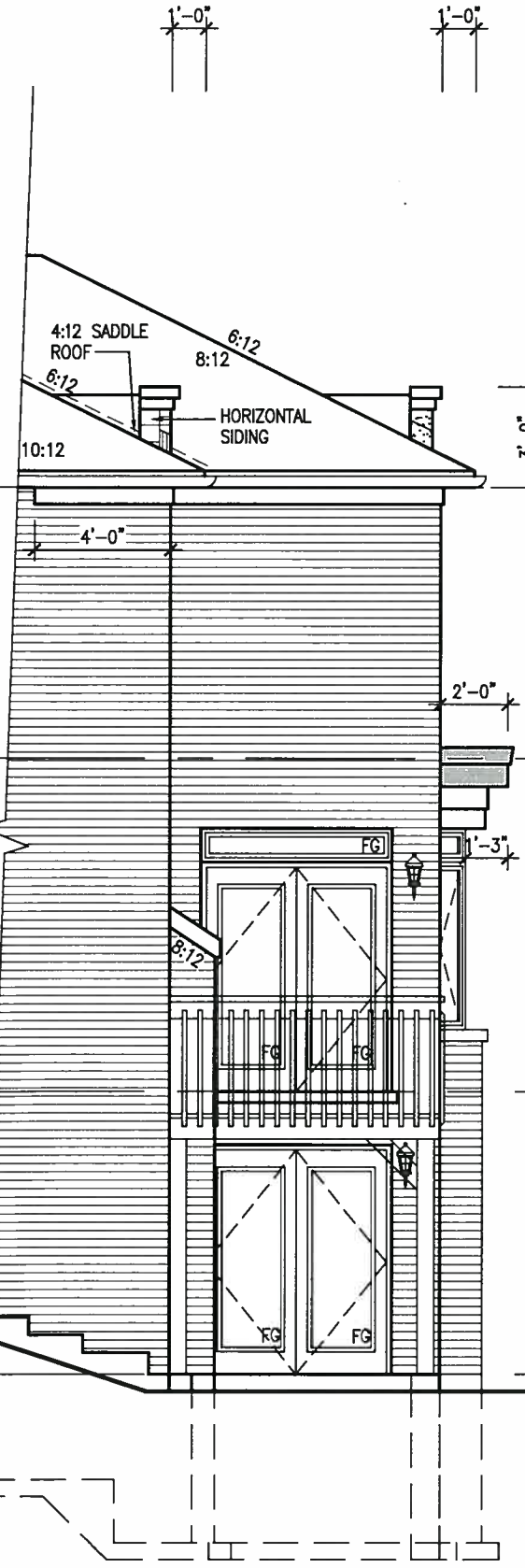
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ARCHITECTURAL REVIEW & APPROVAL

FEB 08/2018

John G. Williams Limited, Architect



UPGRADED RIGHT SIDE ELEVATION 'C'
W.O.B. CONDITION

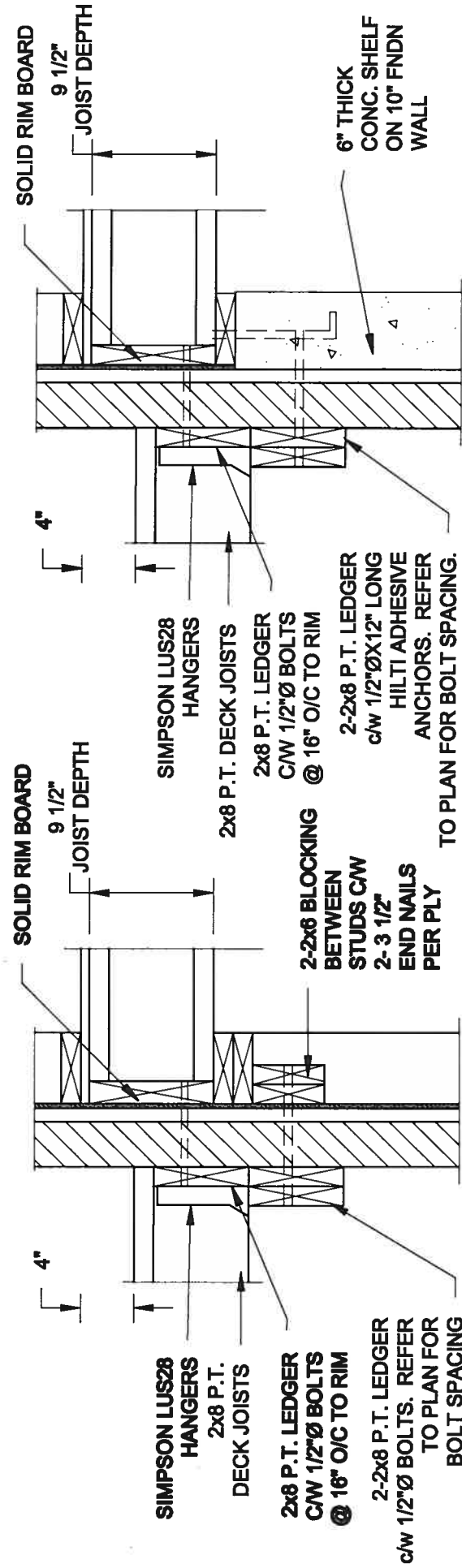


UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION



BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
date FEBRUARY 2017		drawing no. 35	
checked by RC		UPGRADED REAR ELEVATION 'C' - W.O.B. COND.	
drawn by WT		file name 16023-S42-2	
scale 3/16" = 1'-0"		date FEB 7 2018 - 1:21 PM	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature 25591 RC	
qualification information Wellington Jno-Baptiste		signature 42558 RC	
name Wellington Jno-Baptiste		signature 42558 RC	
registration information VAS Design Inc.		signature 42558 RC	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		signature 42558 RC	
2. REVISED AS PER ENG'S COMMENTS		date FEB 07-18 RC	
1. ISSUED FOR CLIENT REVIEW		date FEB 07-18 RC	
no. description		date by	

