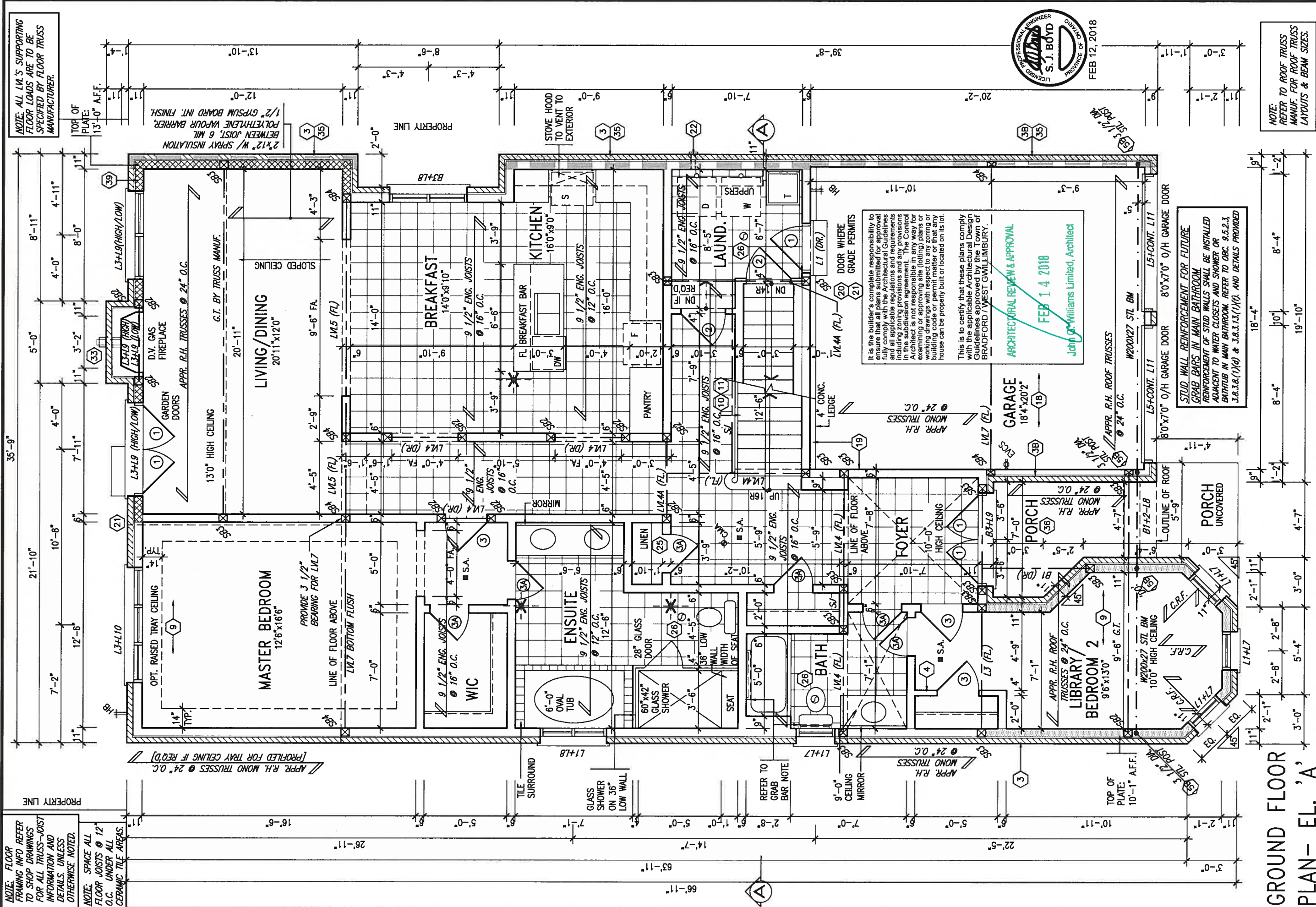


NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.



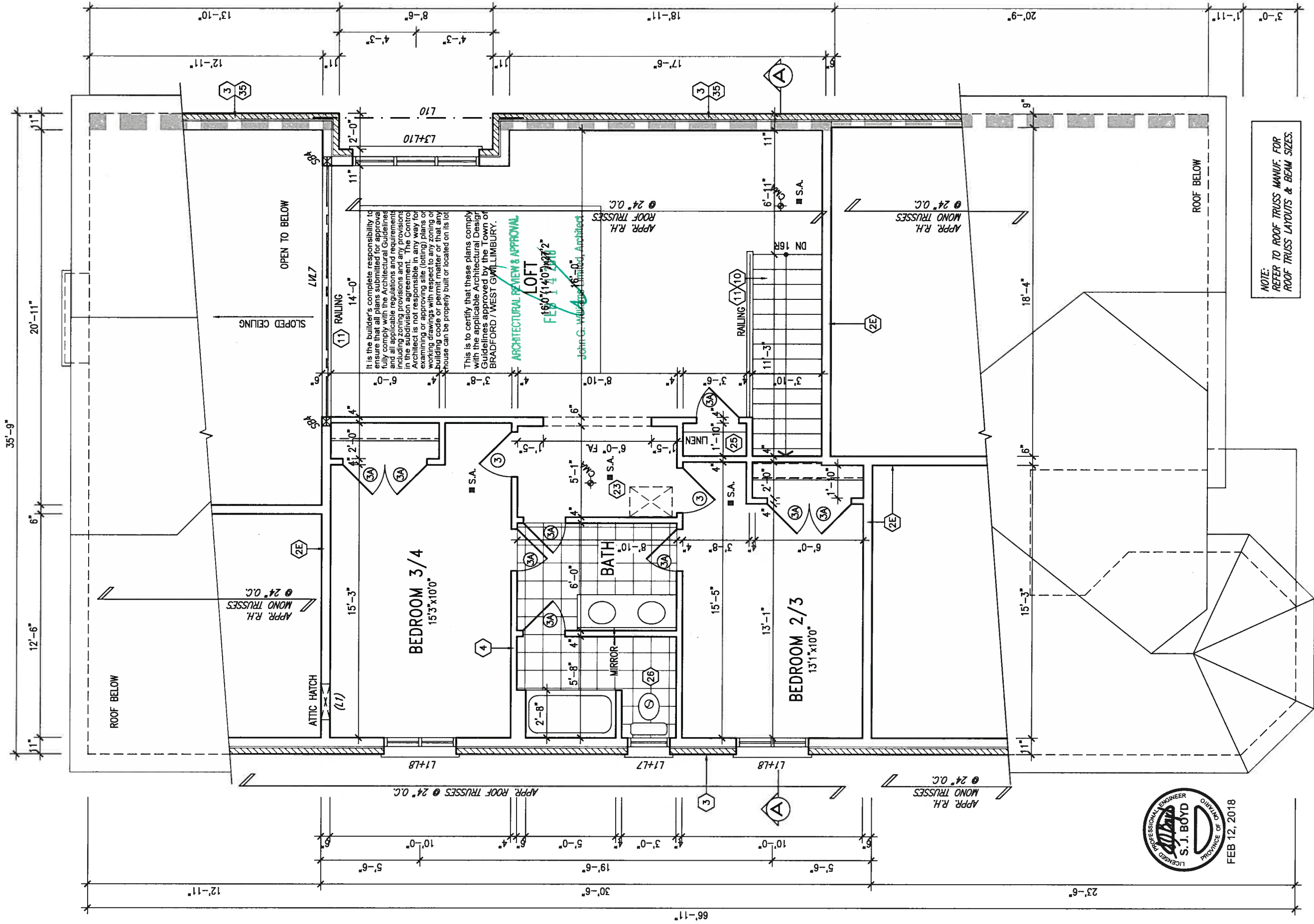
no.		description	date	by
1	ISSUED FOR CLIENT REVIEW			
2	REVISED AS PER ENG'S COMMENTS		FEB 12-18	RC

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

project name		municipality	project no.
GREEN VALLEY EAST		BRADFORD, ONT.	16023
date		checked by	drawing no.
JANUARY, 2017		RC	16023-S42-1B-LOFT
drawn by		WT	2

RECHARD - H:\ARCHIVE\WORKING\2016\16023\BR\Units\42\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM

Site Copy

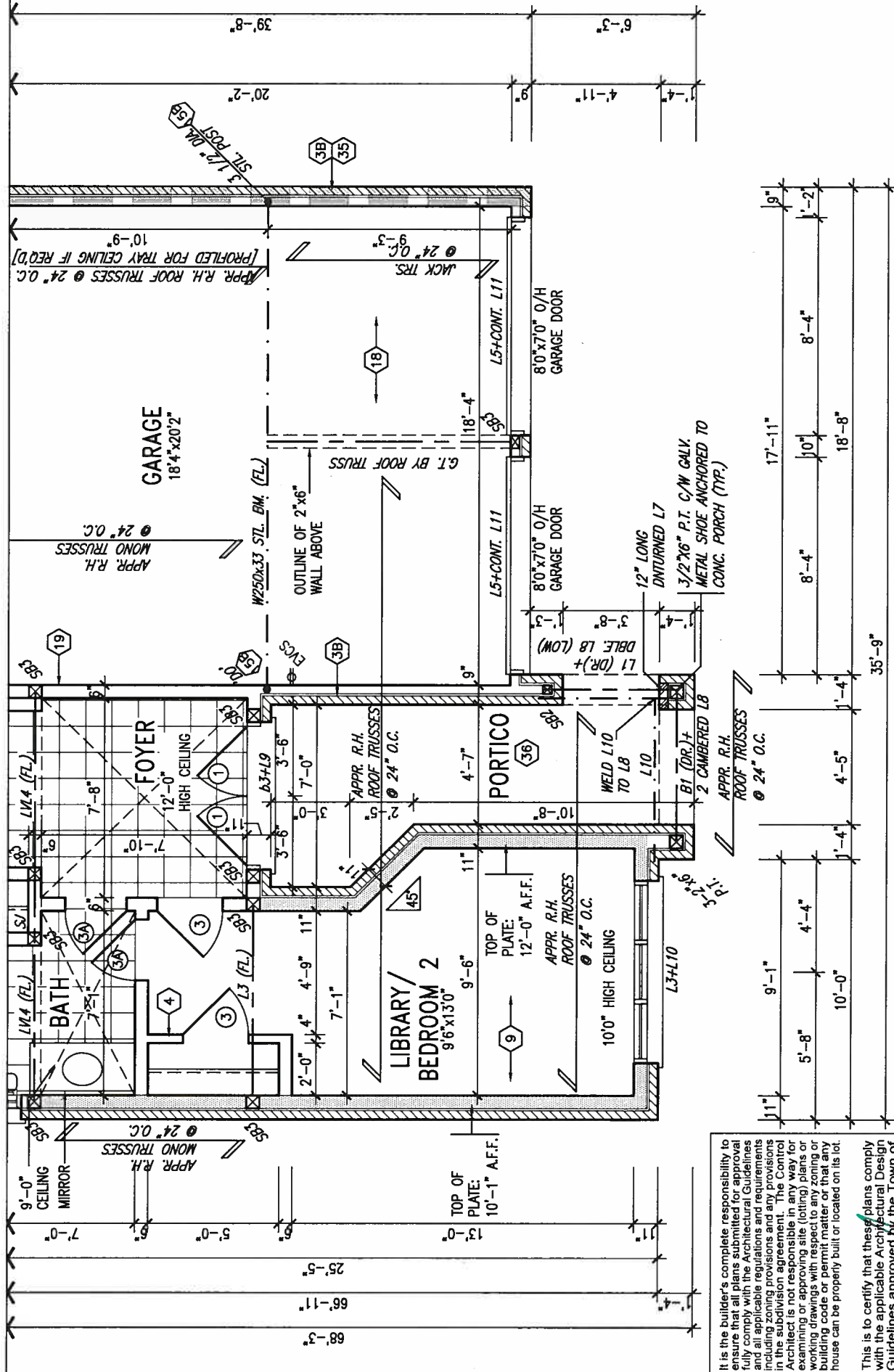


LOFT FLOOR PLAN - EL. 'A'

The undersigned has reviewed and takes responsibility for this design and for the qualifications and means the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591 BCN	
qualification information		name S.J. BOYD 42658	
Wellington Jno-Baptiste 25591 BCN		name S.J. BOYD 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
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vo3design.com

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
JANUARY, 2017		LOFT FLOOR PLAN - ELEV. 'A'	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		project no. 16023	
RICHARD - H.VARCHINEWORKING\2016\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM		drawing no. 3	



PART. GROUND FLOOR PLAN 'B'

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3. 3.8.3.8.(1)(c) & 3.8.3.13.(1)(c). AND DETAILS PROVIDED

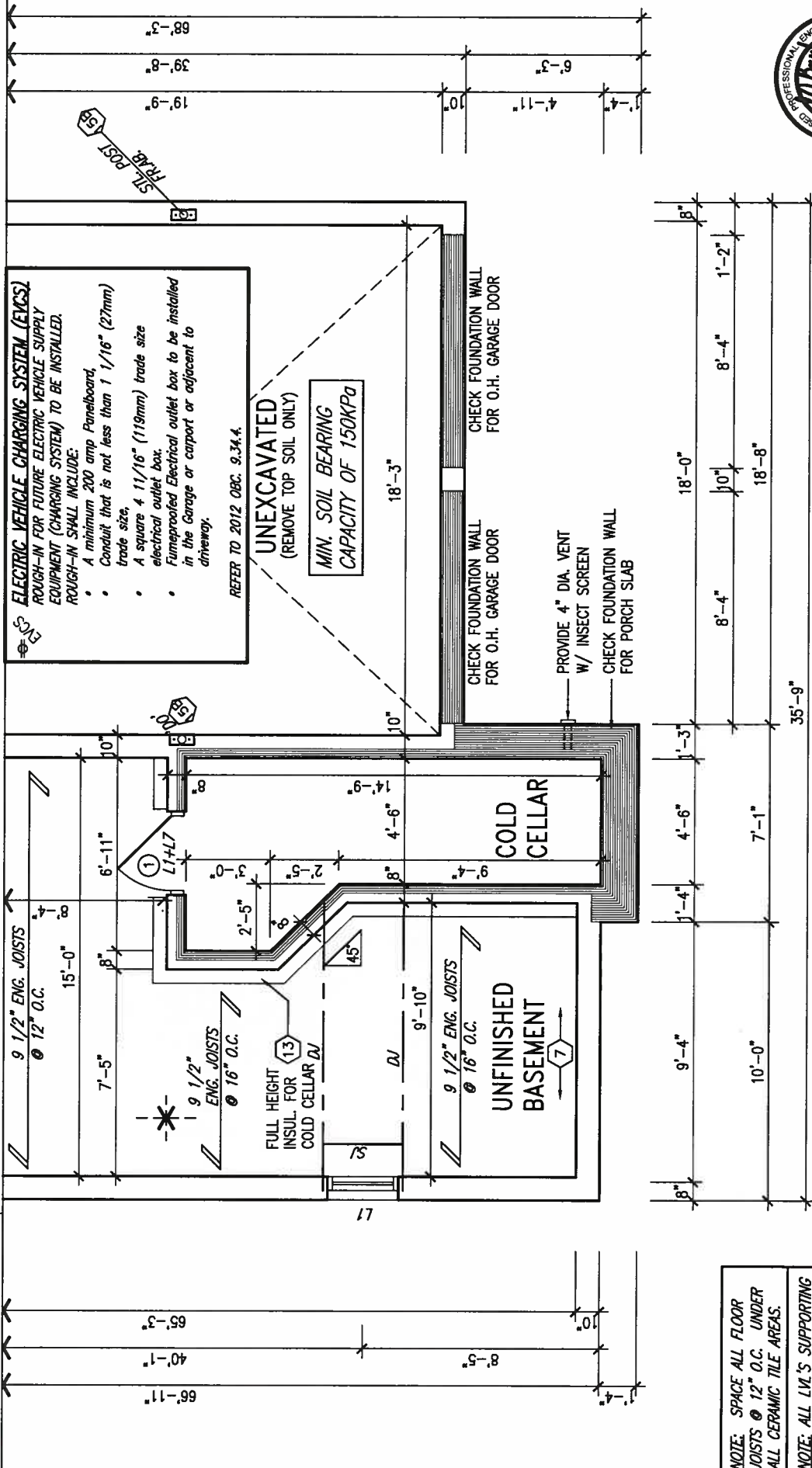
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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

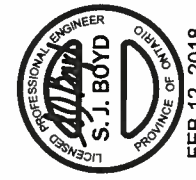


PART. BASEMENT PLAN 'B'

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

ROOF NOTE B1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

- NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- NOTE: ALL LM'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.
- NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



INDICATES FIRE RATED WALL ASSEMBLY

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

S42-1B LOFT

RIDEAU 1 LOFT

project no. 16023

drawing no. 4

checked by JANUARY, 2017

drawn by RC

scale 3/16" = 1'-0"

file name 16023-S42-1B-LOFT.dwg

date Feb 12 2018 - 2:30 PM

no. description

1 ISSUED FOR CLIENT REVIEW

2 REVISED AS PER ENG'S COMMENTS

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DATE

BY

DATE

BY

DATE

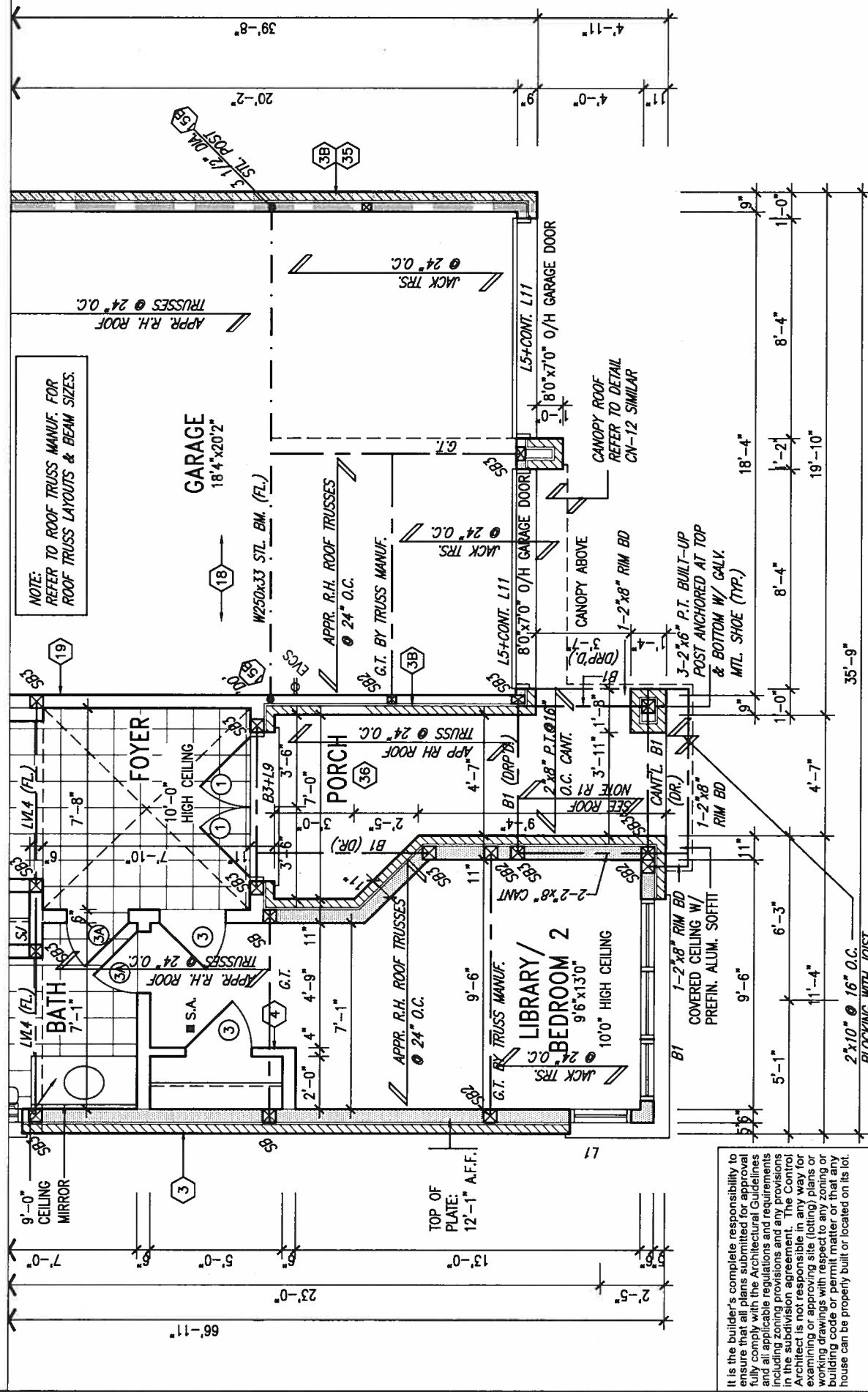
BY

DATE

BY

DATE

BY



PART. GROUND FLOOR PLAN 'C'

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHROOM IN MAIN BATHROOM. REFER TO OBC 9.5.2.3,
3.8.3.8.(1)(c) & 3.8.3.13.(1)(c) AND DETAILS PROVIDED