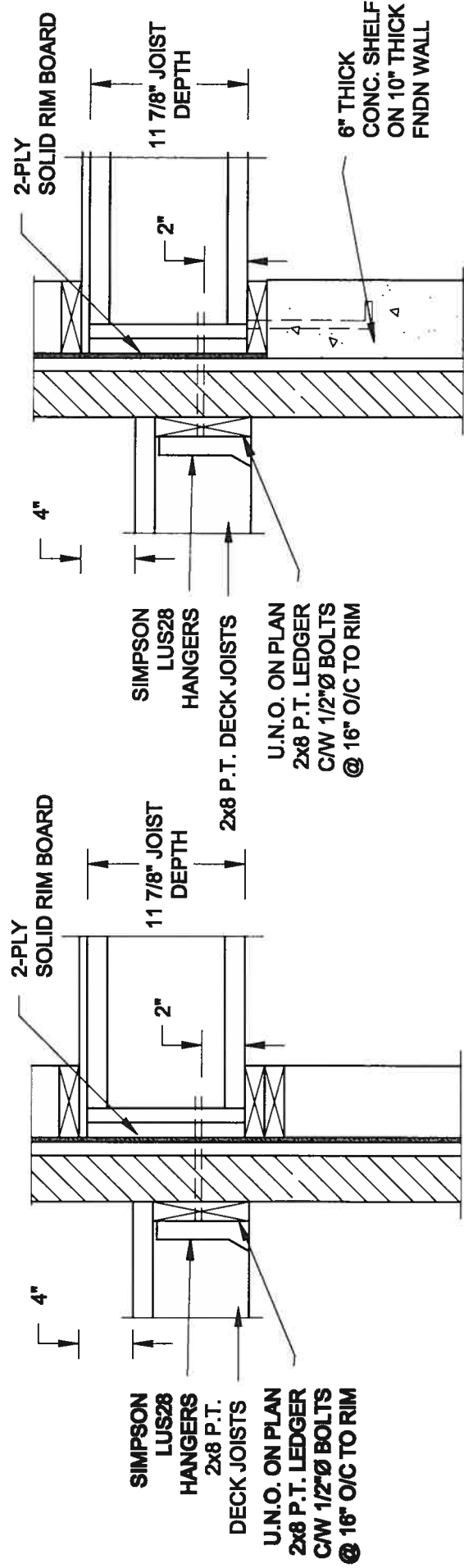
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

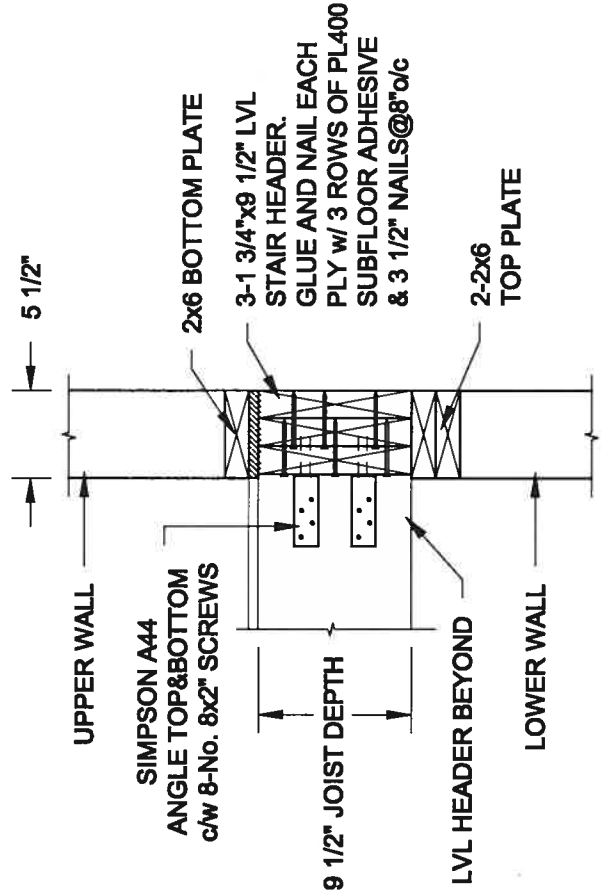


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

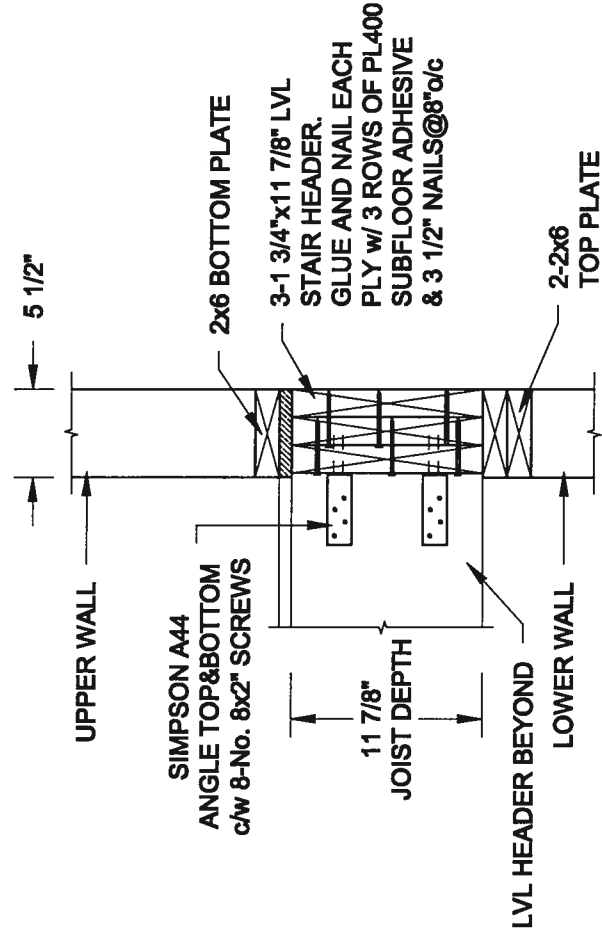
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED

Date: OCT-20-2017

Drawn: SC
Checked: SJB

38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com



Engineer's Seal



Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY BEATS - BRIDGES
BRADFORD, ONTARIO

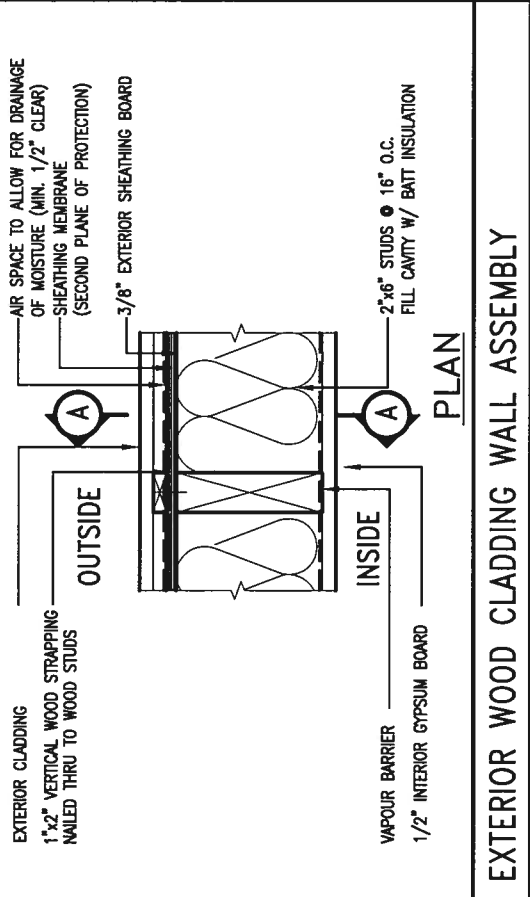
TYPICAL STRUCTURAL DETAILS

Project No.:

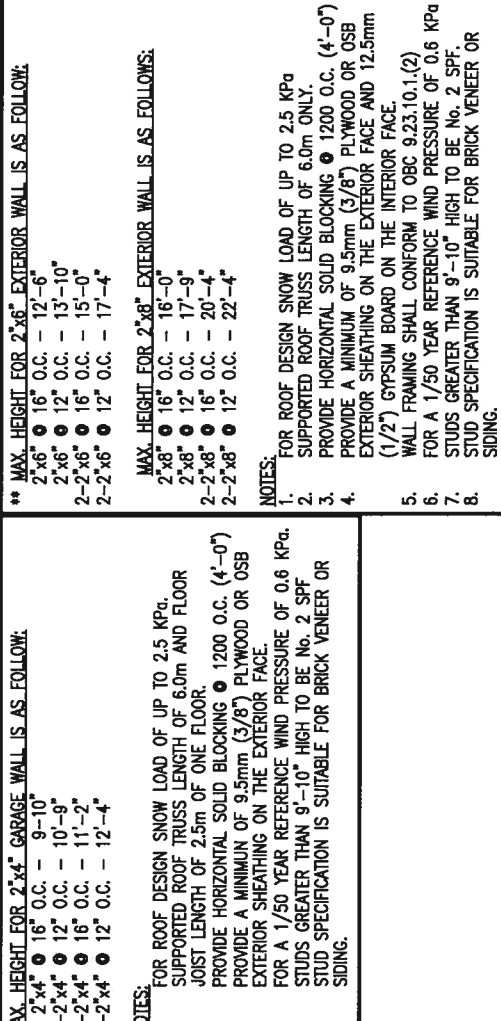
17-215

Drawing No.:

S2

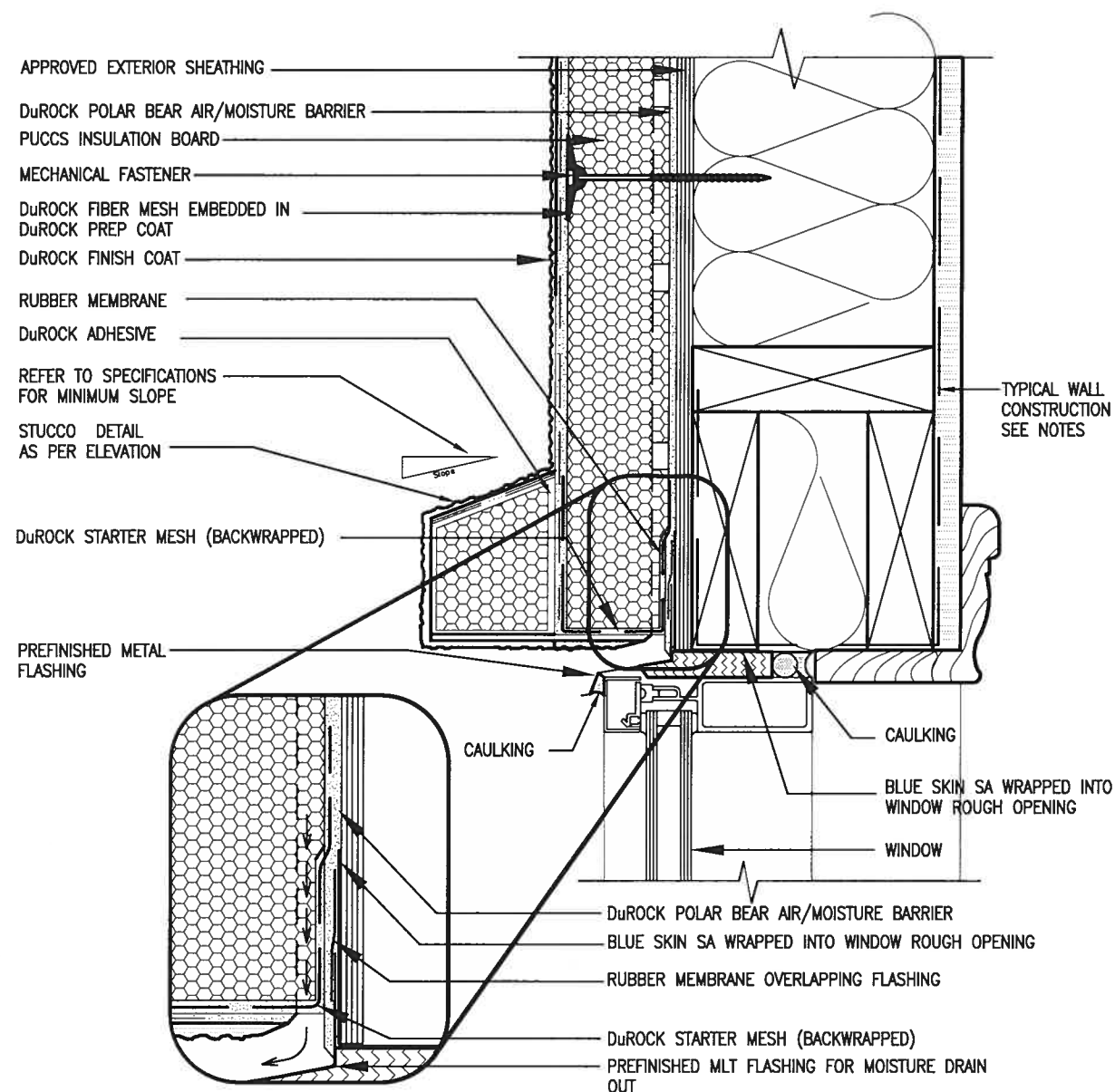


STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MAOUNT TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
FUTURE GRAB BARS TO BE 38.3x38 (3/4) x 3.83x2.1 (2) (1). WATER CLOSET 38.3x38 (3/4) x 3.83x2.1 (2) (1). SHOWER 38.3x13 (2) (1). BATHTUB 38.3x13 (2) (1).
REFER TO OBC. DIM: B- 9.52x3.1. WATER CLOSET 38.3x38 (3/4) x 3.83x2.1 (2) (1). SHOWER 38.3x13 (2) (1). BATHTUB 38.3x13 (2) (1).



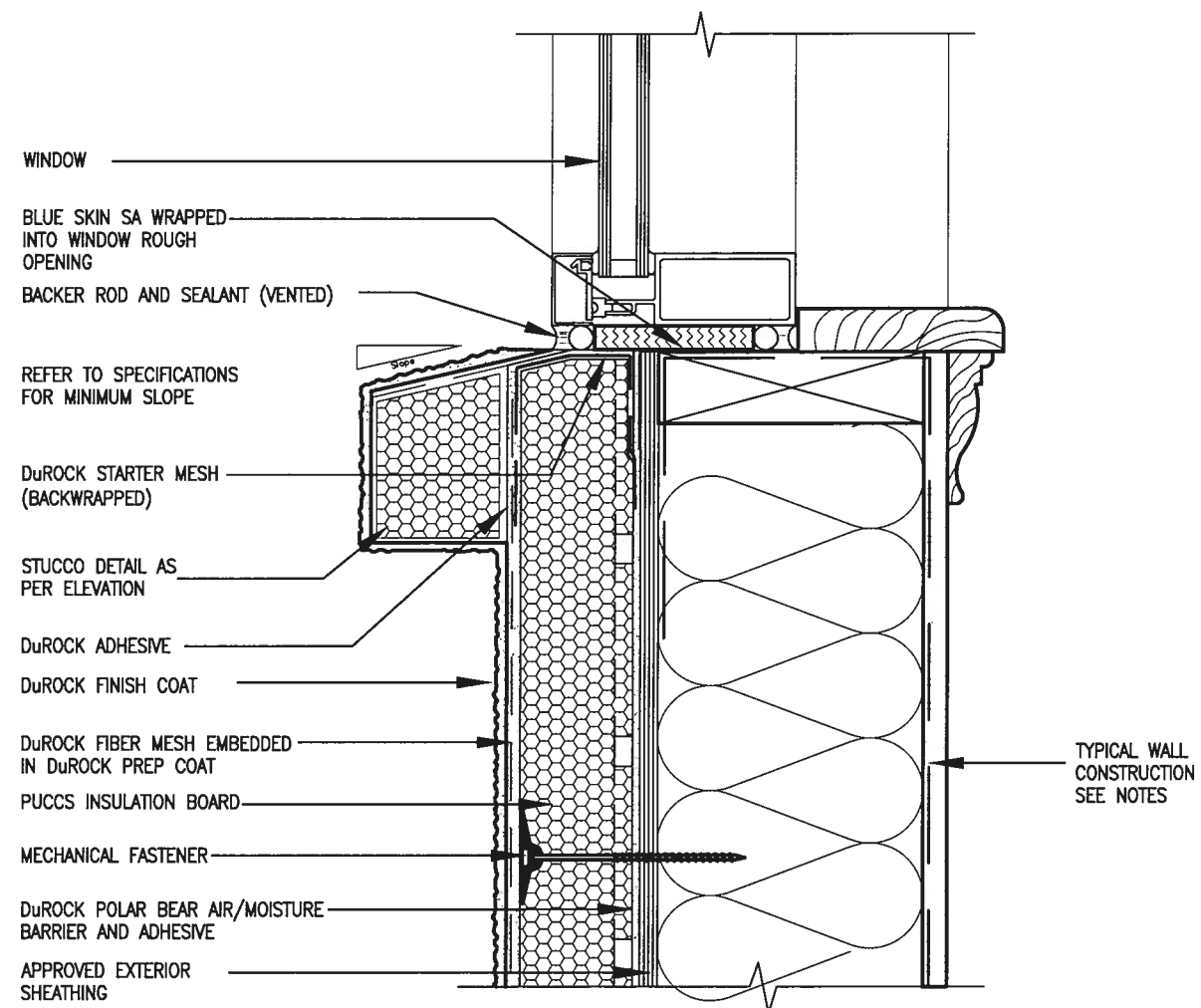
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416.630.2255 f 416.630.
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BAYVIEW WELLINGTON						CONST NOTE					
project name GREEN VALLEY EAST			municipality BRADFORD			project no. 16023					
date MAY 2016			drawn by KC			scale 3/16" = 1'-0"			checked by --		
CONSTRUCTION NOTES									drawing no.		
sheet no. title name 16023-CN-A1 RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg -- Thu - Jan 11 2018 - 10:08 AM									CN2		



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591
8.	.	.	qualification information	
7.	.	.	Wellington Jho-Baptiste	
6.	.	.	signature	
5.	.	.	name	RCM
4.	.	.	registration information	42658
3.	.	.	VA3 Design Inc.	
2.	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
1.	AUG 04-17	RC		
no.	description	by	date	