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

2"x10" @ 16" O.C.
BLOCKING WITH JOIST
HANGER TOP AND BOTTOM
MAILED TO CANT. B1

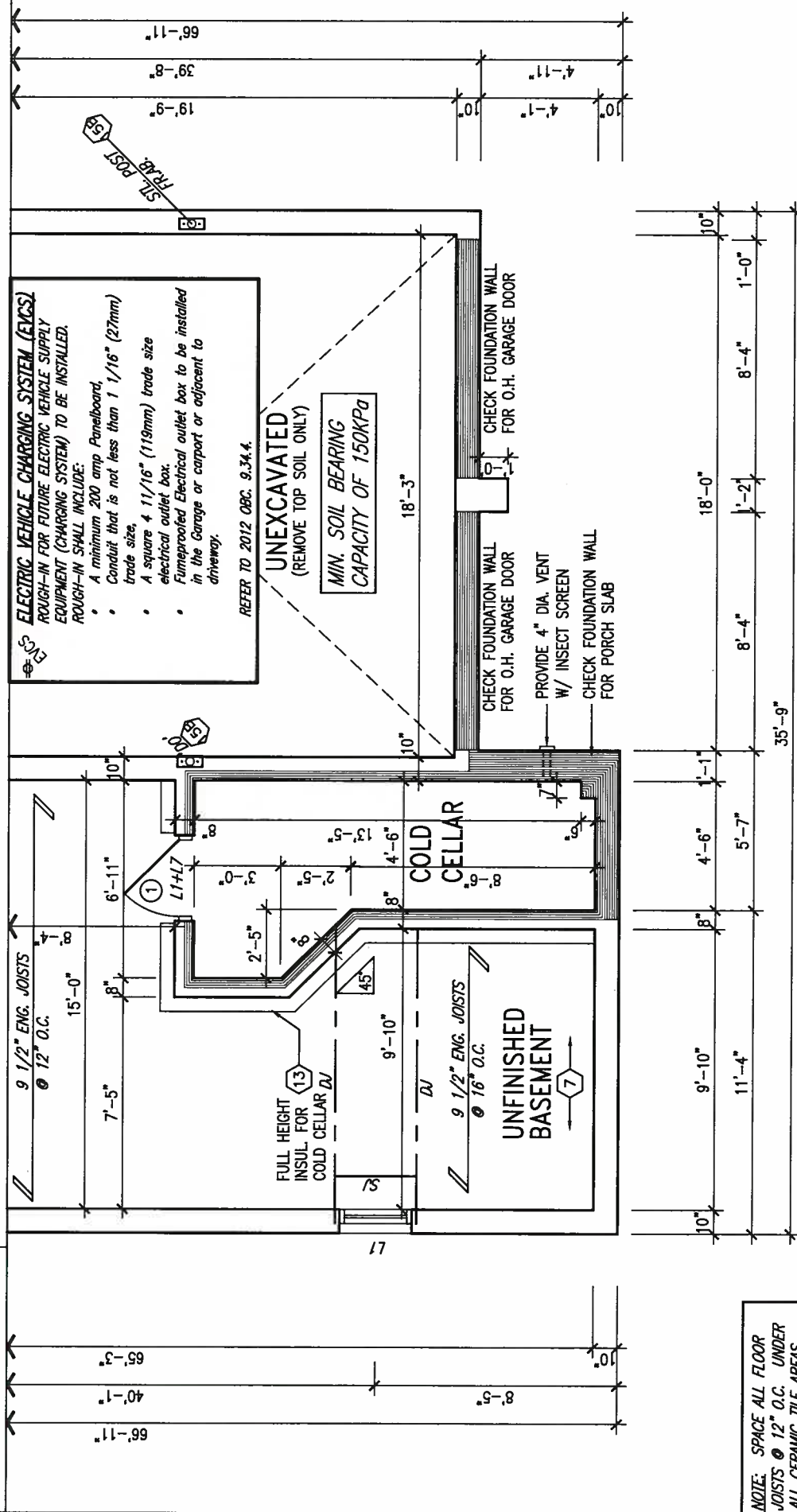
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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



PART. BASEMENT PLAN 'C'

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



FEB 12, 2018

1	NO. DESCRIPTION	DATE	BY
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
3	ISSUED FOR CLIENT REVIEW		
4			
5			
6			
7			
8			
9			

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

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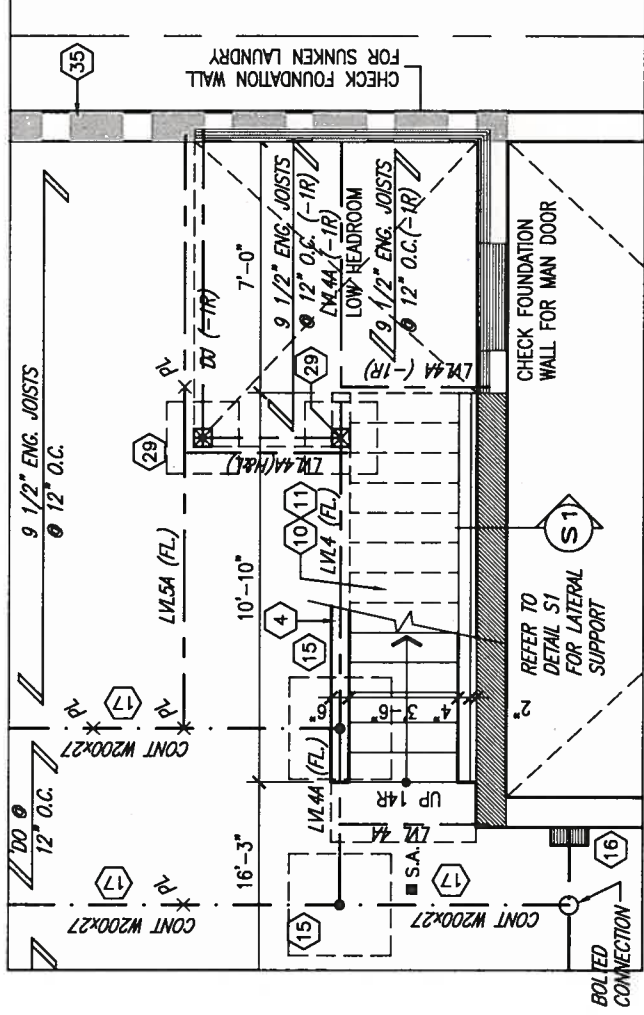
qualification information
Wellington Jno-Baptiste 25591
RCN
name registration information
VAS Design Inc. 42658

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BAYVIEW WELLINGTON

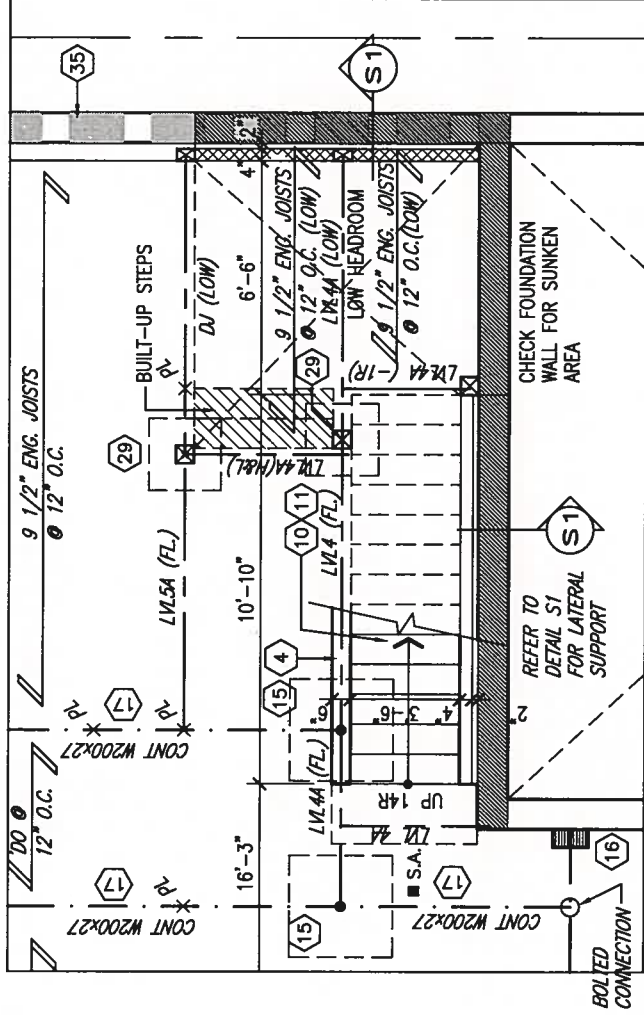
S42-1B LOFT
RIDEAU 1 LOFT

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC	scale	3/16" = 1'-0"
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PARTIAL BASEMENT PLAN
W/ 1R SUNKEN MUD AREA ABOVE

REFER TO FULL PLANS FOR
TYPICAL NOTES.



PARTIAL BASEMENT PLAN
W/ 2R OR MORE SUNKEN MUD
AREA ABOVE

AREA CALCULATIONS		EL. 'A'	EL. 'B'	EL. 'C'
GROUND FLOOR AREA		1791 SF	1800 SF	1800 SF
LOFT FLOOR AREA		1027 SF	1027 SF	1027 SF
SUBTOTAL		2818 SF	2827 SF	2827 SF
DEDUCT ALL OPEN AREAS		0 SF	0 SF	0 SF
TOTAL NET AREA		2818 SF (261.80 m ²)	2827 SF (262.63 m ²)	2827 SF (262.63 m ²)
FINISHED BSMT AREA		0 SF	0 SF	0 SF
COVERAGE		2198 SF	2207 SF	2207 SF
W/OUT PORCH		(204.20 m ²)	(205.03 m ²)	(205.03 m ²)
COVERAGE		2286 SF	2300 SF	2280 SF
W/ PORCH		(212.37 m ²)	(213.67 m ²)	(212.74 m ²)



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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

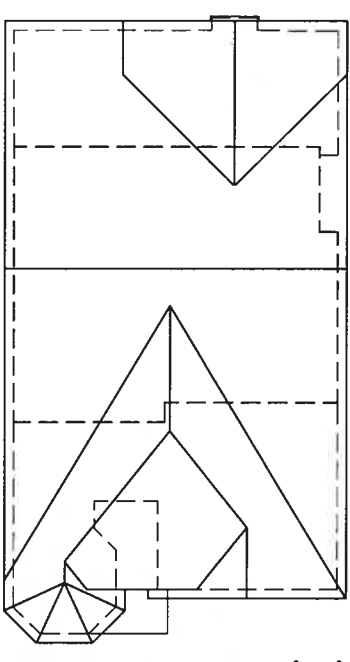
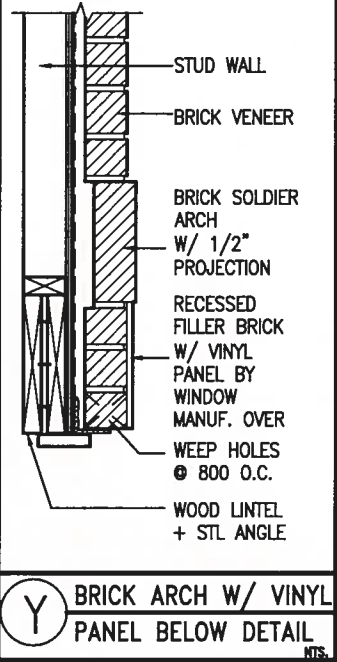
BAYVIEW WELLINGTON		S42-1B LOFT RIDEAU 1 LOFT	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no.	
date		drawing no.	
checked by		file name	
drawn by		16023-S42-1B-LOFT	
scale		6	
3/16" = 1'-0"		16023-S42-1B-LOFT	
RC		WT	
JANUARY, 2017		FEB 12 2018 - 2:30 PM	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B-LOFT.dwg - Ken		Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
Wellington Jno-Bopiste		BCH	
name		signature	
registration information		42658	
VA3 Design Inc.			
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REVISED AS PER ENG'S COMMENTS		FEB 12-18 RC	
ISSUED FOR CLIENT REVIEW			
no. description		date by	

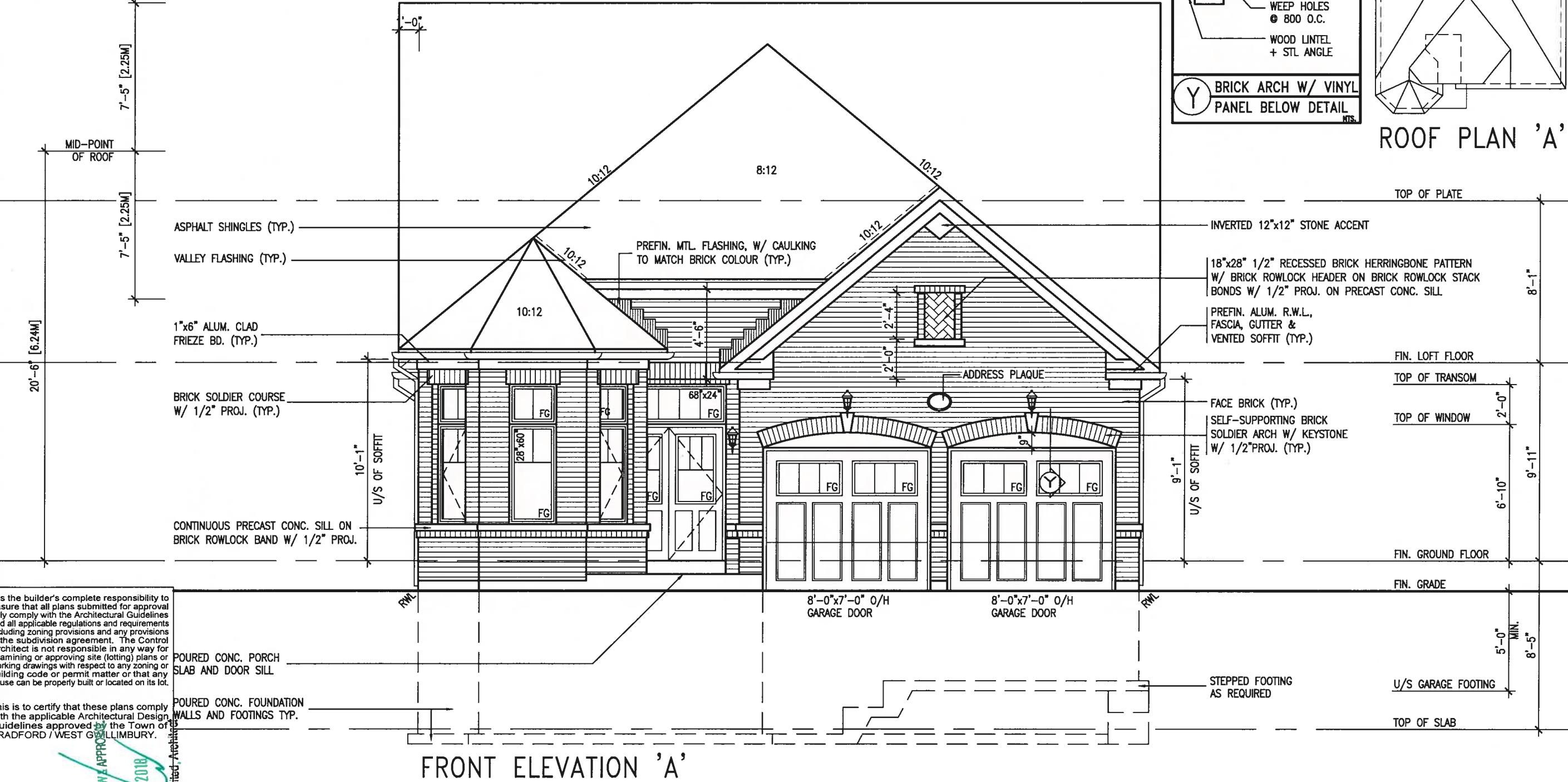
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION A LOFT	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	701 S.F.	119.55 S.F.	17.05 %
LEFT SIDE	1149 S.F.	73.88 S.F.	6.43 %
RIGHT SIDE	1151 S.F.	56.00 S.F.	4.87 %
REAR	701 S.F.	170.72 S.F.	24.35 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3702.00 S.F.	420.15 S.F.	11.35 %
TOTAL SQ. M.	343.92 S.M.	39.03 S.M.	11.35 %



FEB 12, 2018



ROOF PLAN 'A'



FRONT ELEVATION 'A'

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ARCHITECTURAL REVIEW / APPROVAL
FEB 14 2018
John Williams Limited Architect

POURED CONC. PORCH SLAB AND DOOR SILL
POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.



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qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information VA3 Design Inc. 42658
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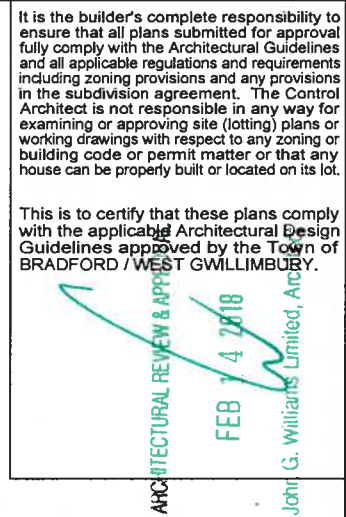
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	project no.	drawing no.
BAYVIEW WELLINGTON	16023	7
project name	project no.	drawing no.
GREEN VALLEY EAST	16023	7
project name	project no.	drawing no.
S42-1B LOFT	16023	7
project name	project no.	drawing no.
IDEAU 1 LOFT	16023	7
project name	project no.	drawing no.
FRONT ELEVATION 'A'	16023	7
project name	project no.	drawing no.
BRADFORD, ONT.	16023	7
project name	project no.	drawing no.
DATE	DATE	DATE
JANUARY, 2017	JANUARY, 2017	JANUARY, 2017
project name	project no.	drawing no.
checked by	checked by	checked by
RC	RC	RC
project name	project no.	drawing no.
scale	scale	scale
3/16" = 1'-0"	3/16" = 1'-0"	3/16" = 1'-0"
project name	project no.	drawing no.
drawn by	drawn by	drawn by
WT	WT	WT
project name	project no.	drawing no.
DATE	DATE	DATE
FEB 12 2018	FEB 12 2018	FEB 12 2018
project name	project no.	drawing no.
time	time	time
2:30 PM	2:30 PM	2:30 PM
project name	project no.	drawing no.
REVISION	REVISION	REVISION
16023-S42-1B-LOFT	16023-S42-1B-LOFT	16023-S42-1B-LOFT
project name	project no.	drawing no.
BY	BY	BY
RC	RC	RC
project name	project no.	drawing no.
DATE	DATE	DATE
FEB 12 2018	FEB 12 2018	FEB 12 2018
project name	project no.	drawing no.
scale	scale	scale
3/16" = 1'-0"	3/16" = 1'-0"	3/16" = 1'-0"
project name	project no.	drawing no.
drawn by	drawn by	drawn by
WT	WT	WT
project name	project no.	drawing no.
DATE	DATE	DATE
FEB 12 2018	FEB 12 2018	FEB 12 2018
project name	project no.	drawing no.
time	time	time
2:30 PM	2:30 PM	2:30 PM
project name	project no.	drawing no.
REVISION	REVISION	REVISION
16023-S42-1B-LOFT	16023-S42-1B-LOFT	16023-S42-1B-LOFT
project name	project no.	drawing no.
BY	BY	BY
RC	RC	RC
project name	project no.	drawing no.
DATE	DATE	DATE
FEB 12 2018	FEB 12 2018	FEB 12 2018
project name	project no.	drawing no.
scale	scale	scale
3/16" = 1'-0"	3/16" = 1'-0"	3/16" = 1'-0"
project name	project no.	drawing no.
drawn by	drawn by	drawn by
WT	WT	WT

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Site Copy



9.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	qualification information
7.	.	
6.	.	Wellington Jno-Baptiste 25591
5.	.	name BDN
4.	.	registration information 42658
3.	.	VA3 Design Inc.
2.	REVISED AS OER ENG'S COMMENTS	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUED FOR CLIENT REVIEW	
no.	description	date by

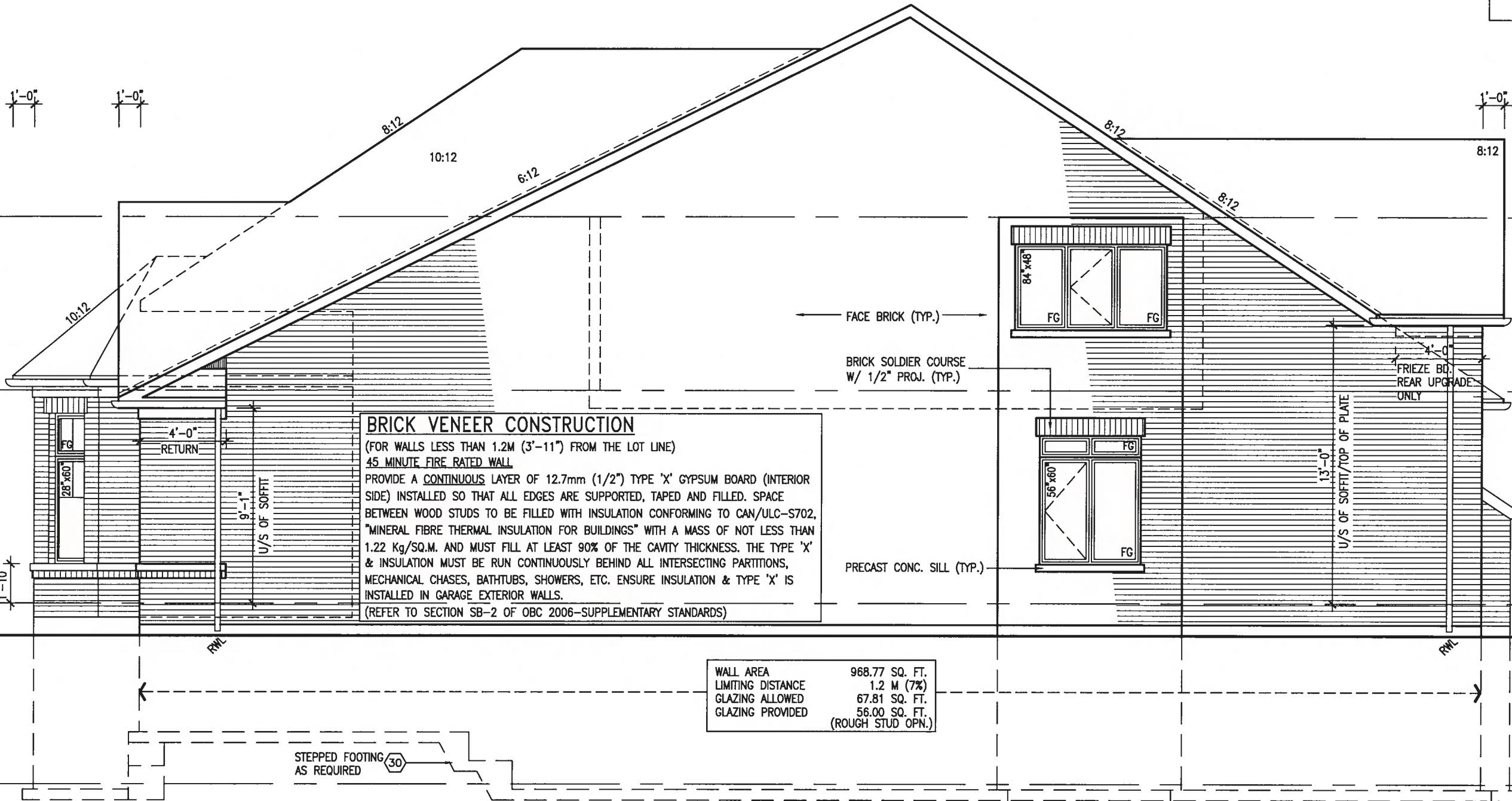


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BAYVIEW WELLINGTON	S42-1B LOFT RIDEAU 1 LOFT	project name	drawing no.
		GREEN VALLEY EAST	16023
		municipality	BRADFORD, ONT.
LEFT SIDE ELEVATION 'A'		date	file name
JANUARY, 2017		drawn by	16023-S42-1B-LOFT
checked by		scale	
RC		3/16" = 1'-0"	
WT			
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM			

Site Copy



RIGHT SIDE ELEVATION 'A'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING
HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

WALL AREA	968.77 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	67.81 SQ. FT.
GLAZING PROVIDED	56.00 SQ. FT. (ROUGH STUD OPN.)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2006-SUPPLEMENTARY STANDARDS)



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD/WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John C. Williams
Williams Architects

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023	16023
date	checked by	scale	file name
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S42-1B-LOFT
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-1B-LOFT

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	25591
Wellington Jno-Baptiste	BCN
name	42658
registration information	VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.	