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		project no. 16023	
CONSTRUCTION NOTES		drawing no. CN3		date MAY 2016		checked by RC		drawn by RC	
scale 3/16" = 1'-0"		file name 16023-CN-A1							



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6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

9	.	.	.	The undersigned has reviewed and taken responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc.
3	.	.	.	BCM
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	



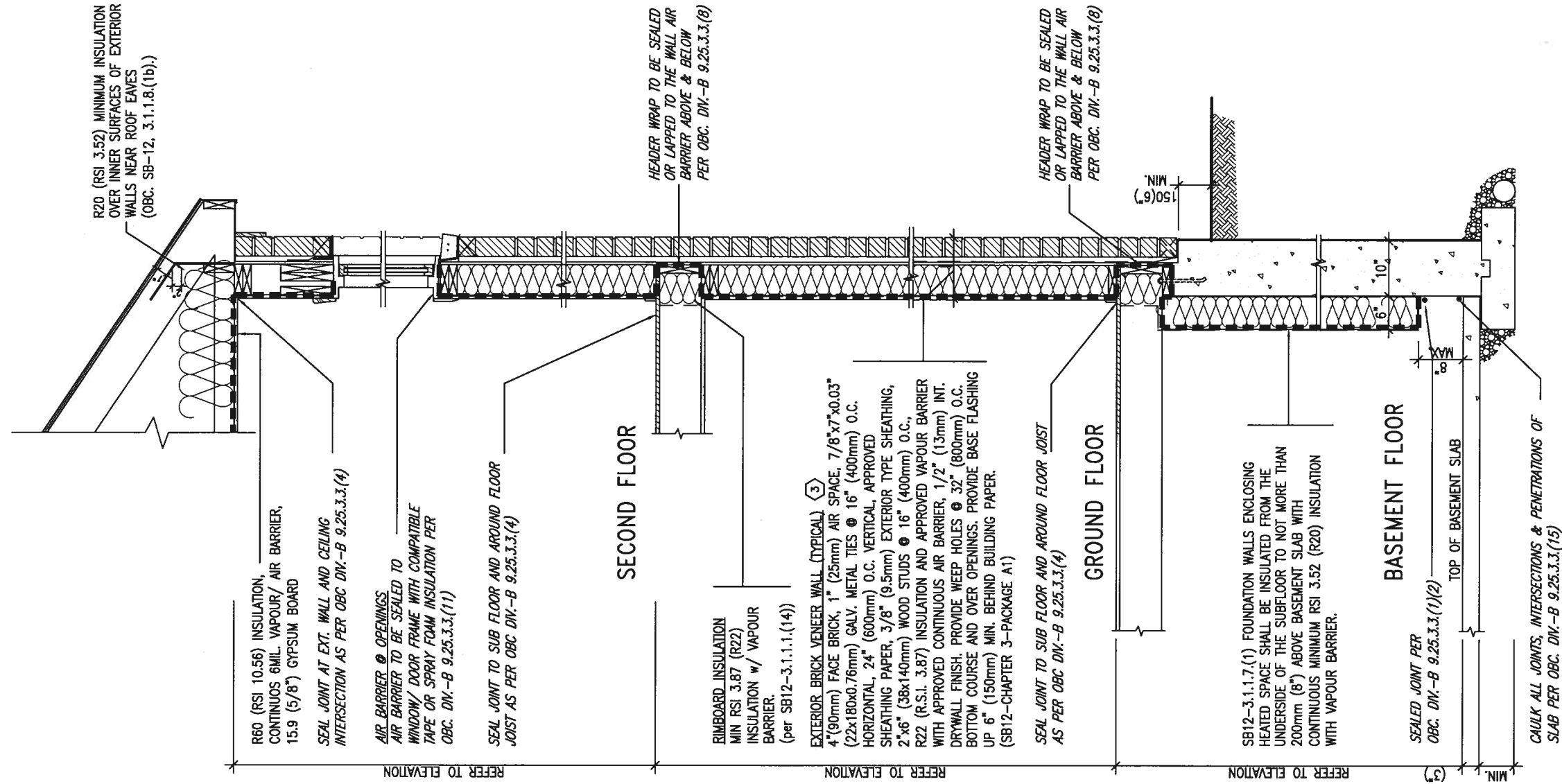
**VA3
DESIGN**

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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 160223	drawing no. CN5
CONSTRUCTION NOTES			
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 160223-CN-A1

REWARD = H:\ARCHWET\WORKING\2016\160223.BW\Units\CN NOTES\160223-CN-A1.dwg Thu -- Jan 11 2018 -- 10:10 AM

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS.
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1— COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS.
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC, DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>W. J. Baptiste</i> 25591 name <i>W. J. Baptiste</i> BCIN registration information <i>W. J. Baptiste</i> signature VA3 Design Inc. 42653 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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2	UPDATE TO 2018	JAN 11-18	RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			



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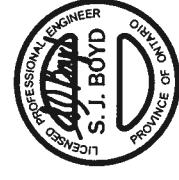
BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by RC	drawing no.
checked by --	CONSTRUCTION NOTES
scale $3/16'' = 1'-0''$	file name 16023-CN-A1
REWARD - H:\ARCHIVE\WORKING\2016\16023.BWP\Units\CN_NOTES\16023-CN-A1.dwg -- Thu -- Jan 11 2018 - 10:10 AM	