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	FEB 12-18	RC
2	REVISED AS PER ENG'S COMMENTS		



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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams, Architect



TOP OF SLAB
8'-5"
FIN. GRADE
FIN. GROUND FLOOR
6'-10" 9'-11"
TOP OF WINDOW
1'-0"
TOP OF TRANSOM
6'-10" 9'-11"
FIN. LOFT FLOOR
6'-10" 8'-1"
TOP OF WINDOW
TOP OF PLATE

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
BRADFORD, ONT.		16023	
JANUARY, 2017		REAR ELEVATION 'A', 'B' & 'C'	
RC		3/16" = 1'-0"	
RC		16023-S42-1B-LOFT	
WT		10	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM		16023-S42-1B-LOFT	
255 Consumers Rd Suite 120		255591	
Toronto ON M2J 1R4		BCN	
t 416.630.2255 f 416.630.4782		42658	
va3design.com		VA3 Design Inc.	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		255591	
name		BCN	
registration information		42658	
VA3 Design Inc.		VA3 Design Inc.	
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2 REVISED AS PER ENG'S COMMENTS		FEB 12-18 RC	
1 ISSUED FOR CLIENT REVIEW		FEB 12-18 RC	
no. description		date	



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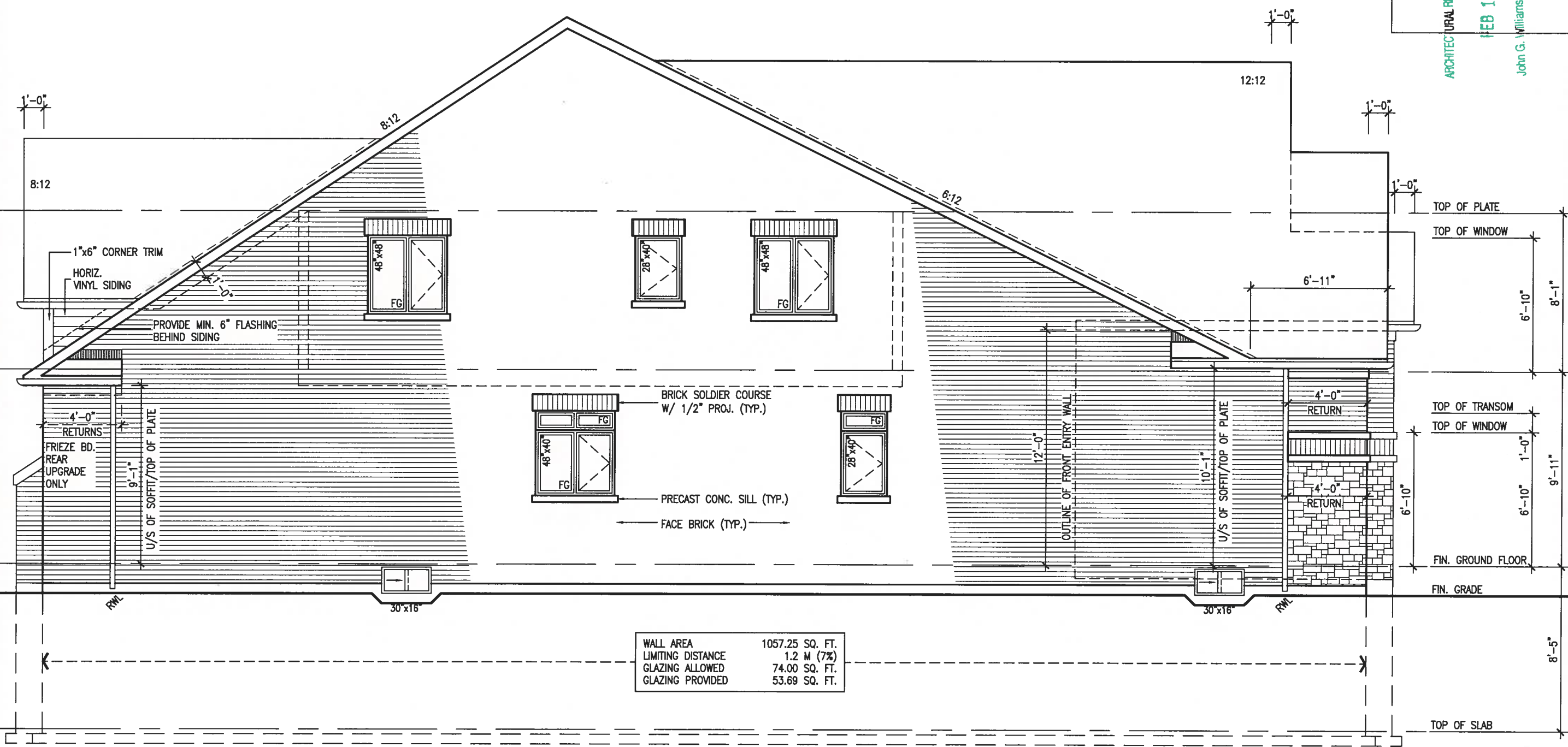
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST-GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	drawing no.	12
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-1B-LOFT
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qualification information		name		registration information	42558
		VA3 Design Inc.			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC		
1	ISSUED FOR CLIENT REVIEW				
no.	description	date	by		



WALL AREA	1057.25 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	74.00 SQ. FT.
GLAZING PROVIDED	53.69 SQ. FT.

LEFT SIDE ELEVATION 'B'

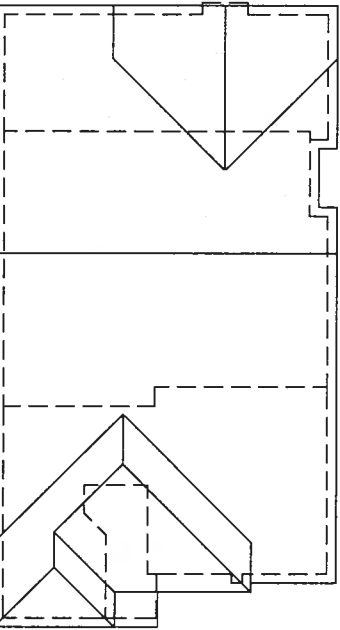
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION C LOFT	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	701 S.F.	133.11 S.F.	18.99 %
LEFT SIDE	1165 S.F.	91.77 S.F.	7.88 %
RIGHT SIDE	1165 S.F.	56.00 S.F.	4.81 %
REAR	701 S.F.	170.72 S.F.	24.35 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3732.00 S.F.	451.60 S.F.	12.10 %
TOTAL SQ. M.	346.71 S.M.	41.95 S.M.	12.10 %



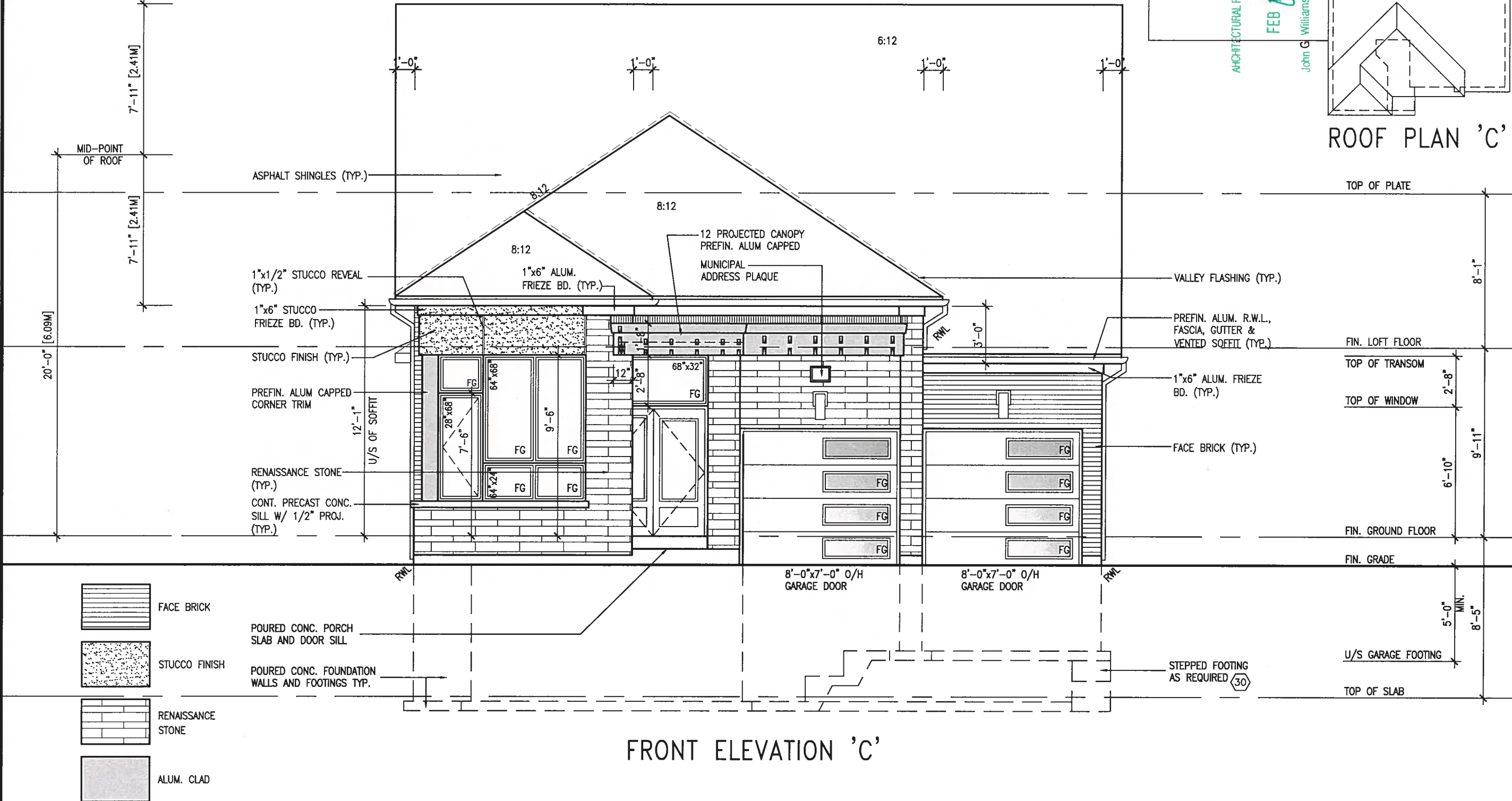
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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect



ROOF PLAN 'C'



S42-1B LOFT
RIDEAU 1 LOFT

BAYVIEW WELLINGTON
GREEN VALLEY EAST

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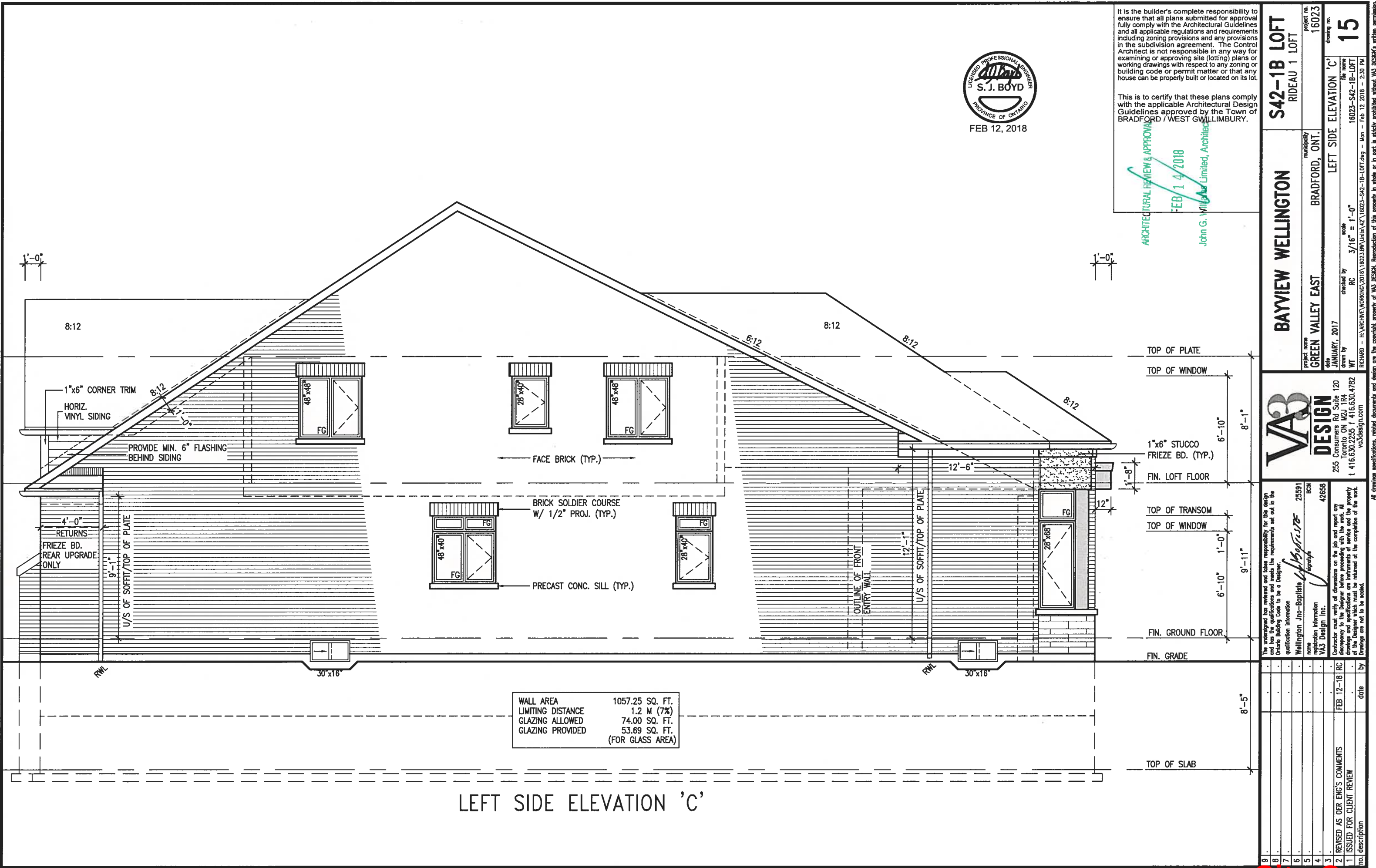
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptista 25591 BCN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property drawings and specifications which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	FEB 12-18 RC	
2	REVISED AS PER ENG'S COMMENTS		

project name	municipality	front elevation 'C'	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD, ONT.		16023	14
date	checked by	scale	file name	
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S42-1B-LOFT	
drawn by	WT			

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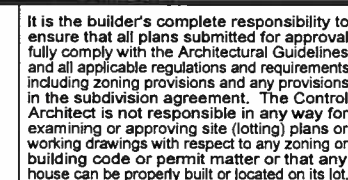
ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023	15
date	checked by	scale	file name
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S42-1B-LOFT
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-1B-LOFT
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM			

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v3design.com

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qualification information	
name	Wellington Jno-Baptiste
registration number	25591
VA3 Design Inc.	42658
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no.	description	date	by
2	REVISED AS OER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		



ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited Architects

ELEVATION 'C'
 file name
 6023-S42-1B-LOFT
 Feb 12 2018 - 2:30 PM

project name	GREEN VALLEY EAST		municipality		BRADFORD, ONT.	
date	JANUARY, 2017		RIGHT SIDE			
drawn by	MT		checked by	RC		scale
						$3/16" = 1'-0"$

VAD
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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Bopiste	signature	ICBN	42559
name	registration information		
	VAS Design Inc.		42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	REVISED AS PER ENG'S COMMENTS		
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

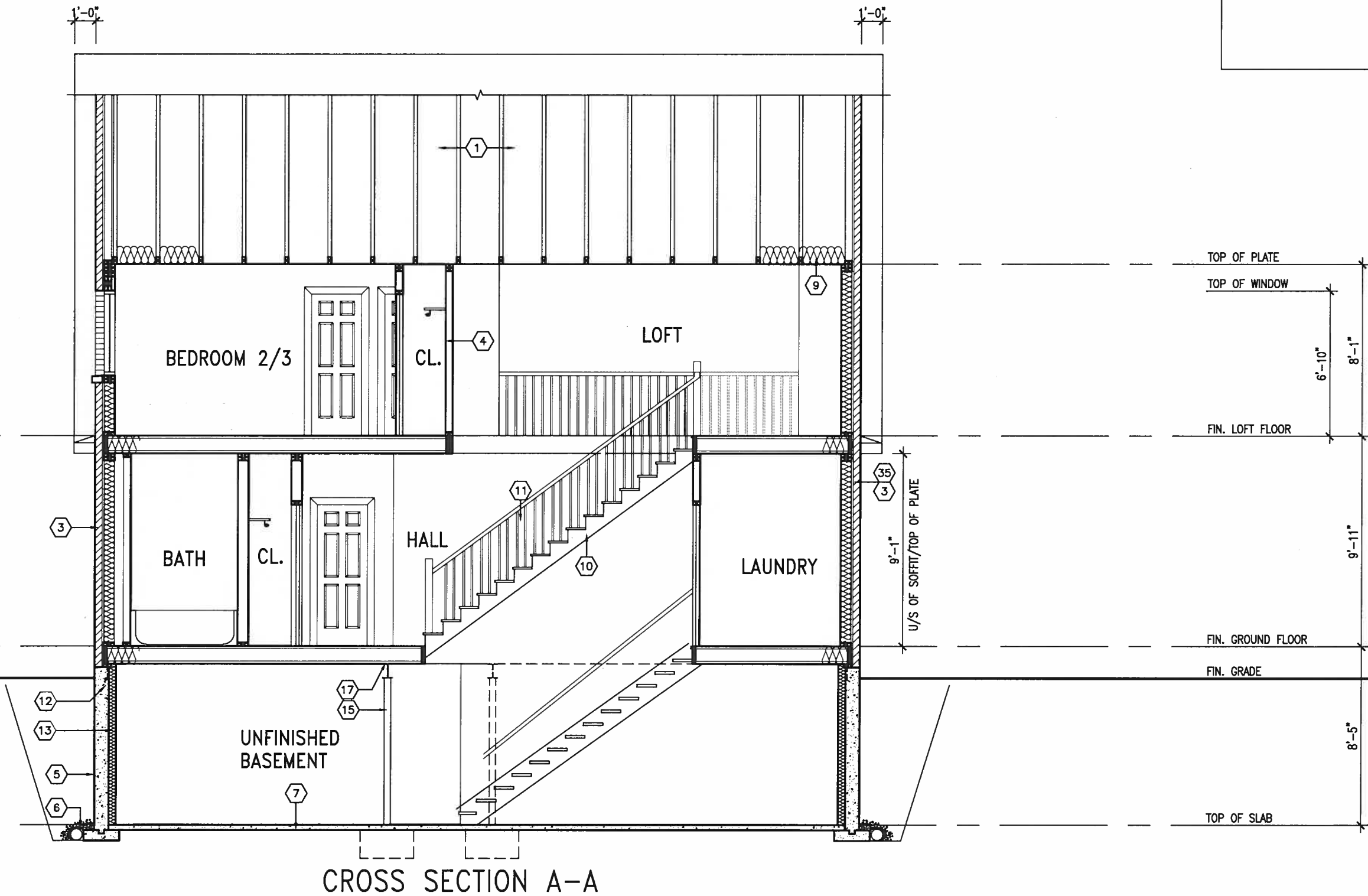
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TOP OF PLATE	8'-1"
TOP OF WINDOW	6'-10"
FIN. LOFT FLOOR	9'-11"
FIN. GROUND FLOOR	8'-5"
FIN. GRADE	
TOP OF SLAB	

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

S42-1B LOFT
RIDEAU 1 LOFT

project no.
16023

drawing no.
17

project name
GREEN VALLEY EAST

date
JANUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

checked by
RC

file name
16023-S42-1B-LOFT

date
Mon - Feb 12 2018 - 2:30 PM

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information

Wellington Jno-Baptiste 25591 BCN

name registration information VA3 Design Inc. 42658

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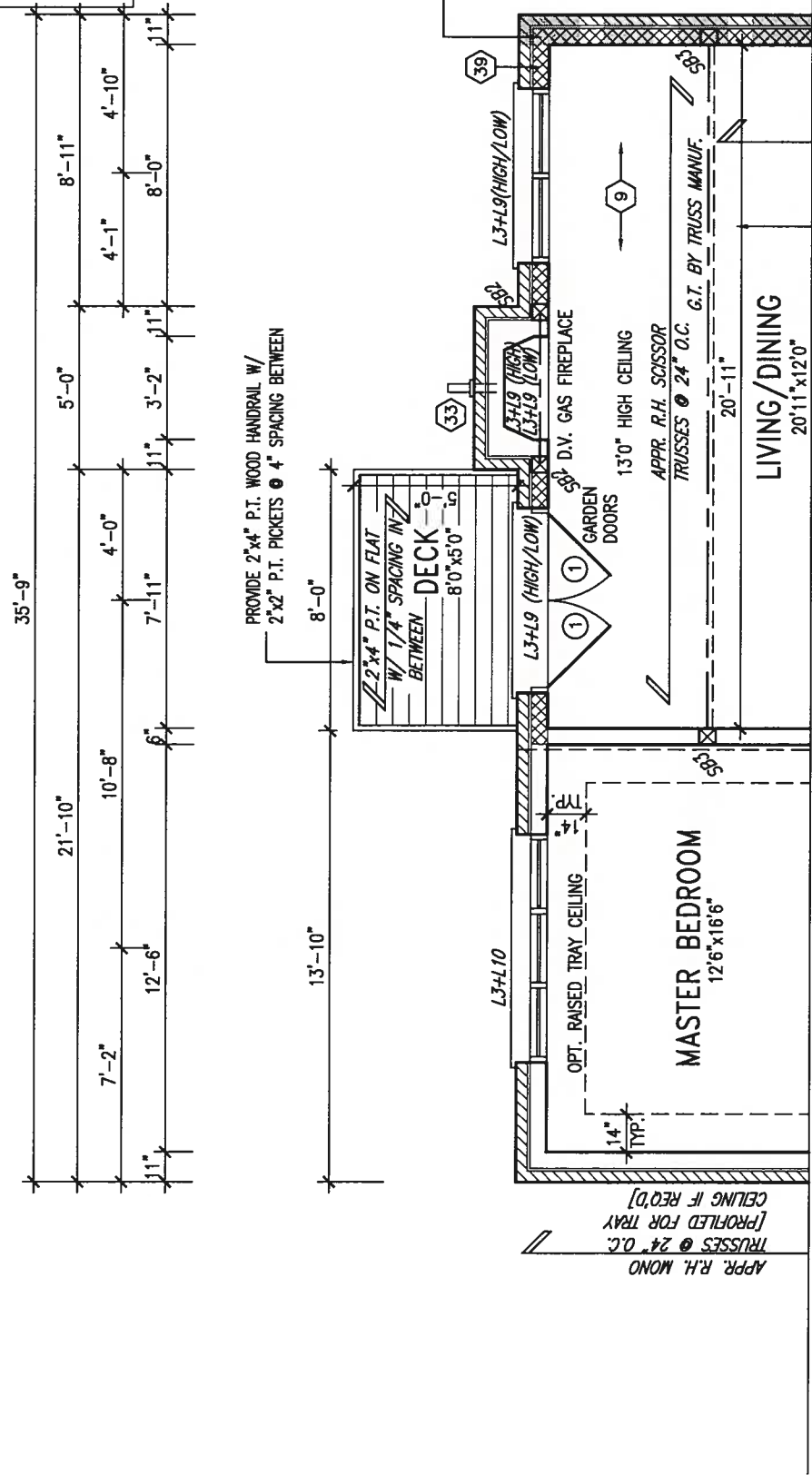
no.	description	date	by
2	REVISED AS OER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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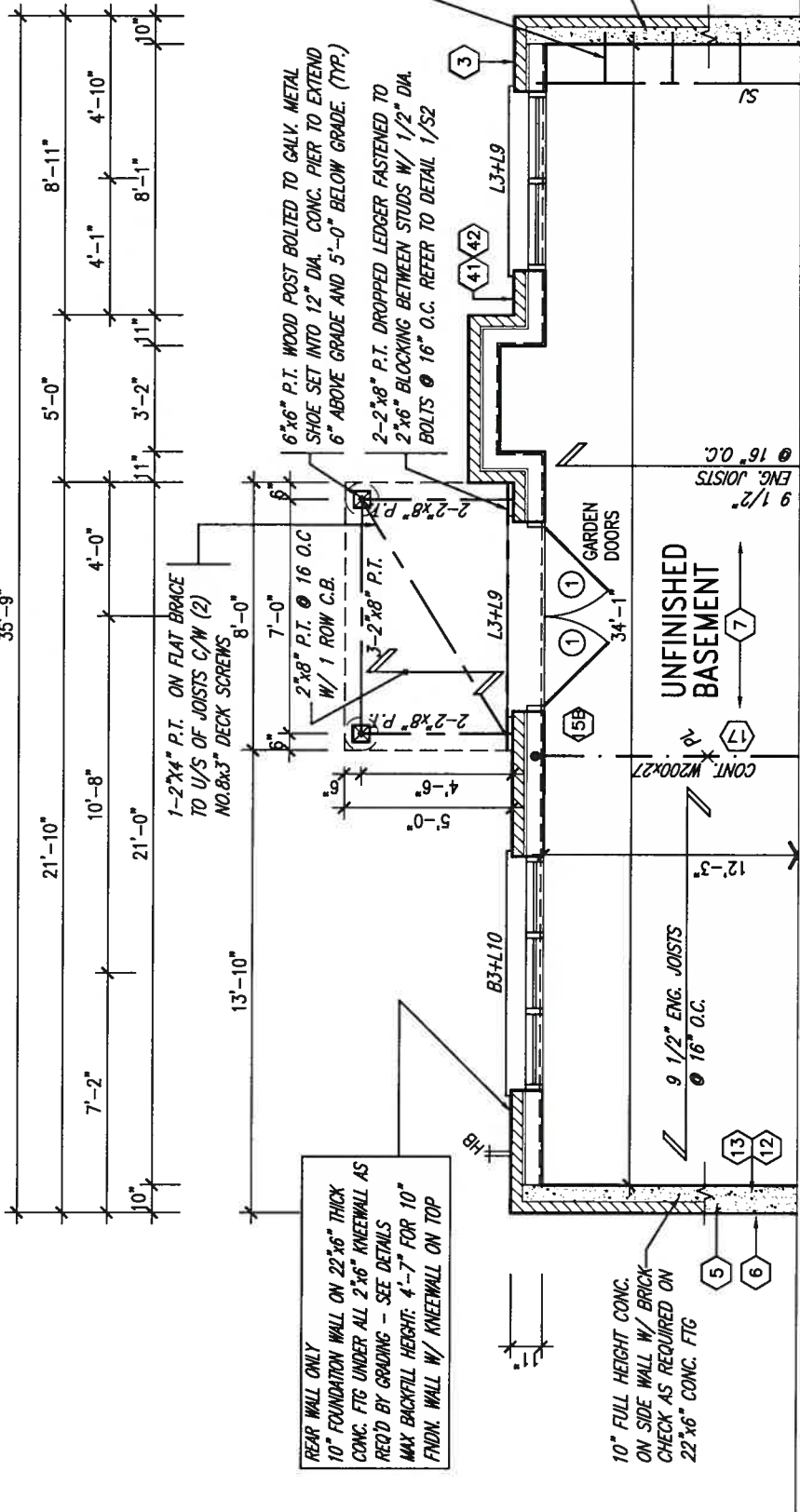
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018

John G. Williams Limited, Architect



PART GROUND FLOOR PLAN 'A' - W.O.B. CONDITION
ELEV 'B' & 'C' SIMILAR



PART. BASEMENT PLAN 'A' - W.O.B. CONDITION
ELEV 'B' & 'C' SIMILAR

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

REFER TO FULL PLANS FOR
TYPICAL NOTES.

1	REVISION	DATE	BY
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		
3			
4			
5			
6			
7			
8			
9			

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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.
project name
project no. 16023
drawing no. 19
scale 3/16" = 1'-0"
checked by RC
down by WT
date JANUARY, 2017
part. floor plan - W.O.B. COND.
file name 16023-S42-1B-LOFT
drawn by

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PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION C LOFT WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	701 S.F.	133.11 S.F.	18.99 %
LEFT SIDE	1165 S.F.	91.77 S.F.	7.88 %
RIGHT SIDE	1165 S.F.	56.00 S.F.	4.81 %
REAR	627 S.F.	205.02 S.F.	32.70 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3658.00 S.F.	485.90 S.F.	13.28 %
TOTAL SQ. M.	339.84 S.M.	45.14 S.M.	13.28 %

REAR ELEVATION 'A' - W.O.D. CONDITION

EL. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION A LOFT WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	701 S.F.	119.55 S.F.	17.05 %
LEFT SIDE	1149 S.F.	73.88 S.F.	6.43 %
RIGHT SIDE	1151 S.F.	56.00 S.F.	4.87 %
REAR	627 S.F.	205.02 S.F.	32.70 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3628.00 S.F.	454.45 S.F.	12.53 %
TOTAL SQ. M.	337.05 S.M.	42.22 S.M.	12.53 %

TOP OF PLATE	
TOP OF WINDOW	
6'-10"	8'-1"
FIN. LOFT FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
6'-10"	1'-0"
9'-11"	
FIN. GROUND FLOOR	
8'-5"	
FIN. GRADE	
TOP OF SLAB	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION B LOFT WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	701 S.F.	125.22 S.F.	17.86 %
LEFT SIDE	1149 S.F.	73.88 S.F.	6.43 %
RIGHT SIDE	1151 S.F.	56.00 S.F.	4.87 %
REAR	627 S.F.	205.02 S.F.	32.70 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3628.00 S.F.	460.12 S.F.	12.68 %
TOTAL SQ. M.	337.05 S.M.	42.75 S.M.	12.68 %

S42-1B LOFT
RIDEAU 1 LOFT

BAYVIEW WELLINGTON

VA3
DESIGN

Wellington Jno-Baptiste
25591
BCH
42558

REVISAS DER ENG'S COMMENTS
ISSUED FOR CLIENT REVIEW

project no. 16023
drawing no. 20
date JANUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

REAR ELEVATION 'A' - W.O.D. COND.
120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.

no. description
date by

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)



REAR ELEVATION 'A' - W.O.B. CONDITION
EL. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-1B ELEVATION A LOFT WOB	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	701 S.F.	119.55 S.F.	17.05 %
LEFT SIDE	1149 S.F.	73.88 S.F.	6.43 %
RIGHT SIDE	1151 S.F.	56.00 S.F.	4.87 %
REAR	732 S.F.	264.90 S.F.	36.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		00.0 S.F.	
TOTAL SQ. FT.	3733.00 S.F.	514.33 S.F.	13.78 %
TOTAL SQ. M.	346.80 S.M.	47.78 S.M.	13.78 %

TOP OF PLATE

FIN. LOFT FLOOR

TOP OF TRANSOM

TOP OF WINDOW

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

FIN. GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN. GRADE

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-1B ELEVATION C LOFT WOB	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	701 S.F.	133.11 S.F.	18.99 %
LEFT SIDE	1165 S.F.	91.77 S.F.	7.88 %
RIGHT SIDE	1165 S.F.	56.00 S.F.	4.81 %
REAR	732 S.F.	264.90 S.F.	36.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		00.0 S.F.	
TOTAL SQ. FT.	3763.00 S.F.	545.78 S.F.	14.50 %
TOTAL SQ. M.	349.59 S.M.	50.70 S.M.	14.50 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-1B ELEVATION B LOFT WOB	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	701 S.F.	125.22 S.F.	17.86 %
LEFT SIDE	1149 S.F.	73.88 S.F.	6.43 %
RIGHT SIDE	1151 S.F.	56.00 S.F.	4.87 %
REAR	732 S.F.	264.90 S.F.	36.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		00.0 S.F.	
TOTAL SQ. FT.	3733.00 S.F.	520.00 S.F.	13.93 %
TOTAL SQ. M.	346.80 S.M.	48.31 S.M.	13.93 %

S42-1B LOFT
RIDEAU 1 LOFT

BAYVIEW WELLINGTON

project no.
16023

municipality
BRADFORD, ONT.

project name
GREEN VALLEY EAST

date
JANUARY, 2017

checked by
RC

drawn by
WT

scale
3/16" = 1'-0"

date
FEB 12-18

RC

BY

DATE

DESCRIPTION

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com

qualification information
Wellington Jno-Baptiste 25591
BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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ARCHITECTURAL REVIEW & APPROVAL



no.	description	date	by
9	.	.	.
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3	.	.	.
2	REVISED AS OER ENG'S COMMENTS	FEB 12-18	RO
1	ISSUED FOR CLIENT REVIEW	.	.



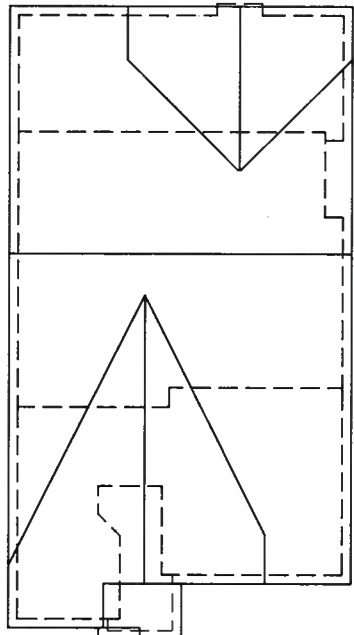
Site Copy

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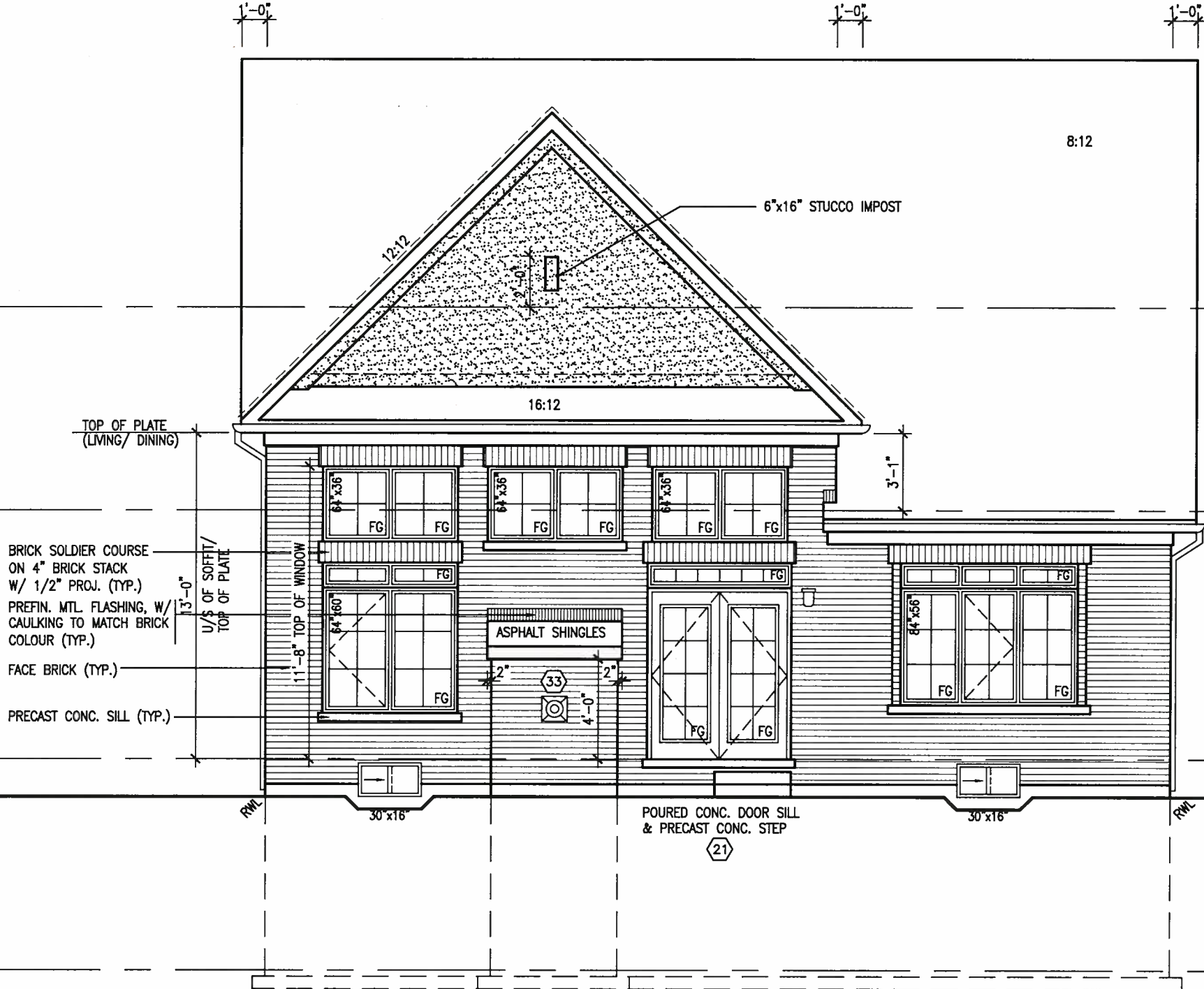
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ARCHITECTURAL REVIEW & APPROVAL
FEB 1 4 2018

John G. Williams Limited, Architect



ROOF PLAN 'B'
(UPGRADED REAR)
TOP OF PLATE



UPGRADED REAR ELEVATION 'B'

8'-1"
FIN. LOFT FLOOR
TOP OF TRANSOM
TOP OF WINDOW
6'-10" 1'-0"
9'-11"
FIN. GROUND FLOOR
FIN. GRADE
8'-5"
TOP OF SLAB

S42-1B LOFT
RIDEAU 1 LOFT

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

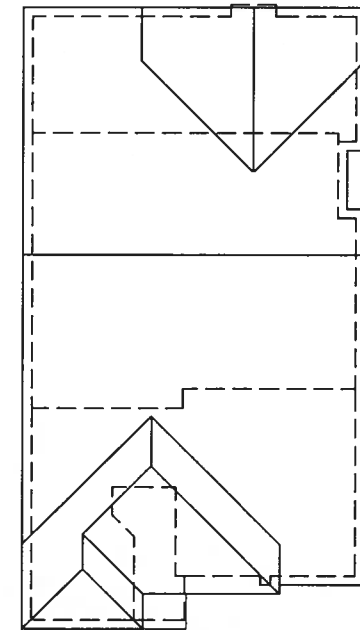
project no.	16023
drawing no.	23
date	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S42-1B-LOFT
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S42-1B-LOFT
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
file name	16023-S42-1B-LOFT

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN	42558
Wellington Jno-Baptiste		25591	BCN	42558
name		25591	BCN	42558
registration information		25591	BCN	42558
VA3 Design Inc.		25591	BCN	42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be used.		25591	BCN	42558
2. REVISED AS OER ENG'S COMMENTS	RC	FEB 12-18	RC	
1. ISSUED FOR CLIENT REVIEW				
no.	description	date	by	

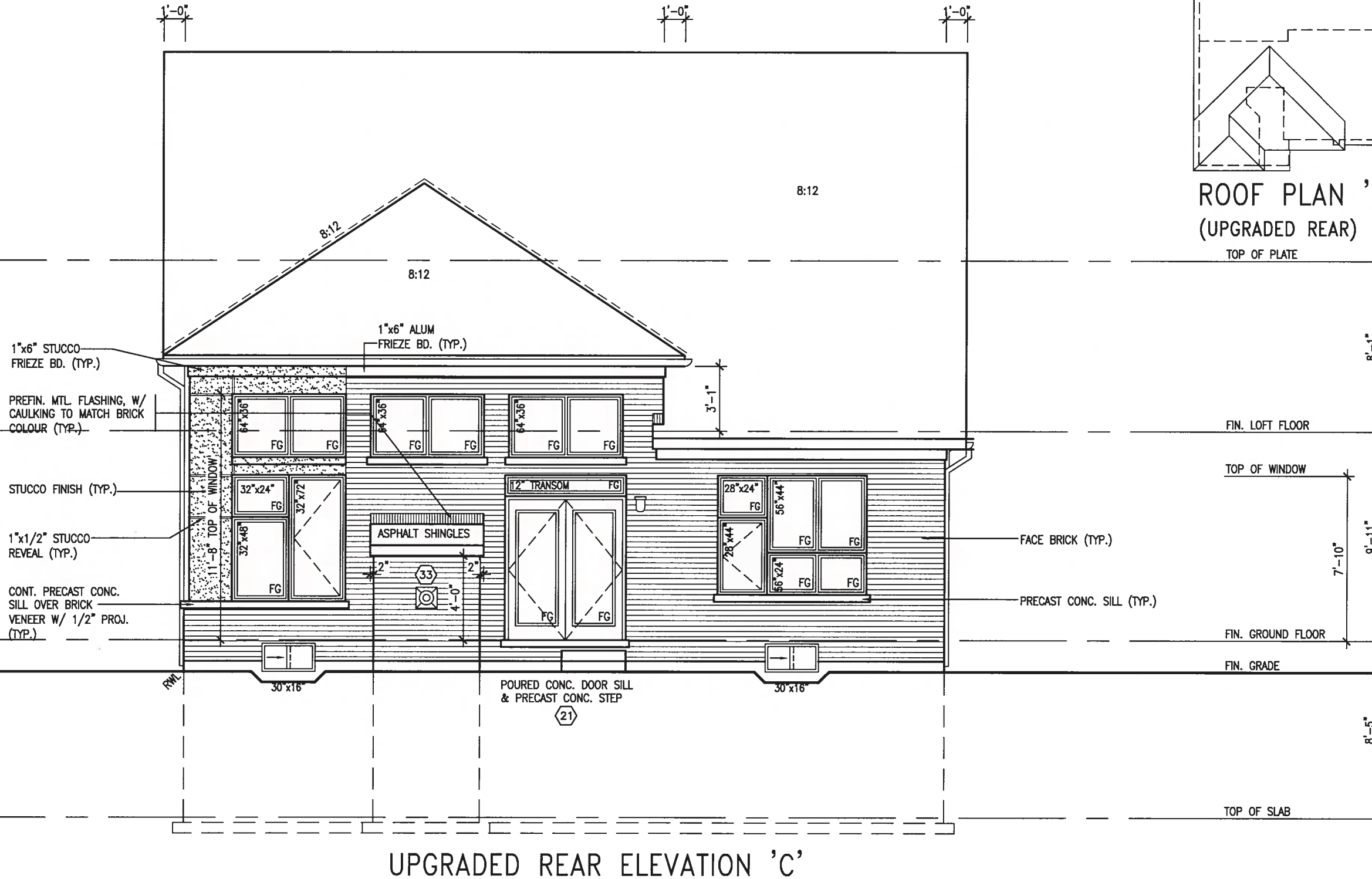
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect



ROOF PLAN 'C'
(UPGRADED REAR)



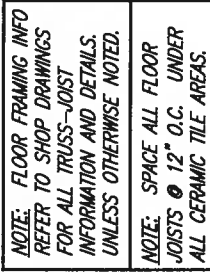
BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023	24
date	checked by	scale	file name
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S42-1B-LOFT
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-1B-LOFT

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		25591	BCR
qualification information		Wellington Jno-Baptiste	signature
same registration information		VA3 Design Inc.	42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILIMBURY.