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

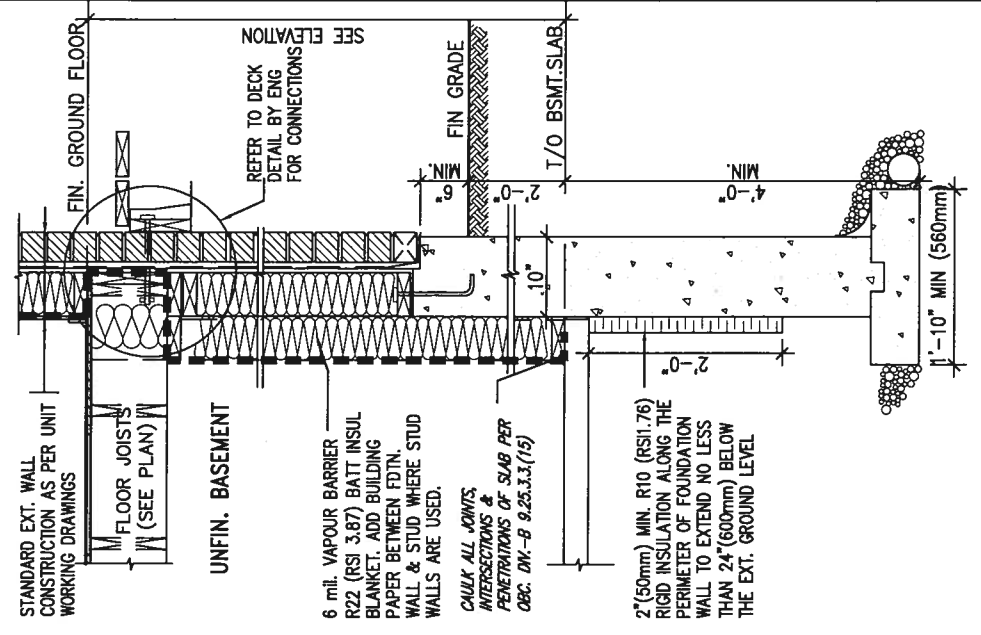
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV	75%	—
Minimum Efficiency Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to S812-3.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