John G. Williams Limited, Architect.



NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO 2"x6"
BLOCKING BETWEEN STUDS
W/ 1/2" DIA. BOLTS @ 16"
O.C. REFER TO DETAIL 1/52

FOR 4-6 RISER
2-2"x8" P.T. DROPPED
LEDGER FASTENED TO FDN
WALL W/ 1/2" DIA. x12
LONG HILT ADHESIVE
ANCHORS @ 16" O.C.
REFER TO DETAIL 1/52

PROVIDE SOLID BLOCKING
AT 24" O/C AT JOIST
SPACE ADJACENT TO FDN
WALL WHERE FLOOR
JOISTS RUN PARALLEL OF
FDN WALL (TYP.)

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

UNFINISHED
BASEMENT

9 1/2" ENG. JOISTS
@ 16" O.C.

9 1/2" ENG. JOISTS
@ 16" O.C.

34'-1"

12'-3"

CONT. W200x27

17

15B 16

13 12

5 6

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FDN. WALL W/ KNEEWALL ON TOP

REAR WALL ONLY

13'-10"

21'-10"

21'-0"

14'-8"

35'-9"

7'-2"

10"

5'-0"

11"

3'-2"

4'-0"

8'-11"

10"

6"x6" P.T. WOOD POST BOLTED
TO GALV. METAL SHOE SET
INTO 12" DIA. CONC. PIER TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE. (TYP.)

2"x8" P.T. @ 16 O.C
W/ 1 ROW C.B.

7'-0"

1-2"x4" P.T. ON FLAT BRACE
TO U/S OF JOISTS C/W (2)
NO.8x3" DECK SCREWS

8'-0"

2-2"x8" P.T.

3-2"x8" P.T.

2-2"x8" P.T.

B3+L10

L3+L9

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

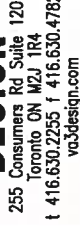
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: ALL LIV'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: REFER TO FULL PLANS FOR TYPICAL NOTES.

NOTE: REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	
7	.	.	qualification information
6	.	.	Wellington Jno-Baptiste
5	.	.	name
4	.	.	registration information
3	.	.	VAS Design Inc.
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by



project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

S42-1B LOFT
RIDEAU 1 LOFT

project no. 16023

ANS FOR WOD
file name
16023-S42-1B-LOFT

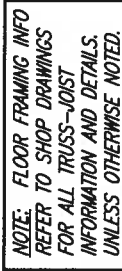
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FEB 4 2018

John G. Williams Limited, Architect



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

TOP OF
PLATE:
13'-0" A.F.F.

PPR, R.H. MONO
RUSSES @ 24" O.C.
PROFILLED FOR TRAY
[ELING IF REQ'D]



FEB 12. 2018

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
END OF WALL W/ KNEEWALL ON TOP

PROVIDE SOLID BLOCKING
AT 24" O/C AT JOIST
SPACE ADJACENT TO FDTN
WALL WHERE FLOOR
JOISTS RUN PARALLEL OF
FDTN WALL (TYP)

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC ETC

PART. BASEMENT PLAN 'C' REAR UPG W.O.B. CONDITION

REFER TO FULL PLANS FOR
TYPICAL NOTES.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED, MANUFACTURER.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

S42-1B LOFT

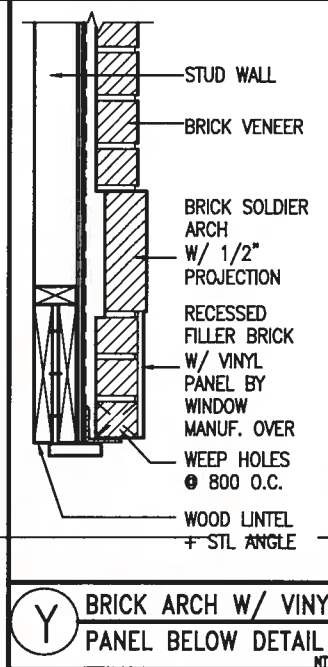
project name
GREEN VALLEY EAST

drawn by	checked
WT	RC

project no.
16023

27

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18"x28" 1/2" RECESSED BRICK HERRINGBONE PATTERN W/ BRICK ROWLOCK HEADER ON BRICK ROWLOCK STACK BONDS W/ 1/2" PROJ. ON PRECAST CONC. SILL

TOP OF PLATE (LIVING/ DINING) SELF-SUPPORTING BRICK SOLDIER ARCH W/ KEYSTONE W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH BRICK COLOUR (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)



8:12



TOP OF PLATE

FIN. LOFT FLOOR

TOP OF TRANSOM
TOP OF WINDOW

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

9'-1" U/S OF SOFFIT/ TOP OF PLATE

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/ 2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'A' 9R WOD

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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	drawing no.	28
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-1B-LOFT
WT		date	16023-S42-1B-LOFT
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vc3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
VA3 Design Inc. 42658
registration information

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no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	ISSUED FOR CLIENT REVIEW		

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Wilcans Limited, Architect



UPGRADED REAR ELEVATION 'B' 9R WOD

BAYVIEW WELLINGTON		S42-1B LOFT RIDEAU 1 LOFT	
project name GREEN VALLEY EAST		project no. 16023	
municipality BRADFORD, ONT.		drawing no. 29	
date JANUARY, 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
file name 16023-S42-1B-LOFT		date FEB 12 2018 - 2:30 PM	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM			
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
3			
4			
5			
6			
7			
8			
9			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
name	RCM
registration information	42658
VA3 Design Inc.	

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



1"x6" STUCCO
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

STUCCO FINISH (TYP.)

1"x1/2" STUCCO
REVEAL (TYP.)

CONT. PRECAST CONC.
SILL OVER BRICK
VENEER W/ 1/2" PROJ.
(TYP.)



UPGRADED REAR ELEVATION 'C' 9R WOD

S42-1B LOFT
RIDEAU 1 LOFT

BAYVIEW WELLINGTON

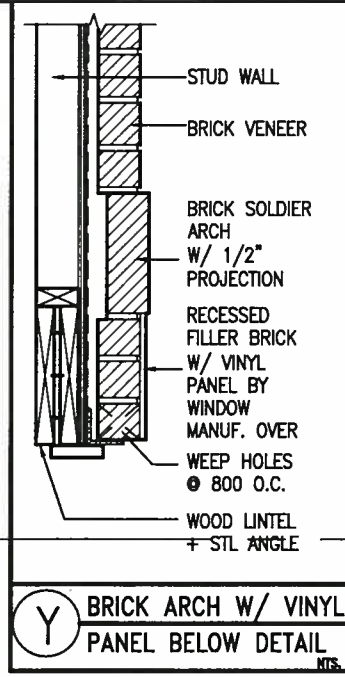
VA3
DESIGN

25591
42658
Wellington Jno-Baptiste
VA3 Design Inc.
The undersigned has reviewed and takes responsibility for this design and has the qualifications and experience to meet the requirements set out in the Ontario Building Code to be a Designer.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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Site Copy



18"x28" 1/2" RECESSED BRICK HERRINGBONE PATTERN W/ BRICK ROWLOCK HEADER ON BRICK ROWLOCK STACK BONDS W/ 1/2" PROJ. ON PRECAST CONC. SILL

TOP OF PLATE (LIVING/ DINING) SELF-SUPPORTING BRICK SOLDIER ARCH W/ KEYSTONE W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH BRICK COLOUR (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE. (TYP.)



UPGRADED REAR ELEVATION 'A' WOB



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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John C. Williams Limited, Architect

TOP OF PLATE
FIN. LOFT FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
TOP OF WINDOW
TOP OF SLAB
FIN. GRADE

8'-1"
6'-10"
1'-0"
6'-10"
8'-5"

BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
BRADFORD, ONT.		project no. 16023	
UPGRADED REAR ELEVATION 'A'-W.O.B. COND.		drawing no. 31	
JANUARY, 2017		checked by RC	
drawn by WT		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM		file name 16023-S42-1B-LOFT	

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC

The undersigned has reviewed and takes responsibility for this design and has the jurisdiction and the requirements set out in the Ontario Building Code to be a Designer.

qualification information

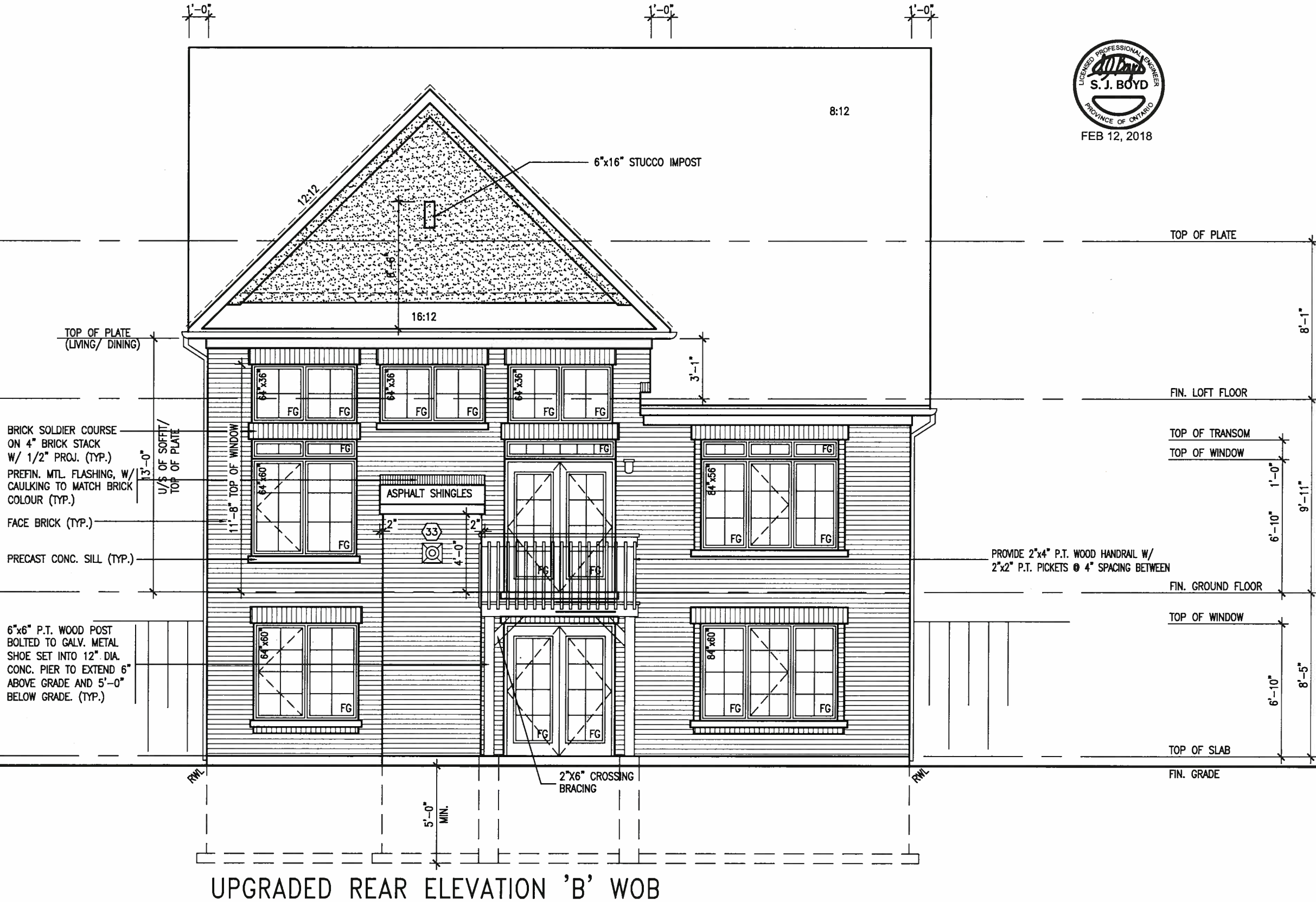
Wellington Jno-Baptiste	25591	BCN
VA3 Design Inc.	42658	

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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect



BAYVIEW WELLINGTON		S42-1B LOFT	
GREEN VALLEY EAST		RIDEAU 1 LOFT	
project name	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	drawing no.	32
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-1B-LOFT
drawn by	WT	checked by	RC
drawn by	WT	checked by	RC



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
name	Wellington Jno-Baptiste
registration information	25591
VA3 Design Inc.	42658
signature	
date	FEB 12-18 RC
description	2 REVISED AS PER ENG'S COMMENTS
date	FEB 12-18 RC
description	1 ISSUED FOR CLIENT REVIEW

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW	FEB 12-18 RC	

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



1"x6" STUCCO
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

STUCCO FINISH (TYP.)

1"x1/2" STUCCO
REVEAL (TYP.)

CONT. PRECAST CONC.
SILL OVER BRICK
VENEER W/ 1/2" PROJ.
(TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)



UPGRADED REAR ELEVATION 'C' WOB

TOP OF PLATE

FIN. LOFT FLOOR

TOP OF WINDOW

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

FIN. GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN. GRADE

BAYVIEW WELLINGTON

S42-1B LOFT
RIDEAU 1 LOFT

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
33

date
JANUARY, 2017
checked by
RC
scale
3/16" = 1'-0"
drawn by
WT
project name
UPGRADED REAR ELEVATION 'C' W.O.B. COND.
file name
16023-S42-1B-LOFT
date
FEB 12 2018 - 2:30 PM
RC/H400 - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-1B-LOFT.dwg - Mon - Feb 12 2018 - 2:30 PM

VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information

Wellington Jno-Baptiste 25591 BCR

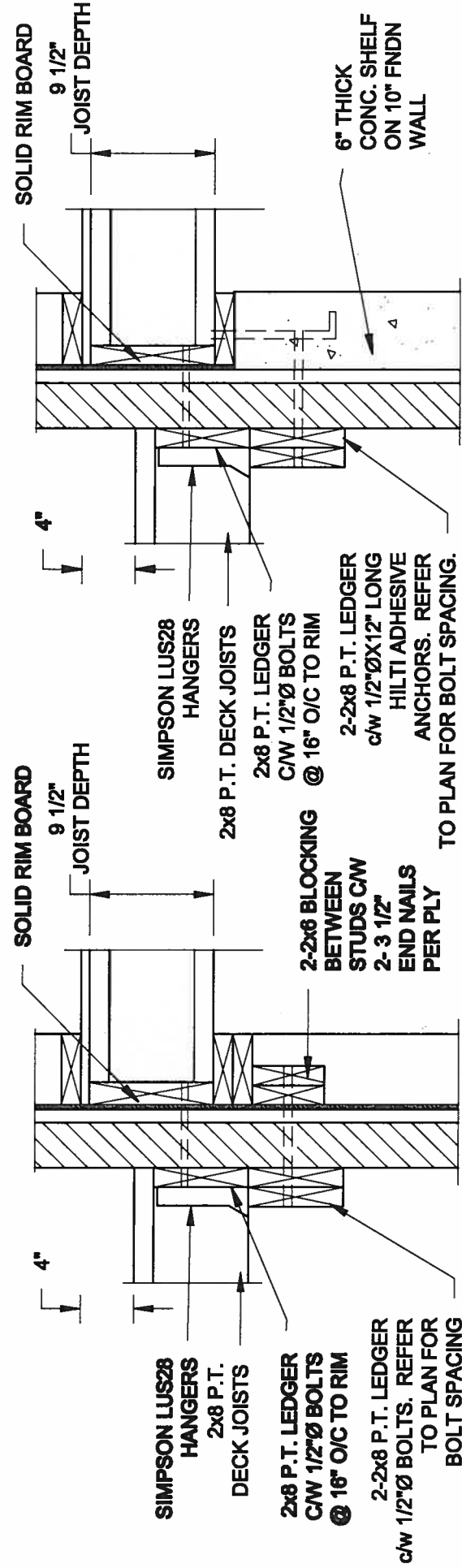
VA3 Design Inc. 42558 BCR

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no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	ISSUED FOR CLIENT REVIEW		

Site Copy

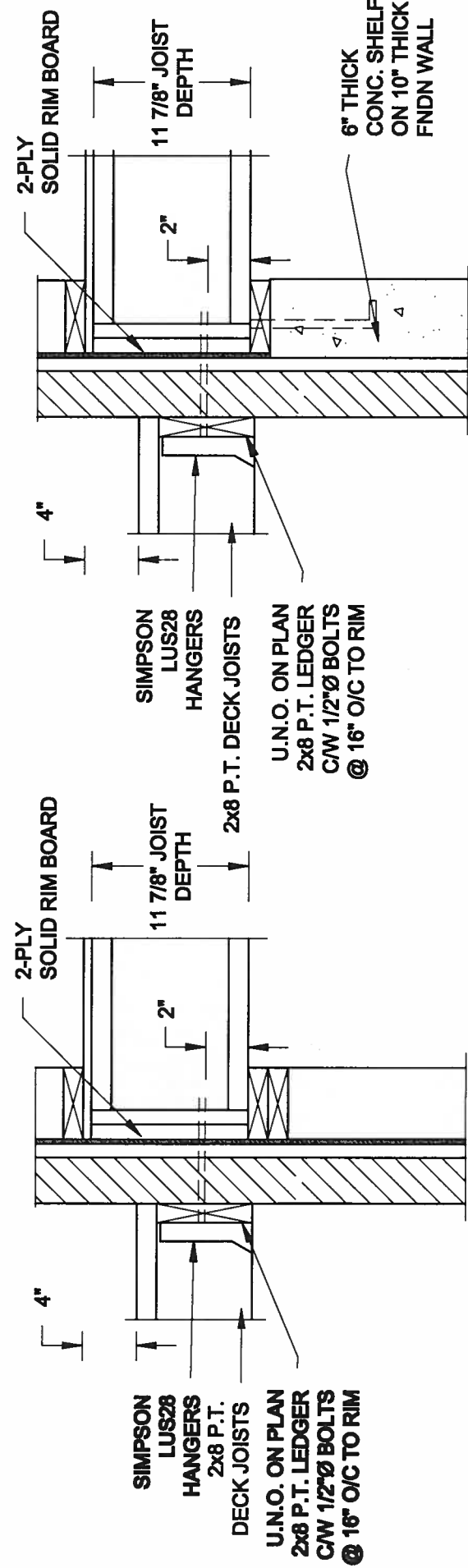
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

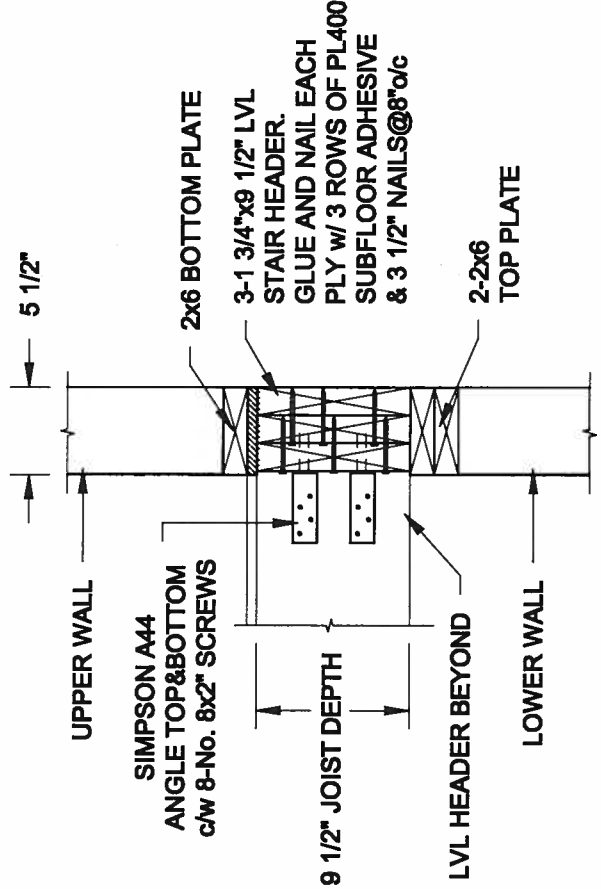


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

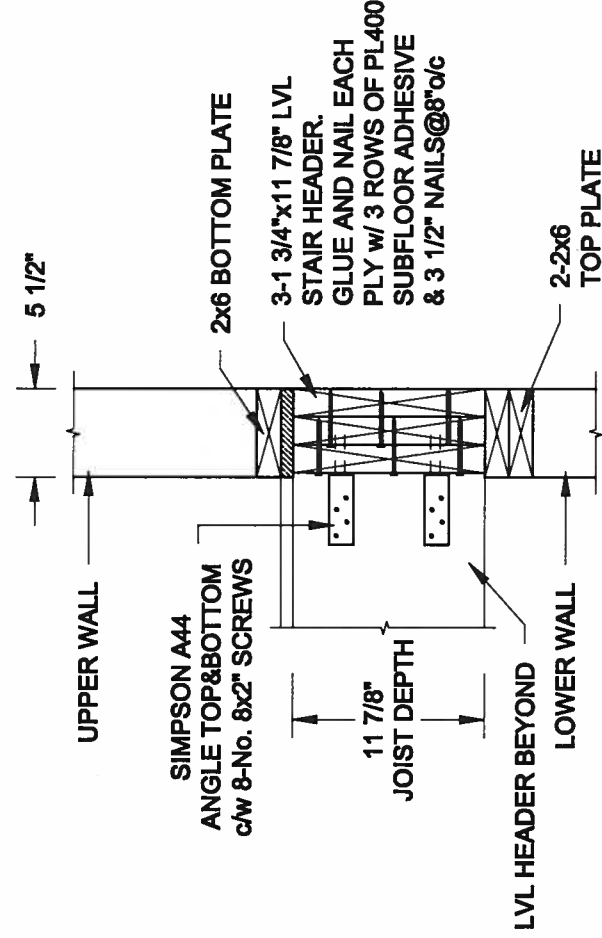
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED

Date: OCT-28-2017

Drawn: SC

Checked: SJB



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com



P:\Dwg\2017\17-218 DAYVIEW WELLINGTON GREEN VALLEY DETAILS\17-218.dwg

Project:

DAYVIEW WELLINGTON HOMES - GREEN VALLEY DETAILS - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No:

17-218

Drawing No:

S2

CONSTRUCTION NOTES (Unless otherwise noted)
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012_OBC**

- 1. ROOF CONSTRUCTION**
NO.210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm (2'4") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'0") FROM EDGE OF ROOF AND MIN. 300mm (1'2") BEYOND INNER FACE OF EXTERIOR WALL, LEAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER. 38x89 (2'x4") TRUSS BRACING @ 1800mm (6'0") O.C. AT BOTTOM CHORD, PREFIN. ALUM.
EAVESGROUHO, FASCIA, RVL & VENTED SOFTI, PROVIDE ICE & WATER SHIELD TO ALL ROOFWALL SURFACES SUSCEPTIBLE TO ICE DAMMING, ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).
- 2. FRAME WALL CONSTRUCTION (2'x4") (SB-12-TABLE 3.1.1.2A)**
SIDING AS PER ELEV. 19x38 (1'x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 2A.** RESERVED

- 2B. FRAME WALL CONSTRUCTION (2'x4") - GARAGE WALLS**
SIDING AS PER ELEV., 19x38 (1'x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'10")), WITH APPR. DIAGONAL WALL BRACING, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

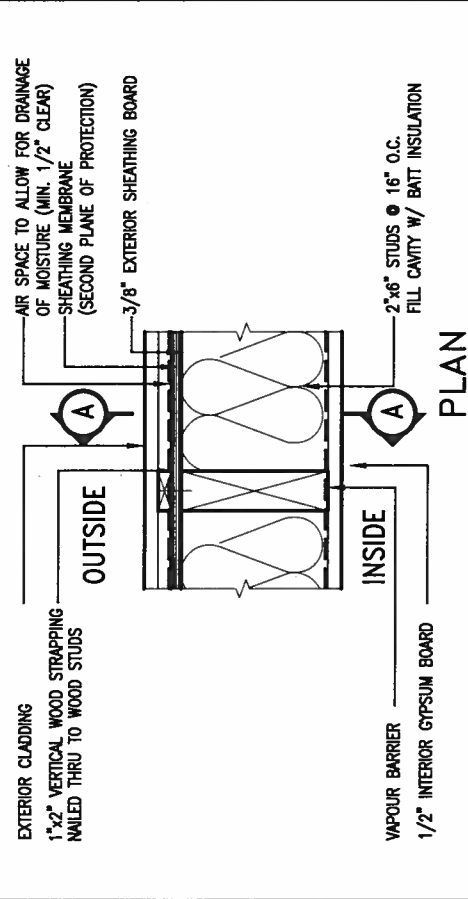
- 2C.** RESERVED
- 2D. STUCCO WALL CONSTRUCTION (2'x4") - GARAGE WALLS**
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1. (2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2'x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 2E.** WALLS ADJACENT TO ATTIC SPACE - NO CLADDING
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, MID-HEIGHT BLOCKING REQ'D IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 3. BRICK VENEER CONSTRUCTION (2'x6") (SB-12-TABLE 3.1.1.2A)**
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x276mm (7'8"x27"x9'0") O.C. VERTICAL, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 600mm (2'0") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.



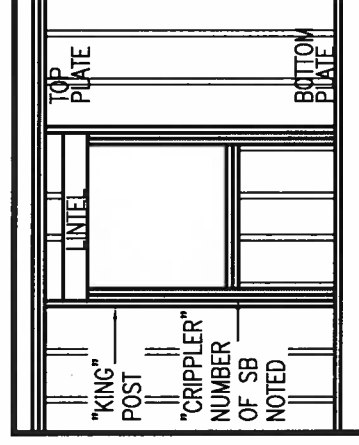
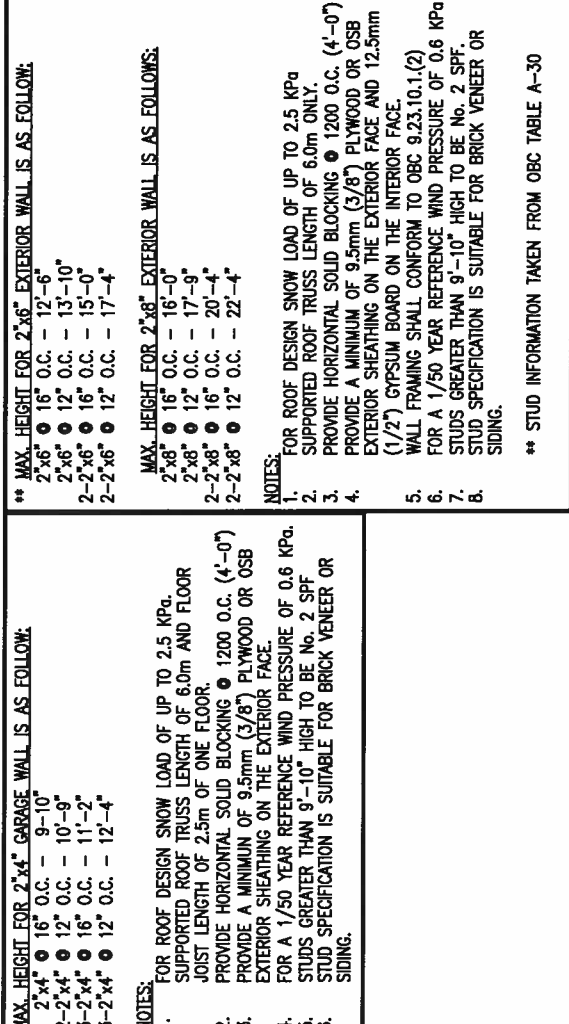
JAN 11, 2018

- 3B. BRICK VENEER CONSTRUCTION (2'x4") - GARAGE WALLS**
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x276mm (7'8"x27"x9'0") O.C. VERTICAL, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 600mm (2'0") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.
- 3C. STUCCO WALL CONSTRUCTION (2'x6") (SB-12-TABLE 3.1.1.2A)**
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1. (2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 4. INTERIOR STUD PARTITIONS**
FOR BEARING PARTITIONS 38x89 (2'x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2'x4") @ 400mm (24") O.C. PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 218x89 (2'2'x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2'x6") STUDS/PLATES WHERE NOTED.
- 5. FOUNDATION WALL/FOOTINGS (9.15.3, 9.15.4, 9.15.5, 9.15.6, 9.15.7, 9.15.8, 9.15.9, 9.15.10, 9.15.11, 9.15.12)**
250mm (10") POURED CONC. FDN. WALL 30MPa (4350psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER, DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'11") BELOW FIN. GRADE, DRAINAGE LAYER IS NOT REQ'D. WHEN FIN. WALL IS WATERPROOFED, MAXIMUM POUR HEIGHT 2820 (9'3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED OR ENGINEERED FILL. WITH MIN. BEARING CAPACITY OF 150KPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

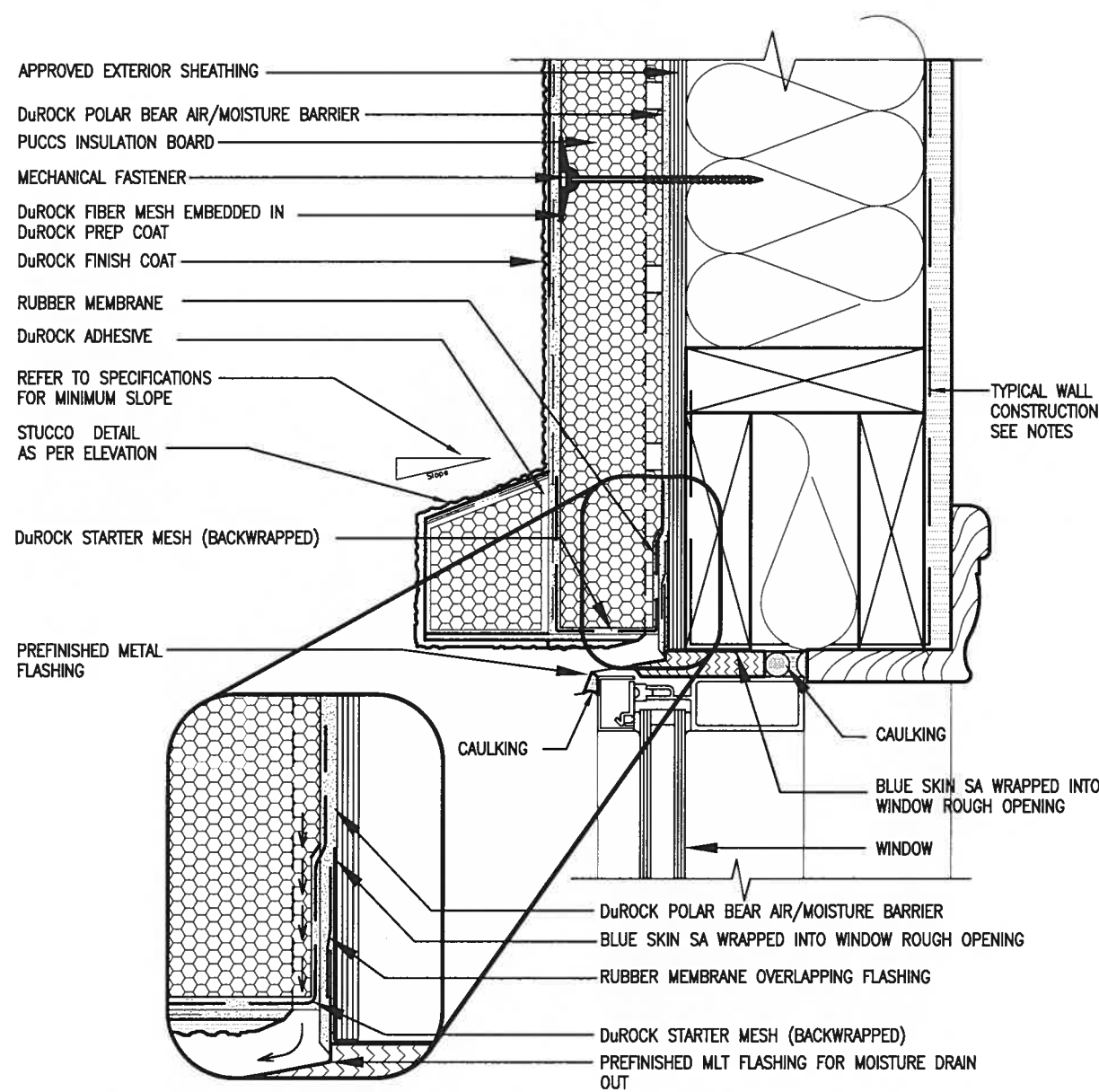
- 6. FOUNDATION DRAINAGE OBC 9.14.2, 9.14.3, 9.14.4, 9.14.5, 9.14.6, 9.14.7, 9.14.8, 9.14.9, 9.14.10, 9.14.11, 9.14.12, 9.14.13, 9.14.14, 9.14.15, 9.14.16, 9.14.17, 9.14.18, 9.14.19, 9.14.20, 9.14.21, 9.14.22, 9.14.23, 9.14.24, 9.14.25, 9.14.26, 9.14.27, 9.14.28, 9.14.29, 9.14.30, 9.14.31, 9.14.32, 9.14.33, 9.14.34, 9.14.35, 9.14.36, 9.14.37, 9.14.38, 9.14.39, 9.14.40, 9.14.41, 9.14.42, 9.14.43, 9.14.44, 9.14.45, 9.14.46, 9.14.47, 9.14.48, 9.14.49, 9.14.50, 9.14.51, 9.14.52, 9.14.53, 9.14.54, 9.14.55, 9.14.56, 9.14.57, 9.14.58, 9.14.59, 9.14.60, 9.14.61, 9.14.62, 9.14.63, 9.14.64, 9.14.65, 9.14.66, 9.14.67, 9.14.68, 9.14.69, 9.14.70, 9.14.71, 9.14.72, 9.14.73, 9.14.74, 9.14.75, 9.14.76, 9.14.77, 9.14.78, 9.14.79, 9.14.80, 9.14.81, 9.14.82, 9.14.83, 9.14.84, 9.14.85, 9.14.86, 9.14.87, 9.14.88, 9.14.89, 9.14.90, 9.14.91, 9.14.92, 9.14.93, 9.14.94, 9.14.95, 9.14.96, 9.14.97, 9.14.98, 9.14.99, 9.14.100, 9.14.101, 9.14.102, 9.14.103, 9.14.104, 9.14.105, 9.14.106, 9.14.107, 9.14.108, 9.14.109, 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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
FUTURE GRAB BARS TO BE 38.3.13.1(2)(f). BATHTUB & 38.3.13.1(2)(f). SHOWER 38.3.13.1(2)(c). REFER TO SPEC. DIV. 06-9.5.2.1. WATER CLOSET 38.3.13.1(2)(c) & 38.3.13.1(2)(c). AND DETAILS PROVIDED.

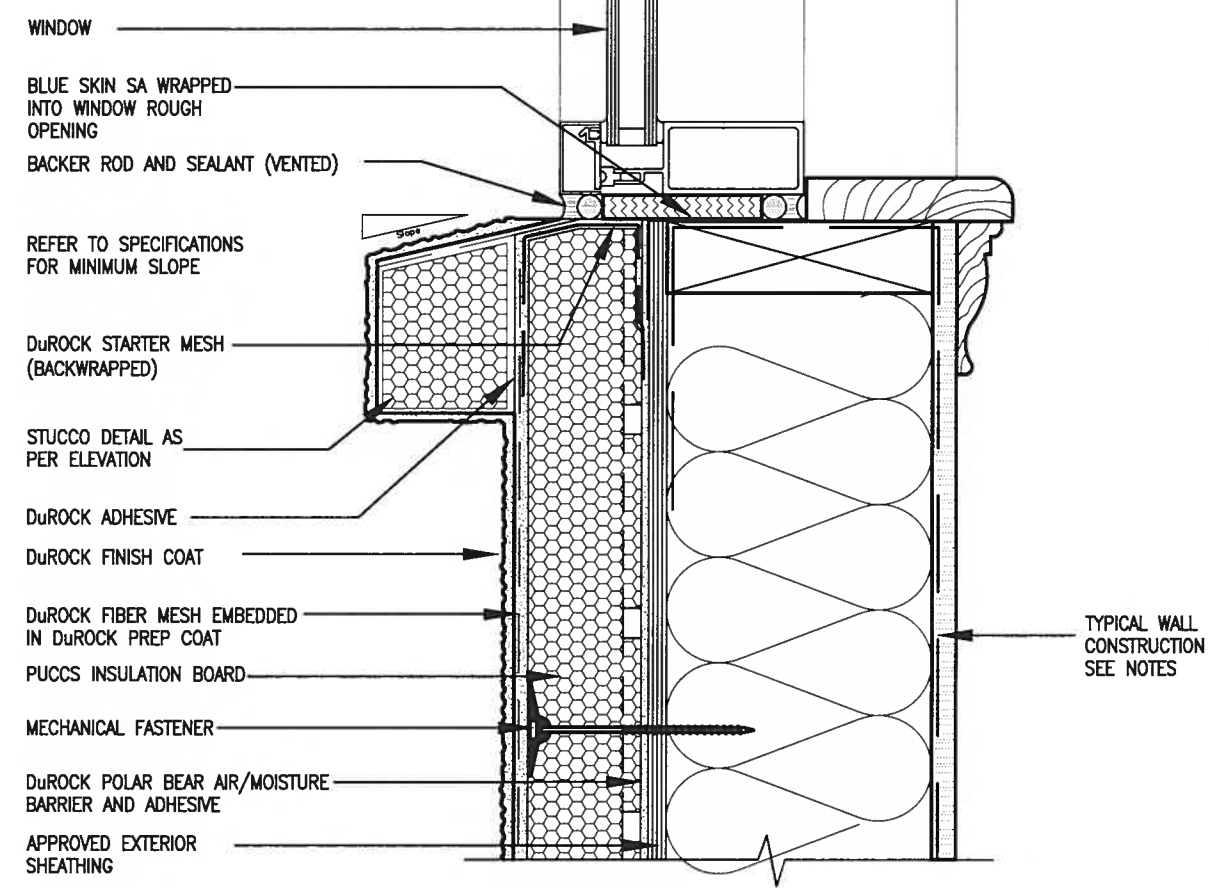


Site Copy



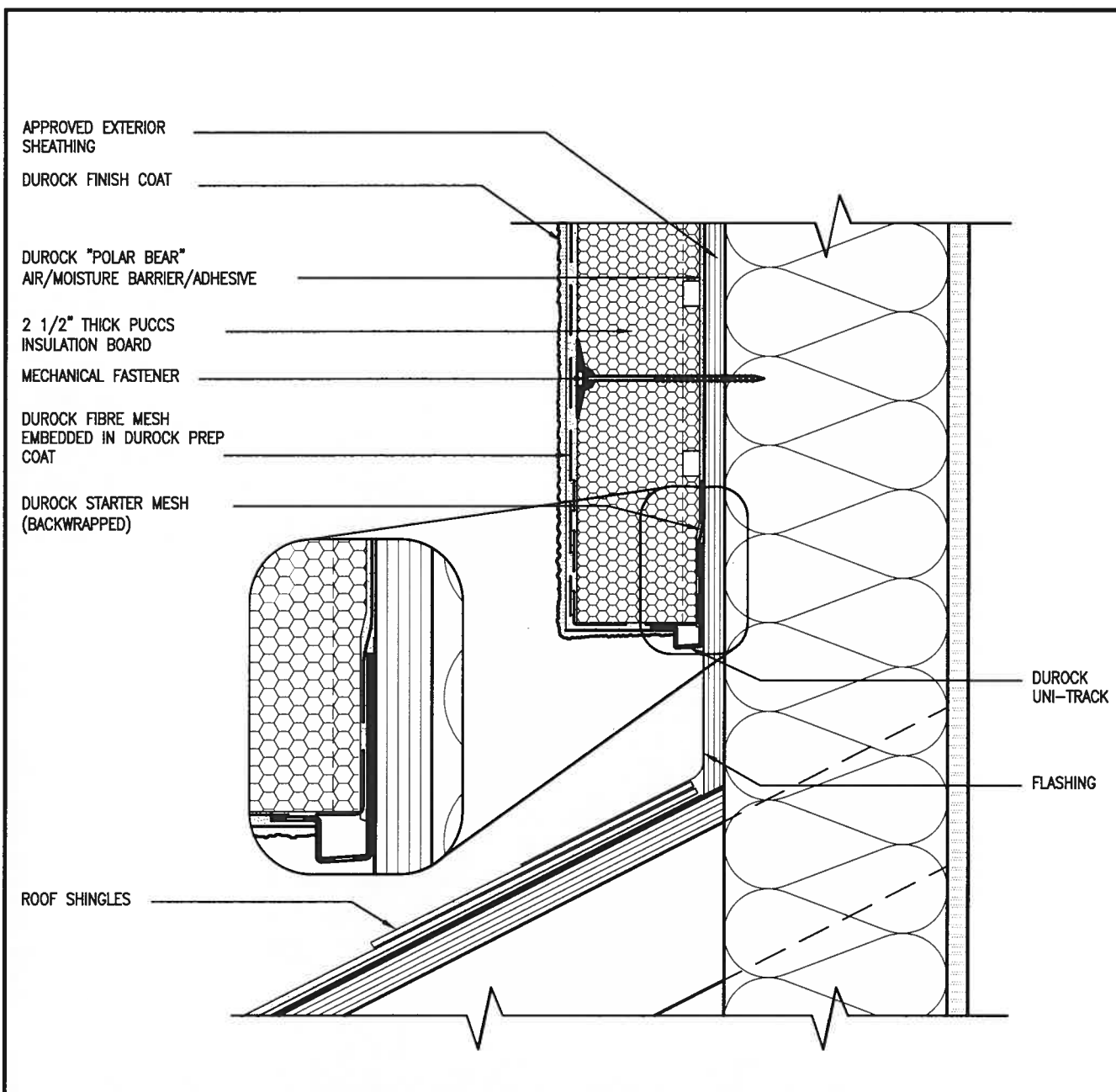
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