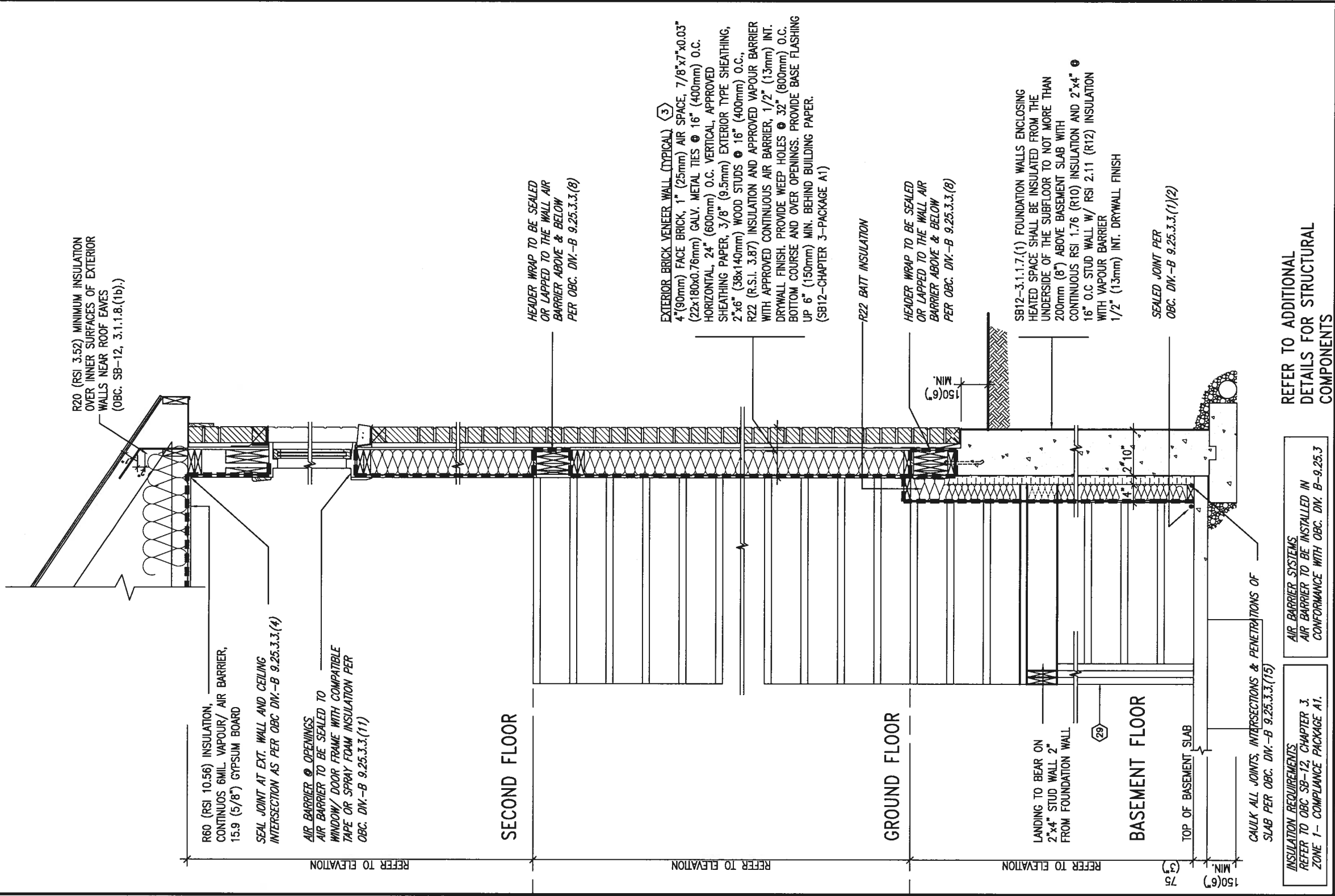
JAN 11, 2018



* REVISED—FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

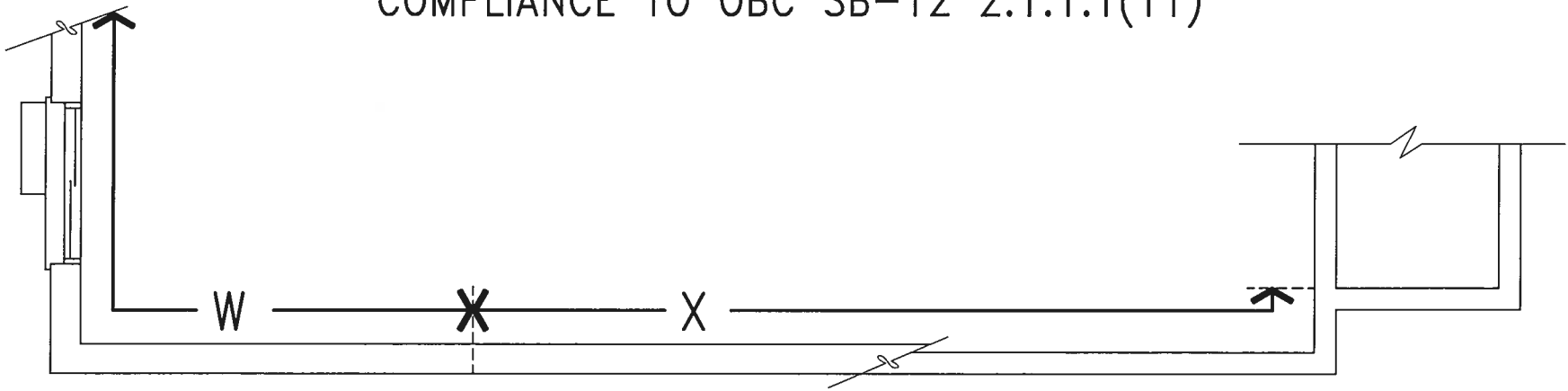
SCALE: N.T.S.

									The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
9 .	.	.	.	.	.	. <i>J. Baptiste</i>	25591		
8 .	.	.	.	.	.		BCH		
7 .	.	.	.	.	.		qualification information		
6 .	.	.	.	.	.		Wellington Jno-Baptiste		
5 .	.	.	.	.	.		name		
4 .	.	.	.	.	.		registration information		
3 .	.	.	.	.	.		VAS Design Inc.	42658	
2 UPDATE TO 2018	R/C						Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
1 ISSUE FOR CLIENT REVIEW	AUG 04-17 RC								
no.	description	date	by						

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
vd@vdesign.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	CN7
date	MAY 2016		
drawn by	RC	scales	3/16" = 1'-0"
checked by	-		
CONSTRUCTION NOTES		file name	16023-CN-AI
			16023-CN-AI
RICHAUD - H:\ARCHIVE\WORKING\2016\16023.BW Units\CN NOTEST\16023-CN-A1.dwg -- Thu - Jun 11 2018 -- 10:10 AM			

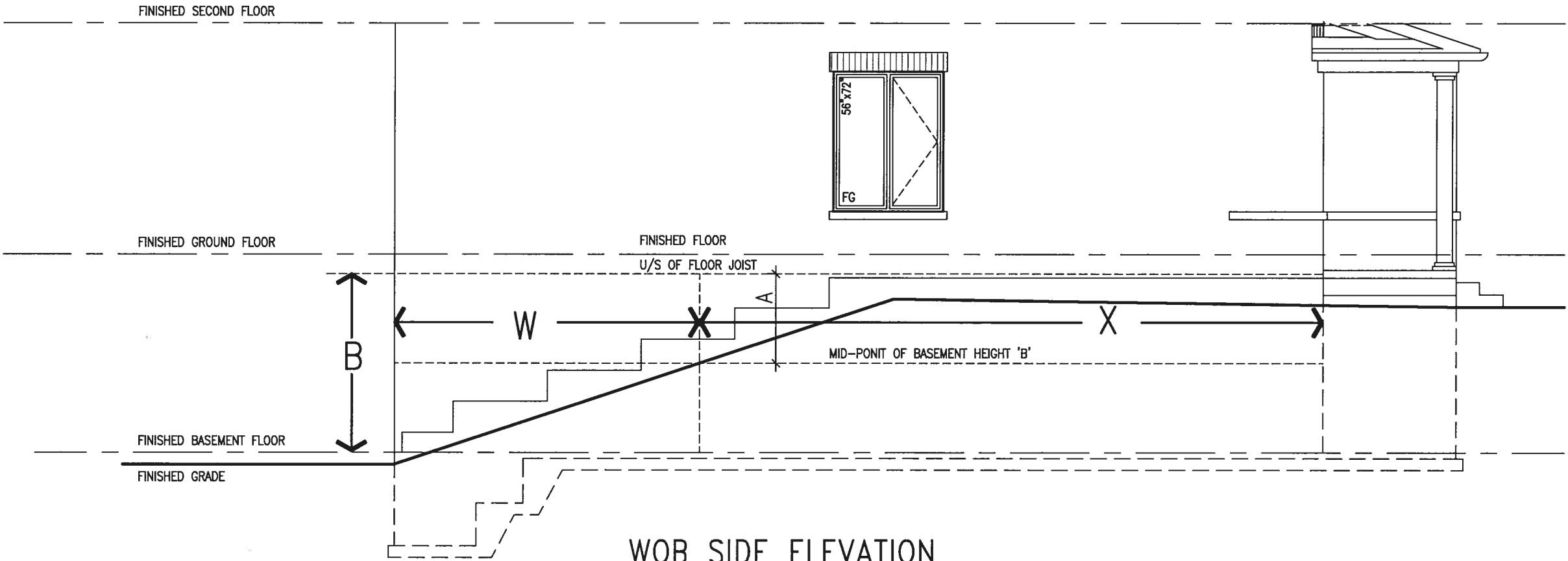
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