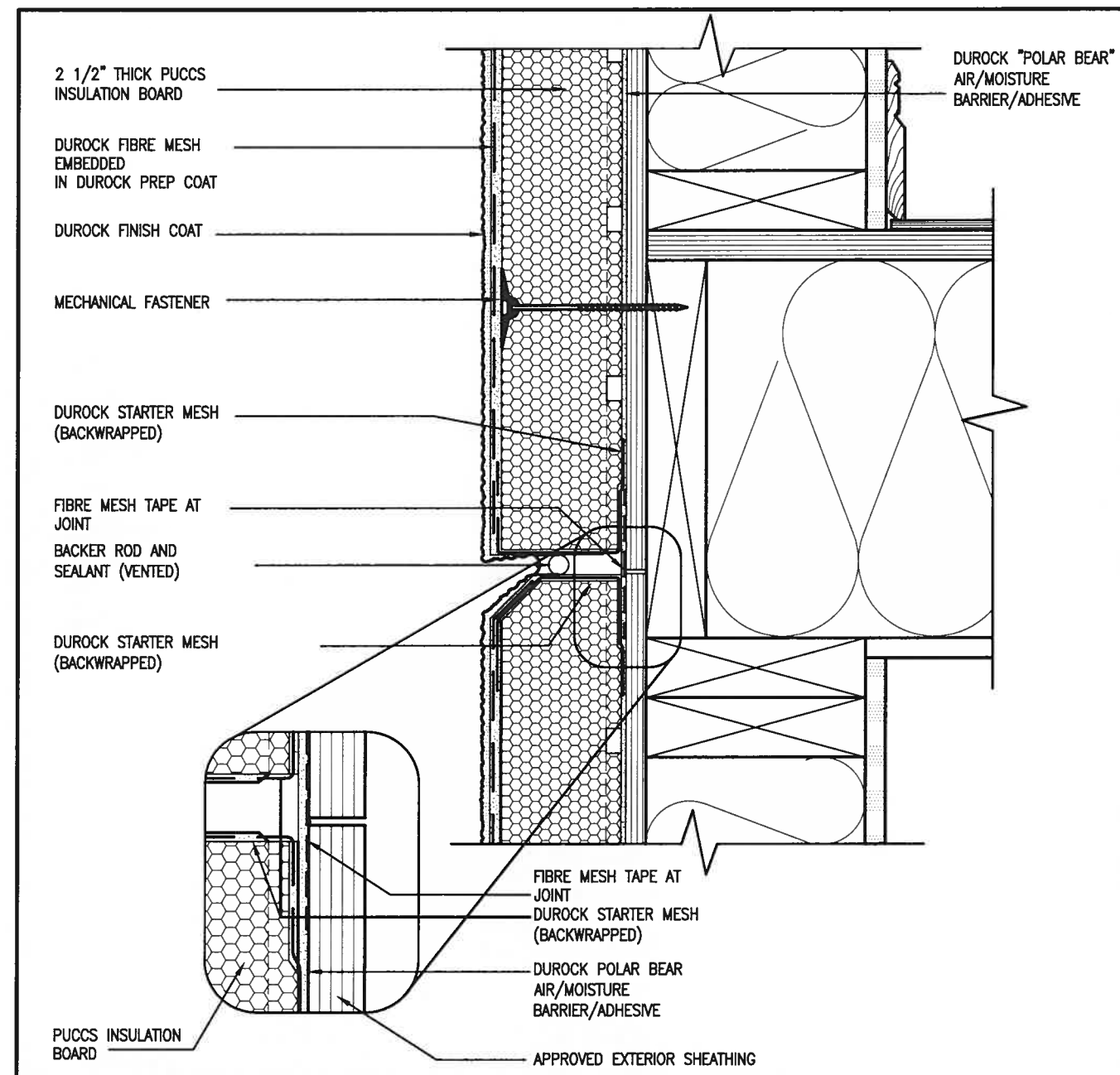
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

CONST NOTE BAYVIEW WELLINGTON GREEN VALLEY EAST project name project no. 16023 drawing no. CN3		CONSTRUCTION NOTES checked by date MAY 2016 drawn by RC scale 3/16" = 1'-0"	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information name Wellington Jiro-Baptiste registration number 25591 BCN VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO 2018	JAN 11-18 RC	date
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	date
no.	description		



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



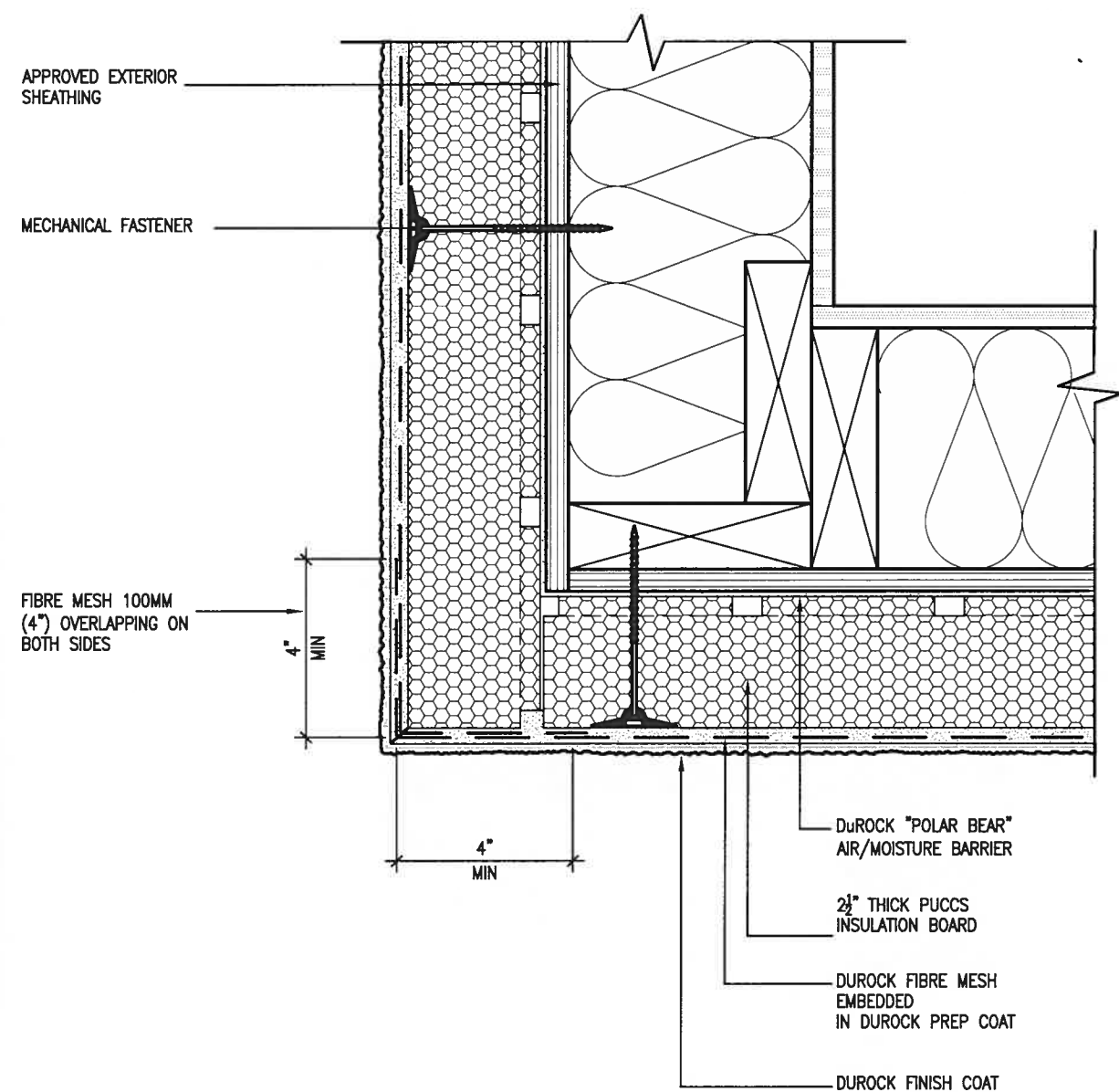
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

			The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
.	.	.	qualification information
7	.	.	Weilington Ino-Baptiste
6	.	.	25591
5	.	.	BCN
4	.	.	signature
3	.	.	verification information VAB Design Inc.
2	JAN 11-18 RC	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	AUG 04-17 RC	.	Drainage
no. description	date by		
UPDATE TO 2018			
ISSUE FOR CLIENT REVIEW			

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

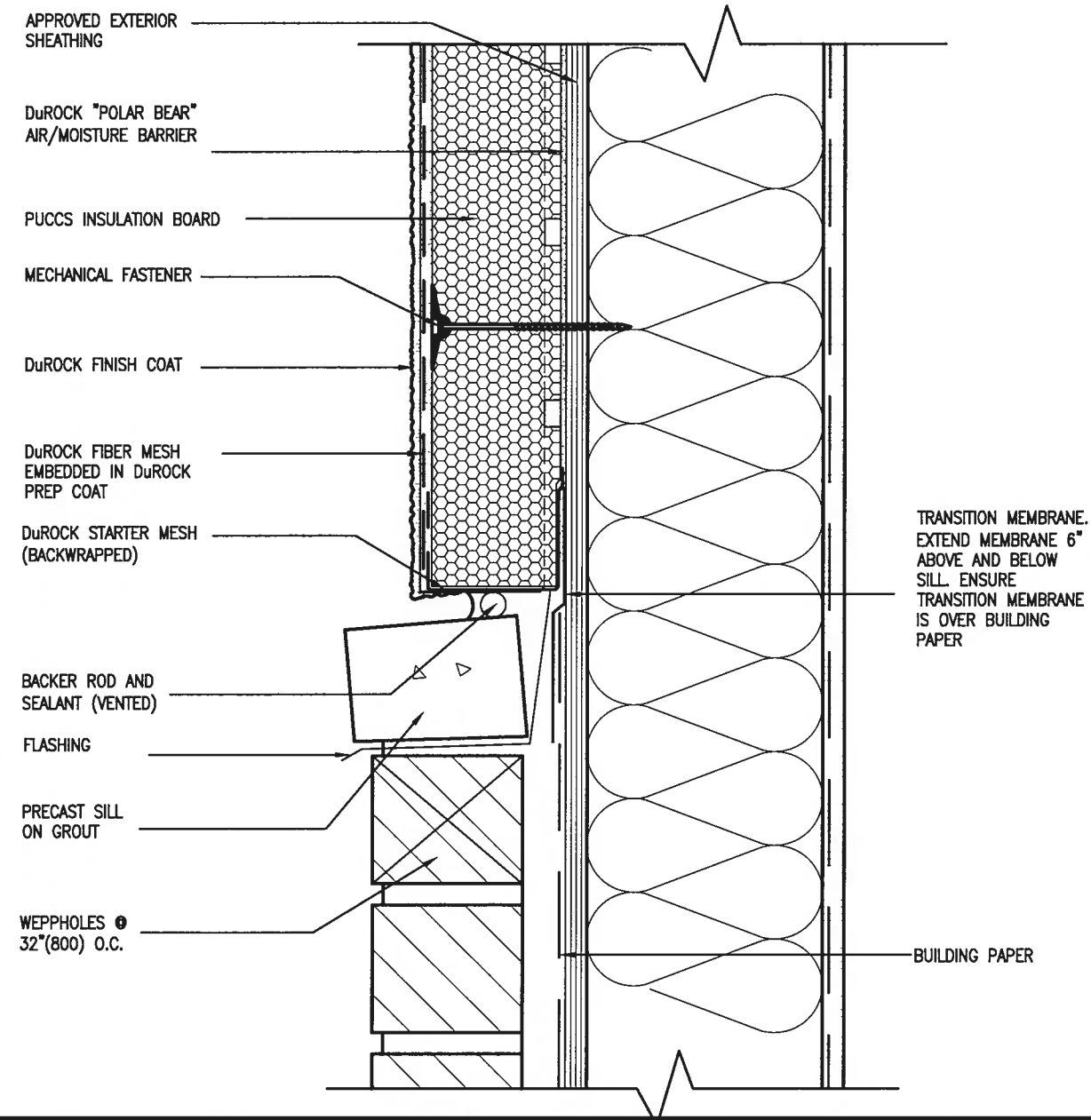
BAYVIEW WELLINGTON	CONST NOTE	project name	municipality	project no.	
		GREEN VALLEY EAST	BRADFORD	16023	
drawn by	scale	checked by	CONSTRUCTION NOTES	drawing no.	CN4
PC	3/16" = 1'-0"	-	file name 16023-CN-A1		

RICHARD - H:\ARCHIVE\WORKINGS\2018\16023.BW Units\CN NOTES\16023-CN-A.dwg -- Thu - Jan 11 2018 -- 10:10 AM



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

The undersigned has reviewed and takes responsibility for this design and the information contained herein. I am a duly Licensed Professional Engineer in the Province of Ontario and hereby certify that the design and information herein comply with the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *Jno-Baptiste* 25591
name signature BCN

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

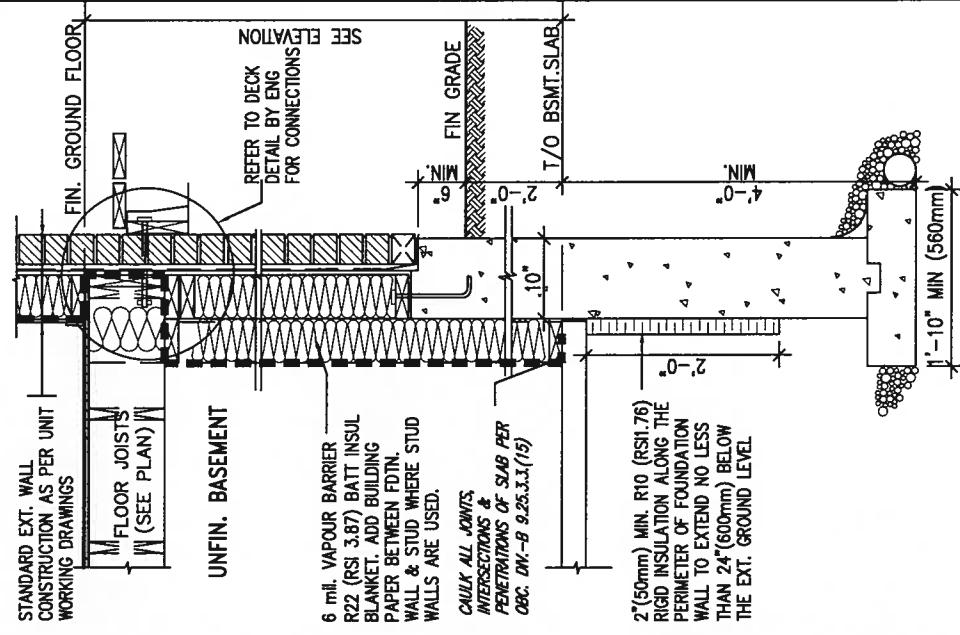
VA3 DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
va3design.com

project name	BAYVIEW WELLING		
date	MAY 2016		
drawn by	RC		
checked by	--		
scale	3/16" = 1'-0"		
RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW Units CM NOTES			

CONST	CONST NOTE	project	16023	drawing no	CNI
		municipality	BRADFORD		
TION		CONSTRUCTION NOTES		file name	16023-CN-A1
					16023-CN-A1.dwg - Thu - Jun 11 2018 - 10:10 AM

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

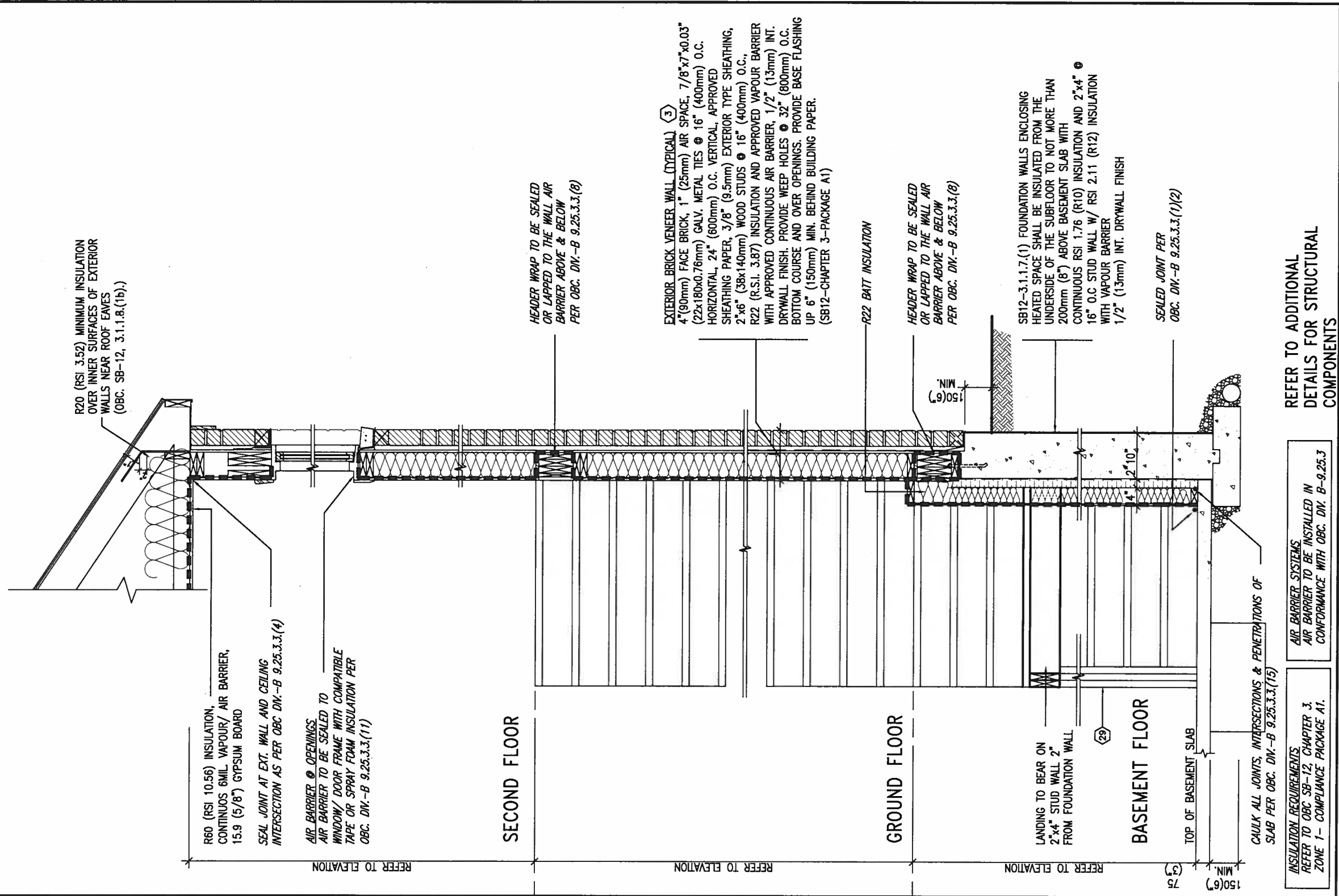


SECTION AT W.O.D/W.O.B.

BAYVIEW WELLINGTON	CONST NOTE					
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023				
dts MAY 2016	date RC	scale 3/16" = 1'-0"	CONSTRUCTION NOTES			
drawn by	checked by	file name 16023-CN-A1	drawing no. CN6			
RICHARD - H:\ARCHIVE WORKING\2016\16023.BMW Units\CN NOTES\16023-CN-A1.dwg -- Thu -- Jun 11 2018 - 10:10 AM						

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1 - COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC, DIV. B-9.25.3
--	--

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	
6.	.	.	Wellington Jno-Baptiste
5.	.	.	name
4.	.	.	registration information
3.	.	.	VAS Design Inc.
2.	UPDATE TO 2018	JAN 11-18 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name GREEN VALLEY EAST
municipality BRADFORD
date MAY 2016
drawn by
checked by
scale 3/16" = 1'-0"
RC

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BAYVIEW WELLINGTON

project name	municipality
GREEN VALLEY EAST	BRADFORD
date MAY 2016	CON
drawing by RC	scale 3/16" = 1'-0"
checked by —	notes RICHARD - HA ARCHIVE WORKING 2016 16023.BMW Units (CN NOTES) 16023-CN-A1.dwg - T



STRUCTURAL

9.		The undersigned has reviewed and takes responsibility for this design and has qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.		qualification information	
7.		Wellington Jno-Baptista 25591	
6.		name	
5.		registration information	
4.		VAS Design Inc.	
3.		signature	
		BCIN	
		42858	
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
		JAN 11-18 RC	
		AUG 04-17 RC	
no.	description	date	by
2	UPDATE TO 2018		
1	ISSUE FOR CLIENT REVIEW		

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFO

CON

scale

3/16" = 1'-0"

checked by

drawn by

RC

date

MAY 2016

project name

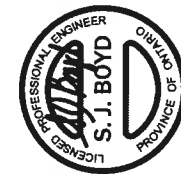
GREEN VALLEY EAST

BRADFO

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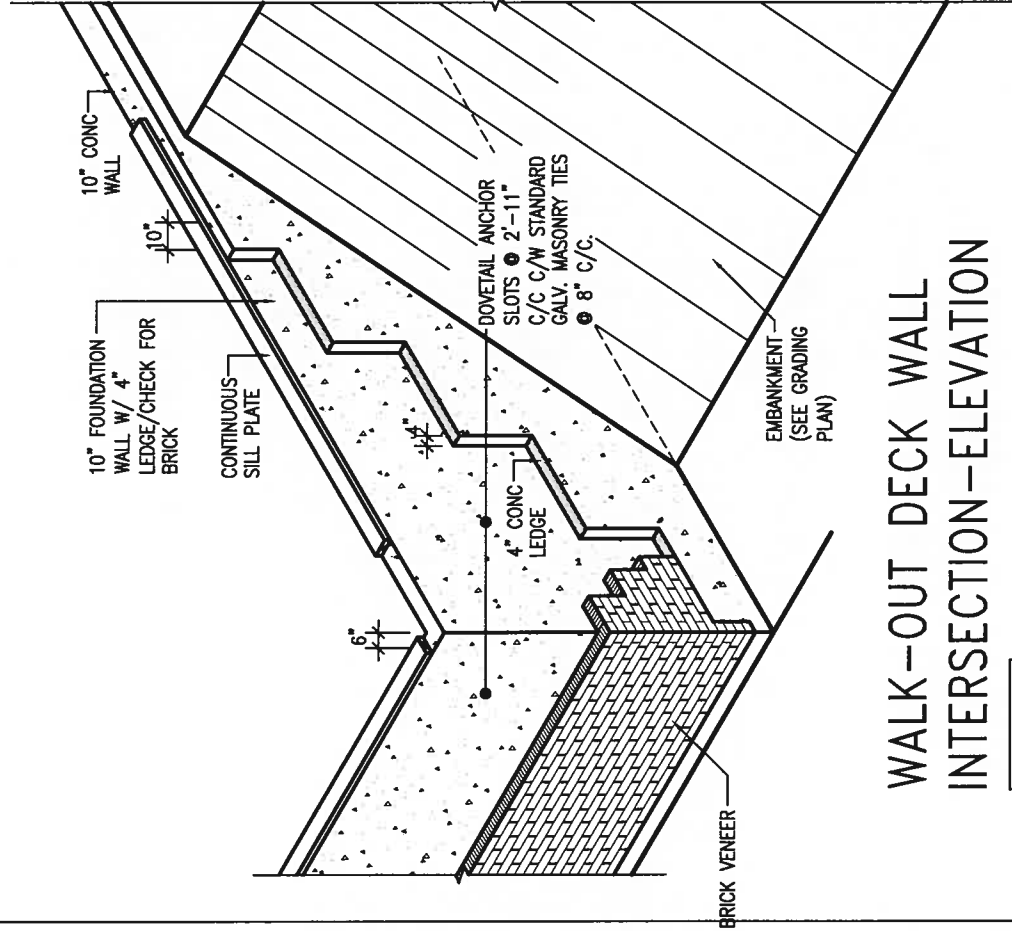
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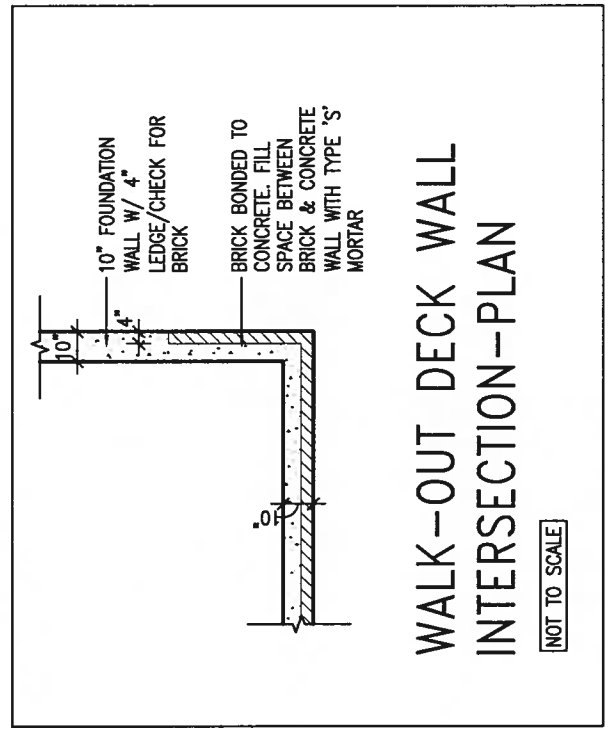
JAN 11, 2018

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Site Copy

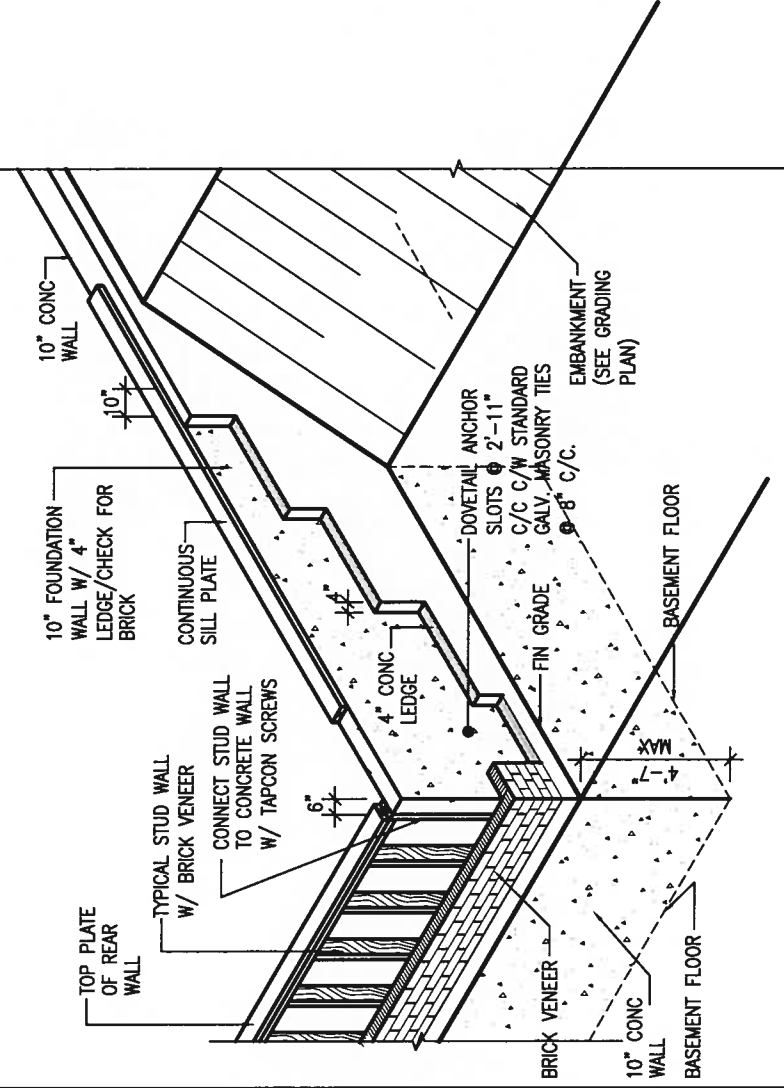


WALK-OUT DECK WALL
INTERSECTION-ELEVATION
NOT TO SCALE

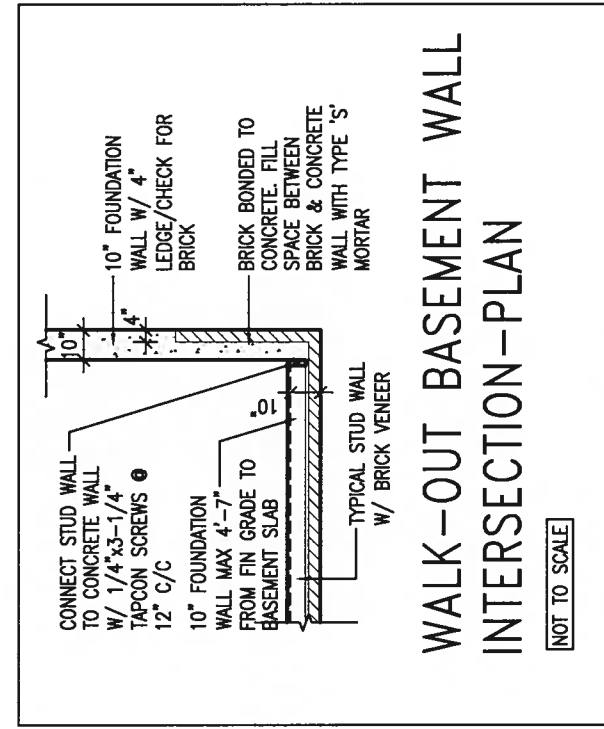


WALK-OUT DECK WALL
INTERSECTION-PLAN
NOT TO SCALE

(10" FOUNDATION WALL)

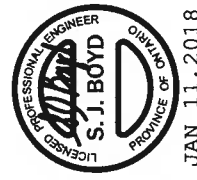


WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL
NOT TO SCALE

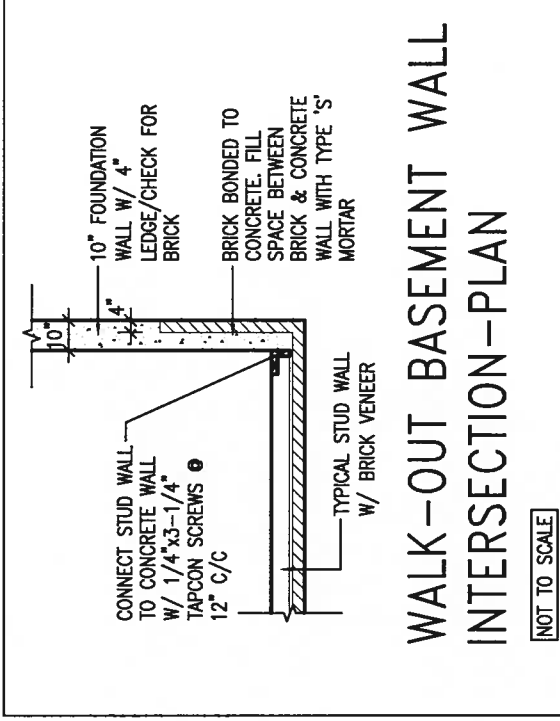


WALK-OUT BASEMENT WALL
INTERSECTION-PLAN
NOT TO SCALE

(10" FOUNDATION WALL)



BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. CN10
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	CONSTRUCTION NOTES 16023-CN-A1
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN name VA3 Design Inc. 42658			
no. description	date	by	
2 UPDATE TO 2018	JAN 11-18 RC		
1 ISSUE FOR CLIENT REVIEW	AUG 04-17 RC		

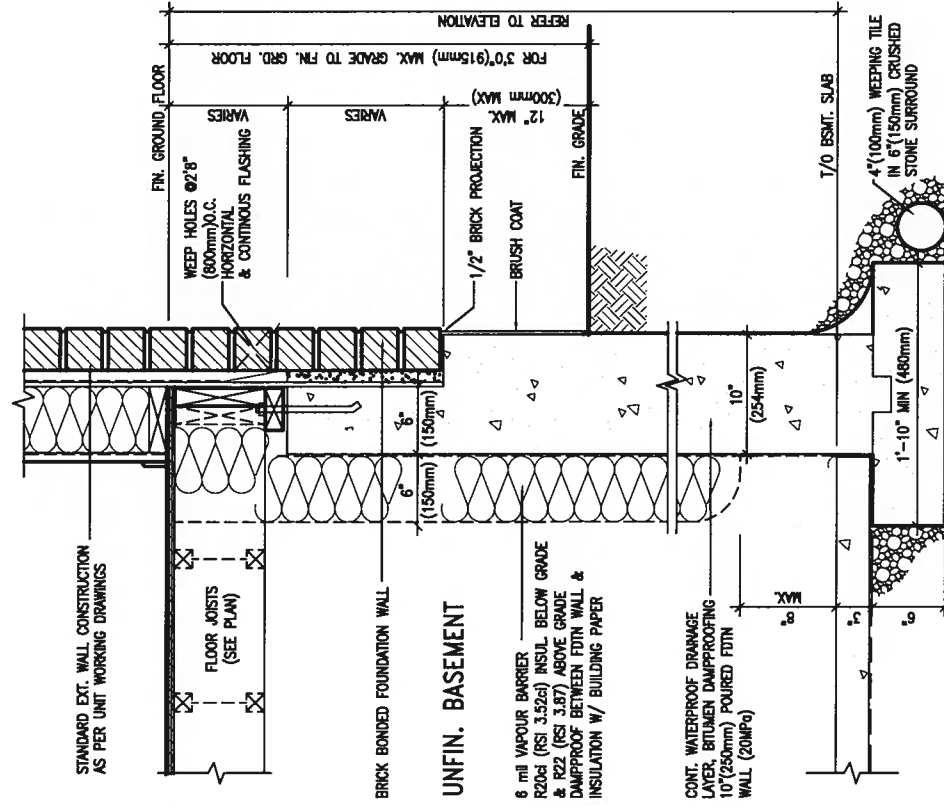


WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

NOT TO SCALE

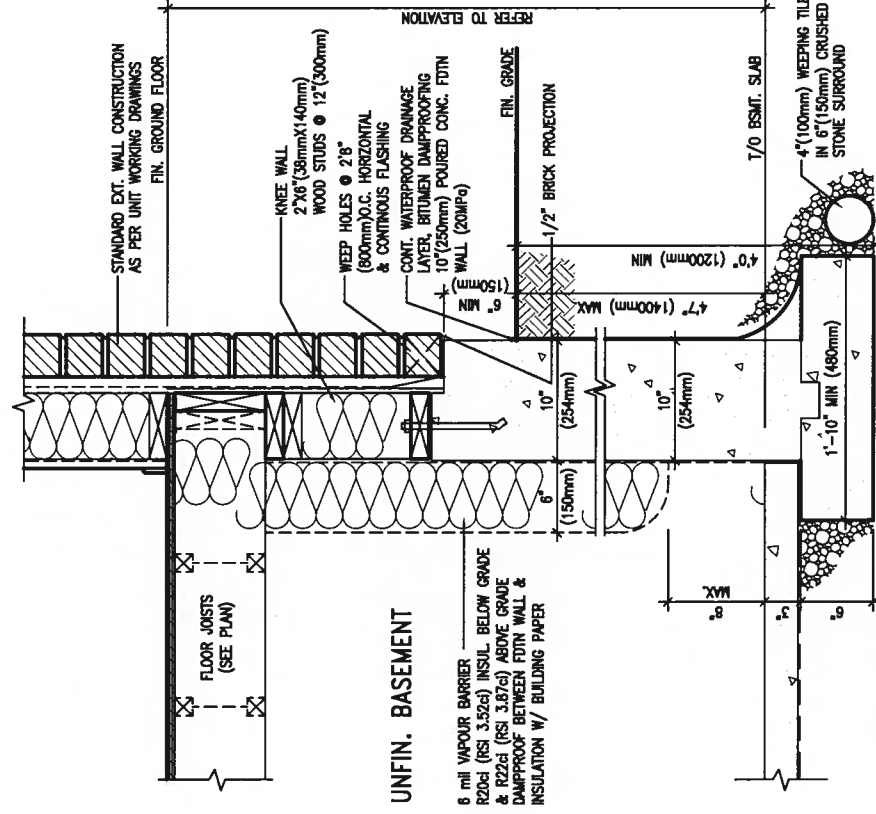
(10" FOUNDATION WALL)

NOT TO SCALE



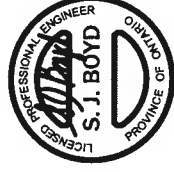
EW3.06x
 PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

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4	.	.	.
3	.	.	.
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591

signature

same registration information

VAS Design Inc.

BCIN

426538

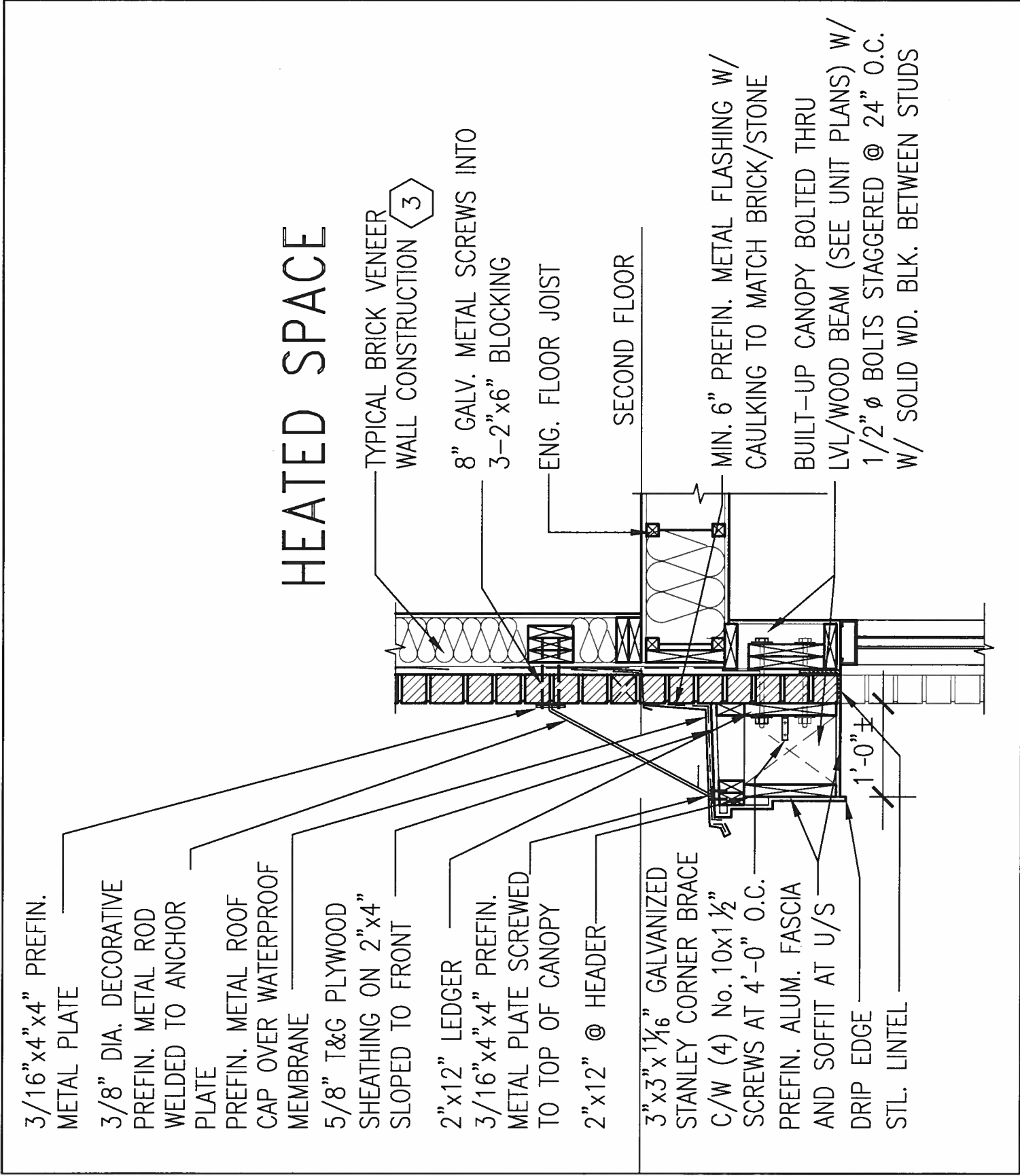
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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016	scale $\frac{3}{16"} = 1'-0"$	drawing no. CN111	
drawn by RC	checked by	CONSTRUCTION NOTES	
		file name 16023-CN-A1	
		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BMW\Units\CN NOTES\16023-CN-A1.dwg -- Thu - Jun 11 2018 -- 10:09 AM	

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1

CN13

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



JAN 11, 2018

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qualification information				GREEN VALLEY EAST	16023		
Wellington Jno-Baptiste				BRADFORD	BRADFORD		
signature				checked by	scale		
25591				MAY 2016	3/16" = 1'-0"		
BCN				drawn by	CONSTRUCTION NOTES		
42658				RC	16023-CN-A1		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.				file name	drawing no.		
				JAN 11-18 RC	CN13		
				AUG 04-17 RC	16023-CN-A1		
				date	16023-CN-A1		
				by	16023-CN-A1		
				no. description	16023-CN-A1		

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