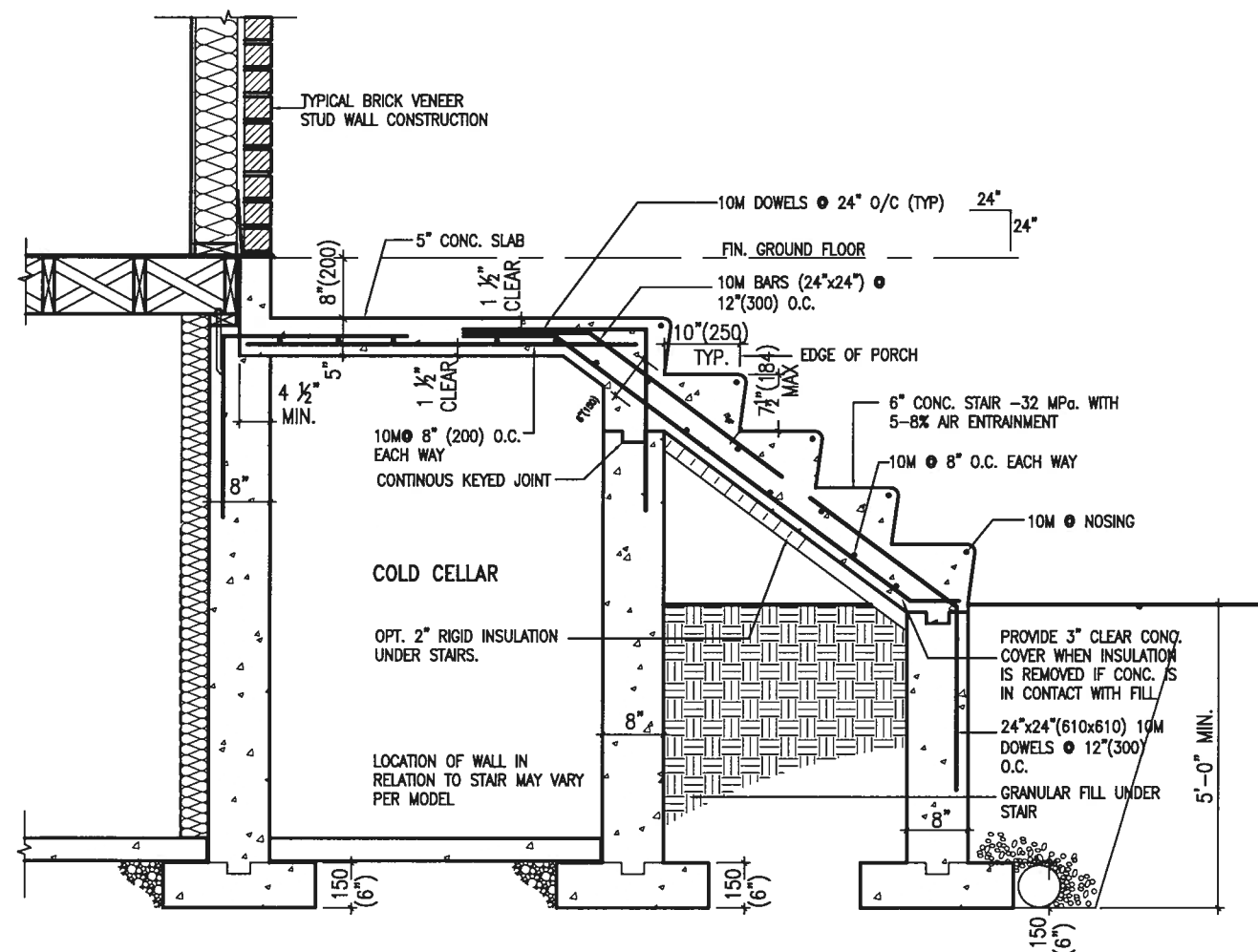
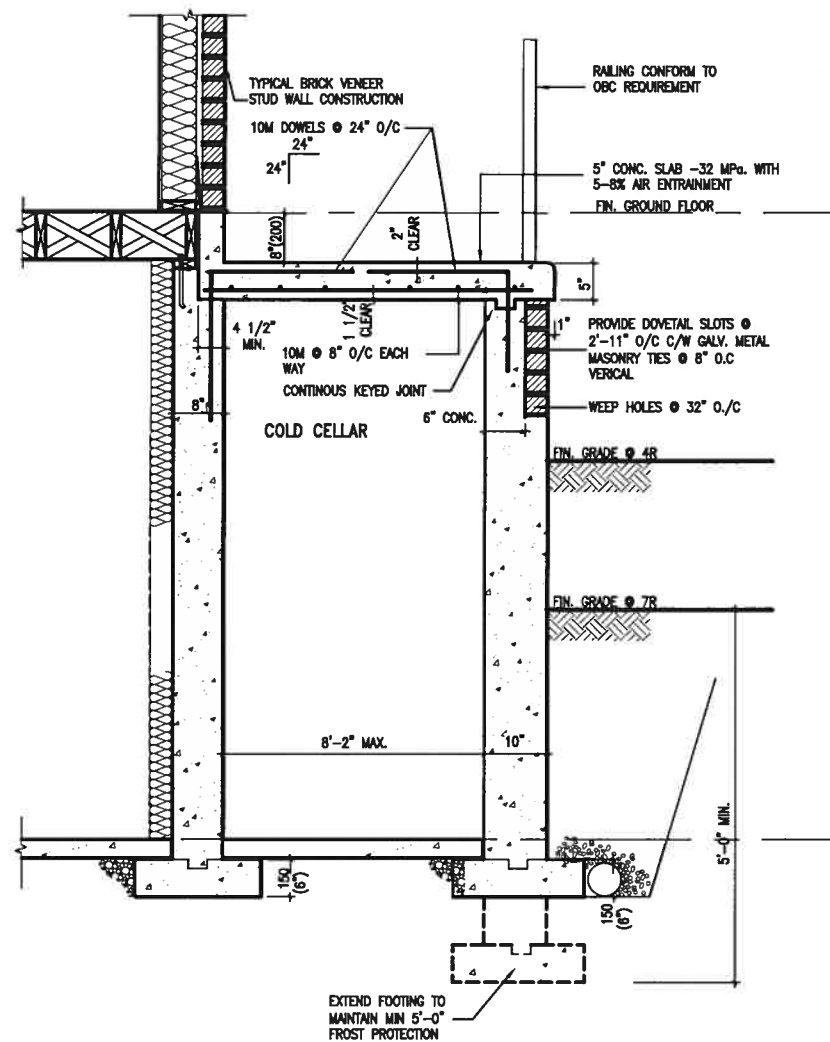


The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes set out in the Ontario Building Code to be a designer.
signature: *S.J. Boyd* 25591
qualification information: Wellington Jno-Baptiste
signature: *S.J. Boyd* 42658
qualification information: VA3 Design Inc.
signature: *S.J. Boyd* 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

BAYVIEW WELLINGTON	CONST NOTE
project name: GREEN VALLEY EAST	project no: 16023
date: MAY 2016	drawing no: CN8
drawn by: RC	checked by: -
scale: 3/16" = 1'-0"	CONSTRUCTION NOTES
file name: 16023-CN-A1	

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